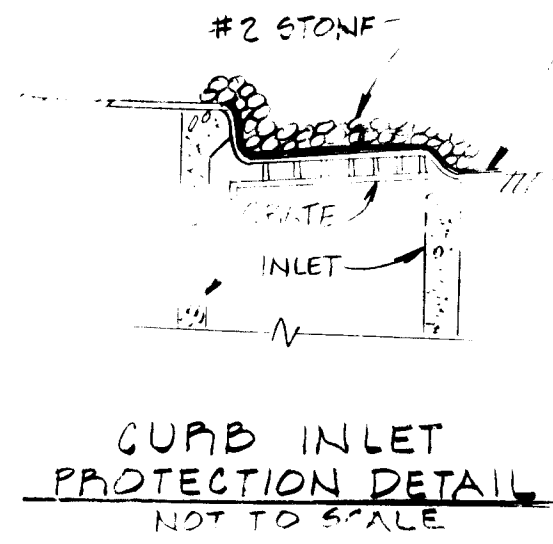
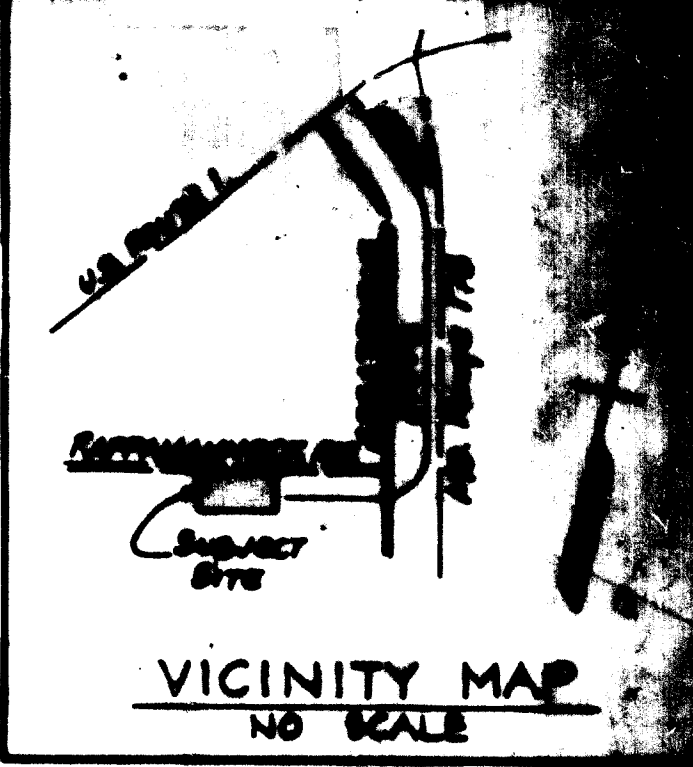


- ### SEQUENCE OF OPERATIONS
1. NOTIFY SEDIMENT CONTROL DIVISION 48 HOURS PRIOR TO START OF OPERATION.
 2. CLEAR AND GRUB FOR SEDIMENT CONTROL MEASURES ONLY.
 3. GRADE FOR SEDIMENT CONTROL MEASURES IN DESIGNATED AREAS.
 4. INSTALL SEDIMENT CONTROL MEASURES.
 5. PERFORM LIMITED GRADING FOR INSTALLATION AND STABILIZATION OF SOD DITCHES UTILITIES AND ROADS.
 6. CLEAR AND GRUB SITE TO LIMITS OF DISTURBANCE ONLY.



