

SITE DATA

TOTAL AREA OF TRACT	17.78 AC±
AREA OF DISTURBANCE	10.78 AC±
AREA TO BE VEG. STAB.	2.97 AC±
AREA OF BLDG. FOOTPRINT	10,321 S.F.
% BLDG. COVERAGE W/O PAVING	10,321 S.F. 14.51%
11,385 S.F. 17.78 AC± 2,064 S.F. 2.98	
11,385 S.F. 17.78 AC±	
% BUILDING COVERAGE INCLUDING PAVING	44.5%
% OPEN SPACE REMAINING	55.5%
TAX MAP NUMBER	42
EXISTING ZONING	M-2
TITLE REFERENCE	
510/205	503/466
523/323	506/782
TOTAL NUMBER OF EMPLOYEES	
SEAFOOD PROCESSING MARKET	278
FULL TIME	60
SEASONAL	338
TOTAL (PEAK VOLUME)	398
RESTAURANT	12
MAINTENANCE OFFICES	10
TOTAL EMPLOYEES	427

BUILDING USES

WHOLESALE SEAFOOD MARKET BUILDINGS	
WAREHOUSE - SEAFOOD PROCESSING	
OFFICE	
RESTAURANT	
MAINTENANCE BUILDING	
MAINTENANCE EQUIPMENT STORAGE	
OFFICE	
PARKING REQUIRED	
SEAFOOD MARKET	
FULL TIME EMPLOYEES = 278	
SEASONAL EMPLOYEES = 60	
PEAK VOLUME EMPLOYEES = 338 @ 1 PS/2empl. = 157	
OR	
69,068 S.F. WAREHOUSE @ 1 PS/1000 S.F. = 138	
* 4,300 S.F. RETAIL SALES @ 1 PS/100 S.F. = 29	
17,731 S.F. OFFICE - 70 employees @ 1 PS/10 empl. = 42	
216 use 216	
RESTAURANT	
12 EMPLOYEES @ 1 PS/2 EMPLOYEES = 6	
84 SEATS @ 1 PS/3 SEATS = 28	
24	
MAINTENANCE BUILDING	
10 EMPLOYEES @ 1 PS/2 EMPLOYEES = 5	
TOTAL PARKING REQUIRED	295

PARKING SPACES PROVIDED

287 @ 10'x20'	
8 @ 12'x20' (Handicapped)	
295 PARKING SPACES	

* Retail Sales For Seafood Products, Either Processed On The Site Or Stored & Distributed By The Lessee, Will Be Limited To The Equivalent Of Two Units On The First Floor Of The Main Building (5.6%)

LEGEND

- INDICATES PROPOSED BITUMINOUS PAVING, 1/2" CO. SECTION P-3 SEE DETAIL SHT. 3 OF 4 S.D.
- INDICATES CONCRETE PAVING SEE DETAIL SHEET 3 OF 4
- INDICATES PARKING SPACE RESERVED FOR THE AGED AND HANDICAPPED
- INDICATES PROPOSED CONTOURS (ADD 200')
- INDICATES EXISTING CONTOURS (ADD 200')

HOWARD SOIL CONSERVATION DISTRICT

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: HOWARD SOIL CONSERVATION DISTRICT DATE: 6/27/83

REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

SIGNATURE: James M. McIlroy DATE: 6/27/83

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEM HOWARD COUNTY HEALTH DEPARTMENT DATE: 2-1-83

COUNTY HEALTH OFFICE DATE: 2-1-83

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING DATE: 7-1-83

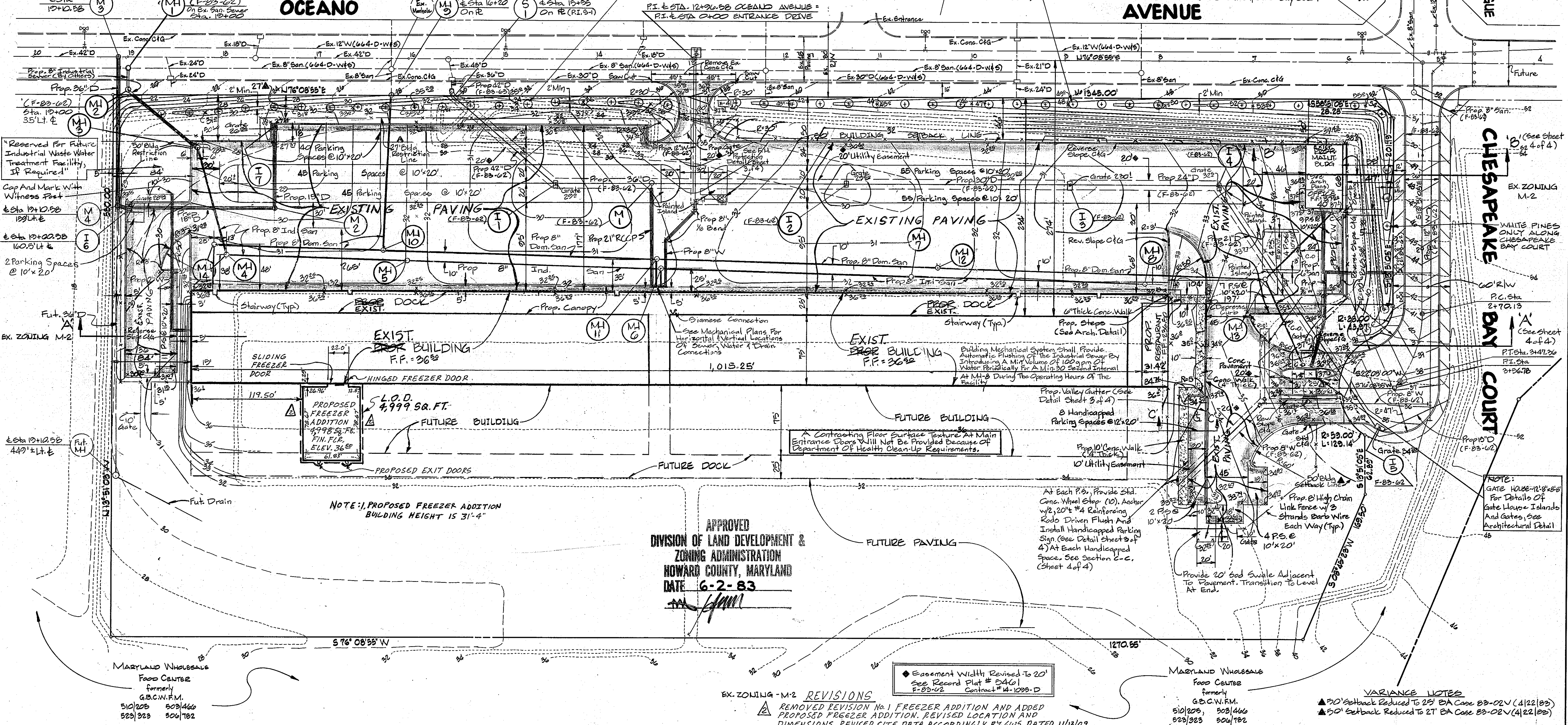
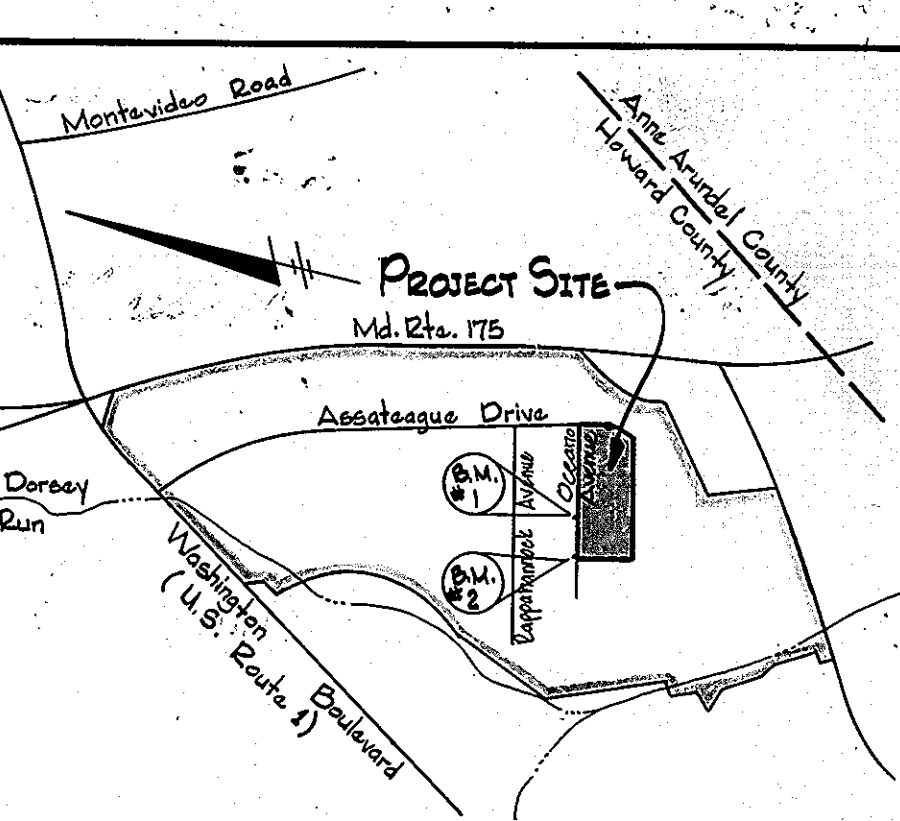
PLANNING DIRECTOR DATE: 7-1-83

