

**SEDIMENT CONTROL NOTES**

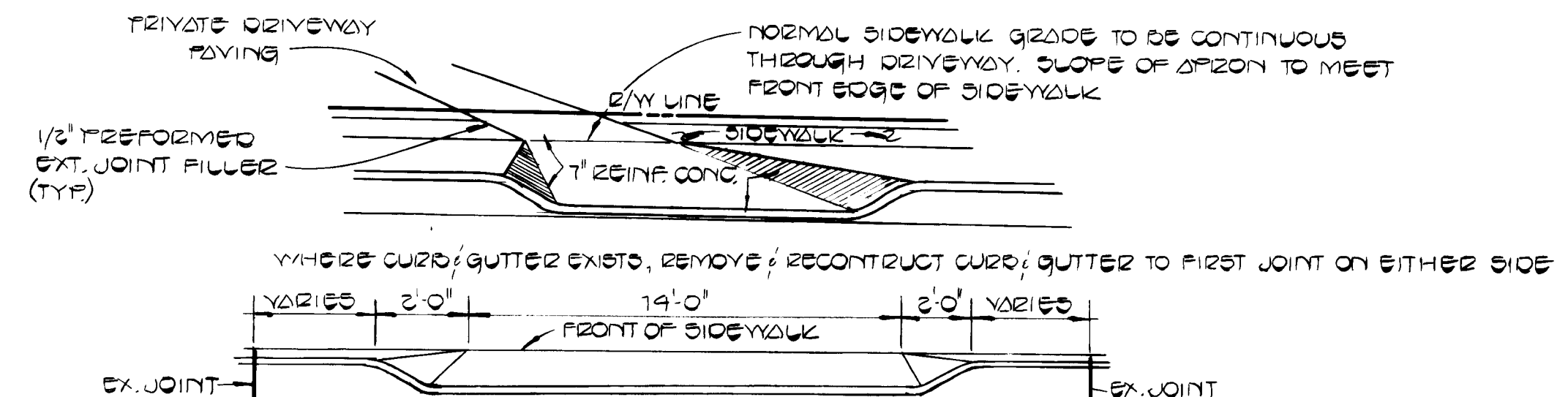
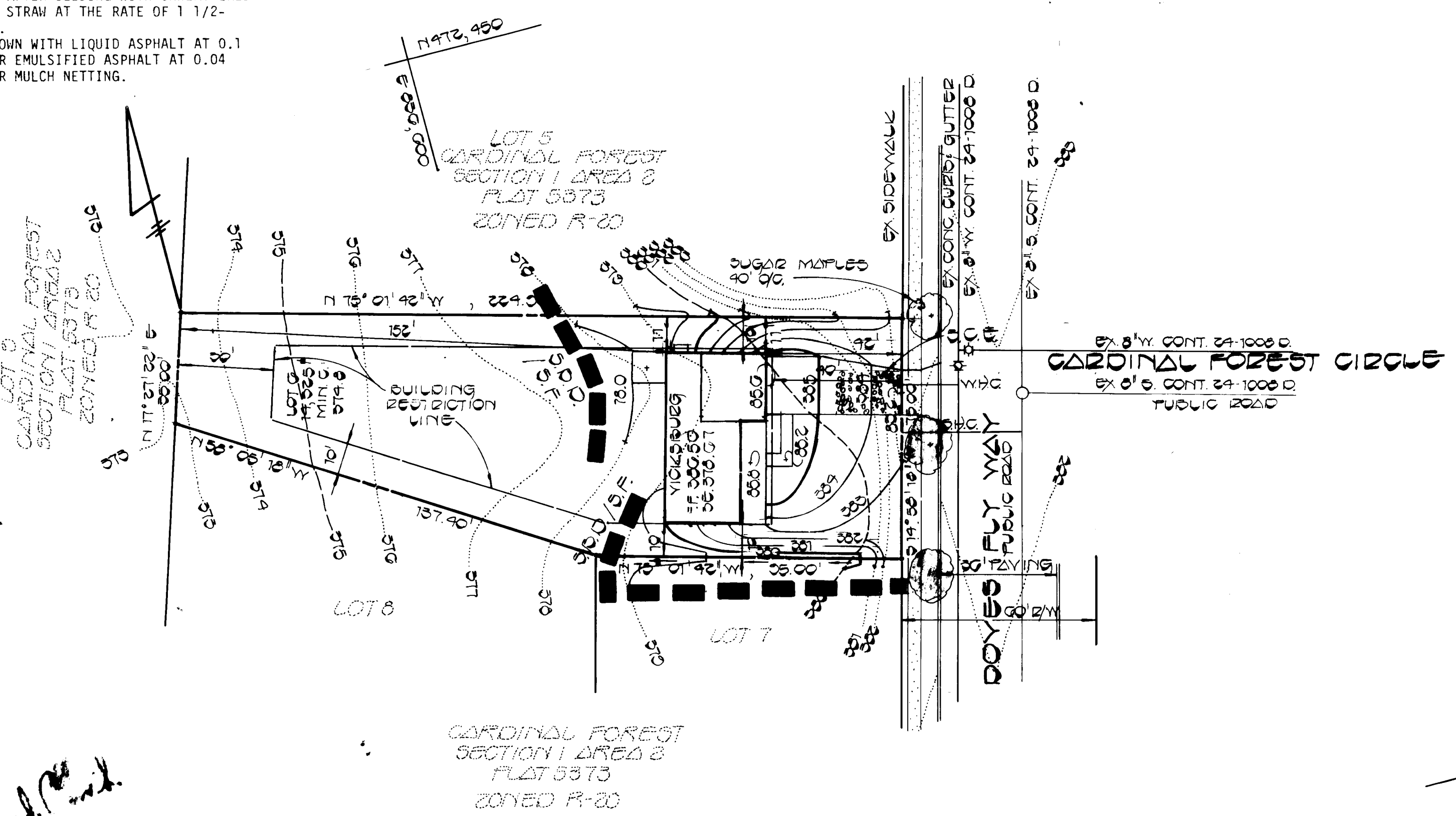
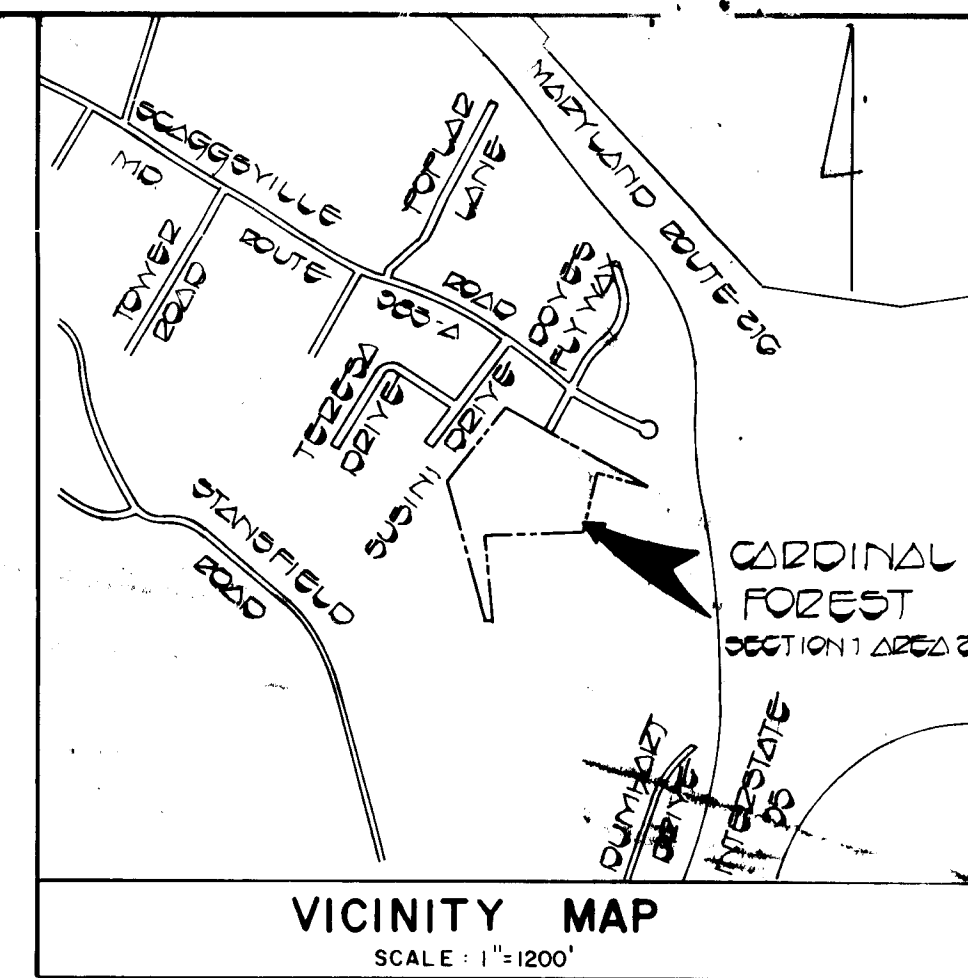
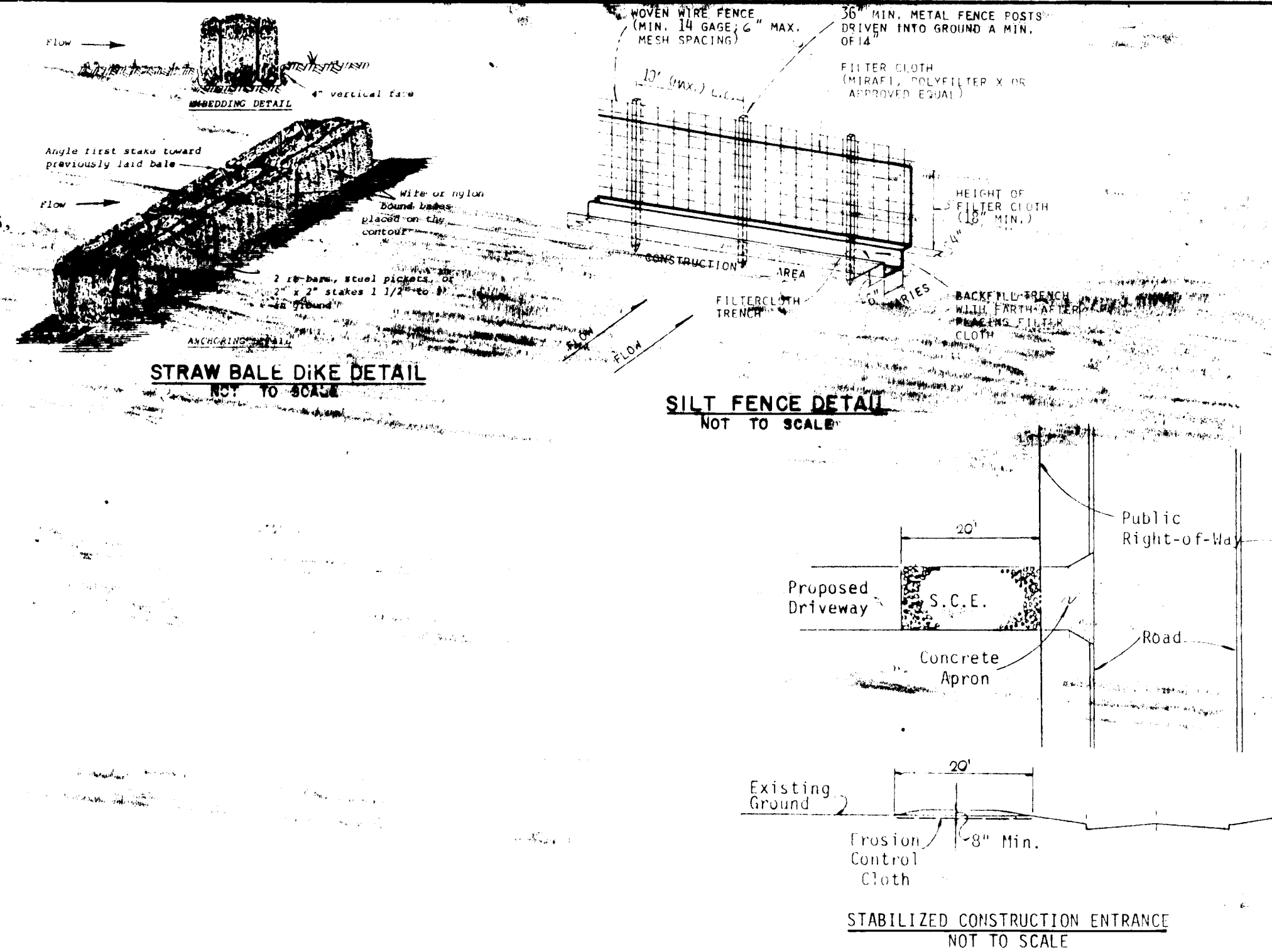
- SPECIFICATIONS FOR THE SEDIMENT CONTROL DETAILS INCLUDED IN THE U.S.D.A. SOIL CONSERVATION SERVICE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS.
- THE DEVELOPER SHALL NOTIFY THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS AT LEAST 24 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION SHOWN HEREON (782-7272).
  - SEDIMENT CONTROL STRUCTURES TO BE CONSTRUCTED PRIOR TO ANY ON-SITE GRADING OR DISTURBANCE TO ANY EXISTING SURFACE MATERIAL, AND ARE TO BE STABILIZED AS SOON AS CONSTRUCTED.
