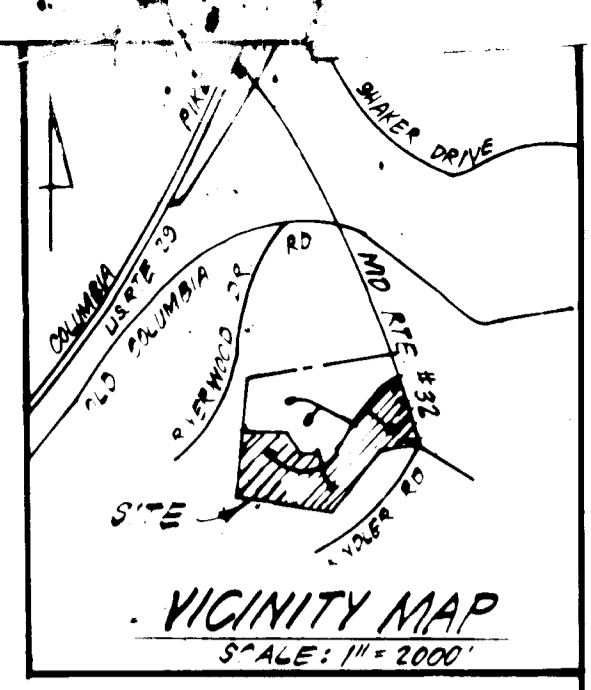
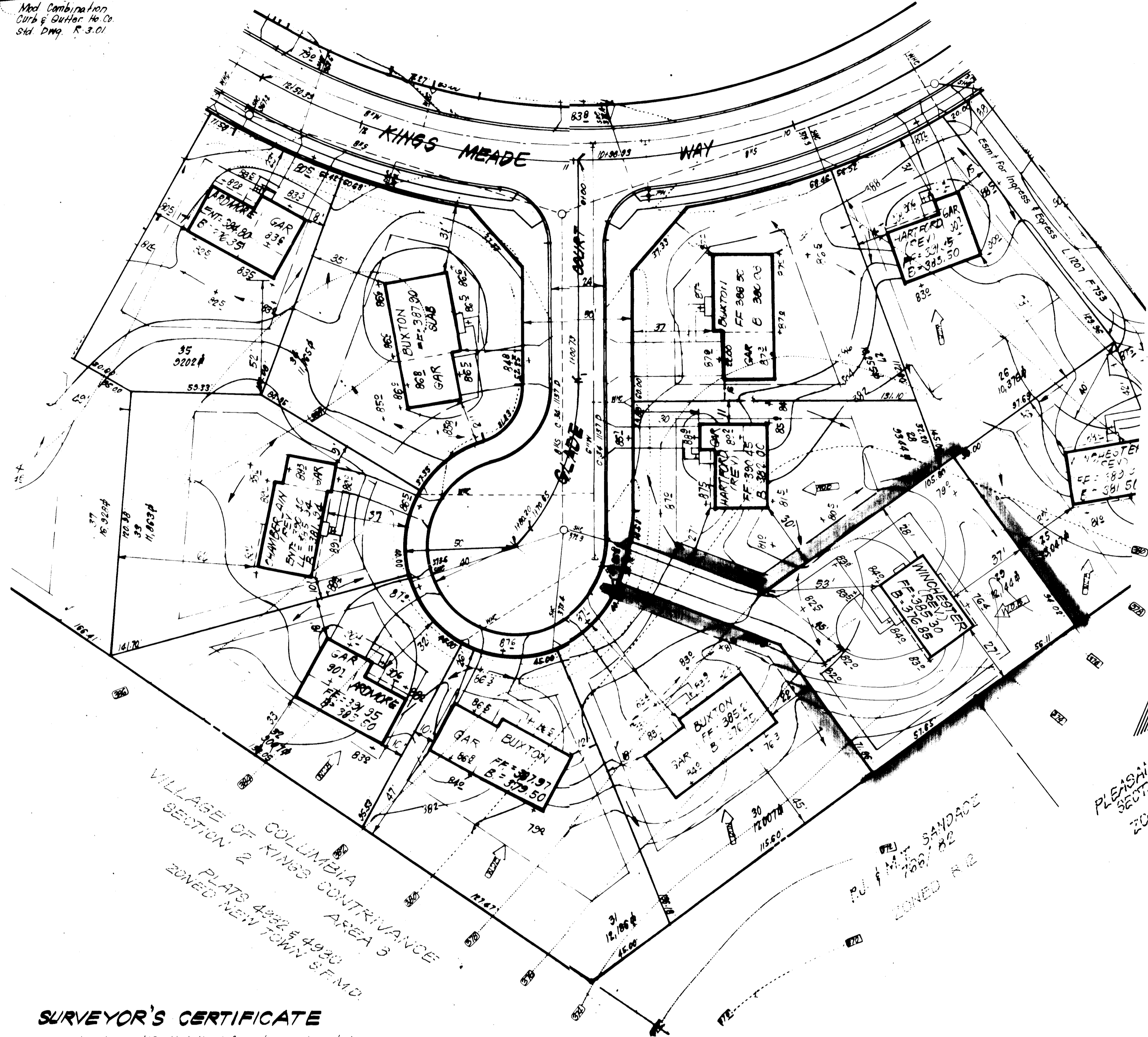


