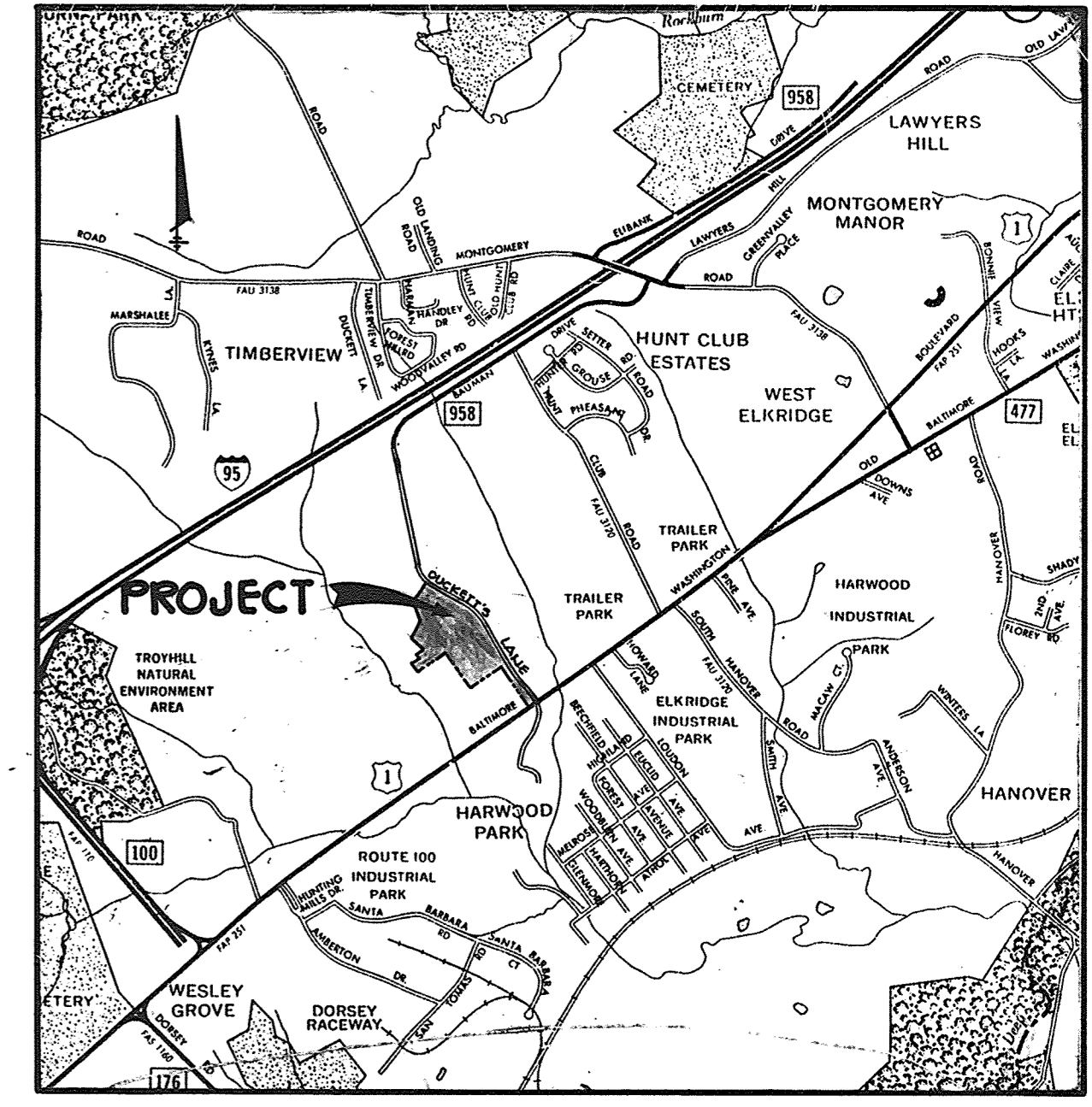


**SHEET INDEX**

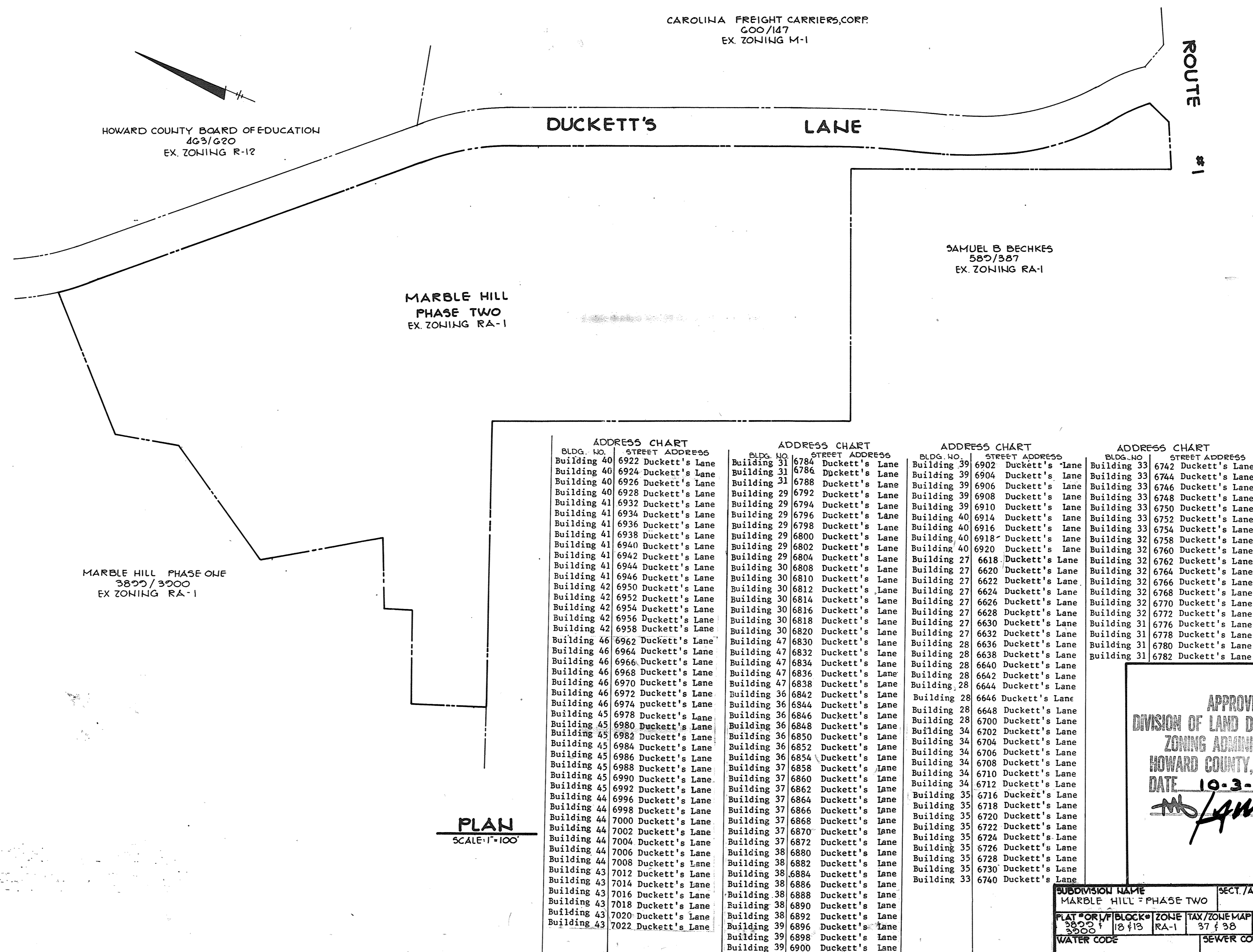
NO	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN <del>REVISED 3/18/2021</del>
3	SITE DEVELOPMENT PLAN
4	DETAILS
5	STORM DRAIN PROFILES
6	SEWER PROFILES
7	DRAINAGE AREA MAP & SEDIMENT CONTROL PLAN
8	DRAINAGE AREA MAP & SEDIMENT CONTROL PLAN
9	SEDIMENT CONTROL DETAILS
10	PLANTING PLAN
11	PLANTING PLAN
12	NEW RETAINING WALL <del>DETAIL SHEET ADDED 3/18/2021</del>
13	NEW RETAINING WALL <del>DETAIL SHEET ADDED 3/18/2021</del>
14	NEW RETAINING WALL <del>DETAIL SHEET ADDED 3/18/2021</del>

# SITE DEVELOPMENT PLAN MARBLE HILL PHASE TWO 1 ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND



**GENERAL NOTES**

- ALL WATER LINES SHALL BE CONSTRUCTED A MINIMUM OF 42" COVER BELOW FINISHED GRADE.
- CORRUGATED STEEL PIPE SECTIONS WILL BE JOINED WITH A SINGLE OR TWO PIECE CORRUGATED BAND WITH A WATER TIGHT NEOPRENE GASKET. DIMPLE BAND CONNECTORS WILL NOT BE PERMITTED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES, WHERE DIRECTED BY THE ENGINEER, A MINIMUM OF TWO WEEKS IN ADVANCE OF CONSTRUCTION OPERATIONS.
- CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:  
M&E UTILITY 1-555-2100  
C & T TELEPHONE COMPANY 725-9976  
HOWARD COUNTY BUREAU OF UTILITIES 992-2366  
AT&T CABLE LOCATION DIVISION 393-3553  
BALTIMORE GAS AND ELECTRIC COMPANY 685-0123  
STATE HIGHWAY ADMINISTRATION 531-5533  
HOWARD COUNTY CONSTRUCTION/INSPECTION SURVEY DIVISION (24 HOURS NOTICE PRIOR TO COMMENCEMENT OF WORK) 792-7272
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- THE CONTRACTOR SHALL PROVIDE A JOINT IN ALL SEWER MAINS WITHIN 2'-0" OF EXTERIOR MANHOLE WALLS.
- PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT TO SUBGRADE.
- TOPO TAKEN FROM FIELD RUN SURVEY DATED 198 BY
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- FOR SANITARY SEWER GENERAL NOTES SEE SHEET NO. 4
- ALL PROPOSED PAVING IS TO BE PRIVATELY MAINTAINED.
- ALL WATER HOUSE CONNECTIONS SHOWN AS DASHED LINES ON PLAN ARE PUBLIC TO THE CURB STOP AND SHALL BE CONSIDERED UNDER HOWARD COUNTY CONTRACT NO. 14-1106-D.
- ALL SANITARY SEWER AND STORM DRAINAGE SHALL BE PRIVATE.



SITE TABULATION	PHASE I*	PHASE II	TOTAL
TOTAL AREA (Acres)	21.339	13.928	35.267
(Square feet)	929,508.4	606,709.6	1,536,218
NUMBER OF UNITS ALLOWED	320	208	528
NUMBER OF UNITS PROVIDED	199	151	350
UNIT DENSITY (D.U./Acre)	9.25	10.98	9.92
BUILDING LOT COVERAGE (%)	11.46	13.61	12.0
PARKING REQUIRED@ 2 SPACES/UNIT	398	302	700
PARKING PROVIDED	404	315	720
OPEN SPACE REQUIRED (20%)	185,902SF	121,342 SF	307,244 SF
OPEN SPACE PROVIDED (70.6%)	656,094SF	389,618 SF (64%)	1,045,712SF (68%)

\* As shown on Marble Hill, Phase I, SDP-79-113

ADDRESS CHART		ADDRESS CHART		ADDRESS CHART		ADDRESS CHART	
BLDG. NO.	STREET ADDRESS	BLDG. NO.	STREET ADDRESS	BLDG. NO.	STREET ADDRESS	BLDG. NO.	STREET ADDRESS
Building 40	6922 Duckett's Lane	Building 31	6784 Duckett's Lane	Building 39	6902 Duckett's Lane	Building 33	6742 Duckett's Lane
Building 40	6924 Duckett's Lane	Building 31	6786 Duckett's Lane	Building 39	6904 Duckett's Lane	Building 33	6744 Duckett's Lane
Building 40	6926 Duckett's Lane	Building 31	6788 Duckett's Lane	Building 39	6906 Duckett's Lane	Building 33	6746 Duckett's Lane
Building 40	6928 Duckett's Lane	Building 29	6792 Duckett's Lane	Building 39	6908 Duckett's Lane	Building 33	6748 Duckett's Lane
Building 41	6932 Duckett's Lane	Building 29	6794 Duckett's Lane	Building 39	6910 Duckett's Lane	Building 33	6750 Duckett's Lane
Building 41	6934 Duckett's Lane	Building 29	6796 Duckett's Lane	Building 40	6914 Duckett's Lane	Building 33	6752 Duckett's Lane
Building 41	6936 Duckett's Lane	Building 29	6798 Duckett's Lane	Building 40	6916 Duckett's Lane	Building 33	6754 Duckett's Lane
Building 41	6938 Duckett's Lane	Building 29	6800 Duckett's Lane	Building 40	6918 Duckett's Lane	Building 32	6758 Duckett's Lane
Building 41	6940 Duckett's Lane	Building 29	6802 Duckett's Lane	Building 40	6920 Duckett's Lane	Building 32	6760 Duckett's Lane
Building 41	6942 Duckett's Lane	Building 29	6804 Duckett's Lane	Building 27	6618 Duckett's Lane	Building 32	6762 Duckett's Lane
Building 41	6944 Duckett's Lane	Building 30	6808 Duckett's Lane	Building 27	6620 Duckett's Lane	Building 32	6764 Duckett's Lane
Building 41	6946 Duckett's Lane	Building 30	6810 Duckett's Lane	Building 27	6622 Duckett's Lane	Building 32	6766 Duckett's Lane
Building 42	6950 Duckett's Lane	Building 30	6812 Duckett's Lane	Building 27	6624 Duckett's Lane	Building 32	6768 Duckett's Lane
Building 42	6952 Duckett's Lane	Building 30	6814 Duckett's Lane	Building 27	6626 Duckett's Lane	Building 32	6770 Duckett's Lane
Building 42	6954 Duckett's Lane	Building 30	6816 Duckett's Lane	Building 27	6628 Duckett's Lane	Building 32	6772 Duckett's Lane
Building 42	6956 Duckett's Lane	Building 30	6818 Duckett's Lane	Building 27	6630 Duckett's Lane	Building 31	6774 Duckett's Lane
Building 42	6958 Duckett's Lane	Building 30	6820 Duckett's Lane	Building 27	6632 Duckett's Lane	Building 31	6776 Duckett's Lane
Building 46	6962 Duckett's Lane	Building 47	6830 Duckett's Lane	Building 28	6636 Duckett's Lane	Building 31	6778 Duckett's Lane
Building 46	6964 Duckett's Lane	Building 47	6832 Duckett's Lane	Building 28	6638 Duckett's Lane	Building 31	6780 Duckett's Lane
Building 46	6966 Duckett's Lane	Building 47	6834 Duckett's Lane	Building 28	6640 Duckett's Lane	Building 31	6782 Duckett's Lane
Building 46	6968 Duckett's Lane	Building 47	6836 Duckett's Lane	Building 28	6642 Duckett's Lane		
Building 46	6970 Duckett's Lane	Building 47	6838 Duckett's Lane	Building 28	6644 Duckett's Lane		
Building 46	6972 Duckett's Lane	Building 36	6842 Duckett's Lane	Building 28	6646 Duckett's Lane		
Building 46	6974 Duckett's Lane	Building 36	6844 Duckett's Lane	Building 28	6648 Duckett's Lane		
Building 45	6978 Duckett's Lane	Building 36	6846 Duckett's Lane	Building 28	6650 Duckett's Lane		
Building 45	6980 Duckett's Lane	Building 36	6848 Duckett's Lane	Building 28	6652 Duckett's Lane		
Building 45	6982 Duckett's Lane	Building 36	6850 Duckett's Lane	Building 28	6654 Duckett's Lane		
Building 45	6984 Duckett's Lane	Building 36	6852 Duckett's Lane	Building 28	6656 Duckett's Lane		
Building 45	6986 Duckett's Lane	Building 36	6854 Duckett's Lane	Building 28	6658 Duckett's Lane		
Building 45	6988 Duckett's Lane	Building 37	6858 Duckett's Lane	Building 28	6660 Duckett's Lane		
Building 45	6990 Duckett's Lane	Building 37	6860 Duckett's Lane	Building 28	6662 Duckett's Lane		
Building 45	6992 Duckett's Lane	Building 37	6862 Duckett's Lane	Building 28	6664 Duckett's Lane		
Building 44	6996 Duckett's Lane	Building 37	6864 Duckett's Lane	Building 35	6716 Duckett's Lane		
Building 44	6998 Duckett's Lane	Building 37	6866 Duckett's Lane	Building 35	6718 Duckett's Lane		
Building 44	7000 Duckett's Lane	Building 37	6868 Duckett's Lane	Building 35	6720 Duckett's Lane		
Building 44	7002 Duckett's Lane	Building 37	6870 Duckett's Lane	Building 35	6722 Duckett's Lane		
Building 44	7004 Duckett's Lane	Building 37	6872 Duckett's Lane	Building 35	6724 Duckett's Lane		
Building 44	7006 Duckett's Lane	Building 38	6880 Duckett's Lane	Building 35	6726 Duckett's Lane		
Building 44	7008 Duckett's Lane	Building 38	6882 Duckett's Lane	Building 35	6728 Duckett's Lane		
Building 43	7012 Duckett's Lane	Building 38	6884 Duckett's Lane	Building 35	6730 Duckett's Lane		
Building 43	7014 Duckett's Lane	Building 38	6886 Duckett's Lane	Building 35	6732 Duckett's Lane		
Building 43	7016 Duckett's Lane	Building 38	6888 Duckett's Lane	Building 35	6734 Duckett's Lane		
Building 43	7018 Duckett's Lane	Building 38	6890 Duckett's Lane	Building 35	6736 Duckett's Lane		
Building 43	7020 Duckett's Lane	Building 38	6892 Duckett's Lane	Building 35	6738 Duckett's Lane		
Building 43	7022 Duckett's Lane	Building 39	6896 Duckett's Lane	Building 35	6740 Duckett's Lane		
		Building 39	6898 Duckett's Lane	Building 35	6742 Duckett's Lane		
		Building 39	6900 Duckett's Lane				

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

*Joyan B. ...* 2-14-84  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING

*Donald ...* 2-15-84  
PLANNING DIRECTOR DATE

*John ...* 2-15-84  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

*Steve F. ...* 2-10-84  
DIRECTOR DATE

*William ...* 2-9-84  
CHIEF, BUREAU OF ENGINEERING DATE

DATE	NO.	REVISION

OWNER/DEVELOPER: CAPITAL HOMES, INC.  
T/A MARBLE HILL JOINT VENTURE  
6722 WASHINGTON BLVD  
ELK RIDGE, MARYLAND

PROJECT: **MARBLE HILL PHASE TWO**

AREA RECORD PLAT RECORDING REF. LHS 3800 & 3900  
TAX MAP LHS 37438  
PARCEL

1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: TITLE SHEET AND GENERAL NOTES

**THE RIEMER GROUP, INC.**  
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
8659 Baltimore National Pike, Ellicott City, Maryland, 21043 301 461-2690

2.2.84  
DATE

DESIGNED BY: L.J.D.  
DRAWN BY: D.A.M.  
PROJECT NO: 000300  
DATE: AUGUST 15, 1983  
SCALE: AS SHOWN  
DRAWING NO. 1 OF 14

APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE: 10-3-83  
*M. Lamm*

SUBDIVISION NAME: MARBLE HILL - PHASE TWO  
SECT./AREA LOT/PARCEL#: G05/A

PLAT # OR L/BLOCK #: 3800 & 3900  
ZONE: RA-1  
TAX/ZONE MAP/ELEC. DIST. CENSUS TR.: 37438 1ST G012

WATER CODE: SEWER CODE:



**KEY TO UNIT DIMENSIONS**

UNIT	SIZE
A	18' x 34'
B	10' x 34'
C	18' x 32'
D	10' x 32'

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

*Jaym Byler* 2-14-84  
 COUNTY HEALTH OFFICER #5 DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

*J. Donald Stamp* 2-15-84  
 PLANNING DIRECTOR DATE

*John H. Munnich* 2-15-84  
 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

*Gregory F. Nemy* 2-10-84  
 DIRECTOR DATE

*William E. Muegge* 2-9-84  
 CHIEF, BUREAU OF ENGINEERING DATE

DATE	NO.	REVISION
OWNER/DEVELOPER		
CAPITAL HOMES, INC.		
T/A MARBLE HILL JOINT VENTURE		
6722 WASHINGTON BLVD.		
ELK RIDGE MARYLAND		
PROJECT: MARBLE HILL PHASE TWO		
AREA RECORD PLAT RECORDING REF. 1185 3800 & 3900 TAX MAPS 1485 37438		
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND		
TITLE: SITE DEVELOPMENT PLAN		
Revised 3/18/2021		

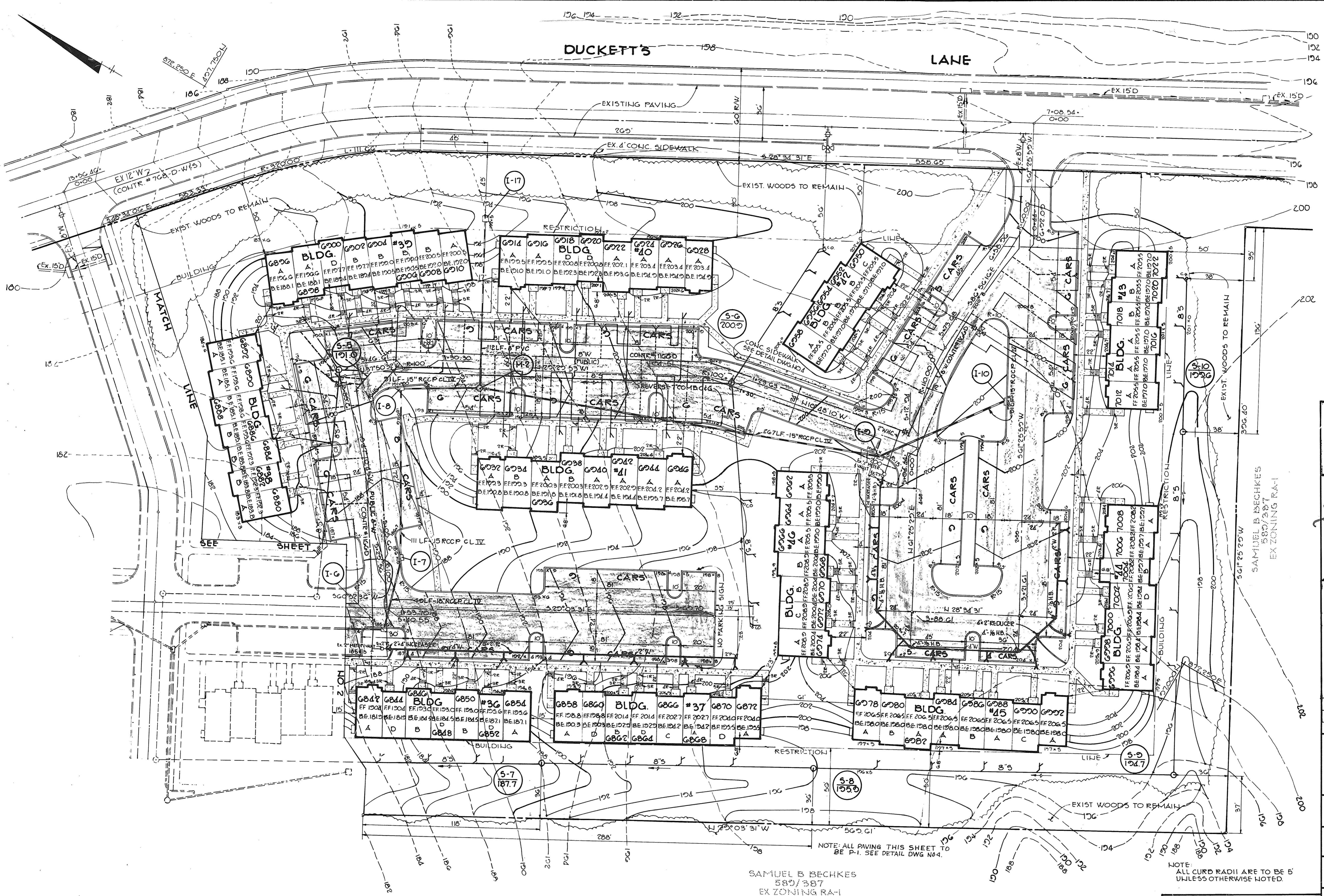
**THE RIEMER GROUP, INC.**

The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
 8659 Baltimore National Pike, Ellicott City, Maryland, 21043 301 461-2690

APPROVED  
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
 HOWARD COUNTY, MARYLAND  
 DATE 10-3-83

*[Signature]*

2-2-84 DATE	DESIGNED BY: M.E.M.
	DRAWN BY: D.A.M.
	PROJECT NO: 000900
	DATE: AUGUST 15, 1983
	SCALE: 1" = 30'
	DRAWING NO. 2 OF 14



**KEY TO UNIT DIMENSIONS**

UNIT	SIZE
A	18' x 34'
B	16' x 34'
C	18' x 32'
D	16' x 32'

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.  
*Joseph E. ...* 2-14-84  
 HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
*Thomas J. ...* 2-15-84  
 PLANNING DIRECTOR DATE  
*William ...* 2-15-84  
 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