  - ALL SEDIMENT CONTROL STRUCTURES TO REMAIN IN PLACE OBTAINED FROM THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS (782-7272).
  - ALL GRADED AREAS NOT TO BE SOODED SHALL BE STABILIZED BY SEEDING AND MULCHING IN ACCORDANCE WITH THE FOLLOWING:
    - SITE PREPARATION
      - HARROW OR DISC IN AREAS PROPOSED TO BE SEED THE FOLLOWING MATERIALS
        - PULVERIZED LIMESTONE AT 2 TONS/ACRE.
        - COMMERCIAL FERTILIZER 10-10-10 AT 3/4 TONS/ACRE.
        - SUPER PHOSPHATE AT 600 LBS./ACRE.
      - SEEDING
        - SOW THE FOLLOWING SEED MIXTURE AT THE RATE OF 200 LBS./ACRE WITH A MECHANICAL SPREADER:
          - TEMPORARY: ITALIAN OR PERENNIAL RYE GRASS.
          - PERMANENT: 40% MARION BLUE GRASS, 40% DAKOTA BLUE GRASS AND 20% PENN LAWN CREEPING FESCUE.
        - THE SEED AREA SHALL THEN BE RAKED WITH A WORK RAKE (A MINIMUM OF 2 PASSES) COVERED AND COMPACTED WITH CURTIPACKER OR OTHER APPROVED METHOD.
      - MULCHING
        - SEEDING AREAS SHALL BE UNIFORMLY MULCHED IMMEDIATELY AFTER SEEDING WITH UNWEATHERED SMALL GRAIN STRAW AT THE RATE OF 1 1/2-2 TONS/ACRE.
        - TIE MULCH DOWN WITH LIQUID ASPHALT AT 0.1 GAL./S.Y. OR EMULSIFIED ASPHALT AT 0.04 GAL./S.Y. OR MULCH NETTING.

