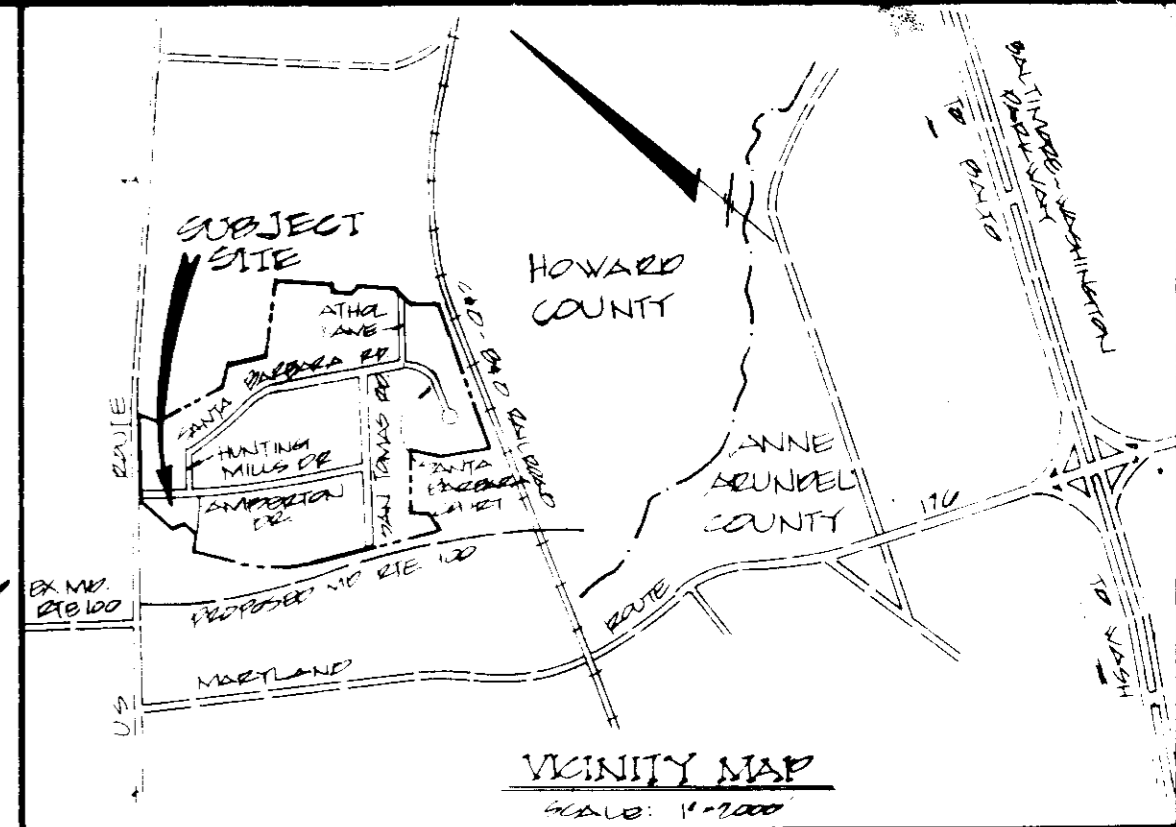


TYPICAL DRAINAGE SECTION



LEGEND

- EXISTING SKAND
- PROPOSED GRADE
- EX CURB AND GUTTER
- PROP CURB AND GUTTER
- NO OF PARKING SPACES
- HOOP PARKING SPACES
- HOOP DRIVE
- UNPROPOSED WATER
- EXISTING WATER
- PROP. STORM DRAIN
- EX STORM DRAIN
- PROP. SANITARY SEWER
- EX SANITARY SEWER
- EX. ELECTRIC (UNDERGROUND)
- EX GAS LINE
- PROP. PAVING

SITE DATA

AREA OF SITE: 10,910 SF / 0.25 AC
 TOTAL FLOOR AREA: 21,600 SF OR 10.85 AC
 EXISTING USE: VACANT
 PROPOSED USE: OFFICE/WAREHOUSE
 PERMITS REQUIRED: (SEE SHEET NO. 1)
 SEE SHEET 4 OF 5 FOR PARKING

PERMITS REFERENCE: ROUTE 100 BUSINESS PARK
 PERCENTAGE OPEN SPACE: 3.42 : 6.57 TO 8.4%

AREA TO BE VEGETATIVELY STABILIZED: 2,000 SF / 0.045 AC
 EXISTING ZONING: M-2

DEED REFER: WAY 0 985 LIDER: 144 FOLIO: 486

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

APPROVED: *[Signature]* DATE: 2-18-86

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *[Signature]* DATE: 2-18-86

PLAN NUMBER: _____

HOWARD SOIL CONSERVATION DISTRICT THE DEVELOPMENT IS DEEMED TO BE SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: HOWARD SOIL CONSERVATION DISTRICT DATE: _____

REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS DATE: _____

THIS PROJECT HAS BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEM HOWARD COUNTY HEALTH DEPARTMENT DATE: 2-27-86

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING DATE: 2-28-86

PLANNING DIRECTOR: *[Signature]* DATE: 2-28-86

CHIEF OF BUREAU OF LAND DEVELOPMENT & ZONING ADMINISTRATION DATE: _____

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS, AND GROUND HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS DATE: 2-29-86

DIRECTOR: *[Signature]* DATE: 2-29-86

CHIEF BUREAU OF ENGINEERING DATE: 2-29-86

BUILDING # _____ STREET ADDRESS _____

PROJECT # _____ GROUND AMBERTON DRIVE

SUBDIVISION NAME: _____

DATE: 2-29-86

NOTE: SOILS REPORT

CONTRACTOR SHALL NOTE A SOILS REPORT THAT HAS BEEN PREPARED BY GEORGE W. STEPHENS & ASSOCIATES, INC. CONTRACTOR SHALL OBTAIN COPY OF REPORT PRIOR TO COMMENCING WORK.

NOTE:

STORM WATER MANAGEMENT PLAN TO BE USED AS TEMPORARY SEDIMENT CONTROL DURING CONSTRUCTION. SEE SHEET 2 OF 5.

- GENERAL NOTES**
- Maximum building height = 50'.
 - All areas not being paved or receiving building coverage shall be stabilized in accordance with the plans approved by the Howard Soil Conservation District.
 - Any damage to public rights-of-way and/or adjacent properties shall be repaired immediately at the contractor's expense.
 - The contractor shall maintain at least a 2' level bench behind all curb and gutter in fill areas.
 - The contractor shall verify all existing utilities to his own satisfaction before starting construction.
 - All slopes shall be 2:1 or flatter.
 - All work shall be done in accordance with Howard County Standard Specifications and Details for Construction, or as shown on these plans.
 - The contractor shall notify the C & P Telephone Co. and the Gas and Electric Company five days prior to starting work shown on these plans by calling "Miss Utility". Call collect 1-559-0100.
 - For details of ramps and signs for the handicapped see the Maryland Building Code for the Handicapped and Aged as shown herein.
 - The contractor shall maintain a minimum of 3.5' cover over all proposed water lines.
 - All rip-rap shall be placed on filter cloth.
 - The contractor or developer shall contact the Construction Inspection/Survey Division 24 hours in advance of commencement of work at 992-2417 or 792-7272.
 - The contractor shall remove all existing paving, curb and gutter, etc. that may interfere with proposed construction.
 - All utilities installed shall receive full trench compaction, per ASHRAE 90.1-80 T-20.
 - All water main tees, bends, caps, etc. shall be buttressed in accordance with Howard County Design Requirements.
 - All fill to be placed under paving & building areas shall be compacted 95% of optimum density as determined by AASHTO T-99.

APPROVED
 DIVISION OF LAND DEVELOPMENT &
 ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE: 11-15-85
[Signature]

WATER MAIN NOTE
 PROPOSED 8" WATER MAIN TO BE CONSTRUCTED UNDER COUNTY CONTR. NO. 14-1405-D

25 TEMPORARY GRADE EASEMENT

REF: "K" RIGHT SIGN

ACCESS EASEMENT
 15' EASEMENT ACCESS DEDICATED TO MT. ZION CEMETERY PLAT BOOK 20 FOLIO 99

PROP. "NO ENTRY EXCEPT FOR CEMETARY TRAFFIC" SIGN

5' OR 6" AS SHOWN

HANDICAPPED PARKING

TYPICAL PARKING LAYOUT SCALE: 1" = 20'

REVISED PARKING LOT STRIPING AND ACCESS 1,500 S.F. ADDITION BY MESSICK ASSOC.

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 303 ALLEGHENY AVENUE
 TOWSON, MARY. AND 21204
 (301) 825-8120

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
[Signature] 11/15/85

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR "LAND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENT A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE POND WITHIN 30 DAYS OF COMPLETION.

[Signature] 11/15/85

OWNER/DEVELOPER
 VITALIUS COMPANY OF AMERICA
 P.O. BOX 31
 EASTON, PA 18044-0031

DESIGNED BY: *[Signature]*
 DRAWN BY: *[Signature]*
 CHECKED BY: *[Signature]*
 REVISIONS:
 56/85 PER COMMENT 10/18/85 PER G.O. COMM.

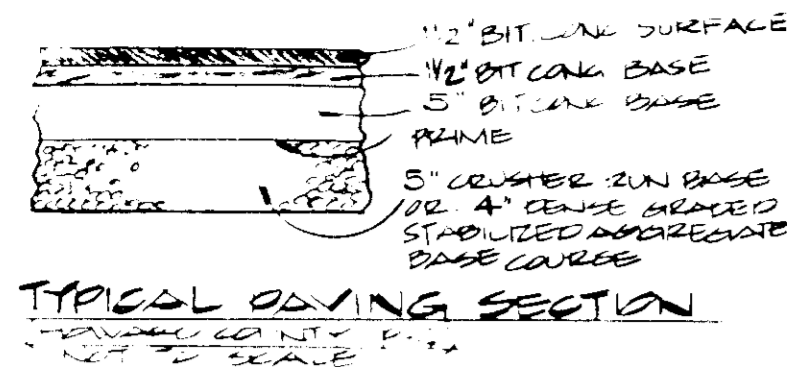
SITE & STORM WATER MANAGEMENT PLAN

PROPOSED OFFICE & WAREHOUSE
 ROUTE 100 BUSINESS PARK
 BLOCK "B" PARCEL "F"

HOWARD COUNTY, MD
 SCALE: AS SHOWN

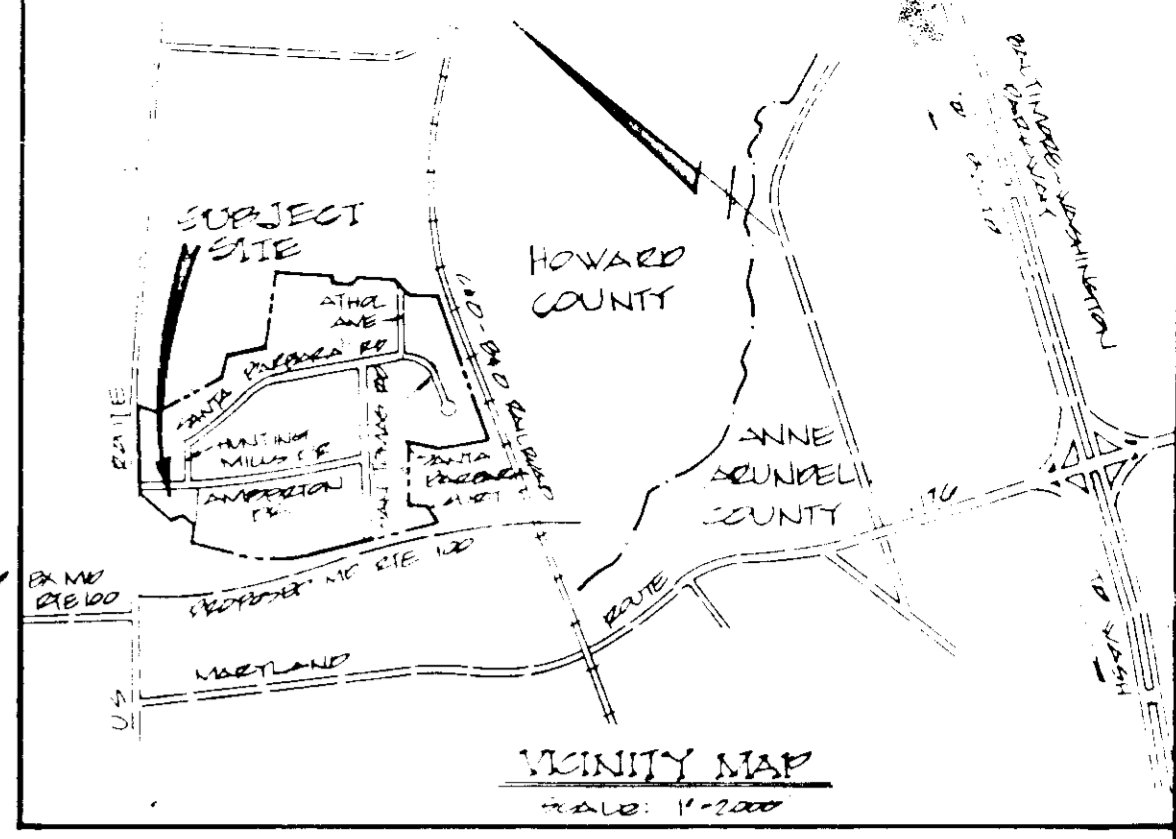
ELECTION DISTRICT #1
 MAT 6, 1985
 SHEET 1 OF 5

SDP-85-214

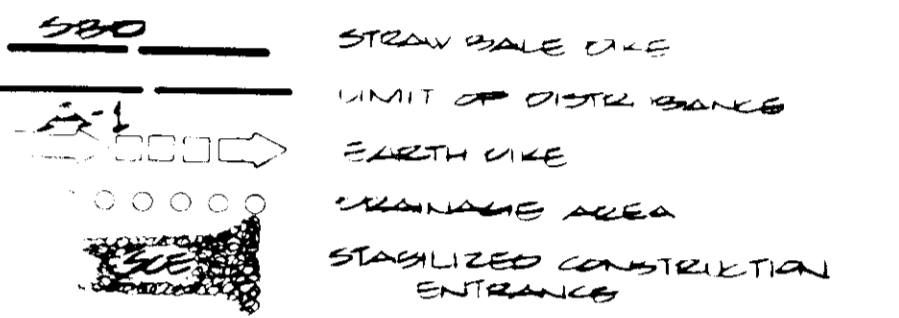


JOHN J. GEREMKA
10022 201 FALLO 273

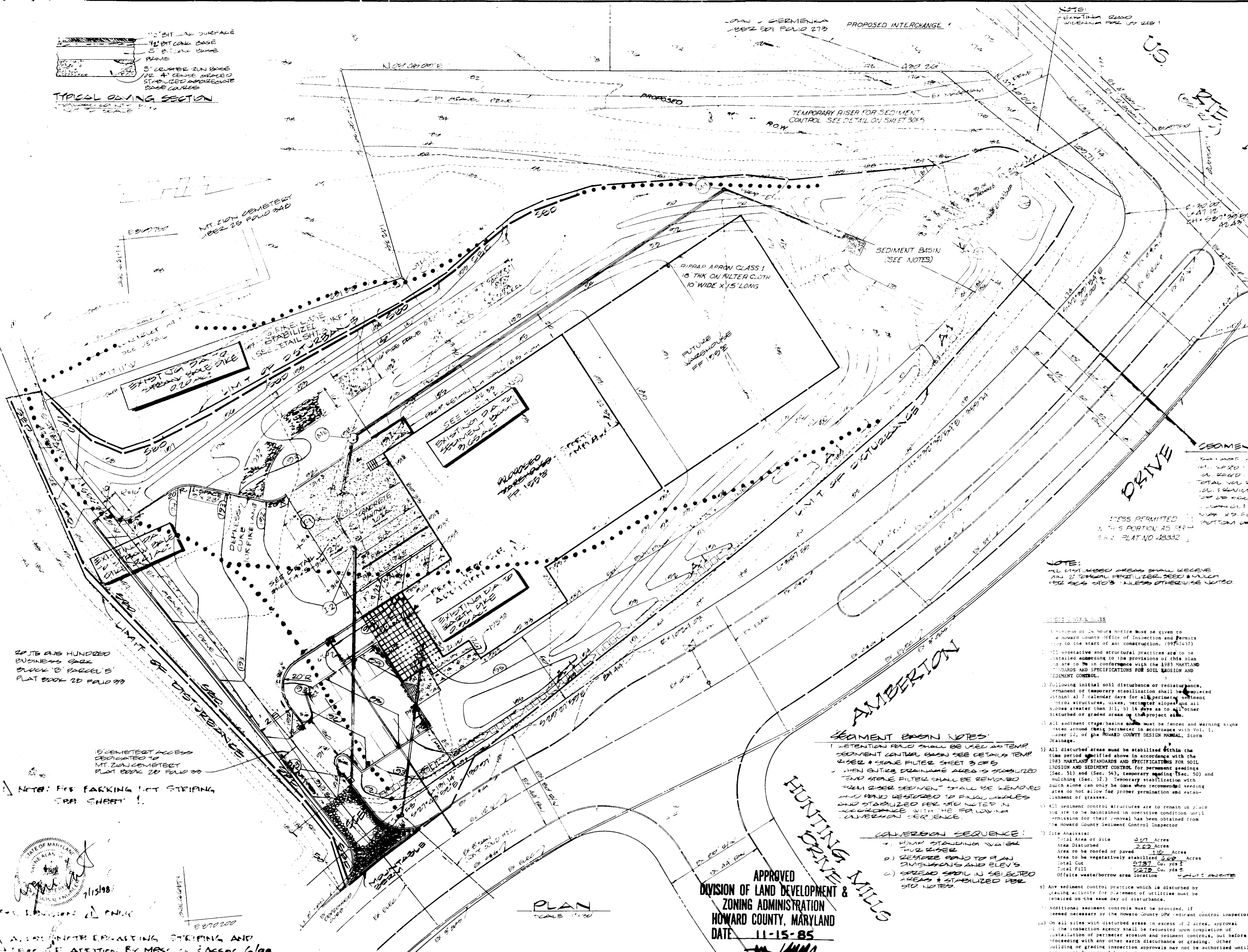
NOTE:
EXISTING ROAD
WIDENING FROM 12' TO 14'



