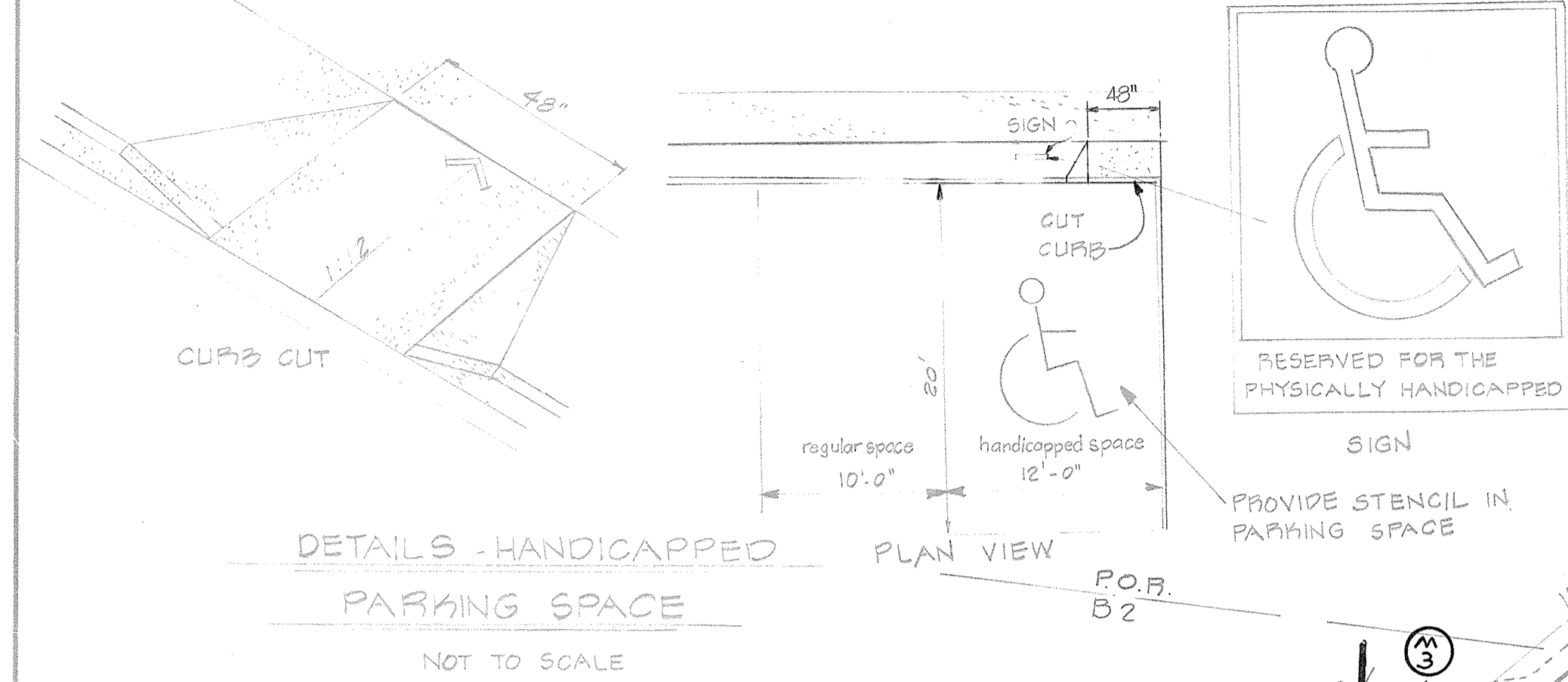


**BUILDING SCHEMATICS**



**PARKING ANALYSIS \***

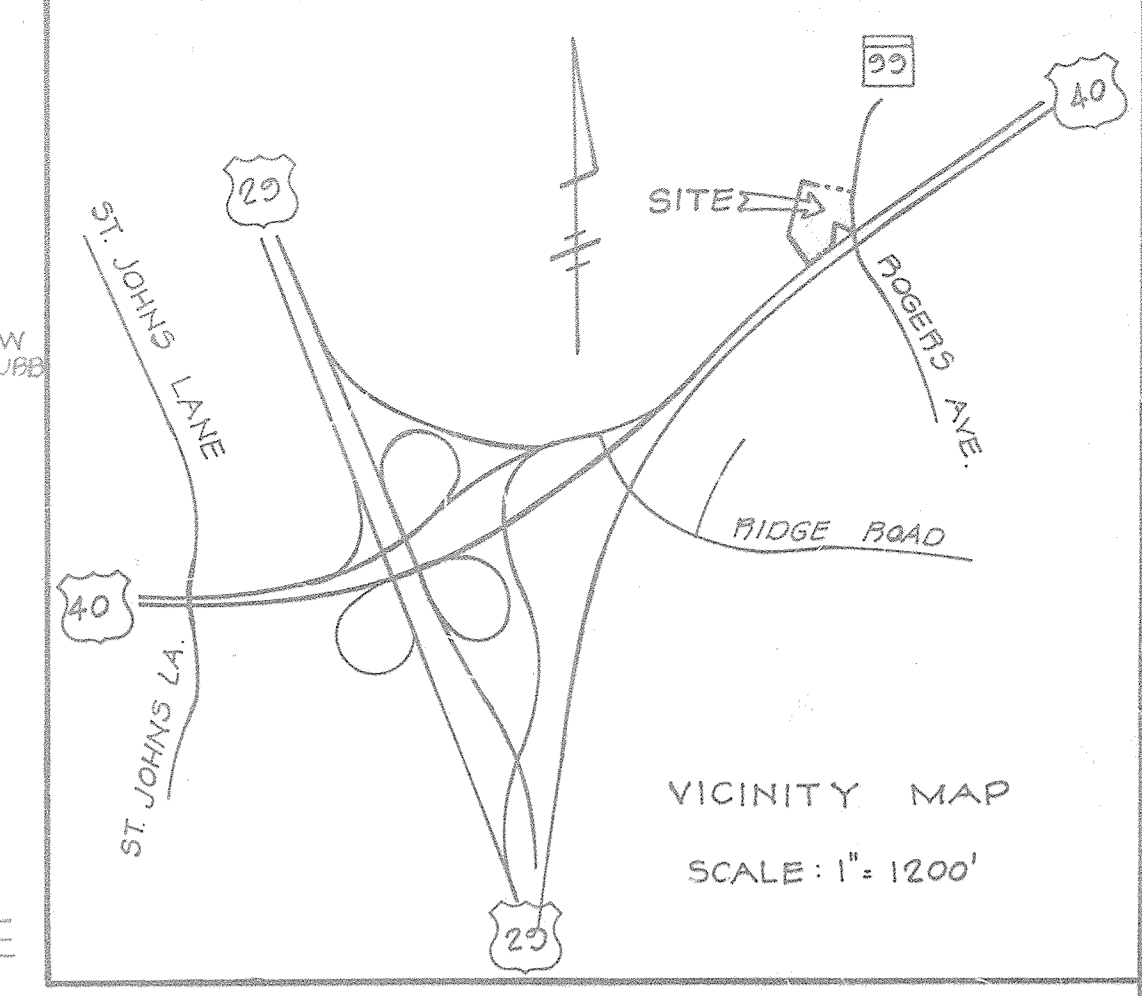
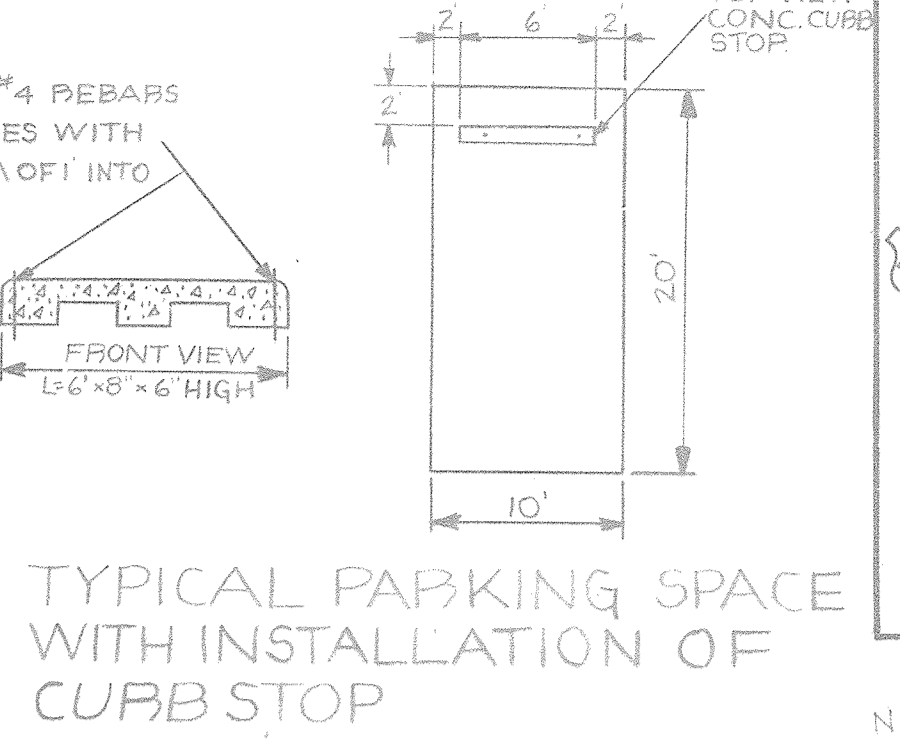
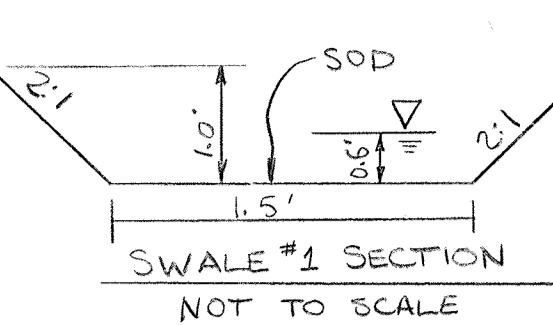
USE	AREA	DENSITY	REQUIREMENT
SERVICE BAY	2,500	3.0/BAY	75 PARKING SPACES
BUILDING	16,483	2.0/1000	33 PARKING SPACES
EXT. DISPLAY	18,905	1.0/1000	19 PARKING SPACES
TOTAL REQ.			127
PROVIDED			132

\* FOR O'DONNELL SITE ONLY SEE SHEET 7 FOR SAUSE CENTER

**PRIVATE DRAIN NOTES**

ALL PRIVATE DRAINS SHALL BE COVERED BY THE HOWARD COUNTY PLUMBING CODE. THE CONTRACTOR SHALL BE ALLOWED TO USE ANY APPROVED MATERIAL UNLESS OTHERWISE SPECIFIED. PRIVATE DRAINS ARE DENOTED P.O.

Q<sub>10</sub> = 4.90 CFS  
 V<sub>10</sub> = 4.34 FPS  
 n = 0.03  
 S = 0.03  
 d = 0.55'  
 LINE SWALE WITH SOD.



NOTE: LIGHTING TO BE MERCURY VAPOR, M.H. OR EQUIVALENT WALL MOUNTED UP-DOWN DIRECTIONAL LIGHTING. LIGHTING SHALL BE DIRECTED/REFLECTED AWAY FROM RESIDENTIAL PROPERTY AND PUBLIC R/W. NEW OUTDOOR LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF ZONING SECTION 134.

**ZONING COMPLIANCE:**

**BUILDING COVERAGE:**

- SHOWROOM: 8,202 SQ. FT. (6,352+1,850)
- SERVICE PARTS & LUBE CENTER: 880 SQ. FT.
- ADMINISTRATION: 1,671 SQ. FT.
- CAR WASH: 840 SQ. FT.
- TOTAL: 26,893 SQ. FT. (17.29% OF SITE)

**OPEN SPACE:** INCLUDING LANDSCAPED AREAS = 20% = 26,640 SQ. FT.

**PARKING LOT LANDSCAPED AREAS:** 2,990 SQ. FT. (5% OF PARKING AREA)

REPAIRS, SERVICE, DISPLAYS AND ITEMS FOR SALE SHALL NOT BE LOCATED WITHIN THE 30 FOOT BLDG. & USE LINES SHOWN ON THIS PLAN.

TOTAL AREA OF PARKING LOT: 44,150 SQ. FT.

**GENERAL NOTES**

- TAX MAP: 24, BLOCK G, PARCELS 51+673
- DEED REFERENCE: PARCEL "A" 228-406
- EXISTING ZONING: B-2
- HORIZONTAL CONTROL: IS BASED ON MARYLAND STATE GRID SYSTEM.
- VERTICAL CONTROLS BASED ON HOWARD COUNTY 2.0M ELEVATION CONTROL.
- PROPOSED SITE USE: AUTO SALES, REPAIR AND SERVICE OF MOTOR VEHICLES.
- TOTAL AREA SITE = 0.57 ACRES.
- PARKING REQUIREMENT: SEE PARKING ANALYSIS CHART
- NO DISTURBANCE OR NEW PAVING IS PROPOSED ON PARCELS 673 OR THE WESTERN PART OF PARCEL 51 BY REDLINE "F" FIELD RUN TOPOGRAPHY OF THESE AREAS IS SHOWN ON THIS PLAN AS PROPOSED BECAUSE IT WAS PREVIOUSLY CONSTRUCTED.
- A COMPLETE OIL INTERCEPTION SHALL BE PROVIDED WITHIN THE MECHANICAL PLANS OF THE BUILDING.
- THIS SITE FULFILLS THE REQUIREMENTS OF SECTION 133-D.4.C BY PROVIDING 132 PARKING SPACES ON SITE.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT.

*James Jones* 9-14-83  
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

*Thomas L. Harris* 9-15-83  
 PLANNING DIRECTOR DATE

*William J. McLaughlin* 9-15-83  
 CHIEF, DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION DATE

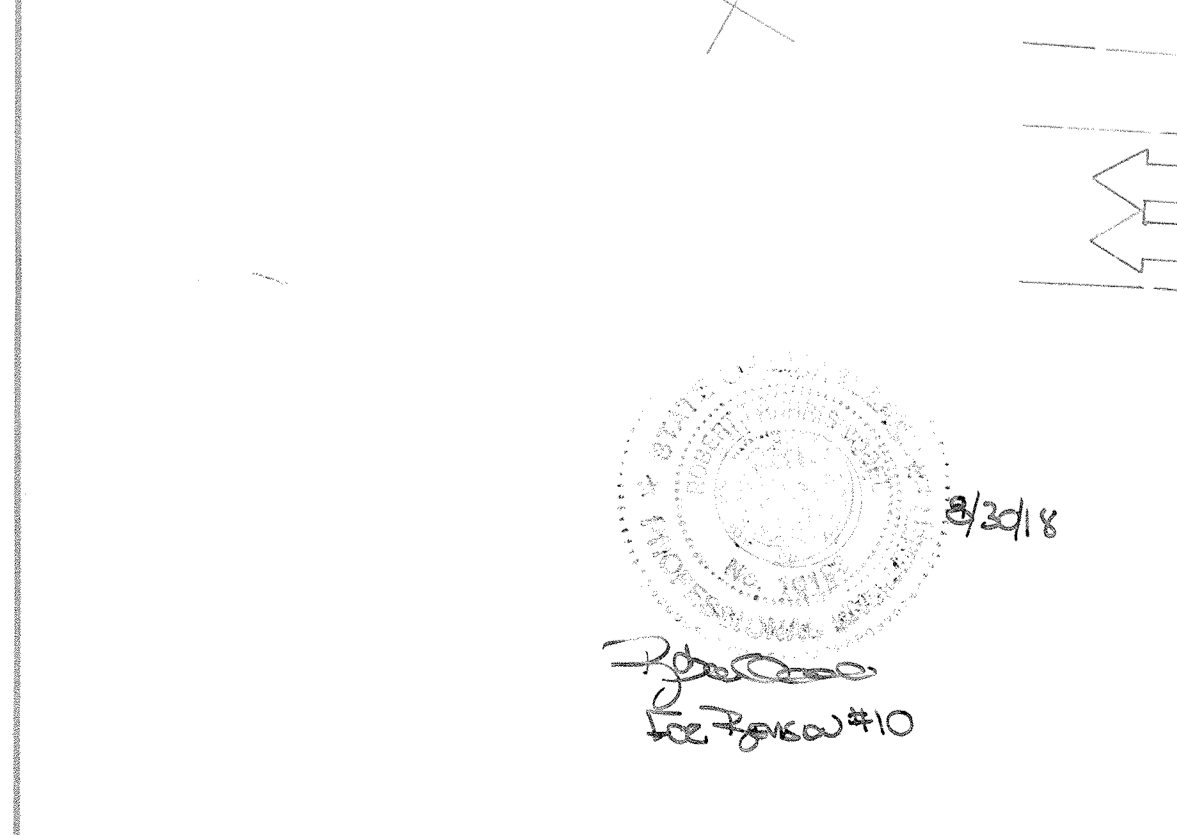
APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

*John F. Neimey* 9-8-83  
 DIRECTOR DATE

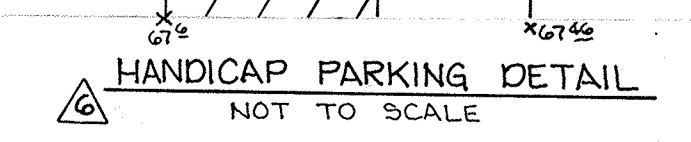
*William J. McLaughlin* 9-8-83  
 CHIEF BUREAU OF ENGINEERING DATE

**SEPTIC SYSTEM NOTES**

FF BLDG. - 368.8  
 INV. OUT - 366.5  
 SEPTIC TANK - 368.0  
 EX. GROUND - 368.2  
 PROP. GROUND - 368.2  
 INV. IN - 370.8  
 INV. OUT - 372.8  
 DISTRIBUTION - 368.2  
 EX. GROUND - 368.2  
 PROP. GRADE - 368.2  
 INV. OUT TO TRENCHES - 365.7  
 MAIN MAN 2 1/2" DIA. OVER TRENCHES



NO.	DATE	REVISION
10	8/11/83	REVISE PLAN TO ADD 1,850 SF OF SHOWROOM TO THE EXISTING BUILDING.
NO.	DATE	REVISION



7-24-75 ADDED SERVICE BAYS  
 11-14-83 ADD 10' ADDITION TO BUILDING  
 11-26-80 ADD PRIVATE SEWERAGE DISPOSAL AREA FOR SHOWROOM, REVISE PROPERTY GRADES  
 1-7-80 REVISED 30' SETBACK LINE FROM MD. RTE. 99 & ADDED TREES AS REQUESTED BY H.C. D.P.Z. BY G.M. CH & B.L.M.  
 12-22-96 ENLARGED EX. SHOWROOM, MOD. HC PARK. AREA, ADDED PARKING SPACES.

FOR REVISIONS: WARE BY BENCHMARK ENGINEERING, INC. ON 5/21/02 & 11/02/02 ONLY

2-14-07

BENCH MARK - HOWARD COUNTY B.M. STATION 3249002 - COORDINATE: N 527,823.355  
 E 853,619.758  
 ELEVATION: 354.990  
 CONC. MON. @ SURFACE 5.5' S. OF LEFT TURN LANE OF RT. 40 WEST 14' E. OF EAST EDGE OF CROSSOVER TO RT. 295.