**GENERAL NOTES**

- SUBJECT PROPERTY IS LOCATED ON TAX MAP 47 AS PART OF PARCEL 131
- PLAT REFERENCE - CARDINAL FOREST SECTION ONE, AREA TWO, LOTS 1 TO 30 NUMBER 5373
- PROPERTY IS ZONED R-20
- MINIMUM SET BACKS - SIDE = 10', REAR = 30', FRONT = 40'
- ALL TYPICAL HOUSE DIMENSIONS, PROFILE, DRIVEWAY APRON DETAIL AND SEDIMENT CONTROL NOTES AND SPECIFICATIONS CAN BE FOUND ON THIS SHEET.
- SITE ANALYSIS
  - TOTAL LOTS 4 AREA = 0.3 AC
  - TOTAL LOTS NON-BUILDABLE (OPEN SPACE) = 0 AREA = 0 AC ±
  - TOTAL LOTS BUILDABLE AREA = 0.3 AC ±
  - TOTAL IMPERVIOUS AREA = 0.00 AC ±
  - TOTAL DISTURBED AREA = 0.10 AC ±
  - TOTAL AREA TO BE REVEGETATED = 0.10 AC ±
- STREET TREES SHALL BE IN ACCORDANCE WITH SEC. 16, 131.
- IF ROADS ARE DEDICATED PRIOR TO SUBDIVISION COMPLETION AN ADDITIONAL SEDIMENT CONTROL PLAN WILL BE REQUIRED BY THE DEVELOPER.
- THE DEVELOPER IS RESPONSIBLE FOR MAINTAINING EXISTING SEDIMENT CONTROL MEASURES IN FUNCTIONAL CONDITION.
- FOXLEIGH JOINT VENTURE WILL BE RESPONSIBLE FOR PLANTING OF STREET TREES.
- EXISTING SEDIMENT CONTROL MEASURES ARE PROVIDED UNDER F 83-27.

