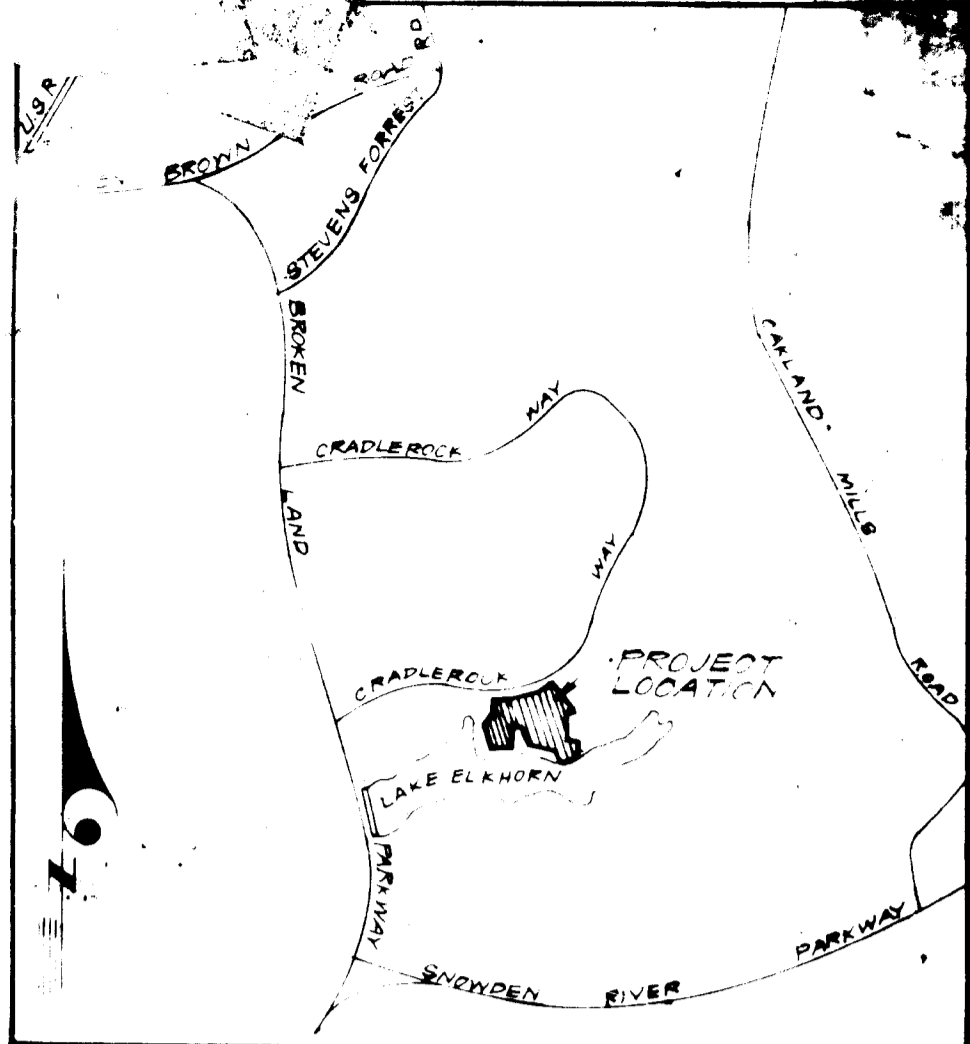


Bldg. No.	STREET ADDRESS
Bldg. 13	7315 - 7327 Swan Point Way
Bldg. 14	7295 - 7311 " " "
Bldg. 15	7275 - 7291 " " "
Bldg. 16	7253 - 7271 " " "



VICINITY MAP
SCALE 1" = 2000'

GENERAL NOTES (CONT.)

- The total area included in this parcel: 14.46 Ac.
- The area to be included in this submission: 10.74 Ac.
- The number of units in the buildings:
 - Bldg. 13 = 7 units
 - Bldg. 14 = 9 units
 - Bldg. 15 = 9 units
 - Bldg. 16 = 10 units
 - Total 35 units
- The Final Development Plan No. is F. 74-04-c.
- This Parcel is zoned NewTown (Apt. Land Use).

LEGEND

- Center Line
- Existing Contours
- Proposed Contours
- Spot Elevations
- Direction of Drainage
- Existing Trees to Be Retained
- Proposed Storm Drain Pipe
- 100 Year Flood Elevation
- Existing Storm Drainage
- Retaining Wall
- Area Drain
- All Fillet Radii are 5 Ft.

