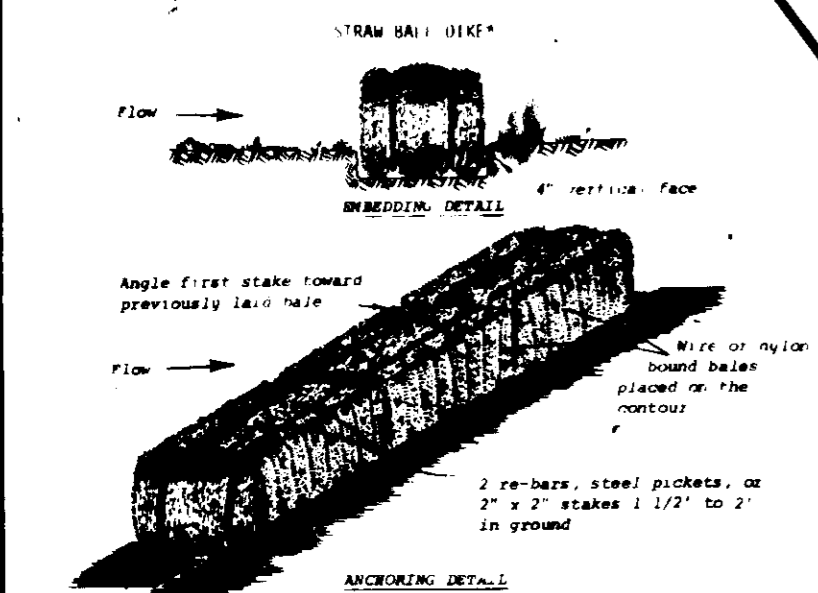


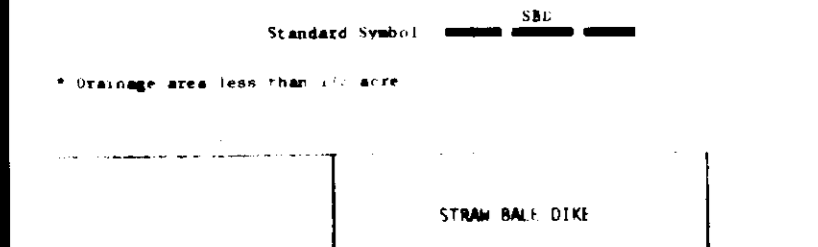
NOTES:
 1. SIDEWALK TO BE SCRIBED IN 1" MAXIMUM SQUARES.
 2. EXPANSION JOINTS ACROSS THE SIDEWALK NOT TO BE MORE THAN 10' APART.
 3. 1/2" PREFORMED PLASTIC EXPANSION MATERIAL IN EXPANSION JOINTS TO BE KEPT 1/4" BELOW SURFACE OF SIDEWALK.
 4. CONCRETE TO BE MIX NO. 2.
 5. WHEN SIDEWALK ABUTS CURB, WALL SHALL BE 1/4" ABOVE CURB WITH 1/2" PREFORMED PLASTIC EXPANSION MATERIAL BETWEEN SIDEWALK AND CURB AND RESTING ON A COMPACTED FINISHED STONE BASE. SEE DETAIL A ON THIS SHEET.
 6. ON LOW SPREADS, SIDEWALK GRADES OF 5% OR GREATER, A CONCRETE HEADER, 6" THICK AND 6" DEEP BELOW THE NORMAL 4" SIDEWALK FINISH SHALL BE CONSTRUCTED FOR THE FULL WIDTH OF THE SIDEWALK AT INTERVALS OF 48 FEET. THE HEADS SHALL BE 1/4" ABOVE FINISH GRADE AND SHALL BE MOUNTED WITH THE SIDEWALK.

N.E. 6010
 475/504
 Zoned B-2

Tax Map 24
 Parcel 453
 Zoned B-2



Construction Specifications:
 1. Bales shall be placed in a row with ends slightly abutting the adjacent bales.
 2. Each bale shall be embedded in the soil a minimum of 4".
 3. Bales shall be securely anchored in place by stakes or re-bars driven through the bales. The first stake in each bale shall be placed in the center of the bale. The stakes shall be placed in the center of the bale.
 4. Inspection shall be frequent and repair or replacement shall be made promptly as needed.
 5. Bales shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.