APPROVED  
 DEVELOPMENT & PLANNING ADMINISTRATION  
 HOWARD COUNTY, MARYLAND  
 6-1-83

OWNER & DEVELOPER  
 4011 N. C. ...  
 5000 W. ALTIMA ... NAT'L PIKE  
 ELLICOTT CITY, MD. 21043

TITLE			
O'DONNELL AUTO DEALERSHIP			
PROJECT			
LOCATION TAX MAP 24, BLOCK G, PARCELS 51+673			
2ND ELECTION DISTRICT HOWARD COUNTY, MD.			
DATE:	DESIGN BY:	DRAWN BY:	CHECKED BY:
MAY, 1979	W.H.N.	W.H.N.	P.L.M.
SCALE:	JOB NO.:	DRAWING NO.:	
1" = 30'	7927	1 OF 8	

boender associates engineers/planners  
 SUITE 103-107 TOWN & COUNTRY PROFESSIONAL BUILDING  
 ELLICOTT CITY, MARYLAND 21043  
 BALTIMORE 301-468-7777 SALISBURY 301-748-1286

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

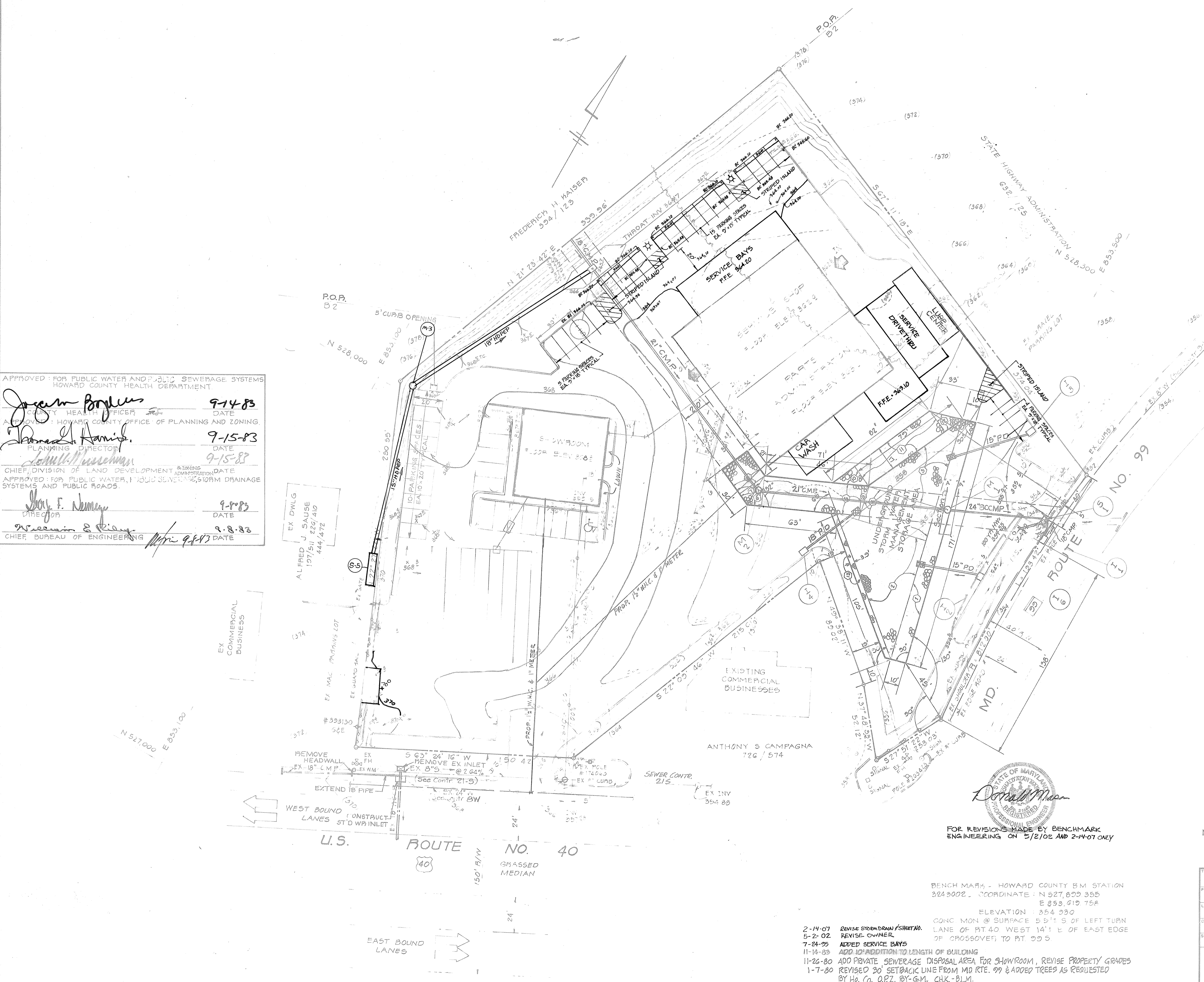
*Jacques Boyles* 9-14-83  
COUNTY HEALTH OFFICER DATE

*Thomas A. Harris* 9-15-83  
APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
PLANNING DIRECTOR DATE

*John M. Muschman* 9-15-83  
CHIEF, DIVISION OF LAND DEVELOPMENT ADMINISTRATION DATE

*Shirley F. Nemej* 9-20-83  
DIRECTOR DATE

*William E. Ryan* 9-28-83  
CHIEF BUREAU OF ENGINEERING DATE



**TABULATIONS:**

**STORM WATER MANAGEMENT**

UNDERGROUND STORAGE AREAS IN STORM DRAINS

PIPE SYSTEM	LENGTH	DIA.	AREA	CUBIC FEET
I4 to S4	42 L.F.	15"	1.227	51.5
I3 to S3	55 L.F.	15"	1.227	67.5
I2 to S2	50 L.F.	15"	1.227	61.4
<b>TOTAL PIPE STORAGE</b>				<b>180.4 C.F.</b>
<b>12, 13, 14, INLET STORAGE</b>				<b>32.9 C.F.</b>
<b>STORAGE TOTAL, PIPE &amp; INLET</b>				<b>= 213.3 C.F.</b>

**STORM WATER MANAGEMENT**

UNDERGROUND STORAGE AREAS IN SQUARE FEET  
(@ STONE STORAGE)

GEOMETRIC AREA NO.	DIMENSIONS	SQ. FT.
1	10' x 171'	1,710
2	(64' x 84')/2	2,688
3	(63' x 43')/2	1,544
4	24' x 43'	1,176
5	67' x 20'	1,340
6	(5' x 20')/2	50
7	(5' x 20')/2	50
8	21' x 20'	420
9	(5' x 20')/2	50
10	(15' x 17')/2	162
11	63' x 17'	1,071
12	(15' x 17')/2	128
13	(104' x 3.5')	406
<b>TOTAL ALL NO'S</b>		<b>10,875 S.F.</b>

APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE **6-1-83**

*Donna M. Mason*  
OWNER & DEVELOPER

47-111 LLP  
8022 BALTIMORE NATIONAL PIKE  
ELLCOTT CITY, MD 21043

NOTE: THIS PLAN IS FOR STORM WATER MANAGEMENT ONLY. FOR ADDITIONAL INFORMATION SEE SITE PLAN DWG NO. 1 OF 6

FOR REVISIONS MADE BY BENCHMARK ENGINEERING ON 5/2/02 AND 2-14-07 ONLY

BENCH MARK - HOWARD COUNTY BM STATION 3043002. COORDINATE: N 527,829.355  
E 853,612.758  
ELEVATION: 354.930

CONC. MON. @ SURFACE 5.5' S OF LEFT TURN LANE OF RT. 40 WEST 14' E OF EAST EDGE OF CROSSOVER TO RT. 99 S

2-14-07 REVISE STORM DRAIN SIZES/NO.  
5-2-02 REVISE OWNER  
7-24-95 ADDED SERVICE BAYS  
11-14-83 ADD 10' ADDITION TO LENGTH OF BUILDING  
11-26-80 ADD PRIVATE SEWERAGE DISPOSAL AREA FOR SHOWROOM, REVISE PROPERTY GRADES  
1-7-80 REVISED 30' SETBACK LINE FROM MD. RTE. 99 & ADDED TREES AS REQUESTED BY Ho. Co. O.P.Z. BY-G.M. CHK-BLM.

**STORM WATER MANAGEMENT PLAN**

**O'DONNELL AUTO DEALERSHIP**

LOCATION: TAX MAP 24, GRID 6, PARCELS 51, 673  
2ND ELECTION DISTRICT HOWARD COUNTY, MD.

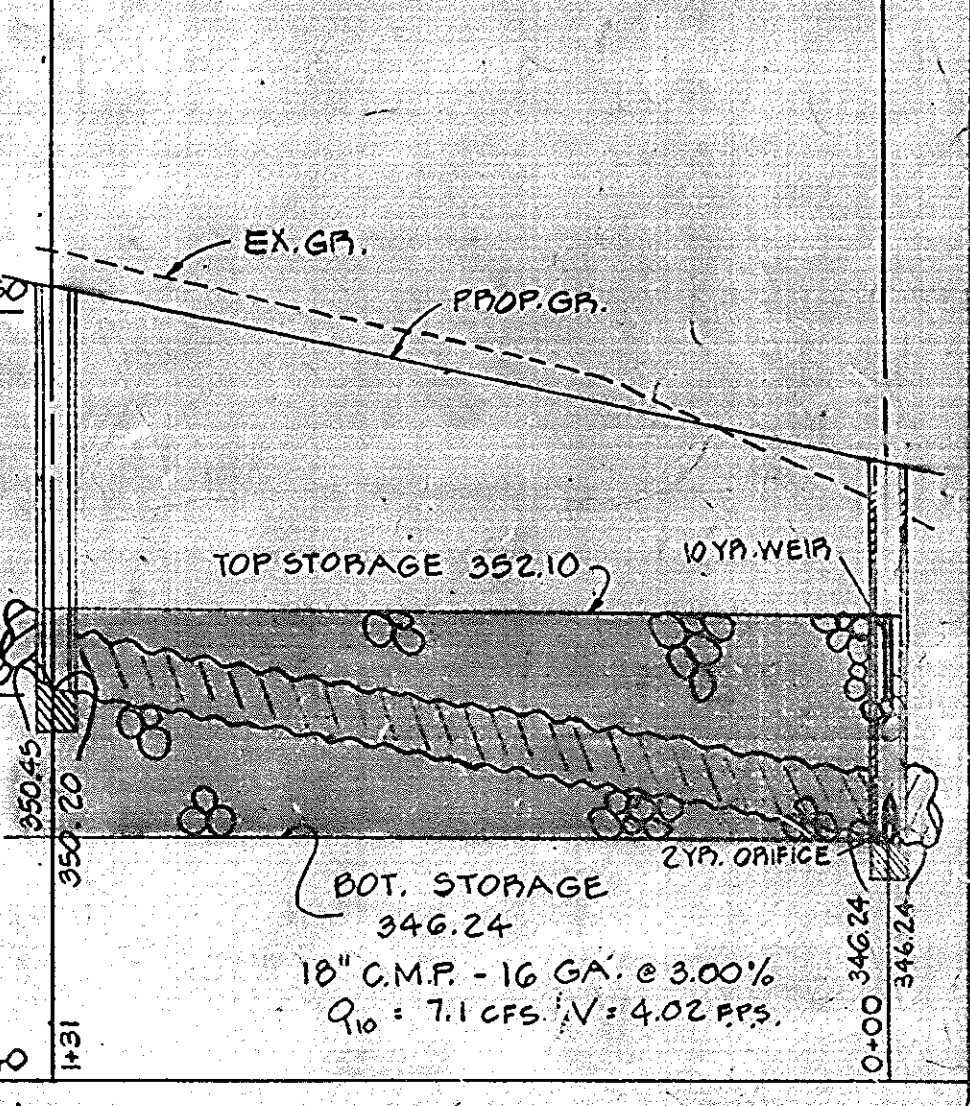
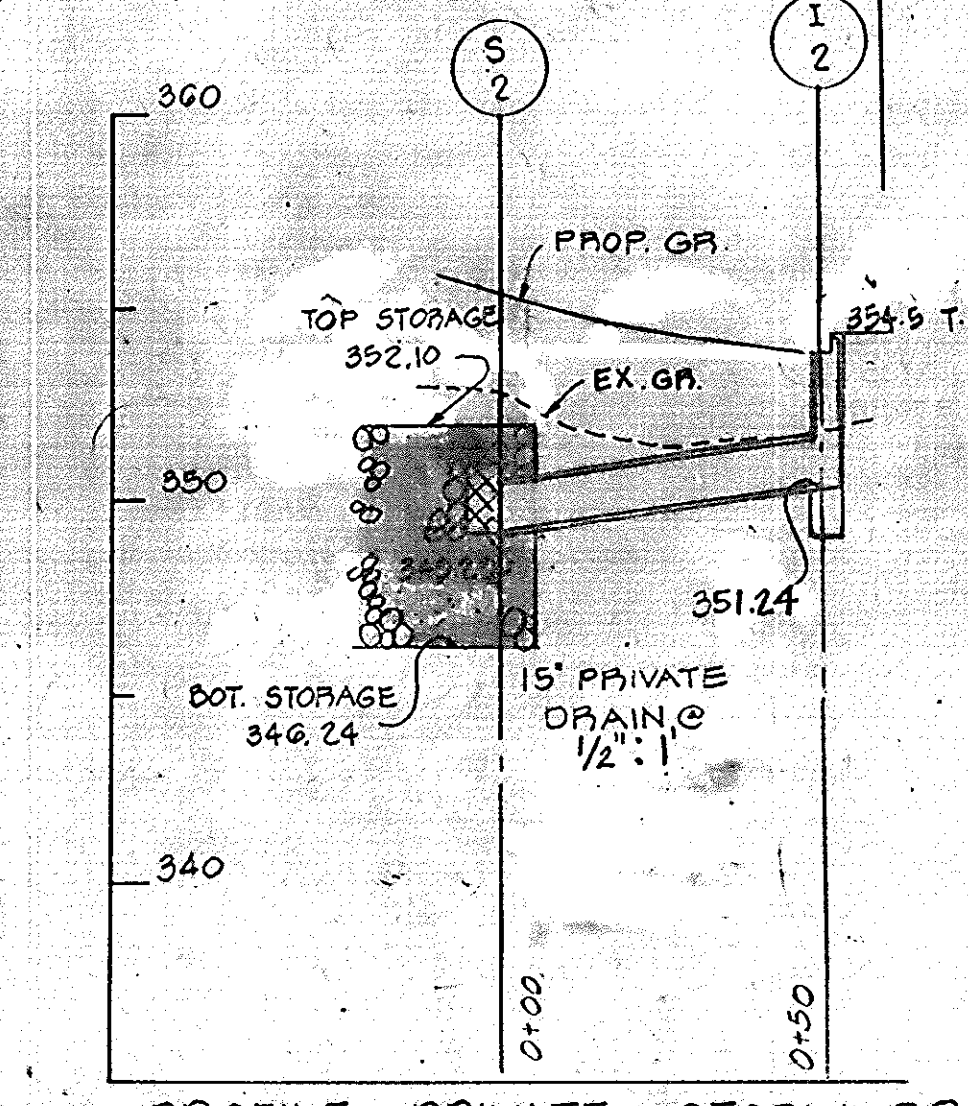
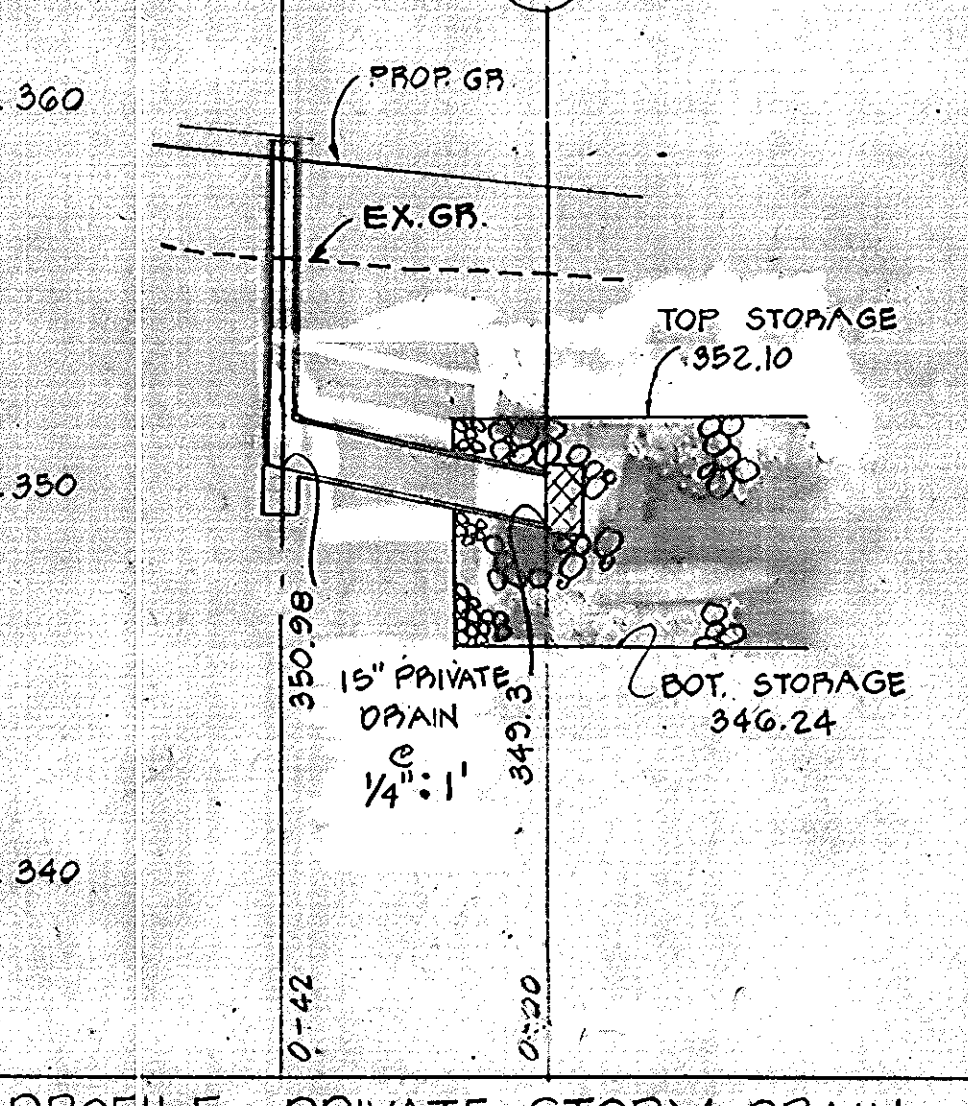
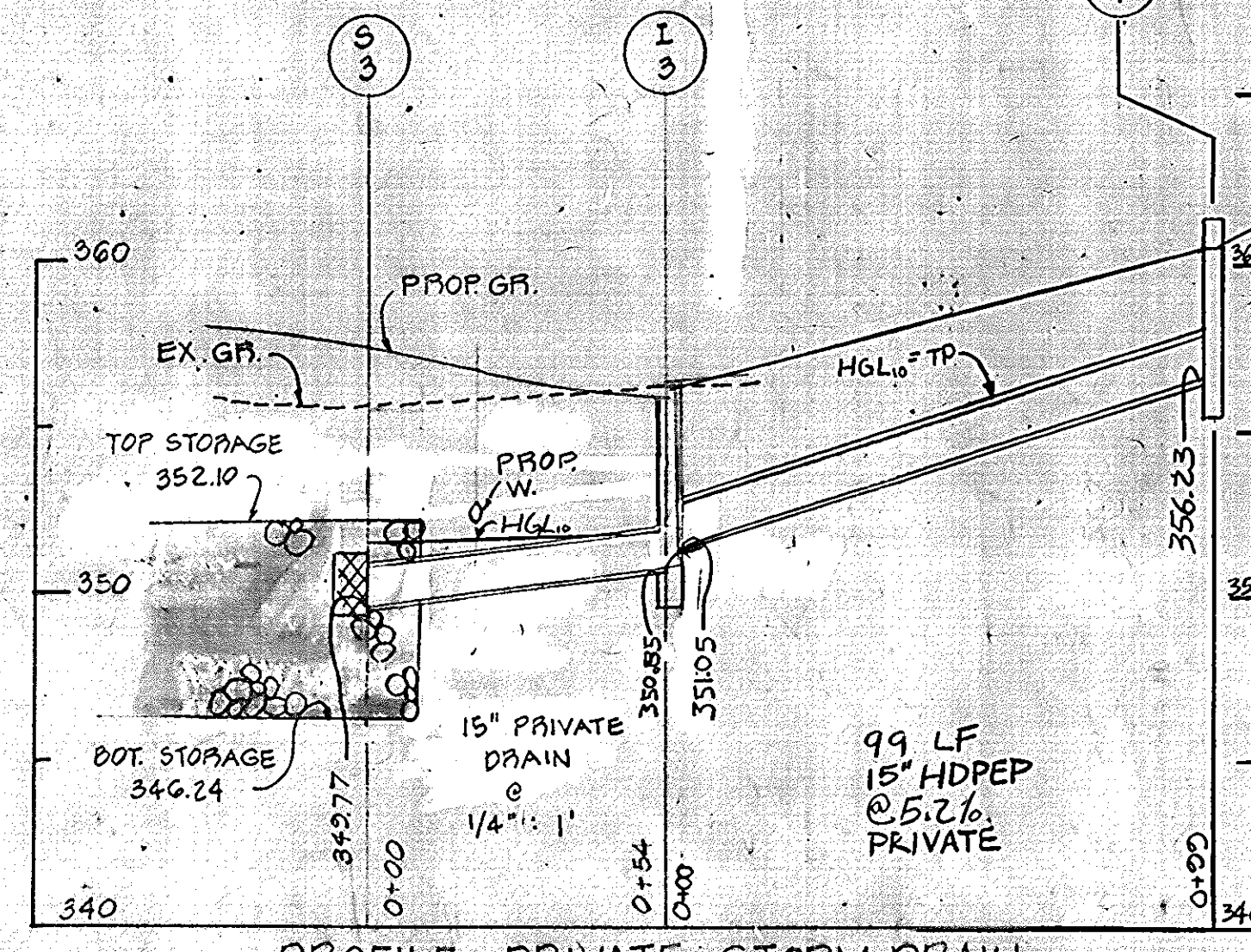
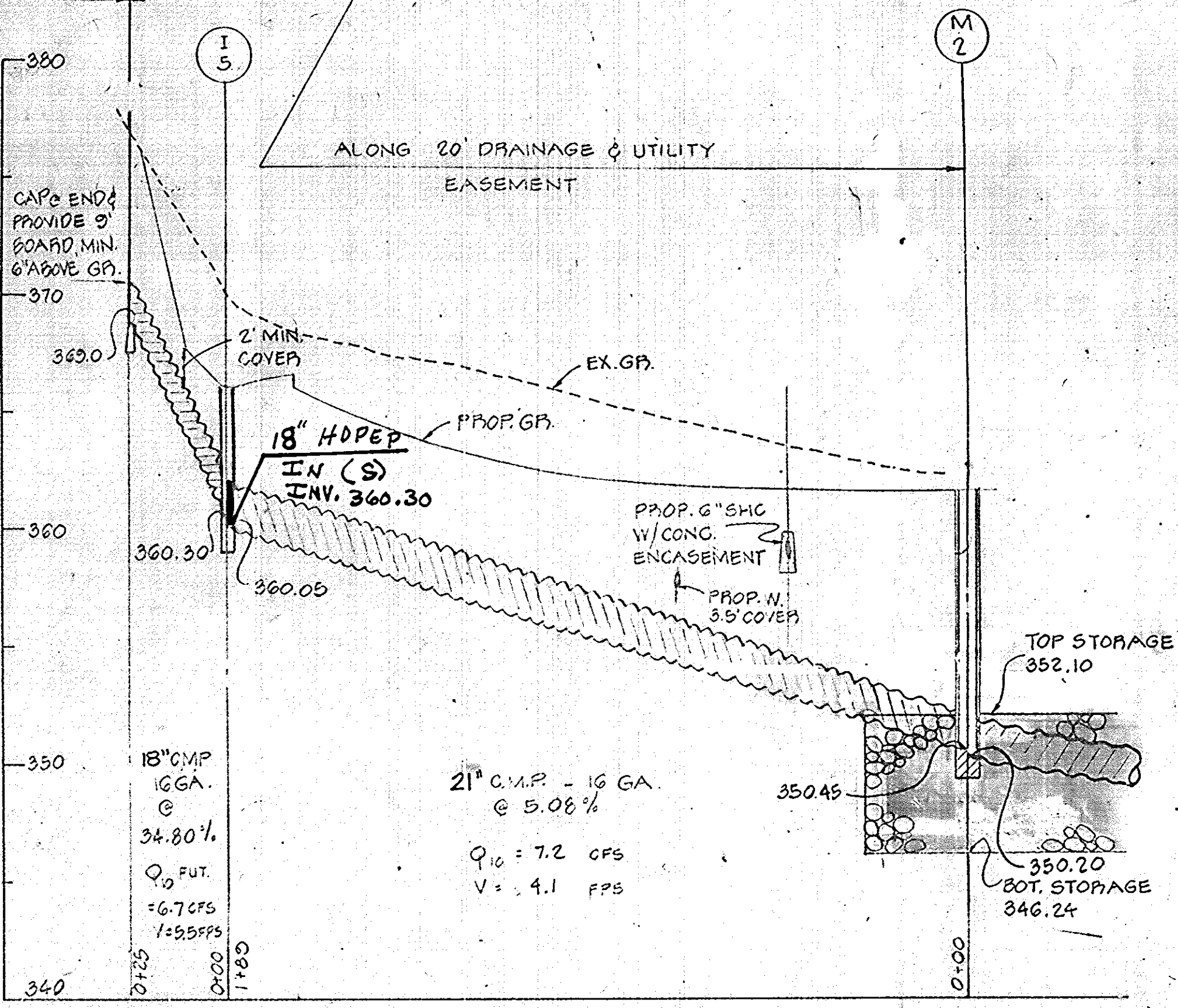
DATE: MAY, 1979 DESIGN BY: WHN DRAWN BY: WHN CHECKED BY: R.L.M.