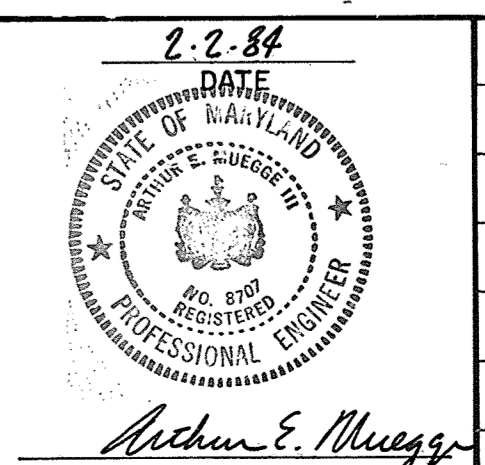
APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*John F. ...* 2-10-84  
 DIRECTOR DATE  
*William ...* 2-9-84  
 CHIEF, BUREAU OF ENGINEERING DATE

DATE	NO.	REVISION
OWNER/DEVELOPER CAPITAL HOMES, INC. T/A MARBLE HILL JOINT VENTURE 6722 WASHINGTON BLVD ELK RIDGE, MARYLAND		
PROJECT: <b>MARBLE HILL PHASE TWO</b>		
AREA RECORD PLAT RECORDING REF. U.S. 3805213000 TAX MAP 1425 37138 PARCEL A 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND		
TITLE: <b>SITE DEVELOPMENT PLAN</b>		

SAMUEL B. BECHKES  
 580/387  
 EX ZONING RA-1

APPROVED  
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
 HOWARD COUNTY, MARYLAND  
 DATE **10-3-83**  
*[Signature]*

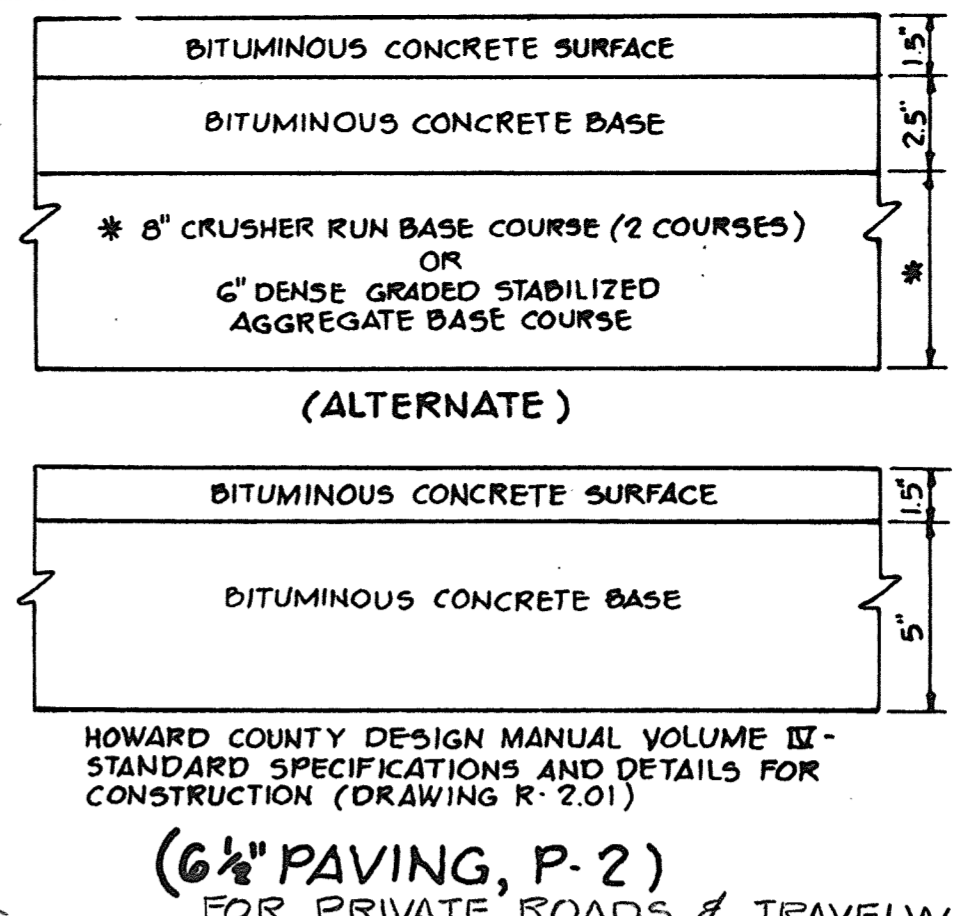
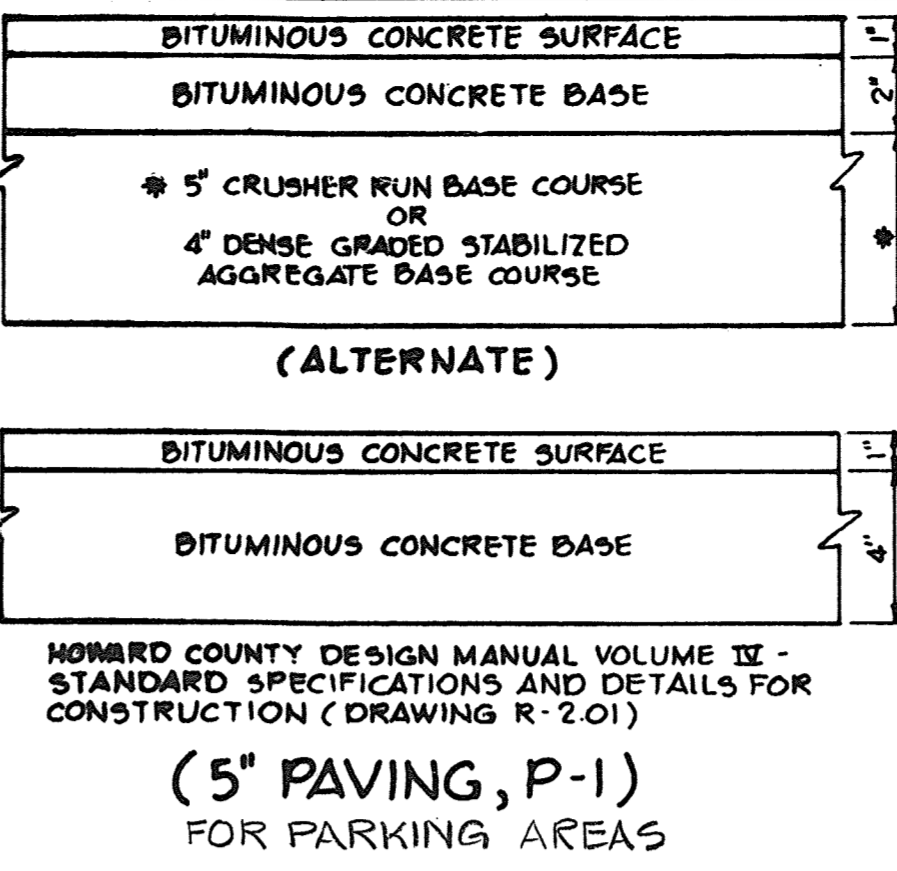
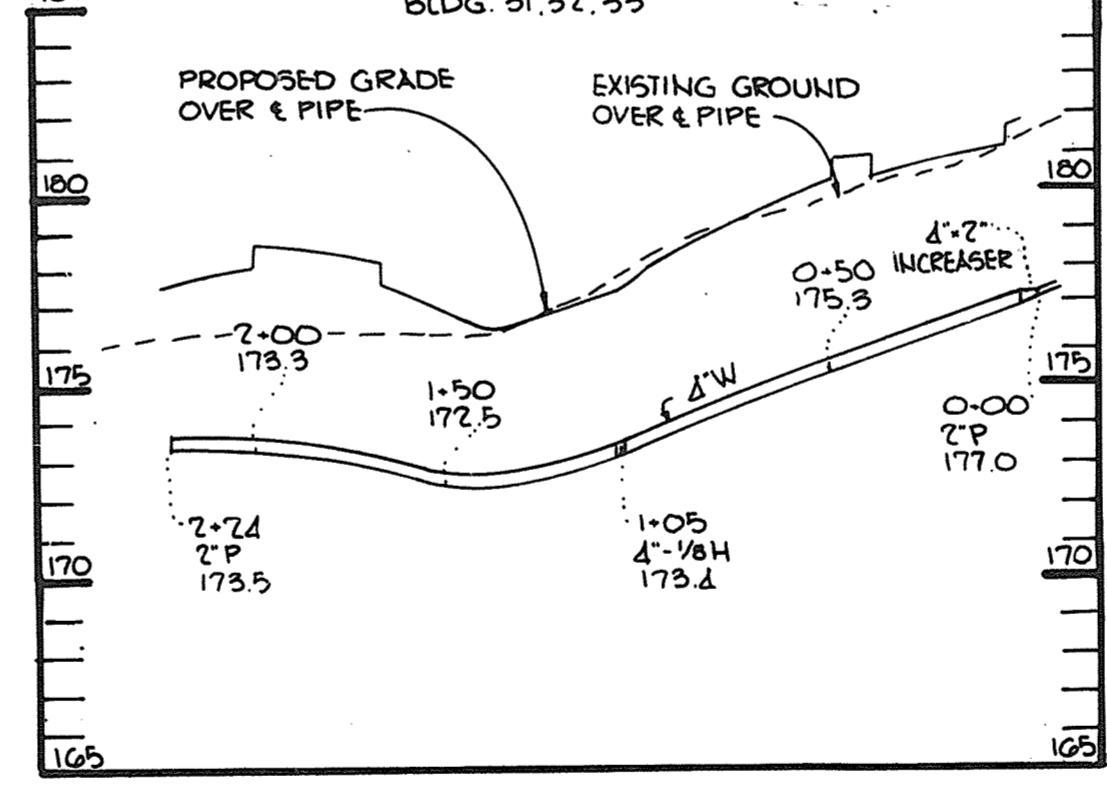
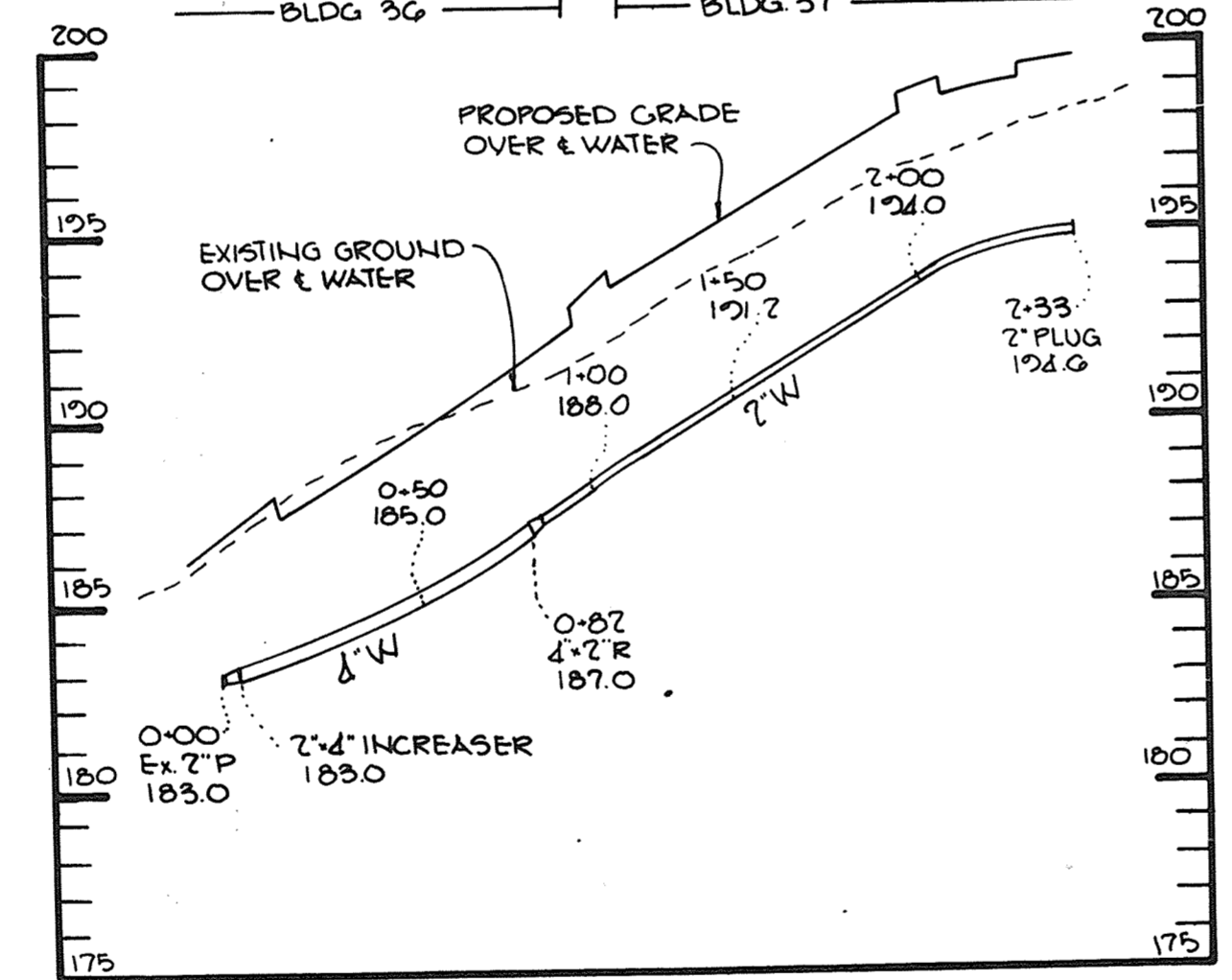
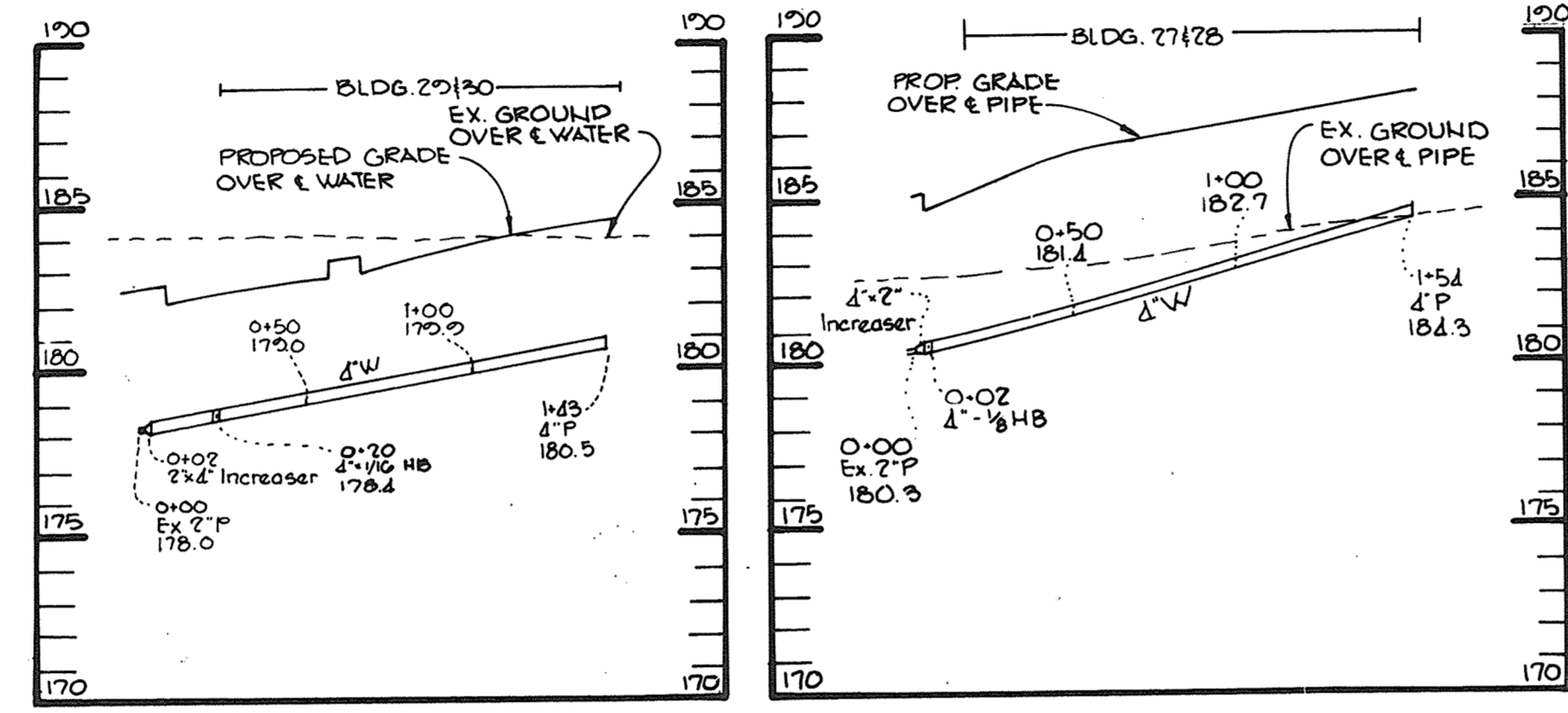
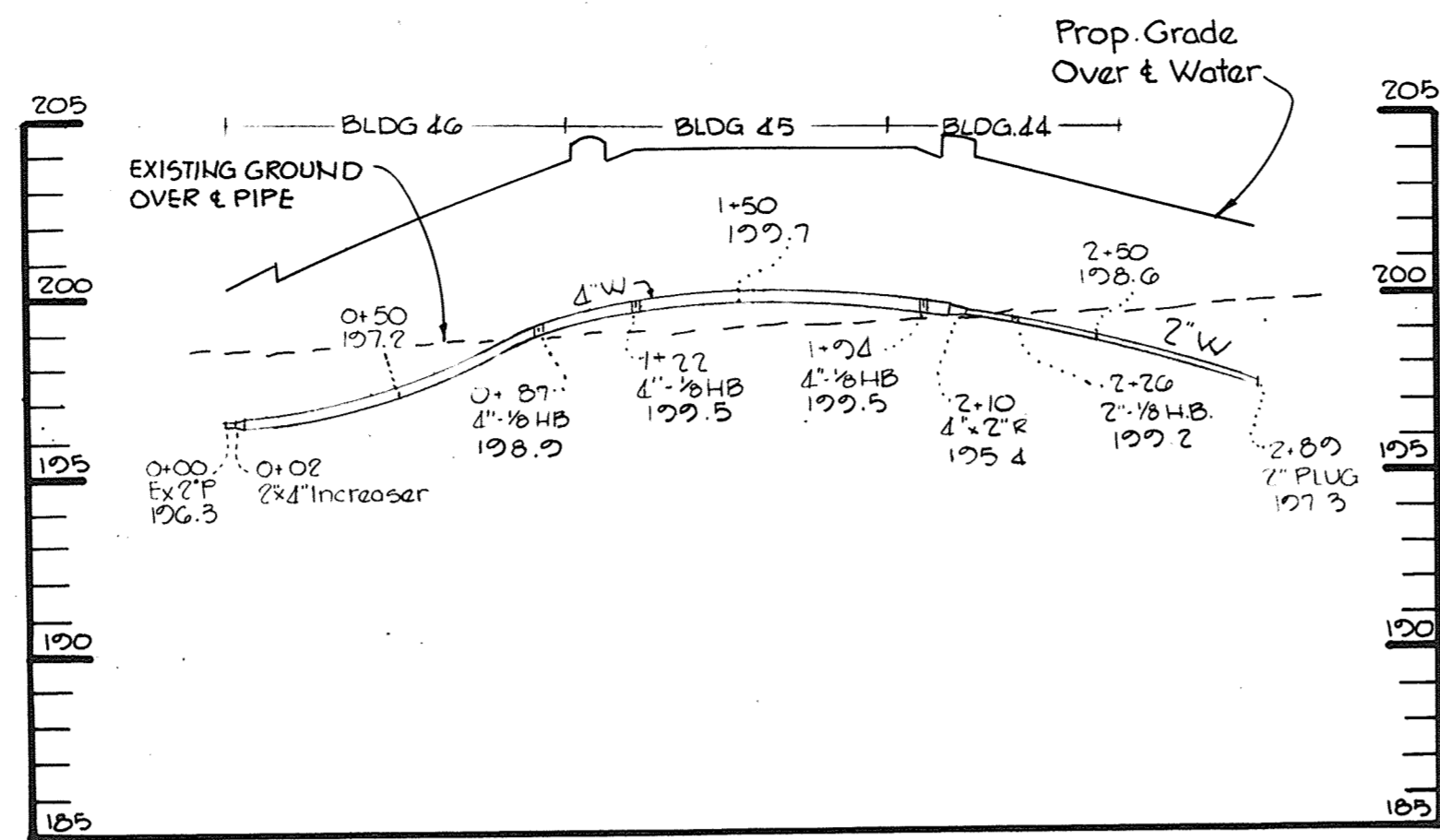
**THE RIEMER GROUP, INC.**  
 The Riemer Group, Inc. - A Land Planning, Design & Civil Engineering Firm  
 8559 Baltimore National Pike, Ellicott City, Maryland, 21043 301-461-2600



