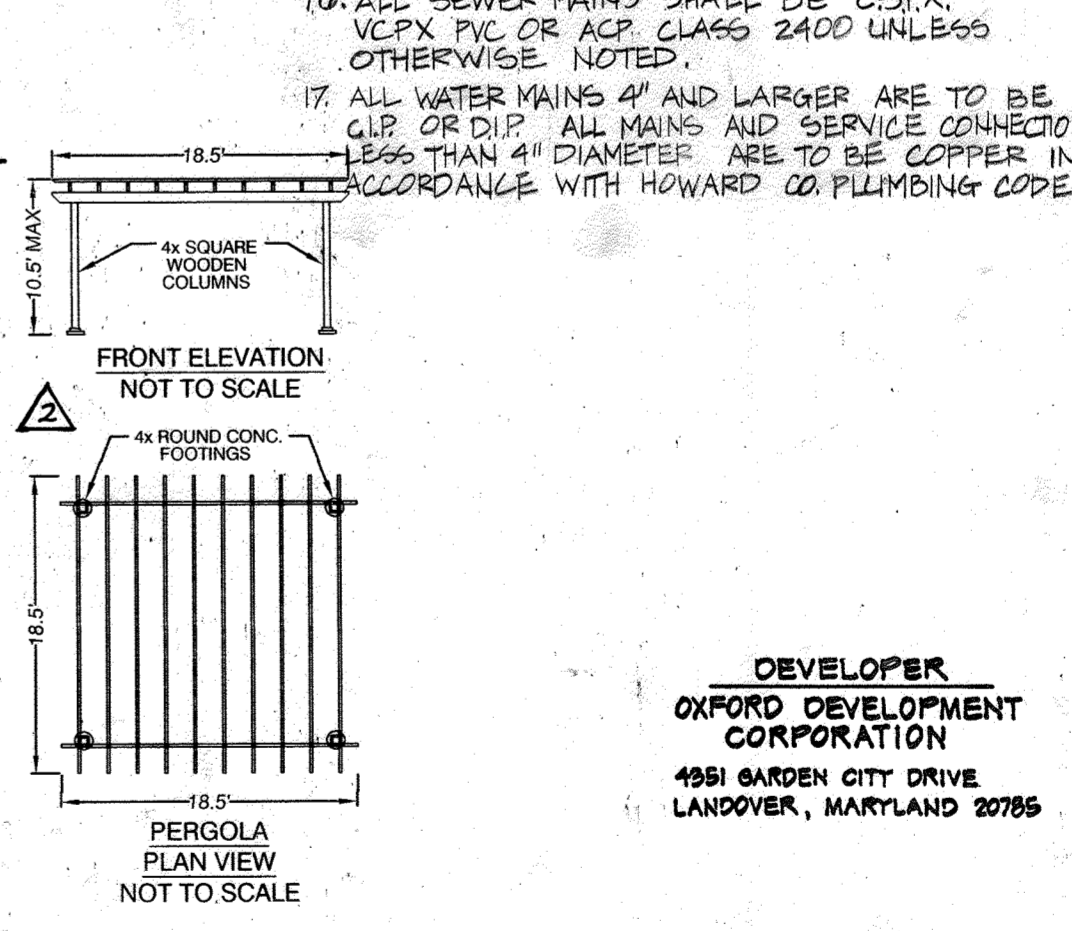


- GENERAL NOTES**
- All materials and construction to be in accordance with Howard County Design Manual Volume IV, Standard Specifications and Details for Construction.
  - This plan is covered by Final Development Plan Phase 181-A-1, Part II.
  - Any damage to county owned rights-of-way shall be corrected at the developer's expense.
  - Topography was compiled from actual field survey.
  - The area included is located on Tax Map #35.
  - All driveways and parking areas to be privately owned and maintained.
  - All coordinates are based on Howard County Geodetic Control traverse which is based upon the Maryland State Plane Coordinate system.
  - Class "C" trench bedding shall be used for all storm drainage unless shown otherwise.
  - Information concerning underground utilities was obtained from available records, but the contractor must determine the exact location and elevation of the same by digging test pits, by hand, at all utility crossings, well in advance of construction.
  - The contractor or developer shall contact the Construction Inspection/Survey Division 24 hours in advance of commencement of work at 992-2417 or 792-7272.
  - All downspout drains shall be handled by one of the following methods:
    - Downspouts to splash blocks and discharged to ground having good percolation.
    - Downspout in front of units piped to curb.
    - Downspout connected to storm drain.
  - Handicap Parking signs shown there shall be placed in approximate location shown in plan accordance with the "Maryland Building Code for the Handicapped" Section 5.01 - 1.05.
  - All setbacks and criteria as shown in F.D.P. Phase 181-A-1, Part II.
  - STORM WATER MANAGEMENT FOR THIS DEVELOPMENT CONSTRUCTED UNDER VILLAGE OF HICKORY RIDGE, SECTION 3/AREA 1, CONTRACT NO. P-89-120.
  - ALL SANITARY BUILDING CONNECTIONS SHALL BE 6" DIAMETER.



**DAFT - McCUNE - WALKER INC.**  
 LAND PLANNING CONSULTANTS  
 LANDSCAPE ARCHITECTS  
 ENGINEERS  
 530 EAST JOPPA ROAD  
 TOWSON, MD. 21284  
 TELEPHONE: 301-296-3333

**SITE DEVELOPMENT PLAN**  
 PARCEL 'J'  
**COLUMBIA**  
 VILLAGE OF HICKORY RIDGE  
 SECTION 3 AREA G  
 5th ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

**DEVELOPER**  
 OXFORD DEVELOPMENT CORPORATION  
 4951 GARDEN CITY DRIVE  
 LANDOVER, MARYLAND 20785

**OWNER**  
 THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
 10255 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND 20944

DATE	REVISIONS
8-6-84	PER COUNTY COMMENTS
9-12-84	PER COUNTY COMMENTS
10-26-84	PER COUNTY COMMENTS
12-17-84	PER COUNTY COMMENTS
1-16-85	UTILITY REVISIONS PER DPW COMMENTS
11-30-86	REFER TO DWG 1A & B FOR REVISIONS
4-26-95	ADD SWIMMING POOL-REV UTILITIES

SCALE: 1" = 50'

JOB ORDER NO. 84019 DWG# 1 of 8

ISSUE DATE 6-24-84

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.  
 HOWARD COUNTY HEALTH DEPARTMENT  
*[Signature]* 11-28-84  
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
*[Signature]* 11-21-84  
 PLANNING DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE,  
 STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*[Signature]* 11-18-84  
 DIRECTOR DATE

CHIEF: BUREAU OF ENGINEERING

**APPROVED**  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE 9-19-84  
*[Signature]*

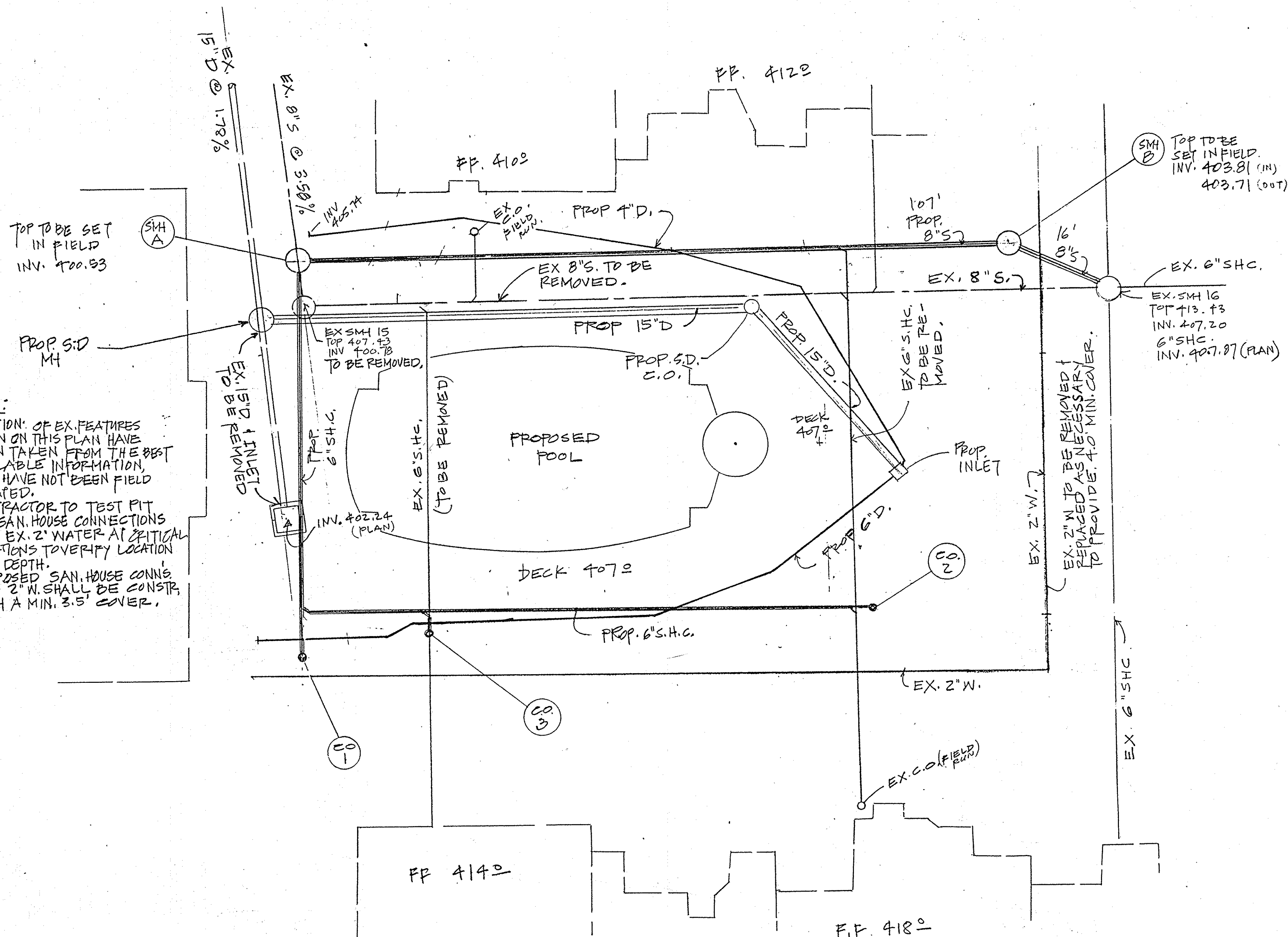
**ADDRESS CHART**

BLOCK NO.	STREET ADDRESS
8A	12000 LITTLE PATUXENT PKWY
7B	12040
11B	11920
9C	11960
9C	11970
10C	11980
2D	12060
9D	11450
6D	12050
1E	12030
4E	12010
CLUB HSE.	12020

4/17/23 REVISE TO SHOW PERGOLA AND GRILL  
 9/19/14 Add Clubhouse Expansions  
 Rev. H. Vato Revision

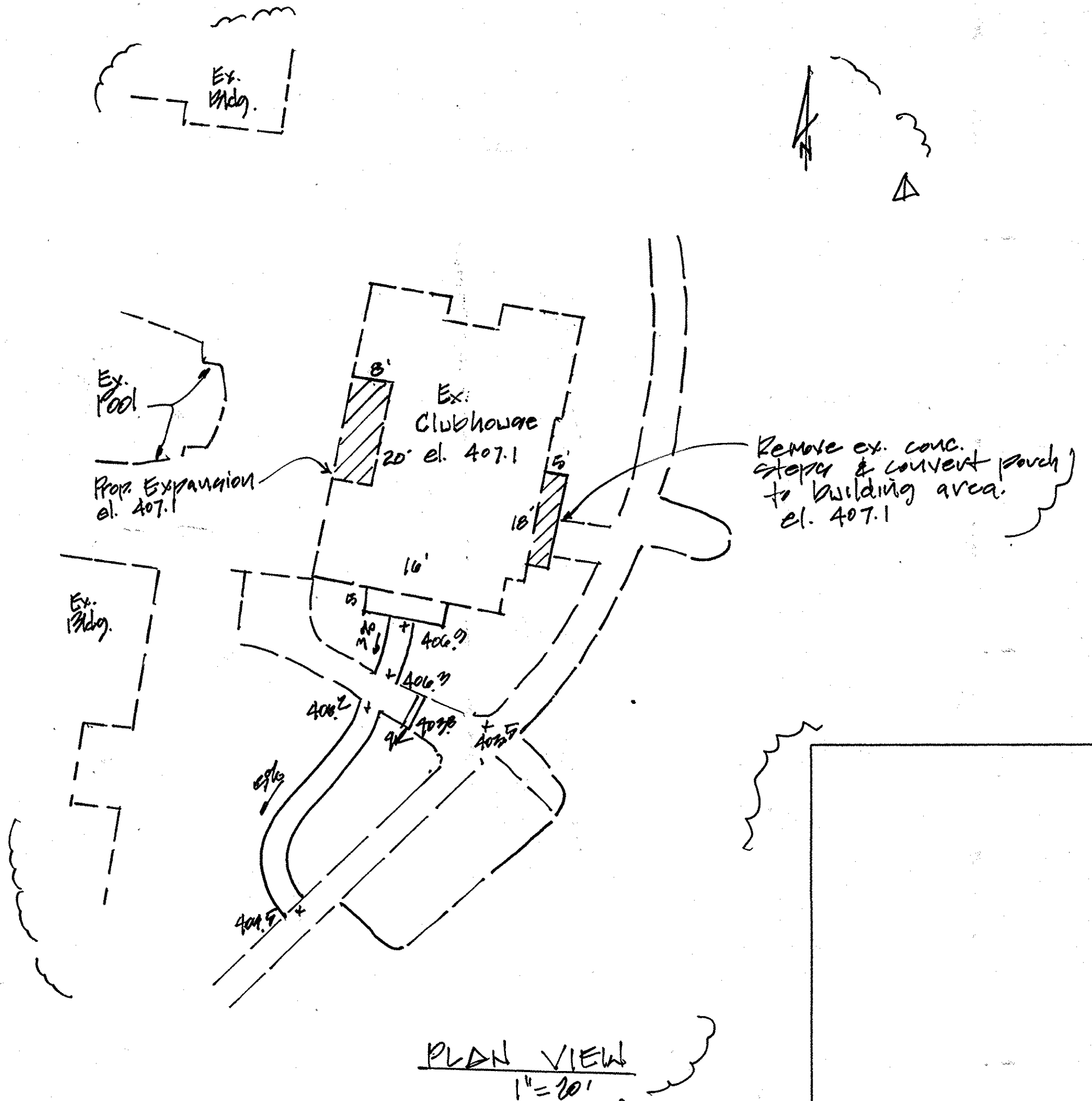
SUBDIVISION NAME	SECT./AREA	LOT/PARCEL #
VILLAGE OF HICKORY RIDGE	3/G	J'
PLAT #/L/P	BLOCK #	ZONE
5837	4	N.T.
TAX/ZONE MAP	ELEC. DIST.	CENSUS TR.
	35	5th
WATER CODE	SEWER CODE	
I-15	6730300	





- NOTES:**
1. LOCATION OF EX. FEATURES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM THE BEST AVAILABLE INFORMATION, AND HAVE NOT BEEN FIELD LOCATED.
  2. CONTRACTOR TO TEST PIT EX. SAN. HOUSE CONNECTIONS AND EX. 2" WATER AT CRITICAL LOCATIONS TO VERIFY LOCATION AND DEPTH.
  3. PROPOSED SAN. HOUSE CONNS. AND 2" W. SHALL BE CONSTR. WITH A MIN. 3.5' COVER.

PLAN  
SCALE: 1"=10'



STATE OF MARYLAND  
PROFESSIONAL ENGINEER  
No. 10551  
Date: 11-21-94

*Note: The purpose of this revision is to add a 250' sq. expansion to the clubhouse.*

NOTE: THE PURPOSE OF THIS PLAN IS TO REVISE EX. UTILITIES TO ALLOW FOR INSTALLATION OF PROPOSED SWIMMING POOL. (SEE WP-94-85)

Rev #	Date	Description
1	9/18/94	Add clubhouse expansion detail
2		Revision

Professional Engr. No. 10551

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT	<i>James M. B... 5/10/95</i>
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	<i>James M. B... 5/12/95</i>
APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS	<i>John J. O'Hara 5/6/95</i>
	<i>James M. B... 5/14/95</i>

Date No. Revision Description

**COLUMBIA**

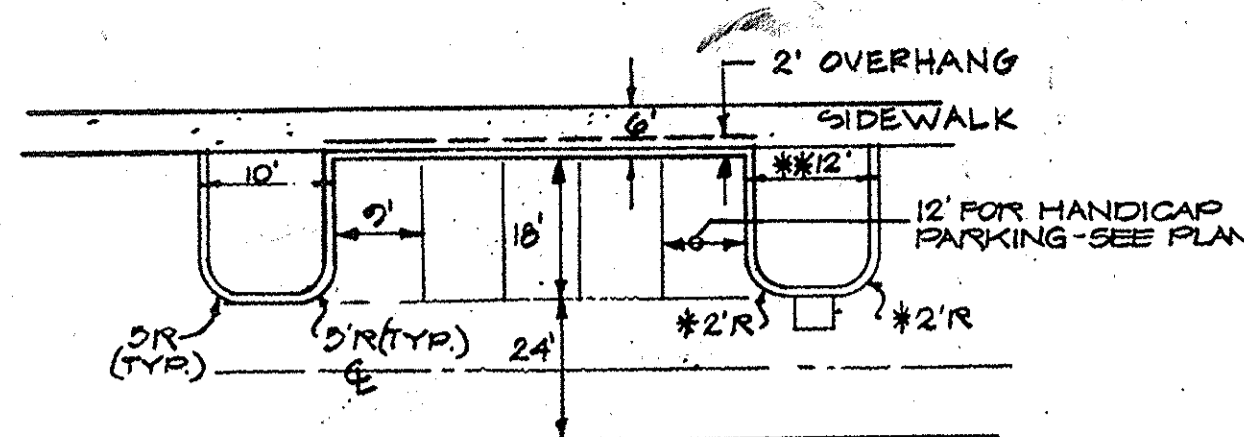
OWNER:  
REFLECTIONS APARTMENT COMPLEX  
12022 LITTLE PATUXENT PARKWAY  
COLUMBIA, MARYLAND 21044

**DMW**  
Dunn, McConnaughey & Walker, Inc.  
200 East Pennsylvania Avenue  
Towson, Maryland 21286  
410 296-3333  
Fax 296-4705

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

SECTION NAME	SECTION NO.	SECTION OF
VILLAGE OF HICKORY RIDGE	3 / 8	J
PLAT # OR LT	BLOCK #	TRAC #
5837	4	121
WATER CODE	SEWER CODE	ORIG. TRACT
I-15	6730300	6053.01
TITLE		
REVISED SITE DEVELOPMENT PLAN		
Des By	Scale	Proj. No.
Orn By	Date	
Chk By	Approved	1A OF 8

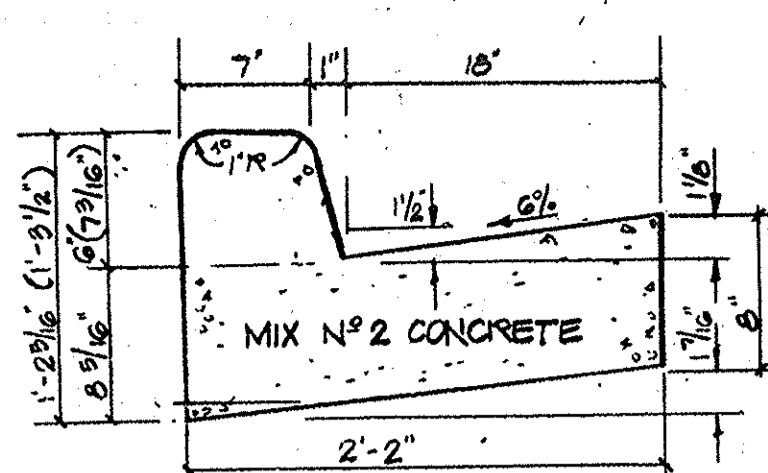




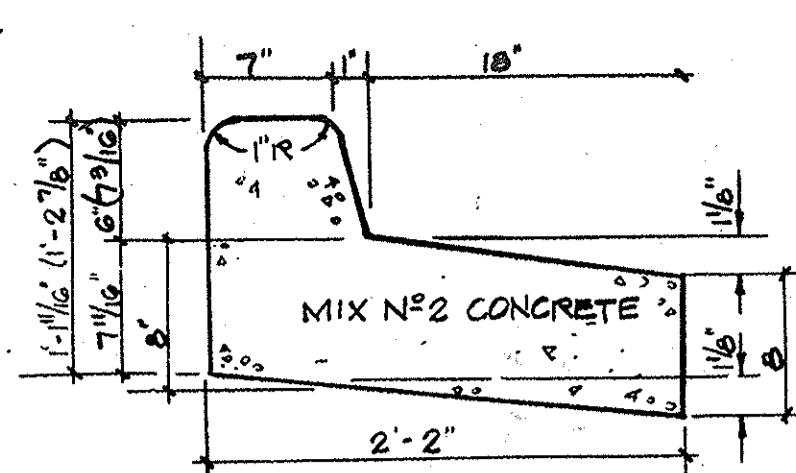
\* USE 2' RADIUS ON ISLANDS WITH INLETS AND ISLANDS TO BE 12' WIDE & ALL OTHERS TO BE 10' WIDE

PARKING PLAN  
NO SCALE

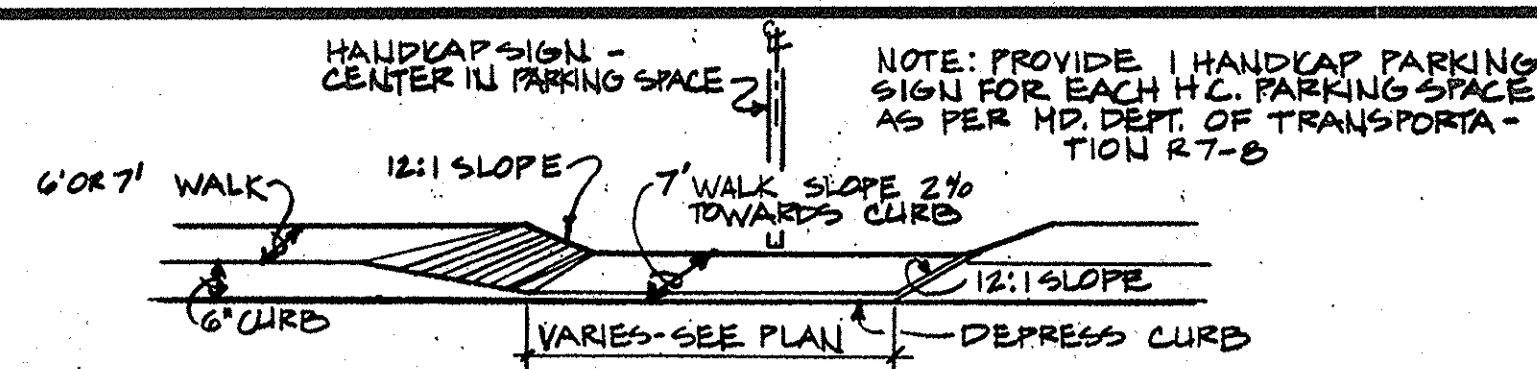
NOTE: PROVIDE 7' WIDE SIDEWALK ALONG ALL CURBS WITH 2' VEHICULAR OVERHANG BETWEEN HC PARKING SPACES AND ENTRY WALK TO NEAREST HC UNIT. ALL ENTRY WALKS TO HC UNITS TO BE 5' WIDE.