SCALE: 1" = 30' JOB NO: 7927 DRAWING NO: 2 OF 8

**boender associates** engineers/planners  
SUITE 102 107 TOWN & COUNTRY PROFESSIONAL BUILDING  
ELLCOTT CITY, MARYLAND 21043  
BALTIMORE 301-466-7777 SALISBURY 301-749-1286

**SDP-83-189**

FREDERICK H. KASER PROPERTY



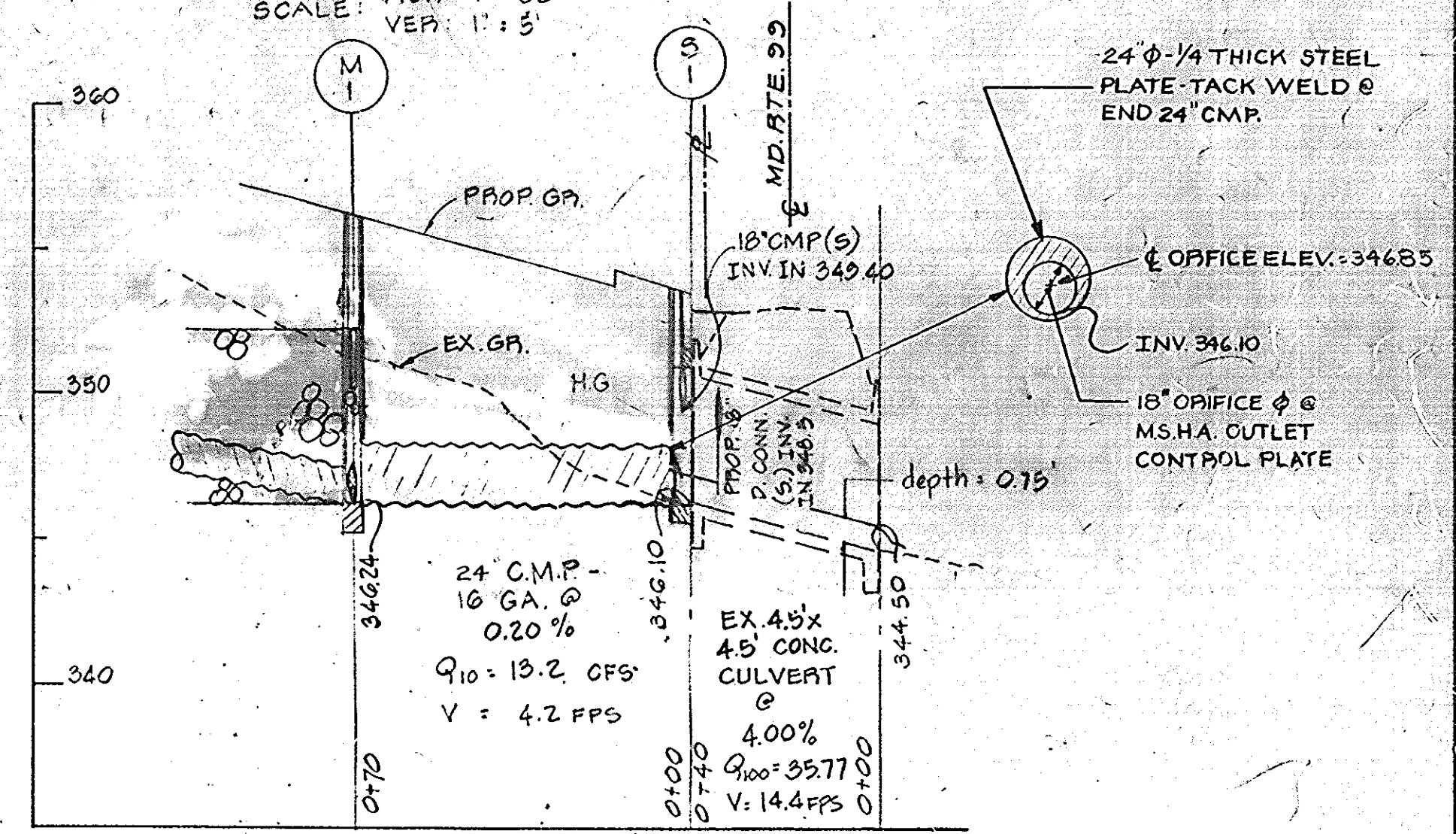
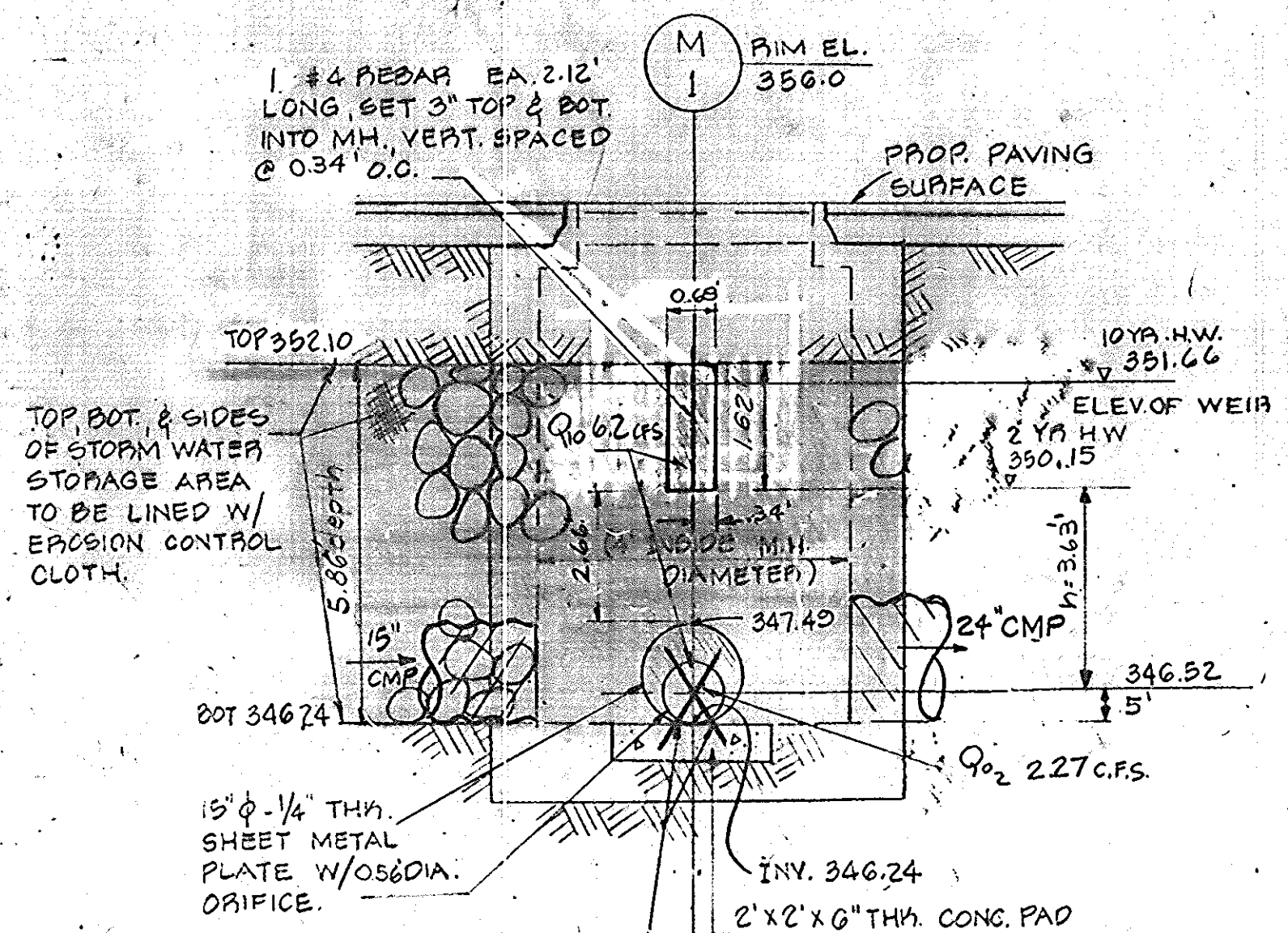
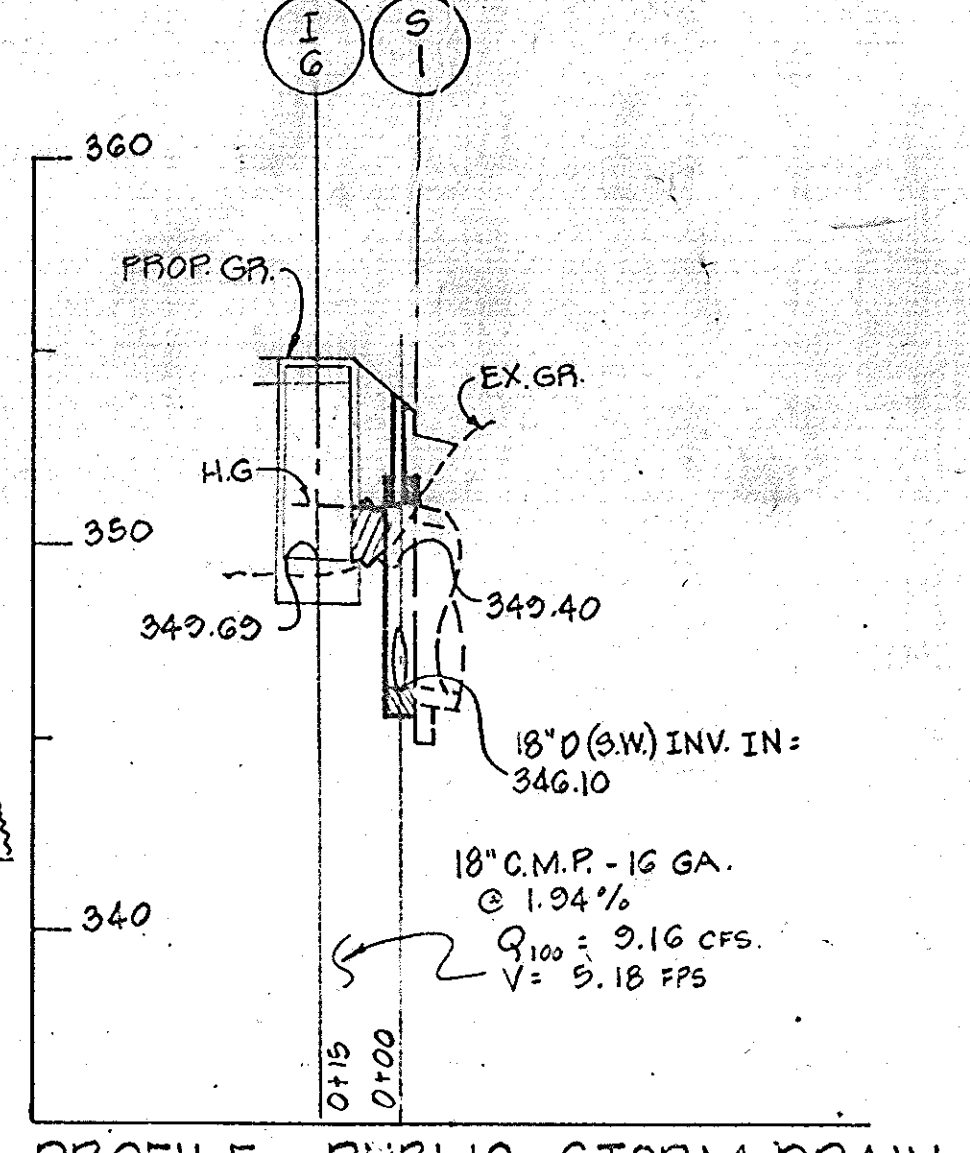
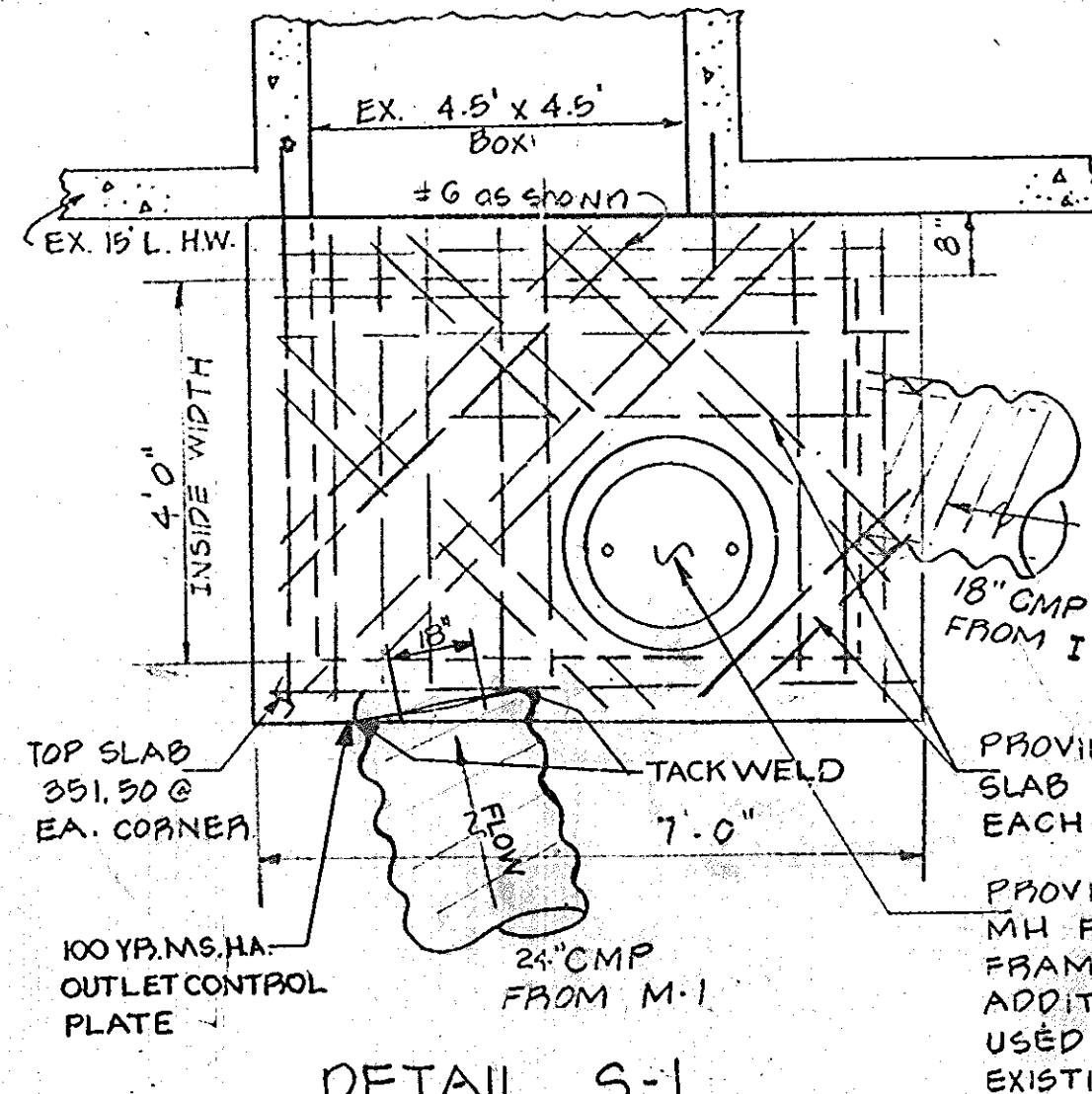
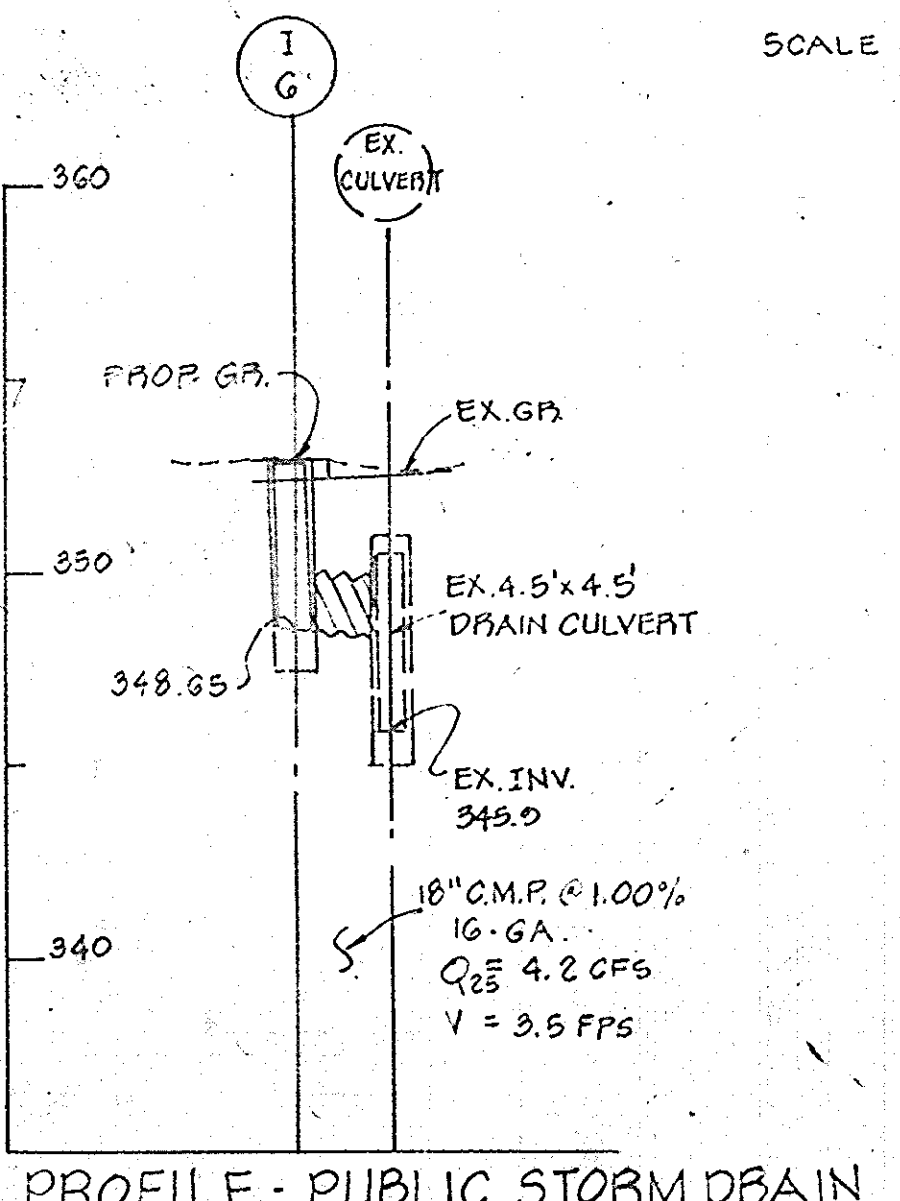
PROFILE - PRIVATE STORM DRAIN  
SCALE: HOR: 1" = 30'  
VER: 1" = 5'

PROFILE - PRIVATE STORM DRAIN  
SCALE: HOR: 1" = 30'  
VER: 1" = 5'

PROFILE - PRIVATE STORM DRAIN  
SCALE: HOR: 1" = 30'  
VER: 1" = 5'

PROFILE - PRIVATE STORM DRAIN  
SCALE: HOR: 1" = 30'  
VER: 1" = 5'

PROFILE - PRIVATE STORM DRAIN  
SCALE: HOR: 1" = 30'  
VER: 1" = 5'



PROFILE - PUBLIC STORM DRAIN  
SCALE: HOR: 1" = 30'  
VER: 1" = 5'

DETAIL S-1  
NOT TO SCALE

PROFILE - PUBLIC STORM DRAIN  
SCALE: HOR: 1" = 30'  
VER: 1" = 5'

SECTION "A-A" - MANHOLE 1  
OUTLET CONTROL STRUCTURE AND SWM STORAGE AREA DETAIL  
NOT TO SCALE

PROFILE - PUBLIC STORM DRAIN  
SCALE: HOR: 1" = 30'  
VER: 1" = 5'

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT.