Owner:
 Forest Motel Inc.
 10001 Clark Mill Pike
 Clifton City, Md. 21023
 410-1466

NO.	REVISIONS	DATE

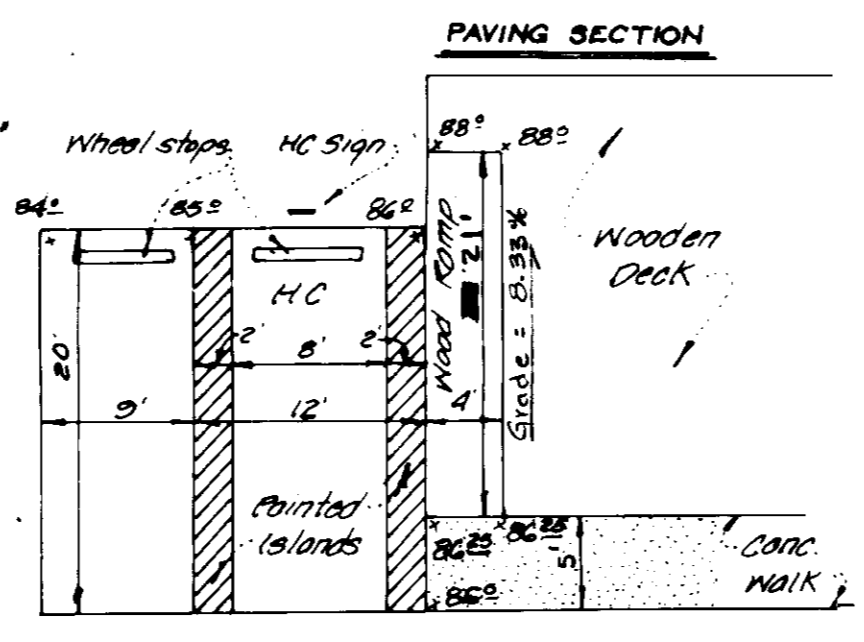


DEVELOPMENT CONSULTANTS GROUP, INC.
 12408 ROUTE 108
 CLARKSVILLE, MD. 21029
 301-596-9080 301-988-9830

SUBDIVISION NAME	MCVE	SECT. AREA (LOT/BLK)	N/A
PLAT/REC'D	N/A	BLK. NO.	24
PLAT/REC'D	N/A	BLK. NO.	252
PLAT/REC'D	N/A	BLK. NO.	6028.01
PLAT/REC'D	N/A	BLK. NO.	5940.000

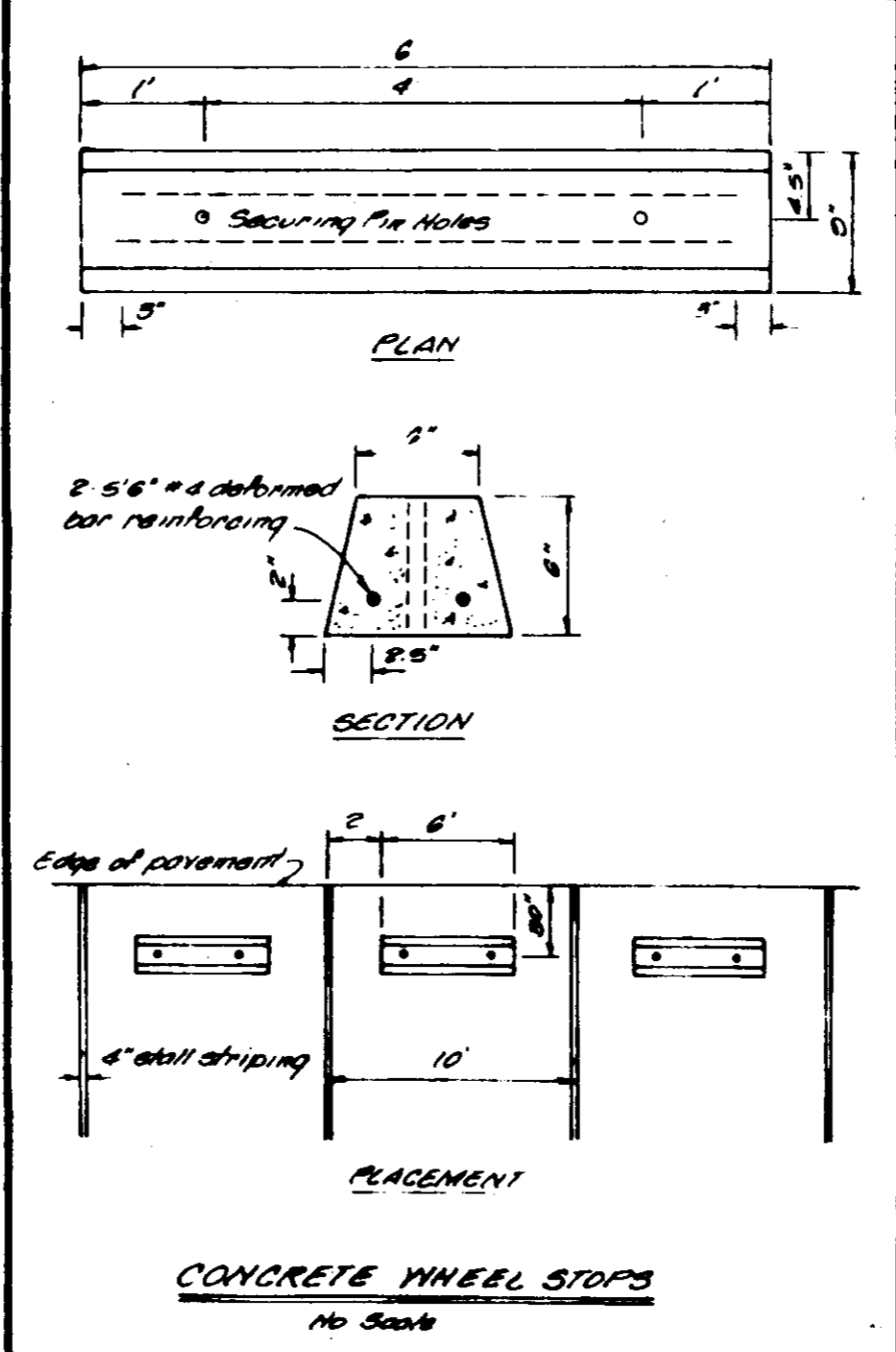
ADDRESS CHART	
LOT #	
STREET ADDRESS	
N/A	10021 Baltimore National Pike