CHIEF DIVISION OF LAND DEVELOPMENT ZONING ADMINISTRATION DATE: 7-1-83

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND ROADS: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS DATE: 6-28-82

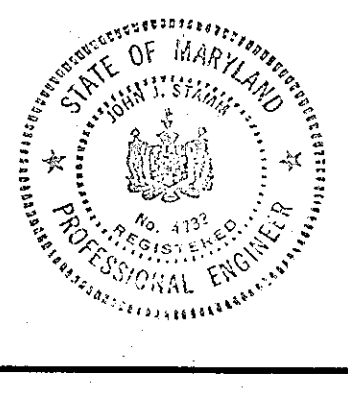
DIRECTOR DATE: 6-28-82

CHIEF OF BUREAU OF SURVEYING DATE: 6-28-82



ENGINEER
GEORGE WILLIAM STEPHENS, JR. & ASSOC., INC.
 503 ALLEGHENY AVENUE
 ENGINEERS & SURVEYORS

DATE: 5/2/83



DEVELOPER
SEAFOOD MARKET ASSOC. LTD. PARTNERSHIP
 9110 FREDERICK ROAD
 ELLICOTT CITY, MARYLAND 21043

DATE: 4/28/83

OWNER
MARYLAND FOOD CENTER AUTHORITY
 201 WEST FREDSTON STREET
 BALTIMORE, MARYLAND 21201

DATE: 6/23/83

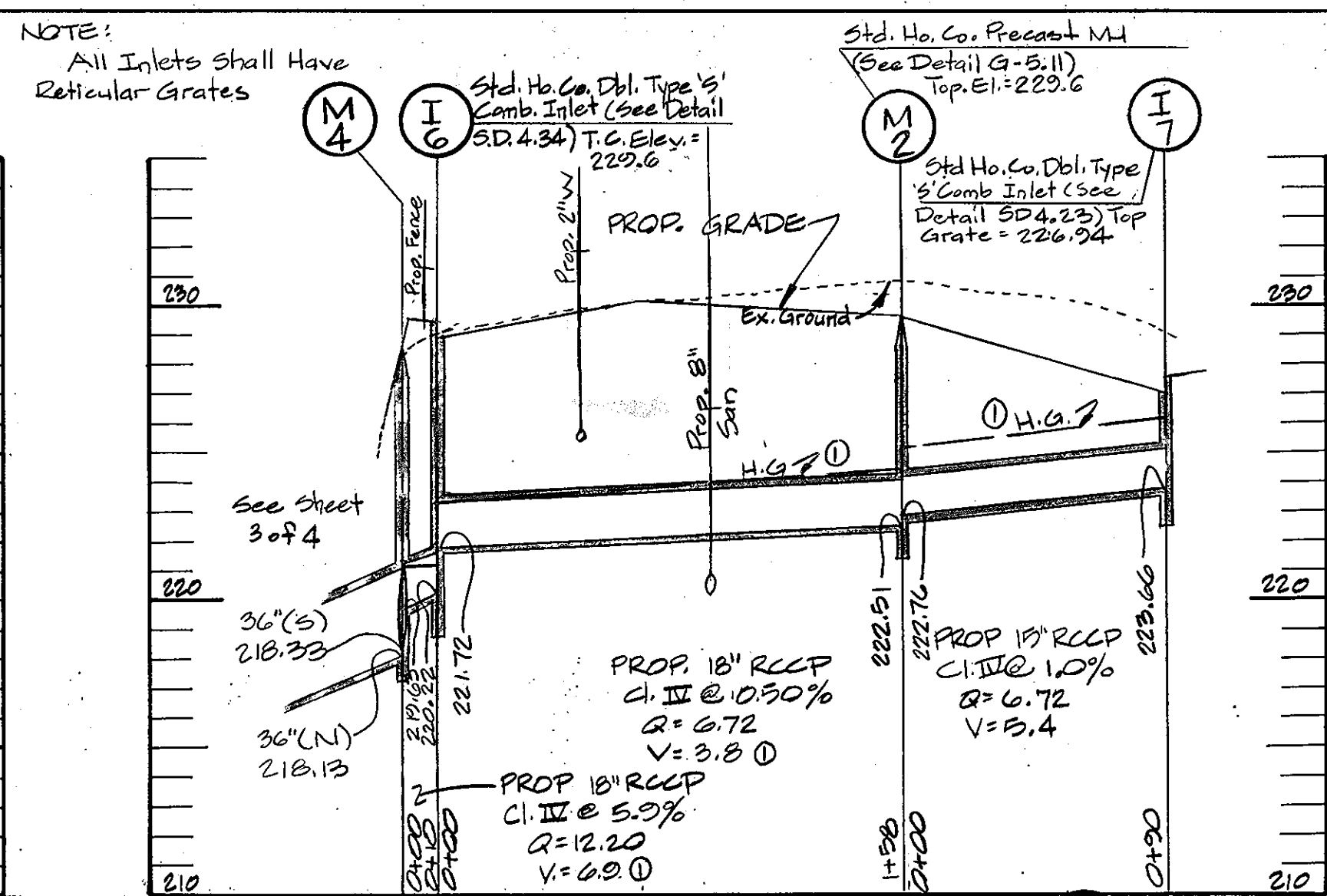
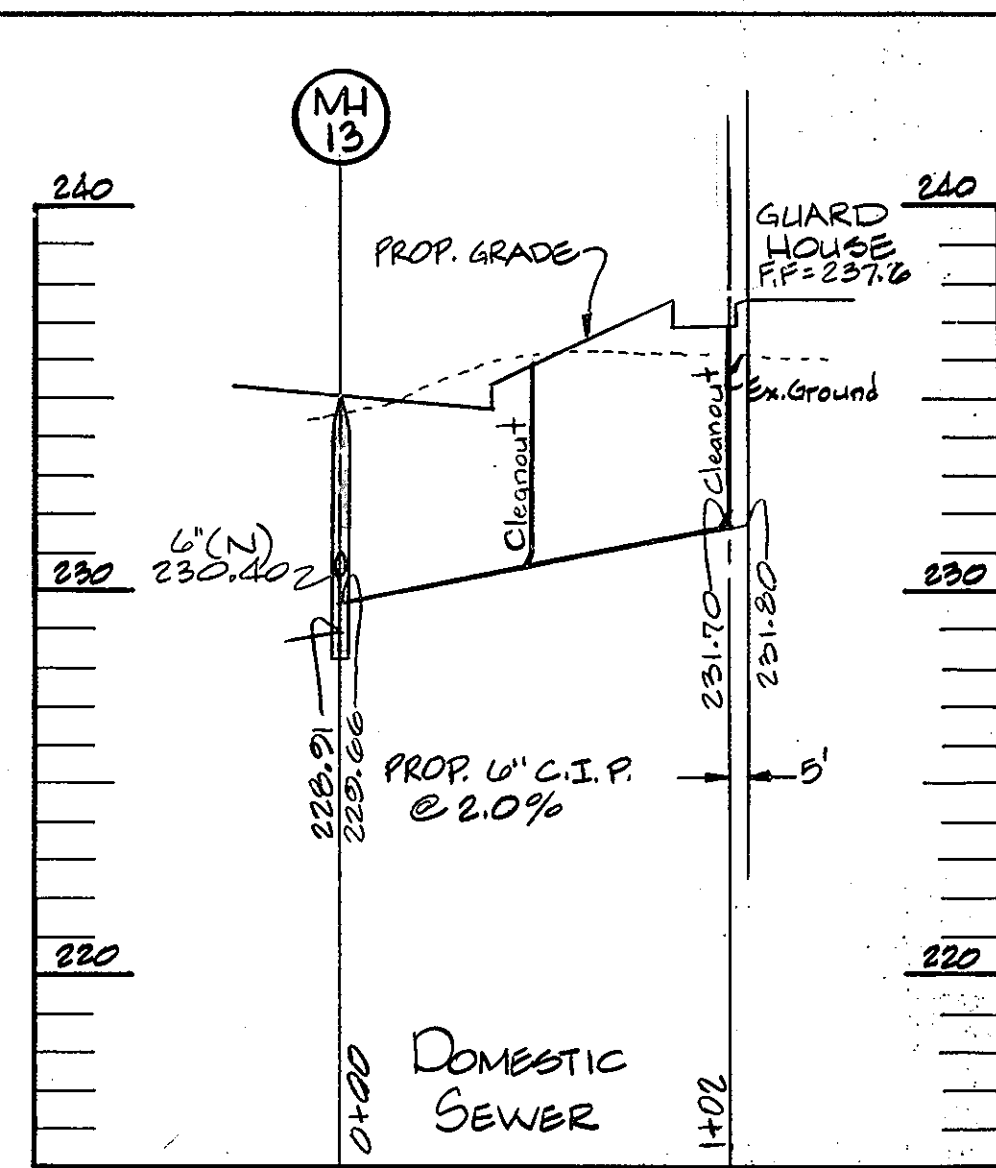
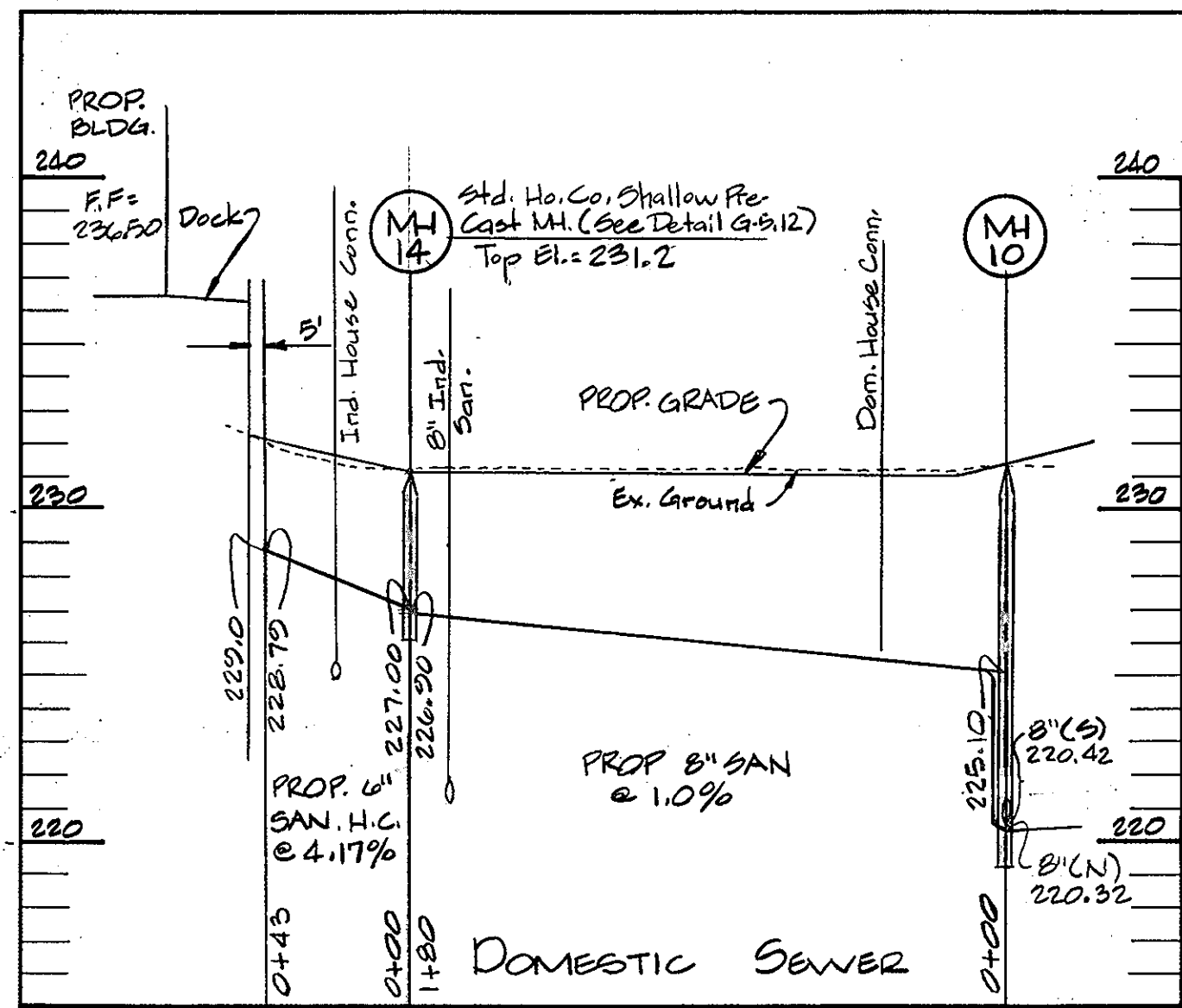
REVISIONS