STANDARD 6" or 7" COMBINATION CURB & GUTTER  
NO SCALE



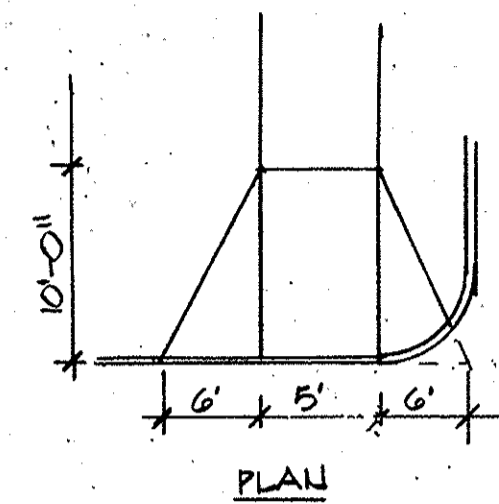
REVERSE 6" or 7" COMBINATION CURB & GUTTER  
NO SCALE



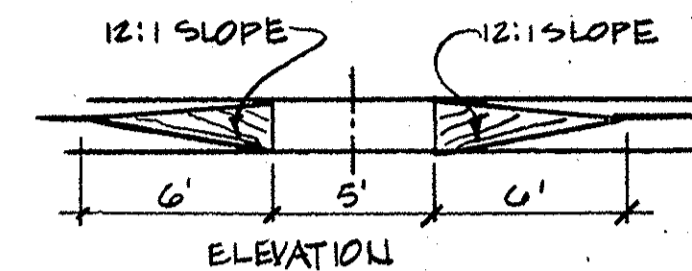
NOTE: PROVIDE COARSE BROOM FINISH ON SLOPES

FRONT ELEVATION

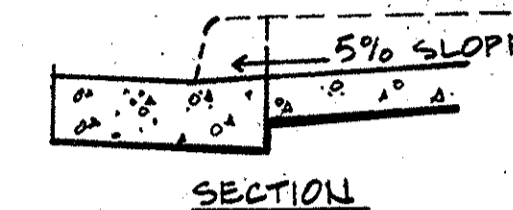
HANDICAP RAMP - CURB CUT TYPE  
NO SCALE



RAMP AT ENTRY ISLAND  
NOT TO SCALE



ELEVATION



SECTION

HANDICAPPED RAMPS

UNIT ANALYSIS					
BUILDING NO.	UNIT	TYPES	TOTALS	(HC)	
1E	8	2.2	2	18	
2D	8	2.2T(HC)	2	16 (2)	
3D	8	2.2T(HC)	2	16	
4E	8 (2)	2.25TH	2	18 (2)	
5C	4	2.25TH	2	20	
6D	8	2.25TH	2	16 (1)	
7B	4	2.25TH	2	12	
8A	8 (2)	2.25TH	2	16 (2)	
9C	4	2.25TH	2	20	
10C	4	2.25TH	2	20	
11B	4	2.25TH	2	12	
	68 (4)	36	60 (3)	4	184 (7)
	ONE BEDROOM	TWO BEDROOM	THREE BEDROOM		

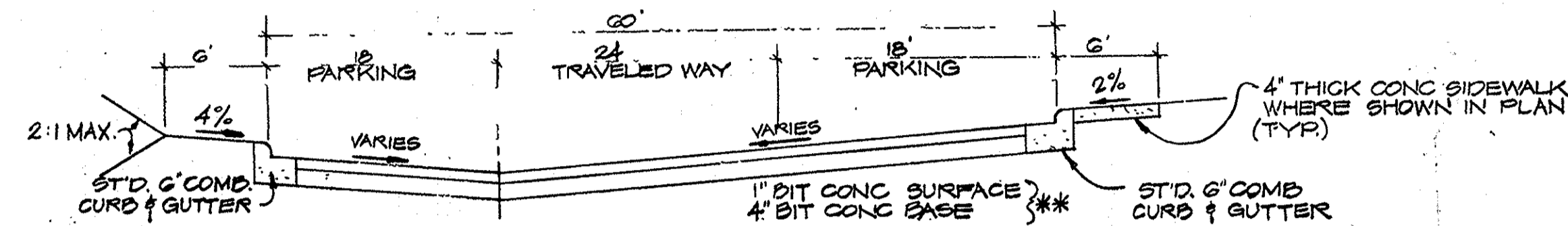
NOTE: (HC) DESIGNATES HANDICAP UNITS

SQUARE FOOTAGE ANALYSIS

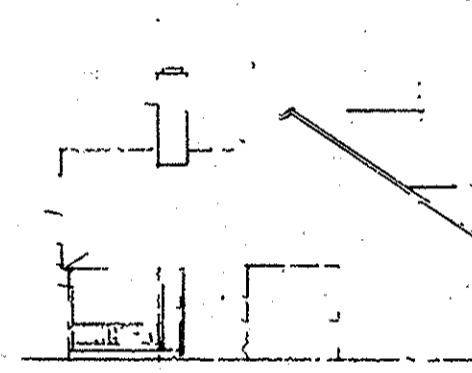
UNIT TYPE	AREA IN SQ. FT.
1.1 (1 BR)	854
2.2 (2 BR)	1067
2.2T (2 BR)	1045
2.25TH (2 BR)	1194
3.25TH (3 BR)	1350
By clubhouse expansion	2189
Pr. clubhouse expansion	2990
Total clubhouse area	2499

SITE ANALYSIS

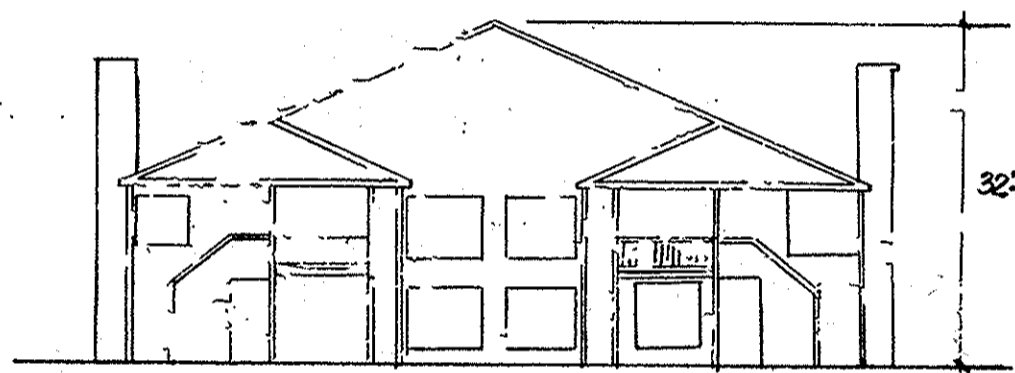
1. ZONING: NEW TOWN (APTS) FDP PHASE 1B1-A, PART II
2. AREA: 11.993 ACRES
3. NO. UNITS SHOWN: 184 NO. UNITS PERMITTED: 216
4. NO. PARKING SPACES REQUIRED: 276 NO. PARKING SPACES PROVIDED: 50 CARPORT + 316 OPEN TOTAL 366
5. BUILDING COVERAGE: 2.2 ACRES (19.3%)



TYPICAL SECTION - PRIVATE DRIVE & PARKING  
NO SCALE



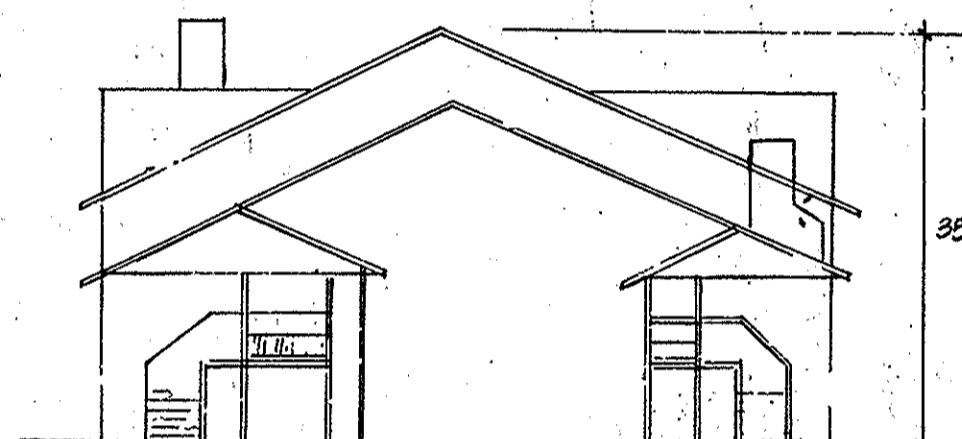
CLUBHOUSE  
1 STORY  
NO SCALE



B, E & A BUILDINGS  
2 STORIES  
NO SCALE

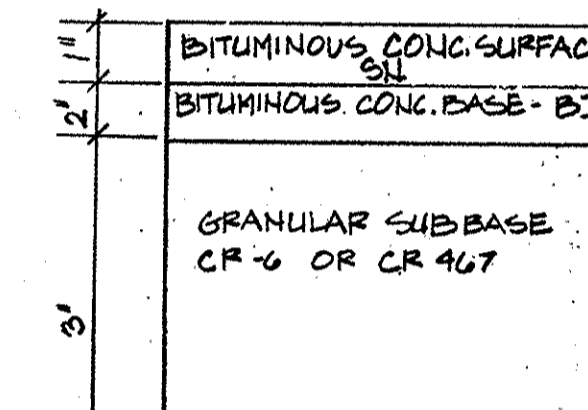


D BUILDING  
2 STORIES  
NO SCALE

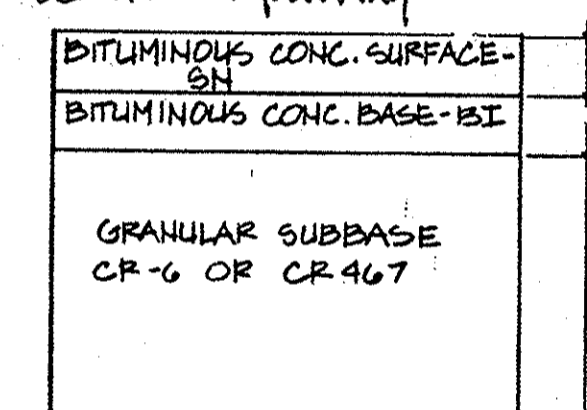


C BUILDING  
2 STORIES W/ 3 STORY CENTER UNITS  
NO SCALE

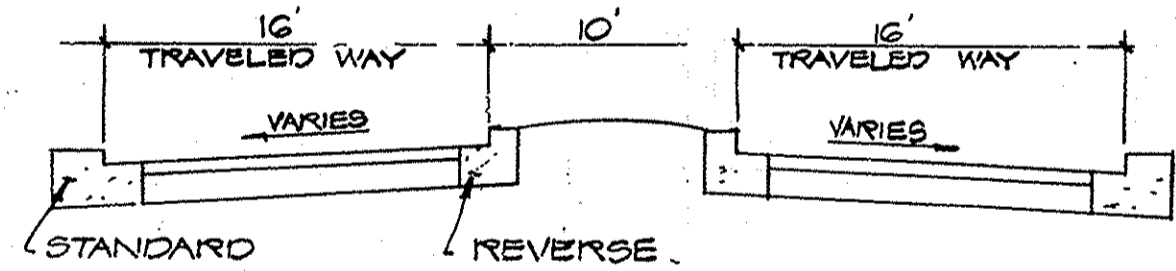
TYPICAL ELEVATIONS



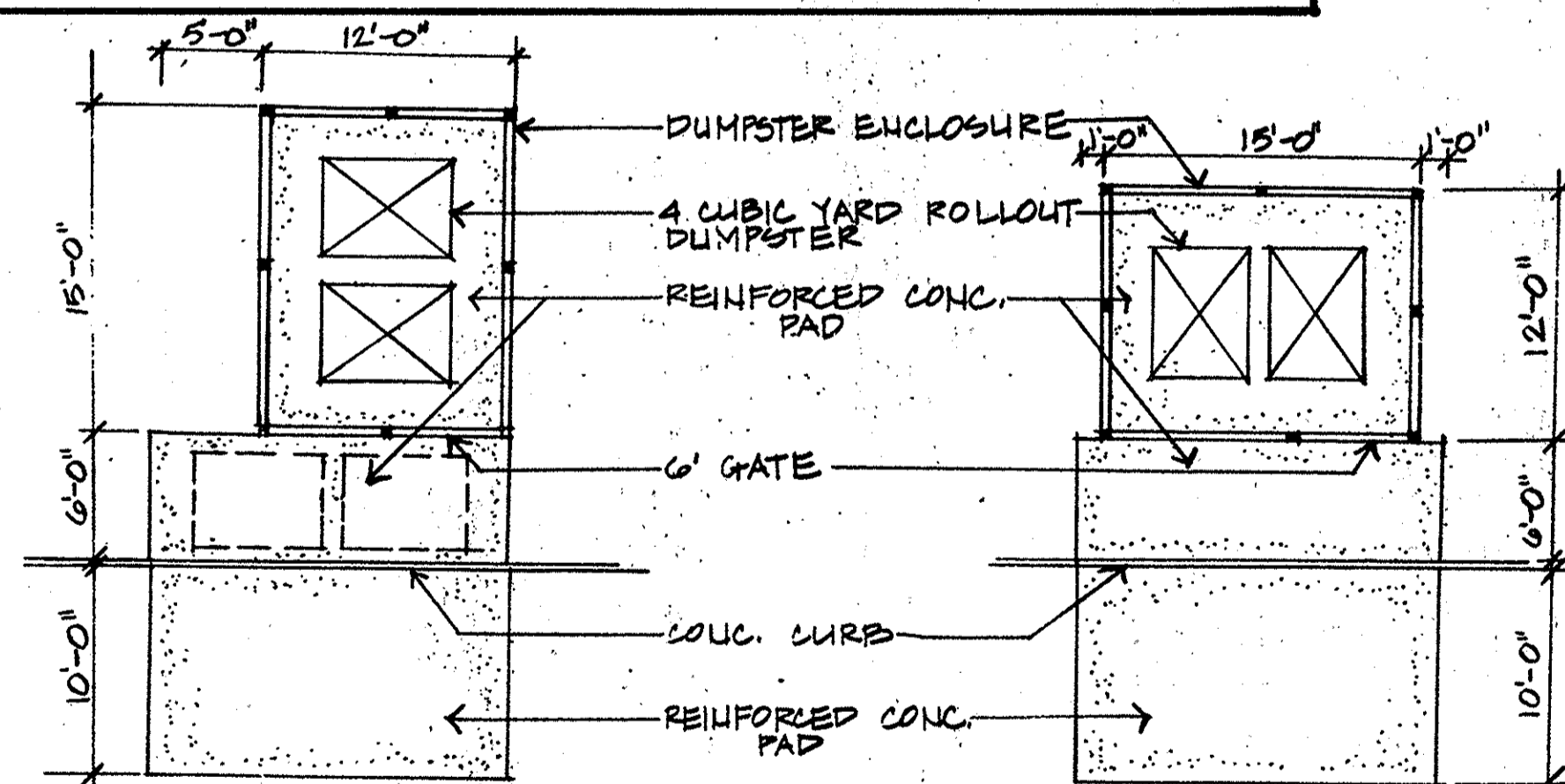
PAVING SECTION FOR PRIVATE DRIVE & PARKING  
NO SCALE



PAVING SECTION FOR ENTRANCE @ PUBLIC RDS.  
NO SCALE



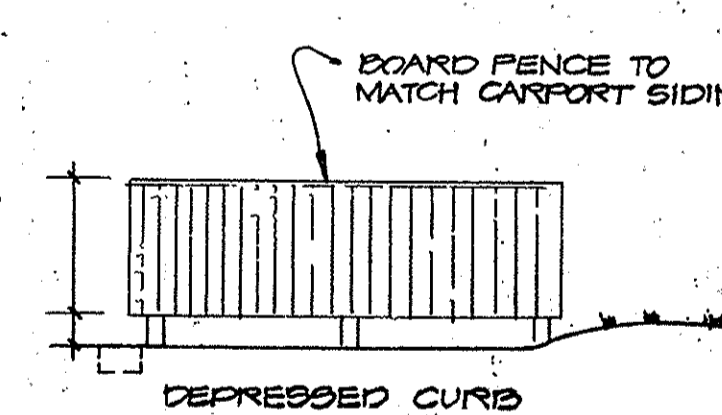
TYPICAL SECTION ENTRANCE DRIVE



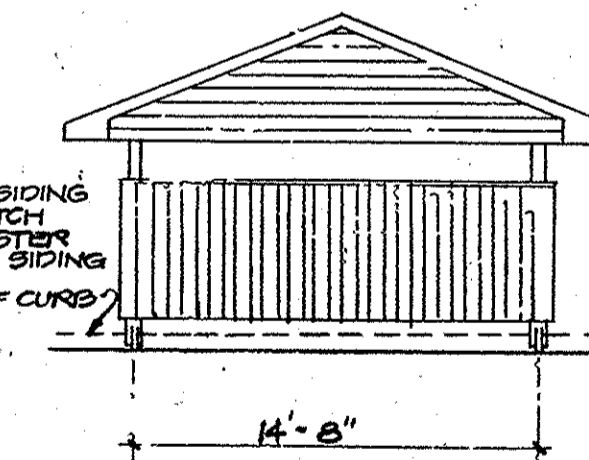
DUMPSTER PLAN 'A'

DUMPSTER PAD

DUMPSTER PLAN 'C'