*James P. ...* 9-14-83  
COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING

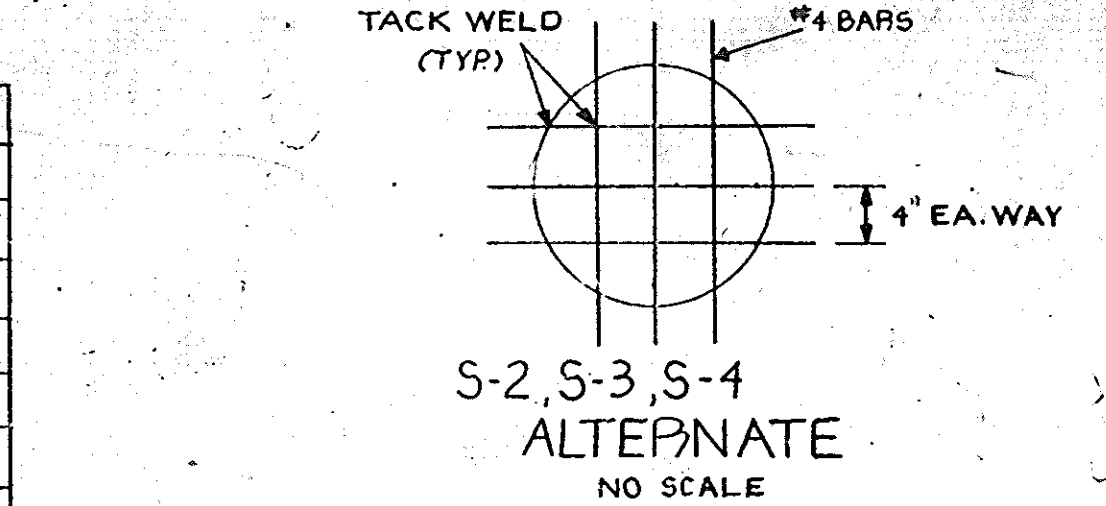
*Thomas A. ...* 9-15-83  
PLANNING DIRECTOR

CHIEF DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
APPROVED: FOR PUBLIC WATER, PUBLIC SEWER, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

*George F. ...* 9-8-83  
DIRECTOR

*William ...* 9-8-83  
CHIEF BUREAU OF ENGINEERING

PROPOSED STRUCTURE SCHEDULE						
NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS	
I-1	MARYLAND W.P. COMB. DBL.	-	-	352.40	SEE MD. STATE INLET STD. 374.04	
I-2	HO. CO. DBL. "S" COMB.	-	351.24	354.5 T.C.	SEE HO. CO. STD. DRNG. D-99, PG. 154	
I-3	HO. CO. DBL. "S" COMB.	-	350.85	355.80	" " " " " " " " " " " "	
I-4	HO. CO. DBL. "S" COMB.	-	350.98	358.90	" " " " " " " " " " " "	
I-5	HO. CO. "1/4" INLET	360.30	360.05	365.70	" " " " " " " " " " " "	D-95, PG. 150
I-6	HO. CO. "A-10" INLET	-	349.69	354.10	" " " " " " " " " " " "	D-G4A, PG. 119A
M-1	HO. CO. STD. MH	346.24	346.24	356.00	" " " " " " " " " " " "	D-103, PG. 158 MODIFIED - SEE DET. ABOVE.
S-1	SPECIAL MH	349.40	346.10	353.60	SEE DETAIL THIS SHEET.	
S-2	GABION STONE CAGE	349.29	349.29	350.79	ALTERNATE - #4 BARS WELDED TO END OF PIPE	
S-3	"	349.77	349.77	351.27	4" CC. EA. WAY.	
S-4	"	349.30	349.30	350.80	"	
M-2	HO. CO. STD. MH	350.45	350.20	360.50	" " " " " " " " " " " "	D-103, PG. 158
I-7	HO. CO. "D" INLET	-	356.23	361.18	SD-4.11 THROAT @ 360.35	



S-2, S-3, S-4  
ALTERNATE  
NO SCALE

APPROVED  
DIVISION OF LAND DEVELOPMENT &  
ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 6-1-83  
7/6/83

OWNER & DEVELOPER  
40-99 LLP  
8620 BALTIMORE NATIONAL PIKE  
ELLCOTT CITY, MD. 21043

STORM WATER MANAGEMENT SECTIONS  
& DETAILS - STORM DRAIN PROFILES

PROJECT  
O'DONNELL AUTO DEALERSHIP  
2ND ELECTION DISTRICT

DATE: AUGUST, 1979  
SCALE: AS SHOWN

DESIGN BY: W.H.N.  
JOB NO.: 7927

DRAWN BY: G.M./W.N.  
DRAWING NO.: 30FB

CHECKED BY: P.L.M.

boender associates  
SUIE 102-107 TOWN & COUNTRY PROFESSIONAL BUILDING  
ELLCOTT CITY, MARYLAND 21043  
BALTIMORE 301-468-1772 CALLESBURY 301-725-1286

engineers  
surveyors  
planners

DEVELOPER'S CERTIFICATE

I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Thom D. Donnell*  
DEVELOPER - MR. THOMAS O'DONNELL

DATE

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS BY THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER

DATE

APPROVED FOR PUBLIC WATER AND SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

*Walter J. Sauser* 9-14-83 DATE  
HEALTH OFFICER

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING

*Thomas L. Hamif* 9-15-83 DATE  
PLANNING DIRECTOR

*John J. Friedman* 9-15-83 DATE  
CHIEF DIVISION OF PLANNING AND ZONING

APPROVED FOR PUBLIC WATER AND SEWERAGE SYSTEMS AND STORM DRAINAGE SYSTEMS AND PUBLIC ROADS

*Steve F. Neman* 9-1-83 DATE  
DIRECTOR

*Walter J. Sauser* 9-8-83 DATE  
CHIEF BUREAU OF ENGINEERING

CONSTRUCTION SEQUENCE

- 1 OBTAIN BUILDING PERMIT
- 2 NOTIFY THE MD. CO. BUREAU OF LICENSE, INSPECTIONS AND PERMITS AND THE CONSTRUCTION INSPECTION/SURVEYS DIVISION OF 792-7272 AT LEAST 24 HOURS PRIOR TO GRADING OPERATIONS.
- 3 INSTALL TEMPORARY SEDIMENT CONTROL MEASURES, P.D., S.C.E., S.B.D. AND SEDIMENT BASIN NO. 1
- 4 ROUGH GRADE. APPLY TEMPORARY STABILIZATION
- 5 INSTALL WATER & SEWER CONNECTIONS TO SHOWROOM AND PHASE I UNITS.
- 6 STABILIZE AREA TO BE PAVED WITH BASE COURSE.
- 7 CONSTRUCT SHOWROOM & PAVED PHASE I, MAINTAIN SEDIMENT BASIN.
- 8 FINE GRADE. APPLY PERMANENT STABILIZATION ON ALL DISTURBED AREAS.
- 9 REMOVE TEMPORARY SEDIMENT CONTROL MEASURES EXCEPT FOR SEDIMENT BASIN
- 10 WITHIN 12 MONTHS, PHASE II CONSTRUCTION SHALL BEGIN. DURING SPAW BETWEEN CONSTRUCTION, THE SEDIMENT BASIN SHALL BE MAINTAINED.
- 11 PER SERVICE BLDG. CONSTRUCTION INSTALL TEMPORARY SEDIMENT CONTROL MEASURES, (S.B.D. ALONG MD. RTE. 99, S.O.E.)
- 12 ROUGH GRADE SITE DOWN TO AREA RESERVED FOR SWM. APPLY TEMPORARY STABILIZATION. MAINTAIN SEDIMENT BASIN.
- 13 INSTALL WATER & SEWER CONNECTIONS TO SERVICE & PARTS BLDG.
- 14 STABILIZE AREA TO BE PAVED WITH BASE COURSE DOWN TO BEGINNING OF SWM. PLACE S.B.D. ALONG CONTOUR ABOVE SWM AREA.
- 15 REMOVE SEDIMENT BASIN (PUMP-OUT) & REMOVE SEDIMENT TO SITE WITH APPROVED SEDIMENT CONTROL. MAINTAIN S.B.D. @ RTE. 99
- 16 INSTALL STORM DRAIN & SWM. BLOCK ALL INLETS
- 17 STABILIZE REMAINING AREA TO BE PAVED WITH BASE COURSE.
- 18 CONSTRUCT SERVICE & PARTS BLDG.
- 19 REMOVE S.B.D. (RTE. 99)
- 20 PAVE PARKING AREA. APPLY PERMANENT STABILIZATION.
- 21 REMOVE TEMPORARY SEDIMENT CONTROL MEASURES WITH APPROVAL OF THE MD. CO. BUREAU OF LICENSE, INSPECTIONS & PERMITS.

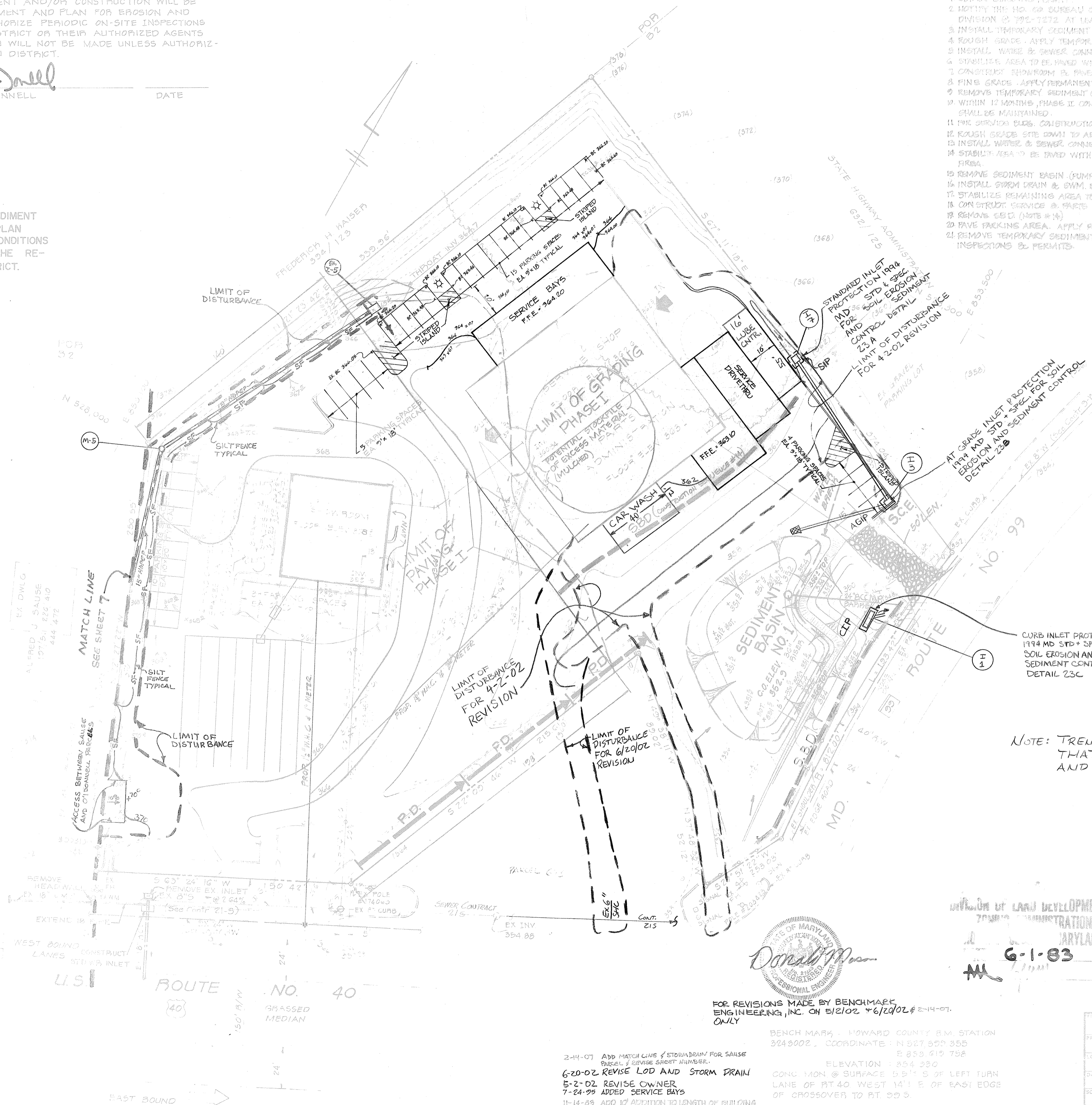
SITE ANALYSIS

TOTAL AREA = 3.23 AC.  
AREA DISTURBED = 3.23 AC.  
AREA PAVED = 2.96 AC. (INCLUDING BLDG. AREAS)  
AREA REVEGETATED = 0.68 AC. (20,620 SQ. FT.)  
AREA UNDISTURBED = NONE

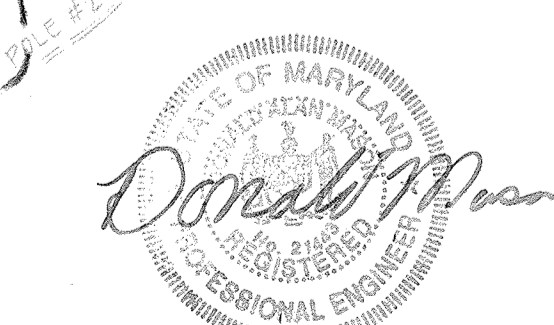
CONSTRUCTION SEQUENCE

- 1 OBTAIN GRADING PERMIT.
- 2 NOTIFY HOWARD COUNTY BUREAU OF LICENSE, INSPECTIONS AND PERMITS 24 HRS. PRIOR TO GRADING OPERATIONS - PH. 292-2435
- 3 INSTALL TEMPORARY SEDIMENT CONTROL MEASURES - P.D., S.C.E. & SEDIMENT BASIN # 1 TO BE 3.5' DEEP FOR TEMPORARY SEDIMENT STORAGE. CLEANOUT AT ELEV. 352.00
- 4 BEGIN EARTHWORK, MAINTAINING SEDIMENT CONTROL MEASURES
- 5 INSTALL WATER AND SEWER CONNECTIONS.
- 6 INSTALL DRAINS AND INLETS. BLOCK UPSTREAM END OF PIPE AT END OF WORK. EACH DRAIN 8" DIA. ALL INLETS.
- 7 INSTALL UNDERGROUND STORM WATER MANAGEMENT.
- 8 STABILIZE PAVING AREA WITH BASE COURSE AND LANDSCAPE AREAS WITH TEMPORARY OR PERMANENT STABILIZATION MEASURES.
- 9 CONSTRUCT BLDG. & PAVING. COMPLETE THE PERMANENT STABILIZATION MEASURES.
- 10 REMOVE TEMP. SEDIMENT CONTROL MEASURES WITH APPROVAL OF THE HOWARD COUNTY BUREAU OF LICENSE, INSPECTIONS AND PERMITS.

NOTE: TRENCHING TO BE LIMITED TO THAT WHICH CAN BE BACKFILLED AND STABILIZED IN ANY ONE DAY.



FOR REVISIONS MADE BY BENCHMARK ENGINEERING, INC. ON 5/21/02 & 6/20/02 & 2-14-07 ONLY



DIVISION OF LAND DEVELOPMENT & CONSTRUCTION  
MARYLAND  
6-1-83

OWNER & DEVELOPER  
4017 LLP  
3001 BALTIMORE NATIONAL PIKE  
ELLICOTT CITY, MD 21043

REVIEWED FOR HOWARD S.C.D. AND MELTS TECHNICAL REQUIREMENTS.

*Walter J. Sauser* 9-1-83 DATE  
U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT IS APPROVED SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Walter J. Sauser* 9-1-83 DATE  
HOWARD SOIL CONSERVATION DISTRICT

2-14-07 ADD MATCH LINE & STORM DRAIN FOR SAUSE PACKAGE & REVISE SHEET NUMBERS.  
6-20-02 REVISE LOD AND STORM DRAIN  
5-2-02 REVISE OWNER  
7-24-99 ADDED SERVICE BAYS  
11-14-88 ADD 12' ADDITION TO LENGTH OF BUILDING  
11-24-80 ADD PRIVATE SEWERAGE DISPOSAL AREA FOR SHOWROOM, REVISE PROPERTY GRADES  
17-80 REVISED 30' SETBACK LINE FROM MD. RTE. 99 & ADDED TREES AS REQUESTED BY HO. CO. ORP. BY: G.M. CHK. P.L.H.

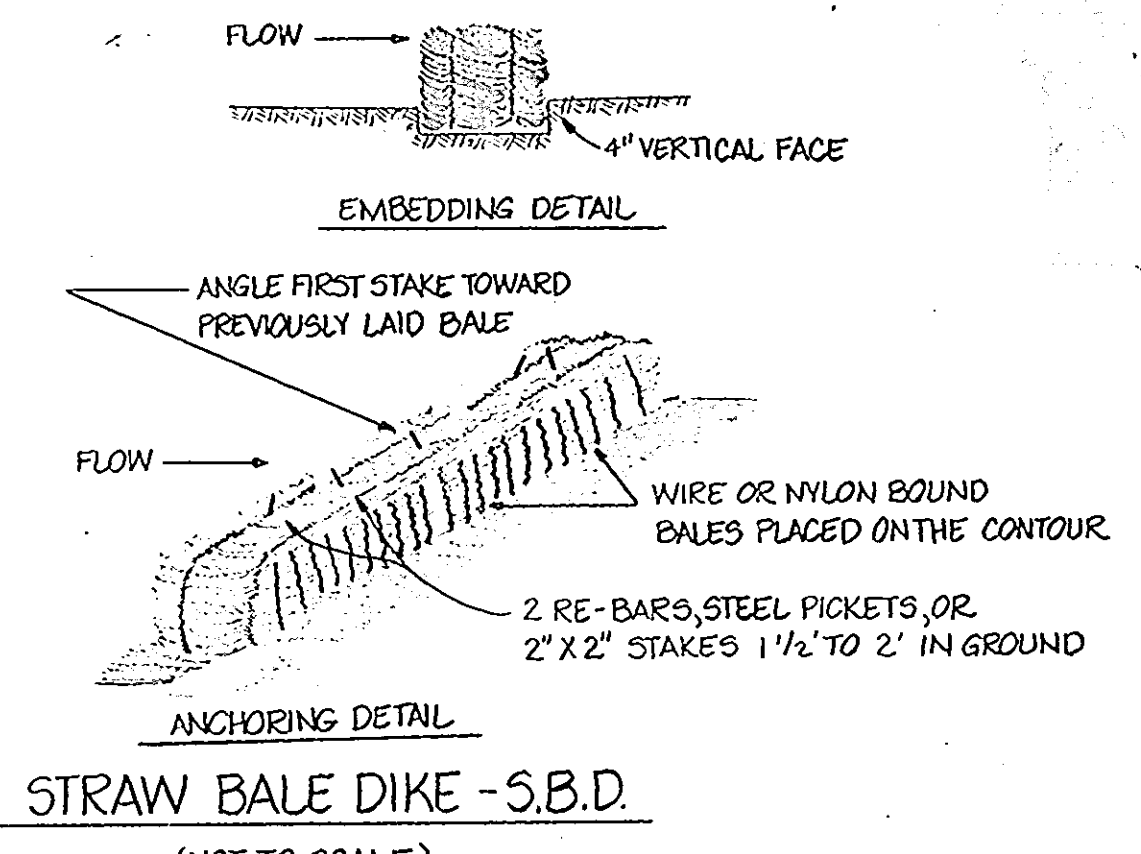
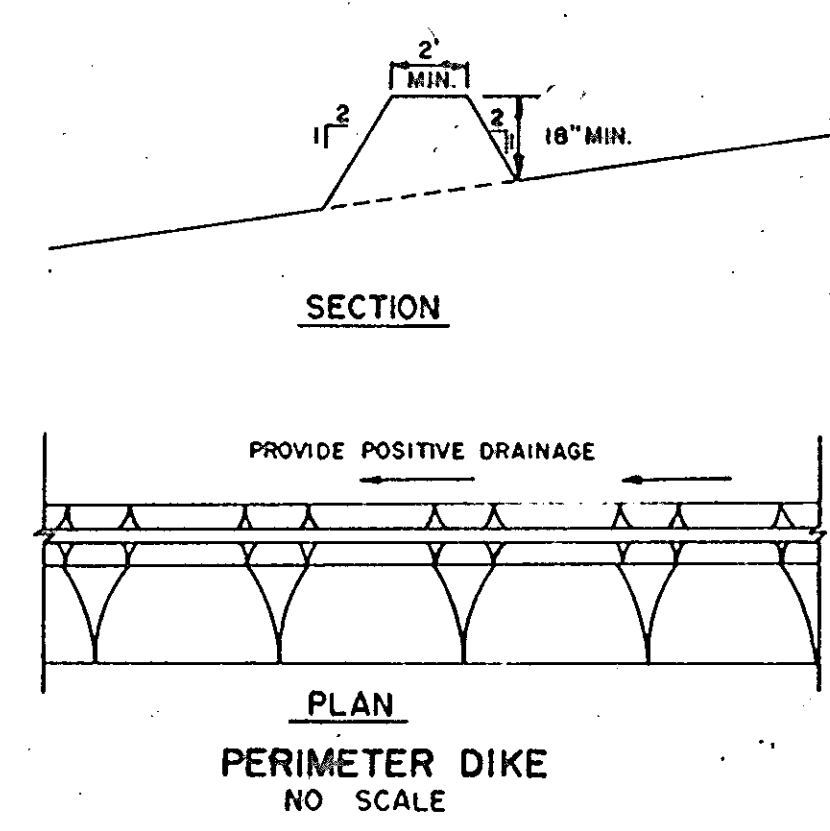
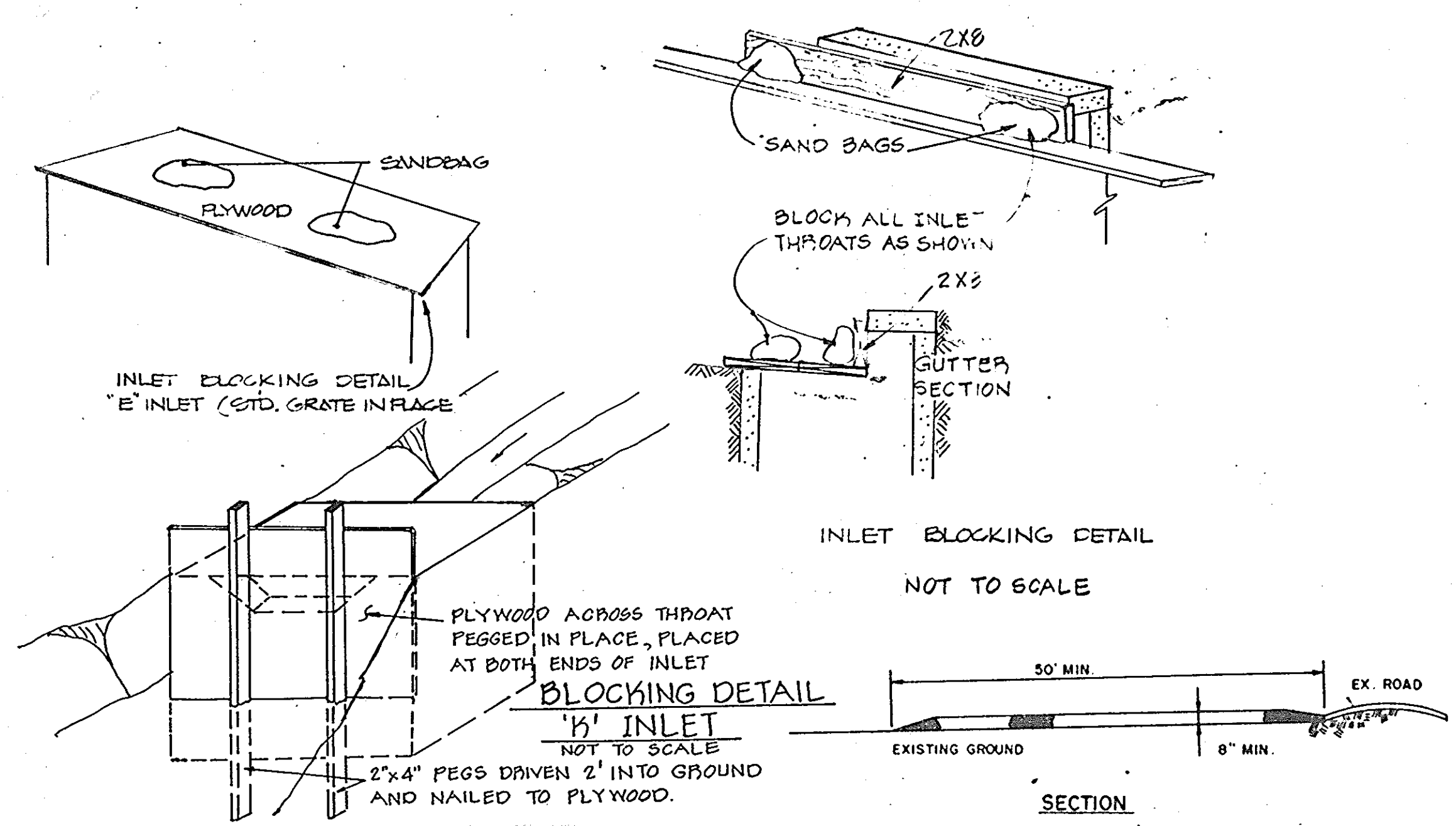
BENCH MARK - HOWARD COUNTY 8.M. STATION 3249002. COORDINATE: N 827 509 355 E 858 619 758 ELEVATION: 854 330  
CONC. MON @ SURFACE 5.5' S OF LEFT TURN LANE OF RT 40 WEST 14' E OF EAST EDGE OF CROSSOVER TO RT. 99