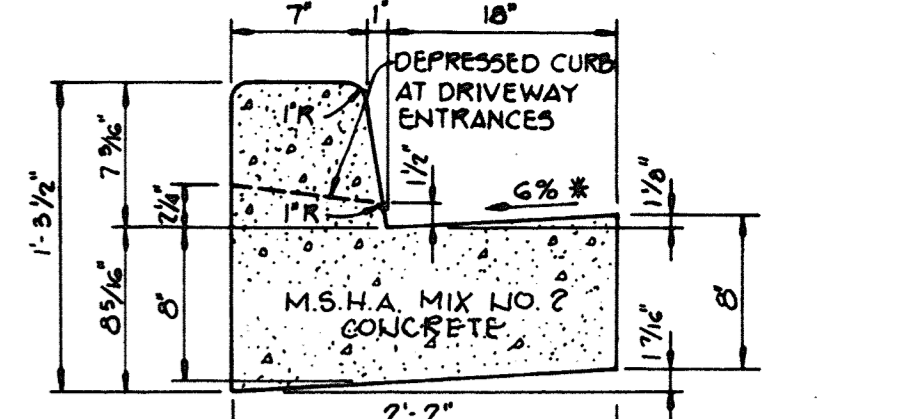
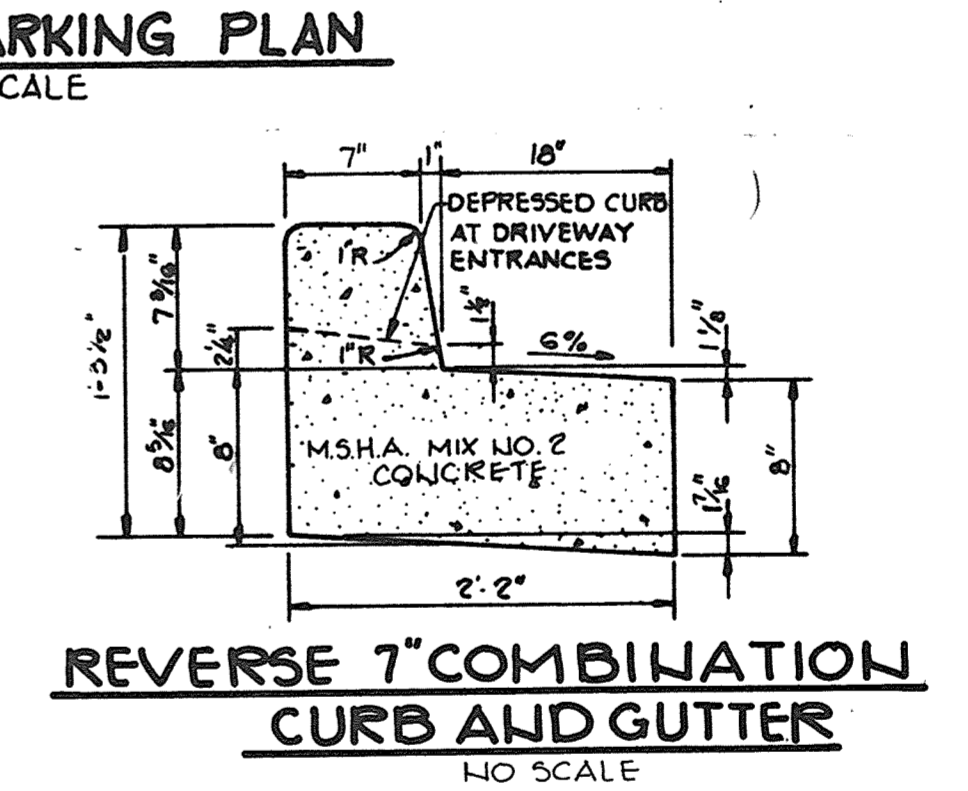
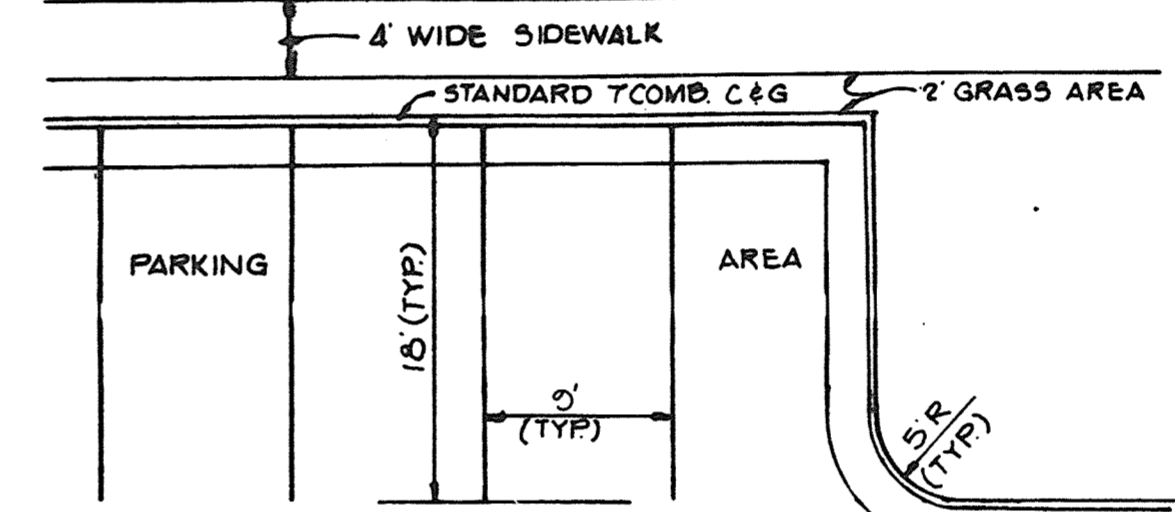
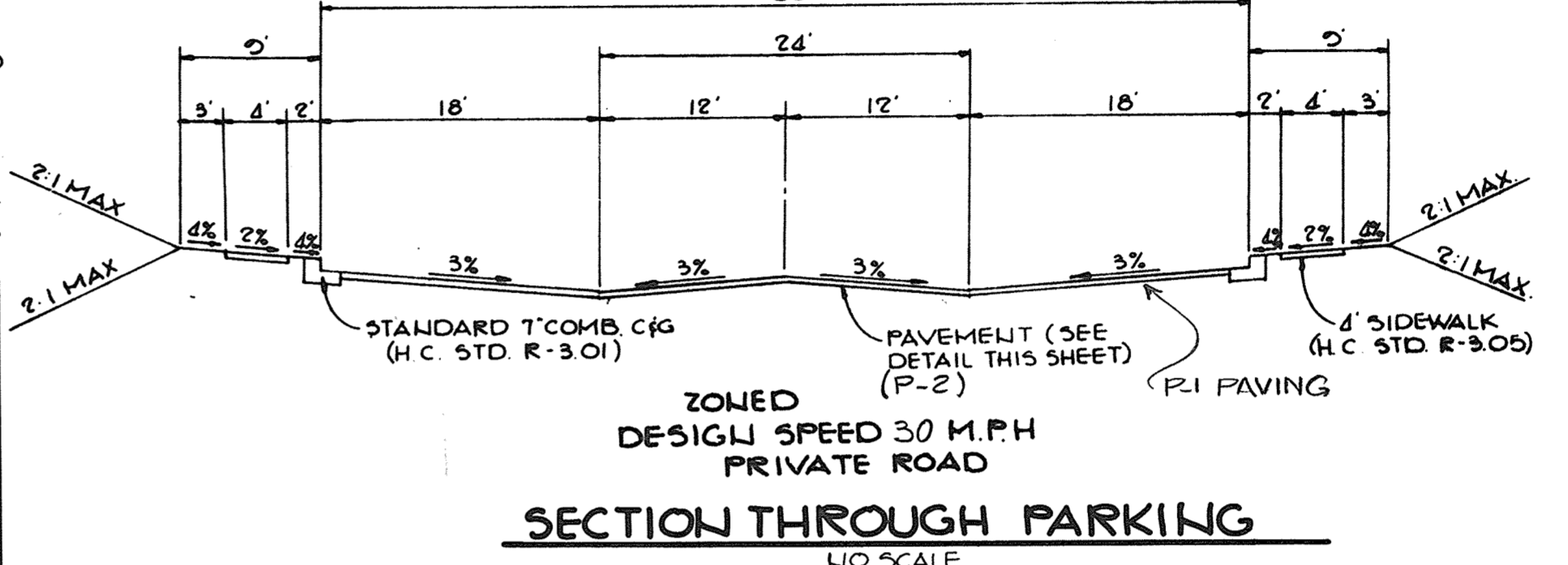
DESIGNED BY: M.E.H.  
 DRAWN BY: D.A.M.  
 PROJECT NO: 000900  
 DATE: AUGUST 15, 1983  
 SCALE: 1"=30'  
 DRAWING NO. 3 OF 14

# SANITARY SEWER GENERAL NOTES

- Approximate location of existing mains are shown. The contractor shall take all necessary precautions to protect existing mains and services and maintain uninterrupted supply. Any damage incurred shall be repaired immediately to the satisfaction of the Engineer, at the Contractor's expense.
- All horizontal controls are based on Maryland State Coordinates.
- All vertical Controls are based on U.S.G.S. Datum.
- All pipe elevations shown are invert elevations.
- Clear all utilities by a minimum of 6". Clear all poles by 2'-0" minimum or tunnel as required. Any cost incurred to the contractor for tunneling or bracing at poles shall be included in unit prices bid for excavation and backfill.
- For details not shown on the drawings use Howard County Standard Details.
- For materials and construction methods use Howard County Standard specifications.
- Contractor shall locate existing utilities a minimum of two (2) weeks in advance of construction operations in the vicinity of proposed utilities at his own expense.
- Contractor shall notify the following utilities or agencies at least five (5) working days before starting work shown on these plans:
  - State Highway Administration- 531-5533
  - Baltimore Gas & Electric Company- Underground Electric Distribution Customer Service- 685-0123
  - Baltimore Gas & Electric Company- Underground Gas Distribution Customer Service- 685-0123
  - Engineering "Damage Control"- 234-5621
  - "Miss Utility"- 1-559-0100
  - Chesapeake & Potomac (C&P) Telephone Company- 725-9976
  - American Telephone and Telegraph- Cable Location Division- 393-3553
  - Colonial Pipeline Company- 781-4641
  - Bureau of Utilities Howard County- 992-2366
- Trees are to be protected from damage to maximum extent. Trees located within the construction strip are not to be removed or damaged by the contractor.
- Contractor shall remove trees, stumps and roots along line of excavation as directed by the Engineer. Payment for such removal shall be included in the unit price bid for excavation and backfill.
- Place regulation "Men Working" and warning signs as required to comply with Maryland State Highway Administration Manual of Traffic control for Highway Construction and Maintenance Operations.
- All sewer mains shall be C.S.P.X., V.C.P.X., P.V.C. or A.C.P. Class 2400 unless otherwise noted.
- The contractor shall provide a joint in all sewer mains within 2'-0" of exterior manhole wall.
- All manholes shall be 4'-0" inside diameter, unless otherwise noted.
- Force mains shall be D.I.P. only.
- Manholes shown with 12" and 16" walls are brick manholes only.
- Manholes designated W.T. in plan and profile shall have watertight frame and covers, Standard Detail G-552 Volume IX. Where watertight manhole frame and cover is used, set top of frame 1'-6" above finished grade.
- House (s) with the symbol "C.N.S." indicated that cellar can not be served.
- All water house connections shall have a minimum vertical clearance of 12" above all sanitary sewer crossings.
- All sanitary sewer house connections shall have a minimum vertical clearance of 12" below all water main crossings.
- Profile Stations shall be adjusted as necessary to conform to Plan dimensions.
- No pipe shall be laid until lines of excavation have been brought to subgrade.



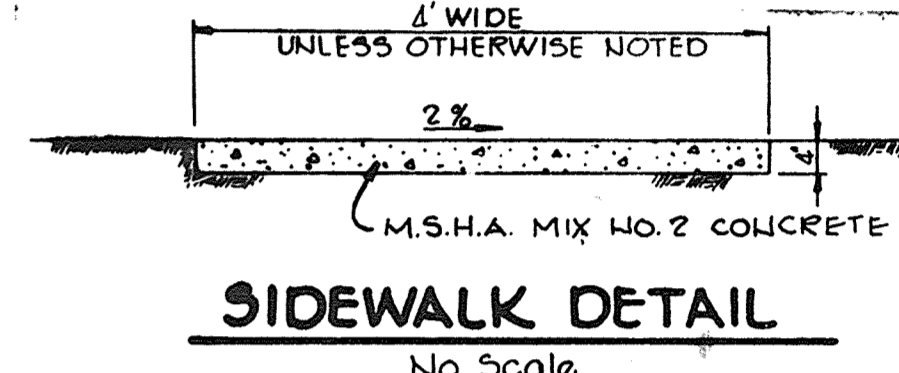
### TYPICAL PAVING SECTIONS



HOWARD COUNTY DESIGN MANUAL VOLUME IX - STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (DRAWING R-301)

\* GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIALS OR THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AS THE PAVEMENT.

### STANDARD 7" COMBINATION CURB AND GUTTER



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

*James Boylston* 2-14-84  
COUNTY HEALTH OFFICER, P.S. DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

*John* 2-15-84  
PLANNING DIRECTOR DATE

*William* 2-15-84  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

*John E. Nalley* 2-10-84  
DIRECTOR DATE

*William* 2-9-84  
CHIEF, BUREAU OF ENGINEERING DATE

4-18-84	①	CHANGE NOTE	TRG
DATE	NO.	REVISION	

OWNER/DEVELOPER  
CAPITAL HOMES, INC.  
T/A MARBLE HILL JOINT VENTURE  
6722 WASHINGTON BLVD  
ELK RIDGE MARYLAND

PROJECT: **MARBLE HILL PHASE TWO**

AREA RECORD PLAT RECORDING REF L195 3800 13900  
TAX MAP L195 37138  
PARCEL 'A'

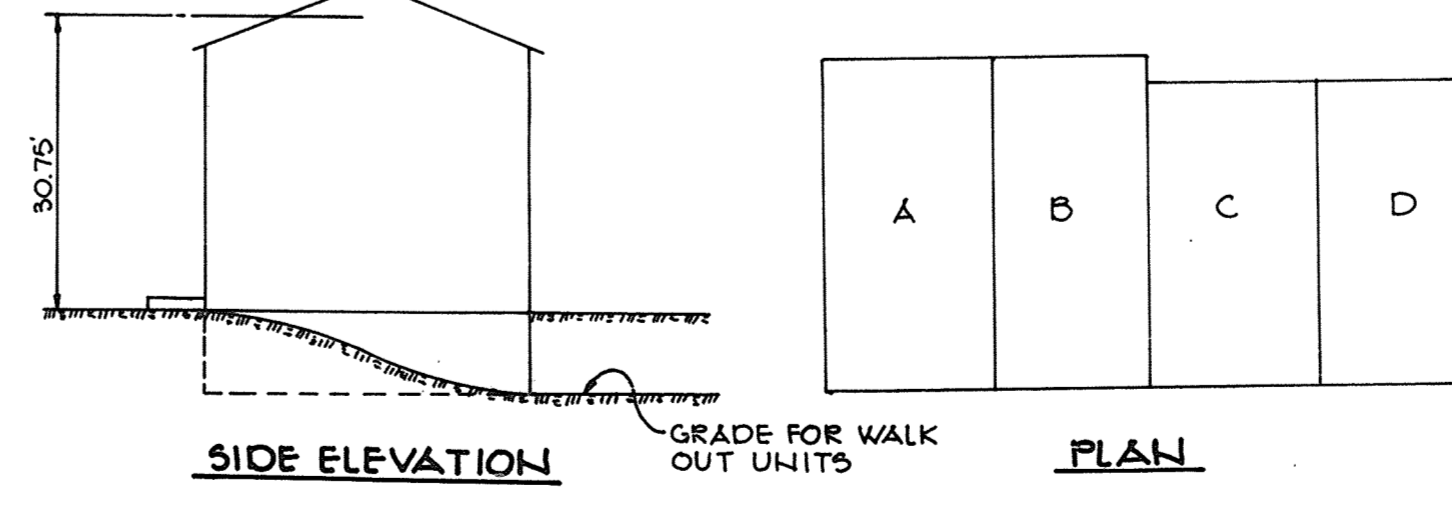
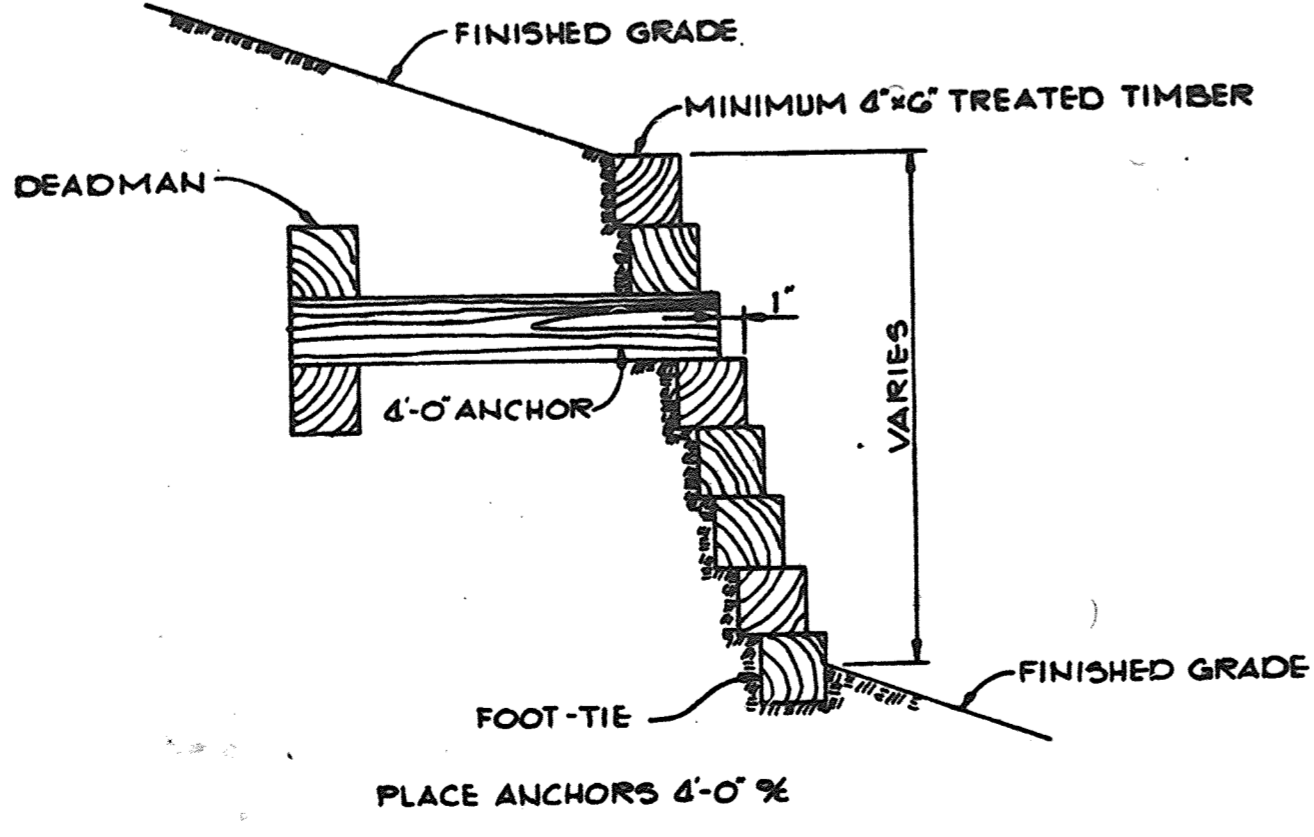
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: **DETAILS**