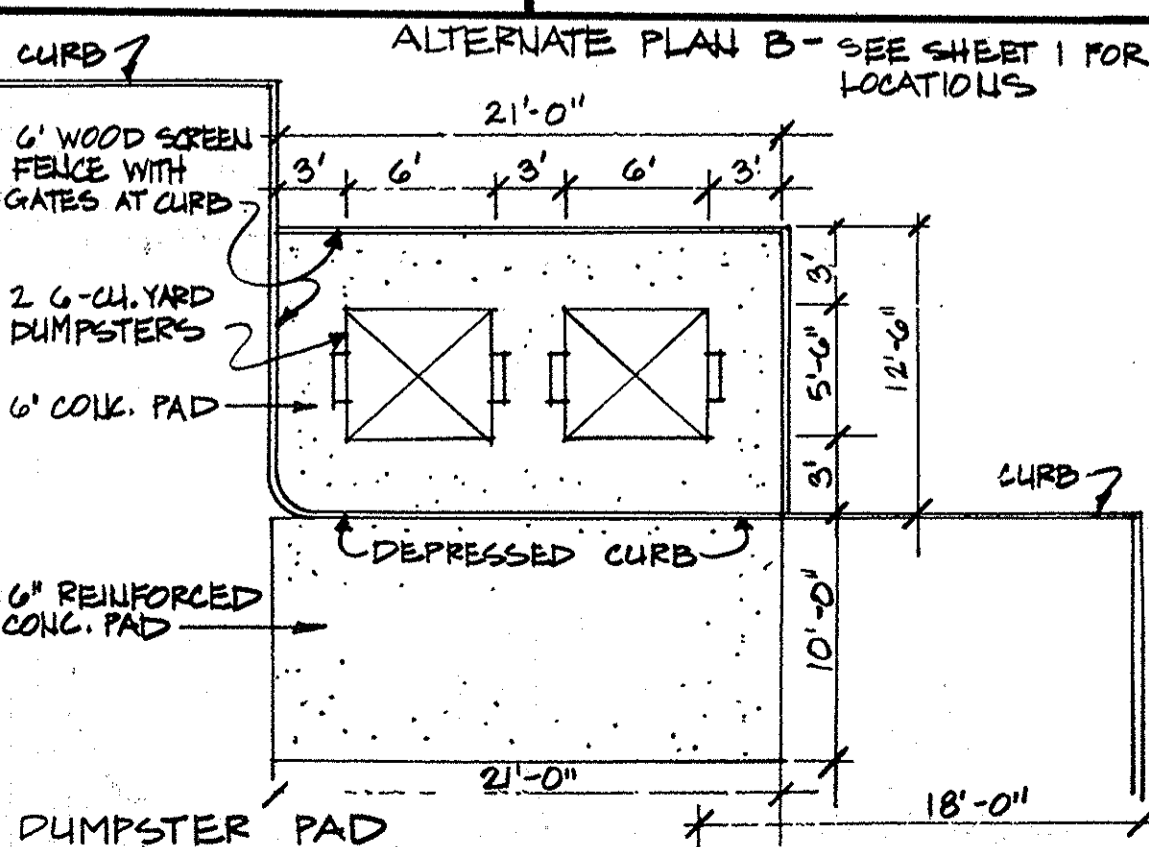
SECTION/ELEVATION



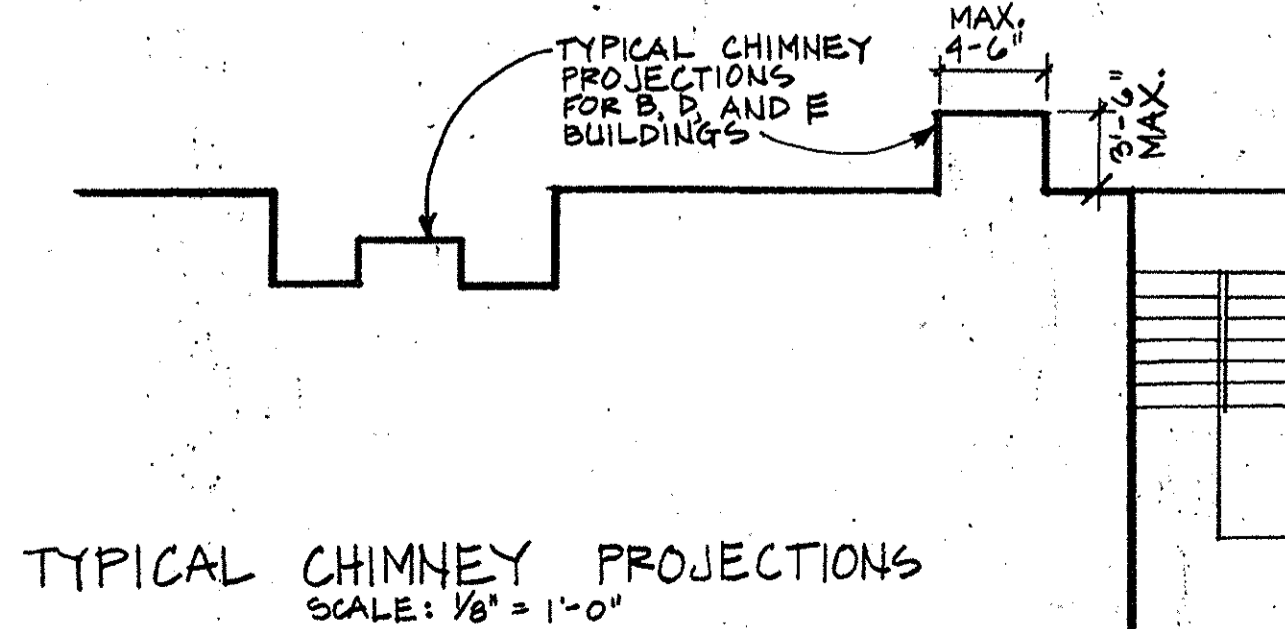
CARPORT ELEVATION  
NO SCALE

APPROVED  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 9-19-84

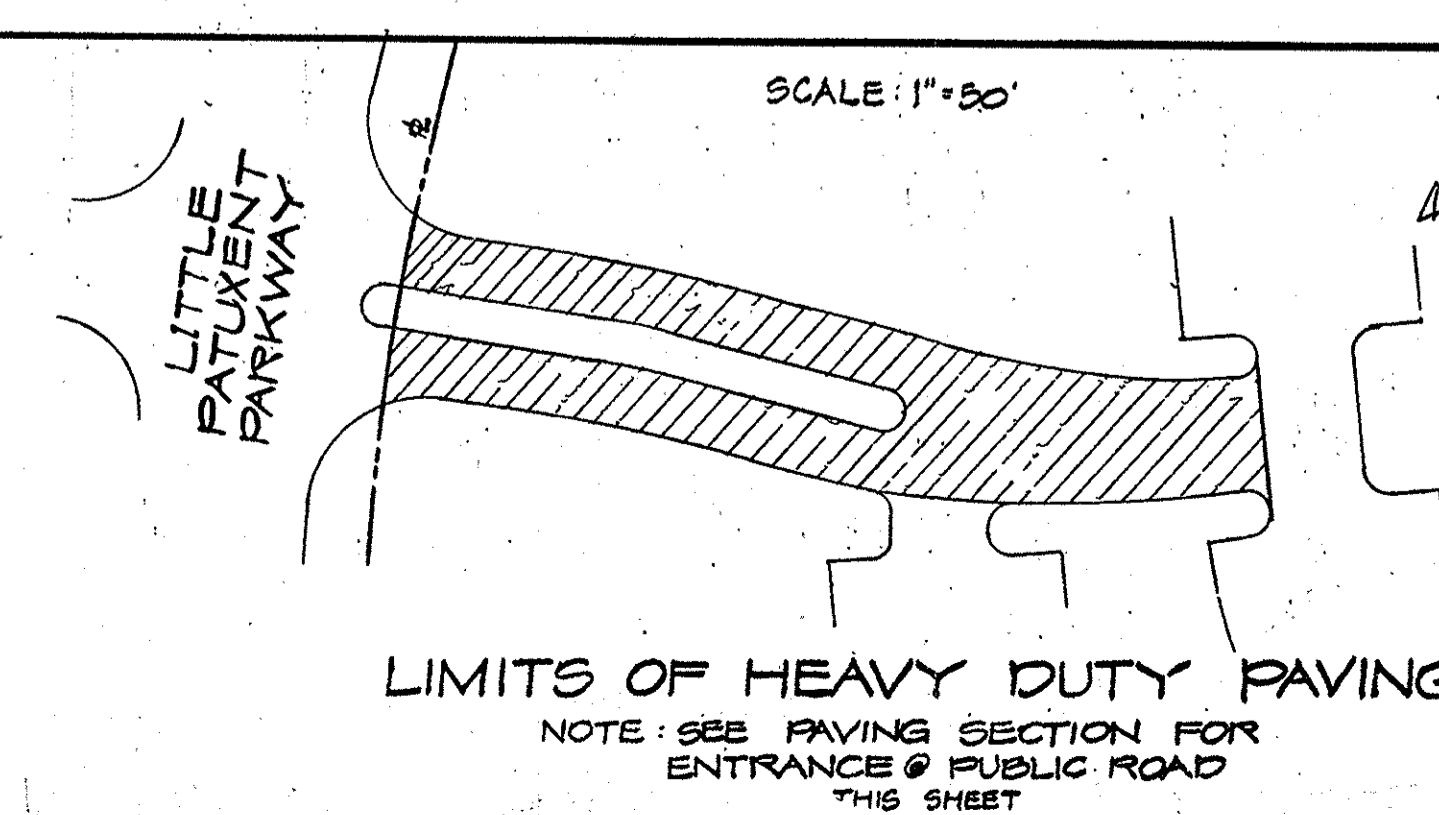
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT  
DATE 11-24-84  
APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
DATE 11-21-84  
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE  
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
DATE 11-19-84



DUMPSTER PAD



TYPICAL CHIMNEY PROJECTIONS  
SCALE: 1/8" = 1'-0"



LIMITS OF HEAVY DUTY PAVING

NOTE: SEE PAVING SECTION FOR ENTRANCE @ PUBLIC ROAD THIS SHEET

DAFT - McCUNE - WALKER INC.  
LAND PLANNING CONSULTANTS  
LANDSCAPE ARCHITECTS  
ENGINEERS  
530 EAST JOPPA ROAD  
TOWSON, MD. 21284  
TELEPHONE: 301-296-3333

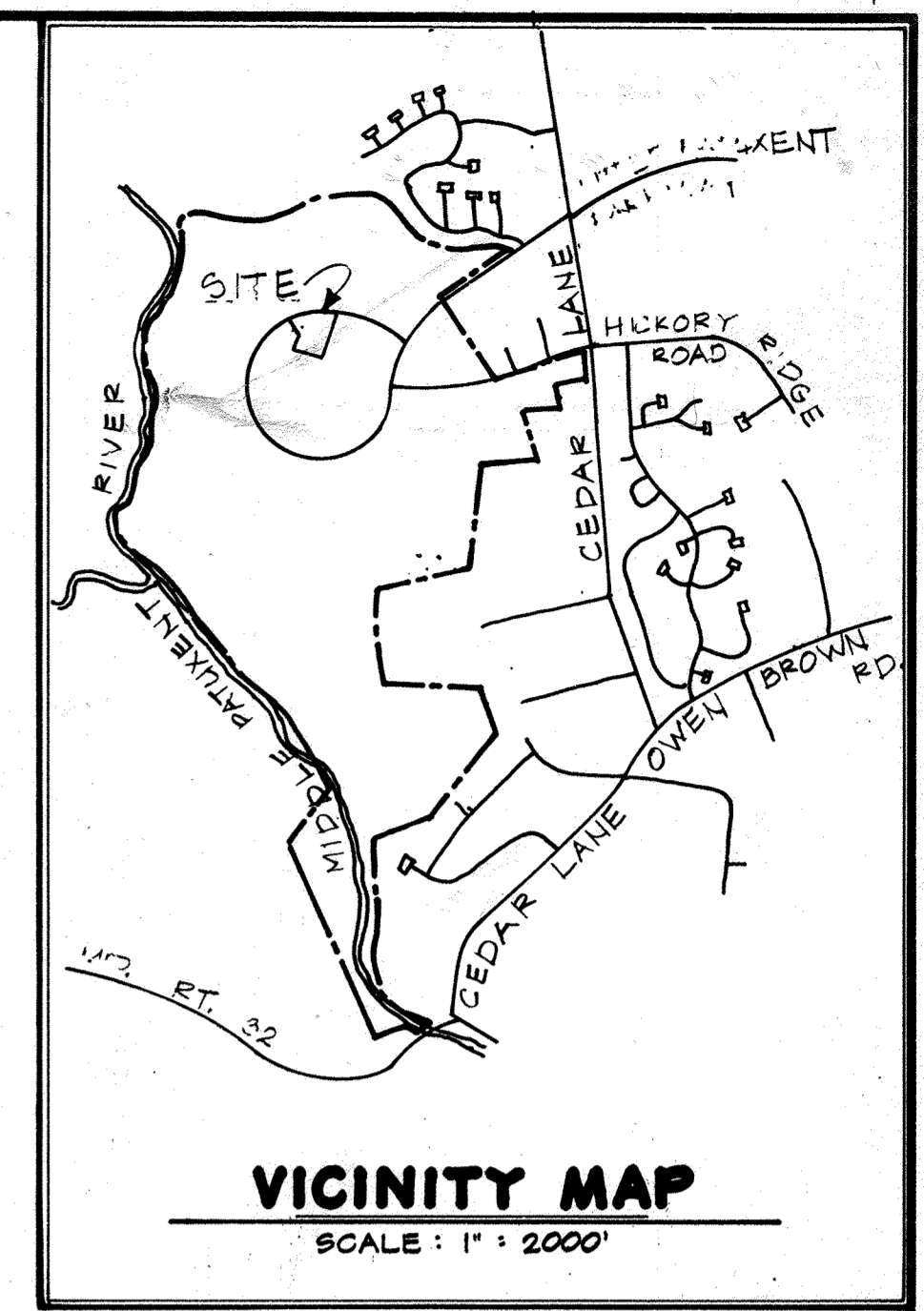
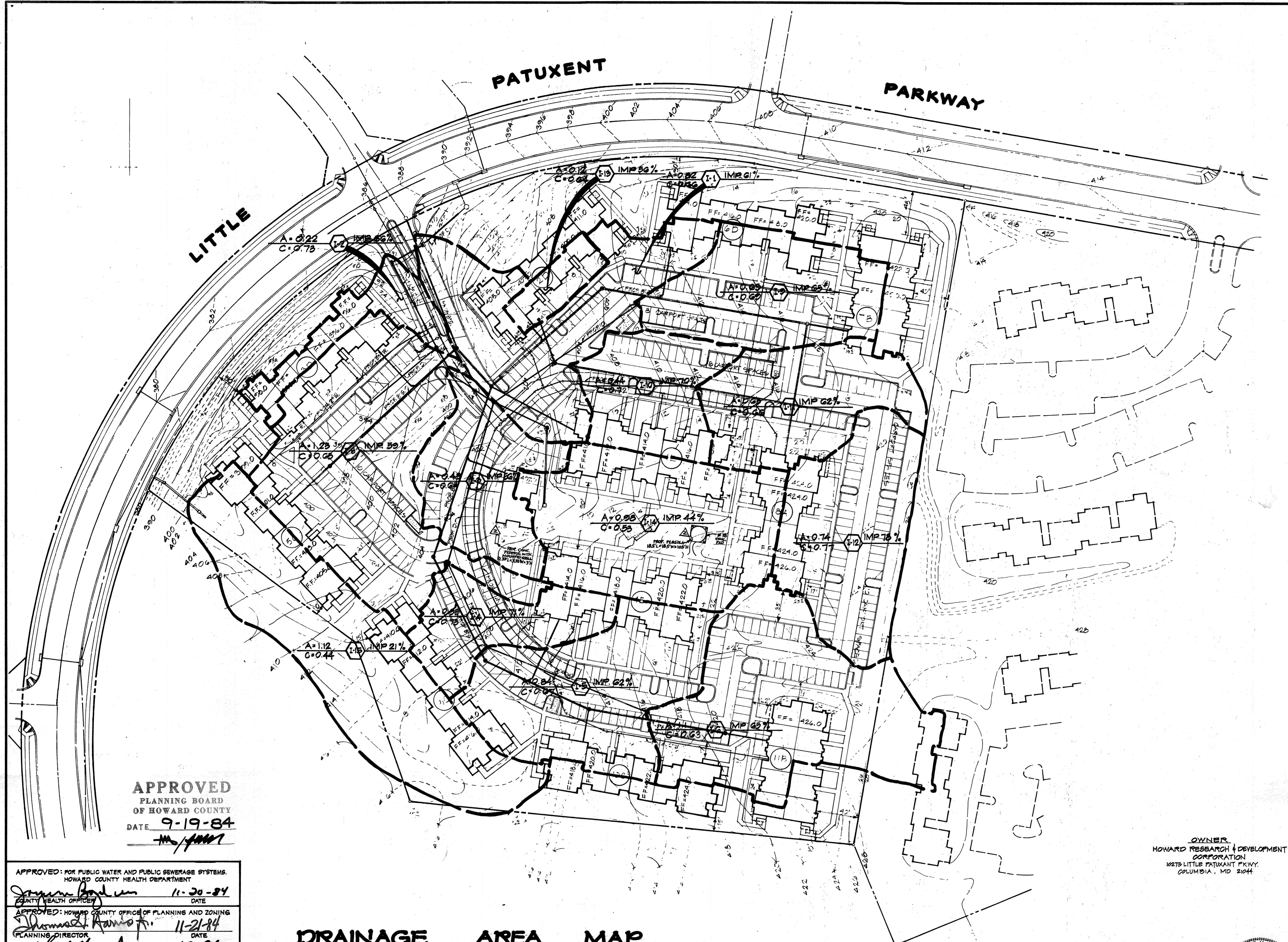
DETAIL SHEET  
PARCEL 'J'  
**COLUMBIA**  
VILLAGE OF HICKORY RIDGE  
SECTION 3 AREA G  
8th ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

FOR: OXFORD DEVELOPMENT CORPORATION  
4851 GARDEN CITY DR.  
LANDOVER, MD. 20785  
OWNER: THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
10276 LITTLE PATUXENT PARKWAY  
COLUMBIA, MARYLAND 20914

DATE	REVISIONS
8-6-84	AS PER COUNTY COMMENTS
9-27-84	PER COUNTY COMMENTS
10-26-84	PER COUNTY COMMENTS
9-9-84	Add Clubhouse Expansion

SCALE: AS SHOWN  
JOB ORDER NO. 84019  
ISSUE DATE 6-24-84  
DWG# 2 of 8





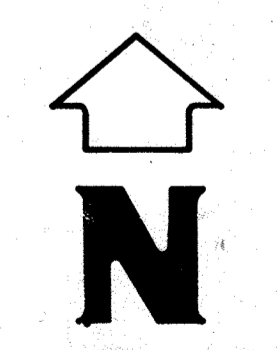
**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 9-19-84  
*[Signature]*

**OWNER**  
HOWARD RESEARCH & DEVELOPMENT  
CORPORATION  
10275 LITTLE PATUXENT PKWY.  
COLUMBIA, MD 21044

**DAFT · McCUNE · WALKER INC.**  
LAND PLANNING CONSULTANTS  
LANDSCAPE ARCHITECTS  
ENGINEERS  
530 EAST JOPPA ROAD  
TOWSON, MD. 21284  
TELEPHONE: 301-296-3333

**DRAINAGE AREA MAP**  
PARCEL J  
**COLUMBIA**  
VILLAGE OF HICKORY RIDGE  
SECTION 3 AREA G  
5TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

**DEVELOPER**  
OXFORD  
DEVELOPMENT  
CORPORATION  
4551 GARDEN CITY DR.  
LANDOVER, MD. 20785



DATE	REVISIONS
1-16-85	PER D.P.W. COMMENTS
4-17-83	REVISE TO SHOW PERGOLA AND GRILL

SCALE: 1" = 50'	DWG.# 3 of 8
JOB ORDER NO. 04019	
ISSUE DATE 6-21-84	



**DRAINAGE AREA MAP**

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.  
HOWARD COUNTY HEALTH DEPARTMENT  
*[Signature]* 11-30-84  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
*[Signature]* 11-21-84  
PLANNING DIRECTOR DATE