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	PAVING MATERIALS	
		FULL DEPTH BIT. CONC. ALTERNATE	GRANULAR BASE ALTERNATES
P-1	PARKING AREAS AND TRAVELWAYS APARTMENTS AND COMMERCIAL-INDUSTRIAL ZONES WITH NO HEAVY TRUCKS	1" BIT. CONC. SURFACE 4" BIT. CONC. BASE	1" BIT. CONC. SURFACE 4" BIT. CONC. BASE



PLAN Scale: 1" = 20'

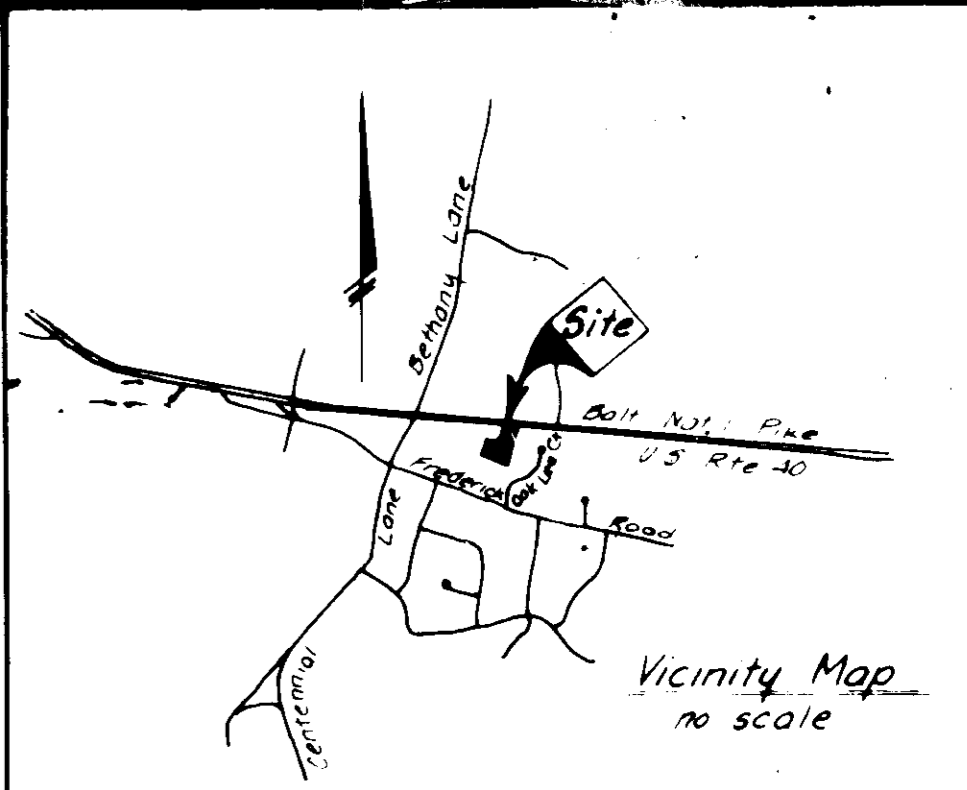
Forest Motel Inc
 475/504
 Zoned R-20



CONCRETE WHEEL STOPS (No Scale)

APPLICANT
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE: 11-1-83
 Signature: [Signature]

- Construction Sequence**
1. Obtain County Permits
 2. Install sediment control
 3. Clear site
 4. Grade site
 5. Pour footings and foundation
 6. Install base paving
 7. Backfill foundation
 8. Finish site grading
 9. Install surface paving
 10. Place landscape material.
 11. Complete building
 12. Stabilize disturbed area
 13. Remove sediment control when approved by sediment control inspector.



SURVEYOR'S CERTIFICATE
 I certify that this plan of development & plan for erosion & sediment control represents a practical & workable plan based on my personal knowledge of the site conditions & that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Date: 8-1-83
 Signature: [Signature]

OWNER'S CERTIFICATE
 I certify that all development and/or construction will be done according to this plan of development & that any responsible personnel involved in the construction project will have a certificate of attendance at a Department of Natural Resources approved training program for the control of sediment & erosion before beginning the project.
 Date: 3-2-83
 Signature: [Signature]

- SITE ANALYSIS**
1. Area of property: 1.561 ac. or 67807 sq ft
 2. Property zoned: B-2 (see BA Case 83-06V)
 3. Property located in:
 A) Tax Map 24, Parcel 72
 B) Soil Map 15
 4. The purpose of this site plan is for the addition of an ice cream parlor to the existing motel structure. Carry out no seating available.