- EXISTING GRADE
- PROPOSED GRADE
- EX. CURB AND GUTTER
- PROP. CURB AND GUTTER
- NO. OF BACKING SPACES
- PROP. BACKING SPACES
- PROP. DRAIN
- PROPOSED WATER
- EXISTING WATER
- PROP. STORM DRAIN
- EX. STORM DRAIN
- EX. SANITARY SEWER
- EX. SANITARY SEWER
- EX. ELECTRIC (UNDERGROUND)
- EX. GAS LINE
- PROP. PAVING



SEDIMENT BASIN DATA
 1. TOTAL AREA: 3,750 SQ. FT.
 2. TOTAL VOLUME: 1,125 CU. YD.
 3. TOTAL SURFACE AREA: 2,310 SQ. FT.
 4. TOTAL PERIMETER: 1,125 FT.
 5. TOTAL VOLUME: 1,125 CU. YD.
 6. TOTAL SURFACE AREA: 2,310 SQ. FT.
 7. TOTAL PERIMETER: 1,125 FT.
 8. TOTAL VOLUME: 1,125 CU. YD.
 9. TOTAL SURFACE AREA: 2,310 SQ. FT.
 10. TOTAL PERIMETER: 1,125 FT.
 11. TOTAL VOLUME: 1,125 CU. YD.
 12. TOTAL SURFACE AREA: 2,310 SQ. FT.
 13. TOTAL PERIMETER: 1,125 FT.
 14. TOTAL VOLUME: 1,125 CU. YD.
 15. TOTAL SURFACE AREA: 2,310 SQ. FT.
 16. TOTAL PERIMETER: 1,125 FT.
 17. TOTAL VOLUME: 1,125 CU. YD.
 18. TOTAL SURFACE AREA: 2,310 SQ. FT.
 19. TOTAL PERIMETER: 1,125 FT.
 20. TOTAL VOLUME: 1,125 CU. YD.



NOTE:
ALL DISTURBED AREAS SHALL RECEIVE
MIN. 2" TYPICAL FERTILIZED SEED & MULCH
FOR SOIL STABILIZATION UNLESS OTHERWISE NOTED

NOTE:
A minimum of 24 hours notice must be given to
the Howard County Office of Inspection and Permits
prior to the start of any construction. (897-2417)

NOTE:
All sediment control structures are to remain in place
and are to be maintained in operative condition until
the Howard County Department of Public Works
inspector has been notified and approved for their
removal. (897-2417)

SEDIMENT BASIN NOTES:
 1. RETENTION POND SHALL BE USED AS TEMP.
SEDIMENT CONTROL BASIN. SEE DETAILS TEMP.
POND & STONE FILTER SHEET 3 OF 5
 2. WHEN ENTIRE DRAINAGE AREA IS STABILIZED
TEMP. STONE FILTER SHALL BE REMOVED
 3. TEMP. RISER SEDIMENT SHALL BE REMOVED
AND POND RESTORED TO FINAL UNDESIGNED
AND STABILIZED PER THE FOLLOWING
CONSTRUCTION SEQUENCE:

- CONSTRUCTION SEQUENCE:**
1. PUMP STANDING WATER TO RISER
 2. REMOVE POND TO PLAN DIMENSIONS AND ELEVATIONS
 3. SPREAD SOIL IN SELECTED AREAS & STABILIZED PER STD. NOTES

APPROVED
DIVISION OF LAND DEVELOPMENT &
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE: 11-15-85

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL FLOOD CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.
 APPROVED: *Robert W. Zehn* DATE: 2-18-86
 HOWARD SOIL CONSERVATION DISTRICT

THESE PLANS FOR SMALL FLOOD CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 APPROVED: *Robert W. Zehn* DATE: 2-18-86
 HOWARD SOIL CONSERVATION DISTRICT

HOWARD SOIL CONSERVATION DISTRICT
 THE DEVELOPMENT IS CONSIDERED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 APPROVED: *Robert W. Zehn* DATE: 2-18-86
 HOWARD SOIL CONSERVATION DISTRICT

APPROVED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.
 THE ILLINOIS STATES SOIL CONSERVATION SERVICE
 APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEM
 HOWARD COUNTY HEALTH DEPARTMENT
 HEALTH OFFICER: *Robert W. Zehn* DATE: 2-27-86

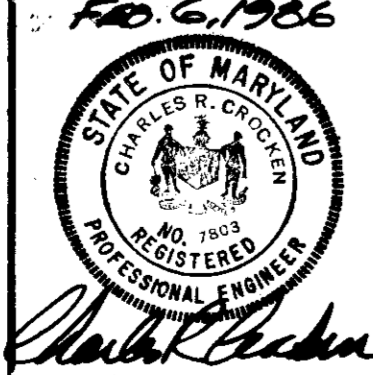
APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 PLANNING DIRECTOR: *Robert W. Zehn* DATE: 2-28-86
 HOWARD COUNTY OFFICE OF PLANNING AND ZONING

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS, AND EROSION CONTROL DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: *Robert W. Zehn* DATE: 2-24-86
 CHIEF BUREAU OF EROSION CONTROL: *Robert W. Zehn* DATE: 2-20-86

| BUILDING # | STREET ADDRESS |
|------------|----------------|
| 1 | AMBERTON DRIVE |

| SUBDIVISION NAME | TOTAL AREA | TOTAL PERIMETER |
|-------------------------|-------------|-----------------|
| ROUTE 100 BUSINESS PARK | 1,125 ACRES | 1,125 FT. |

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 103 ALL EGHENY AVENUE
 TOWSON, MARYLAND 21286
 TEL: 410-282-9120



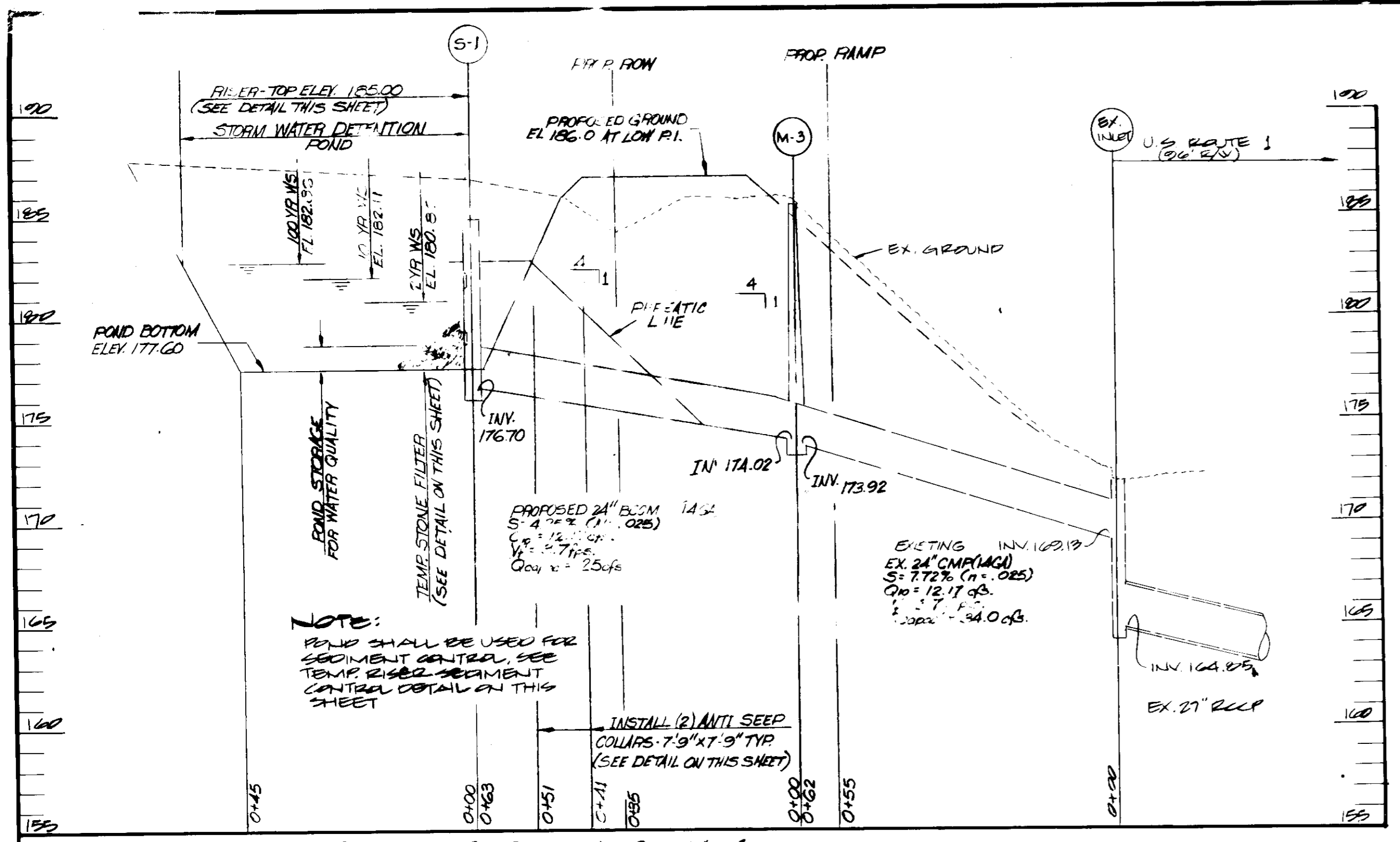
ENGINEER'S CERTIFICATE:
 I CERTIFY THAT THIS PLAN FOR FLOOD CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE POND WITHIN 30 DAYS OF COMPLETION.
 Charles R. Zehn, M.D. 7803 DATE: 2-6-86

OWNER/DEVELOPER:
 VICTALIC COMPANY OF AMERICA
 PO BOX 21
 EASTON, PA 18044-0021

DEVELOPER'S CERTIFICATE:
 I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE IN ACCORDANCE WITH THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF APPROVAL FOR THE CONSTRUCTION OF THE PROJECT FROM THE HOWARD SOIL CONSERVATION DISTRICT. I ALSO AUTHORIZE PERSONS ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT AND THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY DERIVATIVE FROM THIS PLAN WILL NOT BE HELD LIABLE AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE POND WITHIN 30 DAYS OF COMPLETION.
 DATE: 2/6/86

ISSUED: 02/06/86
DESIGNED BY: GWS
CHECKED BY: GWS
DATE: 2/6/86
REVISIONS:
 1. 2/6/86 GWS
 2. 2/6/86 GWS

ISSUING OFFICE: VAREHAUSE
ROUTE 100 BUSINESS PARK
BLOCK 'B' 'B' CELL 'E'
 HOWARD COUNTY, MD
 SCALE: AS SHOWN
 ELECTION DISTRICT #1
 MAT. 6, 1985
 SHEET 2 OF 3



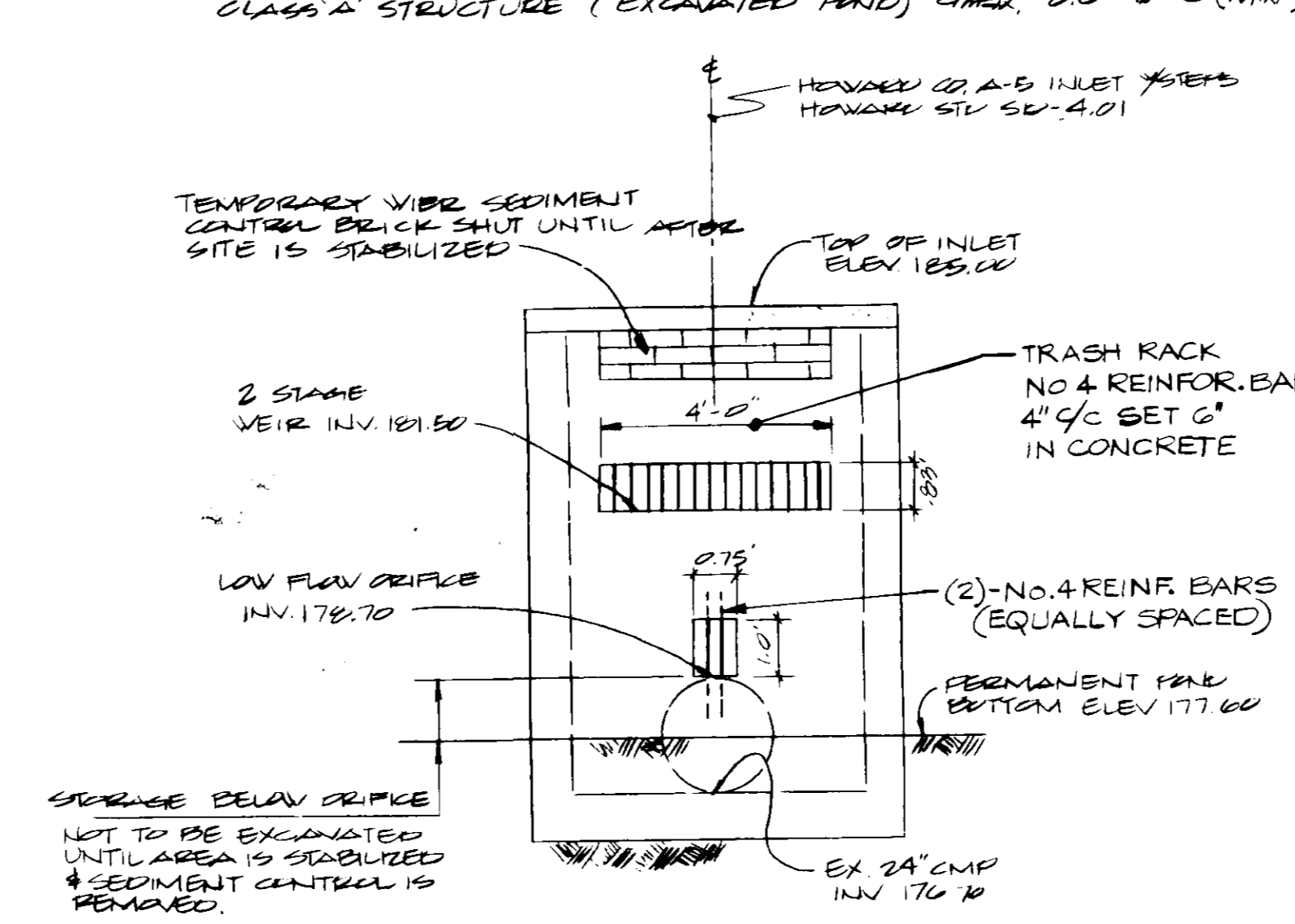
STORM WATER RETENTION POND DATA

| FREQUENCY | RT RUNOFF CFS | FUTURE RUNOFF CFS | FLOW BY CFS | PEAK DISCHARGE CFS | VOLUME STORAGE CU FT | WS ELEV. |
|-----------|---------------|-------------------|-------------|--------------------|----------------------|----------|
| 2YR | 5.06 | 10.44 | 0.80 | 4.62 | 6,170 | 182.50 |
| 10YR | 13.07 | 20.48 | 1.30 | 12.17 | 19,340 | 182.11 |
| 100YR | 29.45 | 31.66 | 1.90 | 28.55 | 16,200 | 182.80 |