*[Signature]* 11-21-84  
CHIEF, DIVISION OF LAND DEVELOPMENT & ZONING ADMIN. DATE

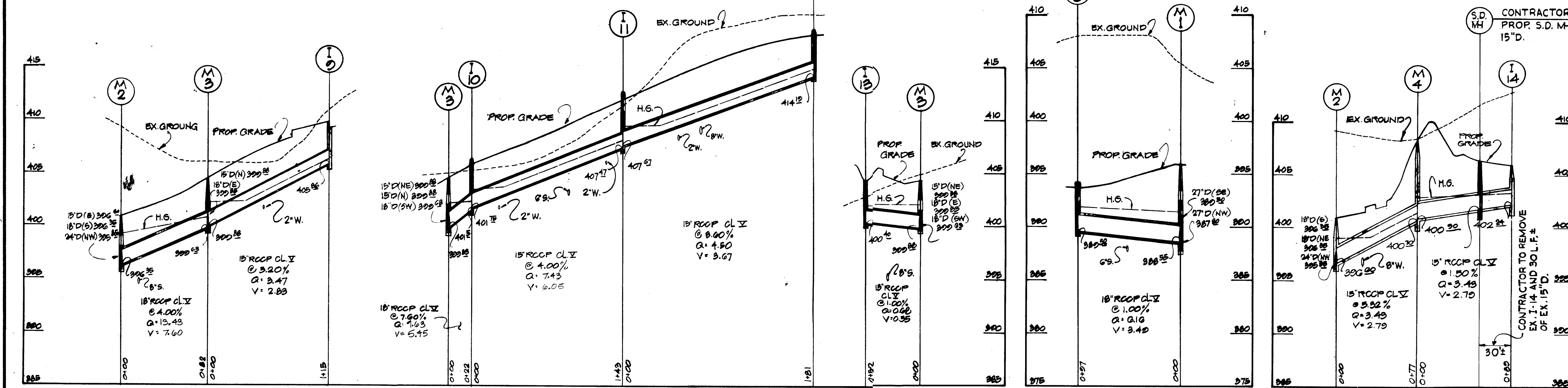
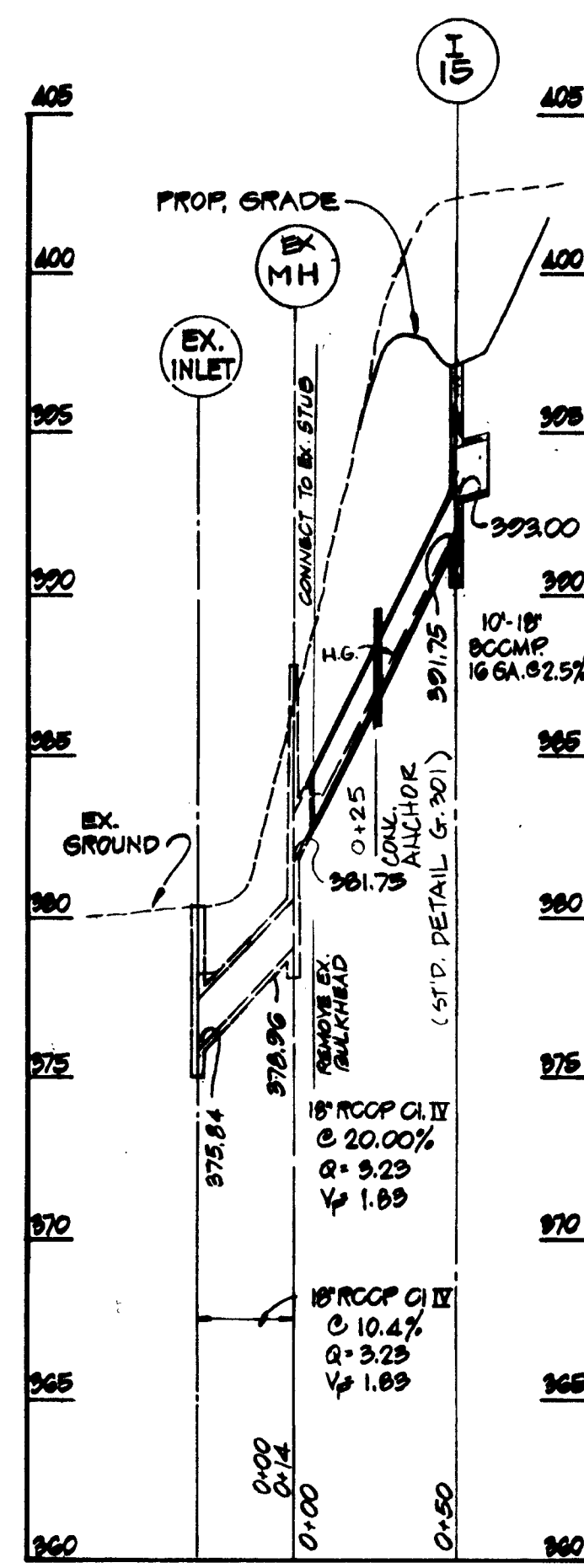
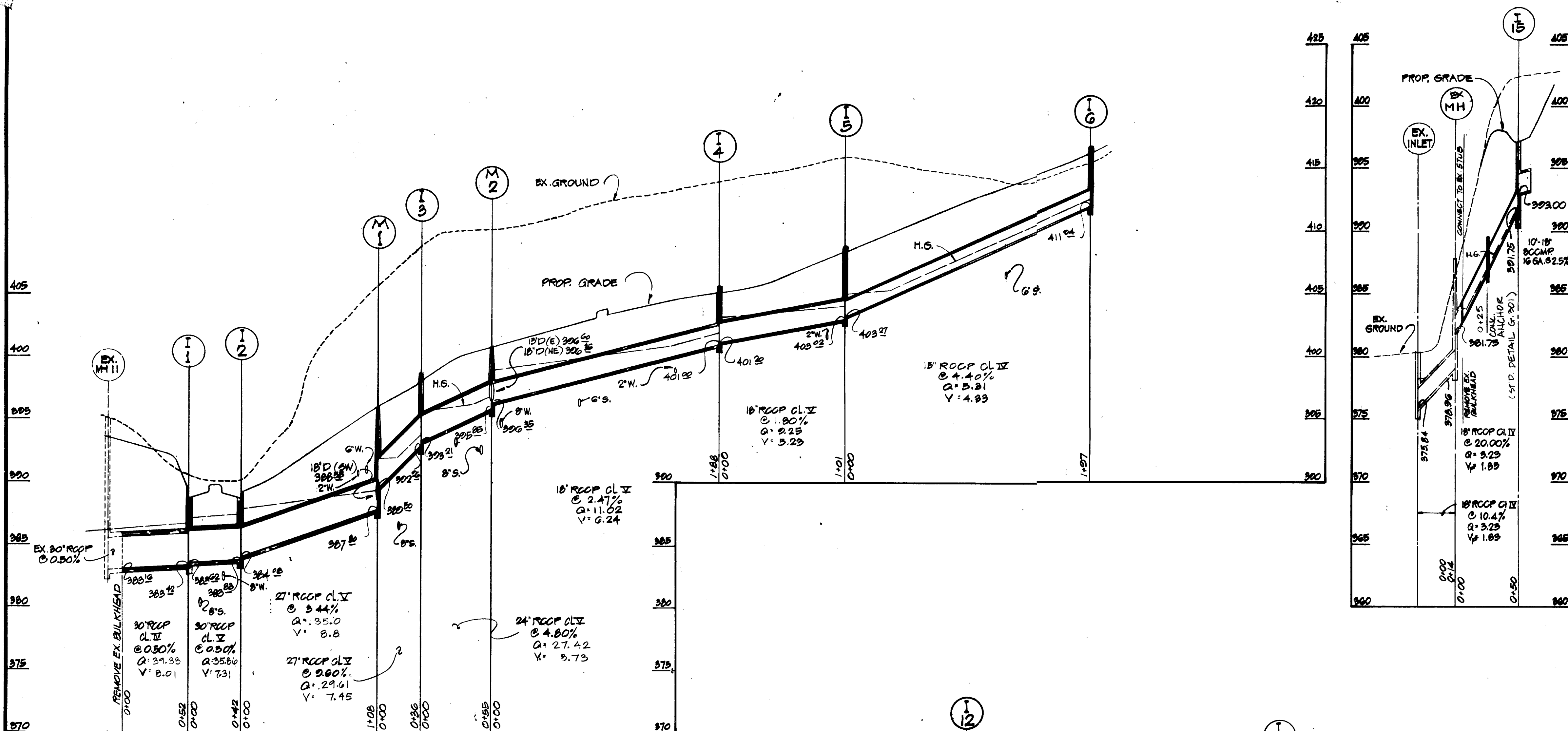
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE,  
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*[Signature]* 11-19-84  
DIRECTOR DATE

*[Signature]* 11-26-84  
CHIEF, BUREAU OF ENGINEERING DATE



**STORM DRAIN STRUCTURE SCHEDULE**

NO	TYPE	TOP ELEV.	INV. IN	INV. OUT	LOCATION
I-1	24" S' COMB. HO. CO. SD 4.24	380.00	380.00	380.00	SEE PLAN
I-2	18" S' COMB. HO. CO. SD 4.24	380.00	384.00	380.00	
I-3	8" COMB. HO. CO. SD 4.22	380.00	383.00	382.00	
I-4	8" COMB. HO. CO. SD 4.22	405.00	401.00	401.00	
I-5	24" S' COMB. HO. CO. SD 4.24	405.00	405.00	405.00	
I-6	24" S' COMB. HO. CO. SD 4.24	417.00	412.00	411.00	
I-8	24" S' COMB. HO. CO. SD 4.24	380.00		380.00	
I-9	8" COMB. HO. CO. SD 4.21	400.00		405.00	
I-10	8" COMB. HO. CO. SD 4.22	405.00	401.00	401.00	
I-11	24" S' COMB. HO. CO. SD 4.24	412.00	407.00	407.00	
I-12	24" S' COMB. HO. CO. SD 4.24	418.00		414.00	
I-13	YARD INLET, HO. CO. SD 4.14	404.00		400.00	
I-14	8" GRATE, HO. CO. SD 4.22	400.00		402.00	
I-15	8" GRATE, HO. CO. SD 4.11	380.00	380.00	380.00	
M-1	STANDARD MANHOLE, HO. CO. G.5.01	380.00	380.00	380.00	SEE PLAN
M-2	SHALLOW MANHOLE, HO. CO. G.5.05	400.00	380.00	380.00	
M-3	SHALLOW MANHOLE, HO. CO. G.5.05	400.00	380.00	380.00	
M-4	STANDARD MANHOLE	400.00	400.00	400.00	



CONTRACTOR TO CONSTR. PROP. S.D. MH OVER EX. 15" D.

CONTRACTOR TO REMOVE EX. 1-14 AND 30" L.F. OF EX. 15" D.

**DAFT · McCUNE · WALKER INC.**  
 LAND PLANNING CONSULTANTS  
 LANDSCAPE ARCHITECTS  
 ENGINEERS  
 530 EAST JOPPA ROAD  
 TOWSON, MD. 21286  
 TELEPHONE: 301-286-3333

STORM DRAIN PROFILES  
 PARCEL J'  
**COLUMBIA**  
 VILLAGE OF HICKORY RIDGE  
 SECTION 5 AREA G  
 8<sup>th</sup> ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

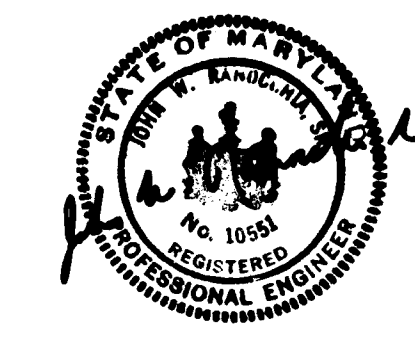
**DEVELOPER**  
 OXFORD  
 DEVELOPMENT  
 CORPORATION  
 1481 BARNES CITY DR.  
 LANDOVER, MD, 2780

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
 HEALTH OFFICER: *[Signature]* DATE: 9-20-84

APPROVED: HOWARD COUNTY BOARD OF PLANNING AND ZONING  
 PLANNING DIRECTOR: *[Signature]* DATE: 9-21-84  
 CHIEF PROFESSIONAL OF LAND DEVELOPMENT & ZONING: *[Signature]* DATE: 9-21-84

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE,  
 STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR: *[Signature]* DATE: 11-10-84

**APPROVED**  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE: 9-19-84  
*[Signature]*



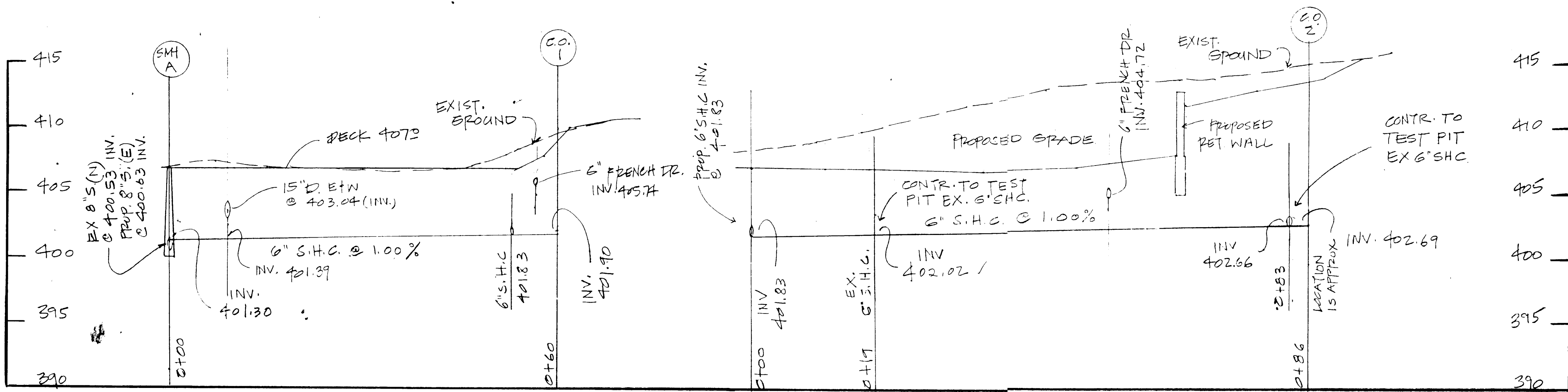
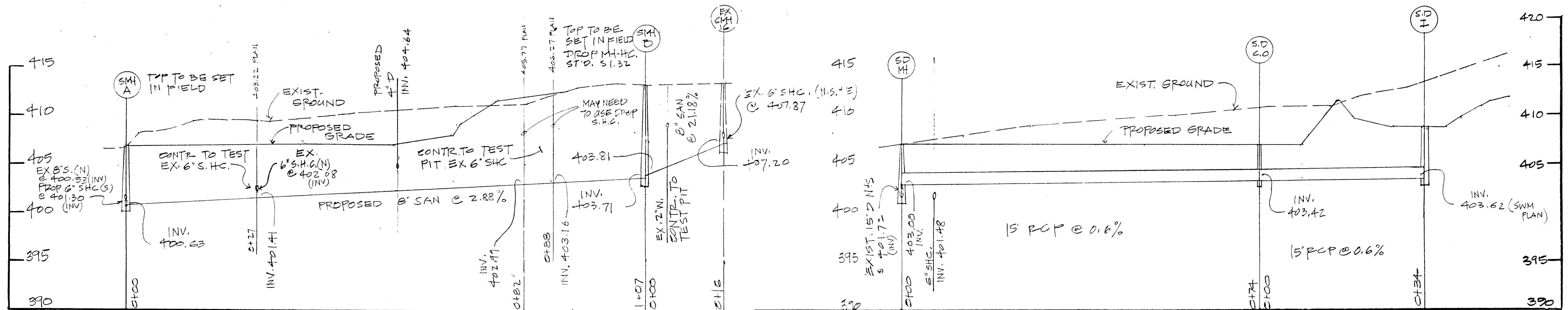
**OWNER**  
 HOWARD RESEARCH & DEVELOPMENT  
 CORPORATION  
 1278 LITTLE PATRIOT PKWY.  
 COLUMBIA, MD 21044

DATE	REVISIONS
8-6-84	AS PER COUNTY COMMENTS
9-24-84	AS PER COUNTY COMMENTS
1-16-85	AS PER DPW COMMENTS
4-26-85	REV. SD PROFILE M-4 - I-14

SCALE: Hor: 1"=50'  
 Vert: 1"=5'

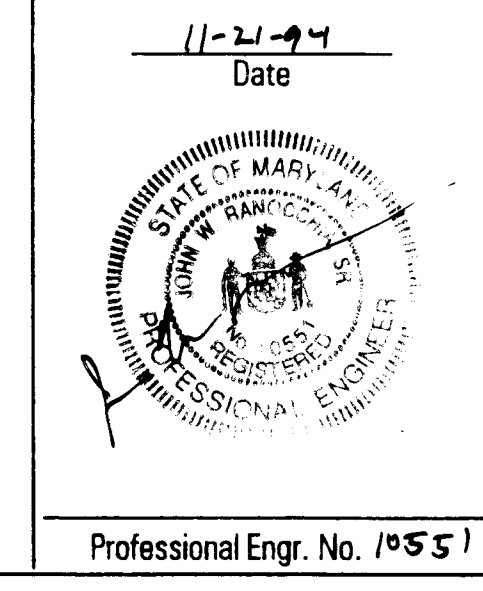
JOB ORDER NO. 84019  
 ISSUE DATE 6-24-84

DWG.# 4 of 8



PROFILES  
 SCALE: HORIZ. 1" = 10'  
 VERT. 1" = 5'

NOTE: THE PURPOSE OF THESE PROFILES IS TO REVISE EX. UTILITIES TO ALLOW FOR THE INSTALLATION OF PROPOSED SWIMMING POOL. (SEE WP-94-85)



APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS,  
 HOWARD COUNTY HEALTH DEPARTMENT  
*James M. Boyd* 5/10/95  
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
*James M. Boyd* 5/12/95  
 DIRECTOR DATE

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE,  
 STORM DRAINAGE SYSTEMS AND PUBLIC ROADS,  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*John J. O'Hara* 5/8/95  
 DIRECTOR DATE

*Paul G. Gosman* 5/14/95  
 CHIEF, BUREAU OF ENGINEERING DATE

Date	No.	Revision Description

**COLUMBIA**

OWNER:  
 REFLECTIONS APARTMENT COMPLEX  
 12020 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND 21044

**DMW**  
 Dean McCune-Walker, Inc.  
 200 East Pennsylvania Avenue  
 Towson, Maryland 21286  
 (410) 296-3553  
 Fax 296-4706

A Team of Land Planners,  
 Landscape Architects,  
 Engineers, Surveyors &  
 Environmental Professionals

SUBDIVISION NAME	SECTION	DATE
VILLAGE OF HICKORY RIDGE	3/3	J
PLAT OR LOT	BLK & N.T.	DATE
5837 4	N.T.	35
WATER CODE	REAR CODE	5TH
I-15	6730300	8053.01

TITLE  
 REVISED  
 SITE DEVELOPMENT PLAN

Des By	Scale AS SHOWN	Proj. No.
Dim By	Date	
Chk By	Approved	5A OF 8

SDP-84-317



**SEDIMENT CONTROL PLAN LEGEND**

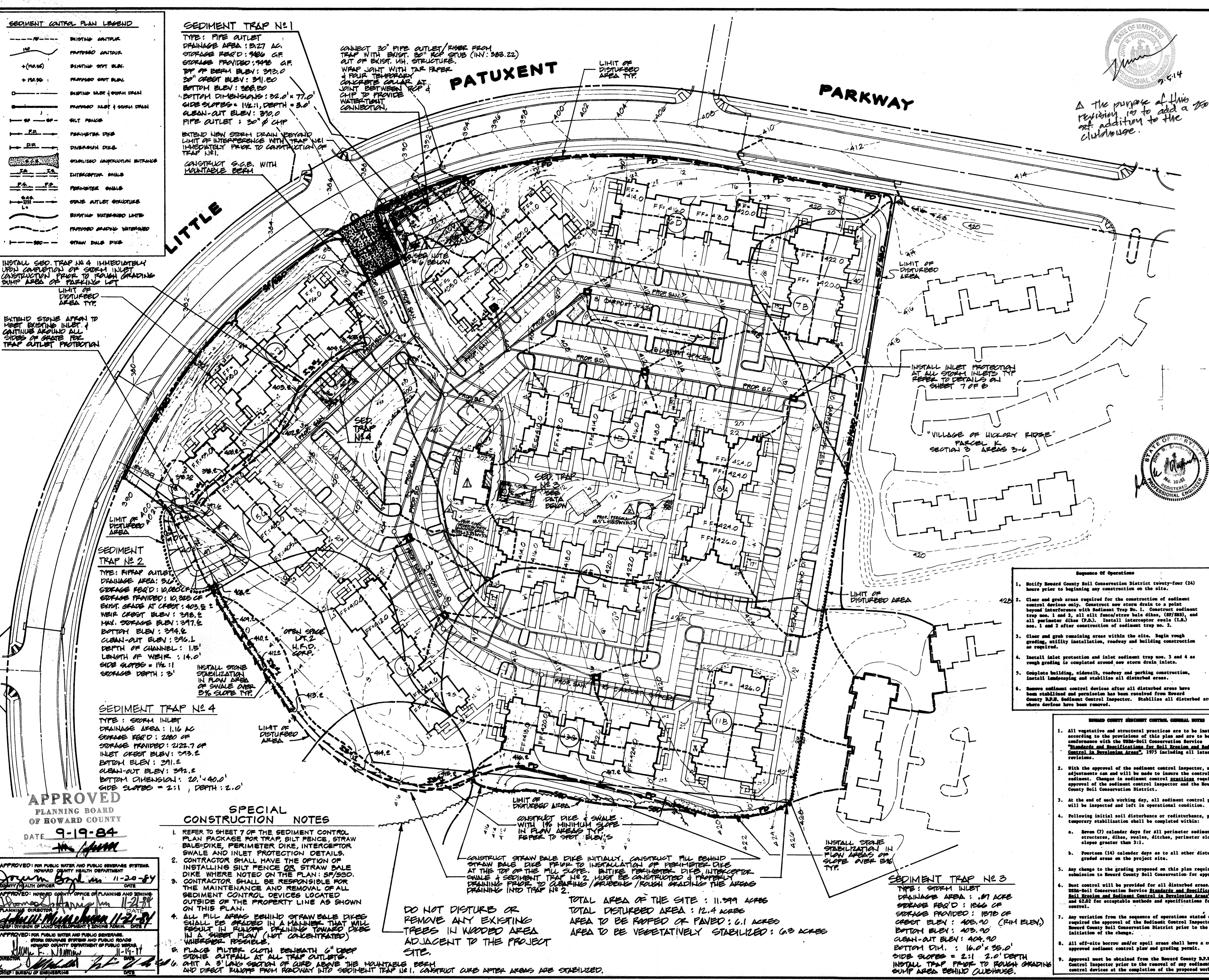
---	EXISTING OUTLINE
---	PROPOSED OUTLINE
+	EXISTING STORM DRAIN
+	PROPOSED STORM DRAIN
---	EXISTING SILT FENCE
---	PROPOSED SILT FENCE
---	EXISTING PERIMETER DIKE
---	PROPOSED PERIMETER DIKE
---	EXISTING INTERCEPTOR SWALE
---	PROPOSED INTERCEPTOR SWALE
---	EXISTING STORM DRAIN
---	PROPOSED STORM DRAIN
---	EXISTING WATERWAY
---	PROPOSED WATERWAY
---	EXISTING DRIVE
---	PROPOSED DRIVE

**SEDIMENT TRAP NO. 1**  
 TYPE: PIPE OUTLET  
 DRAINAGE AREA: 0.27 AC.  
 STORAGE PROVIDED: 1480 CF  
 TOP OF BERM ELEV: 342.0  
 30" CREST ELEV: 341.50  
 BOTTOM ELEV: 338.50  
 BOTTOM DIMENSIONS: 32.0' x 77.0'  
 SIDE SLOPES = 1 1/2:1, DEPTH = 3.0'  
 CLEAN-OUT ELEV: 339.0  
 PIPE OUTLET: 30" Ø CHP  
 EXTEND NEW STORM DRAIN BEYOND LIMIT OF INTERFERENCE WITH TRAP NO. 1 IMMEDIATELY PRIOR TO CONSTRUCTION OF TRAP NO. 1.  
 CONSTRUCT S.C.B. WITH MOUNTABLE BERM

CONNECT 30" PIPE OUTLET/RIVER FROM TRAP WITH EXIST. 30" RCP STUB (INV. 383.22) OUT OF EXIST. MH. STRUCTURE. WRAP JOINT WITH TAR PAPER. POUR TEMPORARY CONCRETE COLLAR AT JOINT BETWEEN RCP & CHP TO PROVIDE WATER-TIGHT CONNECTION.

INSTALL SED. TRAP NO. 4 IMMEDIATELY UPON COMPLETION OF STORM INLET CONSTRUCTION PRIOR TO ROUGH GRADING SUMP AREA OF PARKING LOT  
 LIMIT OF DISTURBED AREA TYP.