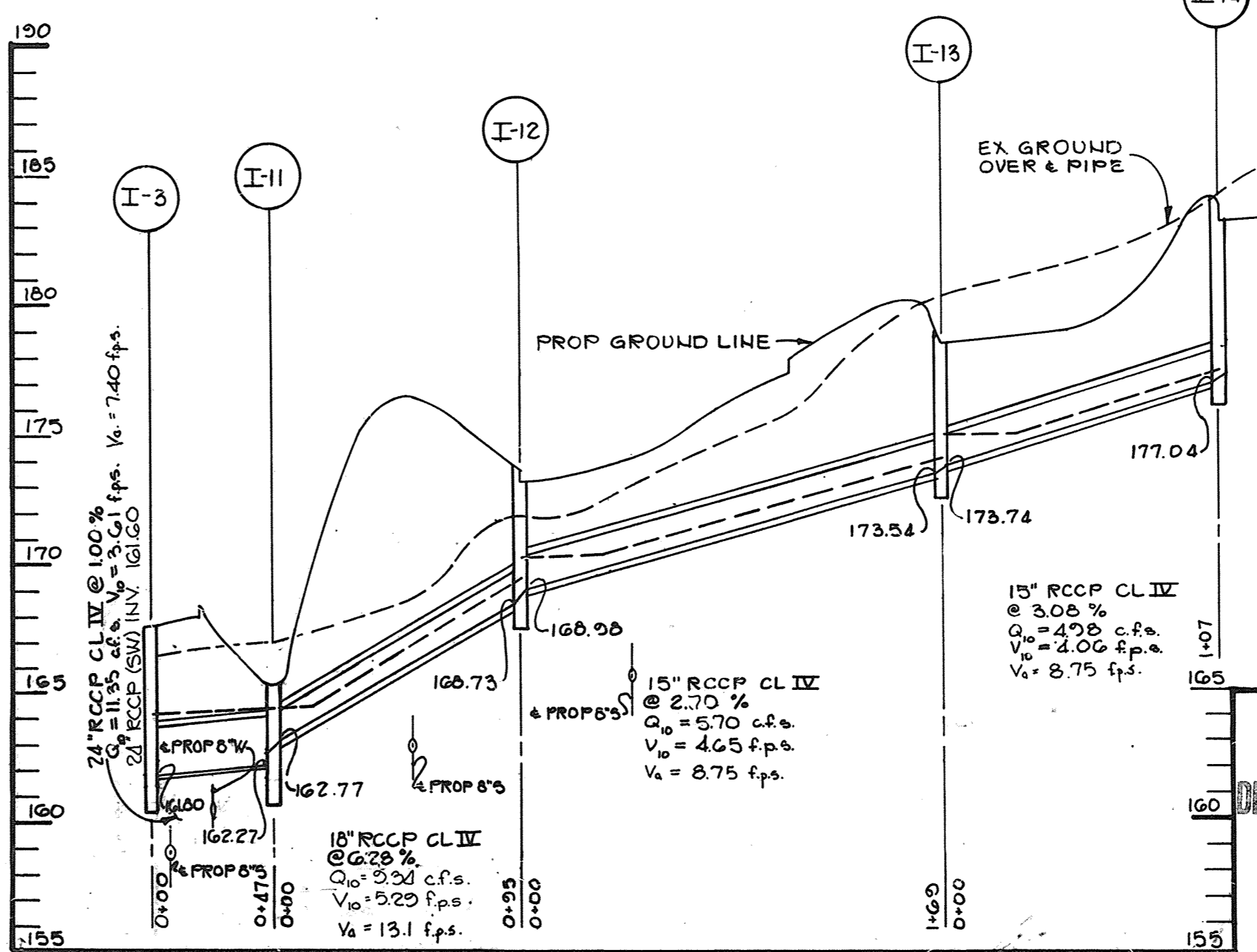
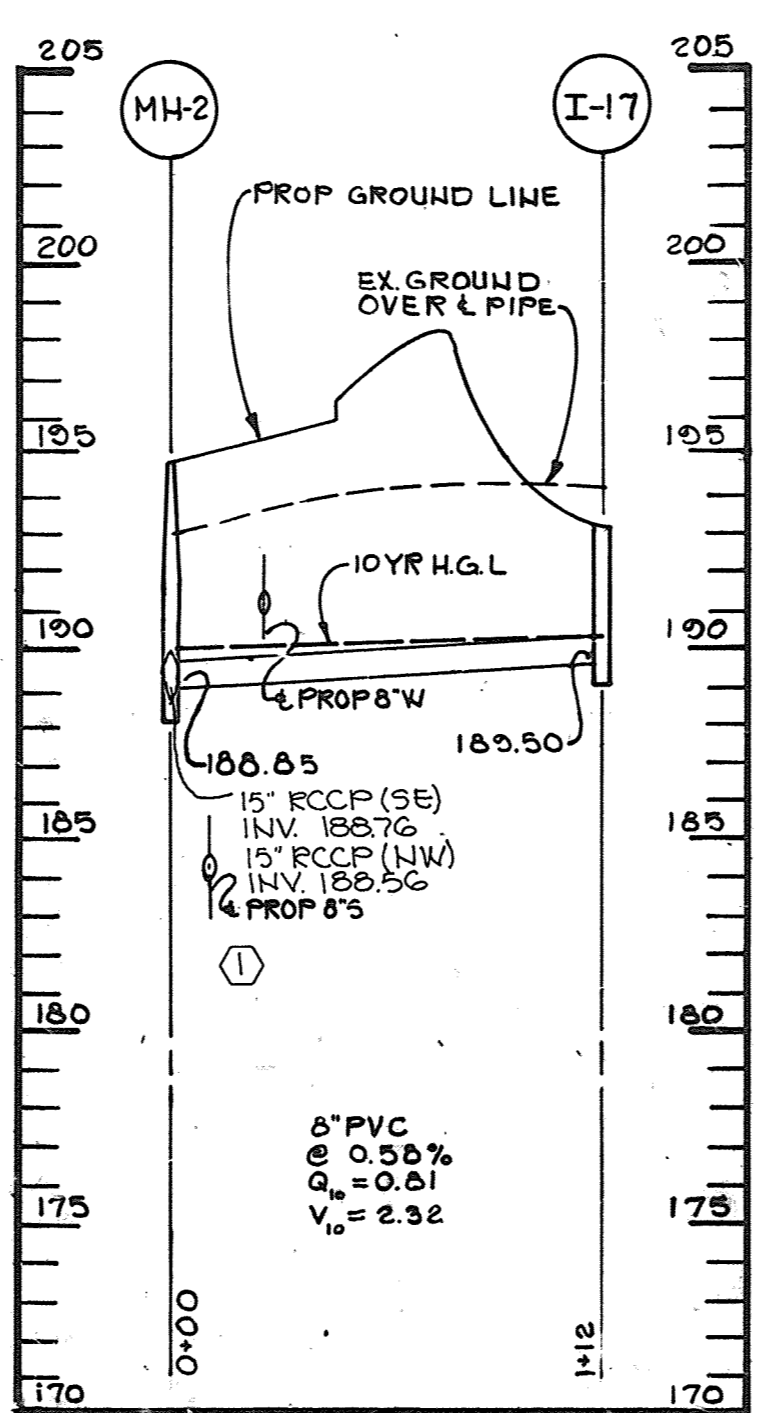
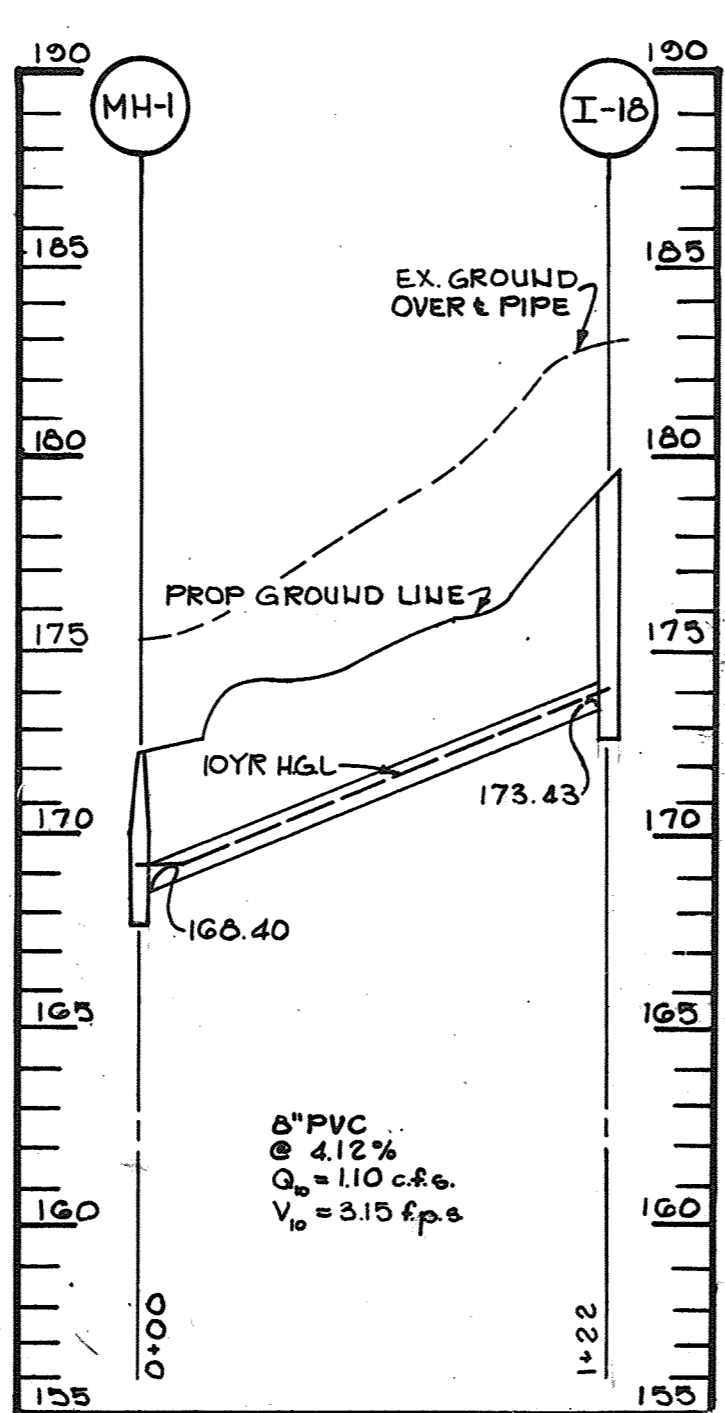
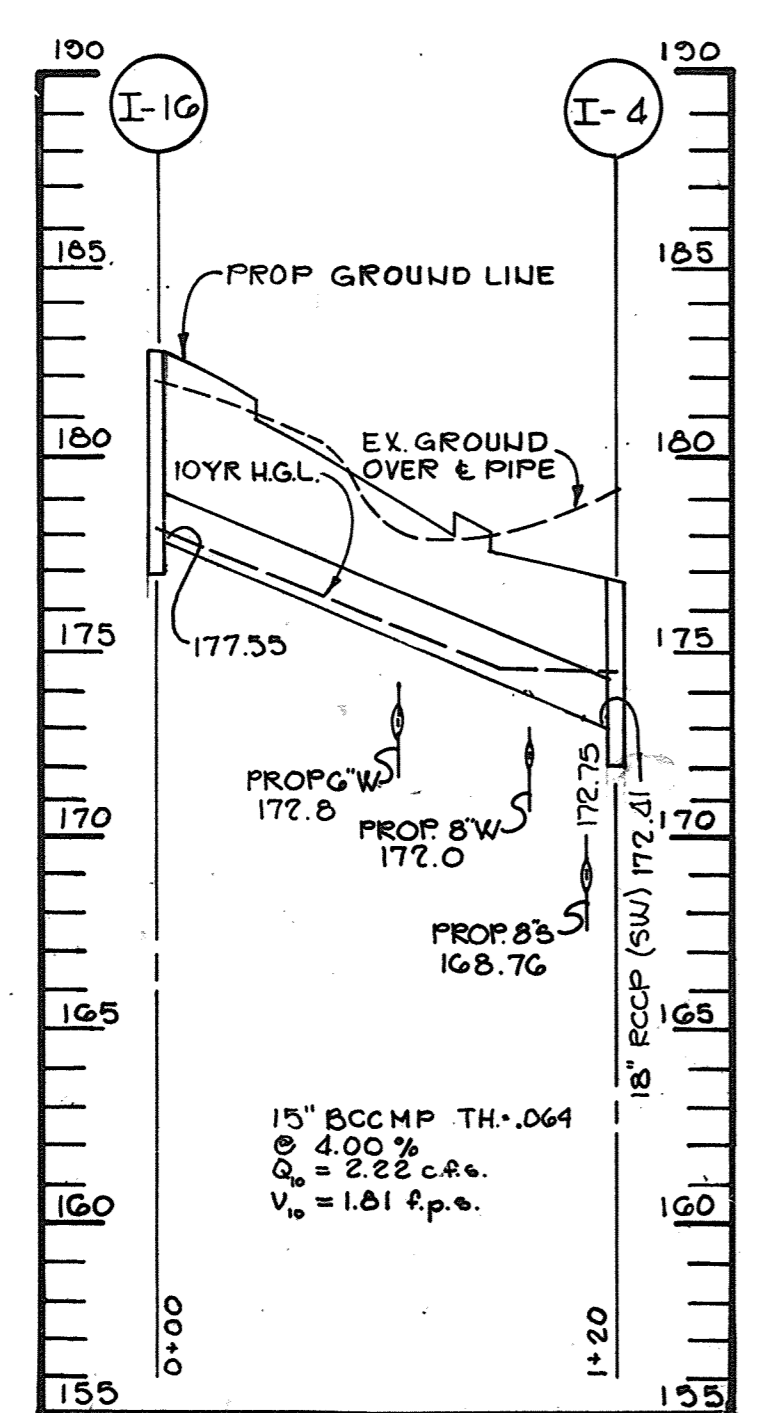
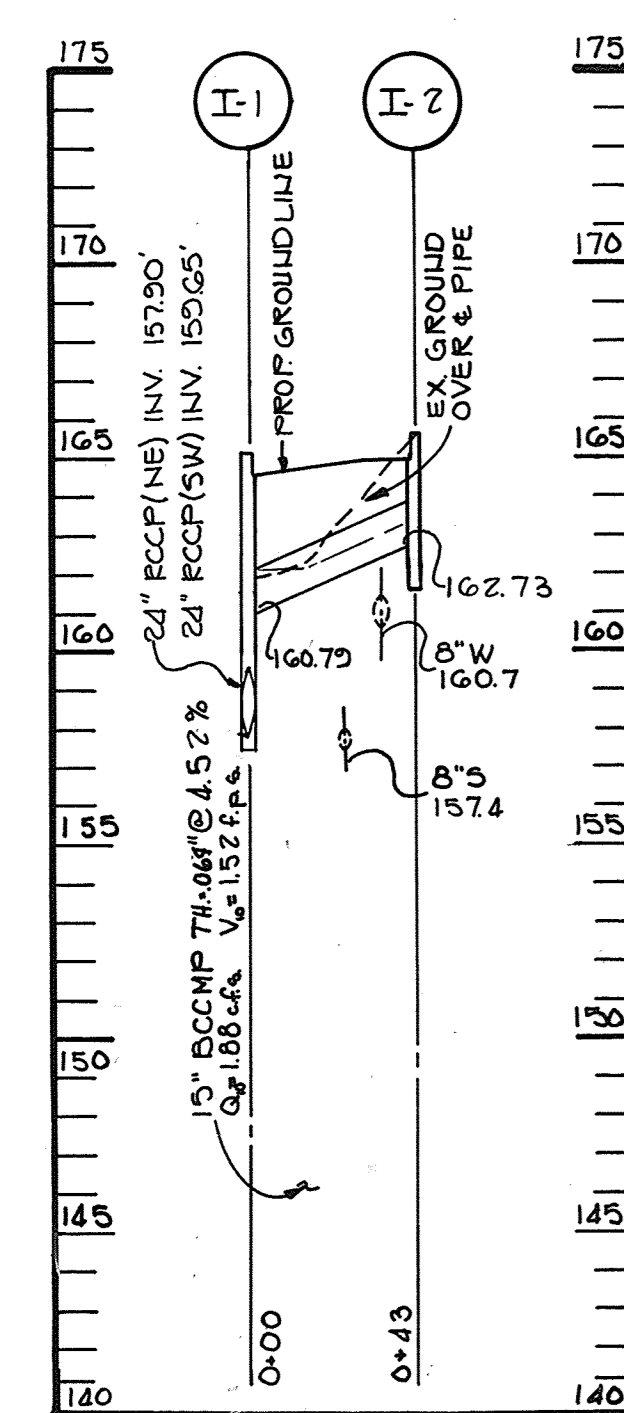
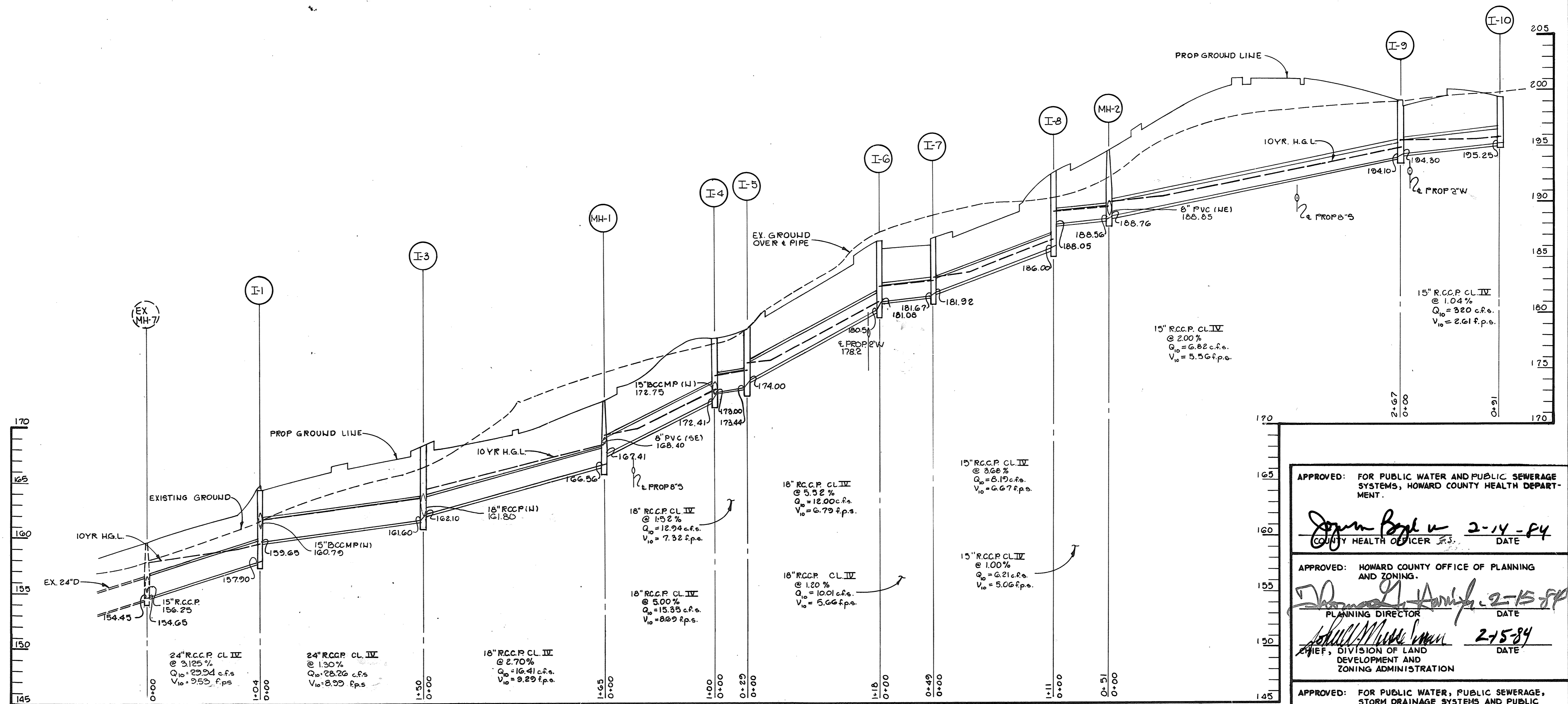
**THE RIEMER GROUP, INC.**  
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
8659 Baltimore National Pike, Ellicott City, Maryland, 21043 301-461-2600

DESIGNED BY: L.U.D.
DRAWN BY: DAM.
PROJECT NO: 000 000
DATE: AUGUST 15, 1983
SCALE: AS SHOWN
DRAWING NO. 4 OF 14

APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 10-3-83  
*William*



UNIT TYPE	FLOOR DIMENSION	SOFT EACH FLOOR
A	18' x 34'	612
B	10' x 34'	544
C	18' x 32'	576
D	10' x 32'	512



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.  
*John Boyd* 2-14-84  
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
*Thomas L. Davis* 2-15-84  
 PLANNING DIRECTOR DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*Henry F. Nunn* 2-10-84  
 DIRECTOR DATE

CHIEF, BUREAU OF ENGINEERING 2-2-84  
 DATE

4-18-84	(1)	CHANGE PIPE SIZE	T.E.G.
DATE	NO	REVISION	

OWNER/DEVELOPER  
 CAPITAL HOMES  
 T/A MARBLE HILL JOINT VENTURE  
 6722 WASHINGTON BLVD  
 ELK RIDGE, MARYLAND

PROJECT: **MARBLE HILL PHASE TWO**

AREA RECORD PLAT RECORDING REF. NO'S 3859 & 3900  
 TAX MAP NO'S 37 & 38  
 PARCEL A

1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

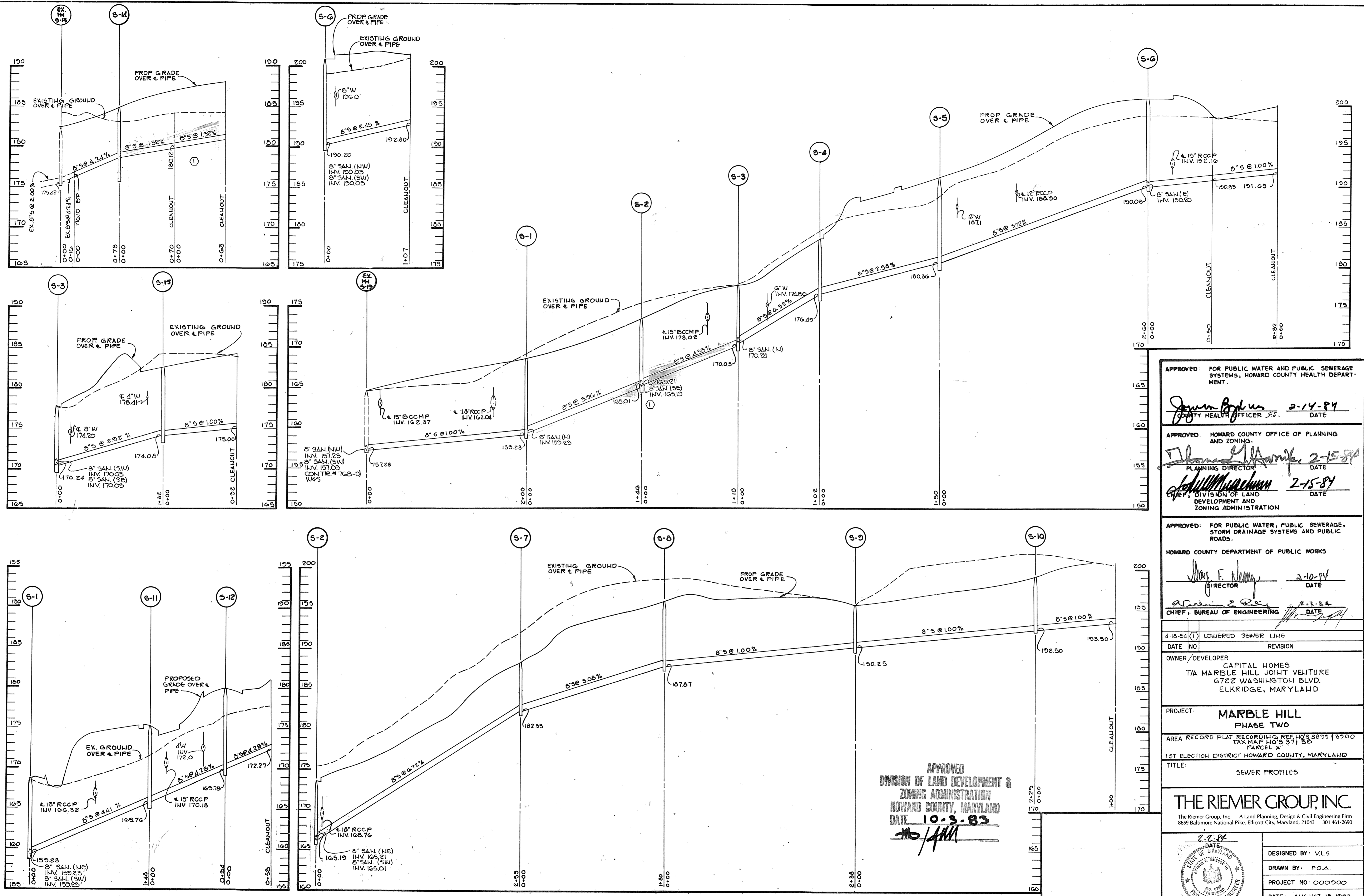
TITLE: **STORM DRAIN PROFILES**

APPROVED  
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
 HOWARD COUNTY, MARYLAND  
 DATE 10-3-83  
*M. J. AMM*

**THE RIEMER GROUP, INC.**  
 The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
 8659 Baltimore National Pike, Ellicott City, Maryland, 21043 301 461-2690

DATE 2-2-84

DESIGNED BY: V.L.S.  
 DRAWN BY: P.O.A.  
 PROJECT NO: 000900  
 DATE: AUGUST 15, 1983  
 SCALE: HORIZ: 1"=50' VERT: 1"=5'  
 DRAWING NO. 5 OF 14



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

*James Boydus* 2-14-89  
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

*Thomas J. Harp* 2-15-89  
 PLANNING DIRECTOR DATE  
*Jeffrey M. Muehlen* 2-15-89  
 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

*Mary F. Nemy* 2-10-89  
 DIRECTOR DATE  
*William J. R...* 2-11-89  
 CHIEF, BUREAU OF ENGINEERING DATE

4-18-84 (1) LOWERED SEWER LINE  
 DATE NO REVISION

OWNER/DEVELOPER  
 CAPITAL HOMES  
 T/A MARBLE HILL JOINT VENTURE  
 6722 WASHINGTON BLVD.  
 ELKBRIDGE, MARYLAND

PROJECT: **MARBLE HILL PHASE TWO**

AREA RECORD PLAT RECORDING REF. NO. 3359 13900  
 TAX MAP NO. 371 3B  
 PARCEL A

1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: SEWER PROFILES

**THE RIEMER GROUP, INC.**

The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
 8659 Baltimore National Pike, Ellicott City, Maryland, 21043 301-461-2690

2-8-89 DATE  
 DESIGNER: *Richard E. Muegg*  
 DESIGNED BY: V.L.S.  
 DRAWN BY: P.O.A.  
 PROJECT NO: 000900  
 DATE: AUGUST 15, 1983  
 SCALE: HORIZ: 1"=50' VERT: 1"=5'  
 DRAWING NO. 6 OF 14

APPROVED  
 DIVISION OF LAND DEVELOPMENT &  
 ZONING ADMINISTRATION  
 HOWARD COUNTY, MARYLAND  
 DATE 10-3-83  
*NO/AM*

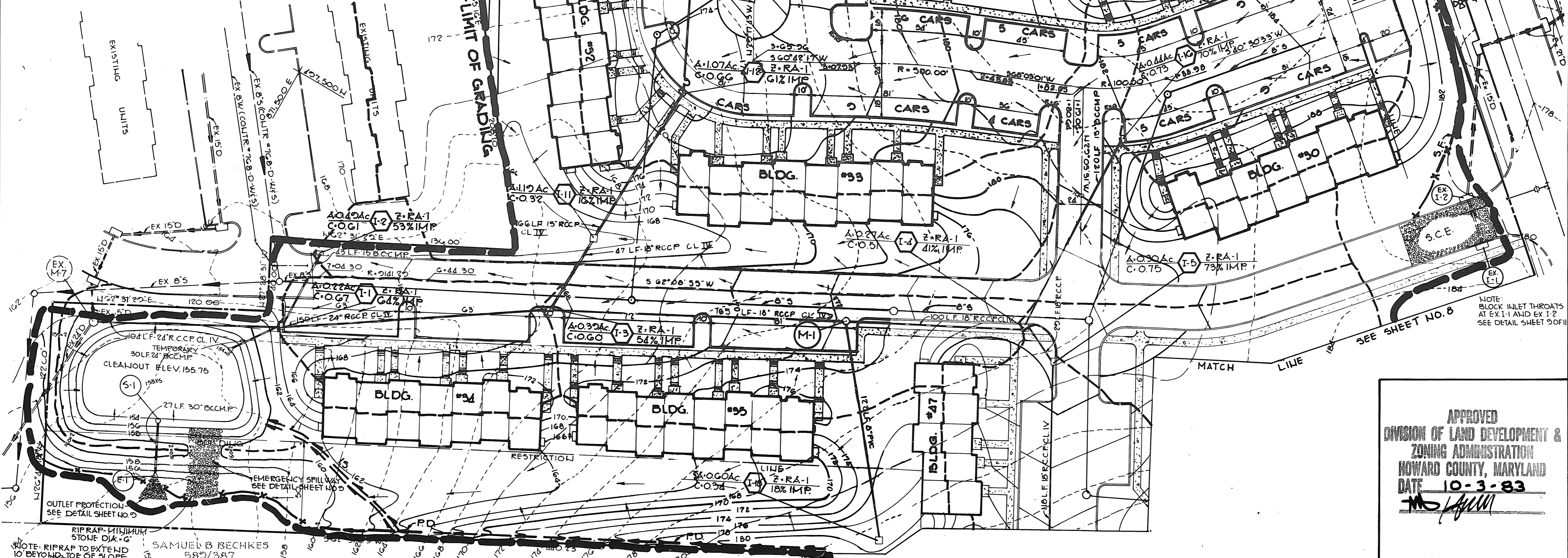
STRUCTURE SCHEDULE

NO.	TYPE	LOCATION	INV/IN	INV/OUT	TOP	REMARKS
I-1	A-5 Inlet	STA 7+25, 28'L	159.65	157.90	164.90	Ho. Co. Std SD 4.01
I-2	A-5 w/ deflectors	STA 7+05, 12'R	162.73	160.79	165.60	Ho. Co. Std SD 4.01 and SD 4.83
I-3	A-5 w/ deflectors	STA 5+75, 12'L	162.10	161.60	168.32	Ho. Co. Std SD 4.01 and SD 4.83
I-4	A-5 w/ deflectors	STA 3+11, 12'L	173.00	172.41	177.16	Ho. Co. Std SD 4.01 and SD 4.83
I-5	A-5 w/ deflectors	STA 0+33, 12'R	174.00	173.44	178.50	Ho. Co. Std SD 4.01 and SD 4.83
I-6	A-5 w/ deflectors	STA 1+53, 12'R	181.08	180.51	186.23	Ho. Co. Std SD 4.01 and SD 4.83
I-7	A-5 w/ deflectors	STA 5+05, 12'L	181.92	181.67	186.75	Ho. Co. Std SD 4.01 and SD 4.83
I-8	A-5 w/ deflectors	STA 3+48, 12'L	188.05	186.00	192.50	Ho. Co. Std SD 4.01 and SD 4.83
I-9	A-5 depressed	STA 0+21, 12'L	194.30	194.10	199.10	Ho. Co. Std SD 4.01
I-10	A-5 depressed	STA 1+83, 12'R	-	195.25	199.40	Ho. Co. Std SD 4.01
I-11	K Inlet	see plan	163.00	162.75	166.50*	Ho. Co. Std SD 4.13
I-12	A-5 depressed	see plan	168.98	168.78	173.80	Ho. Co. Std SD 4.01
I-13	K Inlet	see plan	173.74	173.54	178.50*	Ho. Co. Std SD 4.13
I-14	A-5 w/ deflectors	STA 0+18, 12'L	177.62	177.04	183.80	Ho. Co. Std SD 4.01 and SD 4.83
I-16	A-5 depressed	STA 1+61, 28'L	-	177.55	182.40	Ho. Co. Std SD 4.01
I-17	Yard Inlet	see plan	-	189.50	192.50	Ho. Co. Std SD 4.14
I-18	Yard Inlet	see plan	-	173.43	178.90	Ho. Co. Std SD 4.14
MH-1	Manhole	STA 3+10, 15'L	167.41	166.56	172.25	Ho. Co. Std G 5.12
MH-2	Manhole	STA 2+96, 13'L	188.76	188.56	194.53	Ho. Co. Std G 5.12

SITE ANALYSIS

DISTURBED AREA	13.1 Ac.
PAVING AREA	1.7 Ac.
ROOF AREA	2.2 Ac.
AREA TO BE RESEDED	9.2 Ac.