CLASS 'A' STRUCTURE (EXCAVATED POND) Dmax. = 8'-0" W'G (MIN)

STORM DRAIN STRUCTURE SCHEDULE

| STRUCTURE | TYPE | INVERT IN | INVERT OUT | TOP ELEV. | REMARKS |
|-----------|------------------------|-----------|------------|-----------|-------------------------|
| S-1 | A-S INLET | - | 176.9 | 185.3 | HOWARD CO. STD. SD-4.01 |
| M-1 | MANHOLE | 183.55 | 183.40 | 191.60 | HOWARD CO. STD. G-5.01 |
| M-2 | MANHOLE | 186.83 | 186.50 | 182.50 | HOWARD CO. STD. G-5.01 |
| M-3 | MANHOLE | 174.02 | 173.92 | 185.50 | HOWARD CO. STD. G-5.01 |
| I-1 | STD. 5" INLET | 187.84 | 187.50 | 191.00 | HOWARD CO. STD. SD-4.22 |
| I-2 | STD. 5" INLET | - | 188.00 | 191.00 | HOWARD CO. STD. SD-4.22 |
| E-1 | 18" C.M.P. END SECTION | - | 182.00 | - | HOWARD CO. STD. SD-4.22 |



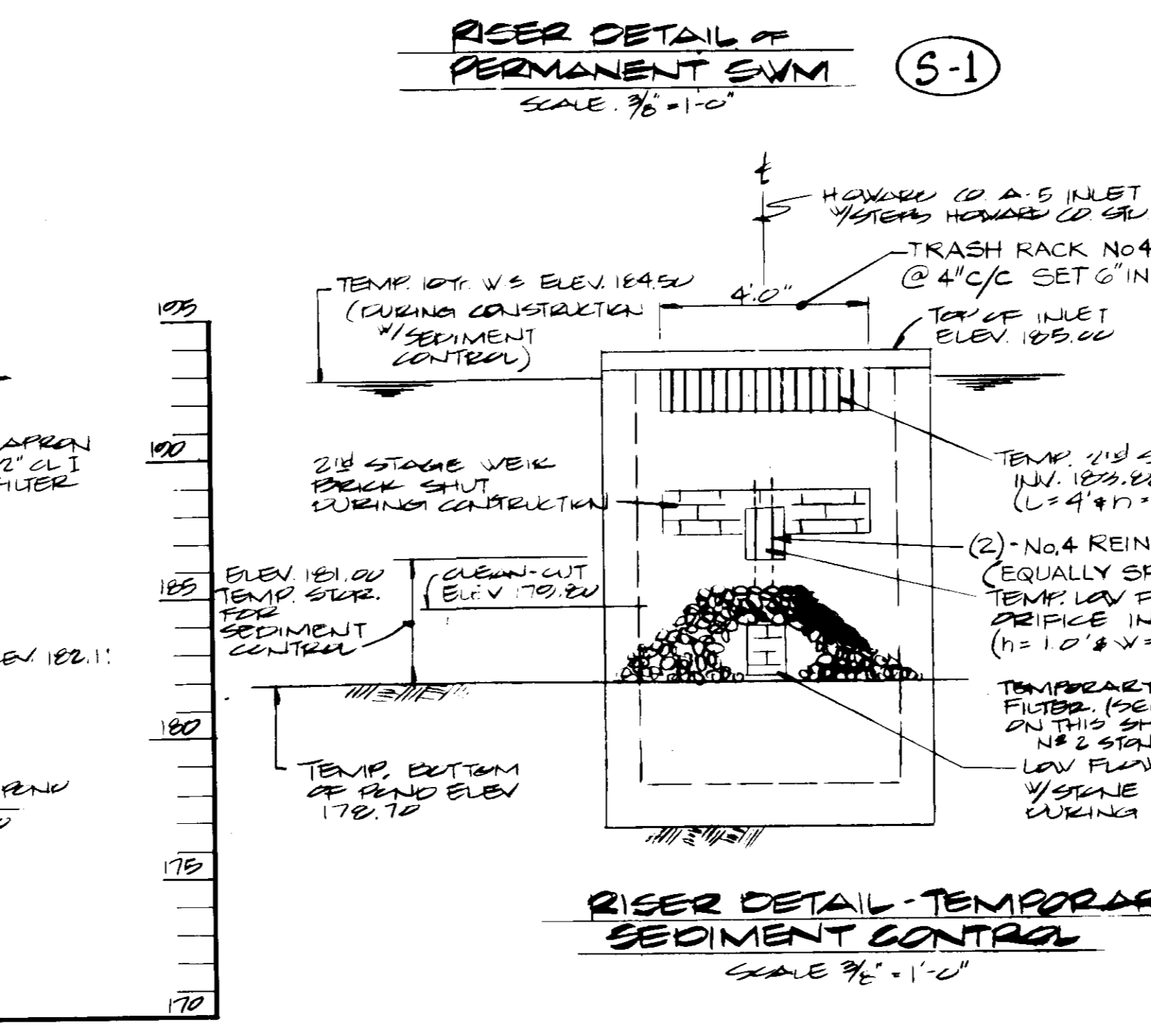
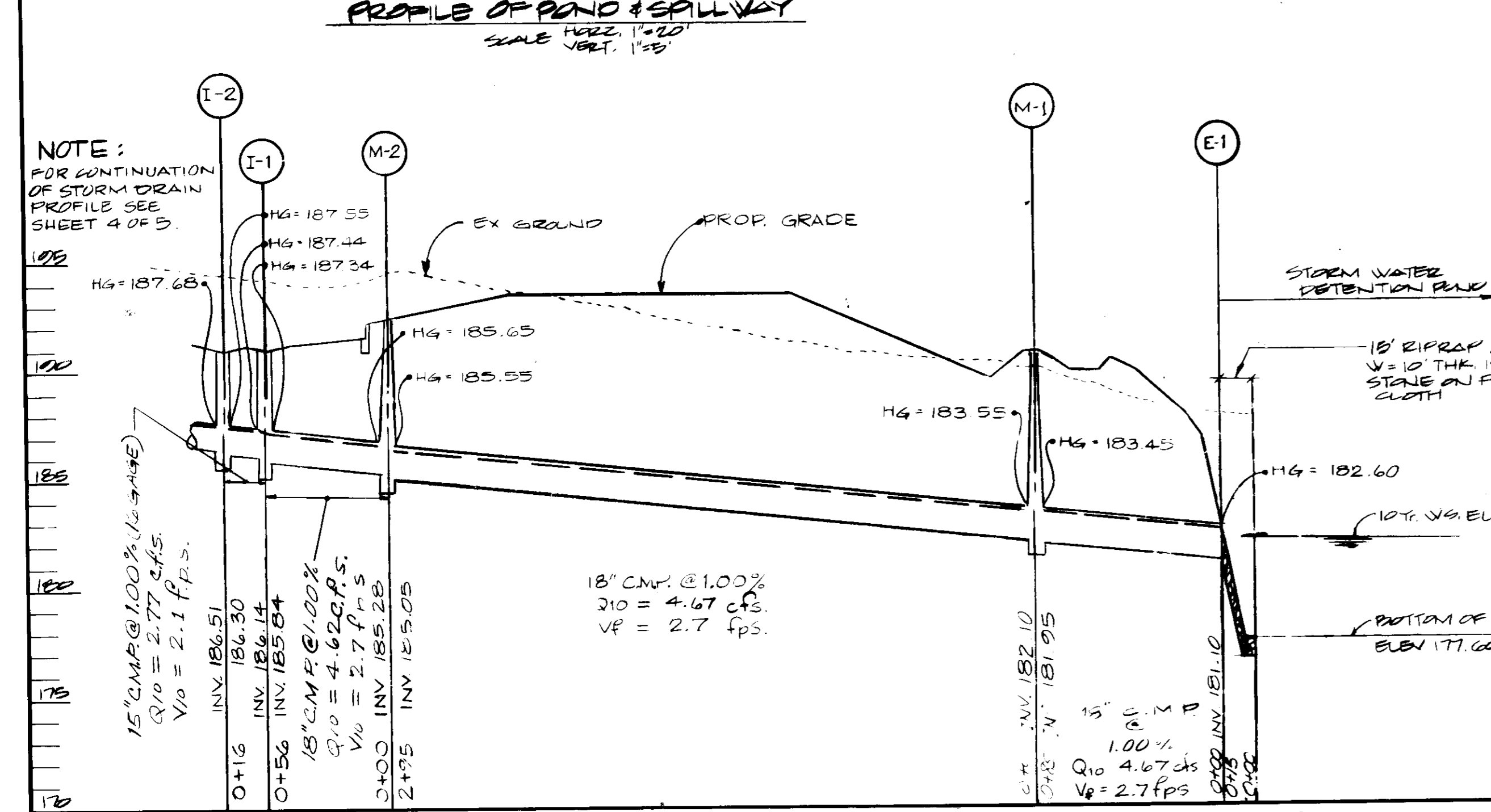
STORMWATER MANAGEMENT MAINTENANCE SCHEDULE

| MAINTENANCE ITEM | 1 | 2 | 3 | 4 | 5 | 6 |
|-----------------------|---|----|---|---|----|---|
| MAINTENANCE FREQUENCY | 8 | 7 | 8 | 7 | 8 | 8 |
| REPAIR DURATION | 9 | 10 | 9 | 9 | 10 | 9 |

- CLEAN OUT SILT
 - CLEAN OUT TRASH
 - CHECK WEIR CLOSING
 - CHECK SLOPE STABILIZATION
 - CUT GRASS
 - CHECK STRUCTURAL INTEGRITY
 - EVERY THREE MONTHS
 - ONE WEEK MAXIMUM
 - TWO DAYS
- * ALL MAINTENANCE, INSPECTION AND REPAIR SHALL BE THE RESPONSIBILITY OF THE OWNER.
- * INSPECT ALL ABOVE ITEMS AFTER EACH MAJOR RAINFALL AND REPAIR IF NECESSARY.

