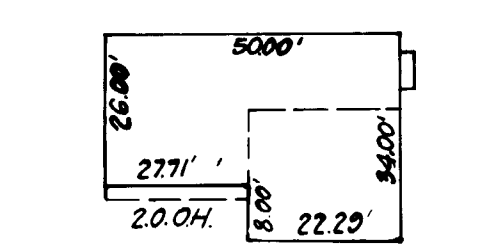
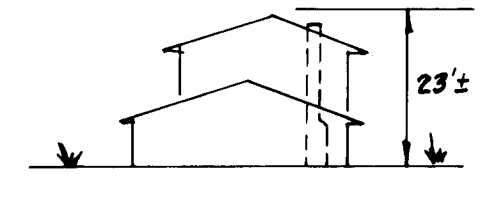
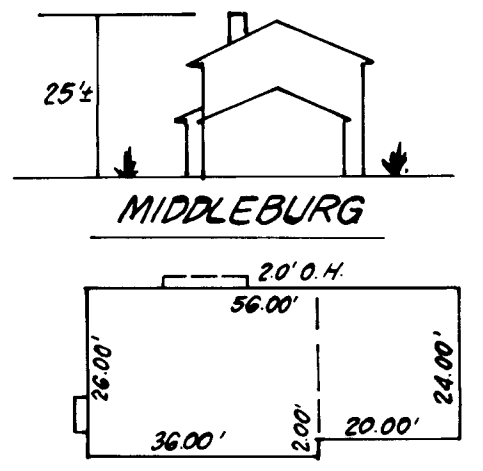
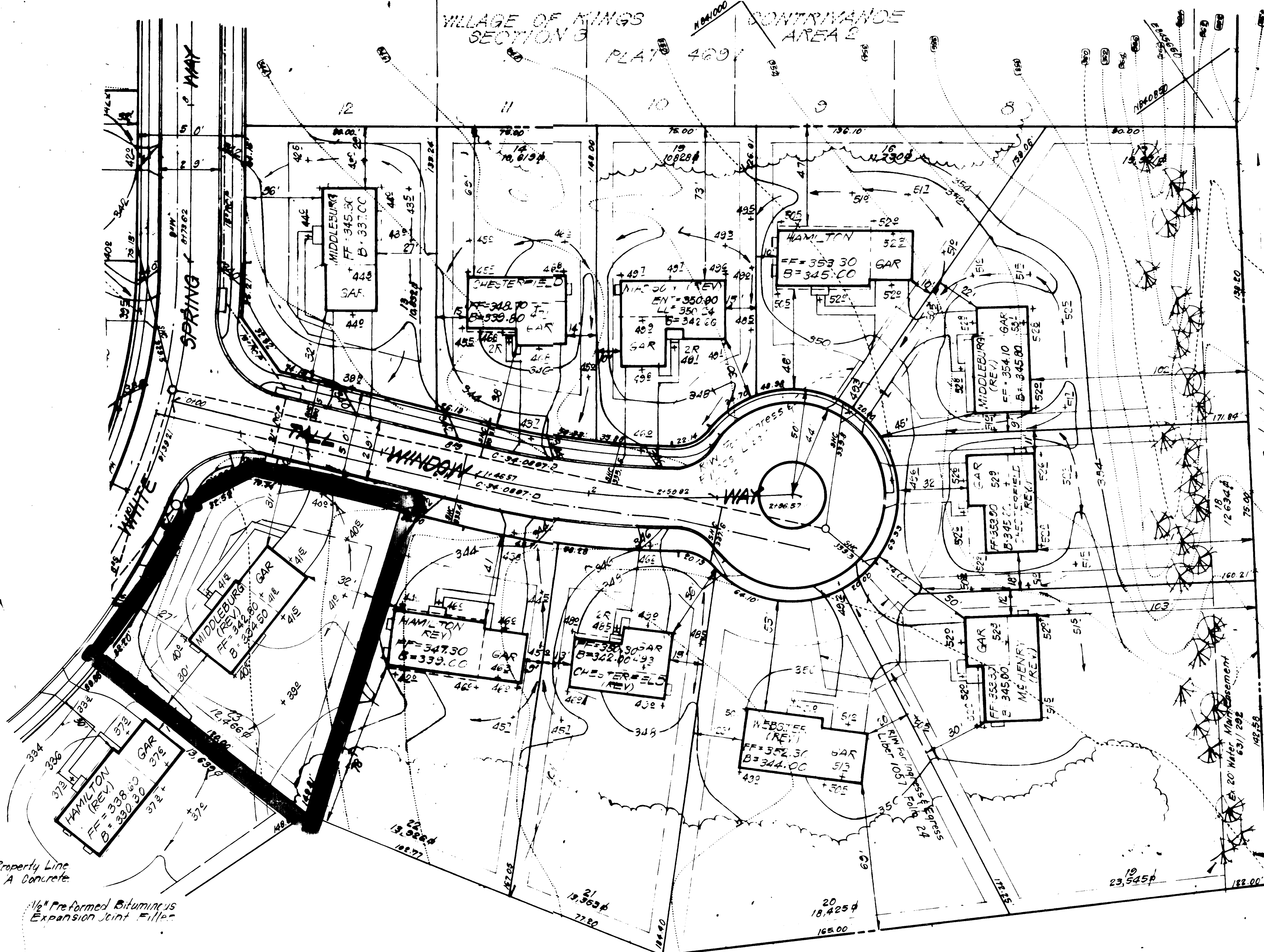