TRAP NO.	DRAINAGE AREA ACRES	DISTURBED AREA ACRES	VOLUME (CF) REQ. AVAIL.	CREST ELEV.	BOTTOM ELEV.	CLEANOUT ELEV.	BOTTOM DIMENSION
1	0.15	0.15	270 385	198.5	197.0	197.7	17' x 15'
2	0.38	0.38	684 728	196.0	194.0	195.0	28' x 13'



BY THE DEVELOPER:  
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT."  
 DEVELOPER: Best R. Palmer DATE: 8-20-83

BY THE ENGINEER:  
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."  
 ENGINEER: Arthur E. Muegg DATE: 8-15-83

REVIEWED FOR Howard S. C. D. NAME AND MEETS TECHNICAL REQUIREMENTS  
 U.S. SOIL CONSERVATION SERVICE DATE: 7-7-84

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT  
 HOWARD S.C.D. DATE: 2-7-84

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.  
 CITY HEALTH OFFICER: John J. ... DATE: 2-14-84

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
 PLANNING DIRECTOR: Thomas L. ... DATE: 2-15-84  
 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION: William ... DATE: 2-15-84

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR: Shirley F. ... DATE: 2-10-84  
 CHIEF, BUREAU OF ENGINEERING: ... DATE: 2-9-84

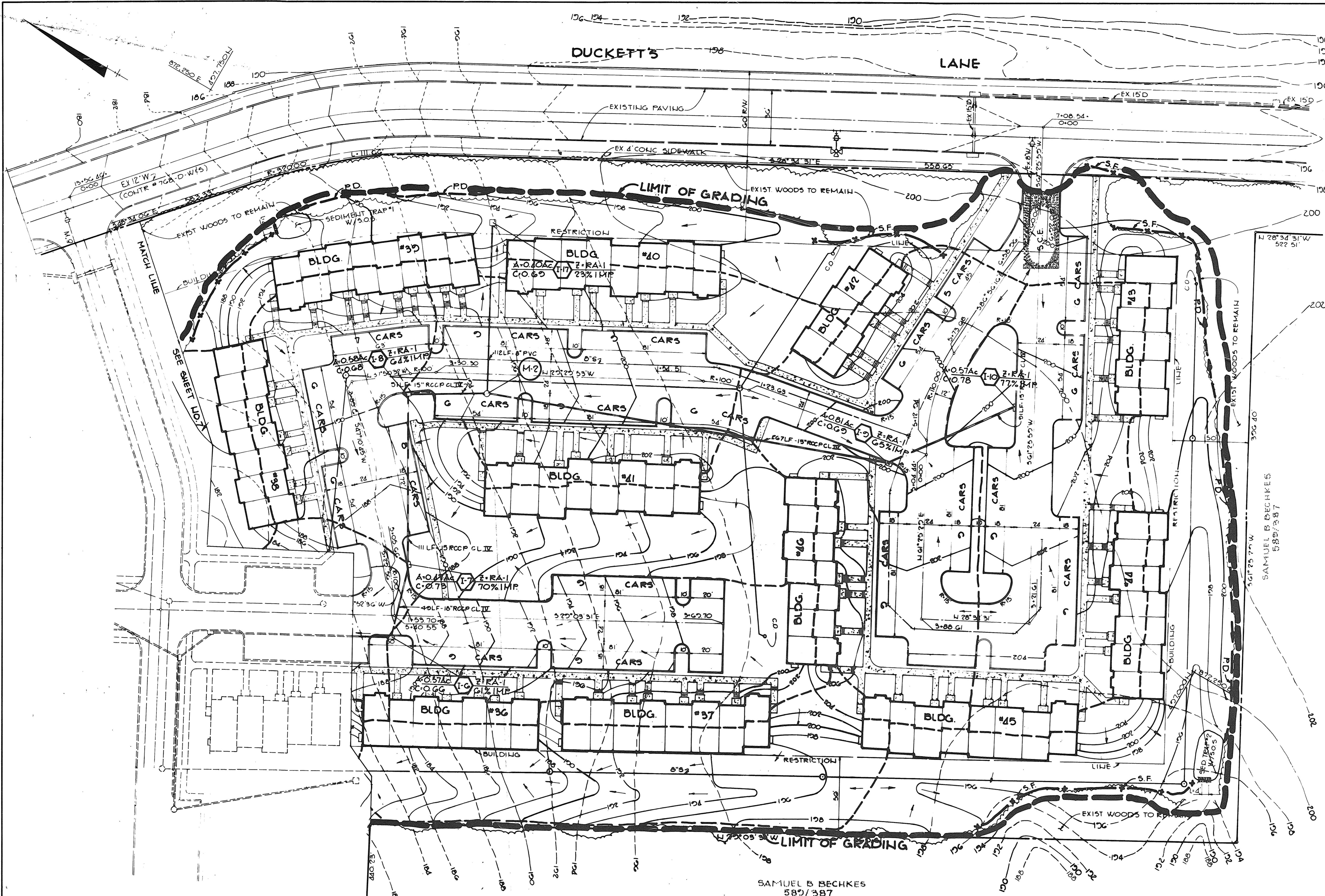
DATE: [ ] NO. [ ] REVISION [ ]  
 OWNER/DEVELOPER: CAPITAL HOMES, LLC  
 T/A MARBLE HILL JOINT VENTURE  
 6722 WASHINGTON BLVD.  
 ELK RIDGE MARYLAND

PROJECT: **MARBLE HILL PHASE TWO**  
 AREA: RECORD PLAT RECORDING REF LRS 9850 & 9900 TAX MAP LRS 37158 PARCEL A  
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 TITLE: DRAINAGE AREA MAP AND SEDIMENT CONTROL PLAN

**THE RIEMER GROUP, INC.**  
 The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
 8659 Baltimore National Pike, Ellicott City, Maryland, 21043 301 461-2690

DATE: 2-7-84  
 DESIGNED BY: M.E.M.  
 DRAWN BY: D.A.M.  
 PROJECT NO: 000900  
 DATE: AUGUST 15, 1983  
 SCALE: 1"=30'  
 DRAWING NO. 7 OF 14

APPROVED  
 ZONING ADMINISTRATION  
 HOWARD COUNTY, MARYLAND  
 DATE: 10-3-83



BY THE DEVELOPER:  
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT."  
*Dev. R. Balin* 8-29-83  
 DEVELOPER DATE

BY THE ENGINEER:  
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN, BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."  
*Arthur E. Muegge* 8-15-83  
 ENGINEER DATE

REVIEWED FOR *Howard* S.C.D. NAME  
 AND MEETS TECHNICAL REQUIREMENTS  
*M.H. SM* 2-7-84 DATE  
 U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT  
*W.D. Rame* 2-7-84 DATE  
 HOWARD S.C.D.

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
*J. B. B. B.* 2-14-84 DATE  
 COUNTY HEALTH OFFICER

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
*Samuel B. Bechkes* 2-15-84 DATE  
 PLANNING DIRECTOR  
*John W. ...* 2-15-84 DATE  
 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*John F. Nemy* 2-10-84 DATE  
 DIRECTOR  
*Michael S. ...* 2-9-84 DATE  
 CHIEF, BUREAU OF ENGINEERING

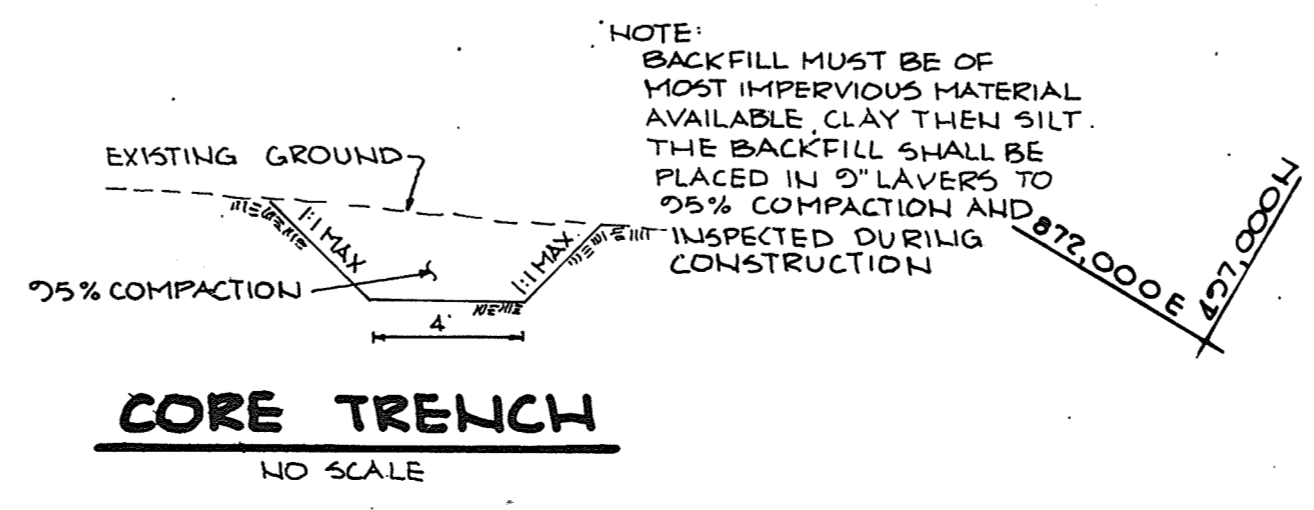
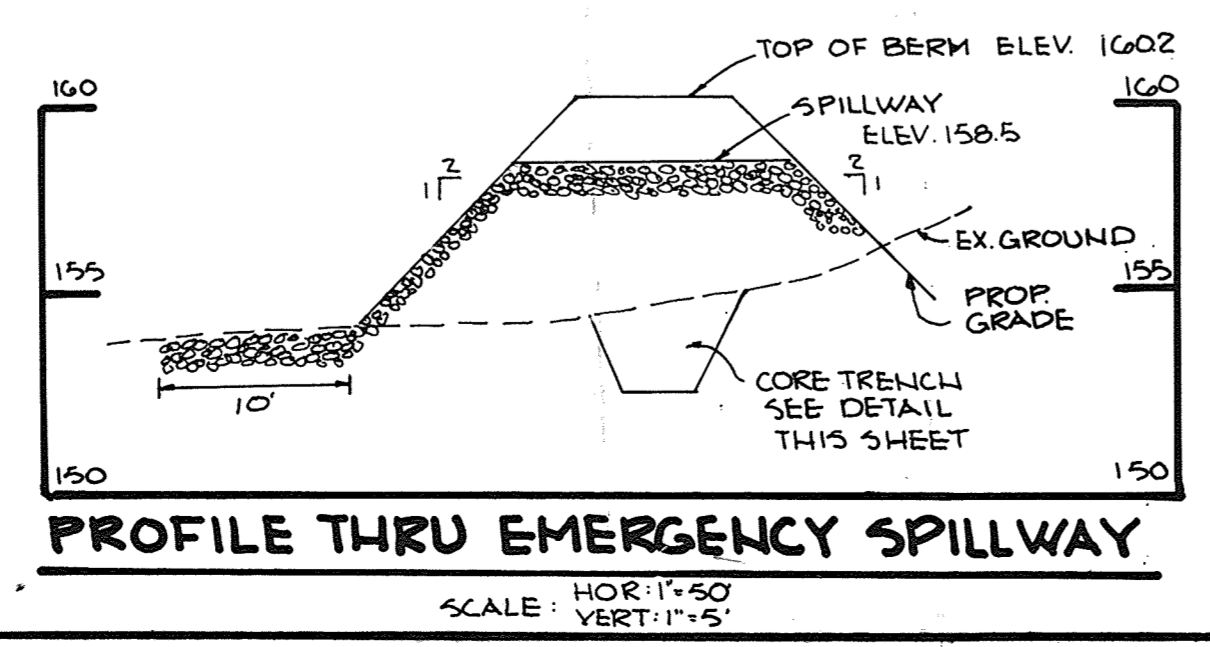
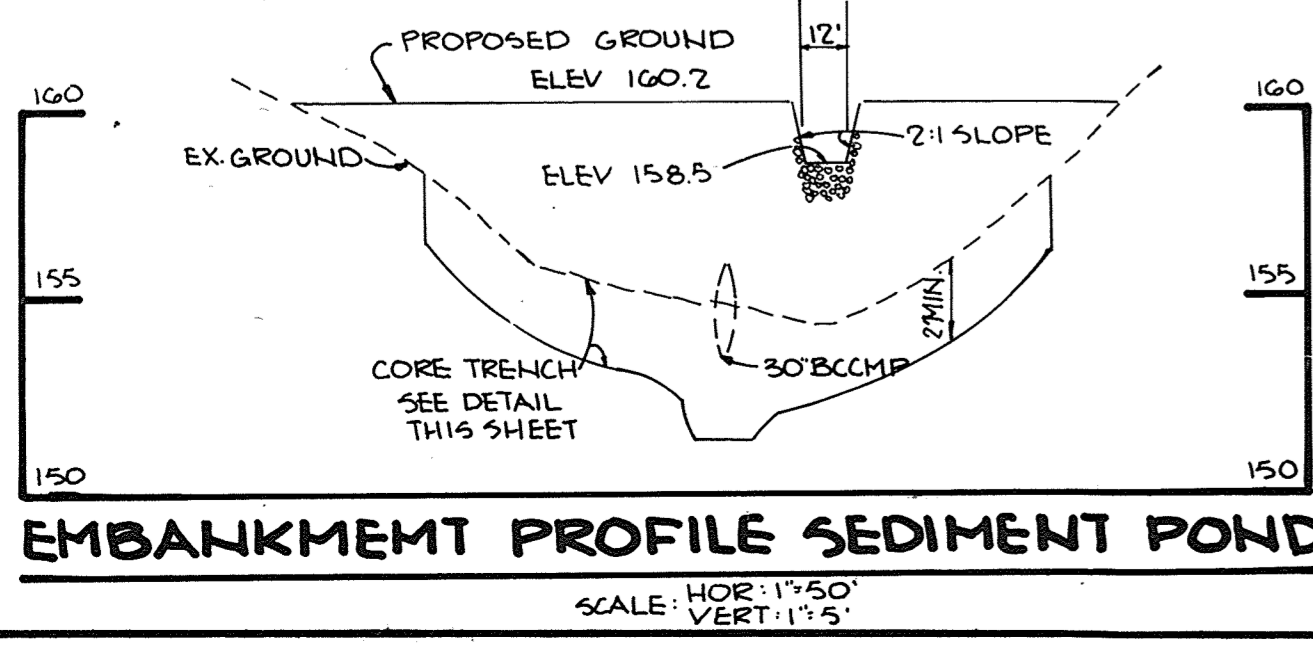
OWNER/DEVELOPER  
 CAPITAL HOMES, INC.  
 T/A MARBLE HILL JOINT VENTURE  
 6722 WASHINGTON BLVD  
 ELKRIDGE, MARYLAND

PROJECT  
**MARBLE HILL PHASE TWO**  
 AREA RECORD PLAT RECORDING REF LHS 3895:3500  
 TAX MAP NOS 37138  
 PARCEL A  
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 TITLE  
 DRAINAGE AREA MAP AND SEDIMENT CONTROL PLAN

**THE RIEMER GROUP, INC.**  
 The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
 8659 Baltimore National Pike, Ellicott City, Maryland, 21043 301-461-2690

DATE 2-2-84  
 APPROVED DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
 HOWARD COUNTY, MARYLAND  
 DATE 10-3-83  
*M.H. SM*

DESIGNED BY: MEM  
 DRAWN BY: DAM  
 PROJECT NO: 000000  
 DATE: AUGUST 15, 1983  
 SCALE: 1"=30'  
 DRAWING NO. 3 OF 14

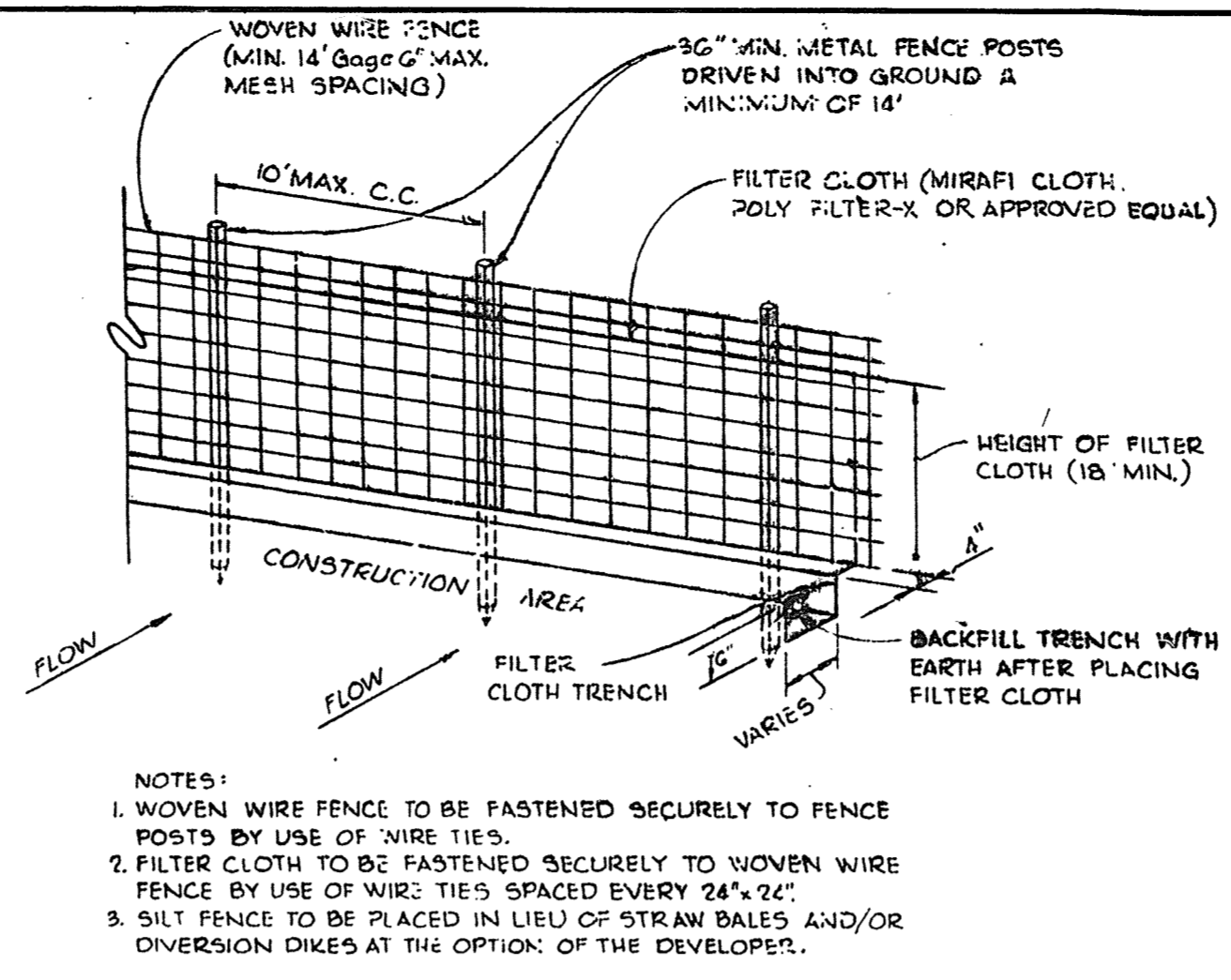


APPROVED DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
 HOWARD COUNTY, MARYLAND  
 DATE 10-3-83  
*M.H. SM*



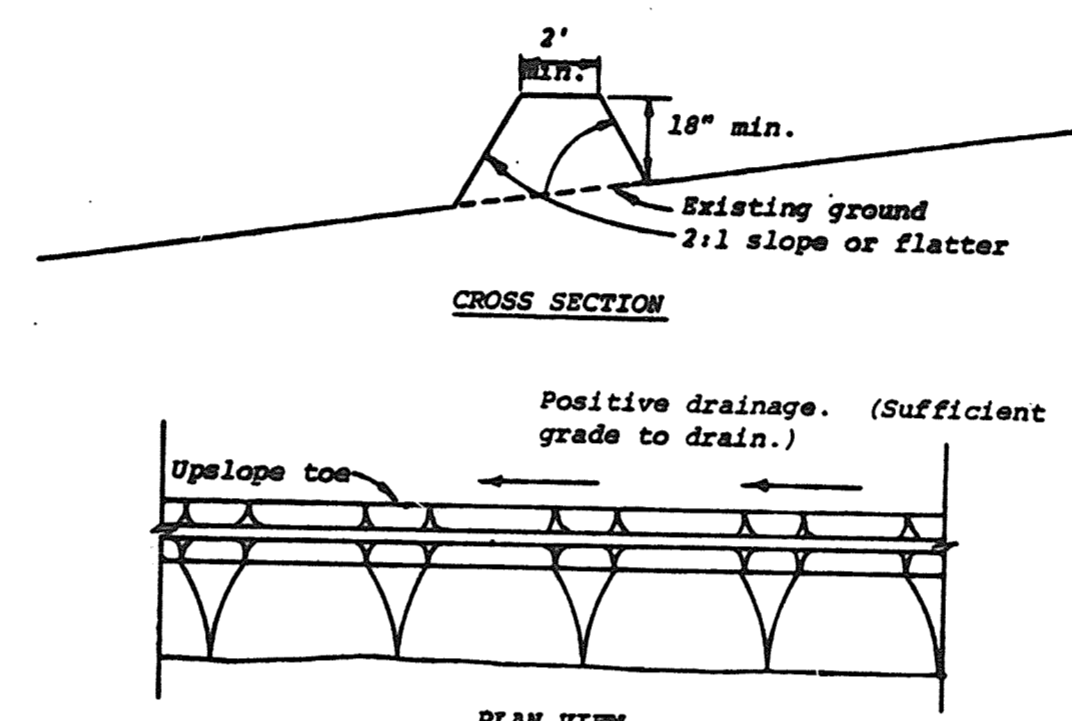
SEDIMENT CONTROL CONSTRUCTION NOTES  
GENERAL NOTES

- 1. A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION (922-2070).
- 2. ALL SEDIMENT CONTROL STRUCTURES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS AS PREPARED BY THE U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE.
- 3. SITE GRADING WILL BEGIN ONLY AFTER ALL PERIMETER SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED AND ARE IN A FUNCTIONING CONDITION.
- 4. ALL DISTURBED AREAS ARE TO BE DRESSED AND STABILIZED ACCORDING TO THE TEMPORARY OR PERMANENT SEEDING SCHEDULES AS SOON AS PROPER WEATHER CONDITIONS EXIST FOR THE ESTABLISHMENT OF A PERMANENT VEGETATIVE COVER.
- 5. SEDIMENT WILL BE REMOVED FROM TRAPS WHEN THE DEPTH REACHES THE CLEAN OUT ELEVATION SHOWN ON THE PLANS.
- 6. FERTILIZER AND LIME RATES MAY BE CHANGED THROUGH AUTHORIZATION BY THE HOWARD SOIL CONSERVATION DISTRICT IF SOIL TESTS DETERMINE A REDUCTION IN THE SPECIFIED RATES IS JUSTIFIED.
- 7. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- 8. REFERENCES CALLED FOR ON THE SEDIMENT CONTROL CONSTRUCTION PLAN AND DETAILS ARE MADE TO "THE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS".
- 9. SEDIMENT CONTROL WILL BE INSTALLED BEFORE CLEARING AND GRUBBING REMAINDER OF SITE.



- NOTES:  
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS BY USE OF WIRE TIES.  
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE BY USE OF WIRE TIES SPACED EVERY 24" X 24".  
3. SILT FENCE TO BE PLACED IN LIEU OF STRAW BALES AND/OR DIVERSION DIKES AT THE OPTION OF THE DEVELOPER.

**SILT FENCE**  
NO SCALE



TEMPORARY SEEDING

AREA TO BE SEEDING SHALL BE RECENTLY LOOSENEED. IF THE GROUND IS PACKED, CRUSTED OR HARD, THE TOP LAYER OF SOIL SHALL BE LOOSENEED BY DISCING, RACKING OR OTHER ACCEPTABLE MEANS.

- A. APPLY 10-20-10 FERTILIZER (OR EQUIVALENT) AT THE RATE OF 600 LBS. PER ACRE OR 15 LBS. PER 1000 SQ. FT.
- B. WHERE SOIL IS KNOWN TO BE HIGHLY ACID, APPLY DOLOMITIC LIMESTONE AT THE RATE OF 1 TON PER ACRE.
- C. WORK BOTH INTO SOIL AND SEED WITH CYCLONE SEEDER, DRILL, CULTIPAKER SEEDER OR HYDROSEEDER (SLURRY WILL INCLUDE SEED AND FERTILIZER) AT THE RATE OF 40 LBS. PER ACRE OF ITALIAN OR PERENNIAL RYEGRASS.
- D. MULCH WITH UNWEATHERED SMALL GRAIN STRAW AT THE RATE OF 1 1/2 TO 2 TONS PER ACRE AND ANCHOR WITH A CUTBACK ASPHALT OR EMULSIFIED ASPHALT AT THE RATE OF 5 GAL. PER 1000 SQ. FT.