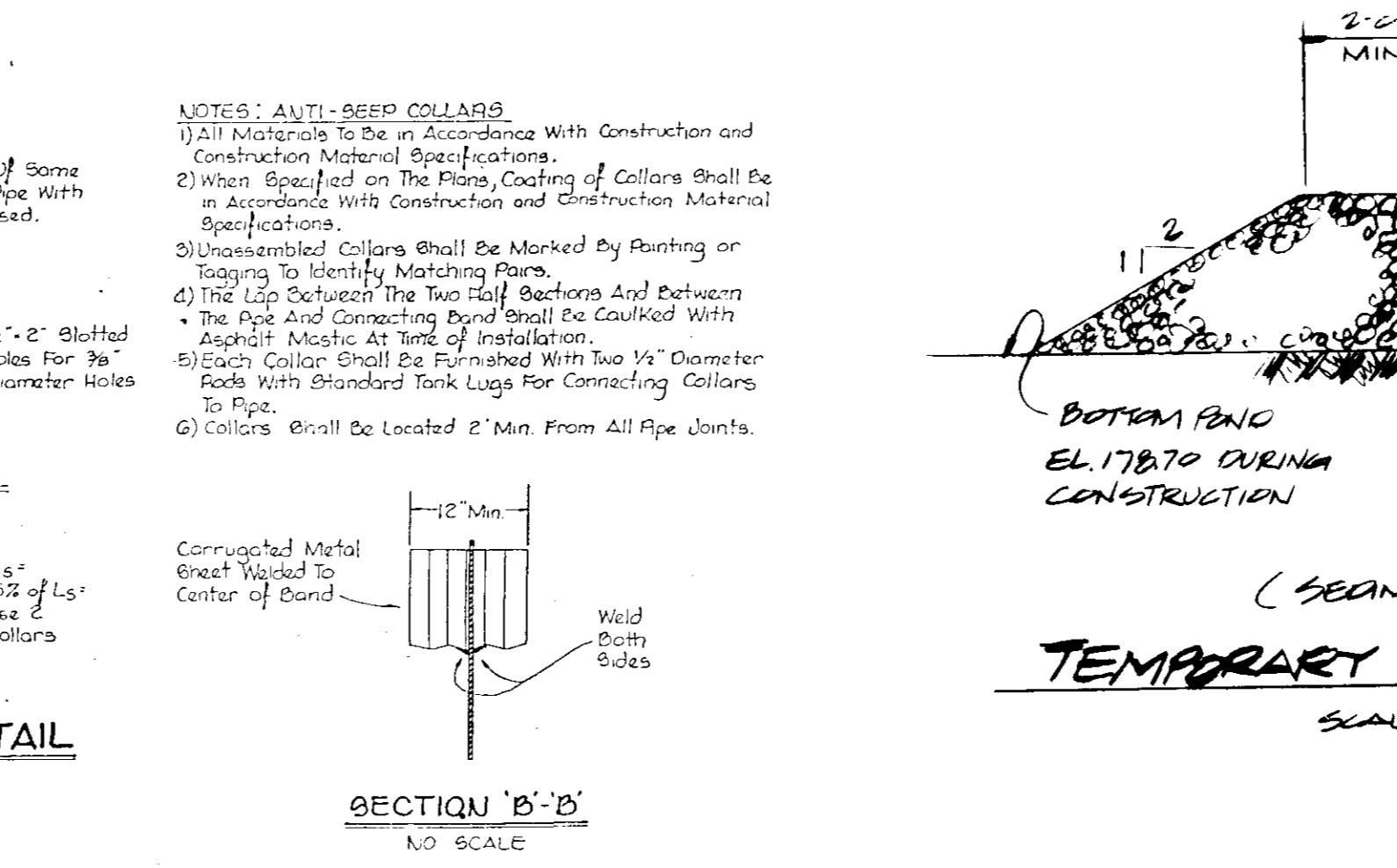
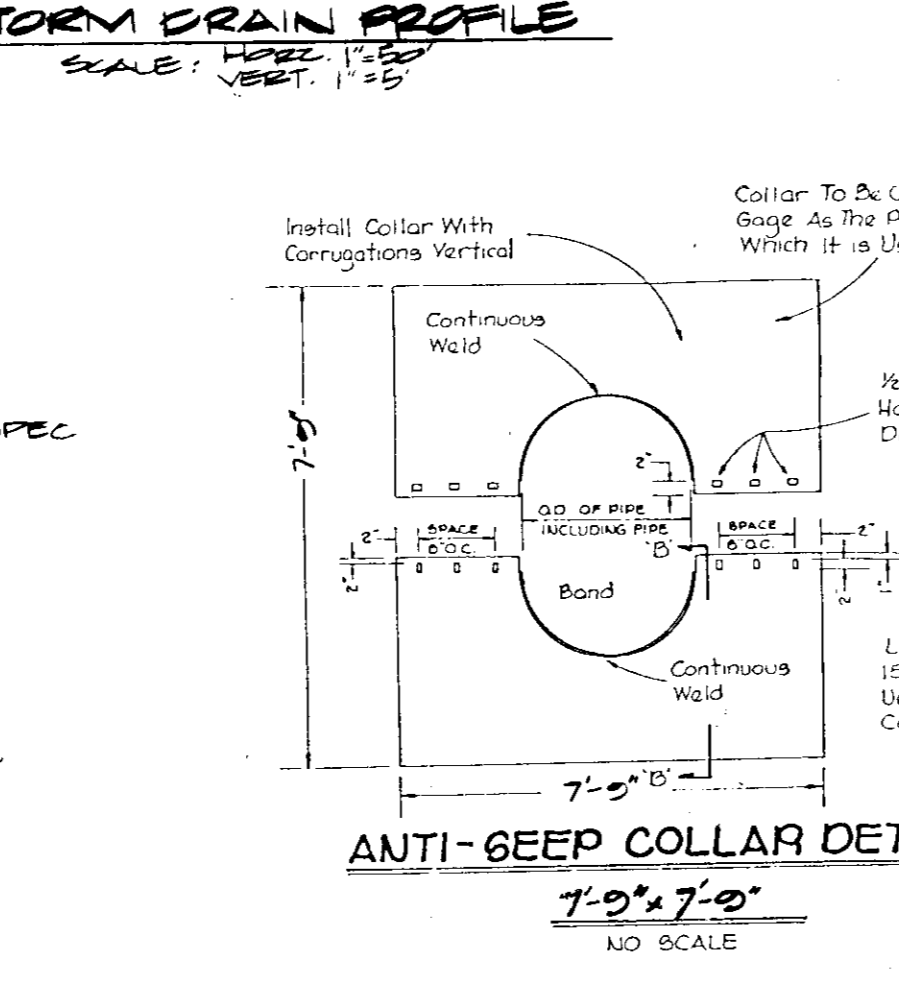
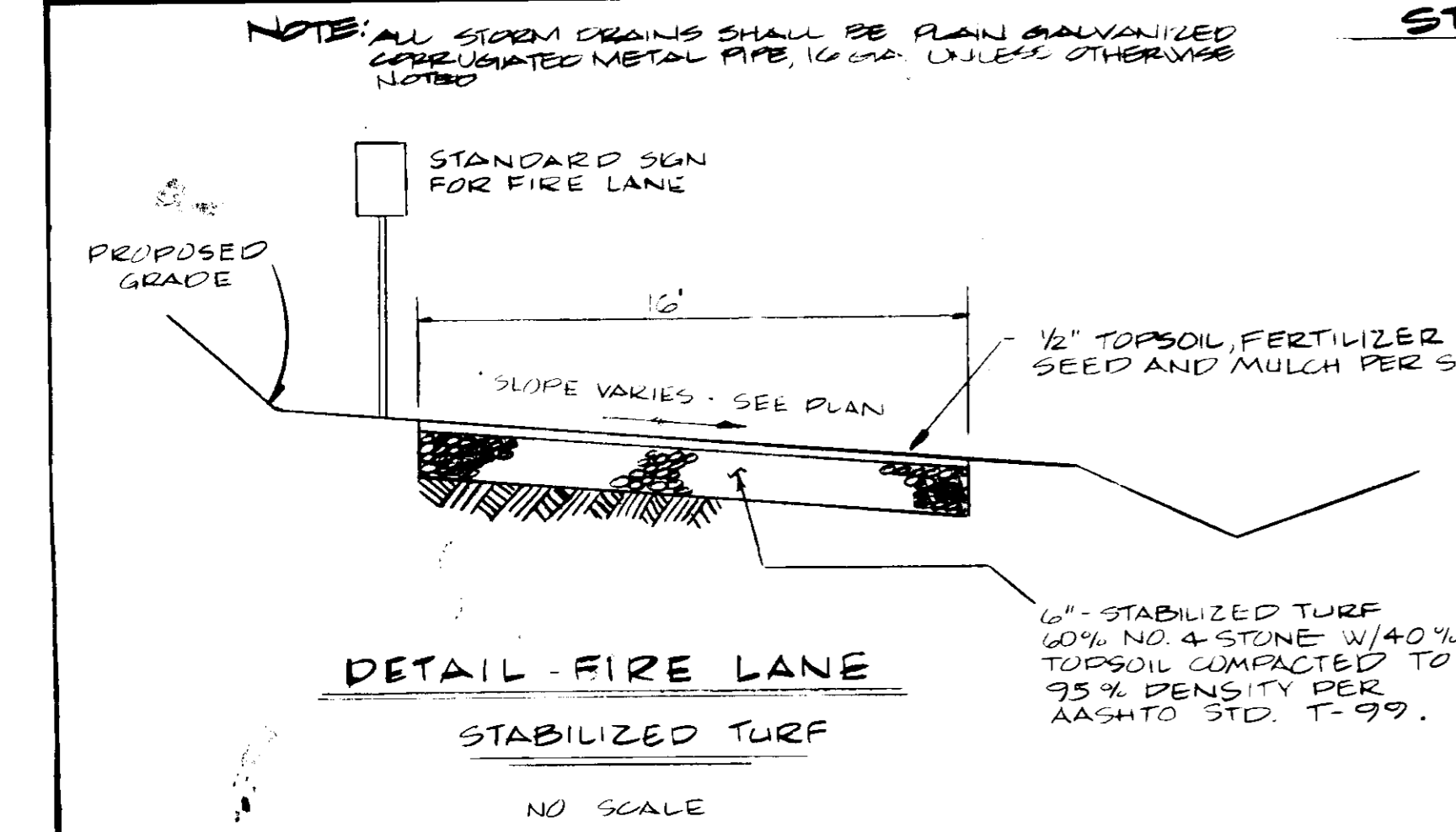
CONSTRUCTION SPECIFICATIONS

- SITE PREPARATION**
The fill area and borrow area shall be cleared and grubbed to remove all trees, vegetation, roots and other objectionable material. The topsoil from the embankment area and borrow area shall be removed and stockpiled. The topsoil shall be applied on the completed fill area.
- EARTH FILL**
A) FILL MATERIAL shall be free from roots, stumps, wood rubbish, oversized stones frozen or other objectionable material. Fill areas shall be constructed to the elevation shown on the plan to allow for anticipated settlement. The topsoil from the embankment area and borrow area shall be placed shall be scarified prior to placement of fill. Fill materials shall be placed in layers 6" thick maximum (before construction) and shall be continuous over the entire length of fill. The most porous material shall be placed in areas no adjacent to ponded water.
B) PLACEMENT: Areas on which fill will be placed shall be scarified prior to placement of fill. Fill materials shall be placed in layers 6" thick maximum (before construction) and shall be continuous over the entire length of fill. The most porous material shall be placed in areas no adjacent to ponded water.
C) COMPACTION: The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift of a concrete of compacted material shall be compacted to the required density. Fill material shall contain sufficient moisture so that the required degree of compaction can be obtained with the equipment used.
- STRUCTURAL BACKFILL**
Backfill material shall be the type and quality specified for the adjoining fill material. The fill shall be placed in horizontal layers 4" thick maximum and compacted by hand tamping or manually directed power tampers or plate vibrators. At no time during backfilling operations shall driven equipment be allowed to operate any closer than four feet measured horizontally to any part of a structure. Under no circumstances shall the contractor drive equipment over any part of a concrete structure or pipe unless there is a compacted fill of 24" or greater over the structure or pipe. Materials shall fill completely all spaces under and adjacent to newly installed pipe.
- CONCRETE**
Concrete shall meet the minimum requirements set forth in the Maryland State Highway Administration "Specifications for Construction and Materials" January 1982 Section 216.06 - "Portland Cement Concrete Mixture", Mix No. 3 Reinforcing steel shall be A.S.T.M. A 615, Grade 60.
- STABILIZATION**
The storm water management facility will be stabilized with "Permanent Slope Seeding" as follows:
After spreading 4" topsoil seed with a mixture of 30% inoculated crown vetch and 70% Kentucky 31 tall fescue applied at a rate of 60 lbs./Ac. 10-20-20 fertilizer shall be applied at a rate of 25 lbs./1000 square feet lime at a rate of 92 lbs./1000 square feet mulch area with unweathered small grain straw at a rate of 1.5 TONS/acre with rapid curing agents (R.C.-70, R.C.-150 or R.C.-800) at a rate of 0.1 gal. S.T.
- PIPE CONDUIT**
Stormwater 24" C.M.P. (4) shall be used. Provide watertight connections. All pipe and pipe placement shall meet applicable Howard County Requirements as outlined in Howard County's latest edition of "Standard Specifications and Details for Construction".
- PIPE JOINTS**
NIPAFI 1405 or equivalent shall be used.
- COMPACTED METAL PIPE (PROPOSED)**
All proposed compacted metal pipe shall be galvanized and fully bismuthous coated and shall conform to the requirements of MSSTD Spec. M-300 with watertight coupling bands.
- All work and materials shall be in accordance with SCS spec. Md. 228.



- Obtain grading permit.
- Install stabilized construction entrance.
- Install S.W.M. Pond with temporary riser arrangement and stone filter for sediment control.
- Clear and grade for temporary perimeter sediment control facilities.
- Install earth dikes, straw bales and silt fences.
- Rough grade site to subgrade.
- Install storm drains (with inlet protection) and utilities.
- Final grade site.
- Install stone base for all pavement and building areas and stabilize all remaining disturbed area except S.W.M. Pond.
- After obtaining permission from sediment control inspector, convert S.W.M. Pond from temporary sediment basin to permanent pond per conversion sequence on plans.
- After obtaining permission from sediment control inspector, remove remaining temporary sediment control devices and stabilize balance of disturbed area.

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE: 11-15-85
M. J. JAMES



APPROVED HOWARD SOIL CONSERVATION DISTRICT
DATE: 2-18-86
JAMES M. WILSON

APPROVED HOWARD SOIL CONSERVATION DISTRICT
DATE: 2-18-86
Robert W. Zehner

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
303 ALLEGHENY AVENUE
TOWSON, MARYLAND 21204
(301) 825-8120

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE POND WITHIN 30 DAYS OF COMPLETION.
Charles R. Lechen
DATE: 2-6-86

OWNER/DEVELOPER
VICTALIC COMPANY OF AMERICA
P.O. BOX 31
EASTON, PA 18044-0031

DEVELOPER'S CERTIFICATE
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERSONS ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OF THESE AUTHORIZED AGENTS AS AND PREPARED NECESSARY PERMITS FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE POND WITHIN 30 DAYS OF COMPLETION.
MAYOR J. JAMES
DATE: 2/6/86

REVISIONS
REVISION NO. DATE BY
1 2/6/86 JWS
2 2/6/86 JWS

APPROVED OFFICE & WAREHOUSE
ROUTE 100 BUSINESS PARK
BLACK'S BARCEL
HOWARD COUNTY, MD
SCALE: AS SHOWN
ELECTION DISTRICT #1
MAP G, 1005
SHEET 3 OF 9
SDP-85-214

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

- 1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 500 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
- 2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

Seeding: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 50 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (0.5 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 50 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2 1/8 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 3/4 gal per acre (8 gal/1000 sq ft) for anchoring.

Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding.

Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).

Seeding: For the periods March 1 thru April 30 and from August 15 thru November 15, seed with 25 bushels per acre of annual rye (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (0.7 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2 1/8 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 3/4 gal per acre (8 gal/1000 sq ft) for anchoring.

Refer to the 1983 HARTLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

ADDITIONAL SITE DATA:

Proposed Building by Uses: (1 story building) 21,600 s.f.
Warehouse = 18000 s.f.
Office/Sales = 2000 s.f.
Demo. Area = 1600 s.f.
Total Coverage = 21,600 s.f.