EXTEND STONE AREA TO MEET EXISTING INLET & CONTINUE AROUND ALL SIDES OF GRADE FOR TRAP OUTLET PROTECTION



**SEDIMENT TRAP NO. 2**  
 TYPE: PIPE TRAP OUTLET  
 DRAINAGE AREA: 5.11 AC.  
 STORAGE PROVIDED: 10,200 CF  
 EXIST. GRADE AT CREST: 403.5  
 MAX. CREST ELEV: 398.5  
 BOTTOM ELEV: 394.5  
 CLEAN-OUT ELEV: 396.1  
 DEPTH OF CHANNEL: 1.5'  
 LENGTH OF WEIR: 14.0'  
 SIDE SLOPES = 1 1/2:1  
 STORAGE DEPTH: 3'  
 INSTALL STONE STABILIZATION IN FLOW AREA OF SWALE OVER 5% SLOPE TYP.

**SEDIMENT TRAP NO. 4**  
 TYPE: STORM INLET  
 DRAINAGE AREA: 1.16 AC  
 STORAGE PROVIDED: 2080 CF  
 INLET CREST ELEV: 343.2  
 BOTTOM ELEV: 341.2  
 CLEAN-OUT ELEV: 342.2  
 BOTTOM DIMENSION: 20' x 40.0'  
 SIDE SLOPES = 2:1, DEPTH: 2.0'

**SEDIMENT TRAP NO. 3**  
 TYPE: STORM INLET  
 DRAINAGE AREA: .87 ACRE  
 STORAGE PROVIDED: 1570 CF  
 CREST ELEV: 405.90 (R.H. ELEV)  
 BOTTOM ELEV: 403.90  
 CLEAN-OUT ELEV: 404.90  
 BOTTOM DIM.: 16.0' x 35.0'  
 SIDE SLOPES = 2:1 2.0' DEPTH  
 INSTALL TRAP PRIOR TO ROUGH GRADING SUMP AREA BEHIND CLUBHOUSE.

**SPECIAL CONSTRUCTION NOTES**

- REFER TO SHEET 7 OF THE SEDIMENT CONTROL PLAN FOR TRAP, SILT FENCE, STRAW BALE DIKE, PERIMETER DIKE, INTERCEPTOR SWALE AND INLET PROTECTION DETAILS.
- CONTRACTOR SHALL HAVE THE OPTION OF INSTALLING SILT FENCE OR STRAW BALE DIKE WHERE NOTED ON THE PLAN: SP/SDO.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REMOVAL OF ALL SEDIMENT CONTROL DEVICES LOCATED OUTSIDE OF THE PROPERTY LINE AS SHOWN ON THIS PLAN.
- ALL FILL AREAS BEHIND STRAW BALE DICES SHALL BE GRADED IN A MANNER THAT WILL RESULT IN RUNOFF DRAINING TOWARD DIKE IN A SWIFT FLOW (NOT CONCENTRATED) UNDERPASS FORMERLY.
- PLACE FILTER CLOTH BENEATH 6" DEEP STONE OUTFALL AT ALL TRAP OUTLETS. CHIT A 3' LONG SECTION OF CURB ABOVE THE MOUNTABLE BERM AND DIRECT RUNOFF FROM ROADWAY INTO SEDIMENT TRAP NO. 1. CONSTRUCT CURB AFTER AREAS ARE STABILIZED.

DO NOT DISTURB OR REMOVE ANY EXISTING TREES IN WOODED AREA ADJACENT TO THE PROJECT SITE.

TOTAL AREA OF THE SITE: 11.399 ACRES  
 TOTAL DISTURBED AREA: 12.4 ACRES  
 AREA TO BE PAVED OR GRADED: 6.1 ACRES  
 AREA TO BE VEGETATIVELY STABILIZED: 6.3 ACRES

- Sequence of Operations**
- Notify Howard County Soil Conservation District twenty-four (24) hours prior to beginning any construction on the site.
  - Clear and grub areas required for the construction of sediment control devices only. Construct new storm drain to a point beyond interference with Sediment Trap No. 1. Construct sediment trap nos. 1 and 2. All silt fence/straw bale dikes, (SFD) and all perimeter dikes (P.D.). Install interceptor swale (I.S.) nos. 1 and 2 after construction of sediment trap no. 2.
  - Clear and grub remaining areas within the site. Begin rough grading, utility installation, roadway and building construction as required.
  - Install inlet protection and inlet sediment trap nos. 3 and 4 as rough grading is completed around new storm drain inlets.
  - Complete building, sidewalk, roadway and parking construction, install landscaping and stabilize all disturbed areas.
  - Remove sediment control devices after all disturbed areas have been stabilized and permission has been received from Howard County S.C.D. Sediment Control Inspector. Stabilize all disturbed areas where devices have been removed.

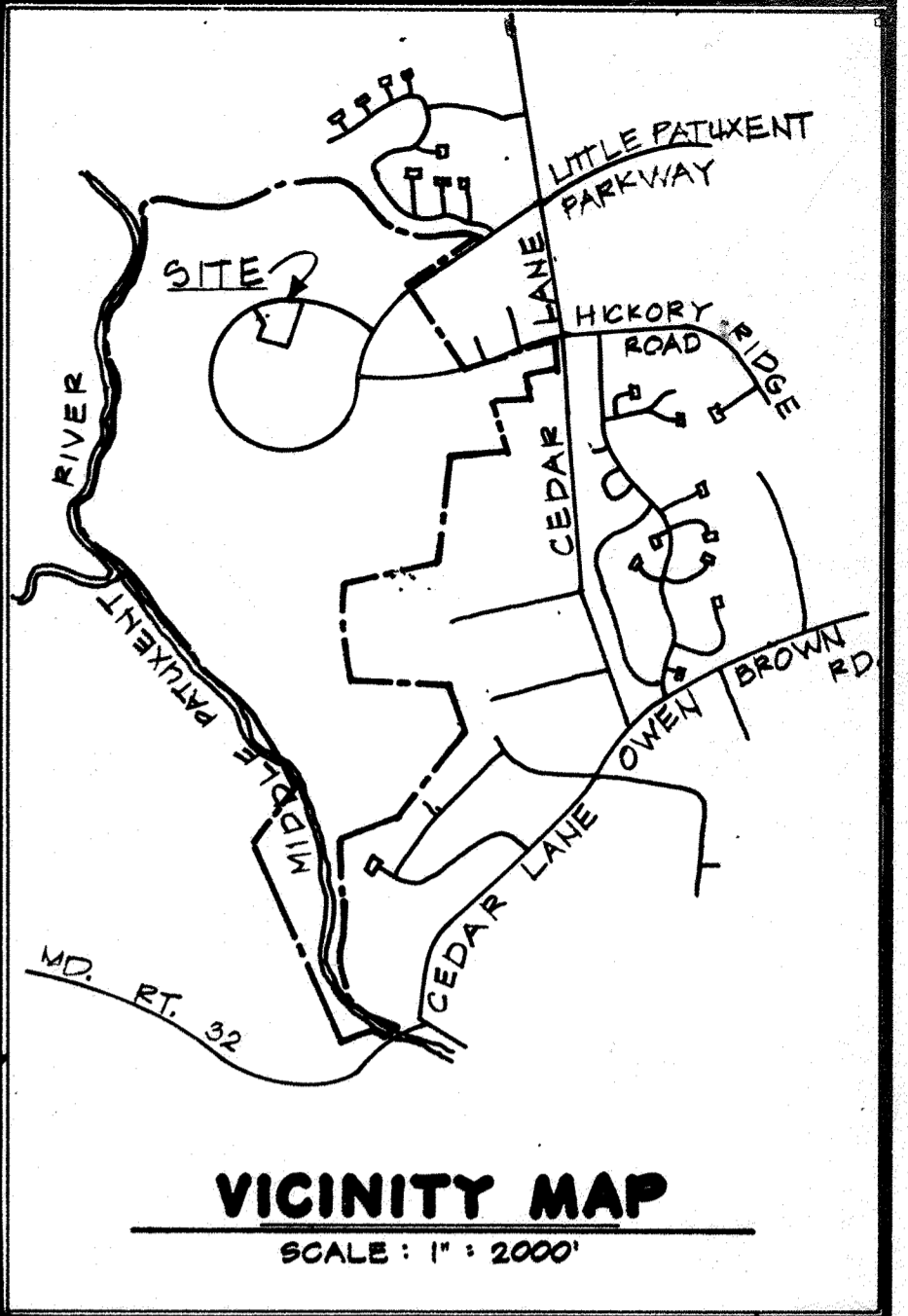
- HOWARD COUNTY SEDIMENT CONTROL GENERAL NOTES**
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in accordance with the USDA-NRCS Conservation Service "Standards and Specifications for Soil Erosion and Sediment Control in Rural Areas", 1975 including all latest revisions.
  - With the approval of the sediment control inspector, minor field adjustments can and will be made to insure the control of any sediment. Changes in sediment control practices require prior approval of the sediment control inspector and the Howard County Soil Conservation District.
  - At the end of each working day, all sediment control practices will be inspected and left in operational condition.
  - Following initial soil disturbance or disturbance, permanent or temporary stabilization shall be completed within:
    - Seven (7) calendar days for all perimeter sediment control structures, dikes, perimeter ditches, perimeter slopes and all slopes greater than 3:1.
    - Fourteen (14) calendar days as to all other disturbed or graded areas on the project site.
  - Any change to the grading proposed on this plan requires re-submission to Howard County Soil Conservation for approval.
  - Best control will be provided for all disturbed areas. Refer to USDA-Soil Conservation Service Standards and Specifications for Soil Erosion and Sediment Control in Rural Areas, pp. 62.01 and 62.02 for acceptable methods and specifications for best control.
  - Any variation from the sequence of operations stated on this plan requires the approval of the Sediment Control Inspector and the Howard County Soil Conservation District prior to the initiation of the change.
  - All off-site borrow and/or spoil areas shall have a current, approved sediment control plan and grading permit.
  - Approval must be obtained from the Howard County S.C.D. Sediment Control Inspector prior to the removal of any sediment control devices at the completion of the proposed work.

**APPROVED**  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE: 9-19-84

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS:  
 HOWARD COUNTY HEALTH DEPARTMENT  
 DATE: 11-20-84

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS:  
 HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
 DATE: 11-21-84

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS:  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DATE: 11-19-84



**SEDIMENT CONTROL PLAN CERTIFICATIONS**

**DEVELOPER CERTIFICATION**  
 I/We certify that all development and construction will be done pursuant to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project.  
 Signature of Developer: *Richard Mastyn* Date: 9/19/84  
 Name of Developer: *Howard-Drew Associates Limited Partnership*  
 Howard-Drew Development Corporation, General Partner  
**ENGINEER'S CERTIFICATION**  
 I certify that this plan of erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site, and that this plan was prepared in accordance with the requirements of the Howard County Soil Conservation District.  
 Signature of Engineer: *John W. Rancehia, Sr.* Date: 5/25/84  
 Name of Engineer: *JOHN W. RANCEHIA, SR.*  
 Reviewed For: *Howard* S.C.D.  
 and meets Technical Requirements: *John W. Rancehia, Sr.* 11-19-84  
 U.S. Soil Conservation Service Date

This development plan is approved for soil erosion and sediment control by the Howard County Soil Conservation District.  
 Signature of District Engineer: *Stephen J. Padden* 11/19/84  
 Howard County Soil Conservation District Date

**DAFT · McCUNE · WALKER INC.**  
 LAND PLANNING CONSULTANTS  
 LANDSCAPE ARCHITECTS  
 ENGINEERS  
 530 EAST JOPPA ROAD  
 TOWSON, MD. 21284  
 TELEPHONE: 301-296-3333

**SEDIMENT CONTROL PLAN**  
 PARCEL 'J'  
**COLUMBIA**  
 VILLAGE OF HICKORY RIDGE  
 SECTION 3 AREA G  
 5TH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

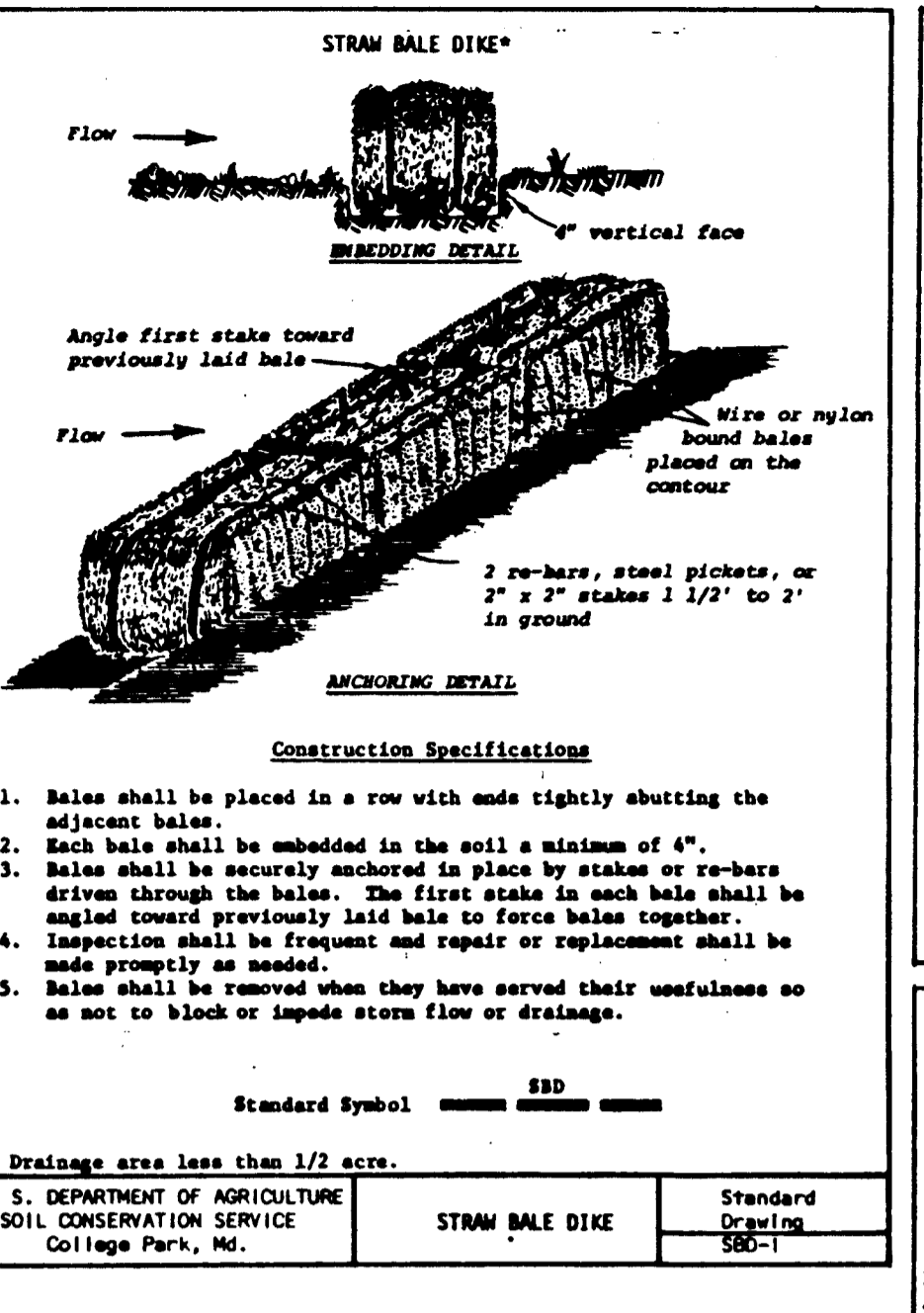
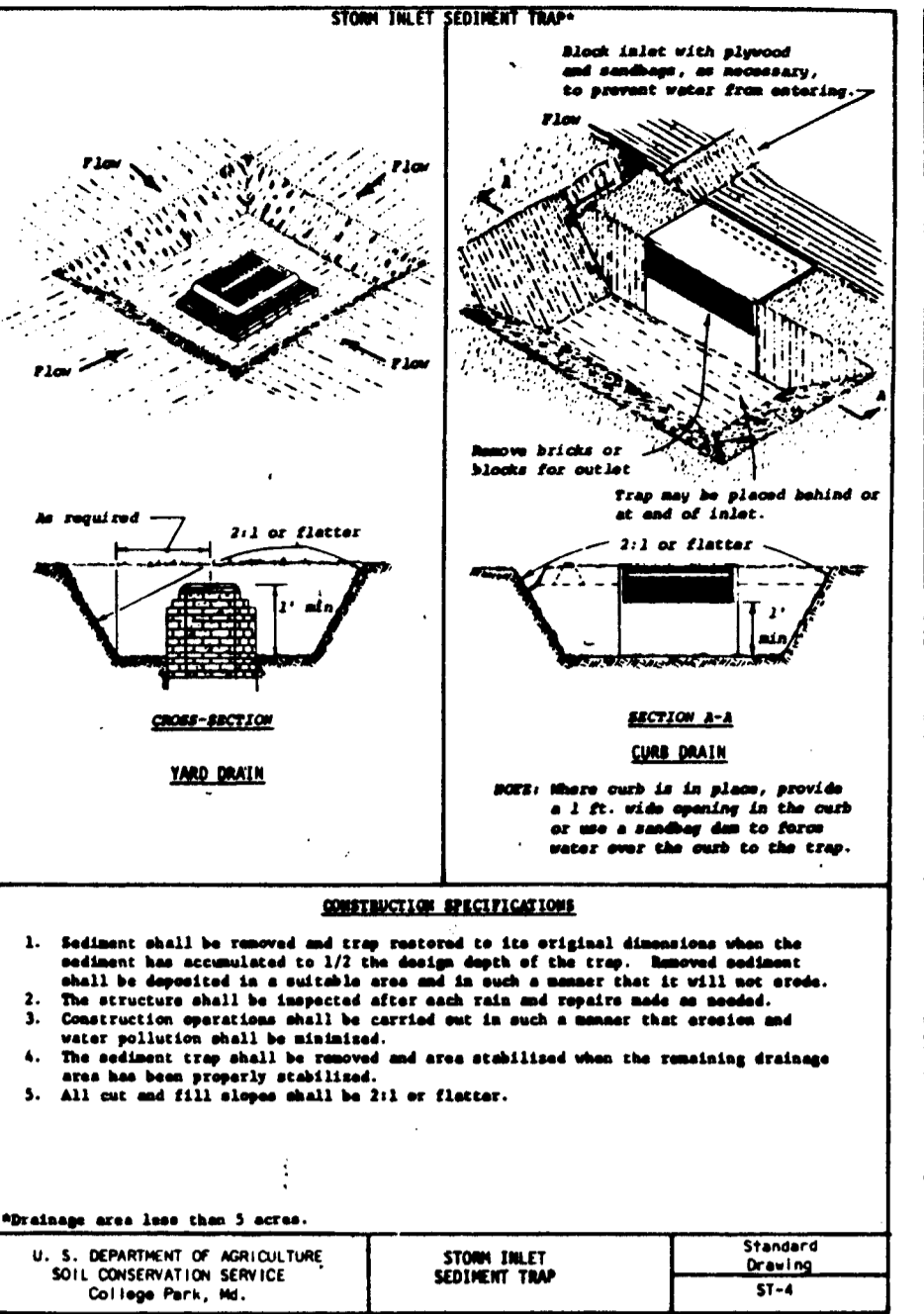
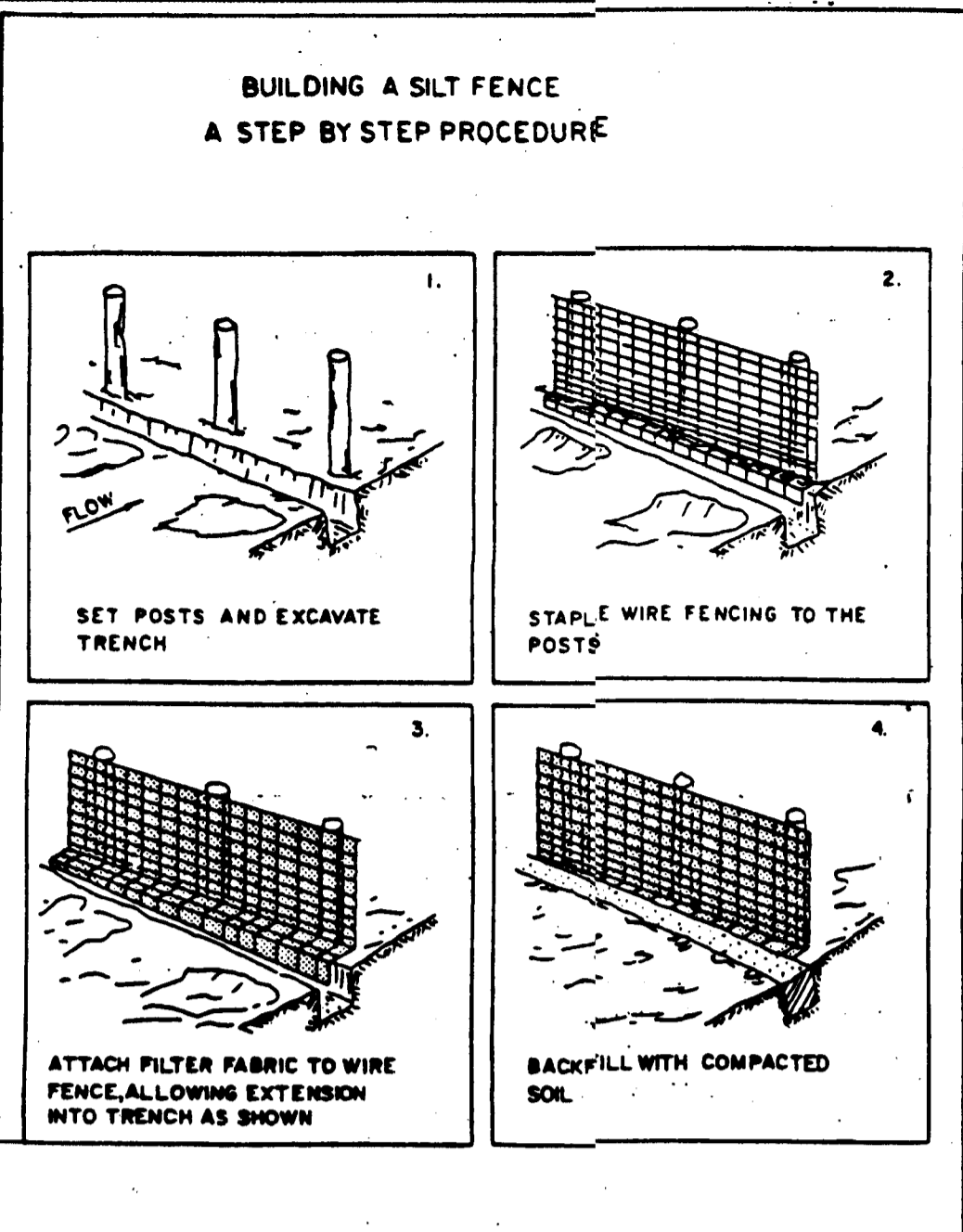
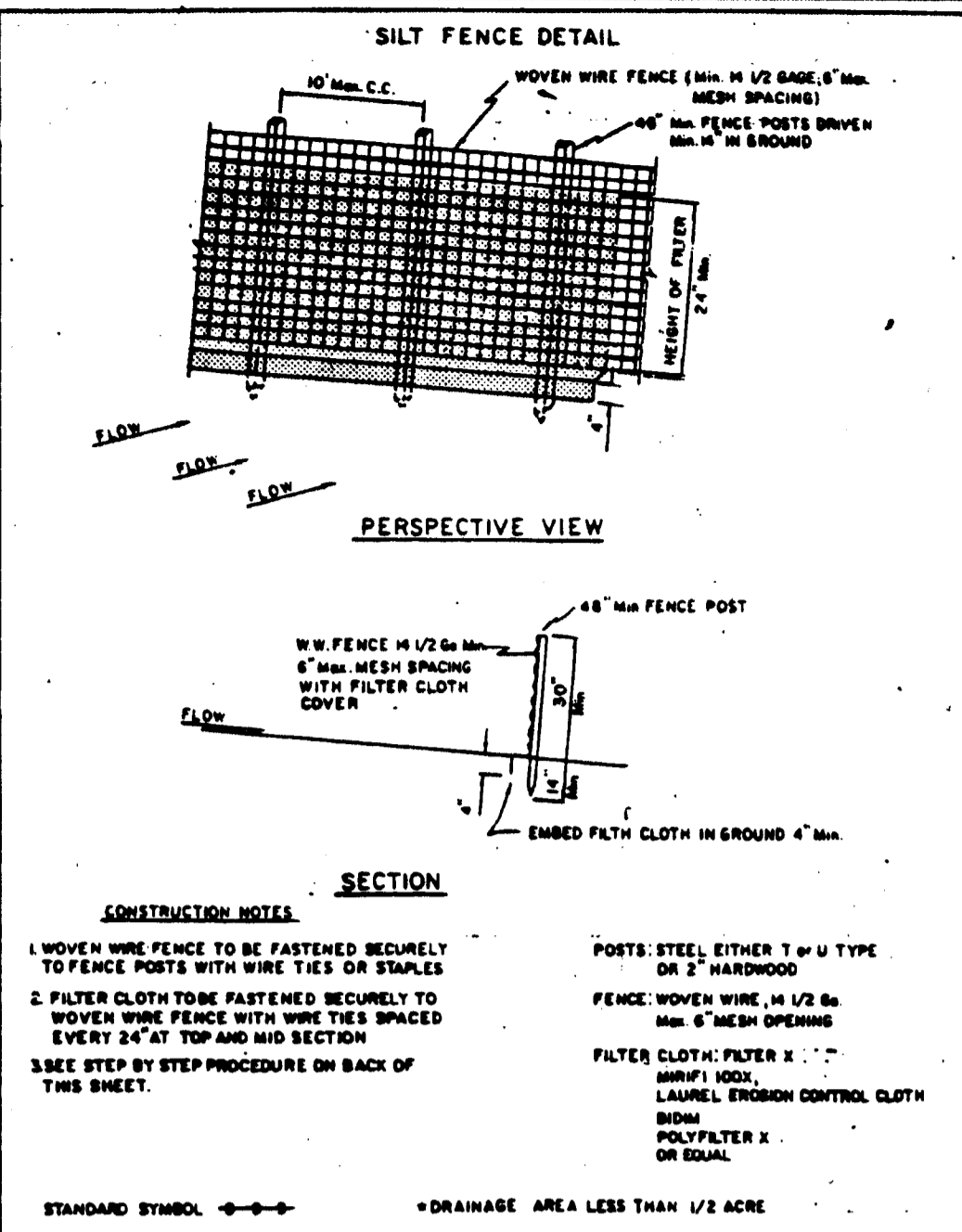
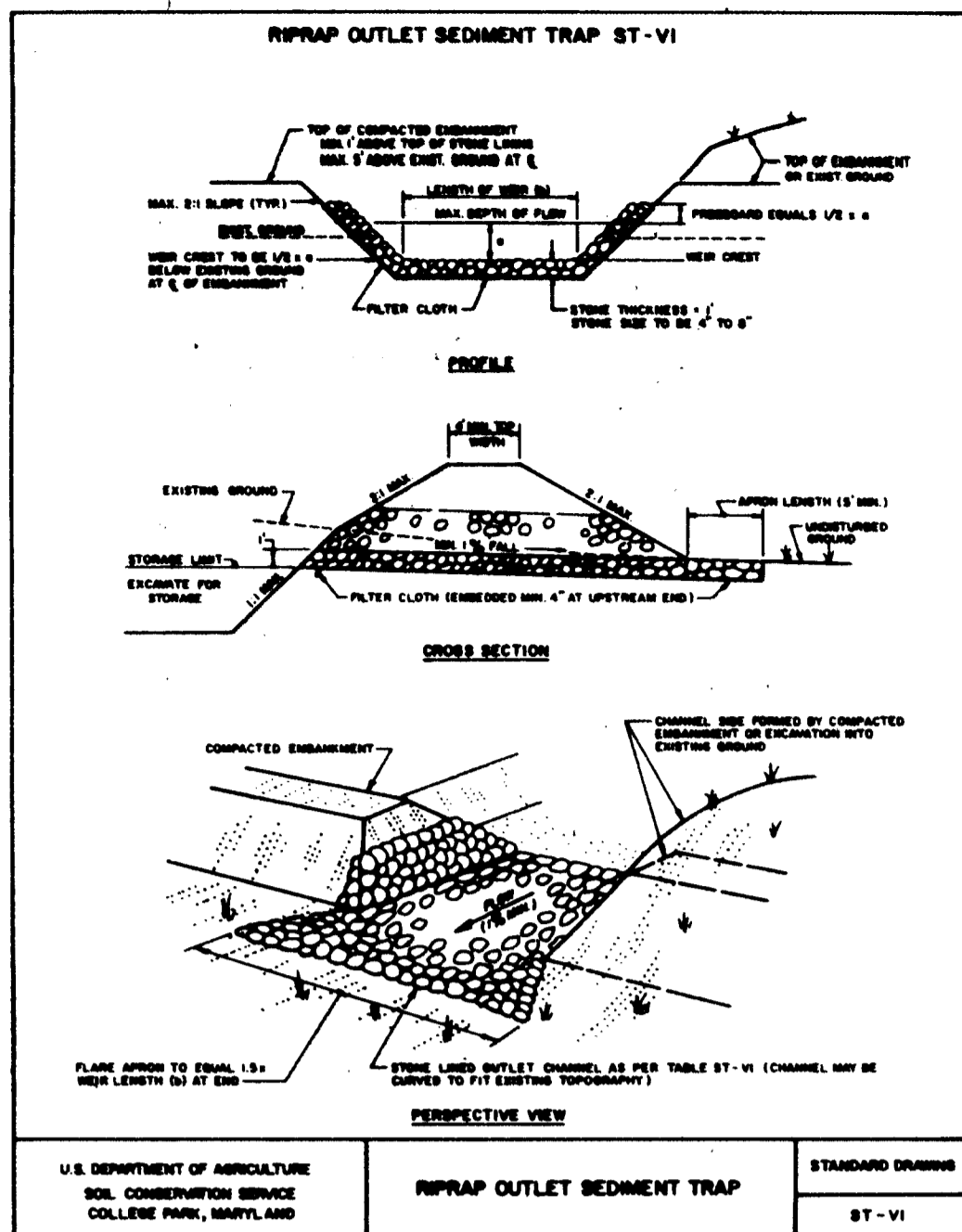
FOR: OXFORD DEVELOPMENT CORPORATION  
 4951 GARDEN CITY DR.  
 LANDOVER, MD. 20785  
 301/464-8100