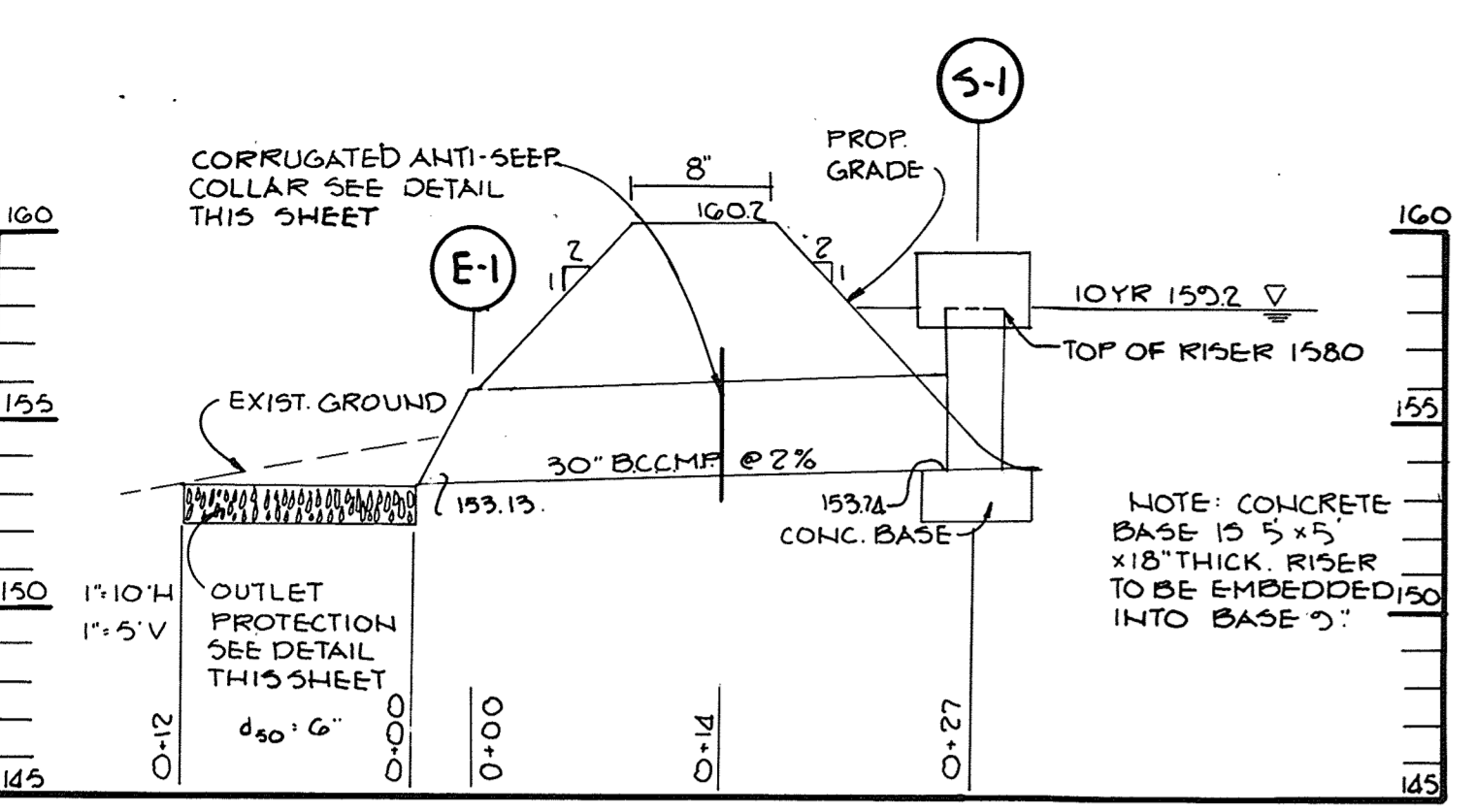
PERMANENT SEEDING

FINAL STABILIZATION WILL TAKE PLACE AS SOON AS POSSIBLE AS WEATHER CONDITIONS PERMIT. AS FOLLOWS:

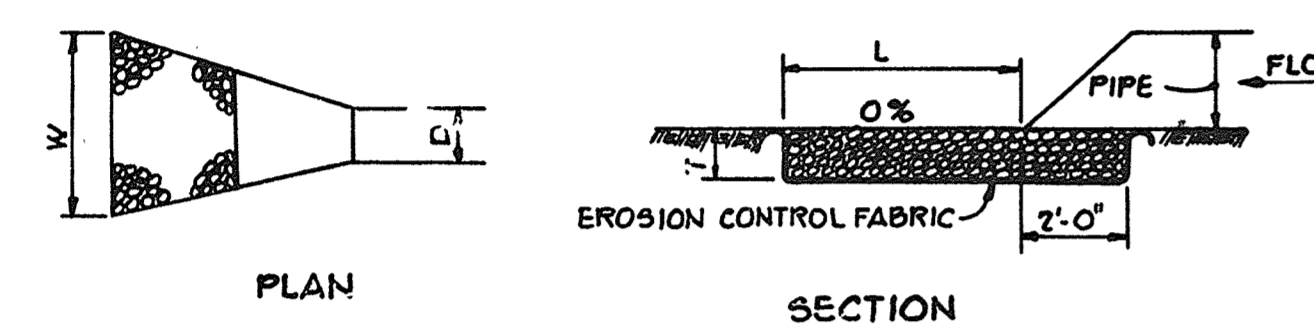
- A. APPLY DOLOMITIC LIMESTONE AT THE RATE OF 2 TONS PER ACRE (ONE TON PER ACRE IF APPLICATION OF TON PER ACRE WAS MADE FOR TEMPORARY SEEDING).
- B. APPLY 0-20-20 FERTILIZER AT THE RATE OF 600 LBS. PER ACRE HARROW OR DISC LINE AND 0-20-20 FERTILIZER INTO THE SOIL TO A MINIMUM DEPTH OF 3" LAWNS OR HIGH MAINTENANCE AREAS WILL BE DRAGGED AND LEVELED WITH A YORK RAKE. AT THE TIME OF SEEDING APPLY 400 POUNDS OF 38-0-0 UREAFORM FERTILIZER AND 500 LBS. OF 10-20-20 OR EQUIVALENT FERTILIZER PER ACRE.
- C. SEED WITH A MIXTURE OF CERTIFIED "MERION" KENTUCKY BLUEGRASS - 40 LBS. PER ACRE; COMMON KENTUCKY BLUEGRASS @ 40 LBS. PER ACRE; RED FESCUE, PENNLAWN OR JAMESTOWN @ 20 LBS. PER ACRE.
- D. MULCH WITH UNWEATHERED SMALL GRAIN STRAW AT THE RATE OF 1 1/2 TO 2 TONS PER ACRE AND ANCHOR WITH A CUTBACK ASPHALT OR EMULSIFIED ASPHALT AT THE RATE OF 5 GAL. PER 1000 SQ. FT.
- E. SEED ALL SLOPES WITH A MIXTURE OF CERTIFIED KENTUCKY 31 TALL FESCUE @ 50 LBS. PER ACRE AND INOCULATED KOREAN LESPEDEZA @ 15 LBS. PER ACRE.
- F. SODDED SWALES SHALL BE KENTUCKY 31 TALL FESCUE.

SEQUENCE OF CONSTRUCTION

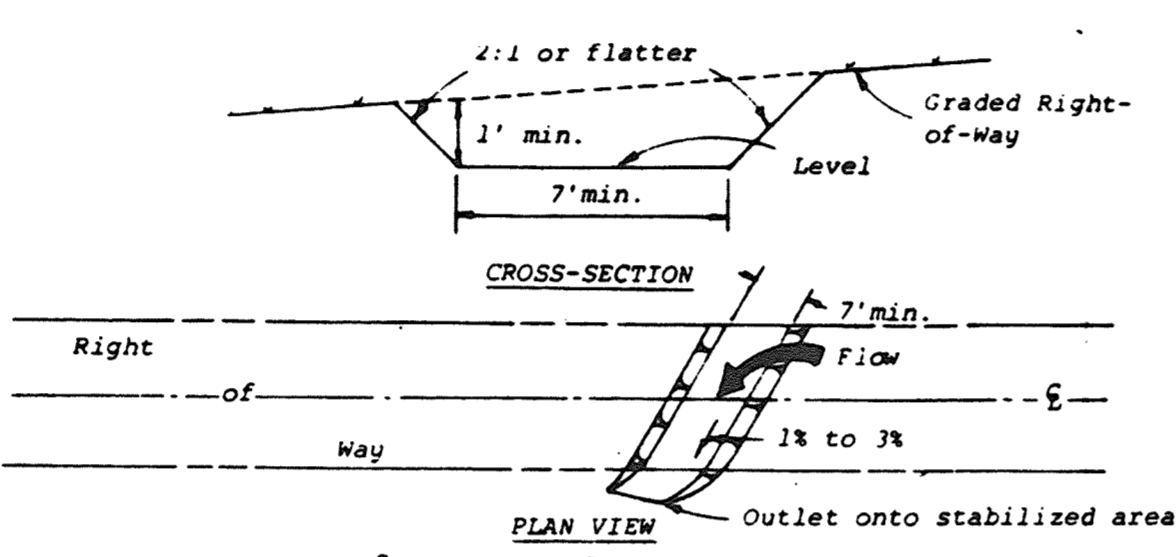
- 1. OBTAIN GRADING PERMIT.
- 2. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- 3. INSTALL SEDIMENT CONTROL POND, SEDIMENT TRAPS 1 & 2, PERIMETER DIKE AND SILT FENCE.
- 4. GRADE SITE.
- 5. INSTALL UTILITIES. UPON CONSTRUCTION OF STORM DRAIN SYSTEM, INSTALL TEMPORARY 24" BCCMP FROM I-1 INTO SEDIMENT CONTROL POND.
- 6. COMPLETE SITE WORK AND SEED DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES.
- 7. UPON APPROVAL OF THE HOWARD SOIL CONSERVATION DISTRICT, REMOVE ALL SEDIMENT CONTROL DEVICES. REMOVE THE SEDIMENT CONTROL POND AS FOLLOWS:
  - A. FLUSH OUT STORM DRAIN SYSTEM.
  - B. PUMP OUT IMPOUNDED WATER.
  - C. REMOVE TEMPORARY 24" BCCMP AND INSTALL 24" RCPP FROM I-1 TO EX. MH-7
  - D. RESTORE GRADING IN POND AS SHOWN ON SHEET 2 OF 11.
  - E. RESEED AREA AS PER PERMANENT SEEDING NOTES.



**PROFILE PIPE SPILLWAY @ SEDIMENT CONTROL POND**

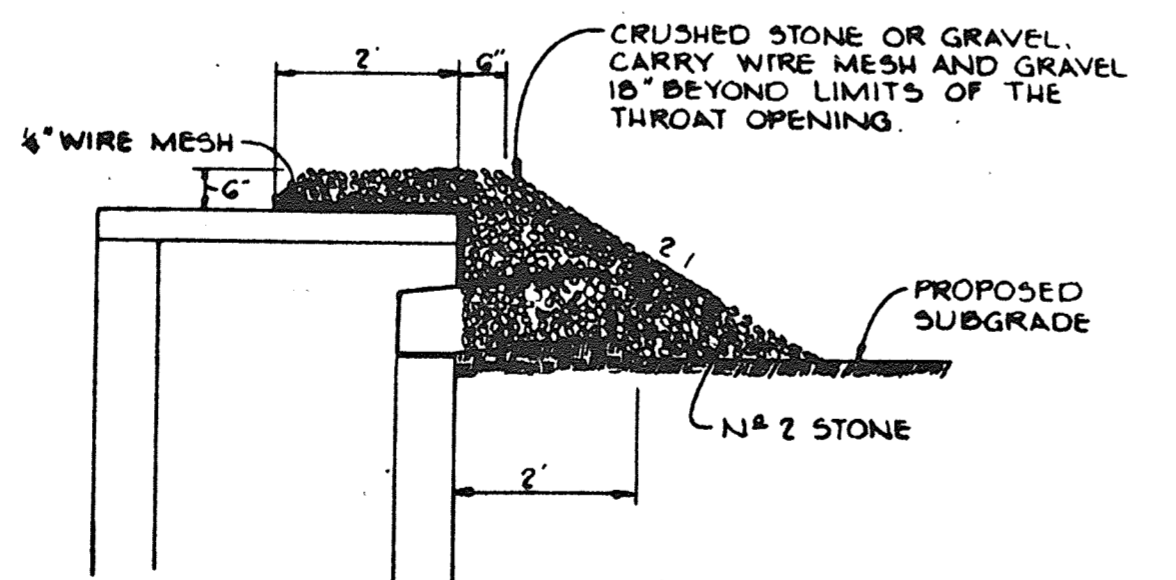


**STABILIZED CONSTRUCTION ENTRANCE**  
NO SCALE

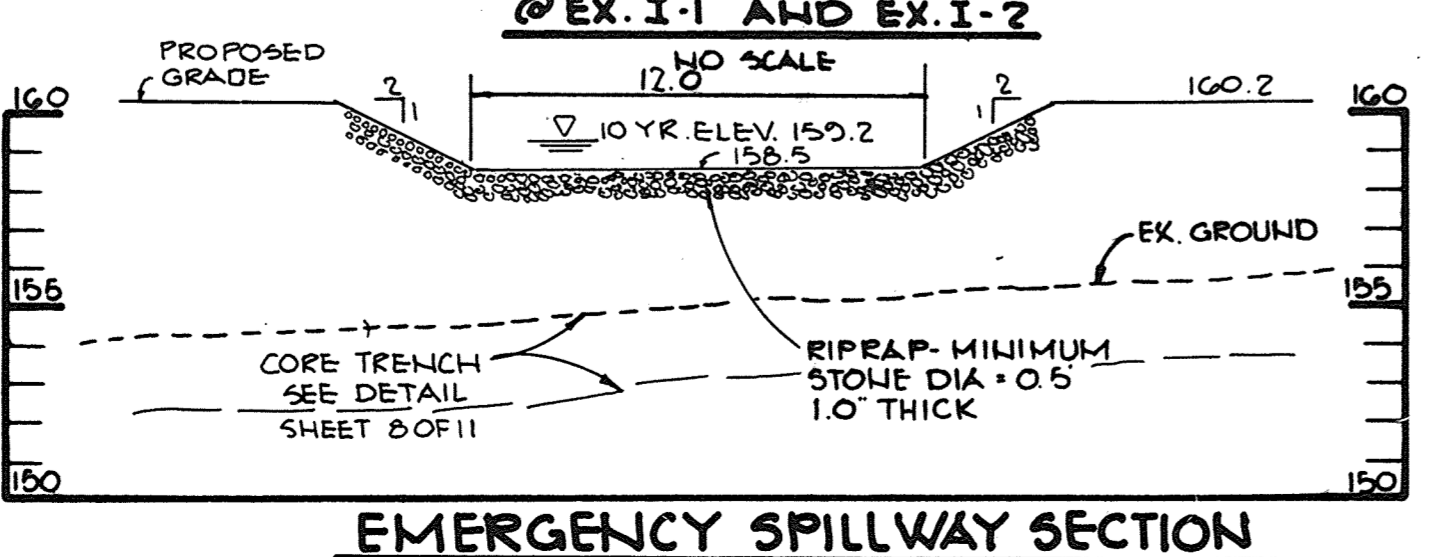


- Construction Specifications:  
1. All trees, brush, stumps, obstructions, and other objectionable material shall be removed and disposed of so as not to interfere with the proper functioning of the swale.  
2. The swale shall be excavated or shaped to line, grade, and cross section as required to meet the criteria specified herein and be free of bank projections or other irregularities which will impede normal flow.  
3. Fills shall be compacted as needed to prevent unequal settlement that would cause damage in the complete swale.  
4. All earth removed and not needed in construction shall be spread or disposed of so that it will not interfere with the functioning of the swale.  
5. Interceptor swales shall have a minimum grade of one percent and the bottom shall be level.  
6. An interceptor swale shall have an outlet that functions with a minimum of erosion.  
7. Runoff shall be conveyed to a sediment trapping device such as a sediment trap or sediment basin.  
8. The on-site location may need to be adjusted to meet field conditions in order to utilize the most suitable outlet.  
9. Stabilization shall be: (1) in accordance with the Standard and Specifications for Grassed Waterway; or (2) by lining the flow area with stone that meets MSHA size No. 2 or AASHTO M43 size No. 2 or 24 in a layer at least 3 inches in thickness and pressed into the soil. The lining shall extend across the bottom and up both sides of the channel a height of at least 8 inches vertically above the bottom.  
10. Periodic inspection and required maintenance shall be provided.

**INTERCEPTOR SWALE**  
NO SCALE



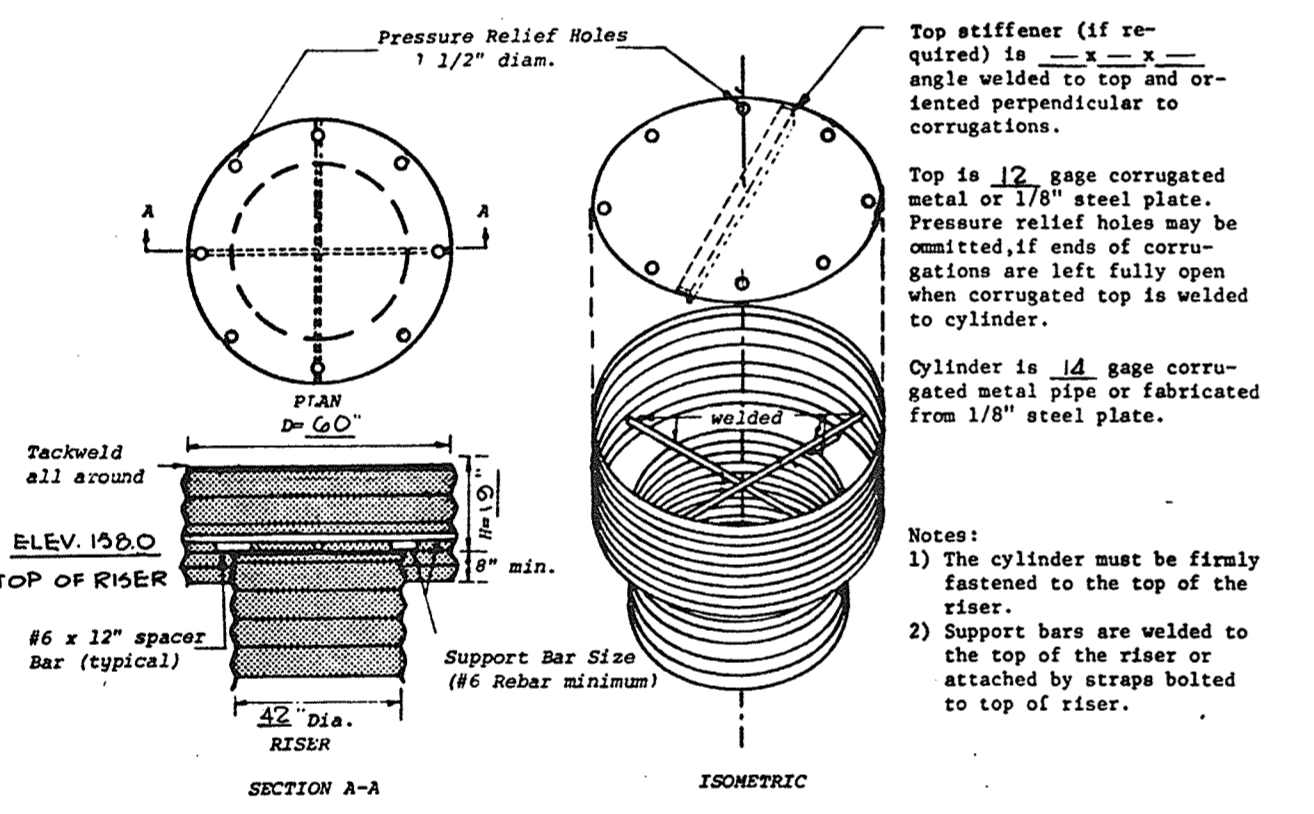
**EMERGENCY SPILLWAY SECTION**  
SCALE: 1"=5'



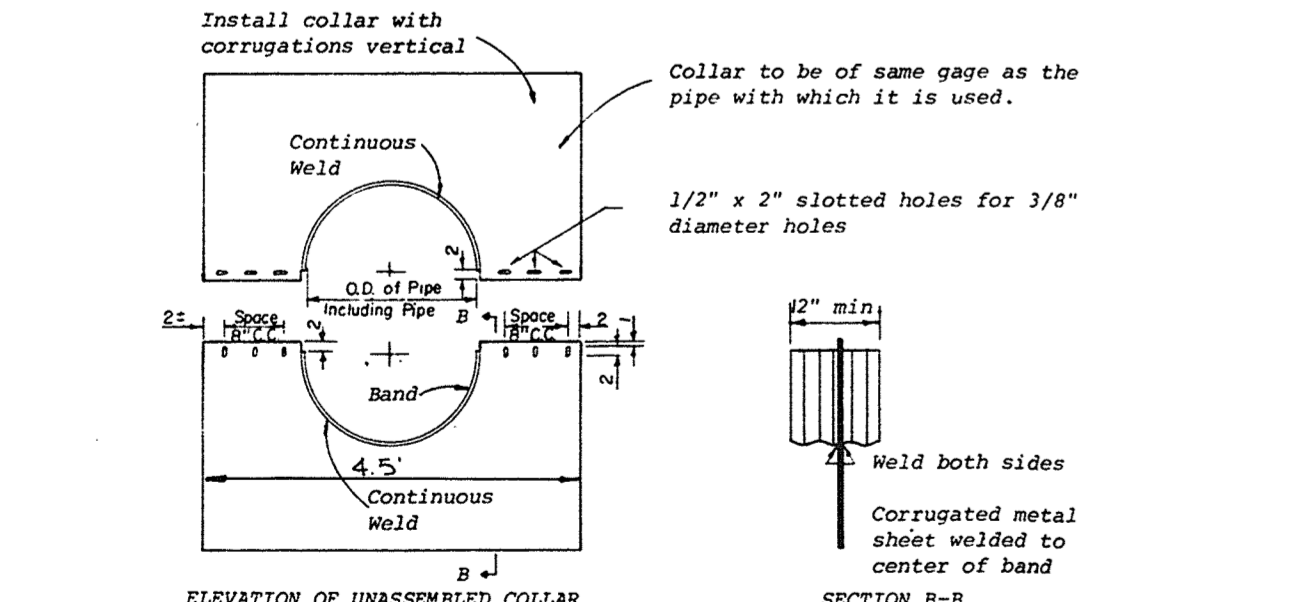
- Construction Specifications:  
1. The stone shall be crushed stone. Gravel may be used if crushed stone is not available. The stone shall meet MSHA Size No. 2 or AASHTO designation W43 Size No. 2 or 24.  
2. The crest of the stone dike shall be at least six inches lower than the lowest elevation of the top of the marsh dike and shall be level.  
3. The stone outlet structure shall be embedded into the soil a minimum of four inches.  
4. The minimum length, in feet, of the crest of the stone outlet structure shall be equal to six times the number of acres of contributing drainage area.  
5. The stone outlet structure shall be inspected after each rain, and the stone shall be replaced when the structure ceases to function as intended due to silt accumulation among the stone, washout, construction traffic damage, etc.

**STONE OUTLET STRUCTURE**  
NO SCALE

**OUTLET PROTECTION DETAIL**  
NO SCALE



**CONCENTRIC TRASH RACK AND ANTI-VORTEX DEVICE**  
NO SCALE



- NOTES FOR COLLARS:  
1. All materials to be in accordance with construction and construction material specifications.  
2. When specified on the plans, coating of collars shall be in accordance with construction and construction material specifications.  
3. Unassembled collars shall be marked by painting or tagging to identify matching pairs.  
4. The gap between the two half sections and between the pipe and connecting band shall be caulked with asphalt mastic at time of installation.  
5. Each collar shall be furnished with two 1/2" diameter rods with standard tank lugs for connecting collars to pipe.