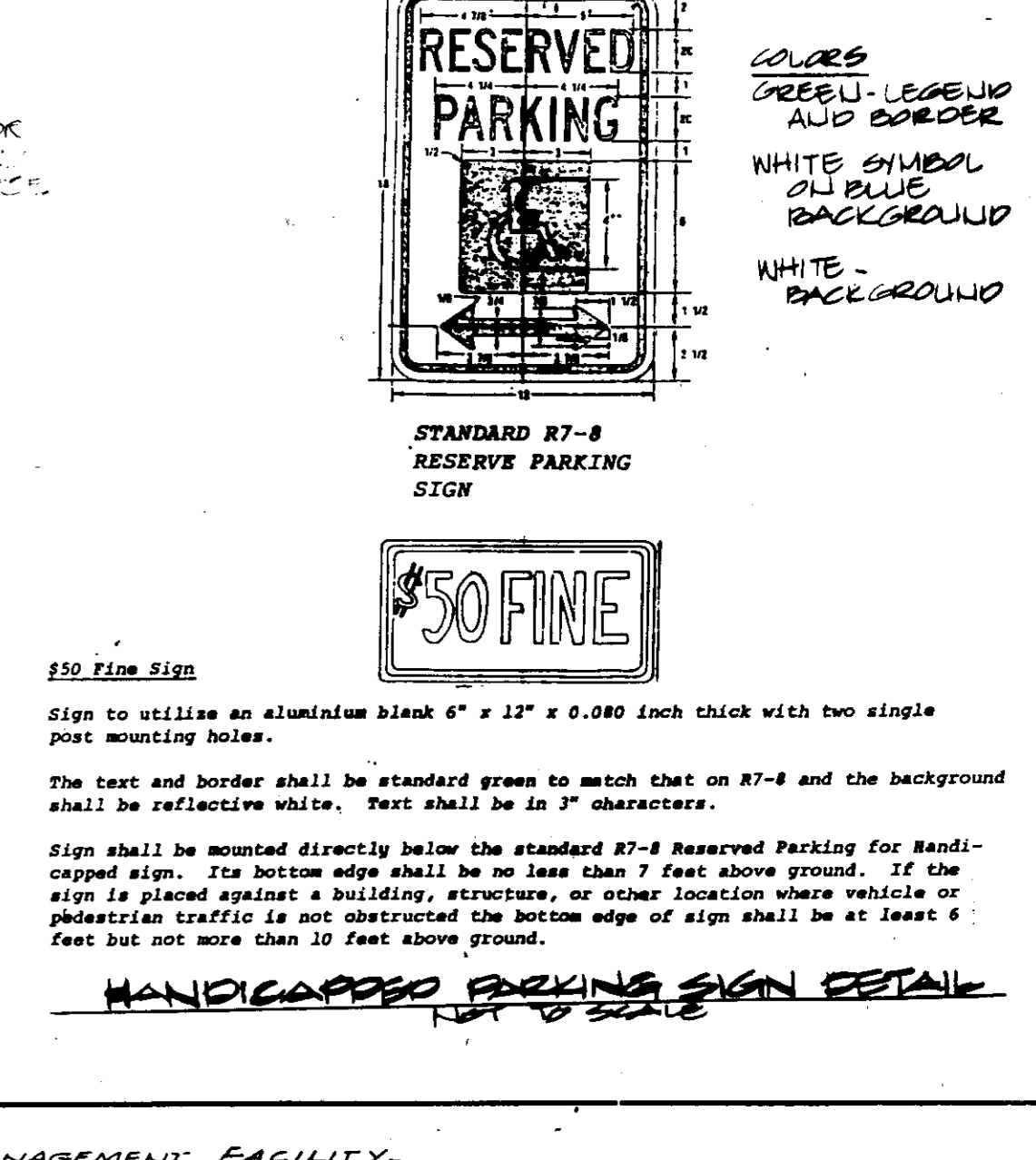
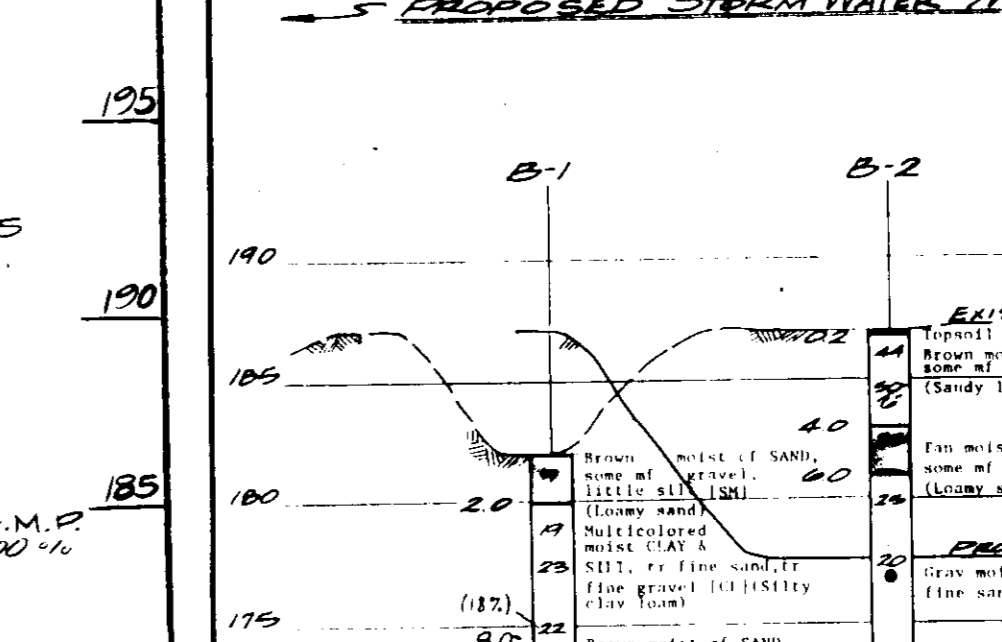
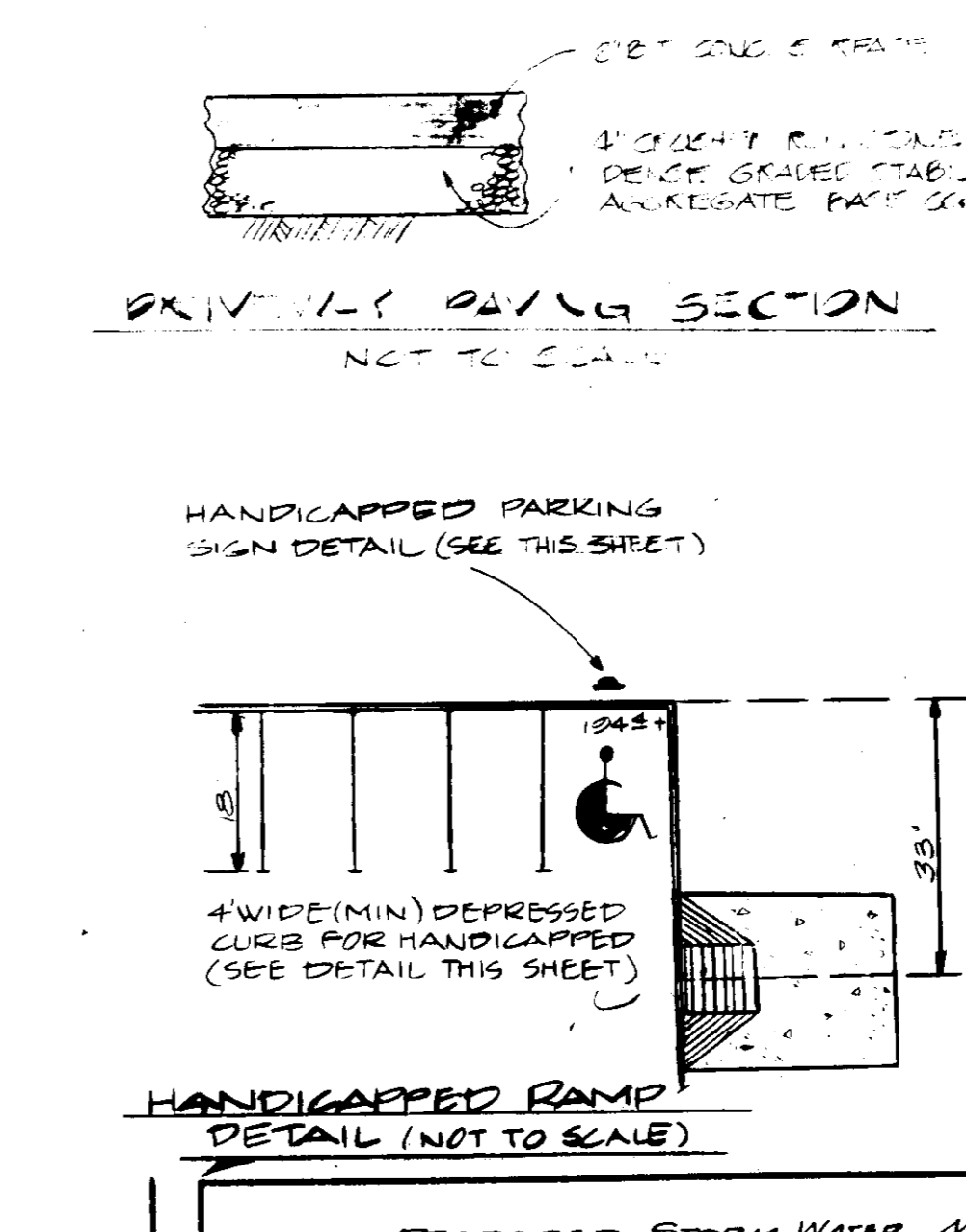
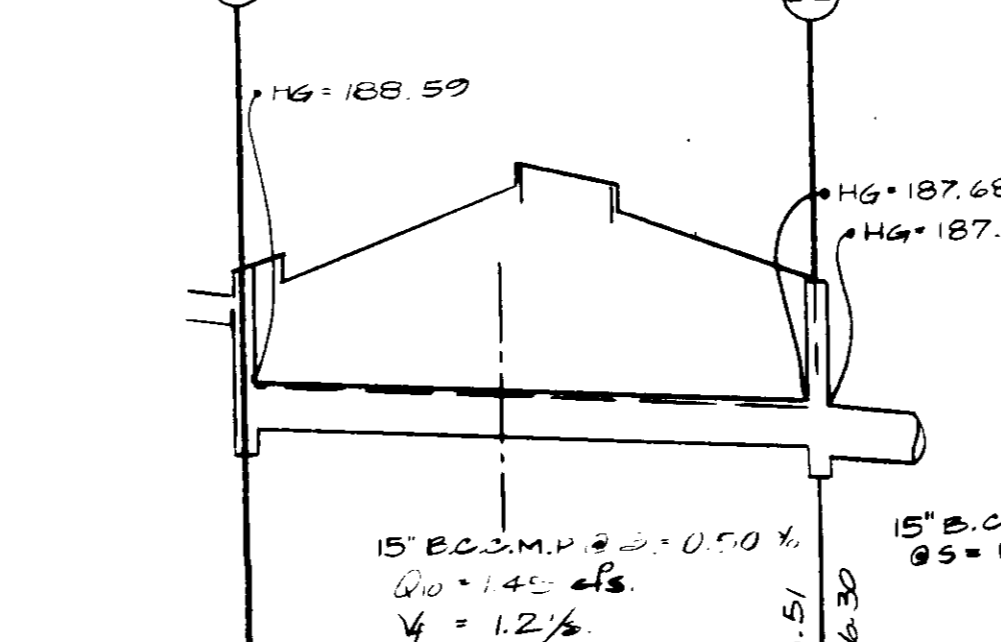
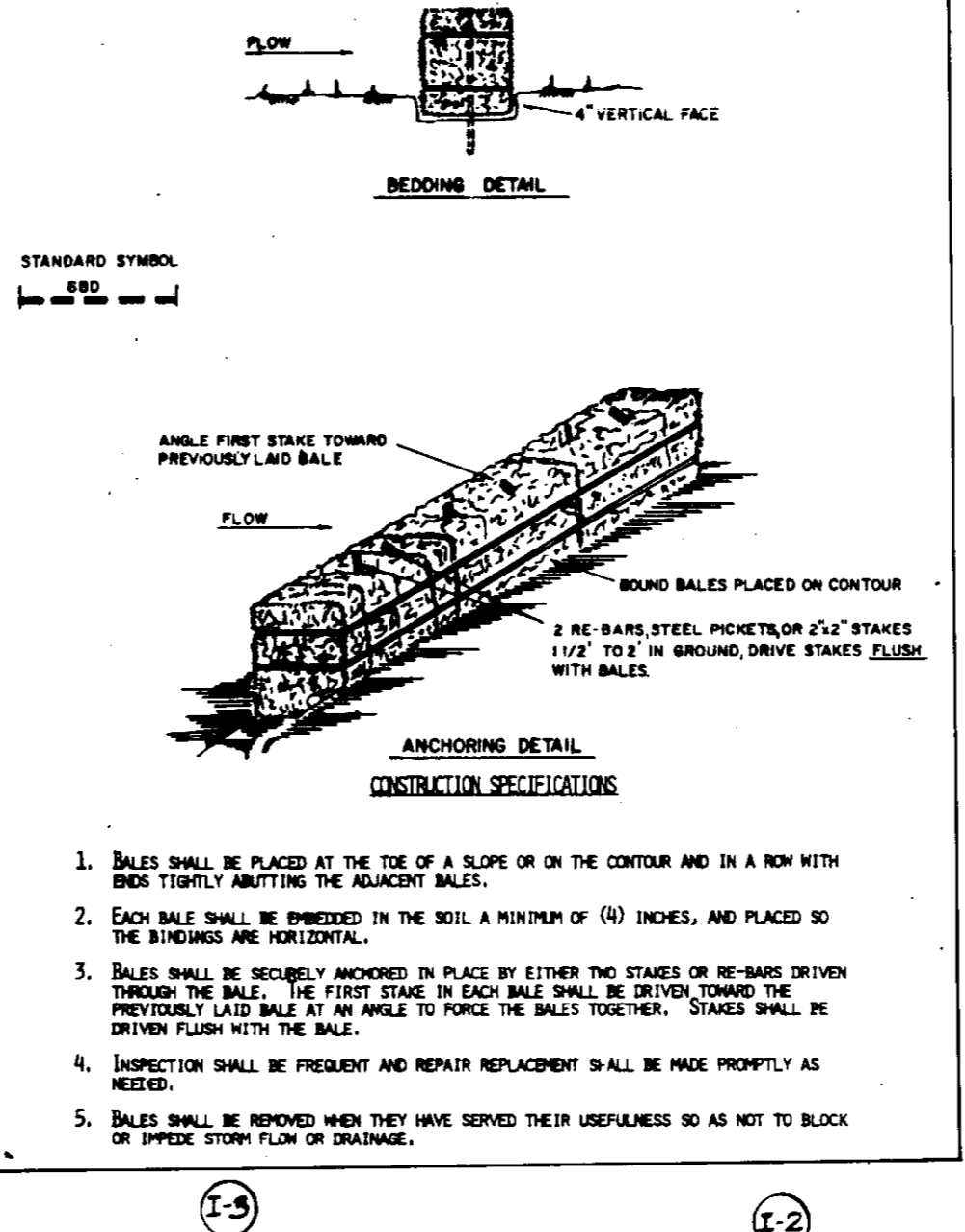
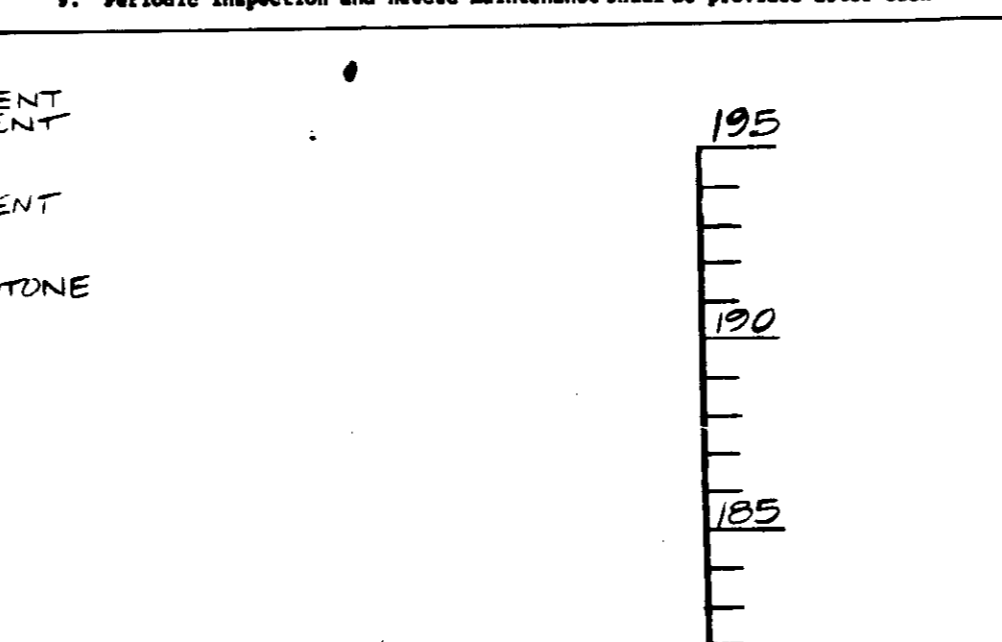
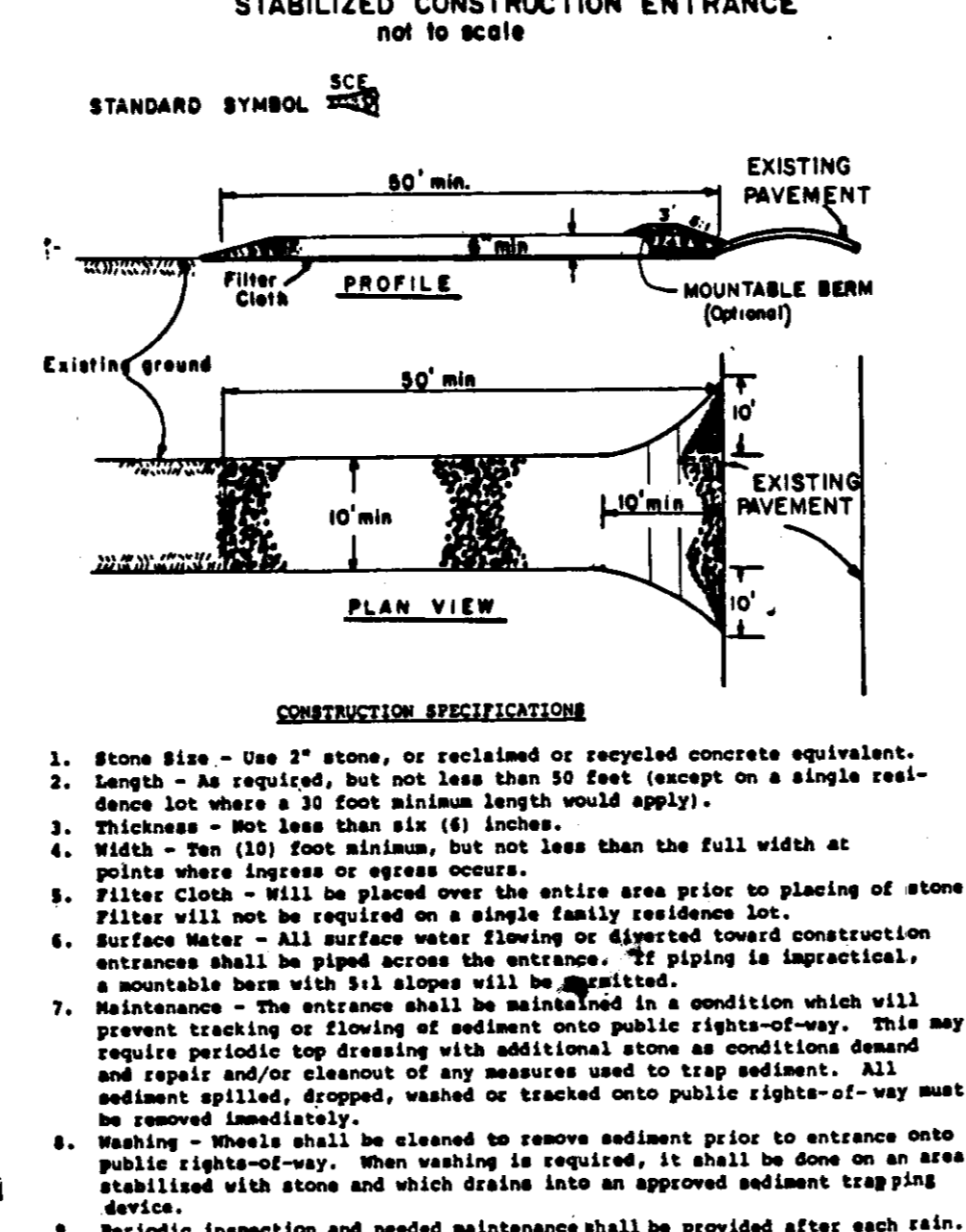
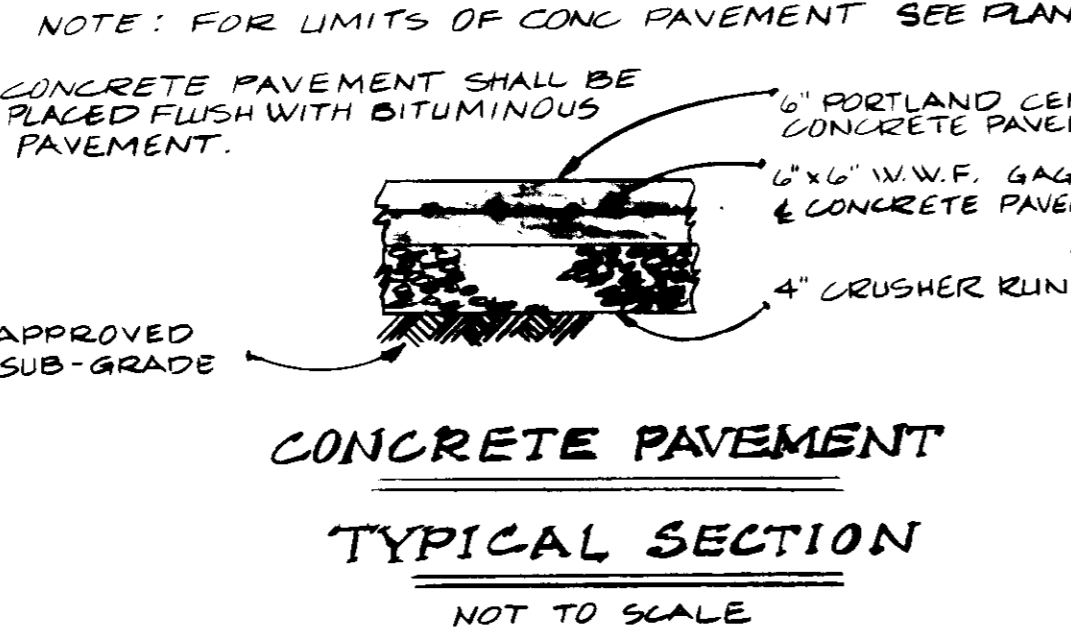
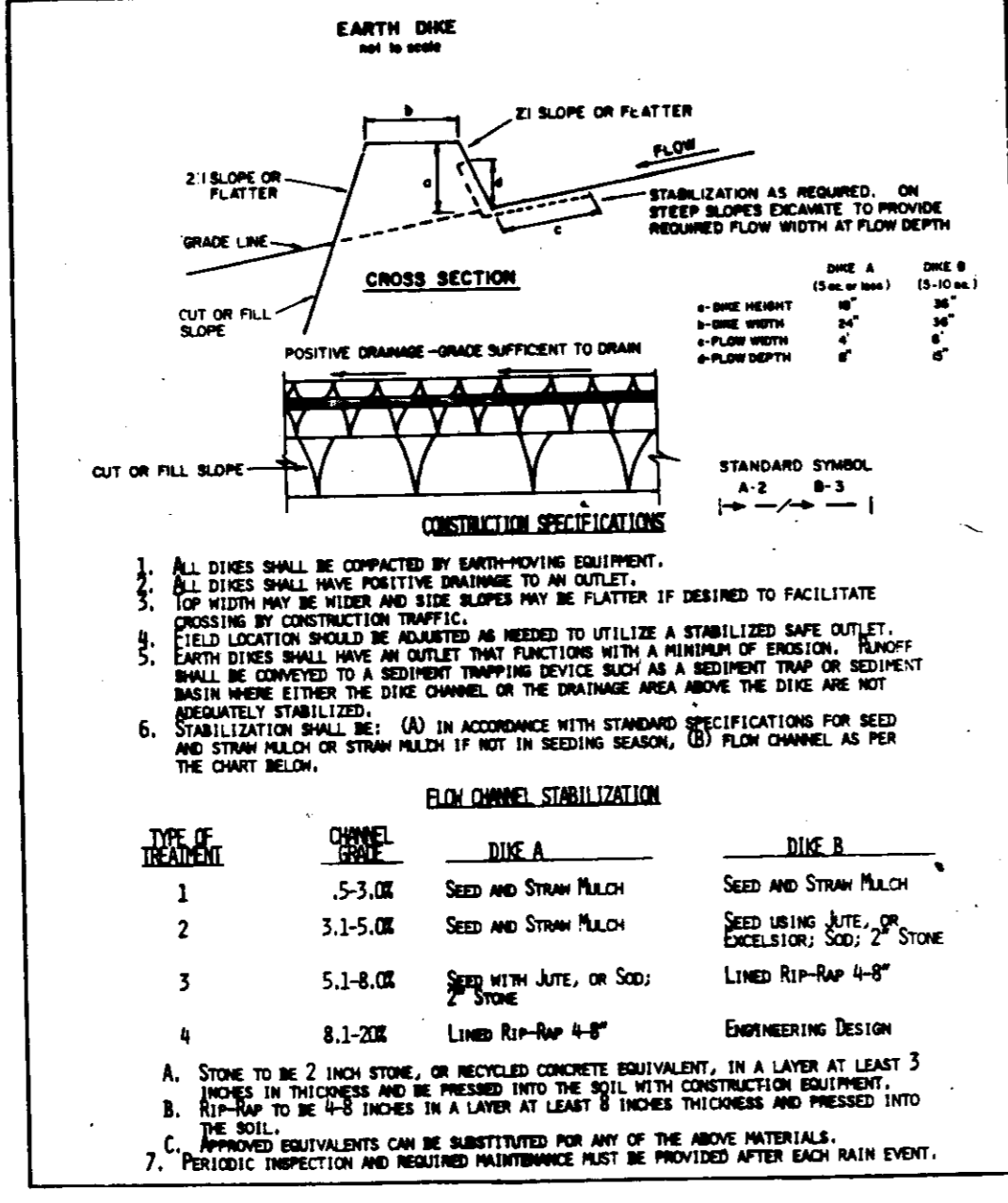
Percent Coverage = 21,600/119,016 = 18.15%