FILED  
PROJECT  
**SEDIMENT CONTROL PLAN**  
O'DONNELL AUTO DEALERSHIP  
LOCATION TAX MAP 29, GRID G, PARCELS 51673  
HOWARD COUNTY, MD.  
DATE: APRIL 1979 DESIGN BY: W.H.N. DRAWN BY: W.H.N. CHECKED BY: F.L.M.  
SCALE: 1" = 30' JOB NO: 7927 DRAWING NO.: 4 OF 8

boender associates  
SUITE 102-107 TOWN & COUNTRY PROFESSIONAL BUILDING  
ELLICOTT CITY, MARYLAND 21043  
BALTIMORE 301-468-7777 BALTIMORE 301-740-1286

engineers  
surveyors  
planners

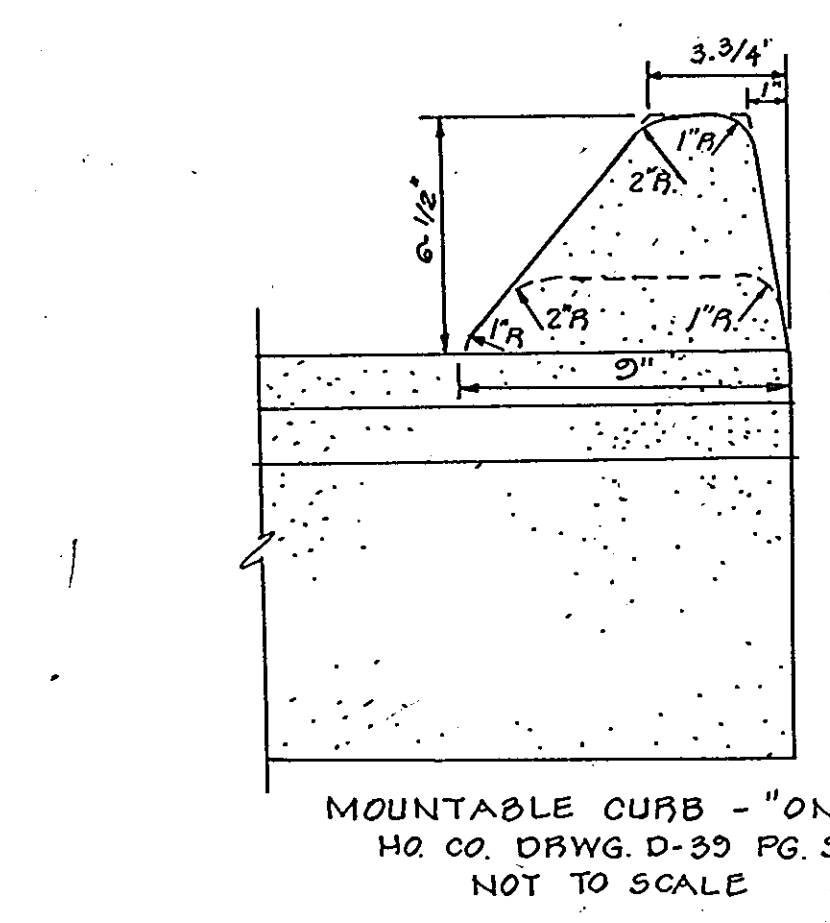
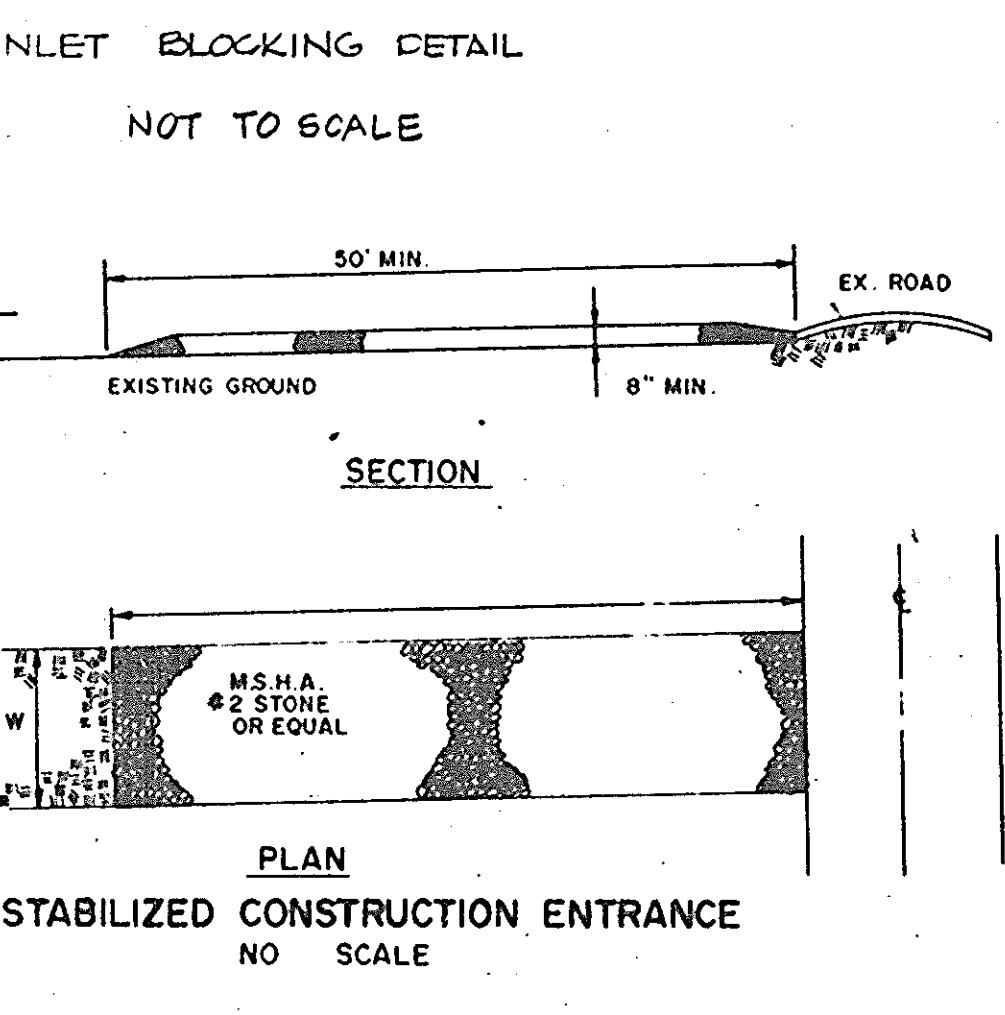
REVISIONS			
ISSUE	BY & DATE	DESCRIPTION	APPROVED & DATE



**ENGINEER'S CERTIFICATE**

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Thomas O'Donnell*  
 ENGINEER  
 DATE: 7/6/83



**DETAIL 23A STANDARD INLET PROTECTION**

CONSTRUCTION SPEC.

1. Excavate completely around the inlet to a depth of 18\"/>
- 2. Drive the 2x4 construction grade lumber, 1/2\"/>
- 3. Ground the east corner of the inlet. Place nail strips along the post ends of the inlet assembly. The top rail of the 2x4 frame with the angle iron must be 1\"/>
- 4. The top of the frame (wire) must be 1\"/>
- 5. Stretch the 1/2\"/>
- 6. Cut a post of 2x4 lumber 18\"/>
- 7. Stretch the 1/2\"/>
- 8. Stretch the 1/2\"/>
- 9. Stretch the 1/2\"/>
- 10. Stretch the 1/2\"/>
- 11. Stretch the 1/2\"/>
- 12. Stretch the 1/2\"/>
- 13. Stretch the 1/2\"/>
- 14. Stretch the 1/2\"/>
- 15. Stretch the 1/2\"/>
- 16. Stretch the 1/2\"/>
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- 19. Stretch the 1/2\"/>
- 20. Stretch the 1/2\"/>

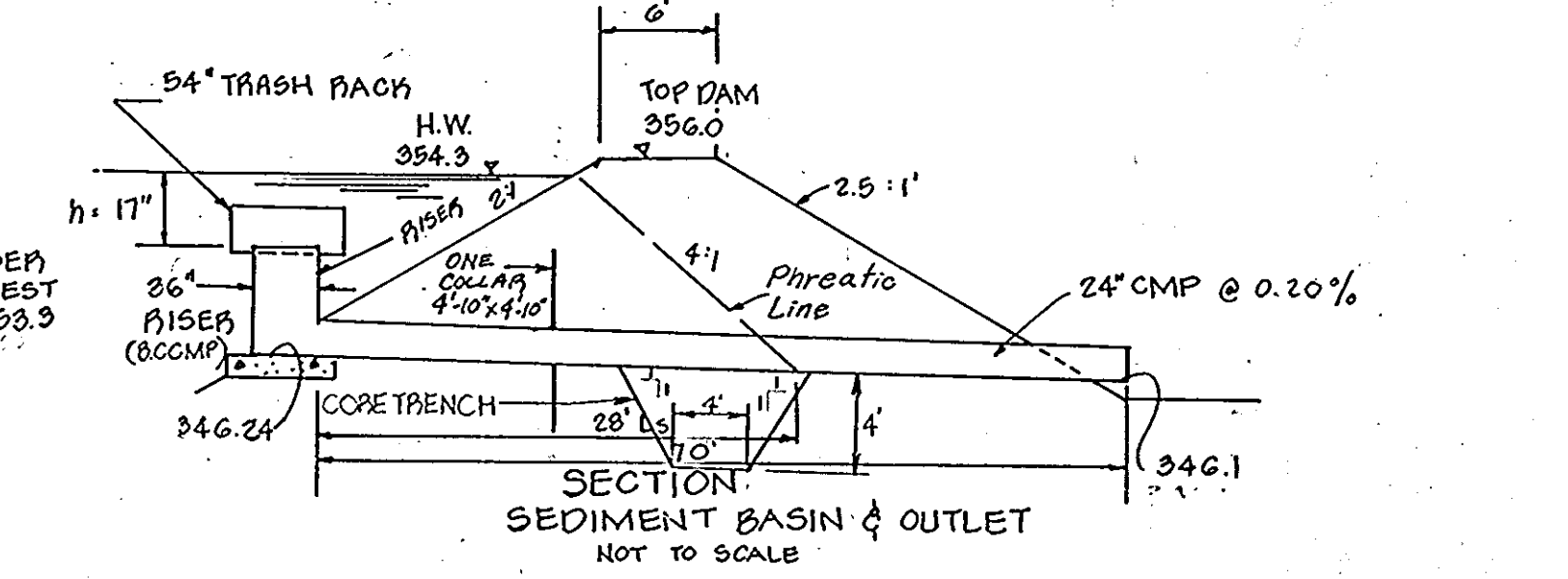
APPROVED  
 DIVISION OF LAND DEVELOPMENT &  
 ZONING ADMINISTRATION  
 HOWARD COUNTY, MARYLAND  
 DATE: 6-1-83

**PAVING DETAIL P-2**  
 (FOR TRAVEL WAYS)  
 (STD. R-2.01)

BITUMINOUS CONC. SURFACE	1 1/2" BAND C-3
BITUMINOUS CONC. BASE PRIME	2 1/2" BAND C-2
8" CRUSHER RUN BASE COURSE OR TWO COURSES STABILIZED ACRAGATE BASE COURSE	8"

**PAVING DETAIL P-1**  
 (FOR PARKING AREA) (STD. R-2.01)

BIT. CONC. SURFACE	1"
BIT. CONC. BASE	2"
PRIME	5"
5" CRUSHER RUN BASE COURSE OR 4" DENSE GRADED STABILIZED AGRAGATE BASE COURSE	5"



**STANDARD SYMBOLS**

DD	2'
IO	2'
PD	2'
S.F.	2'
IS	2'
PS	2'
SCE	2'
SOS	2'
L	2'
GSS-1	2'
A	2'
GSS-2	2'
PSD	2'
GSS-3	2'
PSD	2'
GW	2'

**SEDIMENT CONTROL NOTES**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS." PREPARED BY THE U.S.D.A. SOIL CONSERVATION SERVICE.
2. APPLY FOR GRADING PERMIT.
3. NOTIFY THE BUREAU OF LICENSE INSPECTIONS AND PERMITS 24 HRS. PRIOR TO GRADING OPERATIONS.
4. CONSTRUCTION SHALL ADHERE TO THE CONSTRUCTION SEQUENCE.
5. CUT AND FILL SLOPES SHALL BE 2:1 MAXIMUM.
6. ELEVATIONS MARKED THUS (X) SHALL BE FINISHED GRADE.
7. ANY EXCESS MATERIAL SHALL BE STOCKPILED IN A CLEARED LOCATION ON SITE WHICH IS PROTECTED BY SEDIMENT CONTROL STRUCTURE(S). MAXIMUM FILL SLOPE SHALL BE 3:1. STOCKPILED MATERIAL SHALL BE STABILIZED ACCORDING TO SEEDING SPECIFICATIONS BELOW.
8. SEDIMENT CONTROL STRUCTURES SHALL BE REMOVED ONLY WITH PERMISSION OF THE BUREAU OF LICENSE, INSPECTIONS AND PERMITS.
9. STABILIZATION MEASURES

**TEMPORARY STABILIZATION:**  
 APPLY: 2000 LBS./AC. OR 46 LBS. OF PULVERIZED DOLOMIC LIMESTONE, 500 LBS./AC. OR 11.5 LBS./1000 SQ. FT. OF 10-10-10 FERTILIZER. PLANT WITH RYEGRASS AT 40 LBS./AC. MULCH ALL DISTURBED AREAS IMMEDIATELY AFTER GRADING.

**PERMANENT STABILIZATION:**  
 APPLY: 2000 LBS./AC. OF PULVERIZED DOLOMIC LIMESTONE, 500 LBS./AC. OF 10-10-10 FERTILIZER, 88 LBS./AC. OF KENTUCKY 31 TALL FESCUE, 40 LBS./AC. OF KENTUCKY BLUE GRASS, 25 LBS./AC. OF ANNUAL RYEGRASS.

NOTE: SEEDING MAY BE DONE BETWEEN MARCH 1 - MAY 1, OR AUG. 1 - OCT. 1 ONLY. MULCH ALL DISTURBED AREAS IMMEDIATELY AFTER GRADING.

MULCH: 2 TONS/AC. OF UNWEATHERED WHEATSTRAW. TIE MULCH DOWN WITH 480 GAL./AC. OF LIQUID ASPHALT.

ON FILL SLOPES GREATER THAN 3:1 & NOTATED - [Symbol] APPLY CUTTINGS OF COMMON PERIWINKLE @ 12" - 18" SPACING BETWEEN PLANTS. USE CENTER HOLE PLANTING. MIX 10Z. OF 10-10-10 FERTILIZER WITH SOIL AT BOTTOM OF EACH PLANTING HOLE. ADD TO THE PLANTING HOLE ORGANIC MATERIAL. THE ENTIRE SLOPE SHALL BE SEED WITH 40#/AC. ANNUAL RYEGRASS AND COVERED WITH A PROTECTIVE MULCH. IF FRESH WOOD CHIPS, WOOD SHAVINGS OR SAWDUST IS USED AS MULCH, SUBSTITUTE SLOW RELEASE FERTILIZER 7-40-6 OR 38-0-0 FOR 10-10-10 SPECIFIED ABOVE.

ON ALL OTHER FILL SLOPES GREATER THAN 3:1, SUBSTITUTE THE FOLLOWING: MIX 40 LBS./AC. OF KENTUCKY 31 TALL FESCUE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS: HOWARD COUNTY HEALTH DEPARTMENT.

*John P. Miller*  
 COUNTY HEALTH OFFICER  
 DATE: 9-14-83

*Donald L. Davis*  
 PLANNING DIRECTOR  
 DATE: 9-15-83

*Thomas O'Donnell*  
 DATE: 9-15-83

*Steve J. Neumeier*  
 DIRECTOR  
 DATE: 9-8-83

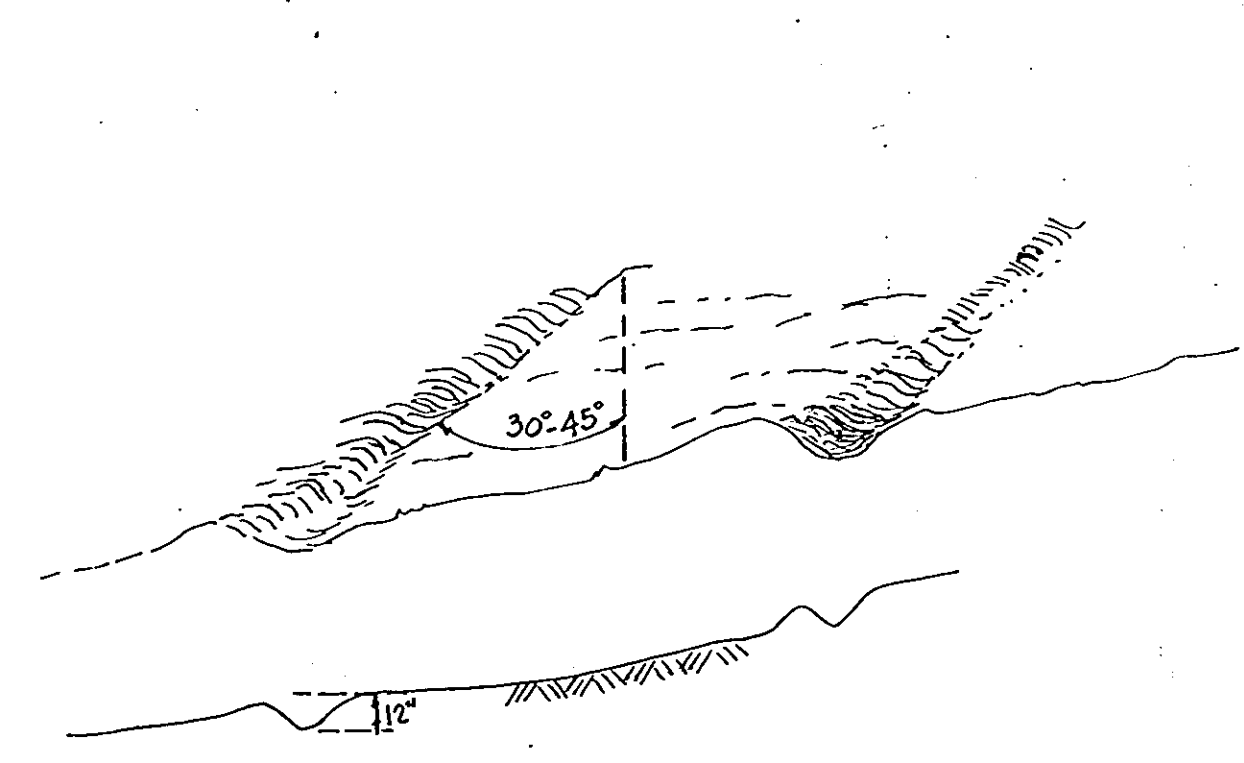
*William R. R. R.*  
 CHIEF BUREAU OF ENGINEERING  
 DATE: 9-8-83

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS.