DESCRIPTION	NO.	DATE
ADDED PROPOSED FREEZER ADDITION AND REVISED SITE DATA ACCORDINGLY BY GWS	1	4/10/79

SITE AND UTILITIES PLAN
 FOR
MARYLAND WHOLESALE SEAFOOD MARKET
 SECTION 3
 BLOCK A
 PARCEL B
 PLAT #3461
 MARYLAND WHOLESALE FOOD CENTER

DATE: JUNE 21, 1983
 DESIGNED BY: C.F.H.
 CHECKED BY: C.F.H.

JOB NO.
 DATE
SHEET NO.
1
 OF 4

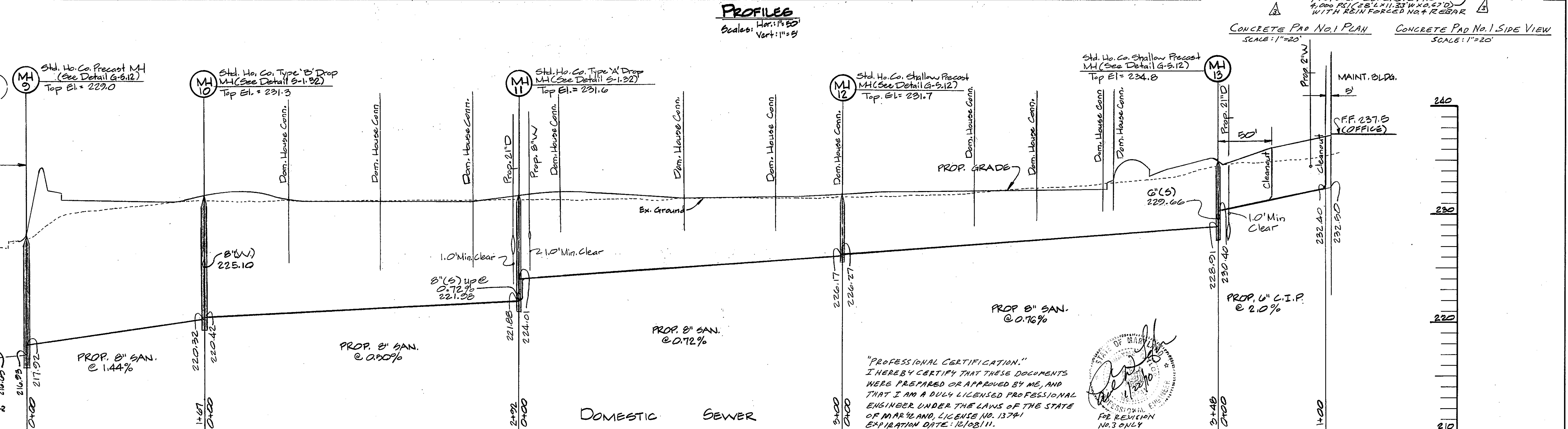
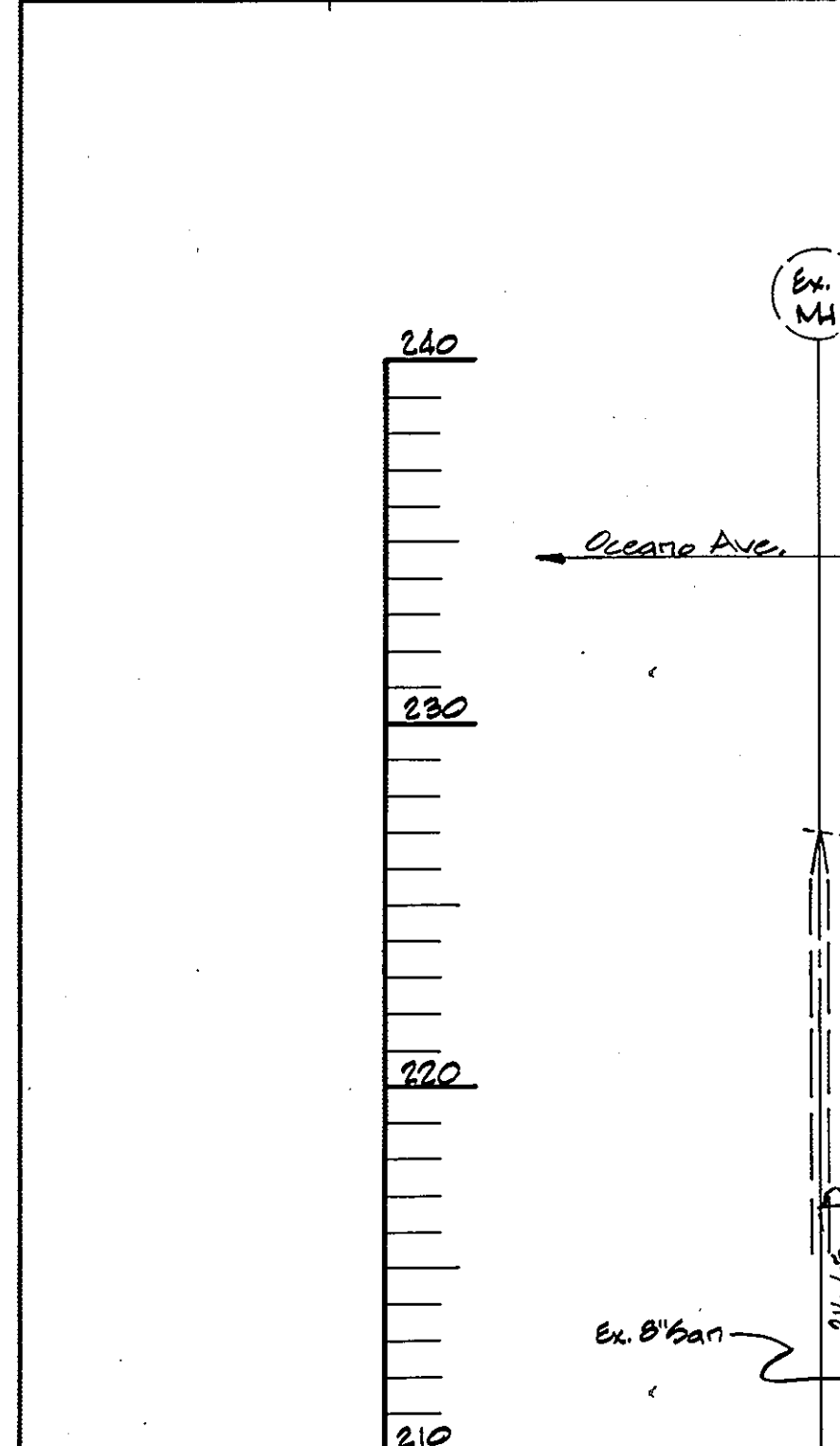
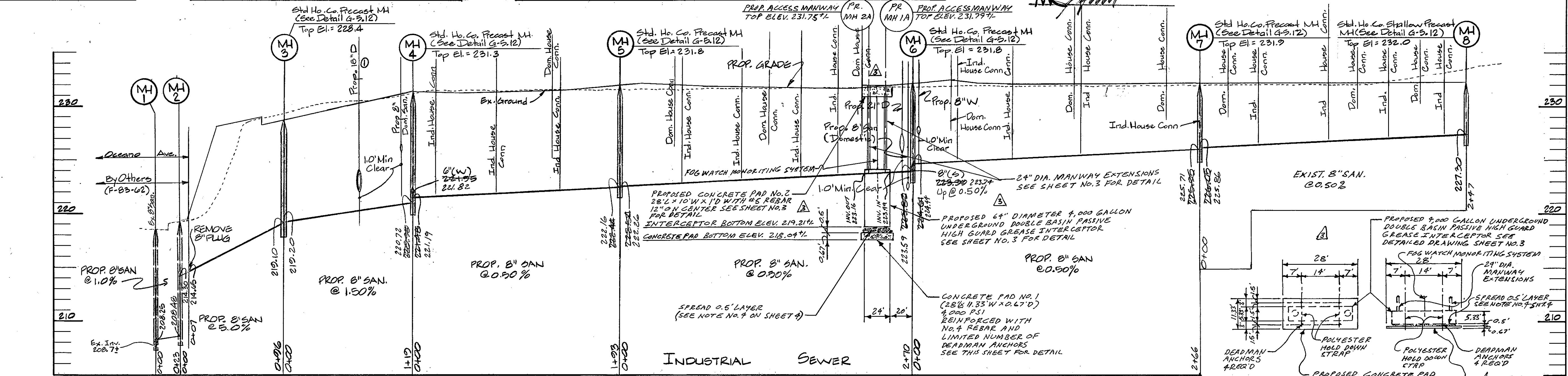
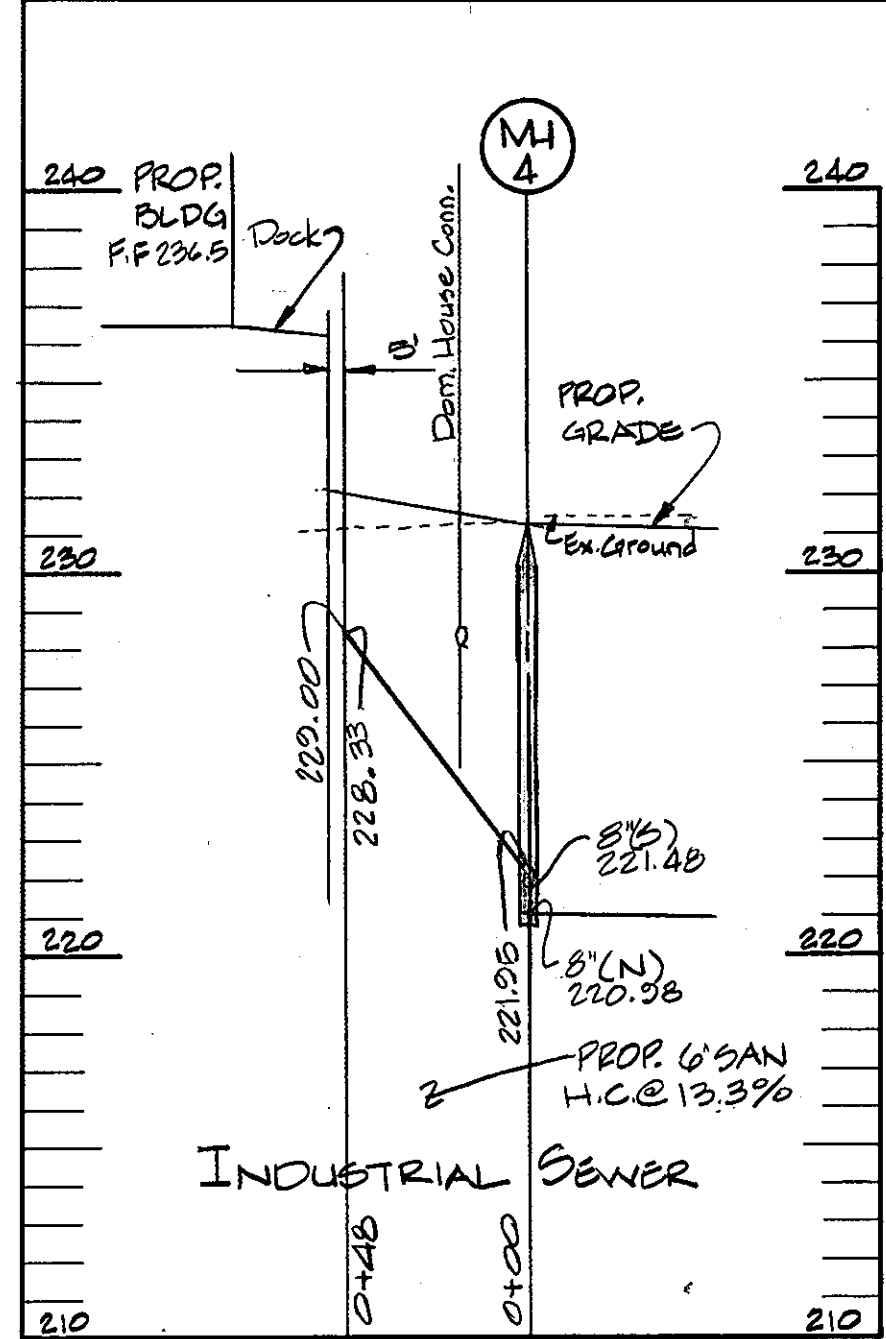


SANITARY HOUSE CONNECTIONS
 All San. H.C. Exit Building @ Elev. 229.00
 San. H.C. From Building To Beyond Are 4" Dia. P.V.C. Or C.I.P. Contractor Shall Transition All San. H.C. To 4" Dia. P.V.C. At B' Beyond Bldg.
 Connections To Prop. Sewer Shall Have A Max. Vertical Rise At Main Of 2.0', San. H.C. Shall Be Laid At A Minimum Grade Of 2.0% Unless Otherwise Noted.
 Horizontal Locations Of San. H.C. From Prop. Building Shall Be Established From Mechanical Plans.