**ANTI-SEEP COLLAR**  
NO SCALE

BY THE DEVELOPER:  
I, Brook R. Palmer 8/29/83  
DEVELOPER: DATE

BY THE ENGINEER:  
Arthur E. Neugebauer 8/15/83  
ENGINEER: DATE

REVIEWED FOR Howard S.C.O.  
NAME AND MEETS TECHNICAL REQUIREMENTS  
M.M.H. S. M.H. 2-7-84  
U.S. SOIL CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT  
D. J. Rame 2-7-84  
HOWARD S.C.O. DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.  
Joyce M. Boyd 2-14-84  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
Thomas J. Amis 2-15-84  
PLANNING DIRECTOR DATE  
Abraham M. Murchison 2-15-84  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
Clayton F. Neugebauer 2-10-84  
DIRECTOR DATE

Michael J. Rame 2-2-84  
CHIEF, BUREAU OF ENGINEERING DATE

DATE	NO	REVISION

OWNER/DEVELOPER  
CAPITAL HOMES, INC.  
T/A MARBLE HILL JOINT VENTURE  
6722 WASHINGTON BLVD  
ELKRIIDGE MARYLAND

PROJECT  
**MARBLE HILL PHASE TWO**

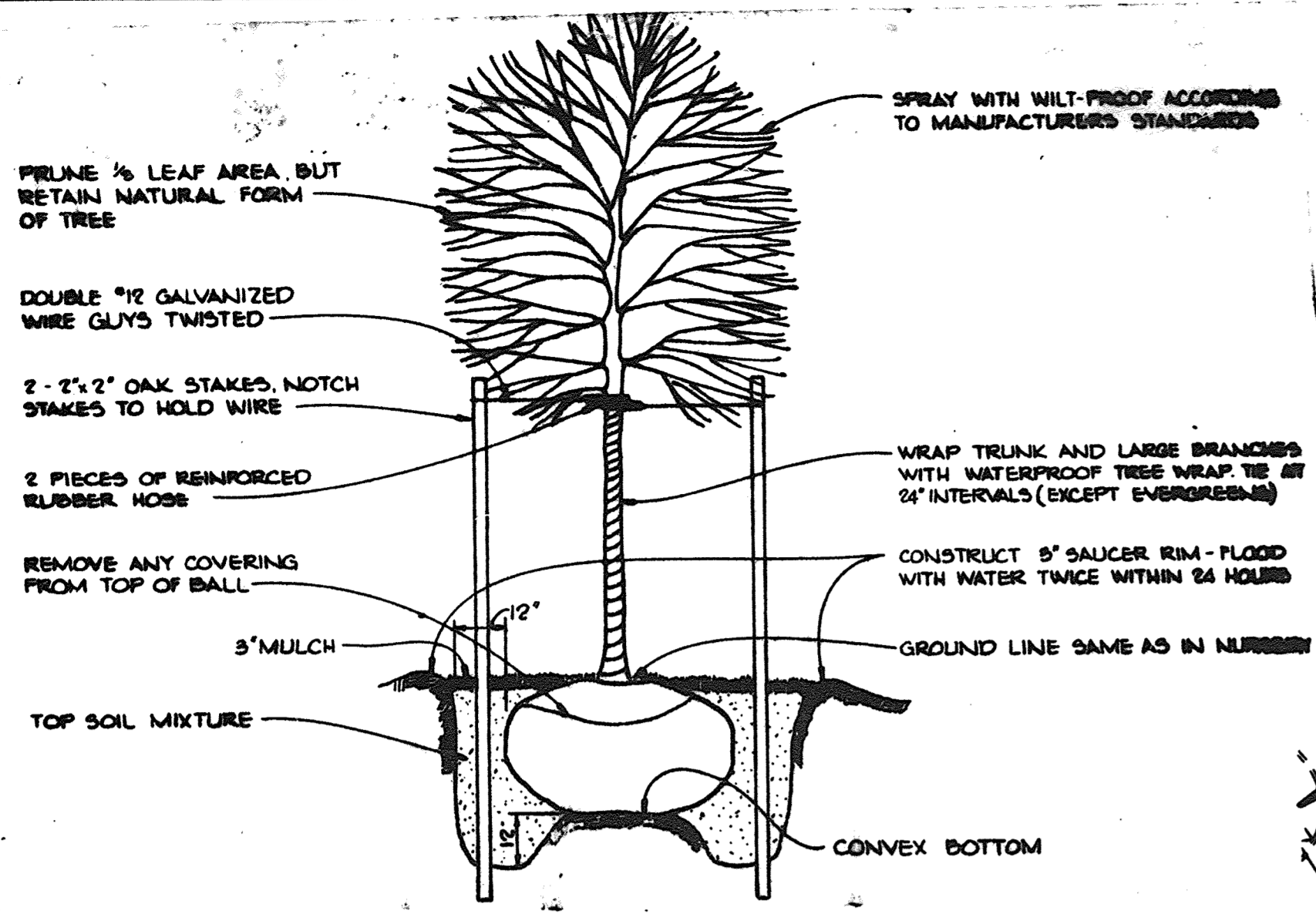
AREA RECORD PLAT RECORDING REF NO'S 38996 39000 TAX MAP NO'S 37438  
PARCEL 'A'  
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE  
SEDIMENT CONTROL DETAILS

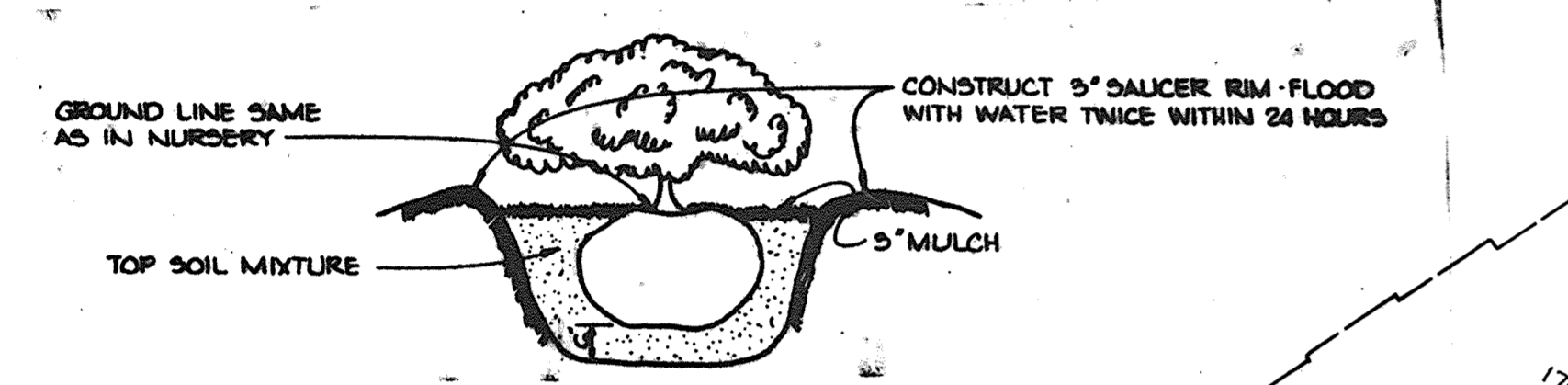
APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 10-3-83  
M. J. Rame

THE RIEMER GROUP, INC.  
The Riemer Group, Inc. - A Land Planning, Design & Civil Engineering Firm  
8659 Baltimore National Pike, Ellicott City, Maryland, 21043 301-461-2690

2-2-84  
DATE  
DESIGNED BY: V.L.S.  
DRAWN BY: D.A.M.  
PROJECT NO: 000900  
DATE: AUGUST 15, 1983  
SCALE: AS SHOWN  
DRAWING NO. 12 OF 14



**TREE PLANTING DETAIL**  
NO SCALE



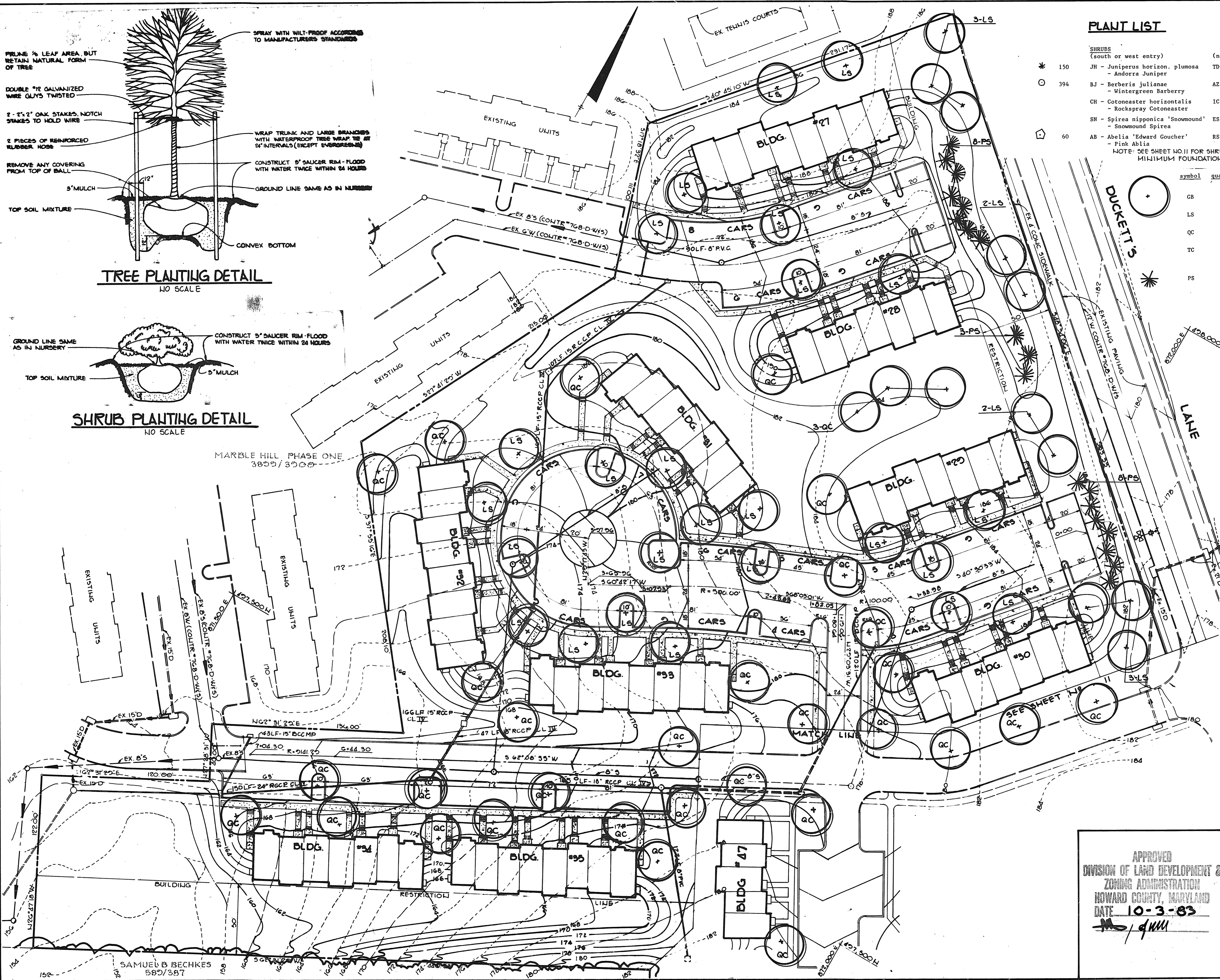
**SHRUB PLANTING DETAIL**  
NO SCALE

**PLANT LIST**

SHRUBS (south or west entry)	(north or east entry)	size	remarks
* 150 JH - Juniperus horizon. plumosa - Andorra Juniper	TD - Taxus densiformis - Dense Yew	18"-24" SPD.	con.
394 BJ - Berberis julianae - Wintergreen Barberry	AZ - Azalea - Hersey Red or Delaware White		
CH - Cotoneaster horizontalis - Rockspray Cotoneaster	IC - Ilex crenata compacta - Compact Japanese Holly		
SN - Spirea nipponica 'Snowmound' - Snowmound Spirea	ES - Euonymus pat. sieboldiana - Evergreen Euonymus		
60 AB - Abelia 'Edward Goucher' - Fink Abelia	RS - Rhododendron catawbiense album - White Rhododendron	30"-36" ht.	B&B

NOTE: SEE SHEET NO. 11 FOR SHRUB PLANTING.  
MINIMUM FOUNDATION PLANTING 15 FOUR SHRUBS PER UNIT.

symbol	quantity	name	size	remarks
<b>SHADE TREES</b>				
GB	30	Ginkgo biloba - Maidenhair Tree	2 1/2"-3" cal. 12'-14" ht.	Male only
LS	38	Liquidambar styraciflua - Sweetgum		B&B Full Head
QC	47	Quercus coccinea - Scarlet Oak		
TC	36	Tilia cordata 'Greenspire' - Greenspire Linden		
<b>EVERGREEN TREES</b>				
PS	19	Pinus strobus - Eastern White Pine	6'-8' ht.	Unsheared B&B



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.  
*J. J. [Signature]* 2-14-84  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
*[Signature]* 2-15-84  
PLANNING DIRECTOR DATE  
*[Signature]* 2-15-84  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*[Signature]* 2-10-84  
DIRECTOR DATE  
*[Signature]* 2-9-84  
CHIEF, BUREAU OF ENGINEERING DATE

DATE	NO.	REVISION

OWNER/DEVELOPER: CAPITAL HOMES, INC.  
T/A MARBLE HILL JOINT VENTURE  
G722 WASHINGTON BLVD.  
ELKRIDGE MARYLAND

PROJECT: **MARBLE HILL PHASE TWO**

AREA RECORD PLAT RECORDING REF LRS 3859 & 3900  
TAX MAP LRS 3715B  
PARCEL 'A'

1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

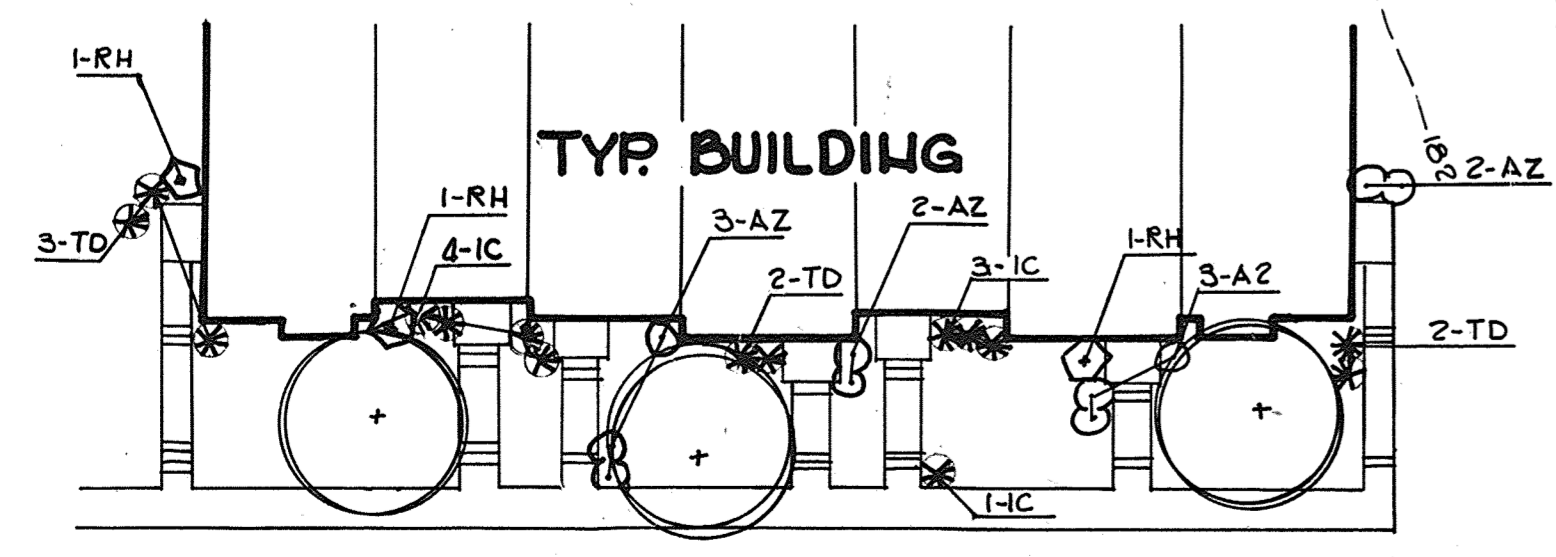
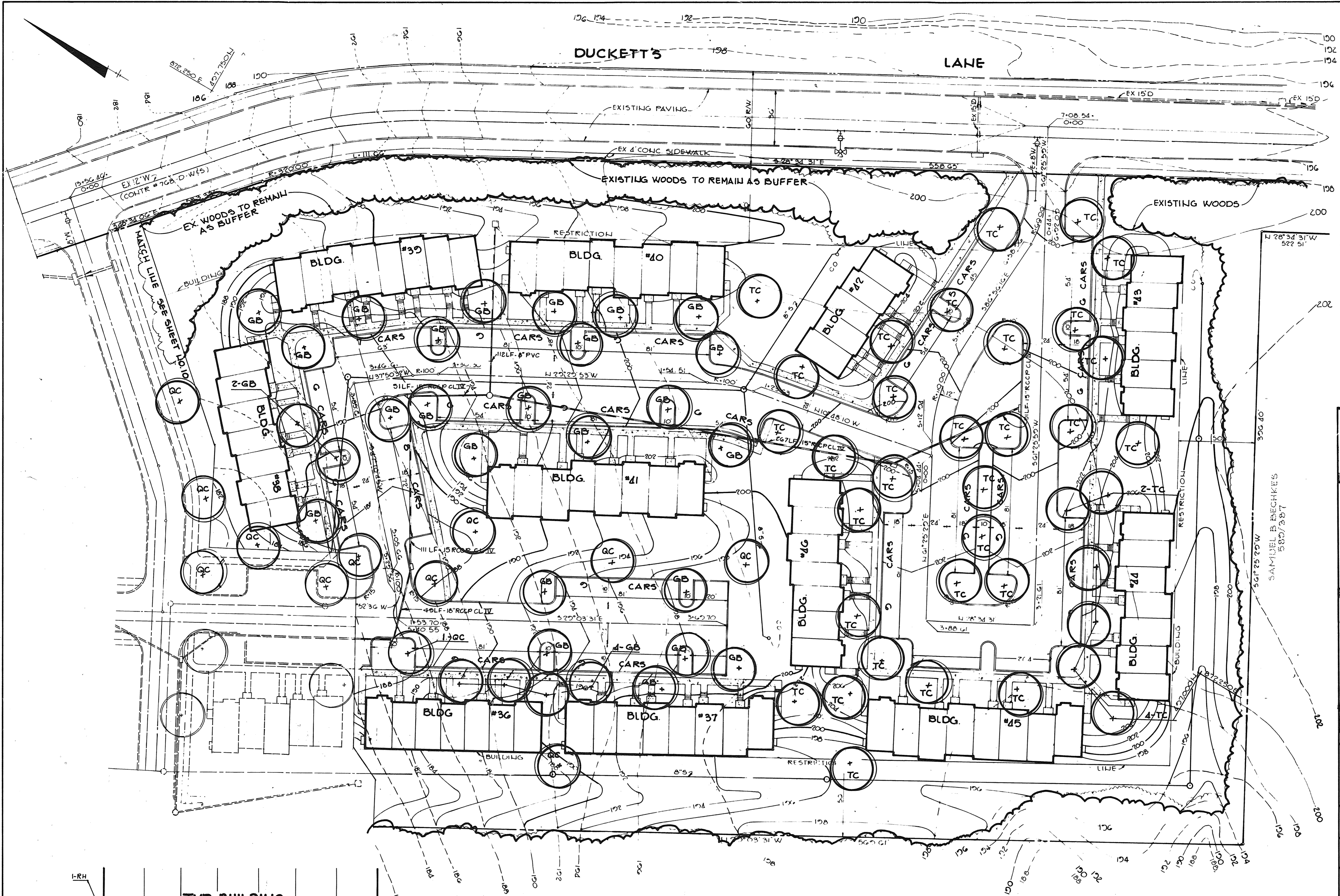
TITLE: **PLANTING PLAN**

APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 10-3-83  
*[Signature]*

**THE RIEMER GROUP, INC.**  
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
8659 Baltimore National Pike, Ellicott City, Maryland, 21043 301 461-2690

8-15-83 DATE  
DESIGNED BY: M.E.M.  
DRAWN BY: D.A.M.  
PROJECT NO: 000900  
DATE: AUGUST 15, 1983  
SCALE: 1"=50'  
DRAWING NO. 10 OF 14

Melanie Moser



**TYPICAL SHRUB PLANTING**  
SCALE: 1" = 20'-0"

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.  
*John R. Byrnes* 2-14-84  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.  
*Thomas J. Hamid* 2-15-84  
PLANNING DIRECTOR DATE  
*John W. Muschler* 2-15-84  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*John E. Vandy* 2-10-84  
DIRECTOR DATE  
*William R. Ray* 2-9-84  
CHIEF, BUREAU OF ENGINEERING DATE

DATE	NO.	REVISION
OWNER/DEVELOPER CAPITAL HOMES, INC T/A MARBLE HILL JOINT VENTURE 6722 WASHINGTON BLVD ELKRIDGE, MARYLAND		
PROJECT <b>MARBLE HILL PHASE TWO</b>		
AREA RECORD PLAT RECORDING REF LRS 3800/3000 TAX MAP LRS 37F38 PARCEL 3A		
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND		
TITLE <b>PLANTING PLAN</b>		

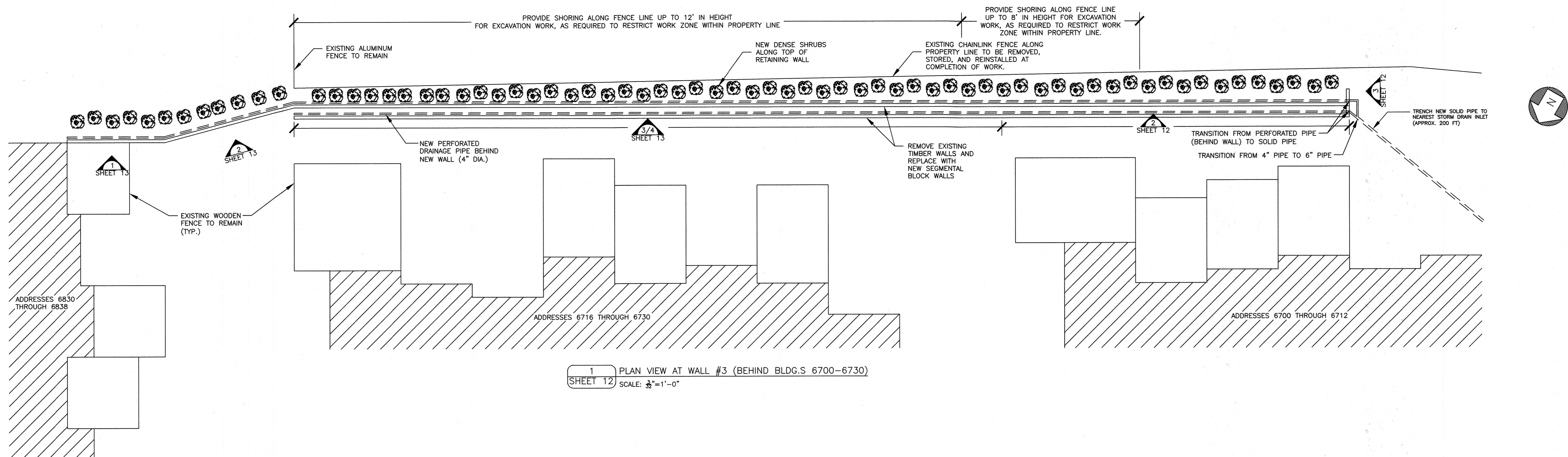
APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 10-3-83  
*MJM*

**THE RIEMER GROUP, INC.**  
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm  
8659 Baltimore National Pike, Ellicott City, Maryland, 21043 301-461-2699

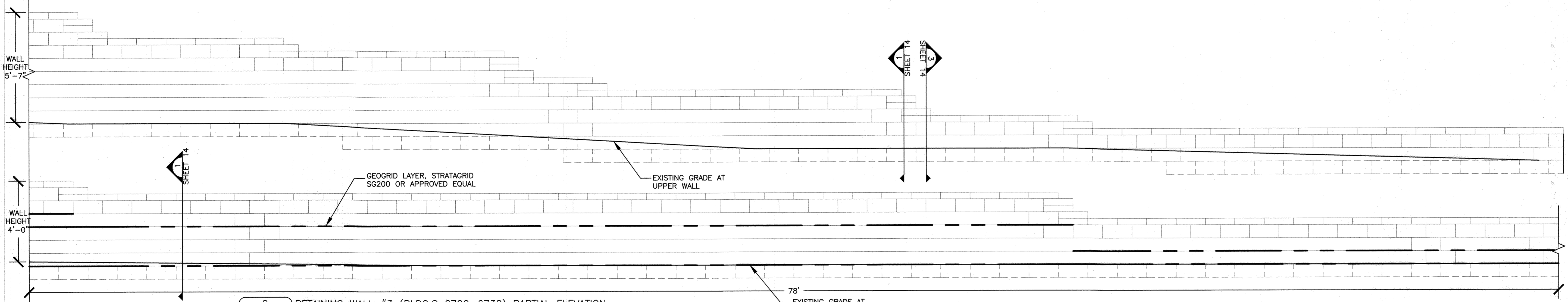
DATE 10-15-83

DESIGNED BY: MEM  
DRAWN BY: D.A.M.  
PROJECT NO: 000900  
DATE: AUGUST 15, 1983  
SCALE: 1" = 30'  
DRAWING NO. 11 OF 14

*Melanie Moser*

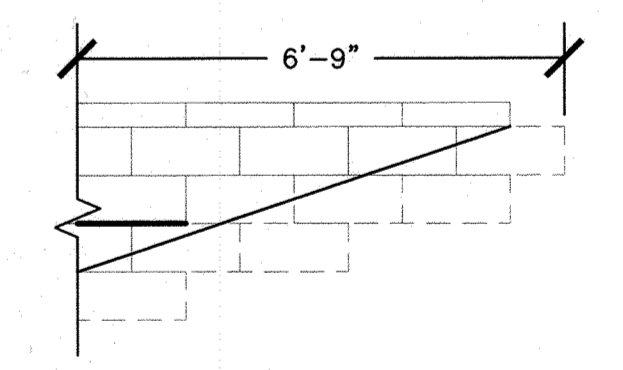


1 PLAN VIEW AT WALL #3 (BEHIND BLDG.S 6700-6730)  
SHEET 12 SCALE: 3/8" = 1'-0"

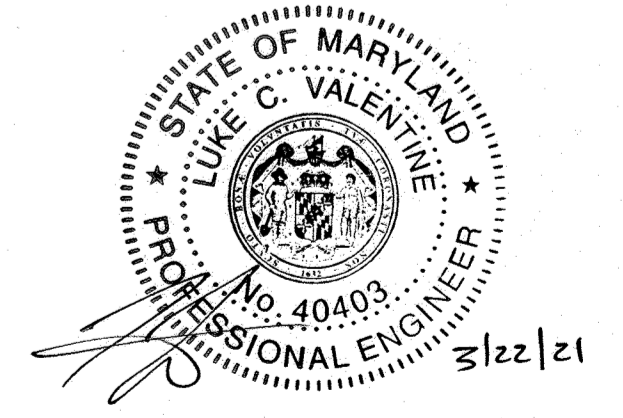


2 RETAINING WALL #3 (BLDG.S 6700-6730) PARTIAL ELEVATION  
SHEET 12 SCALE: 3/8" = 1'-0"

NOTES:  
1. EXISTING FENCE AND DENSE SHRUBS ALONG TOP OF WALL NOT SHOWN FOR CLARITY.