DATE: 9-19-84  
 REVISIONS:  
 AUG 21, 1984 SED. CONTROL COMMENTS  
 9-9-84 Add Clubhouse Expansion Form  
 4-17-23 REVISE TO SHOW PERSON AND GULL

SCALE: 1" = 50'  
 JOB ORDER NO. 8401R  
 ISSUE DATE 6-24-84  
 DWG# G of B

SDP-84-317c





**PRIMARY SEEDING NOTES:**

All disturbed areas shall be stabilized as follows:

**Reseed Preparation:** Loosen upper 3 inches of soil by raking, discing or other acceptable means. Remove all sticks, debris and stones larger than 1 inch in size.

**Soil Amendments:** Apply 7 tons per acre of ground dolomitic limestone (92 lb./1,000 square feet). Narrow row disc into upper 2 inches of soil. (Note: lime application if area was previously amended with lime for temporary leveling as specified below). At time of seeding, apply 400 lbs. per acre (9.2 lb./1,000 square feet) of 38-0-0 ureaform fertilizer and 500 lbs. per acre (11.5 lb./1,000 square feet) of 10-20-20 fertilizer.

**Seeding:** For the periods March 1 through May 15, and August 1 through November 1, seed with 345 lbs. per acre (18 lb./1,000 square feet) of 902 Kentucky 31 Certified Tall Fescue and 102 Annual Ryegrass. For the periods May 16 through July 31, seed with 345 lbs. of 902 Kentucky 31 Certified Tall Fescue and 102 Annual Ryegrass per acre only after prior written approval. During the period of November 1 through February 28, stabilize site by mulching as per temporary seeding notes below.

**Hydroseeding:** Wood cellulose fiber mulch (65 lb./1,000 square feet - dry weight) shall be incorporated as an integral part of a slurry mix after seed, fertilizer and water have been thoroughly mixed. Mix shall be uniformly applied, by an approved hydroseeding machine on all lawn areas designated on the drawings after the prepared soil seedbed has been lined. The applied slurry shall form a blanket like covered uniformly impregnated with grass seed, fertilizer and fiber mulch. An approved tackifier shall be immediately applied to the hydroseeded areas if a ready-mixed tackifier was not incorporated into the mix.

**Maintenance:** Seeded areas shall be watered and maintained until a thick stand of grass is established. Bare spots which persist after three weeks of favorable growing weather shall be reseeded and raked as specified in notes that flow and fertilizer may be omitted. Lawn areas shall be mowed to maintain turf between 2 inches and 4 inches at all times, until a thick stand of turf is established.

**TEMPORARY SEEDING NOTES:**

**Reseed Preparation:** Loosen upper 3 inches by raking, discing or other acceptable means.

**Soil Amendments:** Apply 2 tons (92 lb./1,000 square feet) per acre of ground dolomitic limestone. Narrow row disc into upper 2 inches of soil. At the time of seeding, apply 400 lbs. per acre (11.5 lb./1,000 square feet) of 10-20-20 fertilizer.

**Seeding:** For the periods March 1 through April 30, and from August 1 through November 15, seed with 25 bushels per acre (3.2 lb./1,000 square feet) of Annual Ryegrass. For the period May 1 through August 14 seed with 3 lb./acre (0.27 lb./1,000 square feet) of Weeping Lovegrass.

**Mulching:** Apply 1-1/2 to 2 tons per acre (70 to 90 lb./1,000 square feet) of weathered small grain straw immediately after seeding. Anchor mulch immediately after application using 210 gallons per acre (5 gallons/1,000 square feet) of emulsified asphalt on (last) acre. On slopes 8 feet or higher use 360 gallons per acre (8 gallons/1,000 square feet) of Weeping Lovegrass.

**Soil:** Seed between August 15th and June 1st only when the temperature is above 32 degrees F. Soil shall be Maryland State "Certified" 902 Kentucky 31 Tall Fescue and 102 Embury Kentucky Bluegrass cut in strips not less than 12 inches wide nor more than 18 inches wide and of uniform thickness of 3/4 inch plus or minus 1/4 inch of soil firmly attached to roots. Standard sections of seed shall be strong enough to support their own weight and retain their size and shape when suspended vertically from a firm grasp on the upper 10% of the section.

**Planting:** Lay sod with close joints and water immediately after installation so that the soil below the sod is thoroughly wet to a depth of 4 inches. The sod shall then be rolled or tamped until all soil and root growth is in close contact with the soil beneath.

**On drainage areas, and on all slopes 3 to 1 and steeper (where sod is indicated on the drawings), sod shall be laid with long edges parallel to the contour starting at the highest of the slope or slope. Successive strips shall be neatly stiched and all joints staggered. Each strip of sod shall be secured with stakes at least two (2) x 4" wood stakes spaced not more than two (2) feet apart, driven flush with top of sod.**

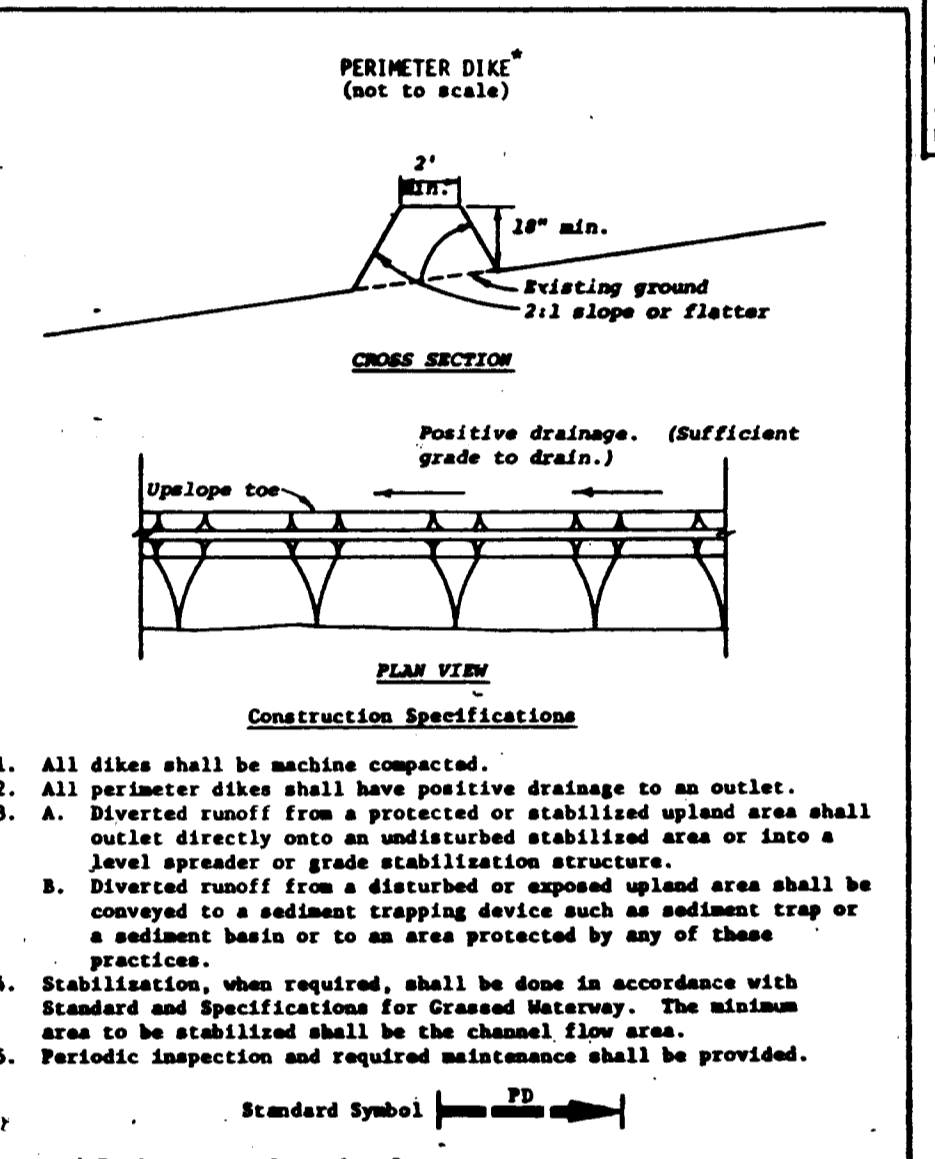
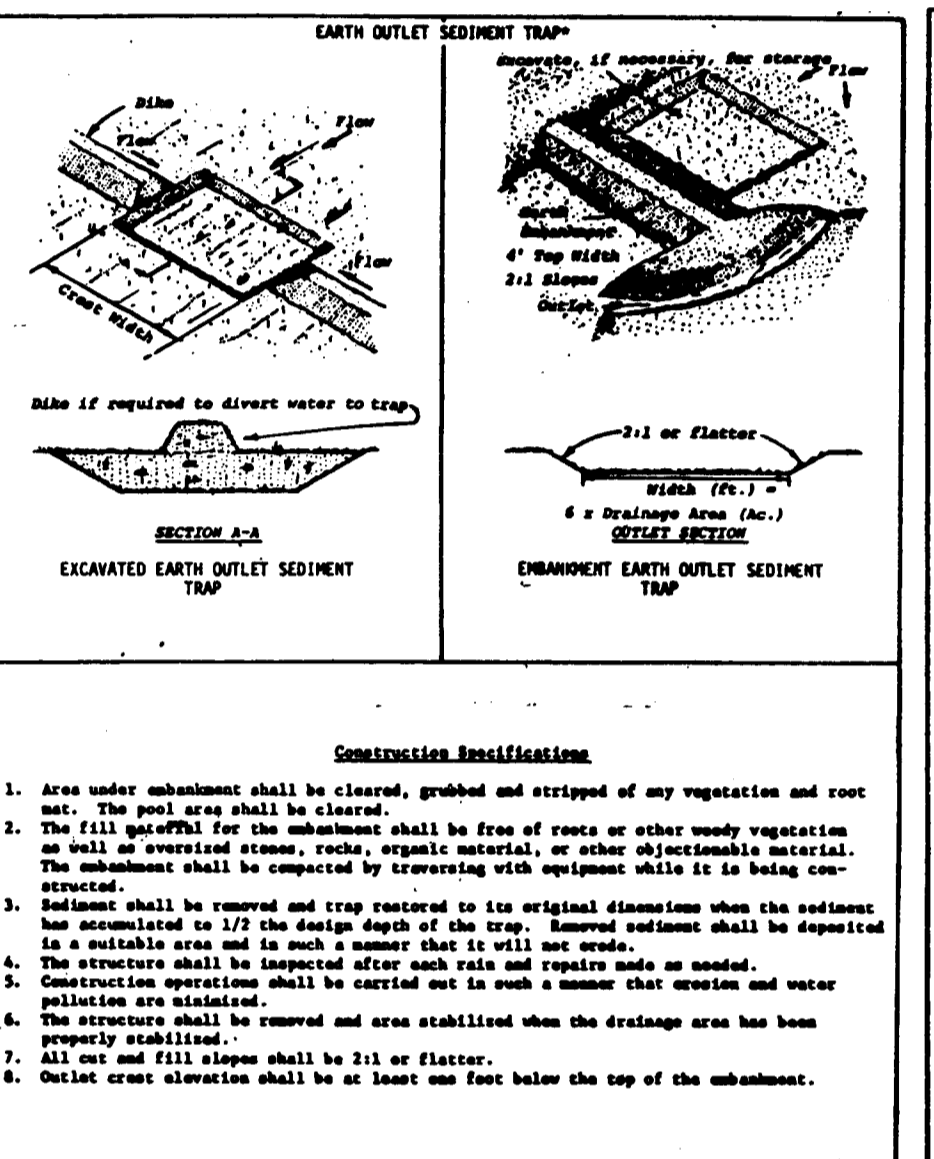
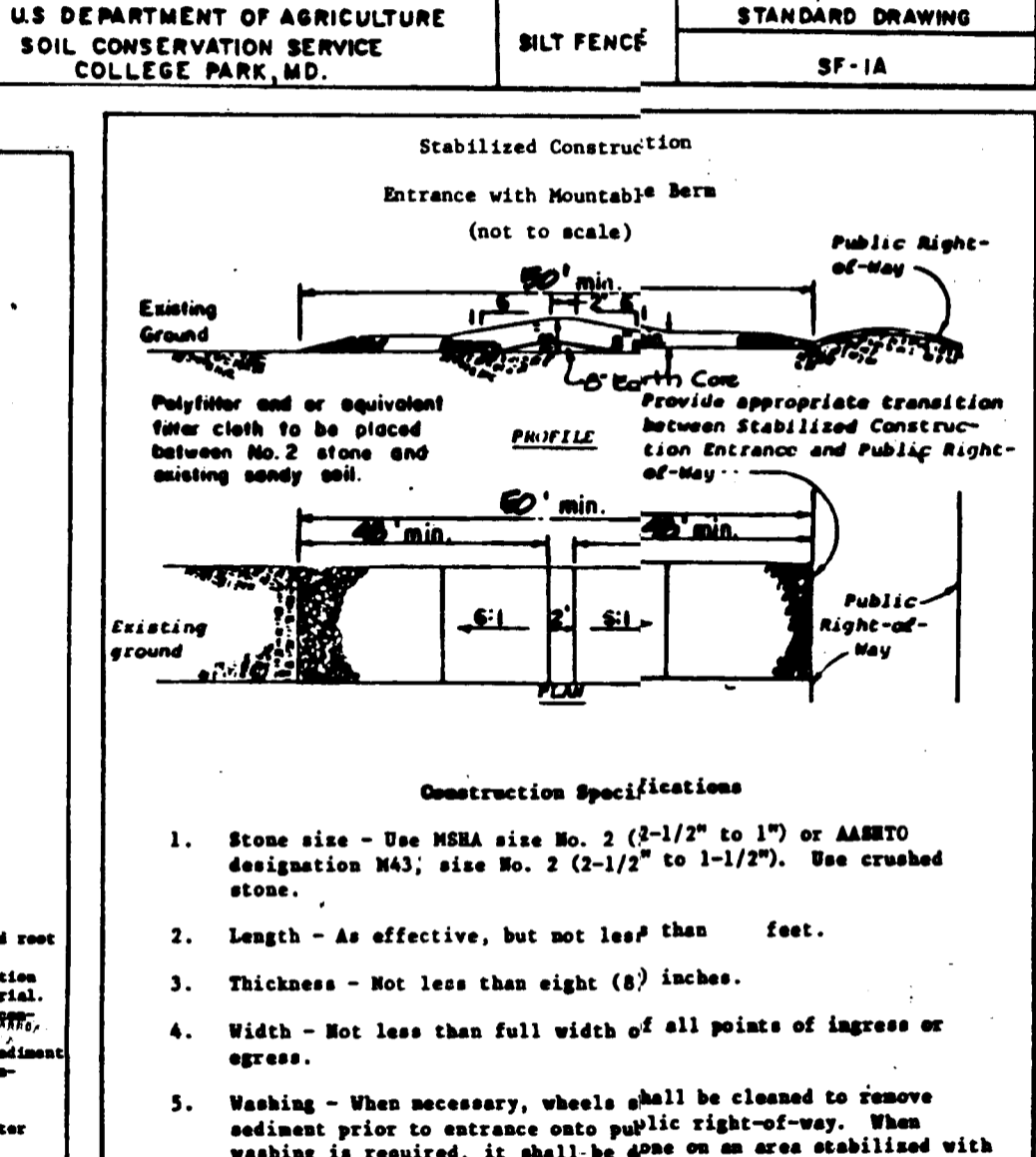
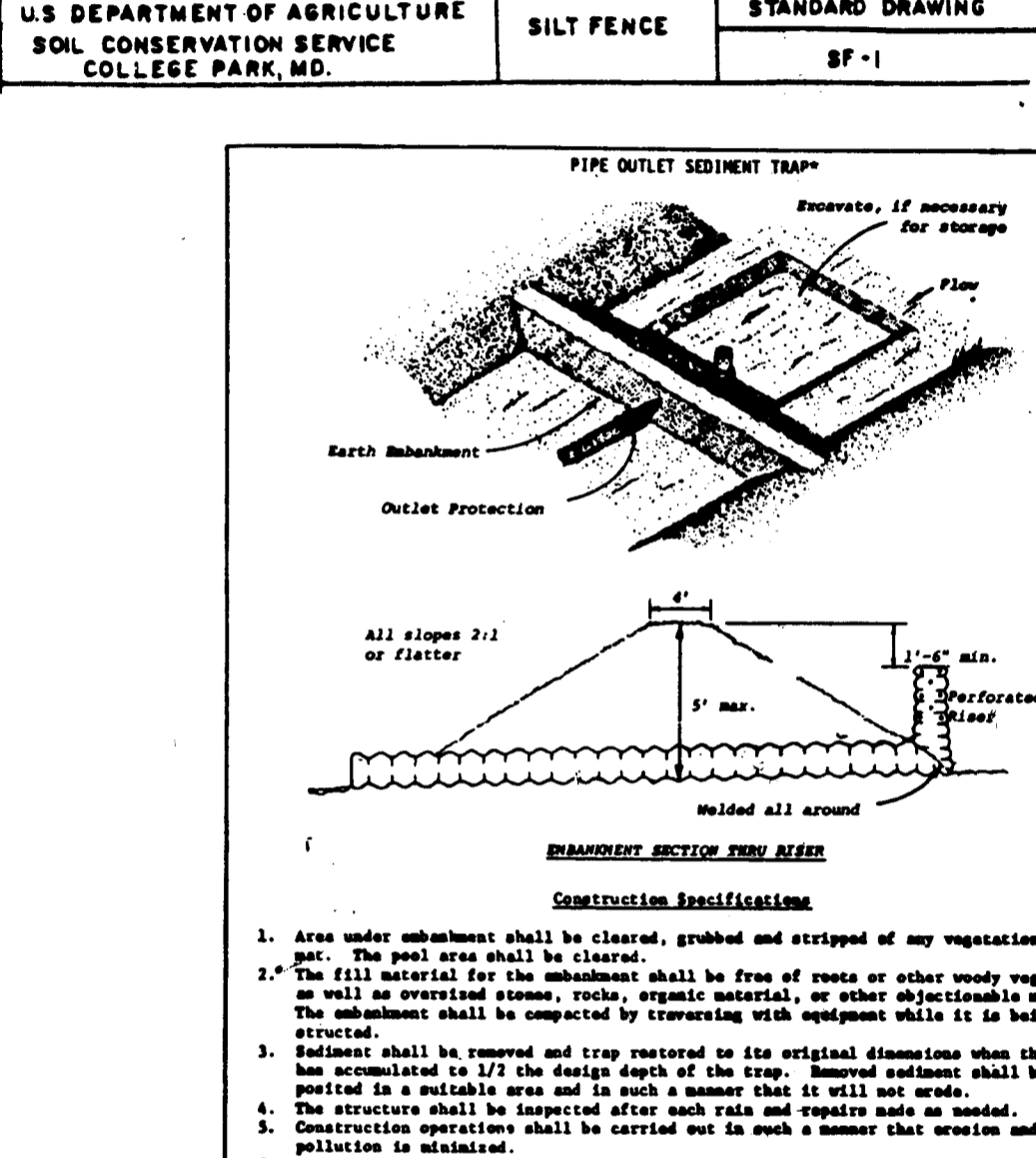
**Maintenance:** The Contractor shall produce a dense, well established lawn. The Contractor shall water the sod sufficiently to keep the turf moist and shall mow turf (keeping turf between 2-1/2 inches and 4 inches at all times) until accepted by the Owner.