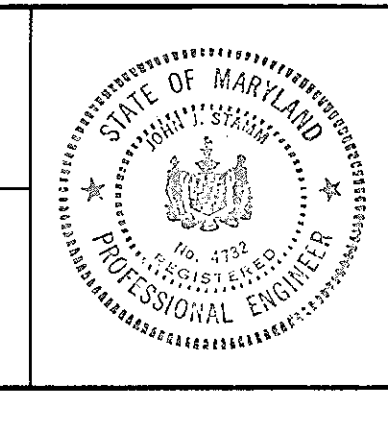
SANITARY SEWERS
 All Sanitary Sewers And Sanitary Sewer House Connections Shall Be Constructed Using Polyvinyl Chloride Pipe & Fittings. Pipe & Fittings Shall Conform To Howard County Standard Specifications, Section 20.16-18

APPROVED
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 6-2-83

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEM
 HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER F.S. DATE 7-1-83
 APPROVED FOR PLANNING AND ZONING
 HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 PLANNING DIRECTOR J. H. HARRIS DATE 7-1-83
 CHIEF OF LAND DEVELOPMENT & ZONING ADMINISTRATION DATE 7-1-83
 APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
 DIRECTOR J. F. NEWMAN DATE 6-28-83
 CHIEF OF BUREAU OF ENGINEERING DATE 6-28-83
HOWARD SOIL CONSERVATION DISTRICT
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
 APPROVED HOWARD SOIL CONSERVATION DISTRICT DATE 6-27-83
 REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS
 SIGNATURE: THE UNITED STATES SOIL CONSERVATION DISTRICT DATE 6-27-83



ENGINEER
GEORGE WILLIAM STEPHENS JR. & ASSOC.
 203 ALLEGHENY AVENUE
 TOWSON, MARYLAND 21284
 ENGINEERS & SURVEYORS
 4782 REG. NO. DATE 5/2/83



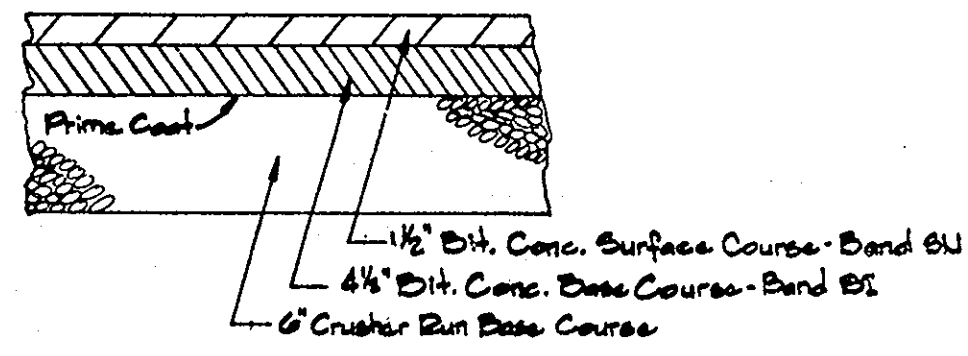
DEVELOPER
SEAFOOD MARKET ASSOC. LTD. PARTNERSHIP
 2011 FREDERICK ROAD
 ELICOTT CITY, MARYLAND 21040
 4/28/83 DATE

OWNER
MARYLAND FOOD CENTER AUTHORITY
 201 WEST FREESTON STREET
 BALTIMORE, MARYLAND 21201
 301-289-2000
 6/23/83 DATE

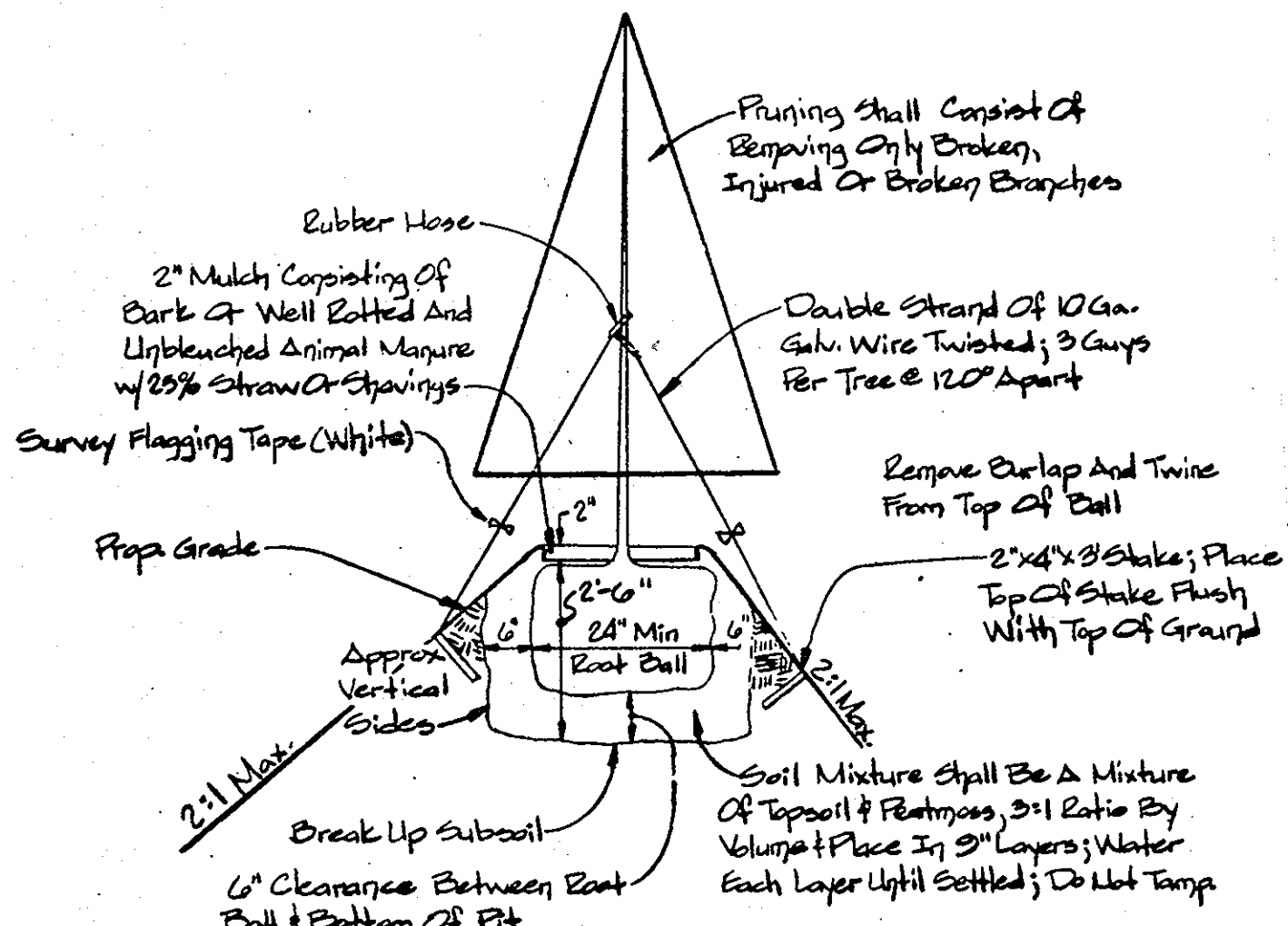
REVISIONS
 DESCRIPTION
 1. H.C. I-6 TO I-7, V'S M-2 TO M-4, DRAIN SIZE M-4 TO M-3
 2. ADDED 4,000 GALLON INTERCEPTOR TO INDUSTRIAL SEWER PROFILES AND PROVIDED CONCRETE PAD NO. 1 DETRIC 8'x8'
 U.D. DATE
 1 7/11/83
 2 01/22/10