GENERAL NOTES

- Any damage to county owned roads or any paving shall be corrected at the developer's expense.
- All materials and construction shall be in accordance with the Howard County Road Construction Code and Specifications.
- Retaining Walls over 3 Ft. in height shall have guardrails.
- Water and Sewer house connections shall be installed in accordance with contract # as approved by the How Co. Bureau of Engineering.
- All Buildings are to contain Single Family Units consisting of 3 levels.

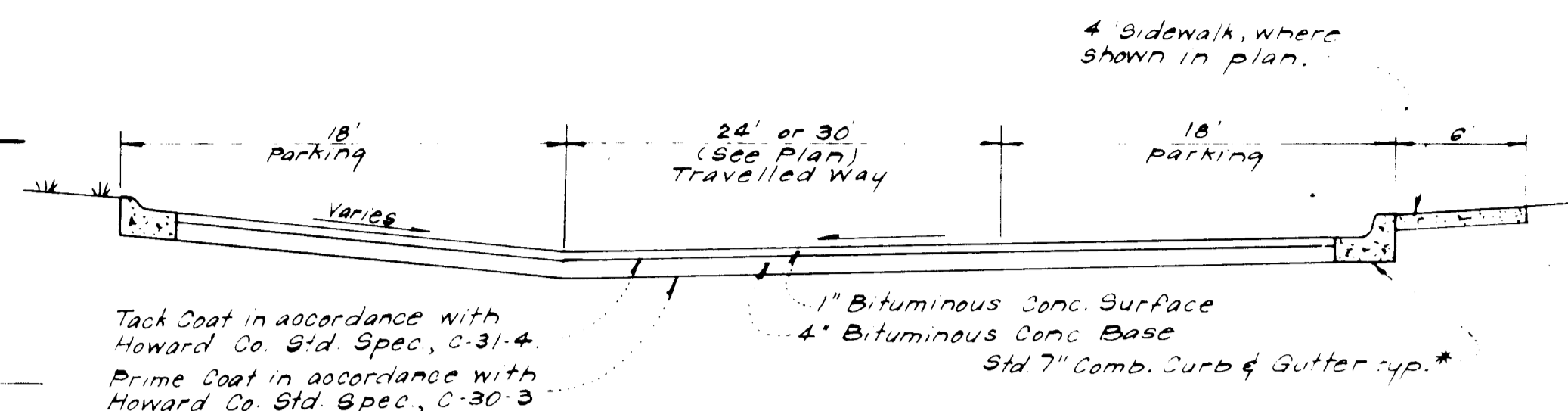
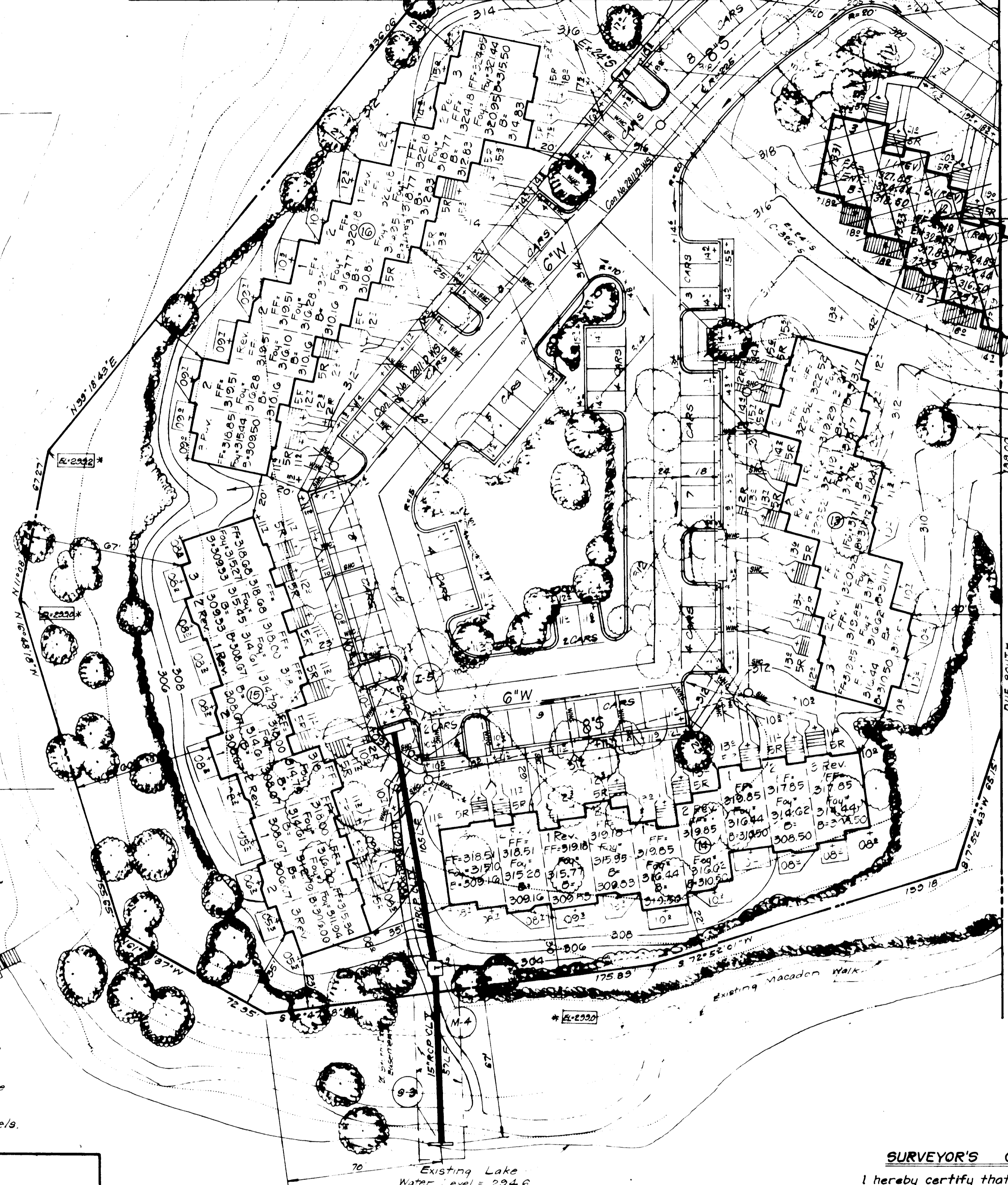
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING