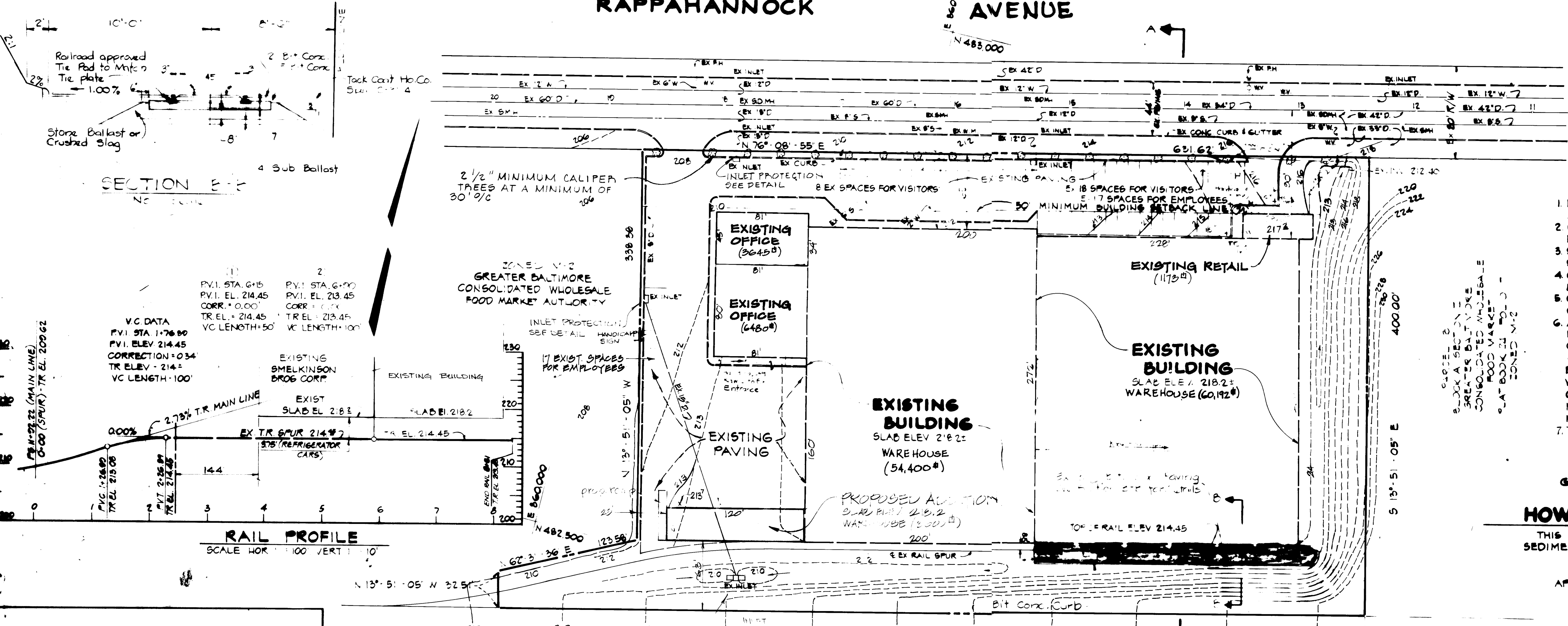
ADDITIONAL SITE DATA
 EX. ...
 PRO. ...



SECTION "AA"
 SCALE HORIZ: 1" = 50' VERT: 1" = 5'

PARCEL A
 BLOCK 'A' SECT. I
 GREATER BALTIMORE
 CONSOLIDATED WHOLESALE
 FOOD MARKET
 PLAT BOOK 22, POLIO 2
 ZONED M-2

RAPPAHANNOCK AVENUE



SITE DATA

TOTAL AREA OF TRACT 880 AC. ±
 EXISTING ZONING M-2
 TOTAL FLOOR AREA EXIST 129,090 SQ. FT. PROP. 3600 SQ. FT. 129,450
 TAX MAP NO. 45
 TOTAL PARKING SPACES PROVIDED 45
 CUSTOMER & VISITOR PARKING 30
 EMPLOYEE PARKING @ 2 EMPLOYEES PER SPACE 94
 TOTAL RETAIL AREA 1175 SQ. FT.
 ADT
 PEAK HOURS 6:00 AM TO 6:00 PM
 EMPLOYEES 70 TRIPS
 TRUCKS 40 TRIPS
 SITE COVERAGE (BLDG. & PAVING) 75%
 OPEN SPACE REMAINING 21% OF 880 AC. = 185 AC. ±
 TOTAL FLOOR AREA OF 129,450 SQ. FT. BROKEN AS FOLLOWS:
 OFFICE = 10,125 SQ. FT.; RETAIL = 1175; WAREHOUSE = 118,150
 MAXIMUM NO. OF EMPLOYEES PER SHIFT = 60 - 17 office, 51 warehouse
 M = HANDICAPPED SPACES