**CONSTRUCTION SPECIFICATIONS FOR ST-1:**

- The area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The pool area shall be cleared.
- The fill material for the embankment shall be free of roots or other woody vegetation as well as over-sized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed. Maximum height of embankment shall be five (5) feet, measured at centerline of embankment.
- All fill slopes shall be 2:1 or flatter; cut slopes 1:1 or flatter.
- Elevation of the top of any dike directing water into trap must equal or exceed the height of embankment.
- Storage area provided shall be figured by computing the volume available behind the outlet channel up to an elevation of one (1) foot below the level weir crest.
- Filter cloth shall be placed over the bottom and sides of the outlet channel prior to placement of stone. Sections of fabric must overlap at least one (1) foot with section nearest the entrance placed on top. Fabric shall be embedded at least six (6) inches into existing ground at entrance of outlet channel.
- Stone used in the outlet channel shall be four (4) to eight (8) inches (grapp). To provide a filtering effect, a layer of filter cloth shall be embedded one (1) foot back into the upstream face of the outlet stone or a one (1) foot thick layer of two (2) inch or finer aggregate shall be placed on the upstream face of the outlet.
- Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap. Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
- The structure shall be inspected after each rain and repaired as needed.
- Construction operations shall be carried out in such a manner that erosion and water pollution are minimized.
- The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.
- Drainage area for this practice is limited to 15 acres or less.

U.S. DEPARTMENT OF AGRICULTURE  
SOIL CONSERVATION SERVICE  
COLLEGE PARK, MD.

STANDARD DRAWING  
PIPE OUTLET SEDIMENT TRAP  
ST-2



**SEEDING NOTES:**

**Soil Preparation and Amendments:** Cross-disk subgrade to a depth of 3 inches, then place topsoil to a minimum depth of 4" (or as noted in the specifications) inches over the subgrade. Apply 7 tons per acre of ground dolomitic limestone at 100 lb./1,000 square feet, ureaform fertilizer 38-0-0 at 3.5 lb./1,000 square feet and 10-20-20 fertilizer at 15 lb./1,000 square feet. After the limestone and fertilizer are spread, cross-disk to a depth of 3 inches. The area shall then be brought to proper grade, free from stones, sticks and other foreign matter over 1 inch in size within the top 3 inches of finished grade, free from water retaining depressions, the soil friable and of uniformly firm texture.

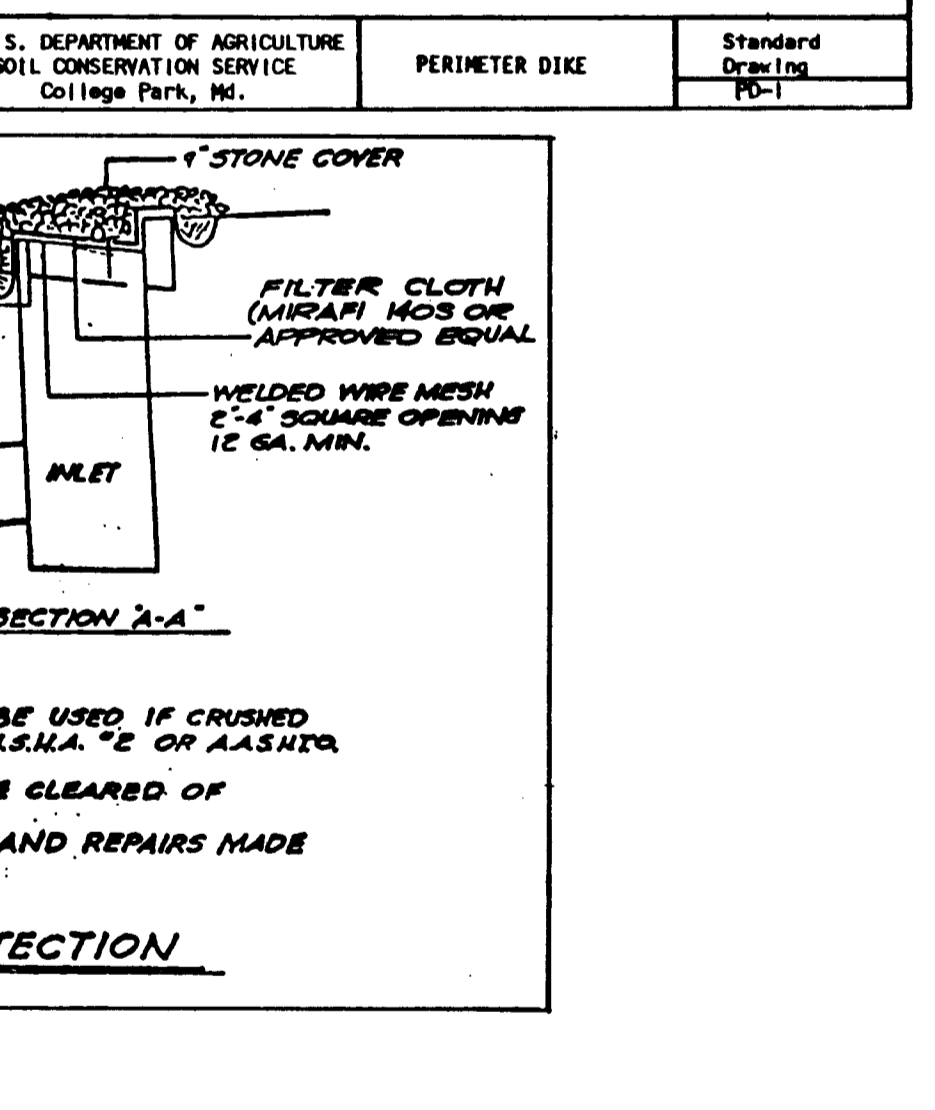
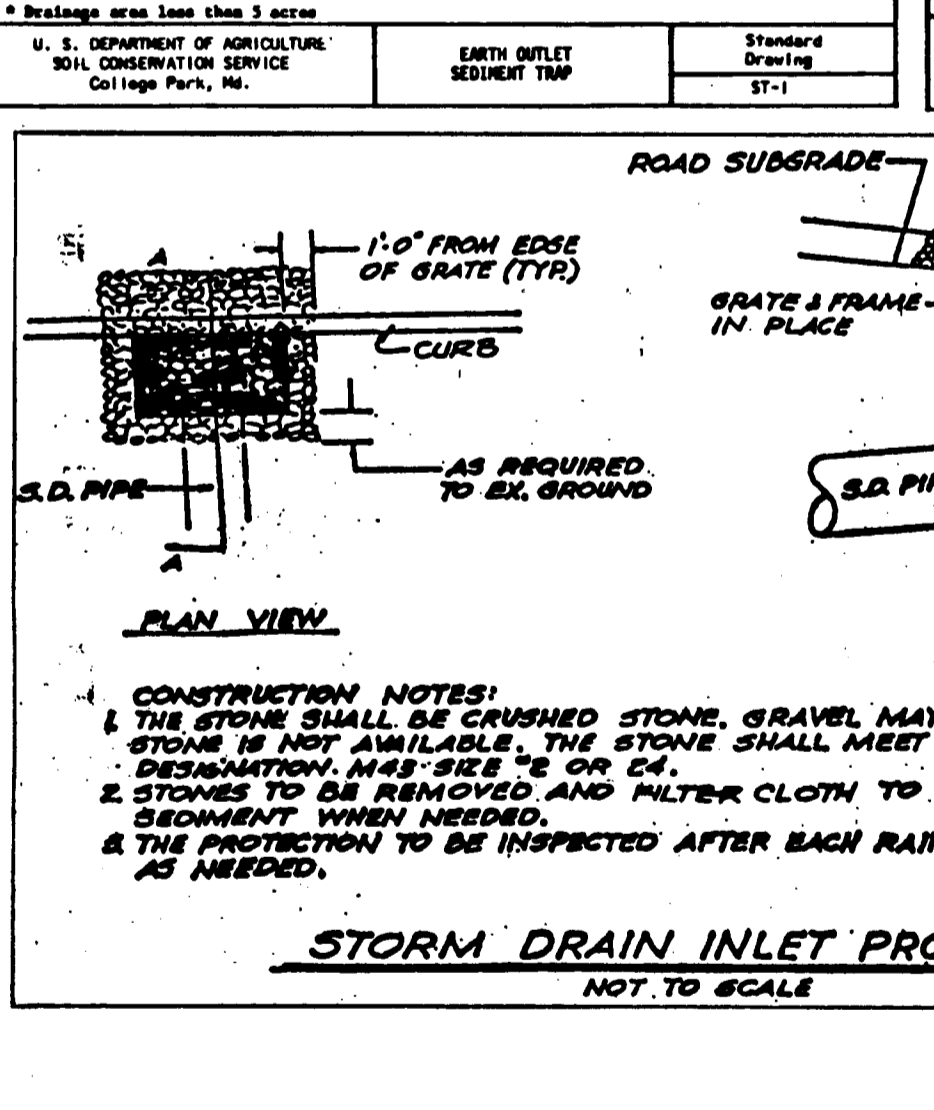
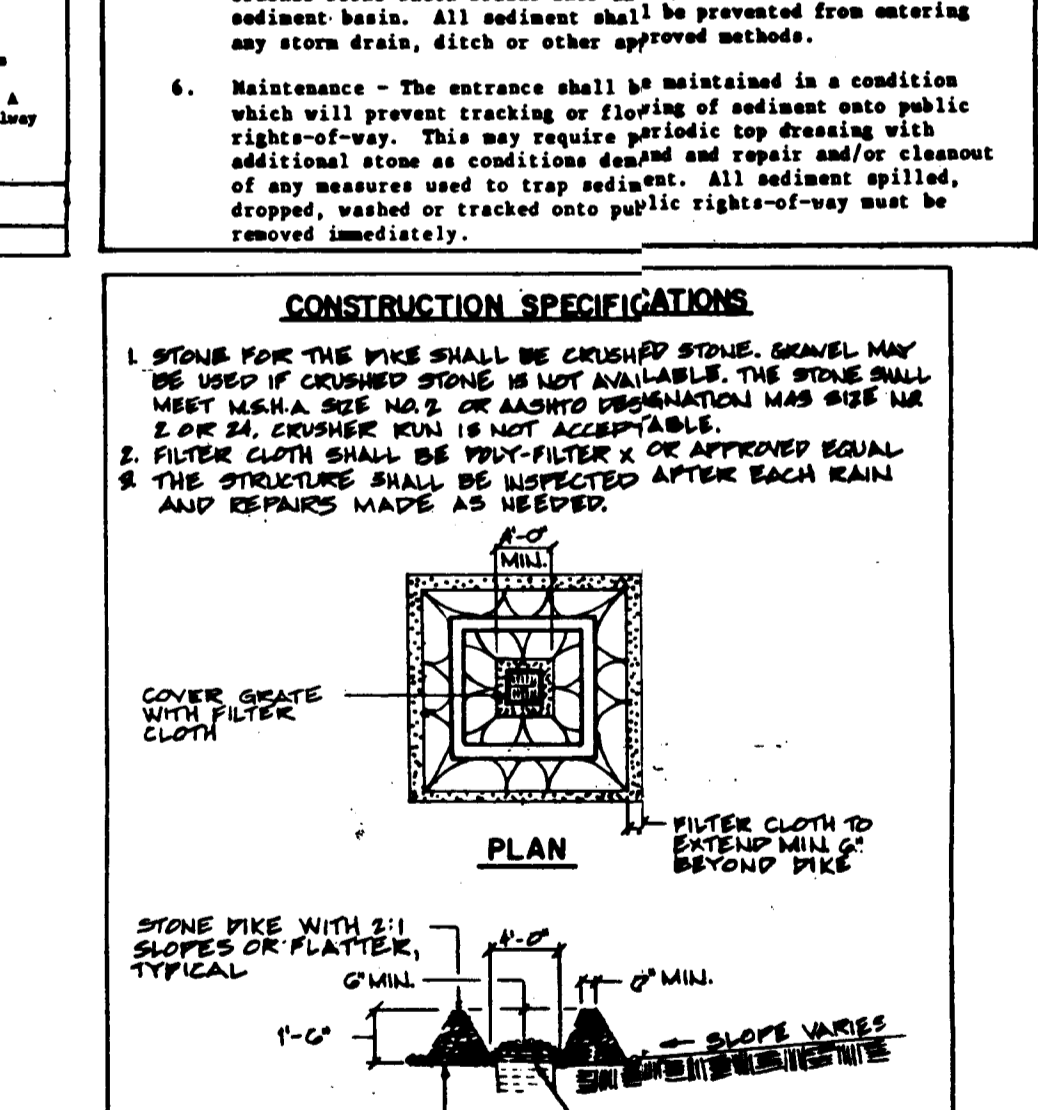
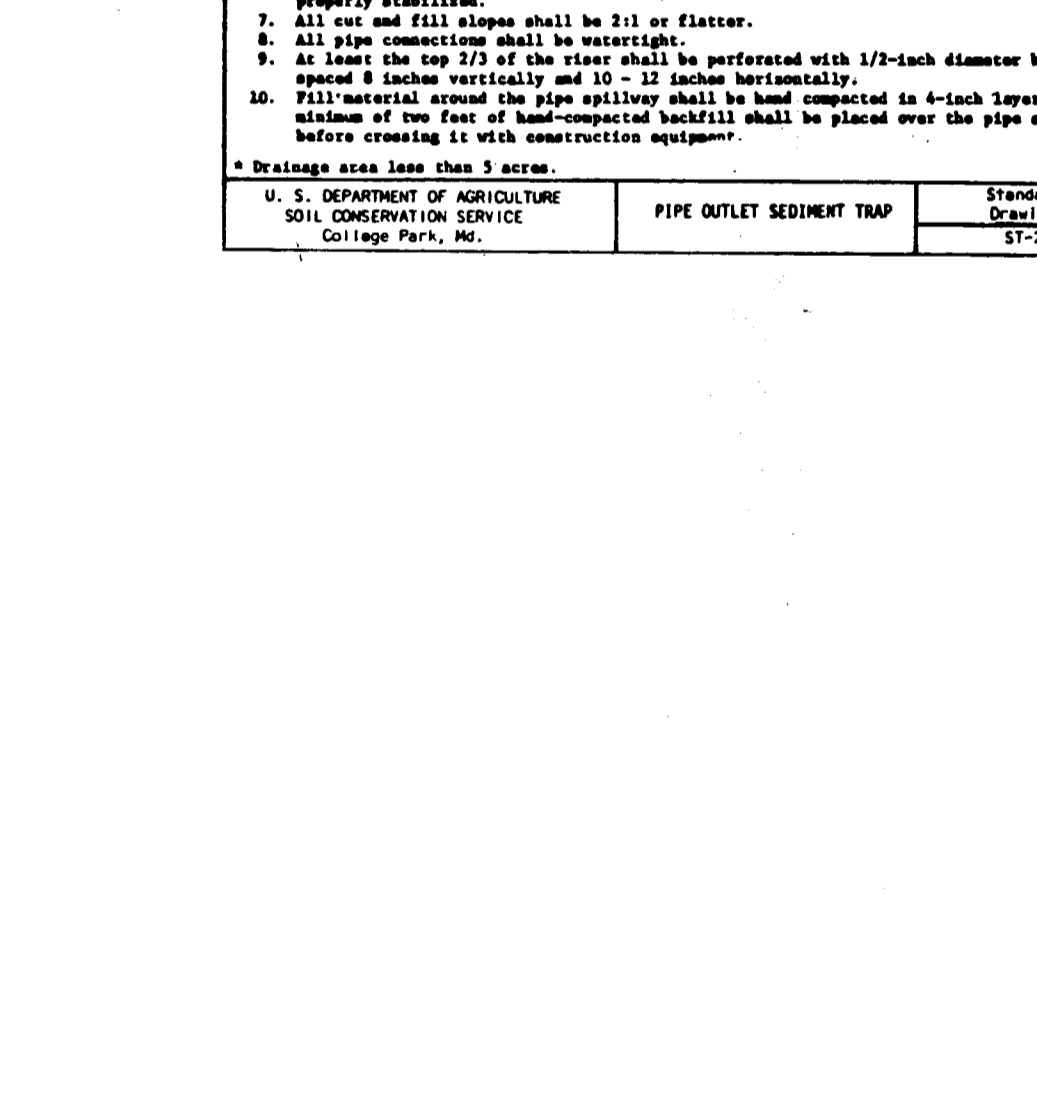
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**Planting:** Lay sod with close joints and water immediately after installation so that the soil below the sod is thoroughly wet to a depth of 4 inches. The sod shall then be rolled or tamped until all soil and root growth is in close contact with the soil beneath.