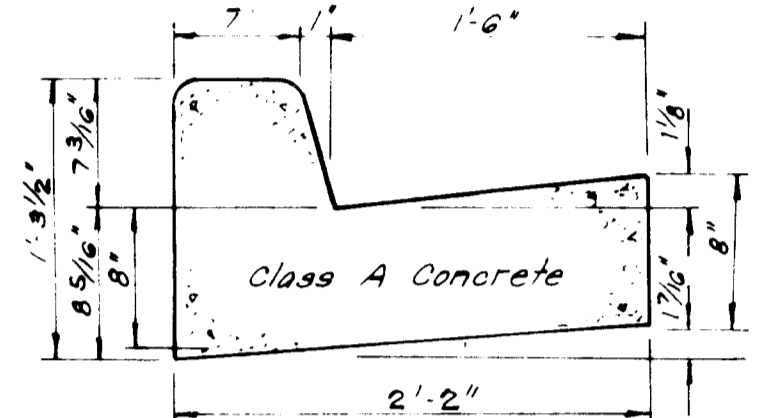
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

APPROVED
8-8-84

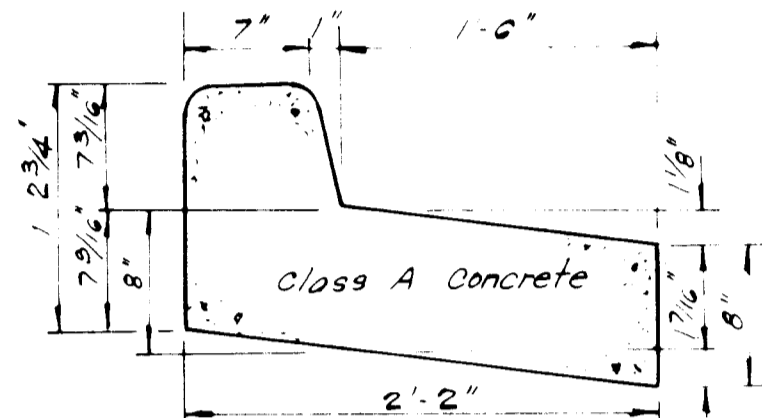
See Match Line "A" "A" Sheet 1 of



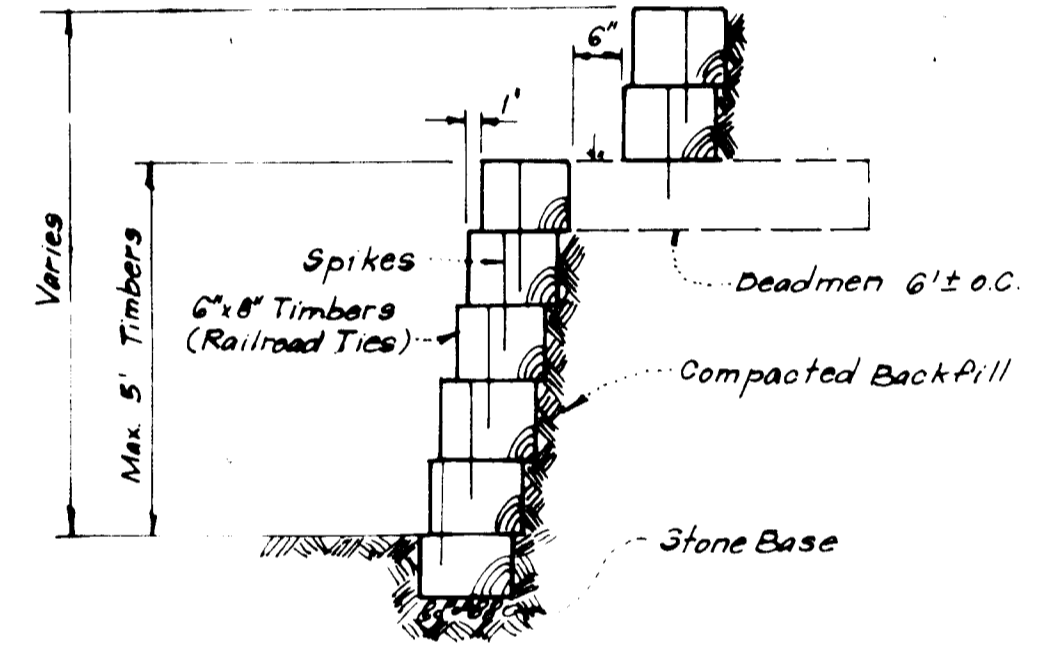
TYPICAL PAVING SECTION - PRIVATE DRIVE AND PRIVATE PARKING
No Scale



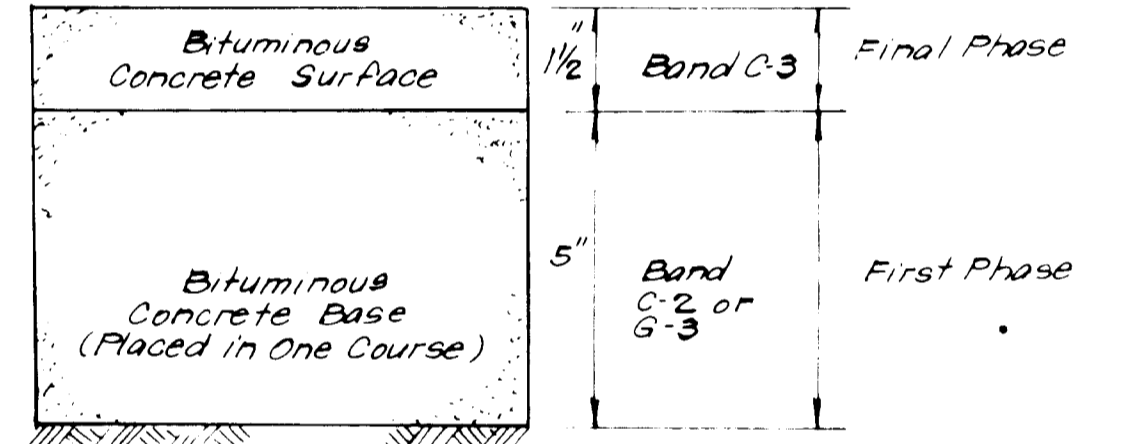
STANDARD 7" COMBINATION CURB & GUTTER
No Scale