Seeding Requirements: (Based on 7 spaces/10 employees)

- Warehouse = 21 Spaces
- Offices = 9 Spaces
- Garage = 6 Spaces
- Auto = 1 Space
- Truck = 1 Space
- Trailer = 1 Space
- Handicap = 1 Space
- Total = 33 Spaces

Seeding Required: (Sales Meeting) = 3847 Spaces/10 Emp. = 385 Spaces
Seeding Required (Demonstration) = 7 & 7 Spaces/10 Emp. = 7 Spaces
Seeding Required (Demo) = 4 Spaces (DEMO)

Seeding Provided: = 18 P.S. + 1 H.C. Space = 19 Spaces
Seeding Provided = 18 P.S. + 1 H.C. Space = 19 Spaces
Area Green Space = 596 s.f. or 10.5%



FLUX CHANNEL STABILIZATION

| TYPE OF CHANNEL | CHANNEL SIZE | DIKE A | DIKE B |
|-----------------|--------------|-----------------------------------|---|
| 1 | 5-15.00 | SEED AND STRAW MULCH | SEED AND STRAW MULCH |
| 2 | 5-15.00 | SEED AND STRAW MULCH | SEED USING ATE, OR EXCELLENT SOIL, 2" STONE |
| 3 | 5-15.00 | SEED WITH JUTE, OR SOIL, 2" STONE | LINED RIP-RAP 4-8" |
| 4 | 8-12.00 | LINED RIP-RAP 4-8" | ENGINEERING DESIGN |

A. Stone to be 2 inch stone, or recycled concrete equivalent, in a layer at least 3 inches in thickness and be placed into the soil with construction equipment.