 5. A variance has been applied for a reduction of the minimum setback required from a residential zone.
 6. Parking required:
 A) Motel: (25 units)
 1. 1 space/unit = 25
 2. 1 space/2 employees = 3
 B) Ice Cream Parlor (200 sq ft)
 1. 1 space/2 employees = 3
 C) Total = 31
 7. Parking provided:
 A) Regular = 48
 B) Handicapped = 1
 C) Compact = 6
 Total = 55 spaces
 8. Existing building coverage: 14,225 sq ft or 20.9%
 9. Existing paving coverage: 24,113 sq ft or 35.5%
 10. Existing impervious area: 38,338 sq ft or 56.4%
 11. Existing green area: 29,650 sq ft or 43.6%
 12. Proposed building coverage: 14,915 sq ft or 21.8%
 13. Proposed paving coverage: 25,760 sq ft or 37.0%
 14. Total impervious area: 40,575 sq ft or 59.7%
 15. Proposed green area: 27,422 sq ft or 40.5%
 16. Total disturbed area: 4733 sq ft or 6.0%
 17. * No seating is proposed inside building or on deck.
 18. Proposed addition:
 Building = 850 sq ft
 Deck = 264 sq ft
 19. Utilities for addition are to be extended from existing building. No new connections required.
 20. Storm water management waived granted 10-31-83.
 21. All drives on this site are private.

- STABILIZATION NOTES**
1. Sod all graded or disturbed areas over 3:1 slope.
 2. Seed and mulch all other graded or disturbed areas.
 3. Apply 10-10-10 fertilizer @ 25 lbs per acre.
 4. Plant with Kentucky 31 @ 5 lbs per acre.
 5. Mulch with straw @ 1 lb to 2 tons per acre.
 6. Anchor mulch with sprayed asphalt @ 0.1 gal./sq ft.
- * SEE BA Case 83-06V

SOP-83-219

SITE DEVELOPMENT PLAN
FOREST MOTEL INC.
 Tax Map 24 Parcel 72
 2nd Election District
 Howard County, Maryland

Approved for erosion & sediment control by the Howard Soil Conservation District.
 Date: 11-8-83
 Signature: [Signature]
 HOWARD SOIL CONSERVATION DISTRICT

DATE	FEB 1983	SHEET	1
DRAWN	JAN	OF	1
CHECKED	MES	PROJECT NO.	SDP-83-219
SCALE	1" = 20'		