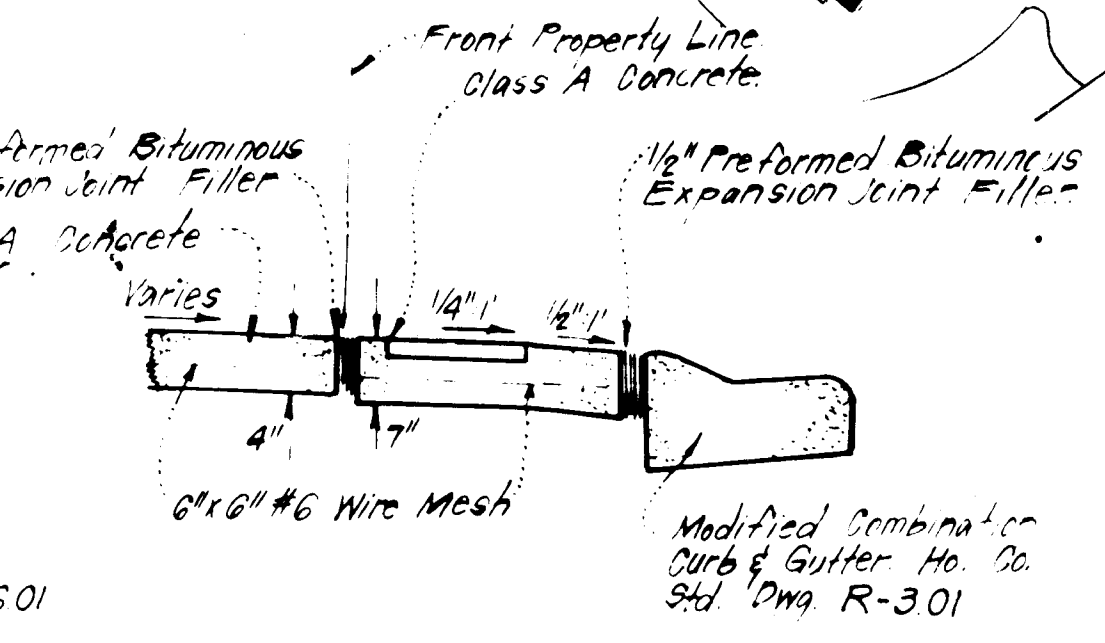
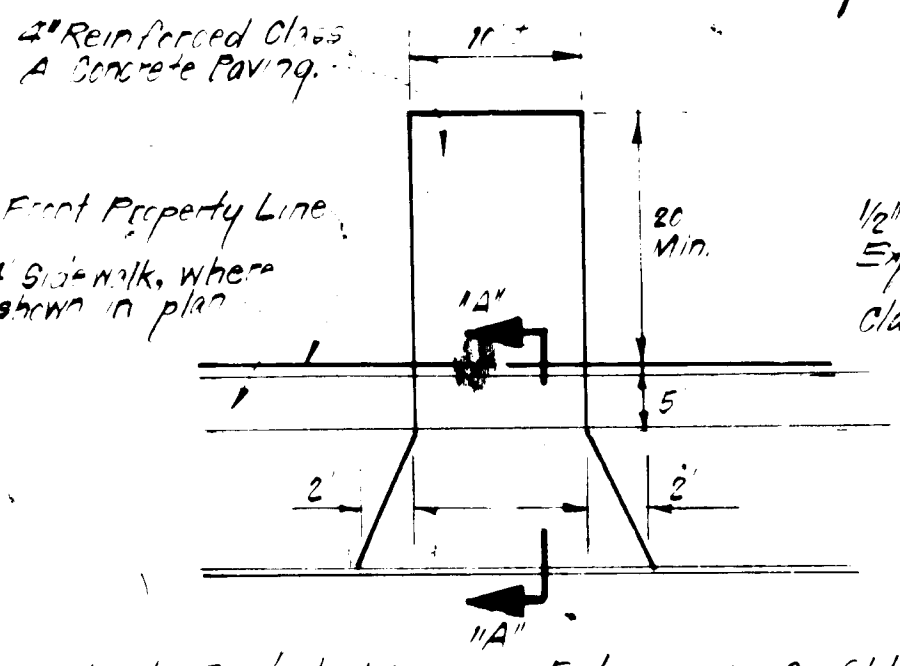
- LEGEND:**
- 1. Contour Interval 2 Ft.
  - 2. Existing Contour
  - 3. Proposed Contour
  - 4. Spot Elevation
  - 5. Direction of Drainage
  - 6. Exist Trees to be retained
  - 7. Walk Out Basement
  - 8. Retaining Wall