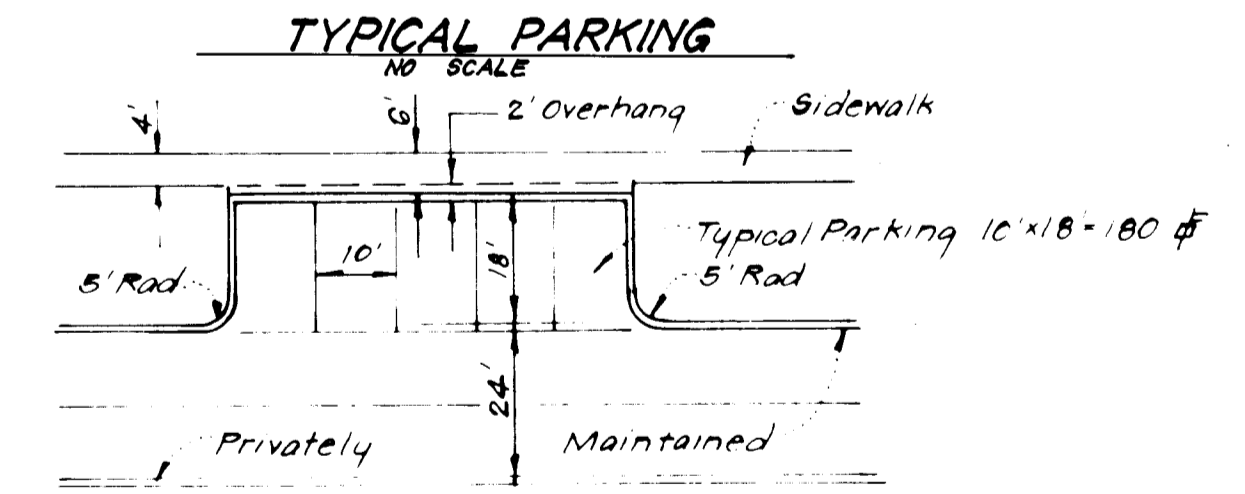
REVERSE 7" COMBINATION CURB & GUTTER
No Scale



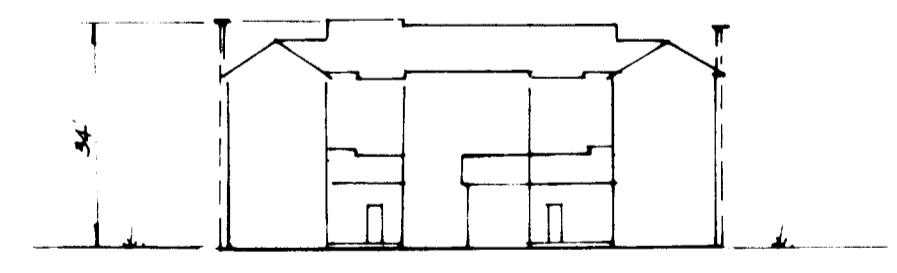
TIMBER RETAINING WALL
No Scale



PAVING SECTION FOR PUBLIC ROADS AND ENTRANCES TO PUBLIC ROADS
No Scale



TYPICAL PARKING
NO SCALE



TYPICAL BUILDING ELEVATION
NO SCALE

SURVEYOR'S CERTIFICATE

I hereby certify that the information contained hereon is the same as shown on previously approved SDP-70-08C with the following exceptions:

- Building Type and Grading has been revised on Bldg. Nos. 13 thru 16. Total area of revision is 46,800 sq. ft. or 10.744 Acres.

I further certify that the Sediment and Erosion control measures, as previously approved, will not be affected, the grading is substantially the same as originally approved, the building setbacks comply with Howard County Zoning and Subdivision Regulations, and the lot has the same geometric configuration as shown on the respective recorded subdivision plat.

Date: July 3, 1984



COPY SPACE LOT 276
VILLAGE OF OWEN BROWN
SECTION 1 AREA 2
PLAT SOURCE 23 FOLIOS 54, 35, 56

SUBDIVISION NAME VILLAGE OF OWEN BROWN	SECT./AREA 1-2	PARCEL E-1
PLAT # & L.P. 27/46 21	BLOCK # N.T.A.S.	TAX ZONE MAP #36
WATER CODE E-11	ELEC. DIST. GTH	CENSUS TR. 6061.03
SEWER CODE 533/000		

CLARK • FINEPROCK & SACKETT
ENGINEERS • PLANNERS • SURVEYORS

DESIGNED: D.A.B. / W.R.M.S.
DRAWN: K.I.W.
CHECKED: D.A.B. / W.R.M.S.
DATE: 8-28-84

REVISED SITE DEVELOPMENT PLAN
BUILDING NOS. 13 THRU 16
PARCEL E-1
COLUMBIA
VILLAGE OF OWEN BROWN
SECTION 1 AREA 2
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

FOR: M.P. OF MD, INC.
7237 Swan Point Way
Columbia, Md 21045

SCALE: 1/8" = 30'
DRAWING: 1 of 1
JOB NO: 77-975
FILE NO: 77-975-X