**CONSTRUCTION SEQUENCE**

- OBTAIN GRADING PERMIT.
- INSTALL "STONE CONSTRUCTION ENTRANCE" ON LOT.
- INSTALL LOT SEDIMENT CONTROL MEASURES AS SHOWN ON PLAN PRIOR TO BEGINNING ANY GRADING ON THE LOT.
- CONSTRUCT HOUSE.
- INDIVIDUAL SEDIMENT CONTROL MEASURES SHALL NOT BE REMOVED UNTIL GRADED AREAS PROTECTED BY THE MEASURES INSTALLED HAVE BEEN COMPLETELY STABILIZED.
- REMOVE ALL SEDIMENT CONTROL MEASURES UPON COMPLETION OF DWELLING. STABILIZATION OF ALL DISTURBED AREAS AND OBTAIN APPROVAL BY THE HOWARD COUNTY BUREAU OF INSPECTIONS AND PERMITS.

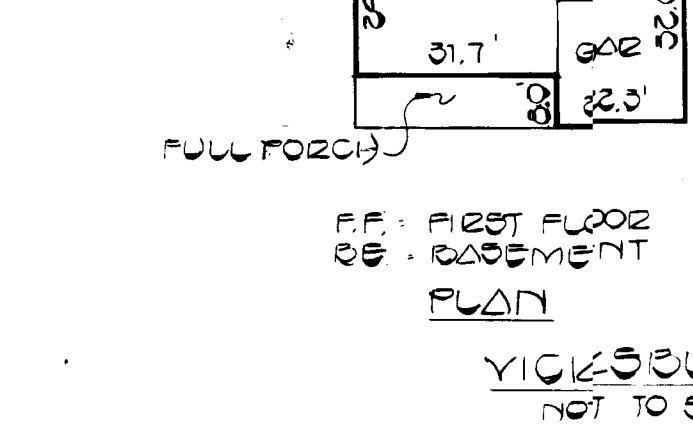


**LEGEND**

EXISTING CONTOUR (1' INTERVAL)	---
PROPOSED CONTOUR (1' INTERVAL)	---
SPOT ELEVATION	---
DRAINAGE FLOW	---
RETAINING WALL	---
EX. WOODS TO BE SAVED	---
STRAW BALE DIKE (S.B.D.)	---
SILT FENCE (S.F.)	---
STABILIZED CONSTRUCTION ENTRANCE (S.C.E.)	---
PERIMETER DIKE (P.D.)	---

**OWNER**  
FOXLEIGH JOINT VENTURE  
2200 FOXLY ROAD  
TIMONIUM, MARYLAND  
21088

**DEVELOPER**  
RYAN HOMES INC.  
1709 ELTON ROAD  
OLIVER, SPRING, MARYLAND  
20855



**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERS & LAND SURVEYORS  
8388 COURT AVENUE  
ELLICOTT CITY, MARYLAND 21043

**ENGINEER'S CERTIFICATE**  
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Charles J. Carter*  
SIGNATURE OF ENGINEER  
11/28/83  
DATE

**DEVELOPER'S CERTIFICATE**  
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE EITHER NECESSARY."

*Lawrence C. Cauffman*  
SIGNATURE OF DEVELOPER  
11-27-83  
DATE

APPROVED: DEPARTMENT OF PUBLIC WORKS, FOR PUBLIC WATER AND SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.

*William E. King*  
CHIEF, BUREAU OF ENGINEERING  
1-16-84  
DATE

*John W. Murchison*  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION  
1-17-84  
DATE

PROPERTY OF	SECTION / AREA	LOT / PARCEL
CARDINAL FOREST	ONE TWO	6 131
PLAT No. OR L. / F. BLOCK	ZONE	TAX / ZONE MAP
5373 13	R-20	47
ELEC. DIST.	CENSUS TR.	
6	6062	
WATER CODE	E-19	SEWER CODE
		7450000

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS.

*James M. Hulse*  
HEALTH OFFICER  
1-12-84  
DATE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED:  
*William E. King*  
DISTRICT COORDINATOR  
11-28-83  
DATE

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

*James M. Hulse*  
U.S. SOIL CONSERVATION SERVICE  
1-11-84  
DATE

A REVISION TO SDP 83-115

**CARDINAL FOREST**  
LOT No. 6  
SECTION ONE, AREA TWO  
TAX MAP 47, PARCEL 131  
SIXTH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
SCALE: 1" = 30'  
NOVEMBER 20, 1983

DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION  
DATE: 12-23-83  
*[Signature]*

6	8732 DOVES FLY WAY
LOT NO.	STREET ADDRESS
ADDRESS CHART	