**GENERAL NOTES:**

1. The land included in this plan is zoned New Town (S.F.M.D)
2. The lots shown on this plan are covered by Final Development Plan Phase 169, Part 2.
3. All coordinates are based on traverse controls for Columbia established by Maps Inc. in 1965 by Purdum & Jeschke, in 1968 which controls were tied to Maryland Bureau of Control Survey monuments and U.S. Coast & Geodetic Survey monuments in the Columbia area.
4. The area covered in this submission is located on Tax Map #42.
5. The total area included on this plan is 0.286 Acres.
6. All roadways are public and existing.
7. Any damage to county owned rights of way shall be corrected at the developer's expense.
8. Total Number of Lots: 1
9. The contractor or developer shall contact the Construction Inspection/Survey Division, 24 hours in advance of commencement of work at 792-7272.



**TYPICAL HOUSES**  
NO SCALE



Note Use Residential Driveway Entrance, Ho. Co. Std R-601 except where driveway abuts modified Comb Curb & Gutter.

Note Materials and Construction shall be in accordance with Ho. Co. Std Specifications & details for Construction SECTION "A"-"A"

**PLAN**  
HO. CO. STD. R-603  
**DRIVEWAY ABUTTING MODIFIED COMB CURB & GUTTER**  
NO SCALE

| ADDRESS CHART |                      |
|---------------|----------------------|
| Lot No        | Street Address       |
| 23            | 9402 Tall Window Way |

**SURVEYOR'S CERTIFICATE**

I hereby certify that the information contained hereon is the same as shown on previously approved SDP 81-151C with the following exceptions:

1. House Type and grading has been revised on Lot 23.

I further certify that the Sediment and Erosion control measures, as previously approved, will not be affected, the grading is substantially the same as previously approved, the building setbacks comply with Howard County Zoning and Subdivision Regulations, and the lots have the same geometric configuration as shown on the respective recorded subdivision Plat.

Jan 16, 1984  
DATE

Donald B. Sackett  
DONALD B. SACKETT  
Registered Land Surveyor  
Md. No. 6055

|                                   |                     |  |
|-----------------------------------|---------------------|--|
| SUBDIVISION NAME<br>COLUMBIA VOKC | SECT./AREA<br>3/2   | LOT/PARCEL #<br>Lots 23                |
| PLAT # or L.P.<br>4691            | BLOCK #<br>22       | TAX/ZONE MAP<br>SF.M.D. Tax Map #2 GTH |
| WATER CODE<br>E 15                | ELEC. DIST.<br>6062 | SEWER CODE<br>G200000                  |

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT

3-14-84  
DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING  
3-8-84  
DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE,  
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

3-2-84  
DATE

3-2-84  
DATE

APPROVED  
DIVISION OF LAND DEVELOPMENT &  
ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 2-10-84

**CLARK • FINEPROCK & SACKETT**  
ENGINEERS • PLANNERS • SURVEYORS

11315 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593-3400

DESIGNED: J.M.E.  
DRAWN: K.W.  
CHECKED: J.M.E.  
DATE: 1-6-84

REVISED SITE DEVELOPMENT PLAN  
LOT 23  
**COLUMBIA**  
VILLAGE OF KINGS CONTRIVANCE  
SECTION 3 AREA 2  
6TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

SCALE: 1/4" = 20'  
DRAWING: 1001  
JOB NO.: 80-111  
FILE NO.: 86-111-A

The Ryland Group, Inc.  
1 Knoll North Drive Suite 303  
Columbia, Md. 21045  
SDP 84-170c