*James M. Stelm*  
 U.S. SOIL CONSERVATION SERVICE  
 DATE: 9-1-83

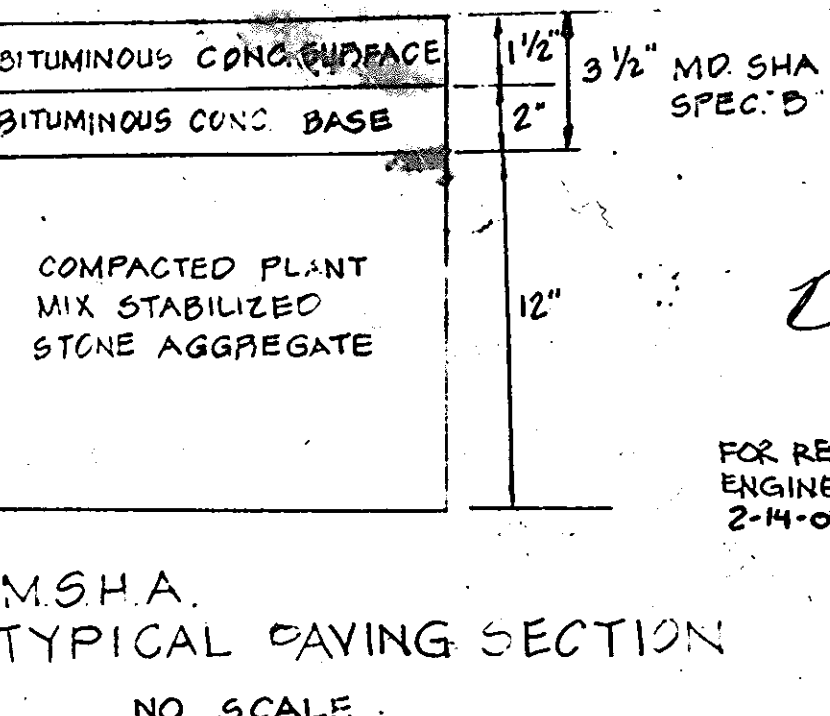
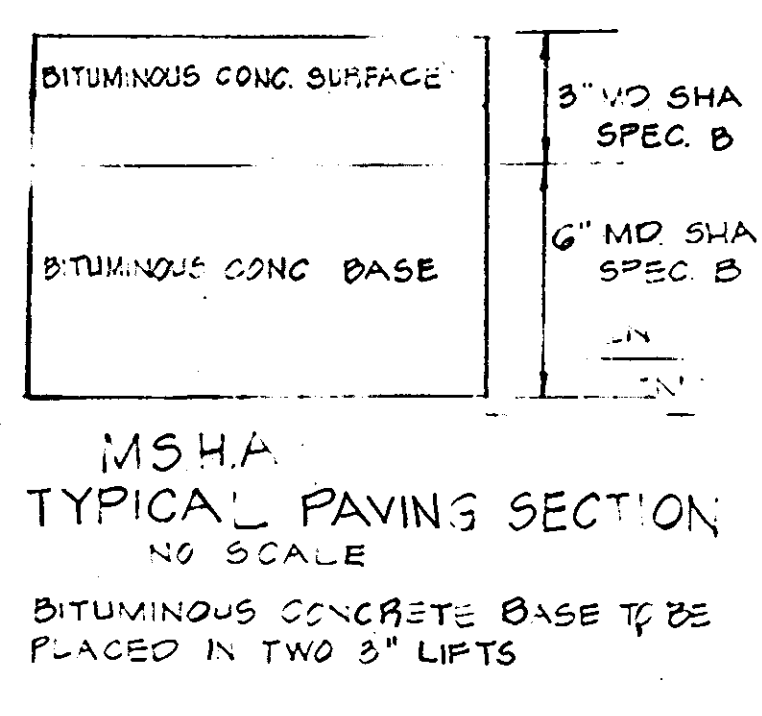
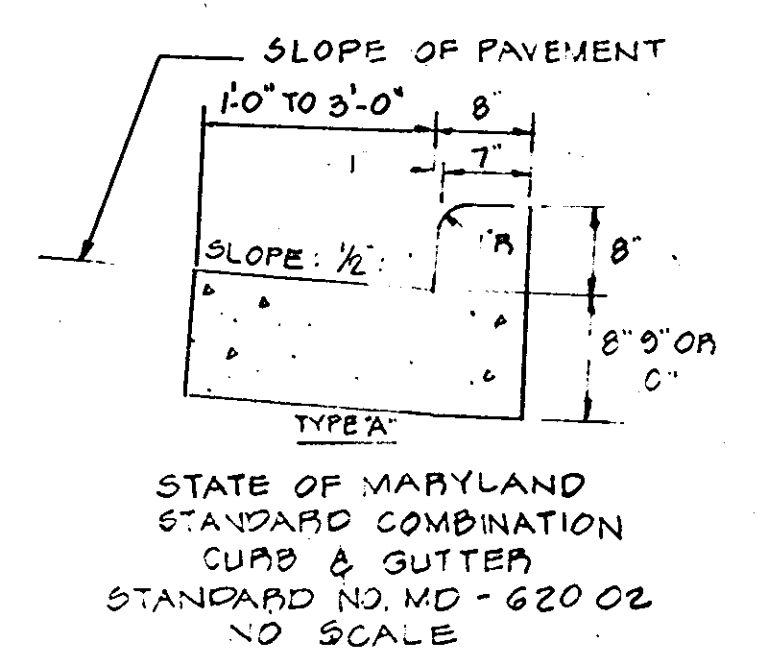
THIS DEVELOPMENT IS APPROVED SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Wm. J. Rame*  
 HOWARD SOIL CONSERVATION DISTRICT  
 DATE: 9-1-83



**WATER BREAK**

1. THE WATER BREAK IS INSTALLED 30-40' DOWNSLOPE.
2. THE OUTLET END IS OPEN & EXTENDS BEYOND THE SURFACE OF THE ROAD.
3. THE DEPTH IS AT LEAST 12 INCHES BELOW THE ROAD SURFACE.
4. THE INLET END EXTENDS INTO THE SIDE DITCH OR CUT SLOPE.



**DEVELOPER'S CERTIFICATE**

I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Thomas O'Donnell*  
 DEVELOPER - MR. THOMAS O'DONNELL  
 DATE: 7/6/83

FOR REVISION MADE BY BENCHMARK ENGINEERING, INC. ON 5/2/02 AND 2-14-01 ONLY

**OWNER & DEVELOPER**

40-99 LLP  
 8620 BALTIMORE NATIONAL PIKE  
 ELLICOTT CITY, MD. 21043

**SEDIMENT CONTROL DETAILS**

PROJECT: O'DONNELL AUTO DEALERSHIP

LOCATION: TAX MAP 24 GRID 6 PARCELS 51 & 173  
 2ND ELECTION DISTRICT HOWARD COUNTY, MD

DATE: MAY, 1979 DES. BY: W.N. DRAWN BY: G.M. CHKD. BY: R.L.M.

SCALE: AS SHOWN JOB NO. 7927 DRWG. NO.: 5 OF 8

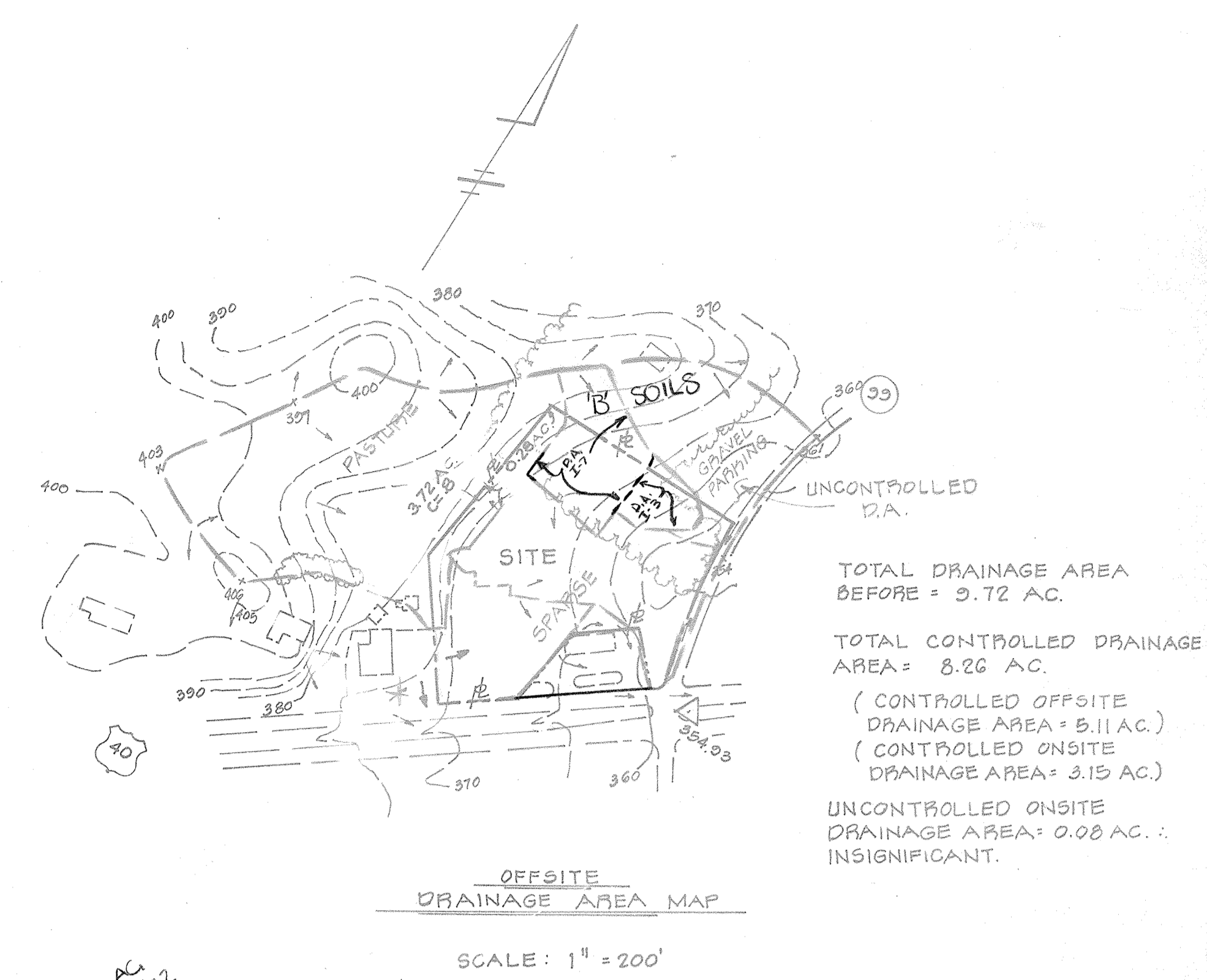
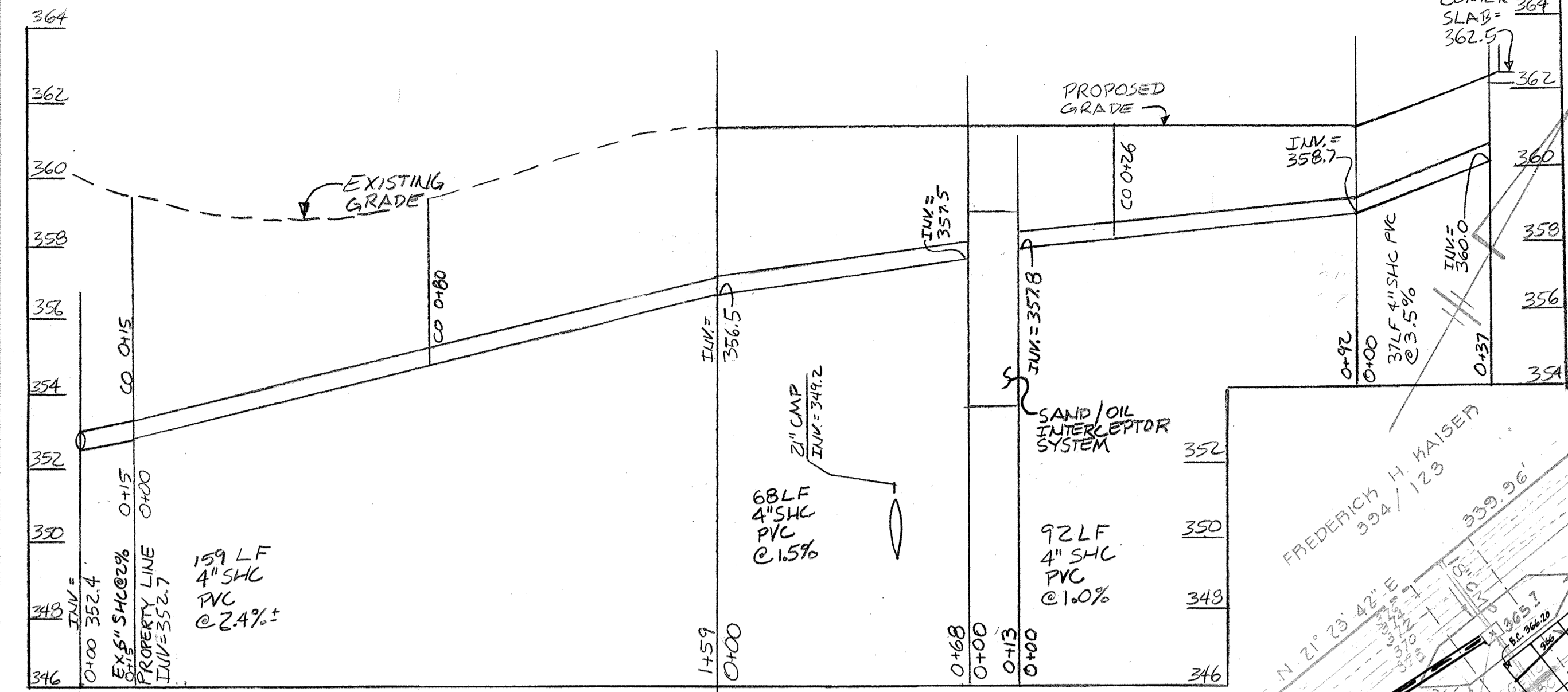
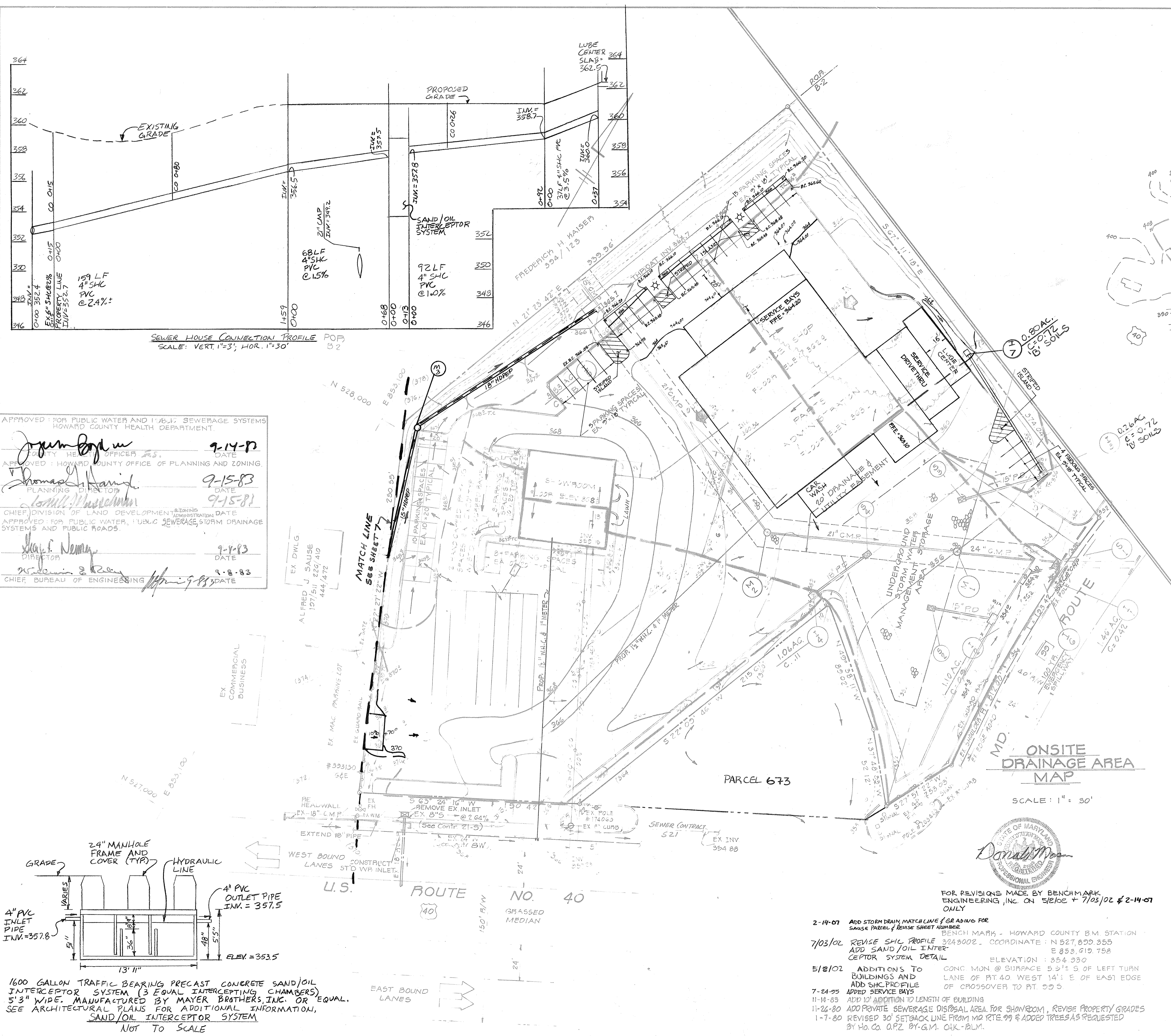
**BOENDER ASSOCIATES, INC.**

SUITE 101-107  
 TOWN & COUNTRY PROFESSIONAL BLDG.  
 ELLICOTT CITY, MD. 21043

*Thomas O'Donnell*  
 DATE: 7/6/83

**BOENDER ASSOCIATES, INC.**

SDP-83-189



APPROVED FOR PUBLIC WATER AND SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT.

*Jaym Boyd* 9-14-83  
PLANNING OFFICER DATE

*Thomas Harid* 9-15-83  
PLANNING DIRECTOR DATE

*Tom M. Muschman* 9-15-81  
CHIEF DIVISION OF LAND DEVELOPMENT & ZONING DATE

*Walter Neumaier* 9-1-83  
DIRECTOR DATE

*W. R. ...* 9-8-83  
CHIEF BUREAU OF ENGINEERING DATE

APPROVED  
DIVISION OF LAND DEVELOPMENT &  
ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 6-1-83  
*M. ...*

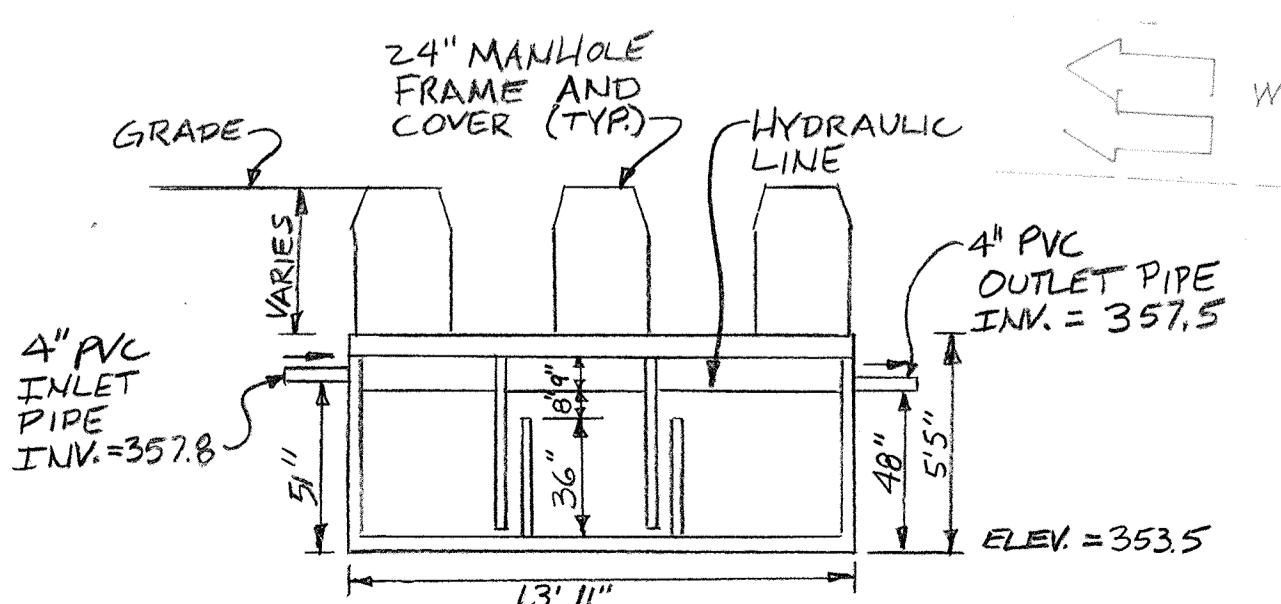
**ONSITE DRAINAGE AREA MAP**

SCALE: 1" = 30'



FOR REVISIONS MADE BY BENCHMARK ENGINEERING, INC. ON 5/2/02 + 7/03/02 & 2-14-07 ONLY

- 2-14-07 ADD STORM DRAIN MATCH LINE / GRADING FOR SAUSE PARCEL / REVISE SHEET NUMBER
- 7/03/02 REVISE SHC PROFILE 3243002 - COORDINATE: N 527,899.355  
ADD SAND/OIL INTERCEPTOR SYSTEM DETAIL ELEVATION: 354.930
- 5/2/02 ADDITIONS TO BUILDINGS AND ADD SHC PROFILE CONC. MON @ SURFACE 5'± S OF LEFT TURN LANE OF RT. 40 WEST 14' E OF EAST EDGE OF CROSSOVER TO RT. 99 S
- 7-24-95 ADDED SERVICE BAYS
- 11-18-83 ADD 10' ADDITION TO LENGTH OF BUILDING
- 11-26-80 ADD PRIVATE SEWERAGE DISPOSAL AREA FOR SHOWROOM, REVISE PROPERTY GRADES
- 1-7-80 REVISED 30' SETBACK LINE FROM MD RTE. 99 & ADDED TREES AS REQUESTED BY HO. CO. O.P.Z. BY G.M. CHK. - P.L.M.



1600 GALLON TRAFFIC BEARING PRECAST CONCRETE SAND/OIL INTERCEPTOR SYSTEM (3 EQUAL INTERCEPTING CHAMBERS) 5'3" WIDE. MANUFACTURED BY MAYER BROTHERS, INC. OR EQUAL. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION, SAND/OIL INTERCEPTOR SYSTEM  
NOT TO SCALE

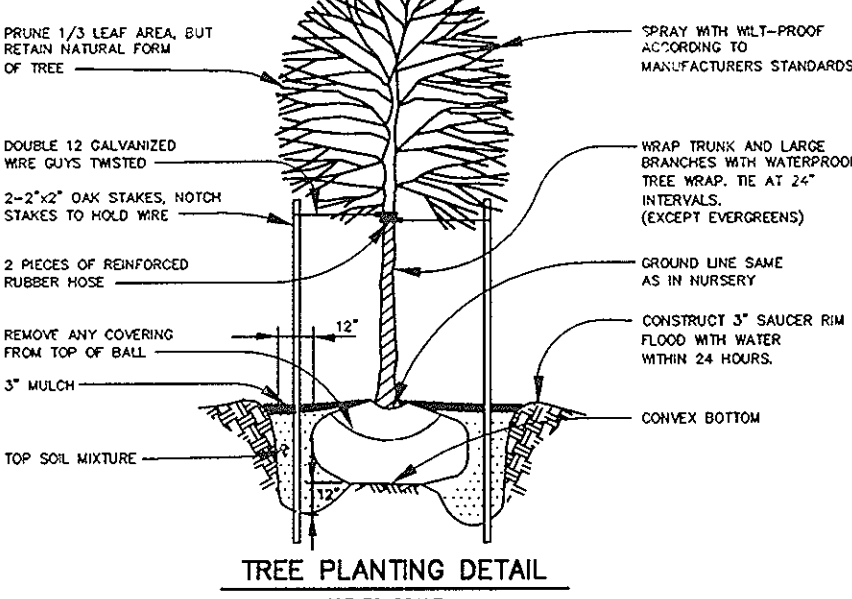
TITLE: SHC PROFILE & DRAINAGE AREA MAPS  
PROJECT: O'DONNELL AUTO DEALERSHIP  
LOCATION: TAX MAP 24, GRID 6, PARCELS 51 & 673  
2ND ELECTION DISTRICT HOWARD COUNTY, MD.