DRIVEWAY ABUTTING MODIFIED CURB & GUTTER
1/4" SCALE

Notes: Use Residential Driveway Entrance, No. Co. Std. except where driveway leads Mod. Comb. Curb & Gutter.
Notes: Materials and Construction shall be in accordance with No. Co. Road Construction Code.
1/2" Preformed Bituminous Expansion Joint Filler
Class A Concrete
Front Property Line
Class A Concrete
1/4" Preformed Bituminous Expansion Joint Filler
1/2" Mod. Combination Curb & Gutter, No. Co. Std. Dwg. R-3.01
1/4" #6 Wire Mesh

PLEASANT GROVE
SECTION 1 AREA 2
ZONED R-12



ADDRESS CHART

LOT	STREET ADDRESS
29	8409 Glade Court

- GENERAL NOTES:
- All coordinates are based on Maryland State Grid System.
 - The total area included in this plan is 0.278 Acres.
 - All easements are public & existing.
 - Any survey to carry adjacent corners of new lots or corners of the adjacent owners.
 - Total Number of Lots: 1.
 - Street trees shall be planted by the developer, Evergreen Valley, Assoc., at a rate of at least one tree per 40' of lot frontage, and in accordance with Section 16.131 of the Subdivision and Land Development Regulations of Howard County.

- LEGEND:
- Contour Interval: 2'
 - Existing Contour: - - - - -
 - Proposed Contour: - - - - -
 - Spot Elevation: +705
 - Direction of Drainage: →
 - Existing Trees to be retained: (tree symbol)
 - Walk Out Basement: (arrow symbol)

NOTE: The contractor or developer shall contact the Construction Inspection Survey Division 24 hours in advance of commencement of work at 792-7272.

SUBDIVISION NAME	PLEASANT GROVE	SECT. AREA	1/1	LOT/PARCEL NO.	29
PLATS OF RECORD	5626	BLK/LOT	7	ZONE	R-12
WATER CODE	EIG	TAX ZONE MAP/ELC. DIST.	A2	GEN. DIST.	6062
		SEWER CODE		OWNER	5290000 / 6440000

SURVEYOR'S CERTIFICATE

I hereby certify that the information contained hereon is the same as shown on previously approved SDP 84-85, with the following exceptions:

- House Type and Grading has been revised on Lot 29.
- Further certify that the Sediment & Erosion control measures, as previously approved, will not be affected, the grading is substantially the same as originally approved, the building setbacks comply with Howard County Zoning and Subdivision Regulations, and the lot has the same geometric configuration as shown on the respective recorded subdivision Plats.

DATE: 2/7/84
DONALD B. SACKETT
Registered Land Surveyor
Md. No. 6059

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
DATE: 3-22-84

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING
PLANNING DIRECTOR: [Signature]
DATE: 3-23-84

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE: 3-28-84

CHIEF BUREAU OF ENGINEERING
DATE: 3-20-84

APPROVED
DIVISION OF LAND DEVELOPMENT &
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE: 3-8-84

CLARK · FINEFROCK & SACKETT
ENGINEERS · PLANNERS · SURVEYORS
11315 LOCKWOOD DRIVE · SILVER SPRING, MARYLAND 20904 · (301) 593-3400

DESIGNED	JME	REVISOR	VLB	SCALE	1"=30'
DRAWN	VLB	TITLE	DATE	DRAWING	105/1
CHECKED	JME	PROJECT	NO.	JOB NO.	83178
DATE	FEB 7, 1984	CLIENT	FOR RYAN HOMES INC.	FILE NO.	83178-X

SDP-84-149