UTILITIES PROFILES
 FOR
MARYLAND WHOLESALE SEAFOOD MARKET
 SECTION B BLOCK A PARCEL B PLAT #3401
 MARYLAND WHOLESALE FOOD CENTER
 HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 DRAWN BY: U.M.B.-J.
 JUNE 21, 1983
 DESIGNED BY: C.F.H.
 CHECKED BY: C.F.H.
 ELECTION DISTRICT #6
 PL. 04111
 2 OF 4

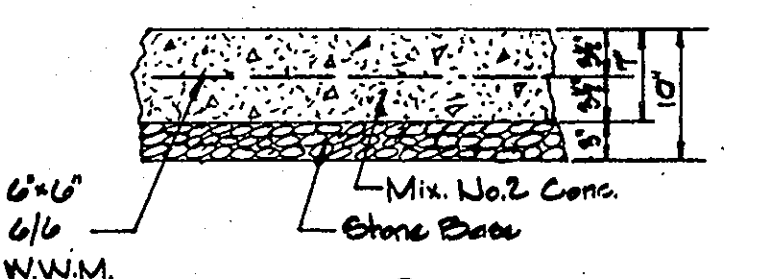
JOB NO.
 DATE
 SHEET NO.
2
 OF 4



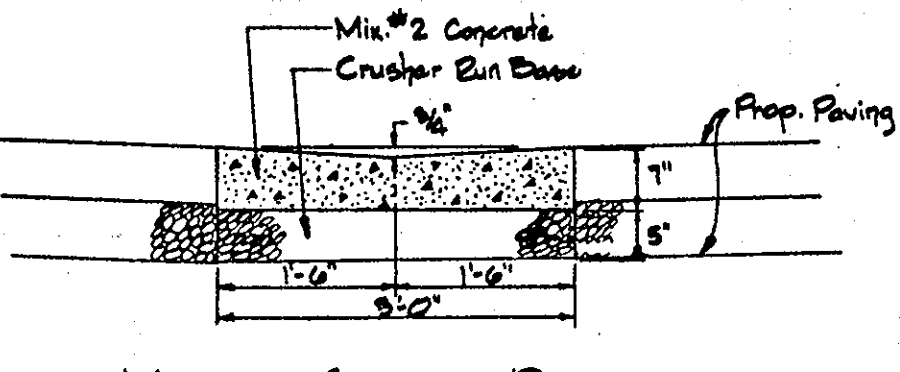
TYPICAL PAVING SECTION
No Scale



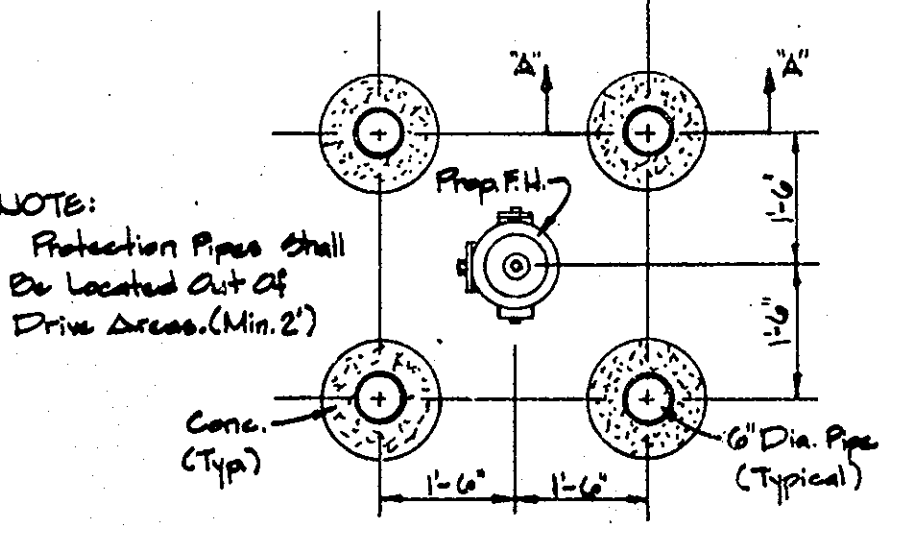
LANDSCAPING PLANTING DETAIL
No Scale
(See Sheet 1 of 4 for Planting Locations)