B. Rip-rap to be 4-8 inches in a layer at least 3 inches thickness and placed into the soil.

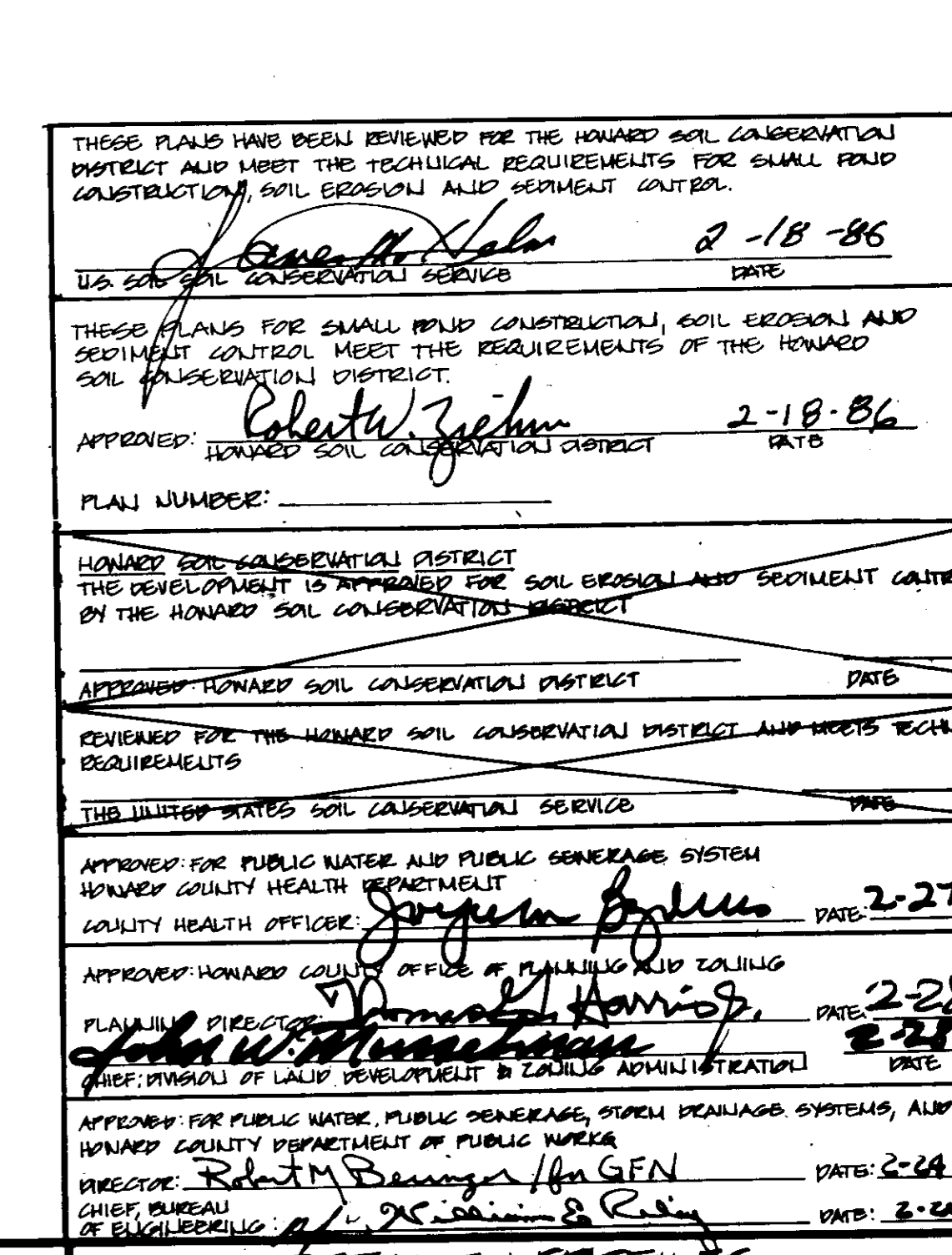
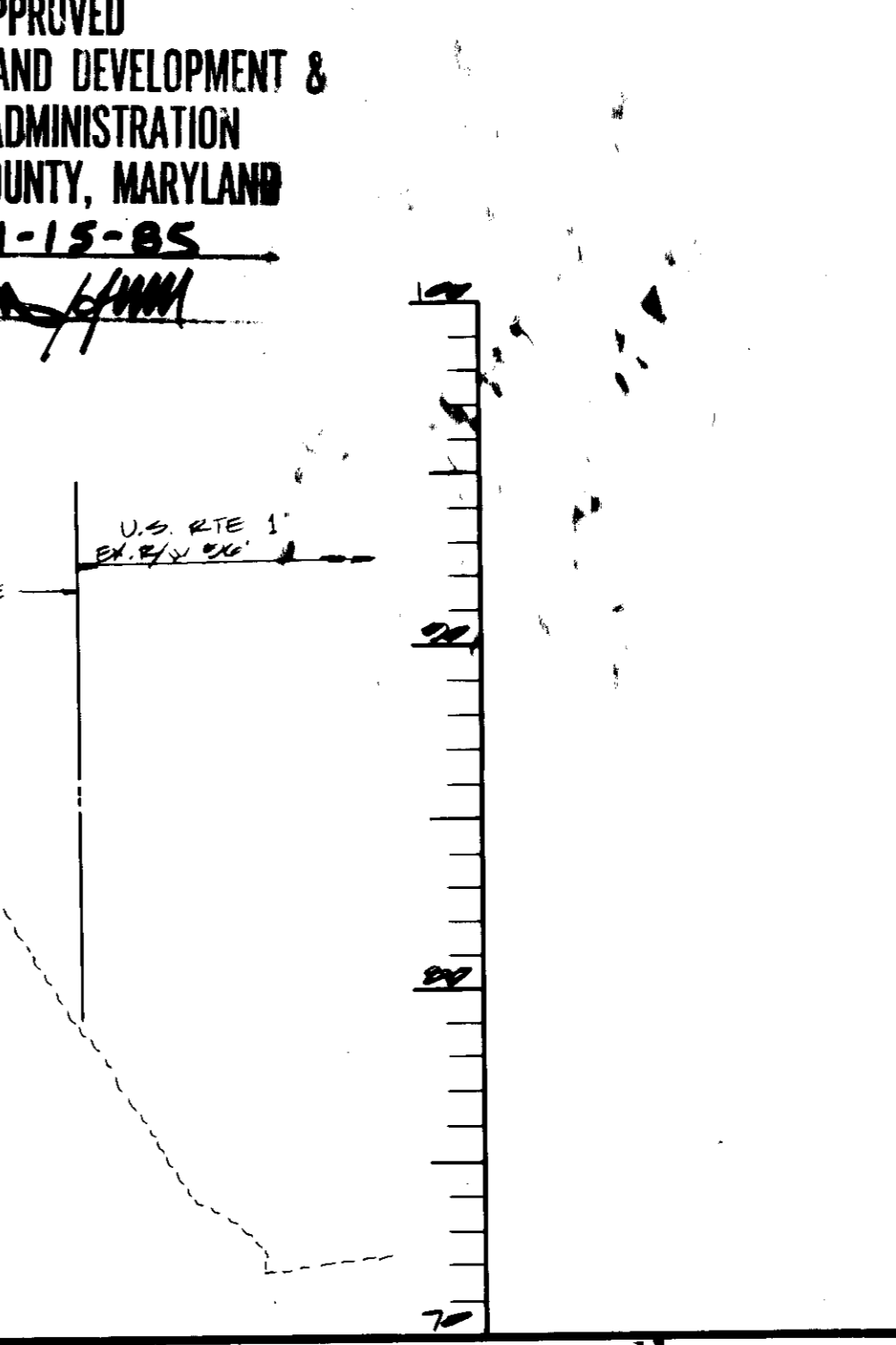
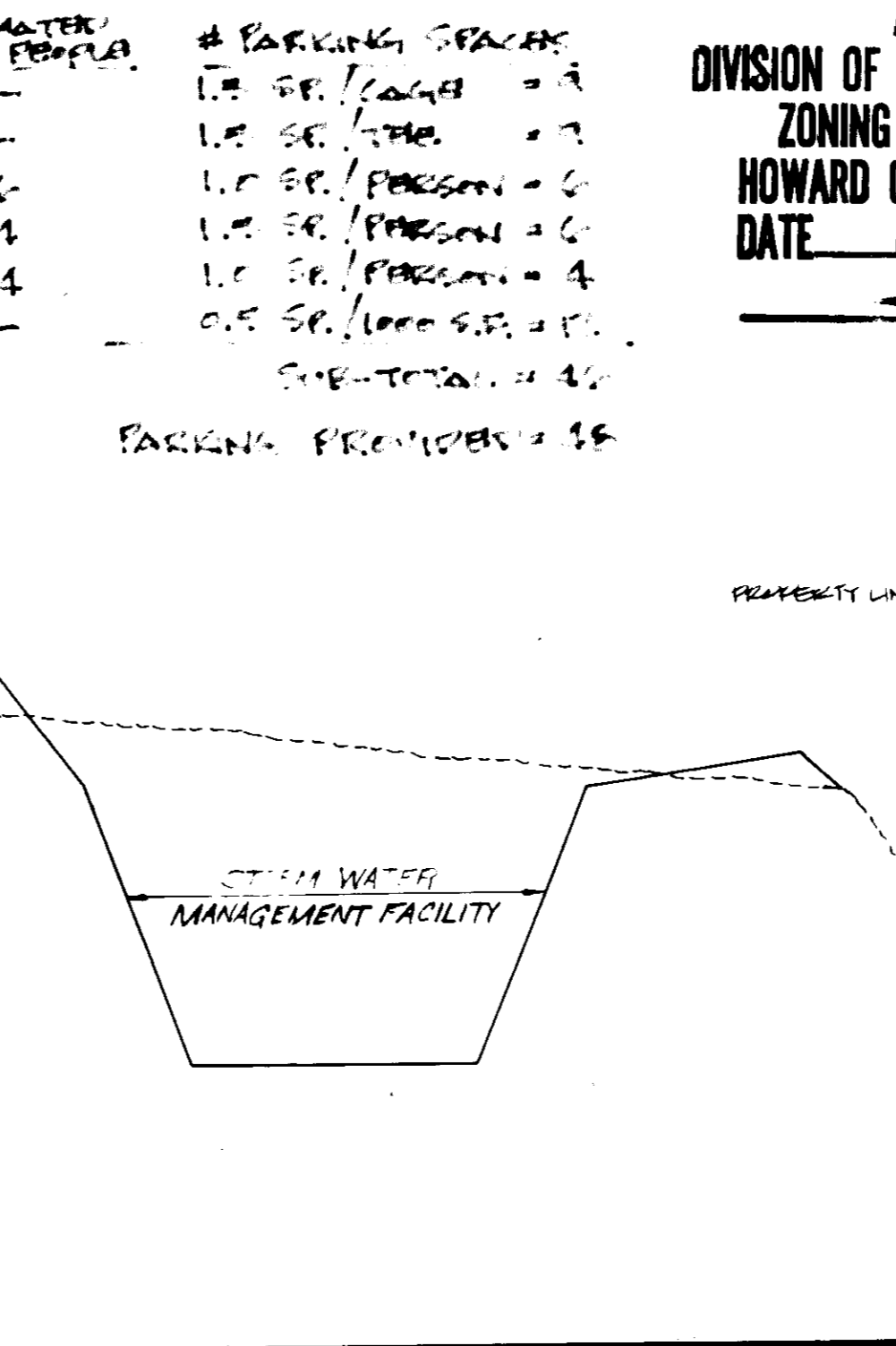
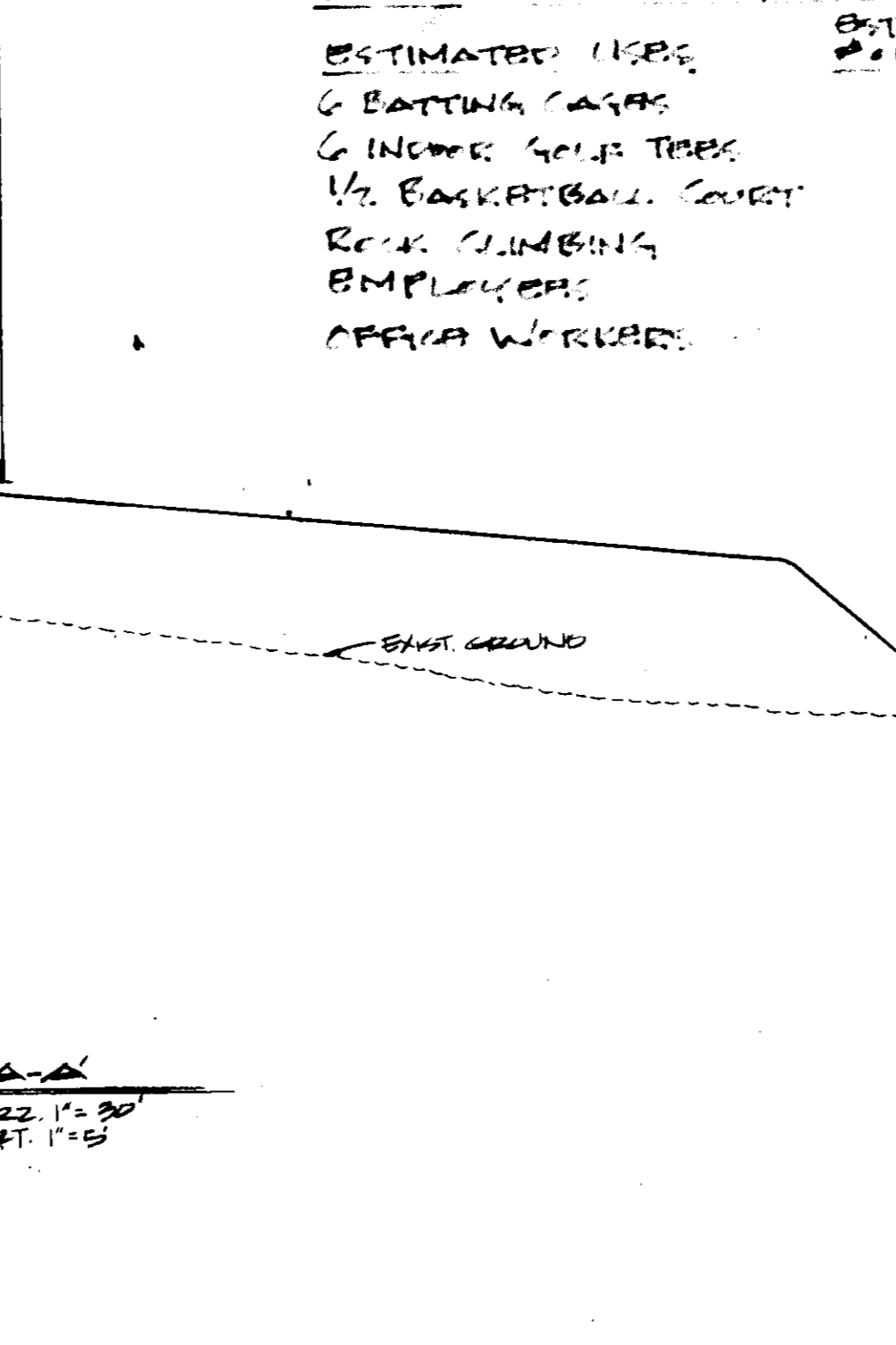
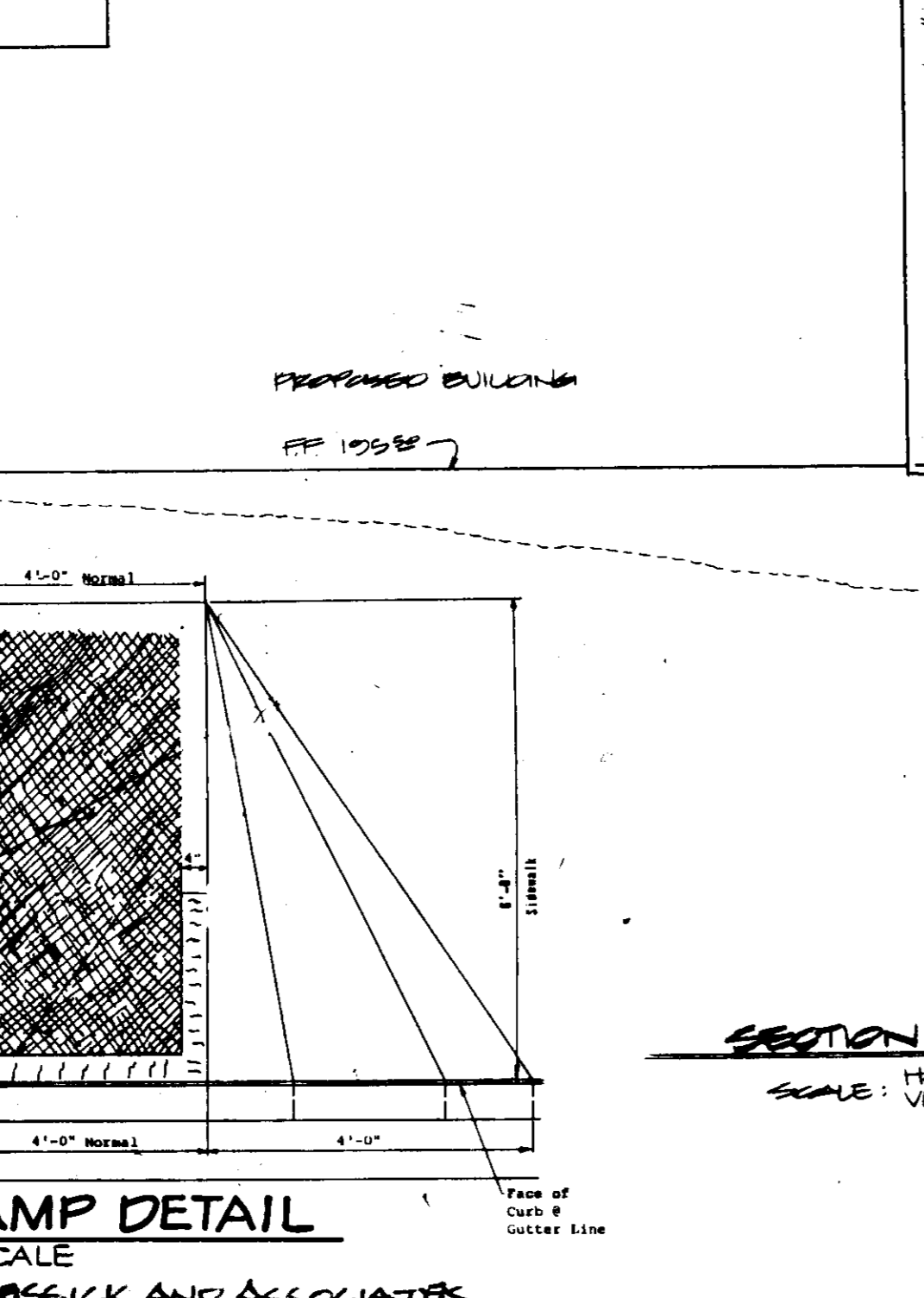
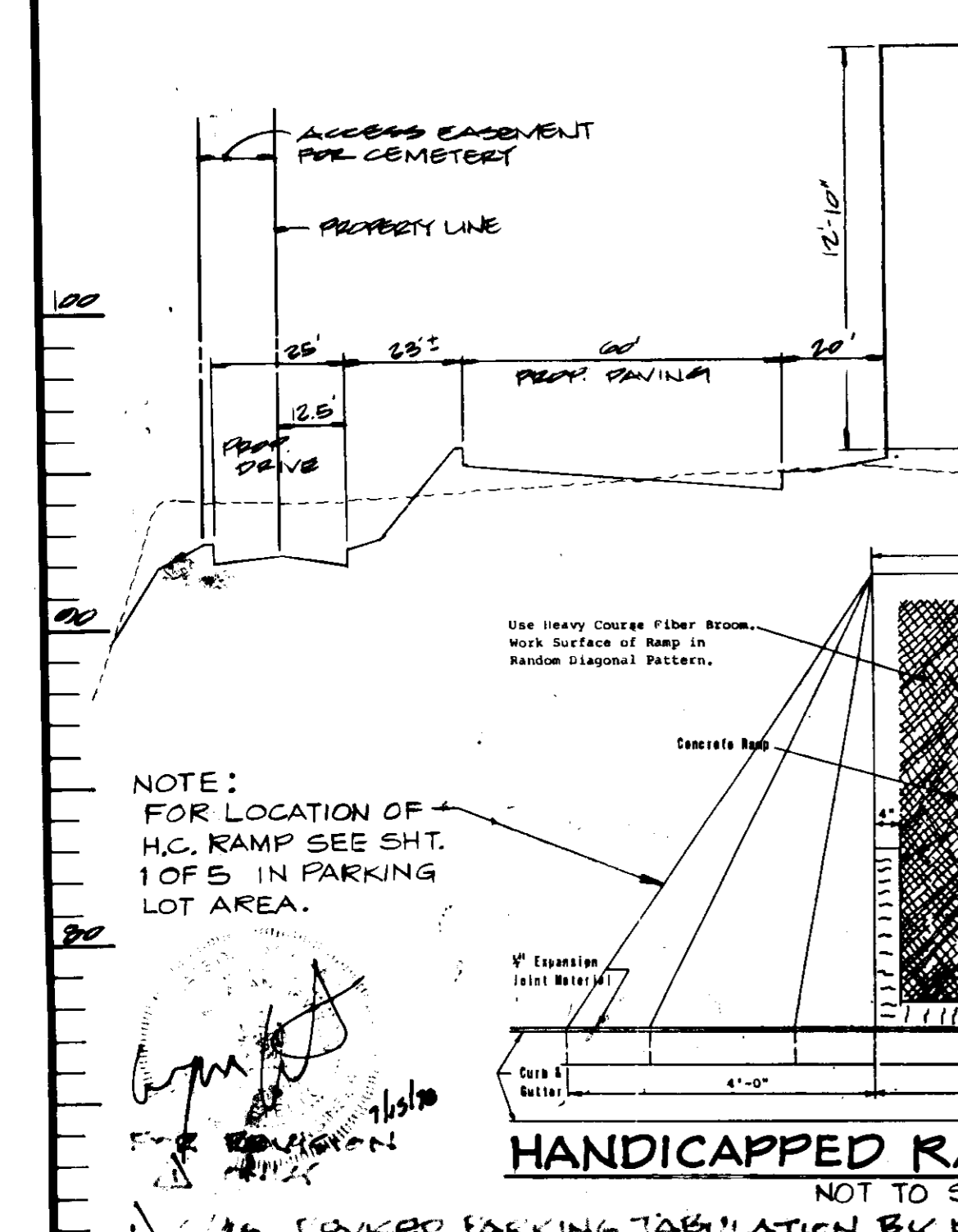
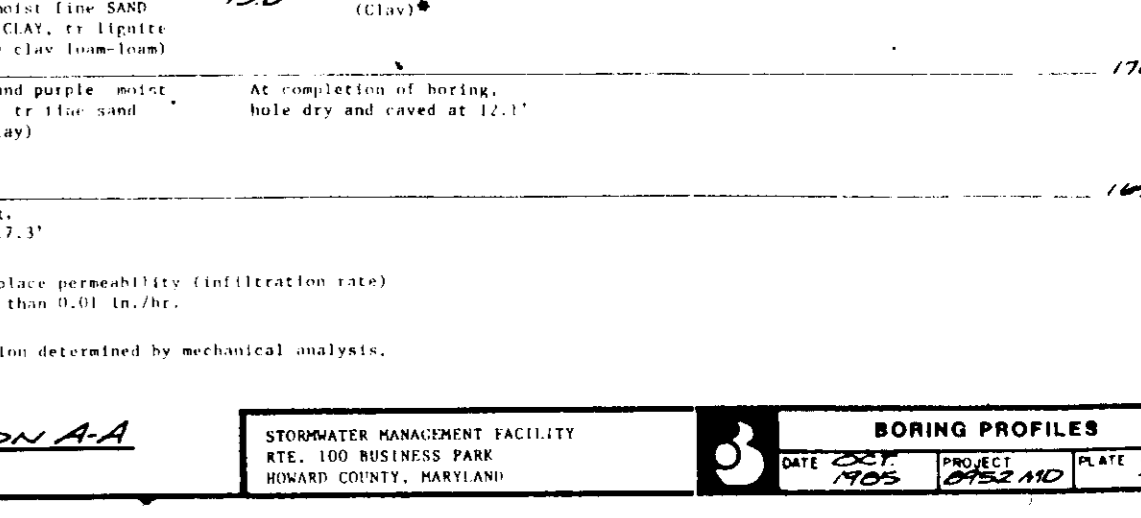
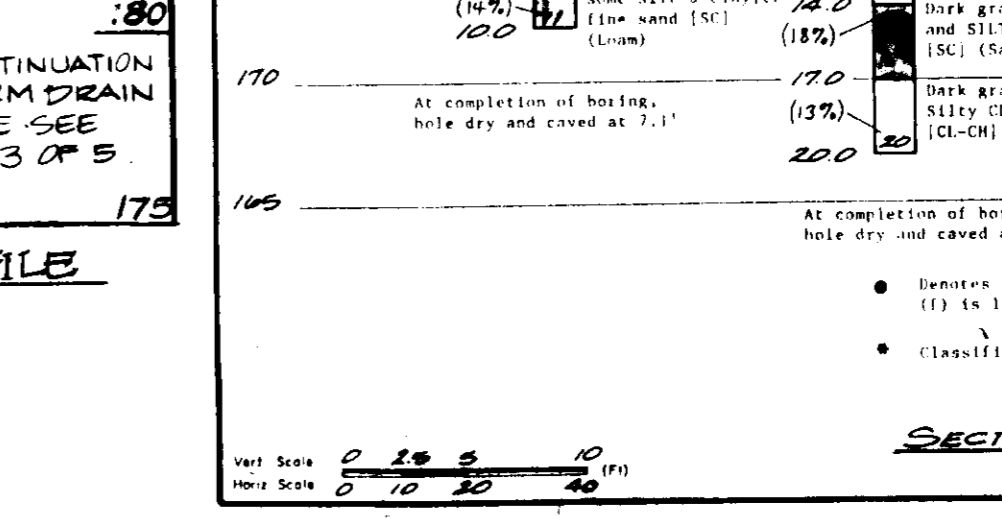
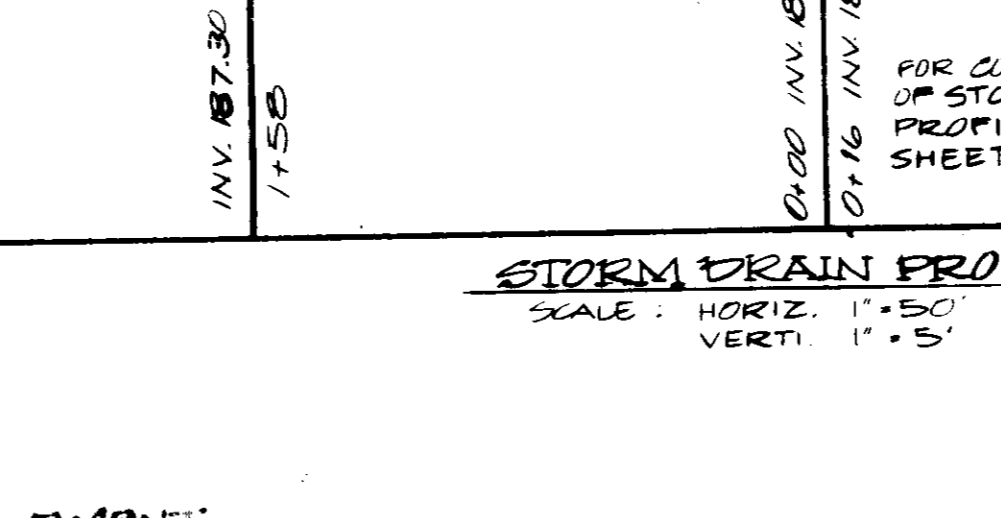
C. Approved equivalents can be substituted for any of the above materials.