**On drainage areas, and on all slopes 3 to 1 and steeper (where sod is indicated on the drawings), sod shall be laid with long edges parallel to the contour starting at the highest of the slope or slope. Successive strips shall be neatly stiched and all joints staggered. Each strip of sod shall be secured with stakes at least two (2) x 4" wood stakes spaced not more than two (2) feet apart, driven flush with top of sod.**

**Maintenance:** The Contractor shall produce a dense, well established lawn. The Contractor shall water the sod sufficiently to keep the turf moist and shall mow turf (keeping turf between 2-1/2 inches and 4 inches at all times) until accepted by the Owner.

**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE: 9-19-84  
11/14/84



**SEDIMENT CONTROL DETAILS**

PARCEL 'J'  
**COLUMBIA**  
VILLAGE OF HICKORY RIDGE  
SECTION 9 AREA 8

8th ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

FOR:  
OXFORD  
DEVELOPMENT  
CORPORATION  
4861 GARDEN CITY DR.  
LANDOVER, MD. 20768  
301/454-8700

DATE: AUG 21, 1984  
REVISIONS: SDC CONTROL COMMENTS

SCALE: 1" = 50'

JOB ORDER NO. 84019  
ISSUE DATE 6-24-84

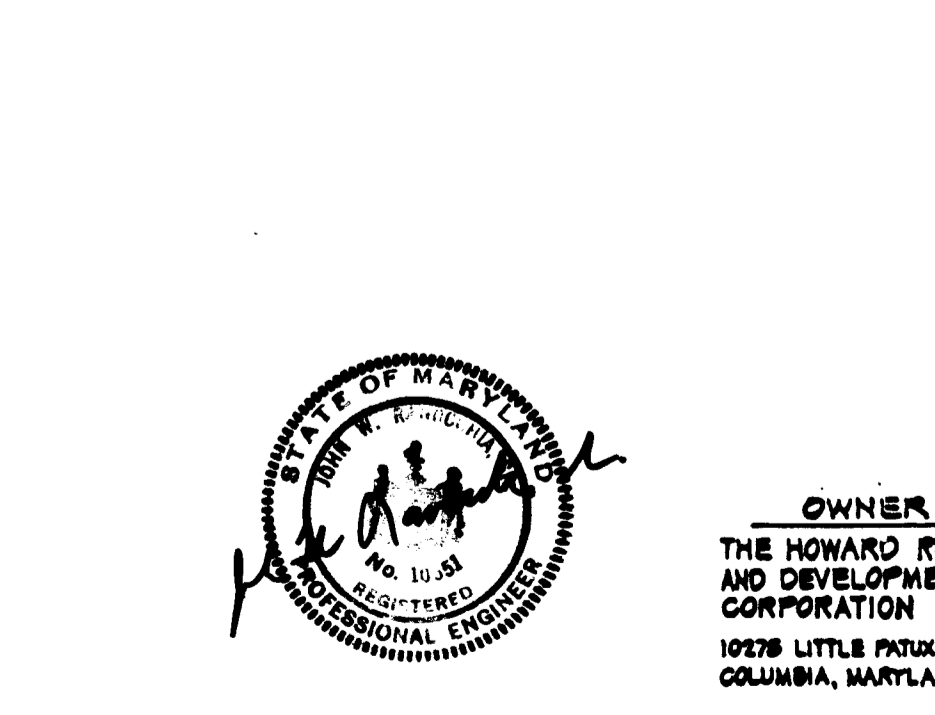
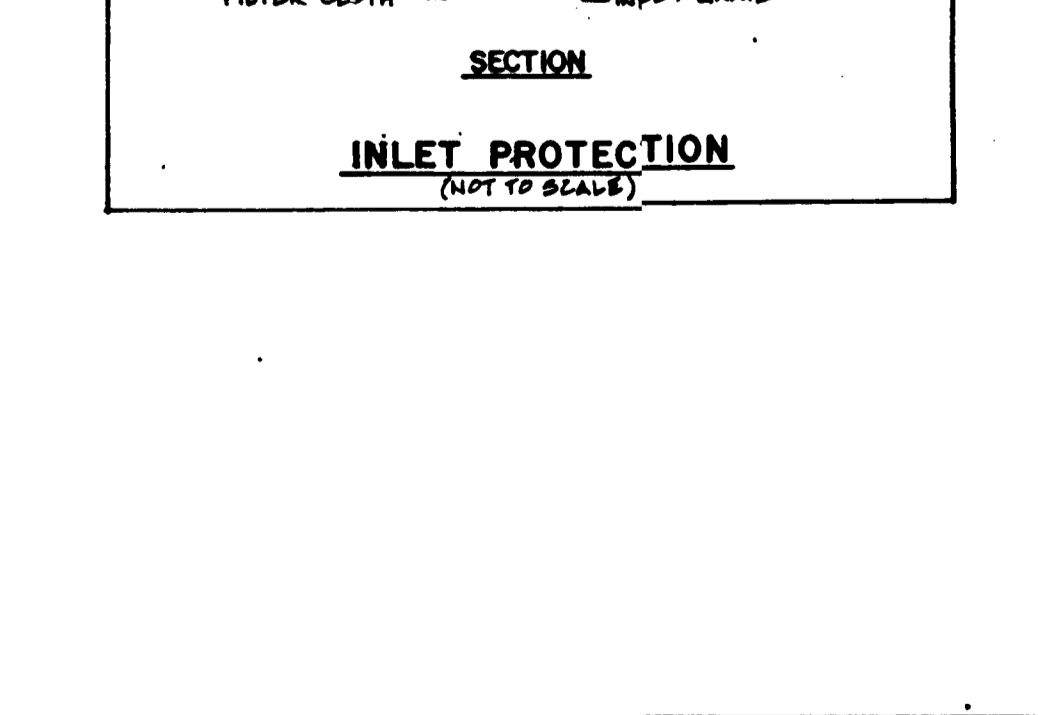
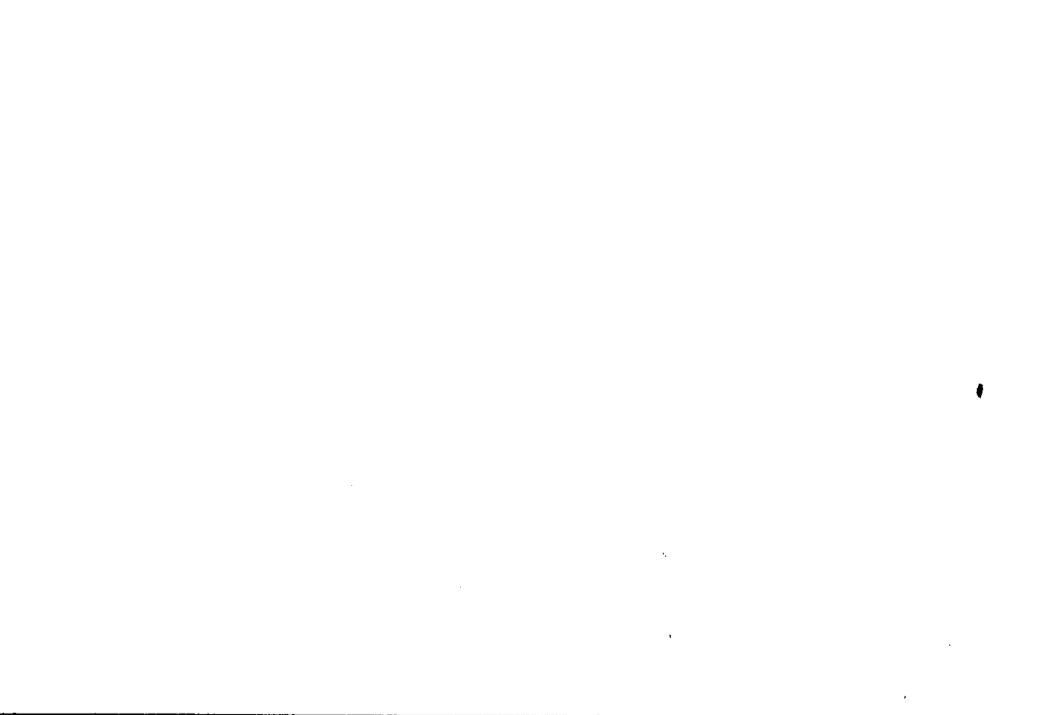
OWNER:  
THE HOWARD RESEARCH  
AND DEVELOPMENT  
CORPORATION  
10276 LITTLE PATRIOT PARKWAY  
COLUMBIA, MARYLAND 20744

DWG. 7 of 8

**APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,**  
HOWARD COUNTY HEALTH DEPARTMENT  
DATE: 11-20-84  
11/21/84

**APPROVED FOR HOWARD COUNTY OFFICE OF PLANNING AND ZONING**  
DATE: 11-21-84  
11/21/84

**APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE,**  
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
DATE: 11-19-84  
11/16/84



**SEDIMENT CONTROL DETAILS**

PARCEL 'J'  
**COLUMBIA**  
VILLAGE OF HICKORY RIDGE  
SECTION 9 AREA 8

8th ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

FOR:  
OXFORD  
DEVELOPMENT  
CORPORATION  
4861 GARDEN CITY DR.  
LANDOVER, MD. 20768  
301/454-8700

DATE: AUG 21, 1984  
REVISIONS: SDC CONTROL COMMENTS

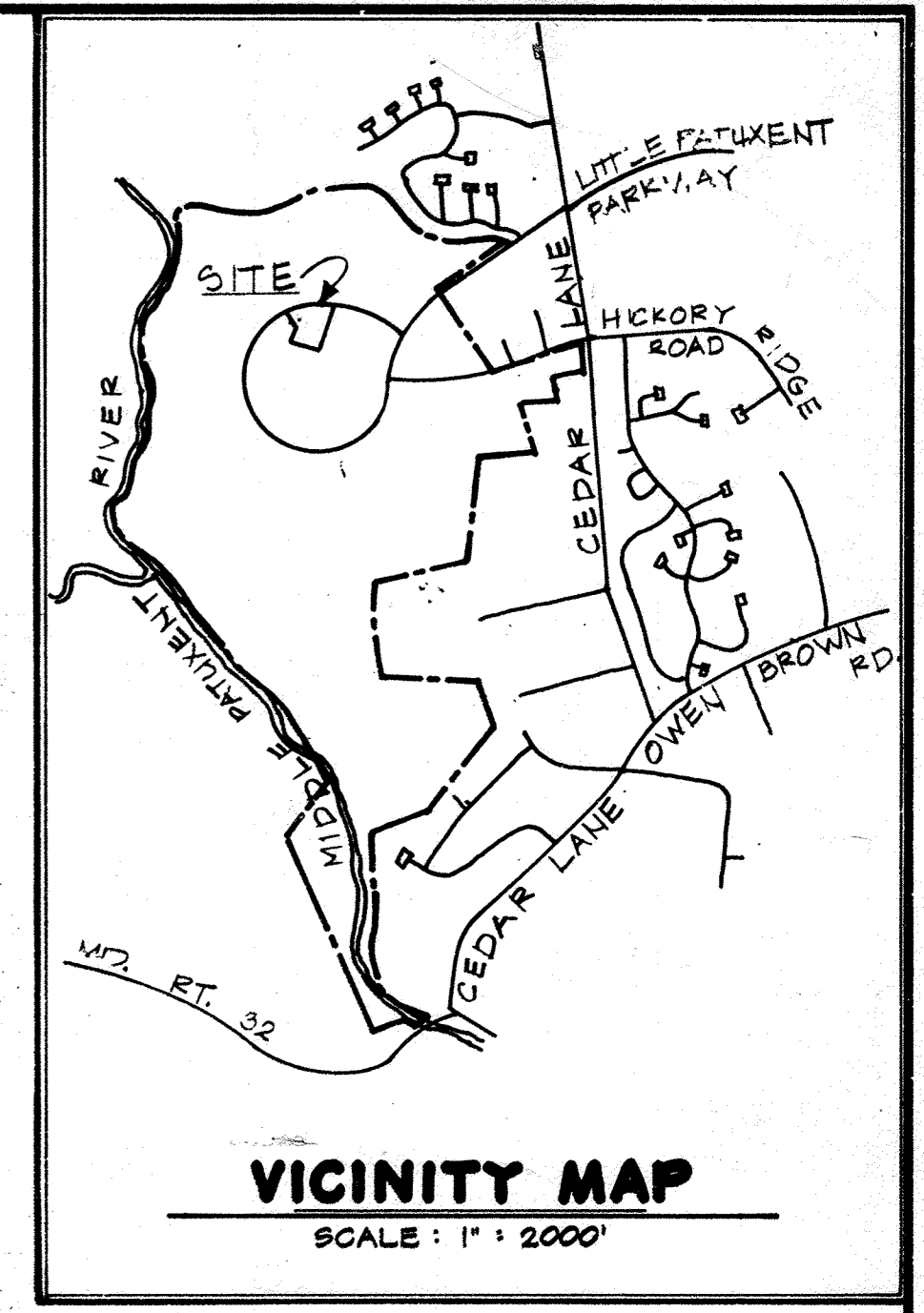
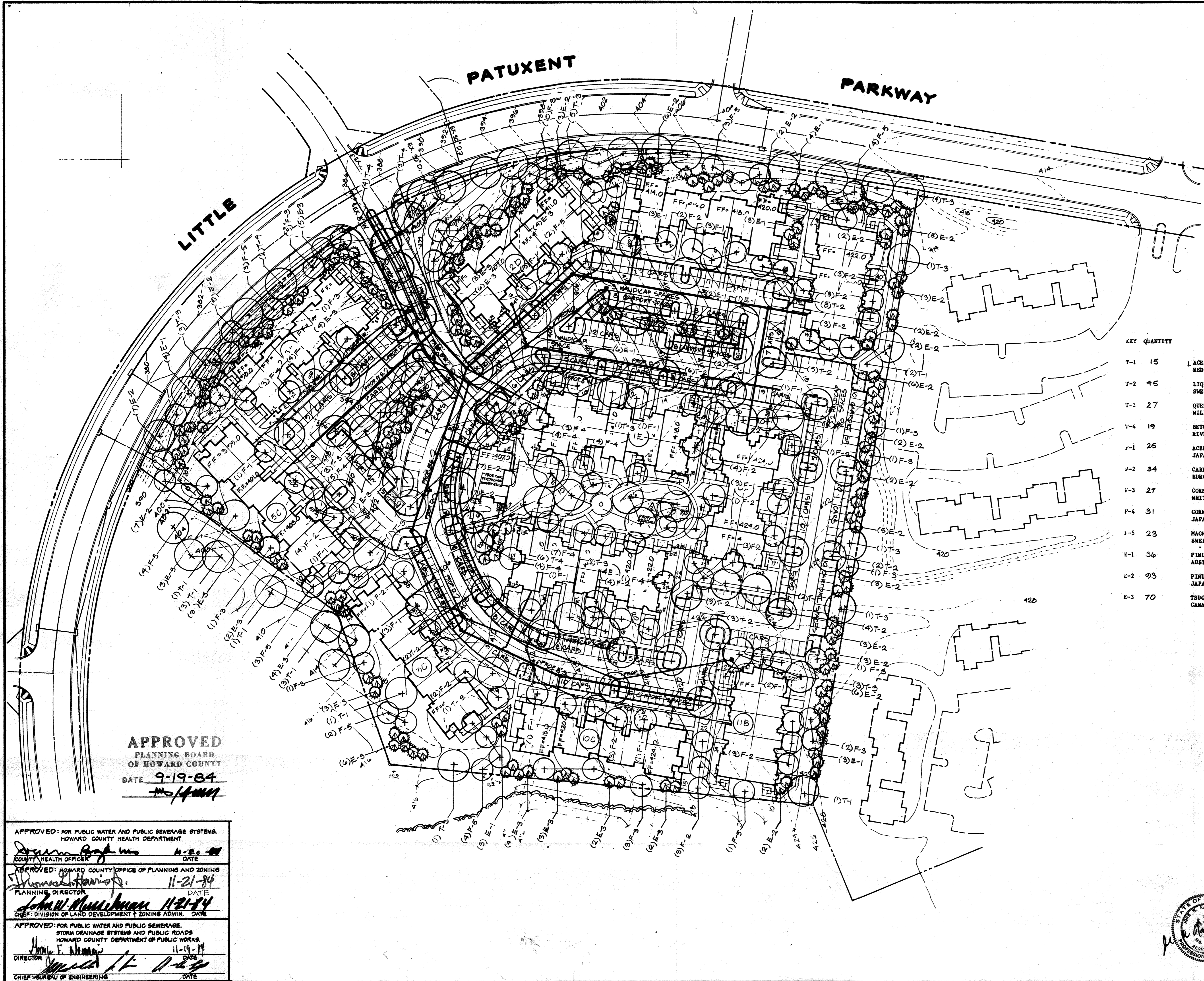
SCALE: 1" = 50'

JOB ORDER NO. 84019  
ISSUE DATE 6-24-84

OWNER:  
THE HOWARD RESEARCH  
AND DEVELOPMENT  
CORPORATION  
10276 LITTLE PATRIOT PARKWAY  
COLUMBIA, MARYLAND 20744

DWG. 7 of 8





**PLANT LIST**

KEY	QUANTITY	BOTANICAL NAME/ COMMON NAME	SIZE	ROOT	REMARKS
T-1	15	LACE KURRUM 'OCTOBER GLORY	2 1/2 - 3"		
		RED MAPLE		B&B	
T-2	45	LIQUIDAMBAR STYRACIYLUA SWEETGUM	2 1/2 - 3"	B&B	
T-3	27	QUERCUS PHELLOS WILLOW OAK	2 1/2 - 3"	B&B	
T-4	19	BETULA NIGRA RIVER BIRCH	2 1/2 - 3"	B&B	
F-1	25	ACER PALMATUM JAPANESE MAPLE	2 - 2 1/2"	B&B	
F-2	34	CARPINUS BETULUS EUROPEAN HORNBEAM	2 - 2 1/2"	B&B	
F-3	27	CORNUS FLORIDA WHITE DOGWOOD	2 - 2 1/2"	B&B	
F-4	31	CORNUS KOUSA JAPANESE DOGWOOD	2 - 2 1/2"	B&B	
F-5	23	MAGNOLIA VIRGINIANA SWEETBAY MAGNOLIA	2 - 2 1/2"	B&B	
E-1	36	PINUS NIGRA AUSTRIAN PINE	6 - 8'	B&B	
E-2	93	PINUS THUNBERGII JAPANESE BLACK PINE	6 - 8'	B&B	
E-3	70	TSUGA CANADENSIS CANADIAN HEMLOCK	6 - 8'	B&B	

**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE: 9-19-84  
*[Signature]*

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.  
HOWARD COUNTY HEALTH DEPARTMENT  
*[Signature]* COUNTY HEALTH OFFICER DATE: 11-21-84

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
*[Signature]* PLANNING DIRECTOR DATE: 11-21-84

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE.  
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*[Signature]* DIRECTOR DATE: 11-19-84

CHIEF BUREAU OF ENGINEERING  
*[Signature]* DATE

**DAFT · McCUNE · WALKER INC.**  
LAND PLANNING CONSULTANTS  
LANDSCAPE ARCHITECTS  
ENGINEERS  
530 EAST JOPPA ROAD  
TOWSON, MD. 21284  
TELEPHONE 301-296-3333

**PLANNING PLAN**  
PARCEL 'J'  
**COLUMBIA**  
VILLAGE OF HICKORY RIDGE  
SECTION 3 AREA A  
5TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

FOR: OXFORD DEVELOPMENT CORPORATION  
4351 GARDEN CITY DR. LANDOVER, MD. 20785

OWNER: THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
10278 LITTLE PATUXENT PARKWAY  
COLUMBIA, MARYLAND 21044

DATE	REVISIONS
4-17-83	REVISE TO SHOW PERGOLA AND GRILL

SCALE: 1" = 50'

JOB ORDER NO. 84019

ISSUE DATE 6-24-84

DWG.# 8 OF 8

STATE OF MARYLAND  
Professional Engineer Seal