DATE: MAY 1979	DESIGN BY: W.H.N.	DRAWN BY: W.H.N.	CHECKED BY: P.L.M.
SCALE: AS SHOWN	JOB NO.: 7927	DRAWING NO.: 6 OF 8	

boender associates engineers/surveyors/planners  
SUITE 102 107 TOWN & COUNTRY PROFESSIONAL BUILDING  
ELLCOTT CITY, MARYLAND 21043  
BALTIMORE 301-468-7777 SALISBURY 301-746-1288

**SAUSE CENTER GENERAL NOTES**

1. THE SUBJECT PROPERTY IS ZONED B-2 PER THE 2/02/2004 COMPREHENSIVE ZONING PLAN.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
3. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS CONSTRUCTION INSPECTION DIVISION AT 410-513-1880 AT LEAST (FIVE) 5 WORKING DAYS PRIOR TO THE START OF WORK.
4. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK AND RECEIVE CONFORMANCE THAT ALL UTILITIES HAVE BEEN MARKED BEFORE PROCEEDING WITH SITE WORK.
5. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
6. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
7. THE CONTOURS SHOWN HEREON HAVE BEEN TAKEN FROM FIELD RUN TOPOGRAPHIC SURVEYS AT 2' INTERVAL. THE TOPOGRAPHY WAS PREPARED BY MORRIS & RITCHIE ASSOCIATES, DATED APRIL, 1999, AND SUPPLEMENTED WITH TOPOGRAPHY PURCHASED FROM HOWARD COUNTY, GEOGRAPHICAL INFORMATION SYSTEMS.
8. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENTS NOS. 18G1 AND 24C2 WERE USED FOR THIS PROJECT.
9. BOUNDARY SURVEY WAS PERFORMED BY MORRIS & RITCHIE ON OR ABOUT APRIL, 1999.
10. WATER AND SEWER FOR THIS SUBDIVISION IS PUBLIC. SEWER & WATER CONTRACT NOS. ARE #21-S AND #133-W. THE DRAINAGE AREA IS THE PATAPUSCO WATERSHED.
11. ALL HANDICAP RAMPS SHALL BE IN ACCORDANCE WITH HOWARD COUNTY STD. DETAIL R4-01 AND ALL CURRENT ADA REQUIREMENTS.
12. THERE ARE NO WETLANDS OR FLOODPLAIN WITHIN THE AREA OF THIS SUBMISSION.
13. IMPROVEMENTS ON ADJOINING PARCELS ARE SHOWN FOR GRAPHICAL PURPOSES ONLY. THESE PARCELS CURRENTLY ARE IMPROVED WITH COMMERCIAL BUILDINGS AND PARKING LOTS, REFER TO THE SITE DEVELOPMENT PLANS FOR THESE PARCELS FOR ANY INFORMATION REGARDING THE IMPROVEMENTS.
14. THE ALLOWED USES ON THIS PARCEL ARE LIMITED TO THOSE LISTED IN SECTION 119.B OF THE ZONING REGULATIONS.
15. GEOTECHNICAL REPORT IS NOT REQUIRED.
16. EXISTING UTILITIES WERE LOCATED BY RECORD DRAWINGS AND FIELD LOCATIONS BY BENCHMARK ENGINEERING INC., DATED APRIL, 2003.
17. UNLESS NOTED AS "PRIVATE" ALL EASEMENTS ARE PUBLIC.
18. NO PREVIOUS DEPARTMENT OF PLANNING AND ZONING REFERENCE NUMBERS.
19. CONTRACTOR SHALL ADJUST ALL UTILITIES, RIM ELEVATIONS AND INVERT ELEVATIONS AS NEEDED TO MATCH THIS PLAN.
20. ALL EXTERIOR LIGHTING SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL VOLUME III (1993), ZONING SECTION 134 AND AS SHOWN ON THESE PLANS.
21. FOGLE'S SEPTIC CLEAN AND FOGLE'S WELL DRILLING INSPECTED THIS PROPERTY AND FOUND NO WATER WELLS OR SEPTIC SYSTEMS THAT NEED TO BE ABANDONED. SEE THEIR LETTER DATED JULY 27, 2007.



- NOTE:**
1. TREES SHOULD BE PLANTED A MINIMUM OF 6 FEET FROM THE EDGE OF PAVING AND MUST BE A MINIMUM OF 5 FEET FROM ANY STORM DRAIN.
  2. TREES MUST BE PLANTED A MINIMUM OF 5 FEET FROM AN OPEN SPACE ACCESS STRIP AND 10 FEET FROM A DRIVEWAY.
  3. SEE TREE PLANTING DETAIL - THIS SHEET.
  4. THE DEVELOPER SHALL BE RESPONSIBLE FOR STREET TREES, STORMWATER MANAGEMENT FACILITY PERIMETER PLANTING AND PRESERVATION OF THE PERMETER VEGETATION AS SHOWN ON THESE PLANS.
  5. ALL LANDSCAPING REQUIREMENTS FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL AND SECTION 16.124(b)(3)(D) OF THE SUBDIVISION REGULATIONS. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING WILL BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$1,800.00 (FOR 6 SHADE TREES).

**SAUSE CENTER STREET TREE CALCULATIONS**

STREET TREES REQUIRED FOR 174 LF. OF RIGHT-OF-WAY FRONTAGE FOR THE SAUSE CENTER  
 $175/30 = 6$  STREET TREES REQUIRED.

SAUSE CENTER		PLANTING LIST	
SYMBOL	QUANTITY	NAME	REMARKS
	6	ACER GRiseum PAPERBARK MAPLE	1 1/2" MIN. CAL. B&B FULL HEAD

**SAUSE CENTER DEVELOPER'S/BUILDER'S CERTIFICATION**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND LANDSCAPE MANUAL. I/FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF NOTICE, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: Tom O'Donnell DATE: 5/15/07

TOM O'DONNELL, O'DONNELL HONDA

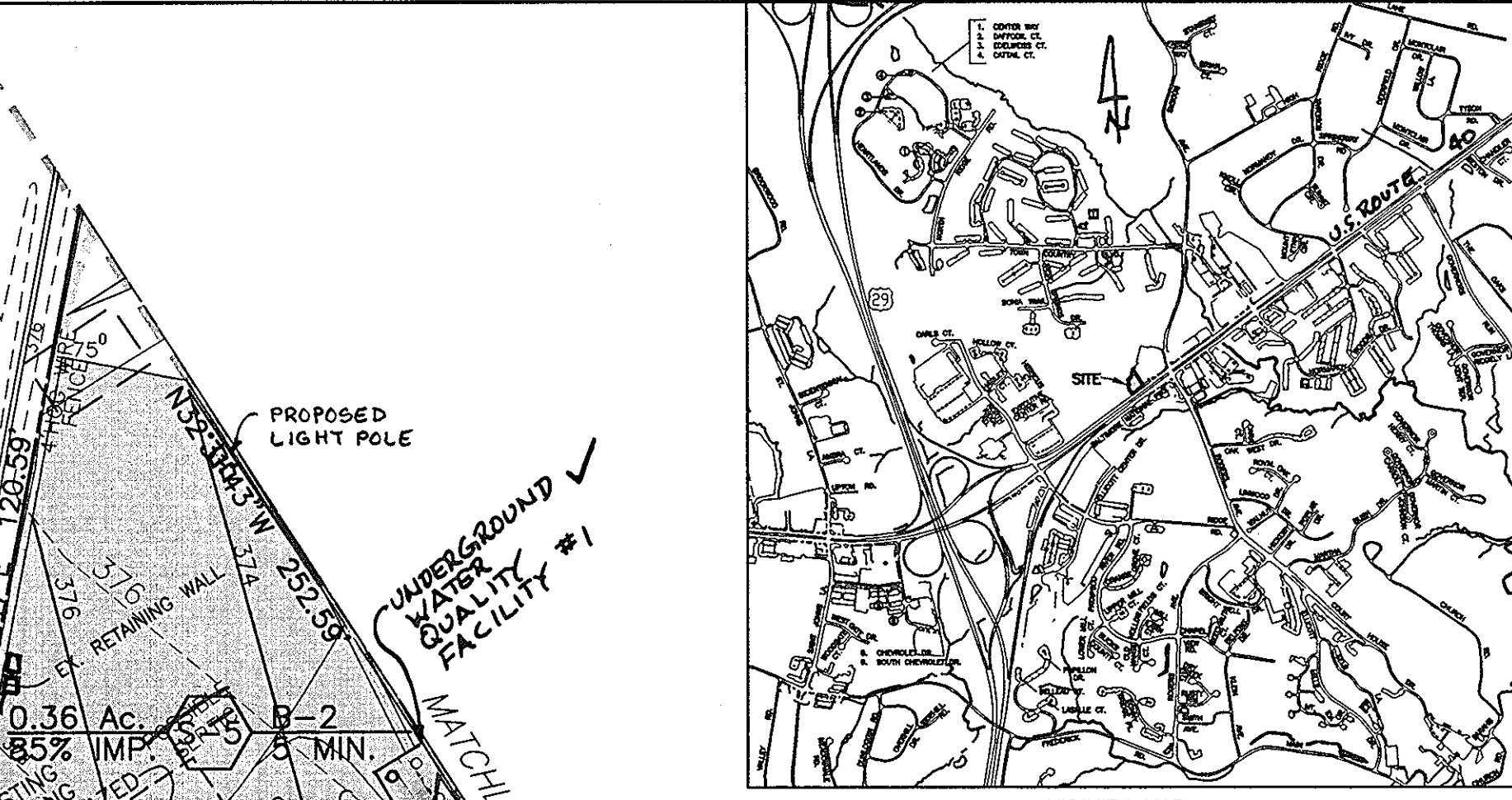
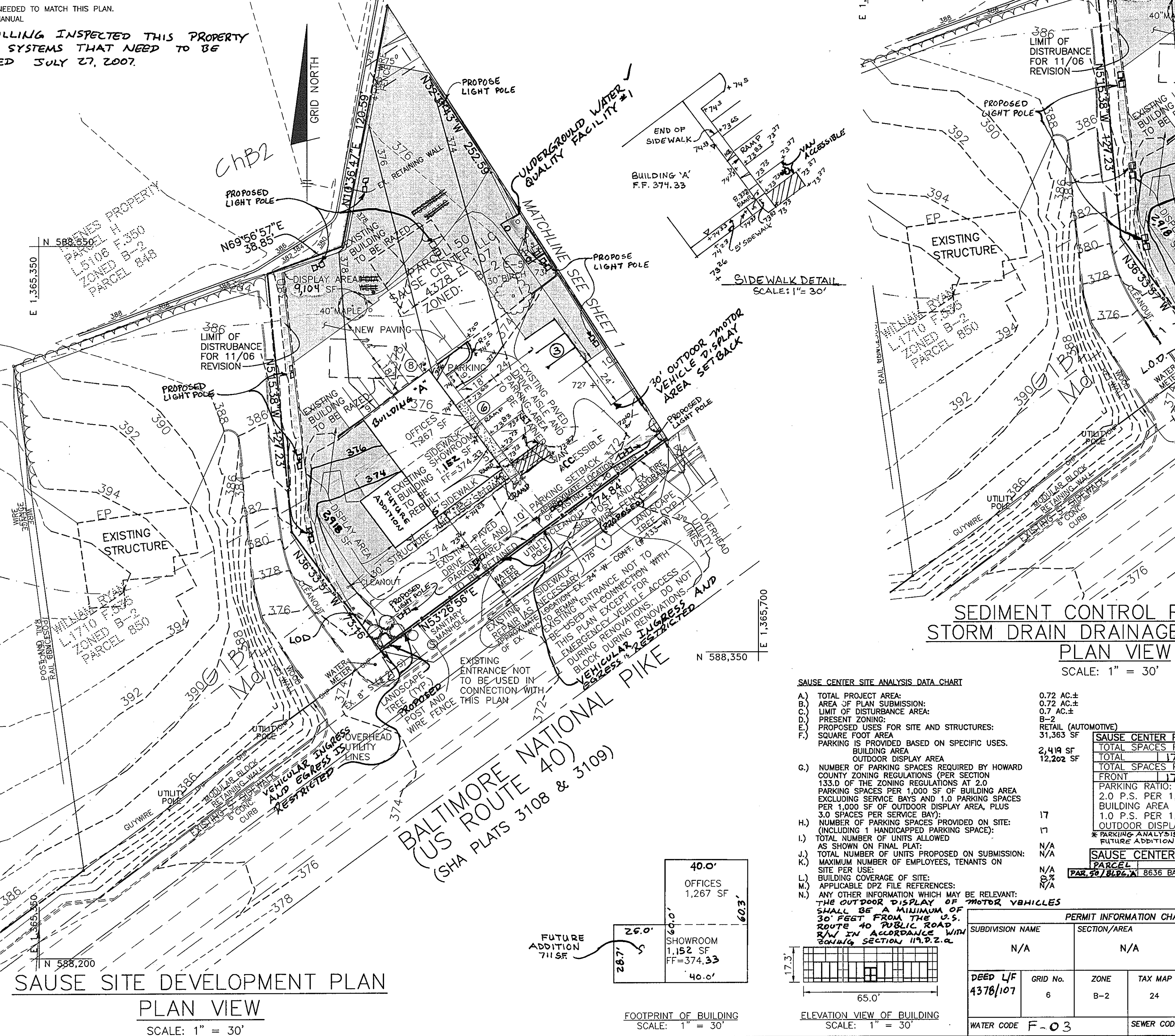
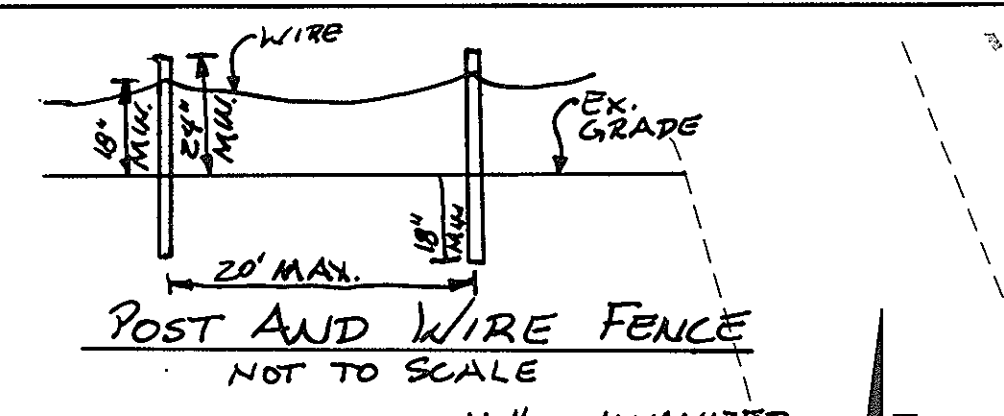
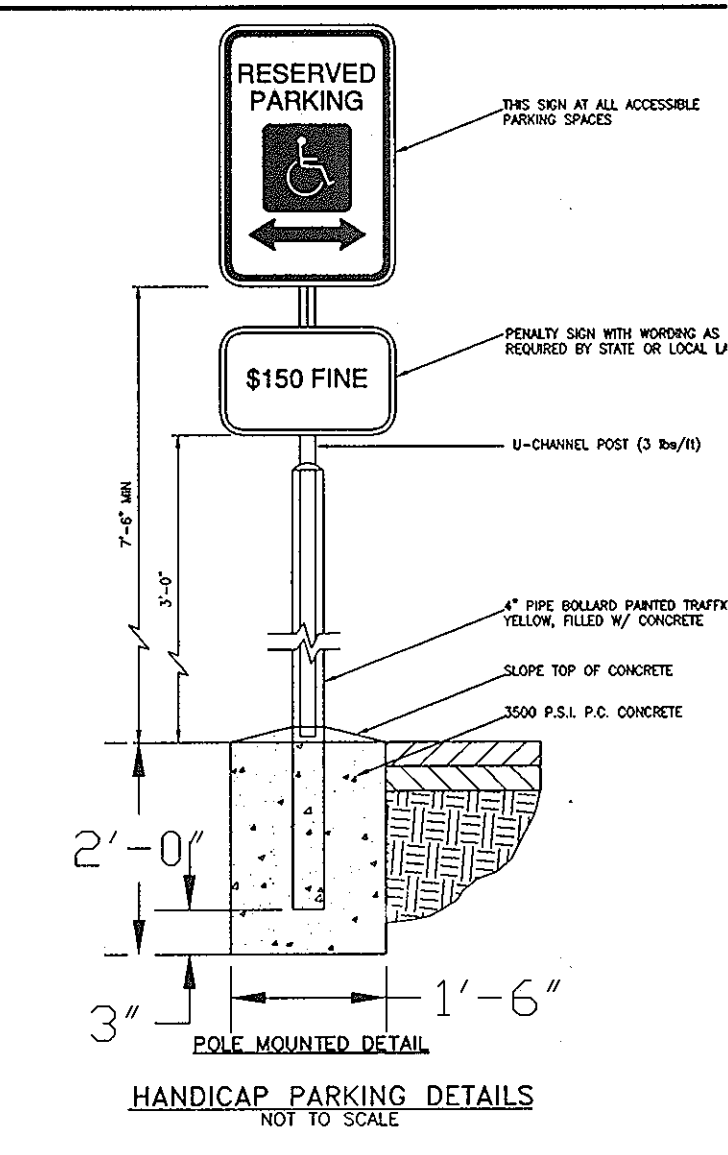
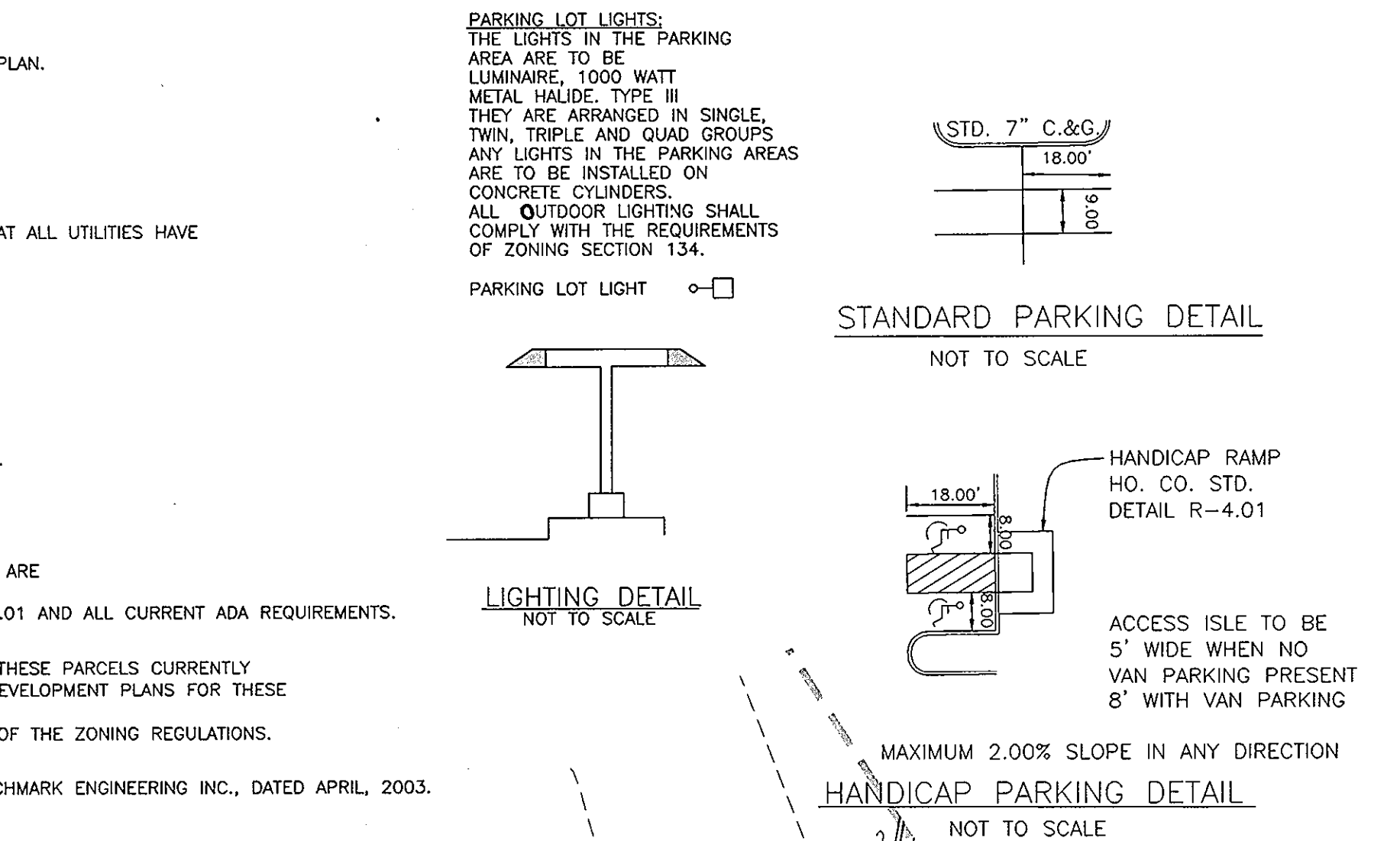
22. WAIVER PETITION, WP-07-006, A REQUEST TO WAIVE SECTION 16.153(a) TO PERMIT NON-RESIDENTIAL DEVELOPMENT WITHOUT AN APPROVED SITE DEVELOPMENT PLAN WAS DENIED BY THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND ZONING ON AUGUST 24, 2006.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Andy Hanna 12/15/07  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE

William... 10/10/07  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 DATE

Rash... 11/15/07  
 DIRECTOR  
 DATE



**SEDIMENT CONTROL PLAN AND STORM DRAIN DRAINAGE AREA MAP**

**SAUSE CENTER SITE ANALYSIS DATA CHART**

A) TOTAL PROJECT AREA:	0.72 AC.±
B) AREA OF PLAN SUBMISSION:	0.72 AC.±
C) LIMIT OF DISTURBANCE AREA:	0.7 AC.±
D) PRESENT ZONING:	B-2
E) PROPOSED USES FOR SITE AND STRUCTURES:	RETAIL (AUTOMOTIVE)
F) SQUARE FOOT AREA FOR SITE AND STRUCTURES:	31,363 SF
G) NUMBER OF PARKING SPACES REQUIRED BY HOWARD COUNTY ZONING REGULATIONS (PER SECTION 133.D OF THE ZONING REGULATIONS AT 2.0 PARKING SPACES PER 1,000 SF OF BUILDING AREA EXCLUDING SERVICE BAYS AND 1.0 PARKING SPACES PER 1,000 SF OF OUTDOOR DISPLAY AREA, PLUS 3.0 SPACES PER SERVICE BAY):	2,419 SF
H) NUMBER OF PARKING SPACES PROVIDED ON SITE: (INCLUDING 1 HANDICAPPED PARKING SPACE):	12,292 SF
I) TOTAL NUMBER OF UNITS ALLOWED AS SHOWN ON FINAL PLAN:	17
J) TOTAL NUMBER OF UNITS PROPOSED ON SUBMISSION:	17
K) MAXIMUM NUMBER OF EMPLOYEES, TENANTS ON SITE PER USE:	N/A
L) BUILDING COVERAGE OF SITE:	N/A
M) APPLICABLE DEZ FILE REFERENCES:	N/A
N) ANY OTHER INFORMATION WHICH MAY BE RELEVANT:	N/A

**SAUSE CENTER PARKING TABULATION**

TOTAL SPACES REQUIRED:	2,419
TOTAL SPACES PROVIDED:	12,292
PARKING RATIO:	5.0
2.0 P.S. PER 1,000 SF BUILDING AREA = 4.94*	
1.0 P.S. PER 1,000 SF OUTDOOR DISPLAY AREA = 12.02	

**SAUSE CENTER ADDRESS CHART**

PARCEL 50 BLDG. #	8636 BALTIMORE NATIONAL PIKE
-------------------	------------------------------

**PERMIT INFORMATION CHART**

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL#			
N/A	N/A	PARCEL 50			
DEED L/F	GRID No.	ZONE	TAX MAP	ELEC. DIST.	CENSUS
4378/107	6	B-2	24	2nd	6026.00

WATER CODE F-03 SEWER CODE 1432800

NO.	DATE	REVISION
2	7-15-08	REVISE BUILDING, GRADING AND PARKING
1	5/16/2007	ADDED POST AND WIRE FENCE

**BENCHMARK ENGINEERING, INC.**  
 8480 BALTIMORE NATIONAL PIKE & SUITE 418  
 ELLICOTT CITY, MARYLAND 21043  
 PHONE: 410-465-6105 FAX: 410-465-6844  
 www.bei-civilengineering.com

OWNER: SAUSE CENTER LLC  
 8608 SMITH AVENUE  
 ELLICOTT CITY, MD 21043

DEVELOPER: O'DONNELL HONDA  
 8620 BALTIMORE NATIONAL PIKE  
 ELLICOTT CITY, MD 21043  
 410-461-5000

PROJECT: O'DONNELL AUTO DEALERSHIP  
 SAUSE'S CENTER REVITALIZATION

LOCATION: TAX MAP No. 24, GRID No. 6, PARCEL No. 50  
 2nd ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

TITLE: SUPPLEMENTAL SHEET TO ADD PARCEL 50  
 REVISED SITE DEVELOPMENT PLAN  
 SAUSE CENTER

DATE: NOVEMBER, 2006  
 JANUARY, 2007  
 PROJECT NO. 1952

SCALE: 1" = 30'  
 DESIGN: JMC DRAFT: JMC  
 SHEET 2 OF 8

Donnell Man  
 PROFESSIONAL LAND SURVEYOR  
 AS - BUILT 1-17-10

SEDIMENT CONTROL NOTES

- 1. A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION, (313-1850).

Table with 2 columns: Description, Value. Includes: TOTAL AREA OF SITE 0.72 ACRES, AREA DISTURBED 0.7 ACRES, AREA TO BE ROOFED OR PAVED 0.6 ACRES, AREA TO BE VEGETATIVELY STABILIZED 0.1 ACRES, TOTAL CUT 370 CY, TOTAL FILL 20 CY, OFFSITE WASTE/BORROW AREA LOCATION SEE NOTE #12.

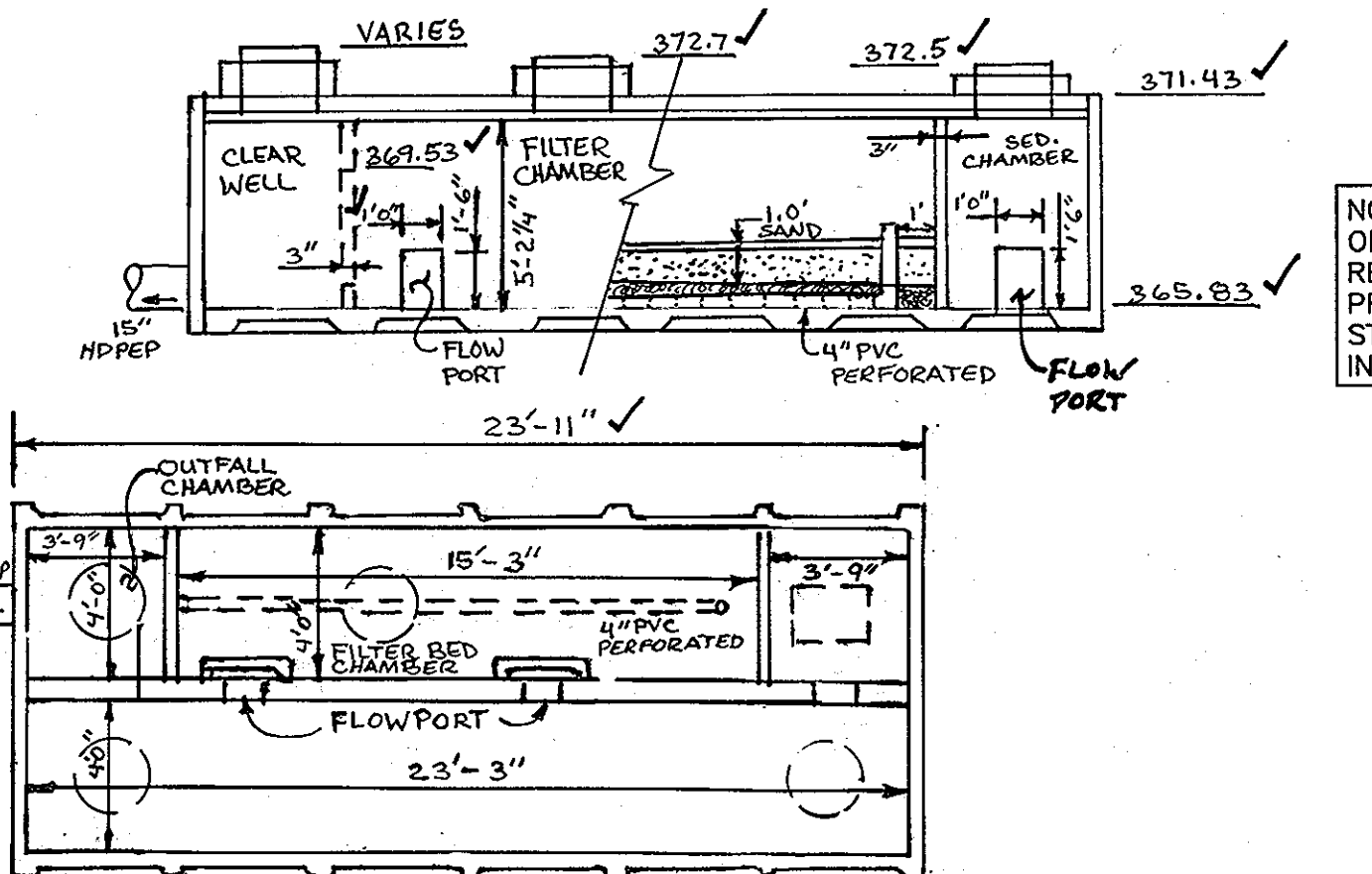
TOPSOIL SPECIFICATIONS

- 1. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-NRCS in cooperation with Maryland Agricultural Experiment Station.

TABLE B.3.1 MATERIALS AND SPECIFICATIONS FOR SAND FILTERS. Columns: MATERIAL, SPECIFICATION, SIZE, NOTES. Includes materials like NON-REBAR STEEL, PE GRAVEL, GEOTEXTILE, UNDERDRAIN GRAVEL, UNDERDRAIN PIPING, POWDER-IN-PLACE CONC., SAND.

OPERATION & MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED UNDERGROUND STORMWATER FILTRATION SYSTEMS SAND FILTER (WQ#1)

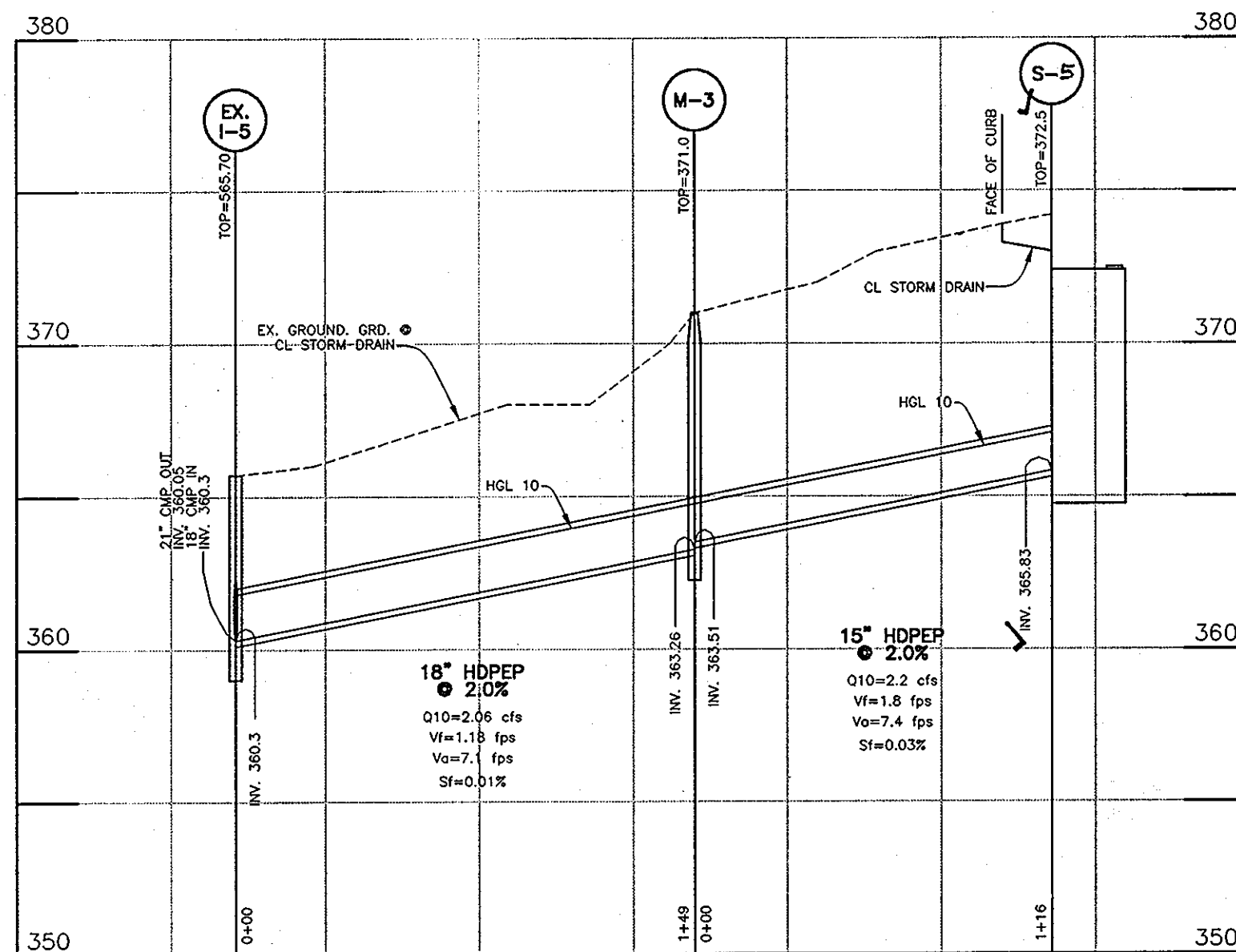
- 1. THE SEDIMENT CHAMBER OUTLET DEVICES SHALL BE CLEANED AND/OR REPAIRED WHEN DRAINDOWN TIMES WITHIN THE CHAMBER EXCEEDS 36 HOURS.



NOTE: PRIOR TO CONSTRUCTION OF SAND FILTER, STEEL REINFORCEMENT DESIGN SHALL BE PROVIDED AND SEALED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF MARYLAND.

SIDE VIEW

UNDERGROUND WATER QUALITY FACILITY #1 SCALE: 1\"/>



PERMANENT SEEDBED PREPARATIONS

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

TEMPORARY SEEDBED PREPARATIONS

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM NESTING COVER IS NEEDED.

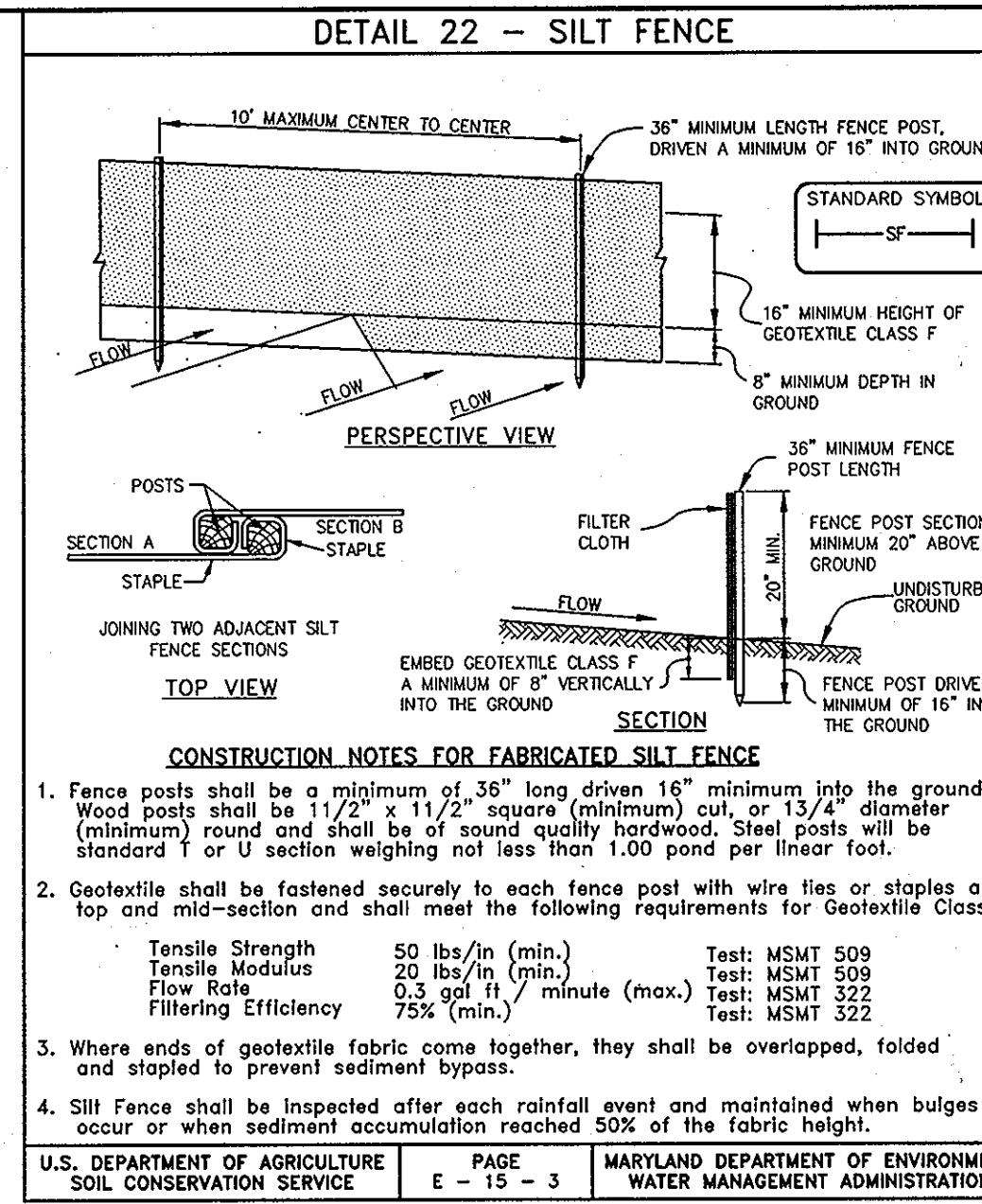
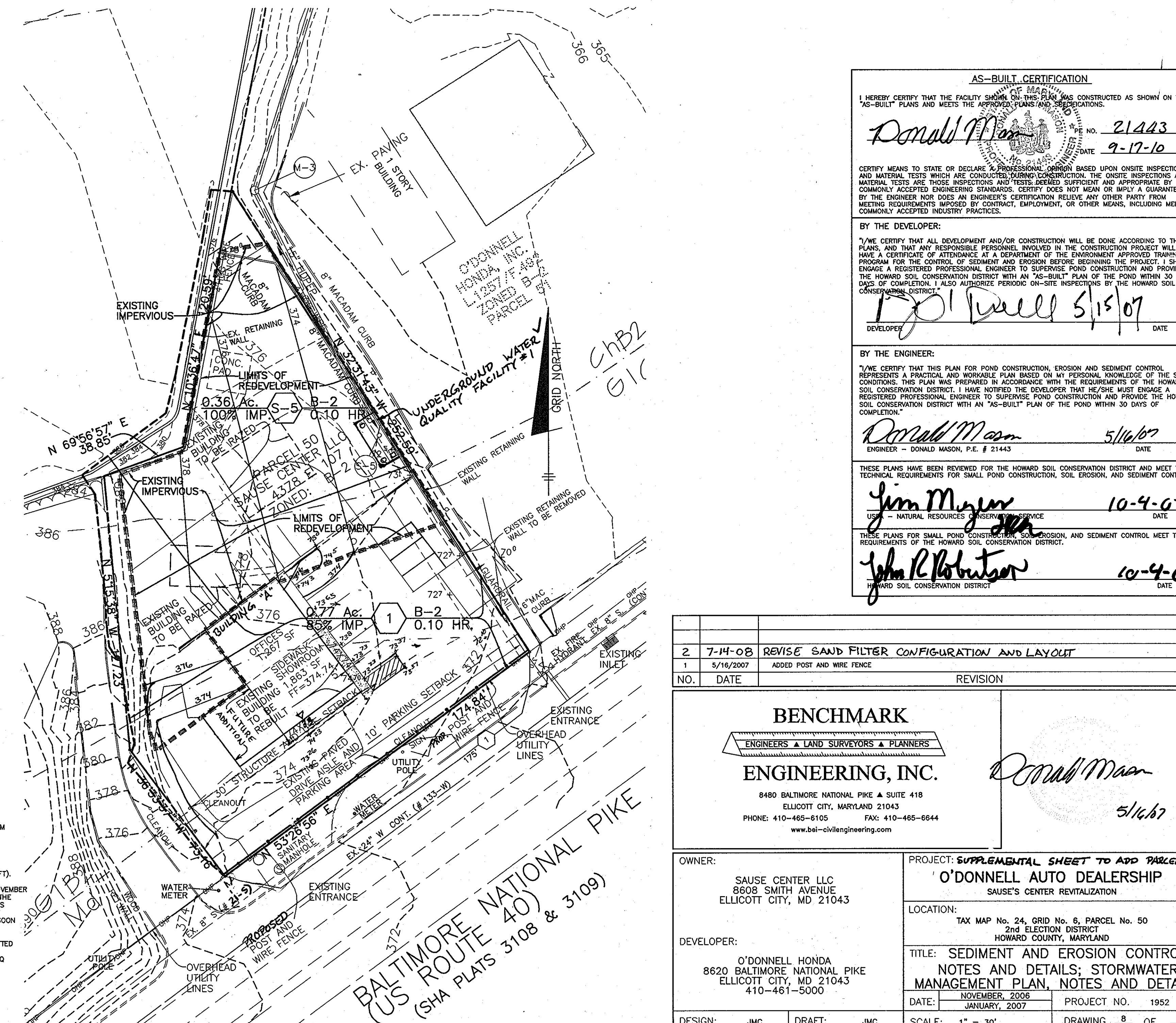
- 1. PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ FT) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT) BEFORE SEEDING.

SEEDING: FOR PERIODS MARCH 1 THROUGH APRIL 30 AND AUGUST 1 THROUGH NOVEMBER 15, SEED WITH 60 LBS PER ACRE (1.4 LBS/1000 SQ FT) OF KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (0.5 LBS/1000 SQ FT) OF WEEPING LOVEGRASS.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ FT) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING.

MAINTENANCE: INSPECT ALL SEEDBED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Chief, Cindy Hamilton 10/15/07. Chief, Development Engineering Division, Paul A. Lopez 10/15/07.



SILT FENCE DESIGN CRITERIA. Table with columns: Slope Steepness, (Maximum) Slope Length, (Maximum) Silt Fence Length. Includes a note: 'In areas of less than 2% slope and sandy soils (USDA general classification soil, soil Class A) maximum slope length and silt fence length will be unlimited.'

AS-BUILT CERTIFICATION. I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THESE AS-BUILT PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS. Signature: Donald Mason, Date: 9-17-10.

BY THE ENGINEER: I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM.

REVISIONS: 2 7-14-08 REVISE SAND FILTER CONFIGURATION AND LAYOUT. 1 5/16/2007 ADDED POST AND WIRE FENCE.

BENCHMARK ENGINEERING, INC. 8480 BALTIMORE NATIONAL PIKE & SUITE 418 ELLICOTT CITY, MARYLAND 21043. PHONE: 410-465-6105 FAX: 410-465-6844 www.bel-civilengineering.com

OWNER: SAUSE CENTER LLC 8608 SMITH AVENUE ELLICOTT CITY, MD 21043. DEVELOPER: O'DONNELL HONDA 8620 BALTIMORE NATIONAL PIKE ELLICOTT CITY, MD 21043. PROJECT: SUPPLEMENTAL SHEET TO ADD PARCEL 50 O'DONNELL AUTO DEALERSHIP SAUSE'S CENTER REDEVELOPMENT. LOCATION: TAX MAP No. 24, GRID No. 6, PARCEL No. 50 2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND. TITLE: SEDIMENT AND EROSION CONTROL NOTES AND DETAILS; STORMWATER MANAGEMENT PLAN, NOTES AND DETAILS. DATE: NOVEMBER, 2006 PROJECT NO. 1952. SCALE: 1\"/>