D. Periodic inspection and needed maintenance must be provided after each rain event.

PARKING SPACE ESTIMATION

| ESTIMATED USES | ESTIMATED # OF PEOPLE | # PARKING SPACES |
|----------------------|-----------------------|-----------------------|
| 6 BATTING CAGES | - | 1.0 SP./CAGE = 6 |
| 6 INDOOR GOLF TEES | - | 1.0 SP./TEE = 6 |
| 1/2 BASKETBALL COURT | 6 | 1.0 SP./PERSON = 6 |
| REAR CLIMBERS | 4 | 1.0 SP./PERSON = 4 |
| EMPLOYEES | 4 | 1.0 SP./PERSON = 4 |
| OFFICE WORKERS | - | 0.5 SP./1000 S.F. = 1 |

TOTAL = 23 SPACES



GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
303 ALLEGHENY AVENUE
TOWSON, MARYLAND 21204
(301)825-8120

ENGINEER'S CERTIFICATE:
I CERTIFY THAT THIS PLAN FOR ROAD CONSTRUCTION, EROSION AND SEDIMENT CONTROL, REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HANOVER SOIL CONSERVATION DISTRICT. THAT HE MUST PROVIDE THE HANOVER SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE ROAD WITHIN 30 DAYS OF COMPLETION.

THOMAS R. COCKRILL, M.D. 1983 2-6-86
ENGINEER

OWNER/DEVELOPER
VICTALIC COMPANY OF AMERICA
P.O. BOX 21
BASTON, PA. 19044-0021

DEVELOPER'S CERTIFICATE:
I CERTIFY THAT ALL REQUIREMENTS AND CONSTRUCTION WILL BE MADE ACCORDING TO THESE PLANS AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A PORT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT CONTROL. I HAVE ALSO AUTHORIZED PERSONNEL TO SIGN INSPECTION REPORTS FOR THE HANOVER SOIL CONSERVATION DISTRICT. THESE AUTHORIZED AGENTS ARE PROVIDED NECESSARY DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HANOVER SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HANOVER SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE ROAD WITHIN 30 DAYS OF COMPLETION.

WILLIAM J. HANCOCK, JR.
DATE: 11-15-85

REVISIONS:
1. 11-15-85
2. 11-15-85

DESIGNED BY:
DRAWN BY:
CHECKED BY:
DATE:

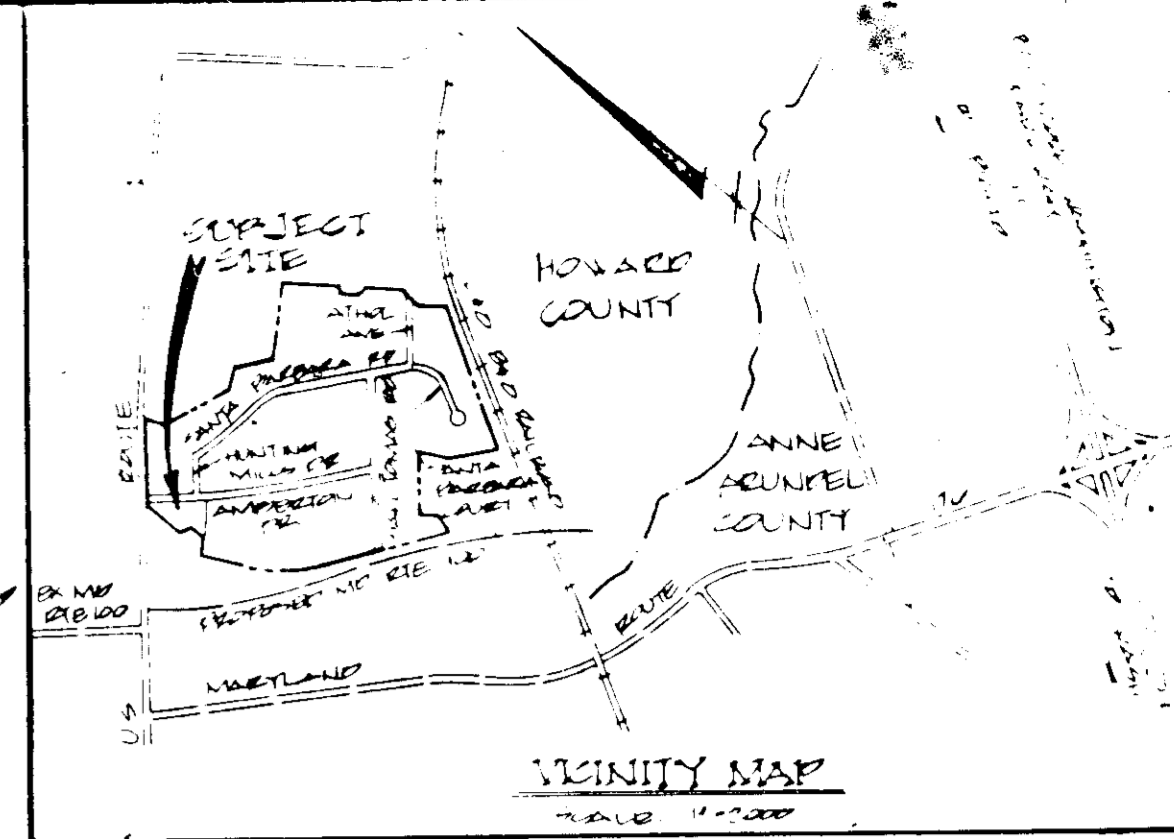
DETAILS & PROFILES

PROPOSED OFFICE & WAREHOUSE
ROUTE 100 BUSINESS PARK
BLOCK B, PARCEL F

HANOVER COUNTY, MD
SCALE: AS SHOWN

ELECTION DISTRICT #1
MAY 6, 1985
SHEET 4 OF 5

TOP SOIL DEPTH SECTION
 1.0' TO 2.0'
 2.0' TO 4.0'
 4.0' TO 6.0'
 6.0' TO 8.0'
 8.0' TO 10.0'



- EXISTING GRADE
- PROPOSED GRADE
- EX CURB AND GUTTER
- PROP CURB AND GUTTER
- NO OF PARKING SPACES
- TOTAL PARKING SPACES
- PROP DRIVE
- PROPOSED WATER
- EXISTING WATER
- PROP STORM DRAIN
- EX STORM DRAIN
- PROP SANITARY SEWER
- EX SANITARY SEWER
- EX ELECTRIC (UNDERGROUND)
- EX GAS LINE
- PROP PAVING

APPROVED
 DIVISION OF LAND DEVELOPMENT &
 ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 11-15-85
 [Signature]

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

APPROVED [Signature] 2-18-86
 HOWARD SOIL CONSERVATION DISTRICT

THESE PLANS FOR SMALL POND CONSTRUCTION SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED [Signature] 2-18-86
 HOWARD SOIL CONSERVATION DISTRICT

PLAN NUMBER: _____

HOWARD SOIL CONSERVATION DISTRICT
 THE DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED HOWARD SOIL CONSERVATION DISTRICT [Signature]

REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS [Signature]

THE UNITED STATES SOIL CONSERVATION SERVICE [Signature]

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEM
 HOWARD COUNTY HEALTH DEPARTMENT
 QUALITY HEALTH OFFICE [Signature] DATE 2-27-86

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 PLANNING DIRECTOR [Signature] DATE 2-28-86
 CLERK [Signature] DATE 2-28-86

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE, OPEN SPACE, SWIMMING AND GOLF
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 PRESIDENT [Signature] / GEN [Signature] DATE 2-29-86
 CHIEF, BUREAU [Signature] DATE 2-29-86

ADDRESS: _____
 BUILDING # _____ STREET ADDRESS _____
 PARCEL # 2200 AMBERTON DRIVE

SUBDIVISION NAME: _____
 SECTION: _____
 LOT: _____
 DATE: _____
 WATER: _____

PLANT LIST

| KEY # | BOTANICAL NAME | COMMON NAME | SIZE/COOD. | SPACING |
|-------|----------------------------------|--------------------|--------------|-----------|
| AC | Acer rubrum 'Red Sunset' | Red Maple | 2-2 1/2"/800 | 30'x6' |
| CC | Cercis canadensis | Eastern Redbud | 1 1/2-2"/800 | 12'x6' |
| CF | Cornus florida | Flowering Dogwood | 1 1/2-2"/800 | 12'x6' |
| FS | Forsythia europaea | Trailing Forsythia | 3'x4' | 4'x6' |
| JS | Juniperus chinensis 'Sargent' | Sargent Juniper | 12-15" | 10'x6' |
| EP | Euonymus alatus | Coidon Rain Tree | 1 1/2-2"/800 | 30'x6' |
| HA | Halesia 'Radiant' | Radiant Crabapple | 2 1/2-3"/800 | 30'x6' |
| PJ | Pieris japonica 'Barth's Hybrid' | Andromeda | 15-18" | 4'x6' |
| PE | Prunus subhirtella 'Autumnalis' | Autumn Snow Cherry | 2-2 1/2"/800 | 18-18'x6' |
| PS | Pinus strobus | White Pine | 6-8"/800 | 18-18'x6' |
| TR | Taxus canadensis 'Robinsoniana' | Wavering Yew | 24-30" | 4.5'x6' |
| VR | Vaccinium corymbosum | Periwinkle | Flats | 12'x6' |
| YF | Yucca filamentosa | Adam's needle | 2 gal. cont. | 3.5'x6' |
| ZS | Zelkova serrata | Japanese Zelkova | 2-2 1/2"/800 | 22'x6' |

EXISTING TREES TO BE RETAINED
 Existing 4" to 8" White Pines are indicated thus: [Symbol]
 Existing deciduous trees are indicated thus: [Symbol] and labeled as to size and type.

PARKING LOT NOTE:
 Area Parking Lot - 22.4120
 Area Islands - 1878.8 or 837%

20% TO ONE HUNDRED BUSINESS CASES
 BLOCK 'B' PARCELS
 PLAT SHOW 20 PAUD 79

NOTE: FOR PARKING LOT STRIPING
 SEE SHEET 1.

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 1711 ALL ESHENY AVENUE
 WASHINGTON, D.C. 20004
 425-8121

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 [Signature]

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL IS A TECHNICAL AND NECESSARY PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A COPY OF THIS PLAN WITHIN 30 DAYS OF THE DATE OF THIS CERTIFICATE.

[Signature] No. 1803 2-6-86

WILLIAM F. KIRWIN, INC.
 28 E. Sassaquinna Ave. Suite 2
 Towson MD 21284
 LANDSCAPE ARCHITECTURE/LAND PLANNING

DEVELOPER'S CERTIFICATE
 I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THIS CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE MYSELF OR MY AGENTS AS NEEDED TO OBTAIN NECESSARY PERMITS FROM THE HOWARD SOIL CONSERVATION DISTRICT. THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A COPY OF THIS PLAN WITHIN 30 DAYS OF COMPLETION OF THIS PLAN.

[Signature] DATE 2/6/86

DESIGNED BY: [Signature]
 CHECKED BY: [Signature]
 DATE: 2-28-86

PLANTING PLAN
VICTAULIC
 Ho. Co., MD. RT 100 BUSINESS PARK
 SCALE 1" = 30'
 SHEET 5 OF 5 MAY 14 1985
 SDP-85-214