3 RETAINING WALL #3 (BLDG.S 6700-6730) PARTIAL ELEVATION  
SHEET 12 SCALE: 3/8" = 1'-0"



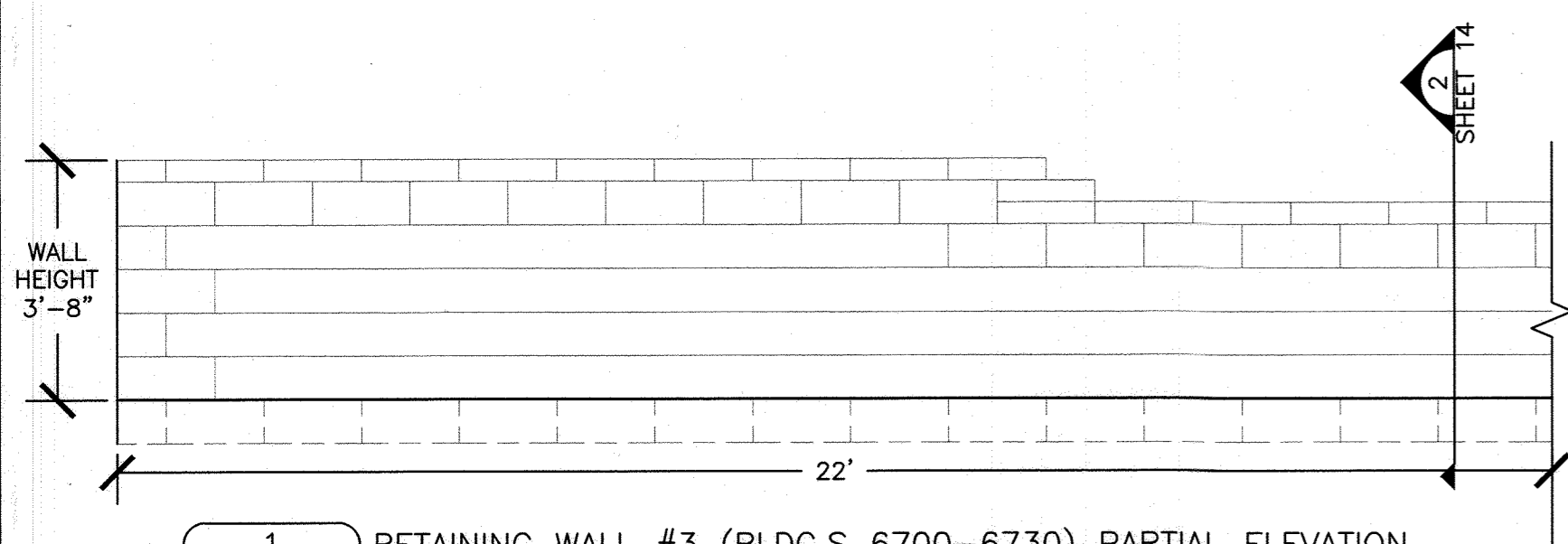
REV	DATE	NOTES
1	3-29-21	
2		
3	4-7-21	
4	4-7-21	
5		



MARBLE HILL CONDOMINIUM  
DUCKETTS LANE  
ELKRIDGE, MARYLAND 21075

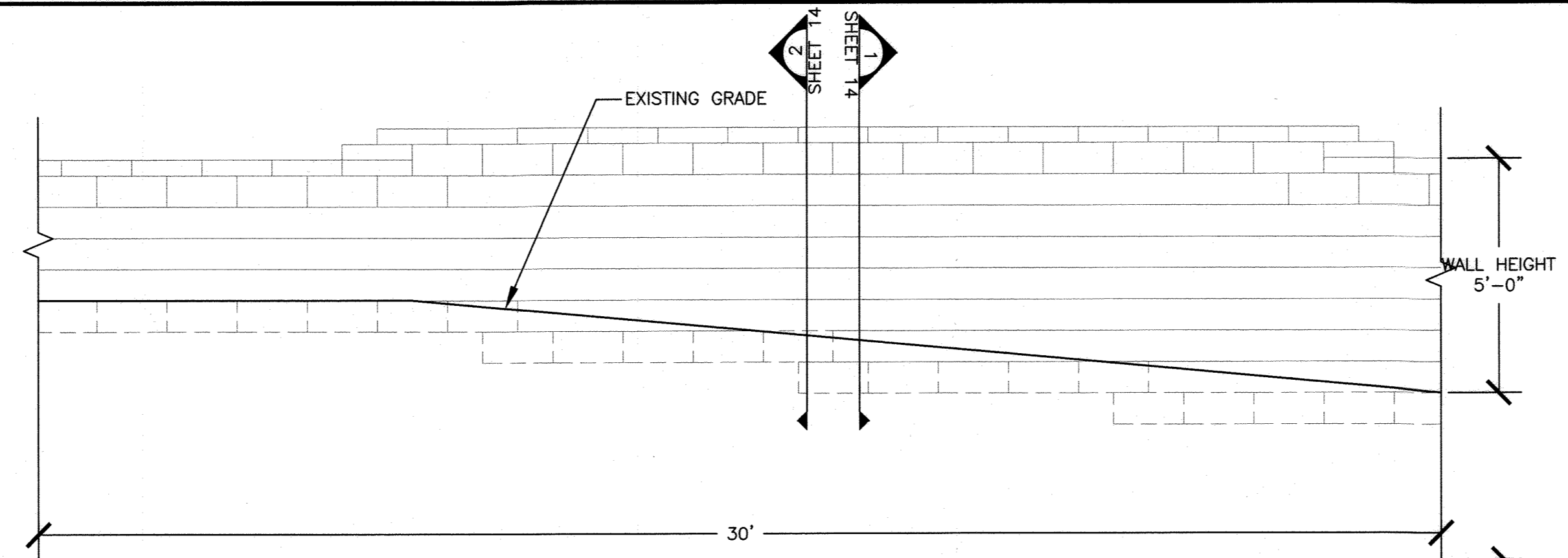
SDP 84-47

SCALE: AS NOTED PROJECT NO: M9-3923 DATE: 2/2/2021  
APPROVED BY: LUKE C. VALENTINE, P.E. DRAWING NUMBER  
DRAWN BY: SLP SHEET 12 OF 14



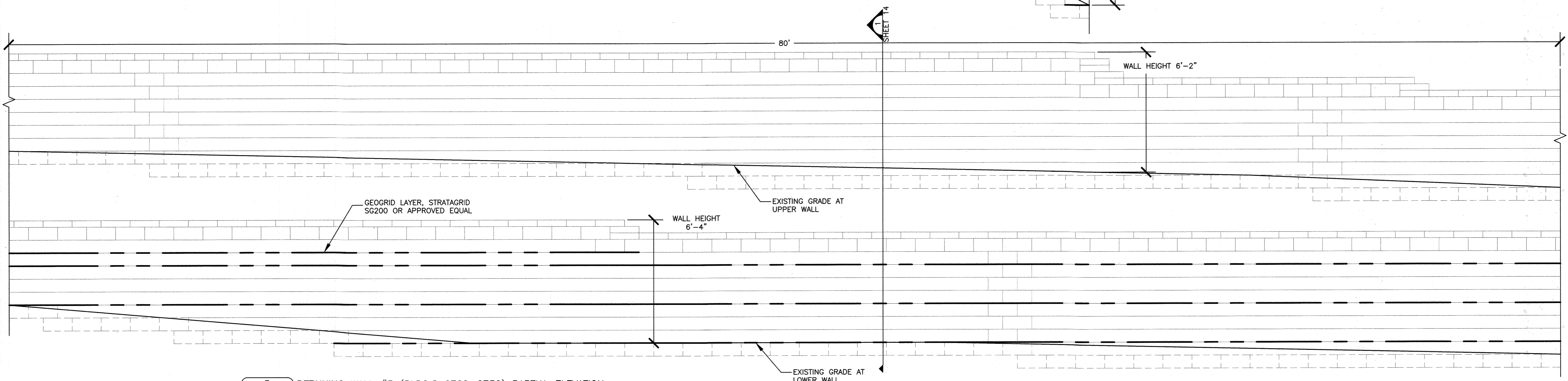
1 RETAINING WALL #3 (BLDG.S 6700-6730) PARTIAL ELEVATION  
SHEET 13 SCALE: 3/8" = 1'-0"

NOTES:  
1. EXISTING FENCE AND DENSE SHRUBS ALONG TOP OF WALL NOT SHOWN FOR CLARITY.



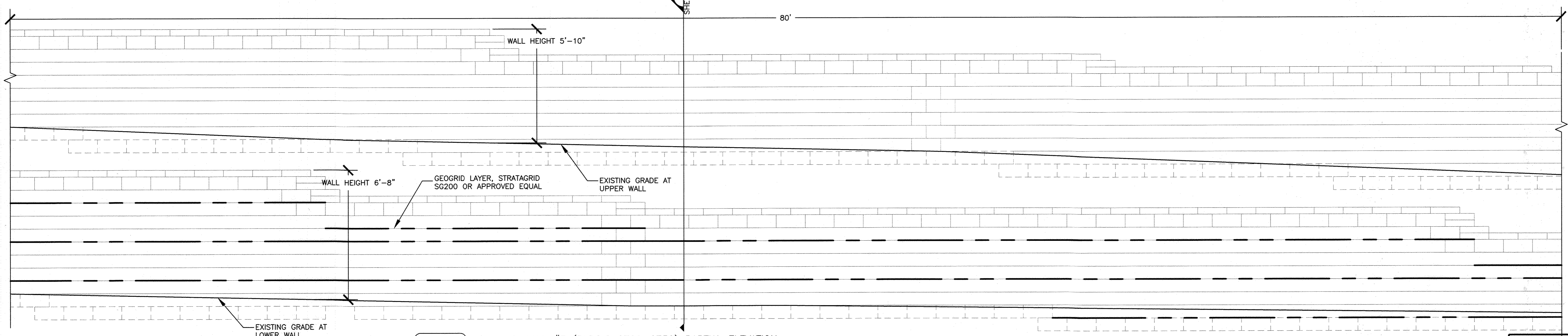
2 RETAINING WALL #3 (BLDG.S 6700-6730) PARTIAL ELEVATION  
SHEET 13 SCALE: 3/8" = 1'-0"

NOTES:  
1. EXISTING FENCE AND DENSE SHRUBS ALONG TOP OF WALL NOT SHOWN FOR CLARITY.



3 RETAINING WALL #3 (BLDG.S 6700-6730) PARTIAL ELEVATION  
SHEET 13 SCALE: 3/8" = 1'-0"

NOTES:  
1. EXISTING FENCE AND DENSE SHRUBS ALONG TOP OF WALL NOT SHOWN FOR CLARITY.



4 RETAINING WALL #3 (BLDG.S 6700-6730) PARTIAL ELEVATION  
SHEET 13 SCALE: 3/8" = 1'-0"

NOTES:  
1. EXISTING FENCE AND DENSE SHRUBS ALONG TOP OF WALL NOT SHOWN FOR CLARITY.

REV	DATE	NOTES
1	3-29-21	
2		
3	4/7/21	
4	4/7/21	
5		

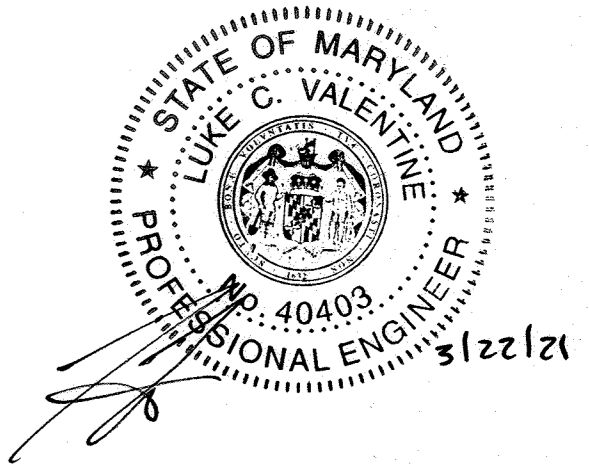
APPROVED HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DIRECTOR

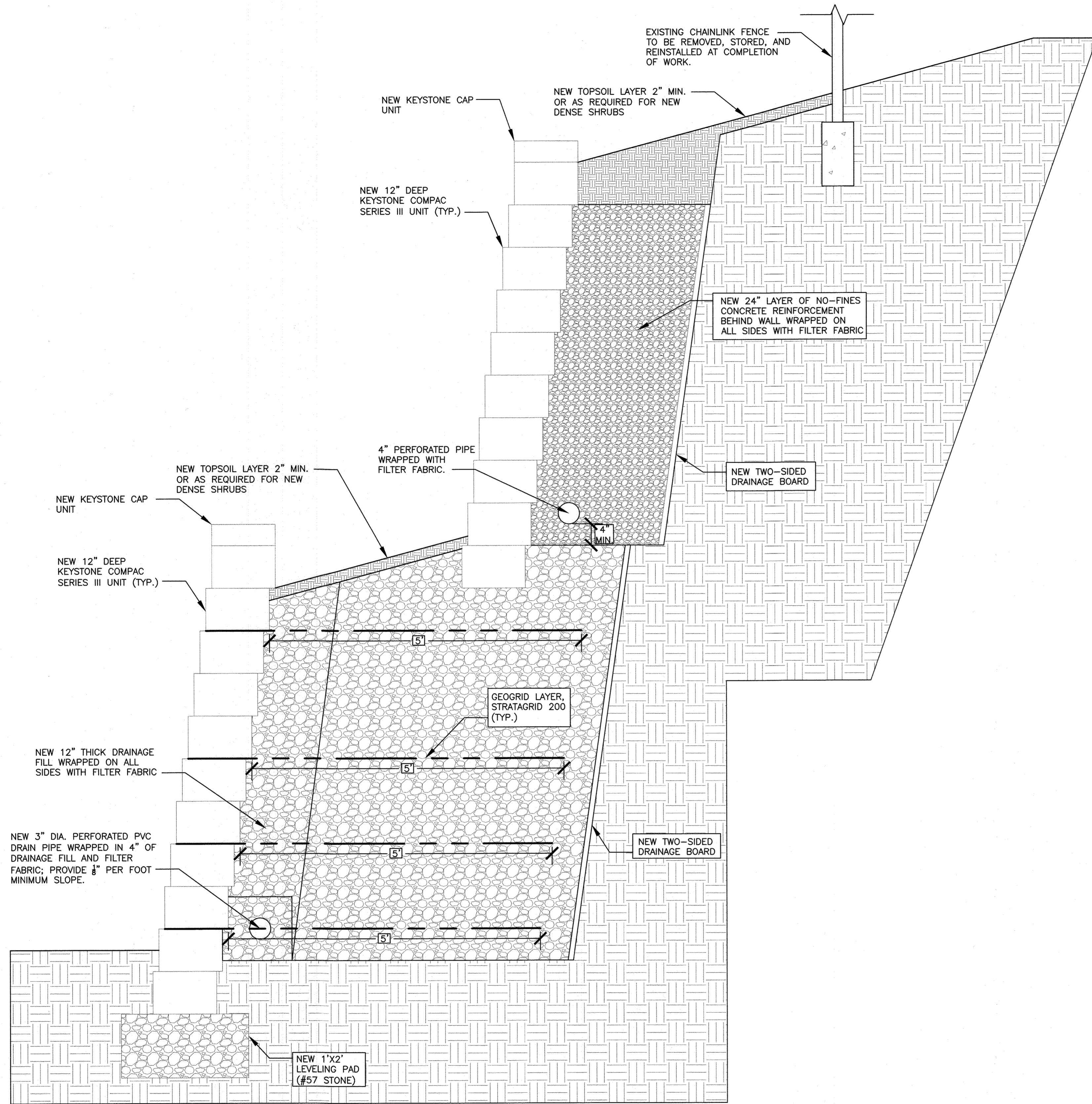


MARBLE HILL CONDOMINIUM  
DUCKETTS LANE  
ELKBRIDGE, MARYLAND 21075

SDP 84-47

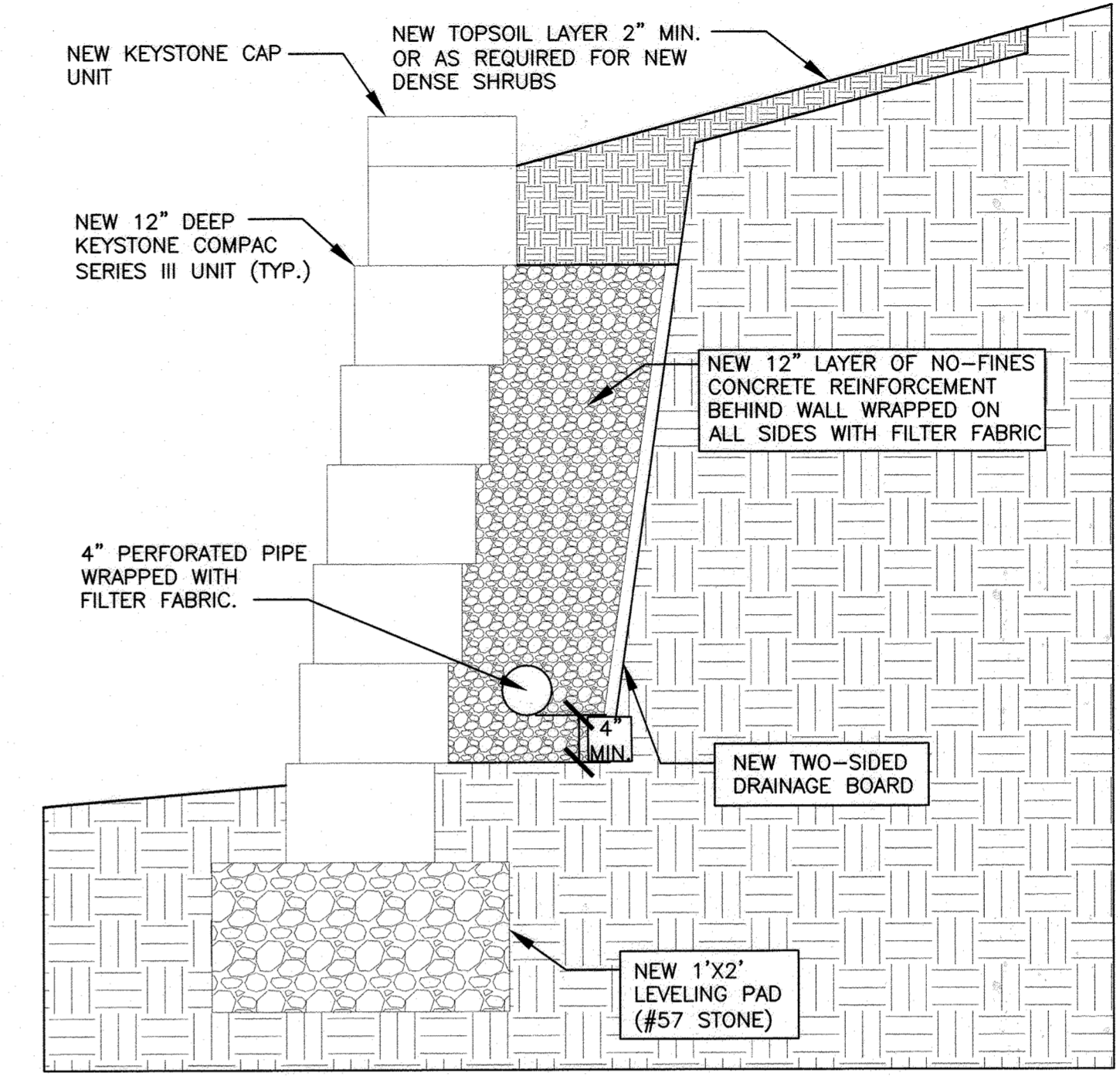
SCALE: AS NOTED PROJECT NO: M9-3923 DATE: 2/2/2021  
APPROVED BY: LUKE C. VALENTINE, P.E. DRAWING NUMBER  
DRAWN BY: SLP SHEET 13 OF 14





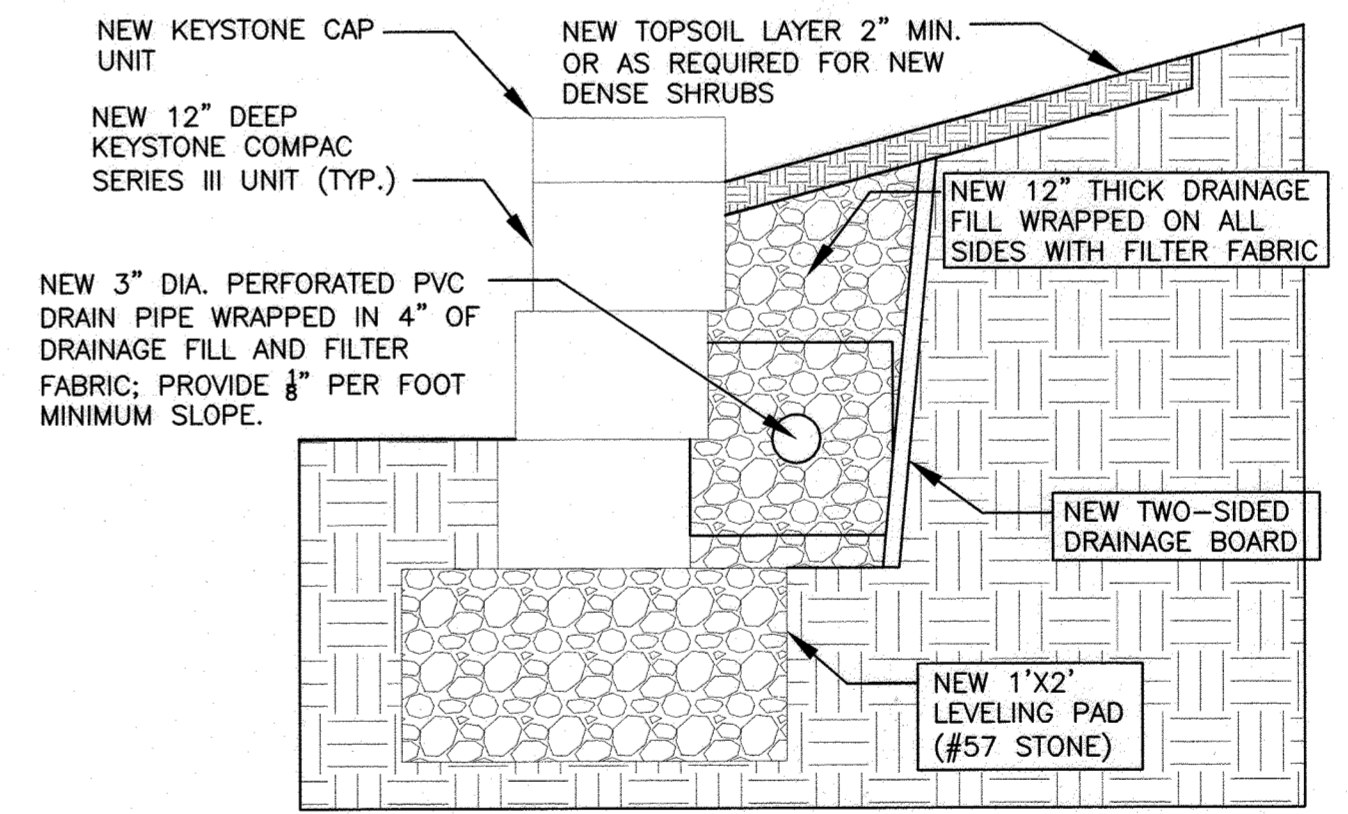
1 TYPICAL LOWER WALL SECTION AT WALL #3 (BEHIND BLDG.S 6700-6730)  
SHEET 14 - GEOGRID REINFORCEMENT  
SCALE: 1" = 1'-0"

- NOTES:  
1. UPPER WALL NOT SHOWN FOR CLARITY.  
2. REINFORCEMENT LAYERS SHOWN ARE NOT REPRESENTATIVE OF ENTIRE LENGTH OF WALL. SEE ELEVATIONS FOR LOCATIONS OF REINFORCEMENT LAYERS ALONG WALL.



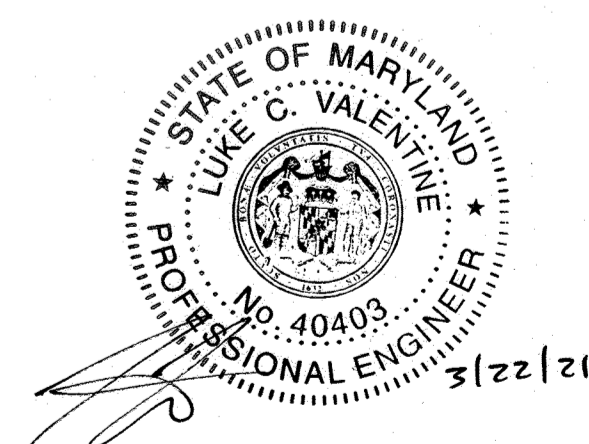
2 PARTIAL UPPER WALL SECTION AT WALL #3 (BEHIND BLDG.S 6700-6730)  
SHEET 14 - NO FINES CONCRETE  
SCALE: 1" = 1'-0"

- NOTES:  
1. NEW DENSE SHRUBS ALONG TOP OF WALL NOT SHOWN FOR CLARITY.



3 TYPICAL UNREINFORCED WALL SECTION AT WALL #3  
SHEET 14 SCALE: 1" = 1'-0"

- NOTES:  
1. HEIGHT OF EXCAVATION NOT TO EXCEED 5'-0" AT ANY TIME.  
2. NEW DENSE SHRUBS ALONG TOP OF WALL NOT SHOWN FOR CLARITY.  
3. EXISTING SIDEWALK ALONG BASE OF WALL (NOT SHOWN) TO REMAIN WHERE PRESENT.



REV	DATE	NOTES
1	3-29-21	
2	4/7/21	
3	4-7-21	
4		
5		



MARBLE HILL CONDOMINIUM  
DUCKETTS LANE  
ELKRIDGE, MARYLAND 21075

SDP 84-47

SCALE: AS NOTED PROJECT NO: M9-3923 DATE: 2/2/2021  
APPROVED BY: LUKE C. VALENTINE, P.E. DRAWING NUMBER  
DRAWN BY: SLP SHEET 14 OF 14