GENERAL NOTES

1. EXISTING GRADES SHOWN ARE BASED ON PLAN ELEVATIONS AND NOT FIELD RUN DATA.
2. CONTRACTOR TO CONSTRUCT PROPOSED SLAB AT SAME ELEVATION AS EXISTING BUILDING SLAB.
3. STORM DRAIN SYSTEM & DRAINAGE AREAS ARE THE SAME AS SHOWN ON THE PREVIOUSLY APPROVED SITE DEVELOPMENT PLAN.
4. CONTRACTOR TO NOTIFY THE HOWARD SOIL CONSERVATION DISTRICT OFFICE (466-5180) 24 HOURS BEFORE STARTING WORK.
5. CONTRACTOR TO INSTALL STRAW BALE MATS AS SHOWN ON PLAN BEFORE GENERAL GRADING IS BEGUN (SEE DETAIL).
6. ALL DISTURBED AREAS NOT TO BE PAVED SHALL BE STABILIZED AS FOLLOWS: USE A SEED MIXTURE OF ITALIAN FESCUE AT THE RATE OF 35#/AC., GROUND LIMESTONE TO BE APPLIED AT THE RATE OF 5#/AC. & COMMERCIAL FERTILIZER (5-10-10) @ THE RATE OF 15#/AC. SOIL SHOULD BE UNWEATHERED, UNCHOPPED SMALL GRAIN (RYE, BARLEY, WHEAT) @ THE RATE OF 10 T./AC. & SHOULD BE APPLIED OVER ENTIRE AREA. MULCH TO BE APPLIED AT THE RATE OF 2 T./AC. RC-280, OR RC-800 @ THE RATE OF 0.5 T./AC. MULCH TIE DOWN USING LIQUID ASH @ THE RATE OF 1 T./AC. RC-280, OR RC-800 @ THE RATE OF 0.5 T./AC.
7. THE PROPOSED ADDITION IS A LEASE BUILDING WITH NO NEW EMPLOYEES GENERATED.

GRADING & SEDIMENT CONTROL PERMITS REQUIRED
 SERIAL NO. 4-282
HOWARD SOIL CONSERVATION DISTRICT
 THIS DEVELOPMENT PLAN IS APPROVED FOR CONSTRUCTION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *W. J. Paine*
 HOWARD SOIL CONSERVATION DISTRICT DATE 12-27-83

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD CO HEALTH DEPT.
J. M. Ford 12-6-83
 COUNTY HEALTH OFFICER DATE

APPROVED HOWARD CO OFFICE OF PLANNING AND ZONING
John H. Harris 12-8-83
 PLANNING DIRECTOR DATE
John H. Harris 12-7-83
 CHIEF DIV. OF LAND DEVEL. & ZONING ADM. DATE

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS, AND PUBLIC ROADS, HOWARD CO DEPT. OF PUBLIC WORKS.
John H. Harris 12-1-83
 DIRECTOR DATE
John H. Harris 12-7-83
 CHIEF, BUREAU OF ENGINEERING, DATE

SUBDIVISION	GREATER CO.	PLAT	2455
WATER CO.			
LOT NO.			
PARCEL			

ENGINEERS CERTIFICATION

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John H. Harris 11-1-83
 ENGINEER DATE

DEVELOPERS CERTIFICATION

I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL. I ALSO AUTHORIZE PERIODIC ONSITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY.

John H. Harris 11-1-83
 DEVELOPER DATE

PARCEL 'C'
 BLOCK 'A', SECT. II
 GREATER BALTIMORE
 CONSOLIDATED WHOLESALE
 FOOD MARKET
 PLAT BOOK 24, POLIO 17
 ZONED M-2

REVIEWED FOR *Heward*
 NAME AND MEETS TECHNICAL REQUIREMENTS
John H. Harris 11-27-83
 SIGNATURE U.S. SOIL CONSERVATION DISTRICT DATE
 DISTURBED AREA NONE

BUILDING ADDITION TO SDP 73-84
 SDP 75-100 SDP 80-103
SMELKINSON BROTHERS CORP.
 GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET
 PARCEL 'D', BLOCK 'A', SECT. I
 HOWARD COUNTY MARYLAND
 SCALE: 1" = 50'

ENGINEER
 D.S. THALER & ASSOCIATES INC.
 11 WARREN ROAD
 BALTIMORE, MARYLAND
 21208
 PROFESSIONAL ENGINEER STATE
 REG. NO. 1328