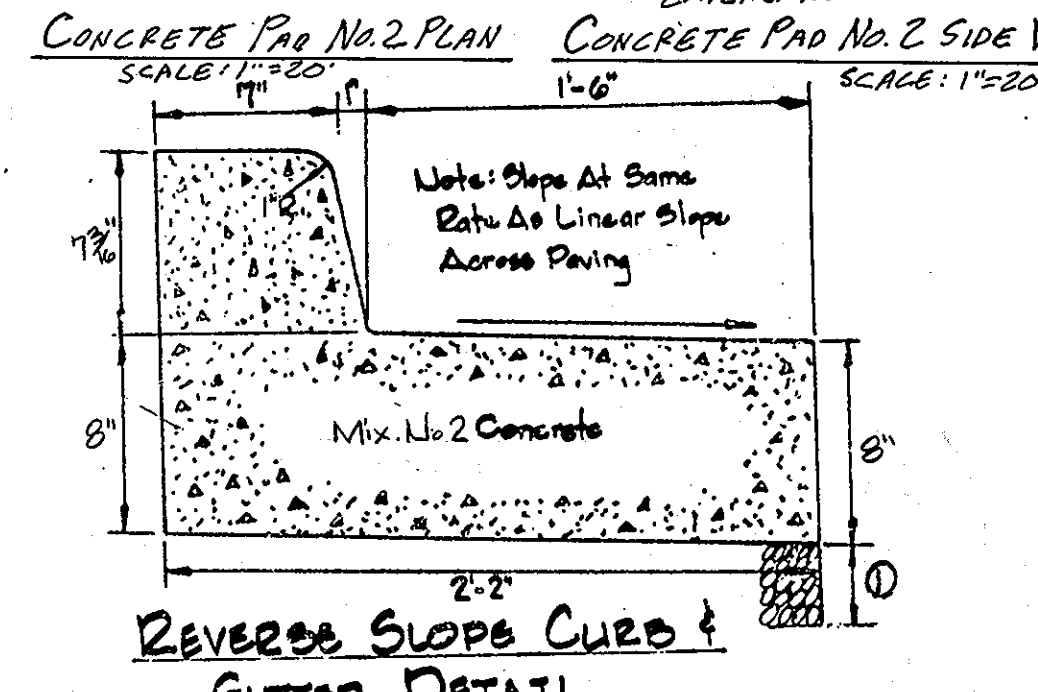
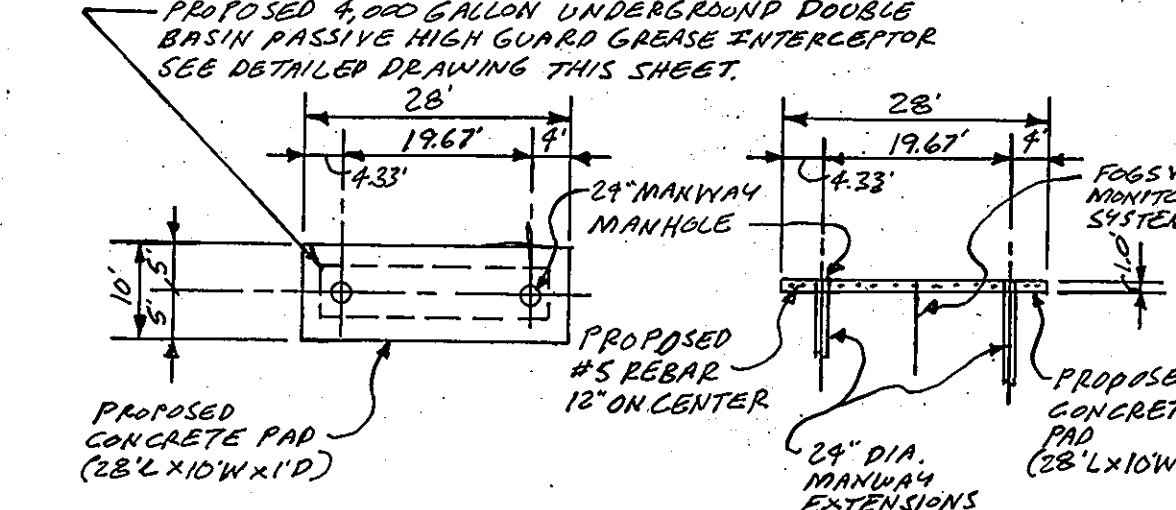
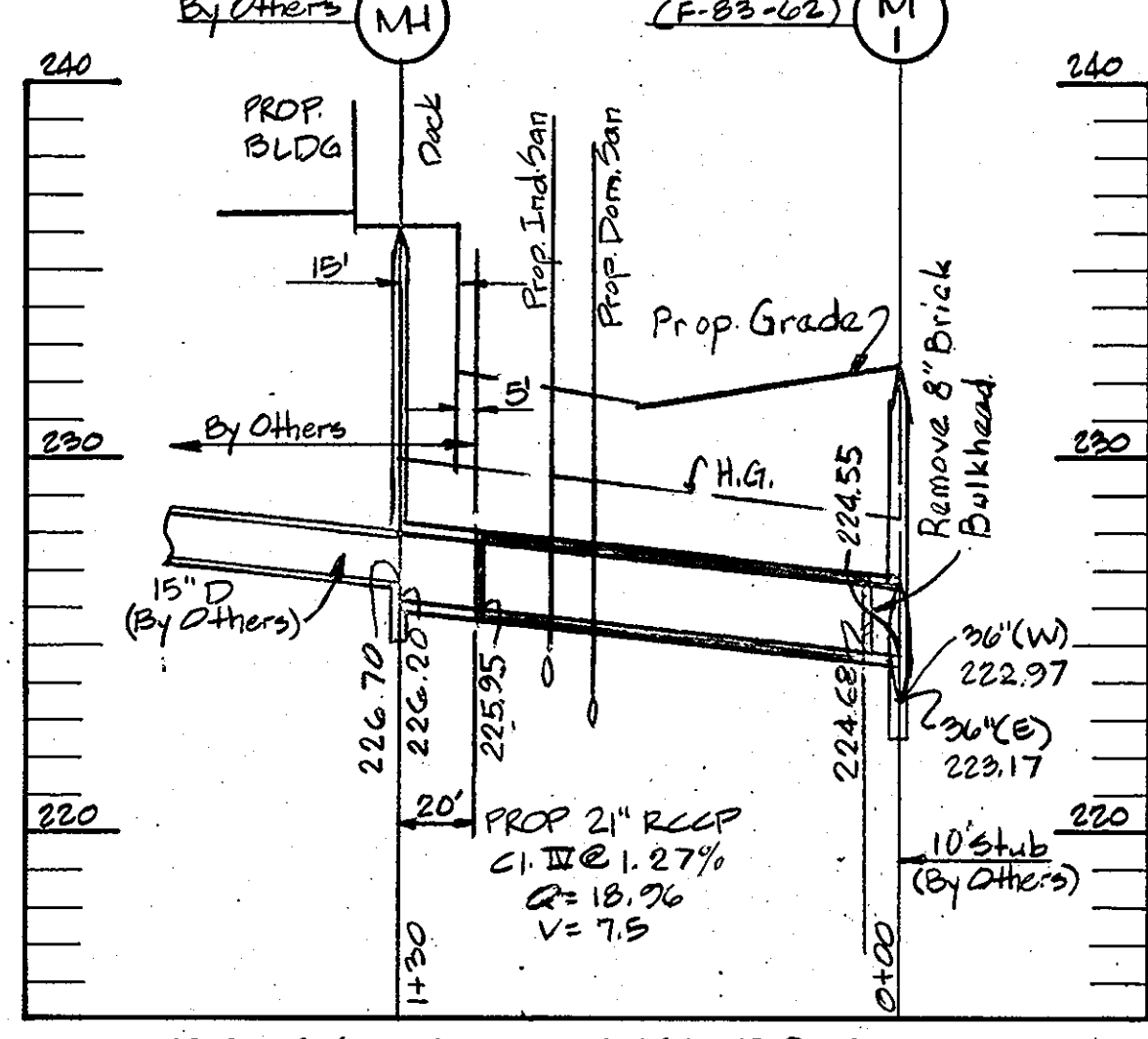
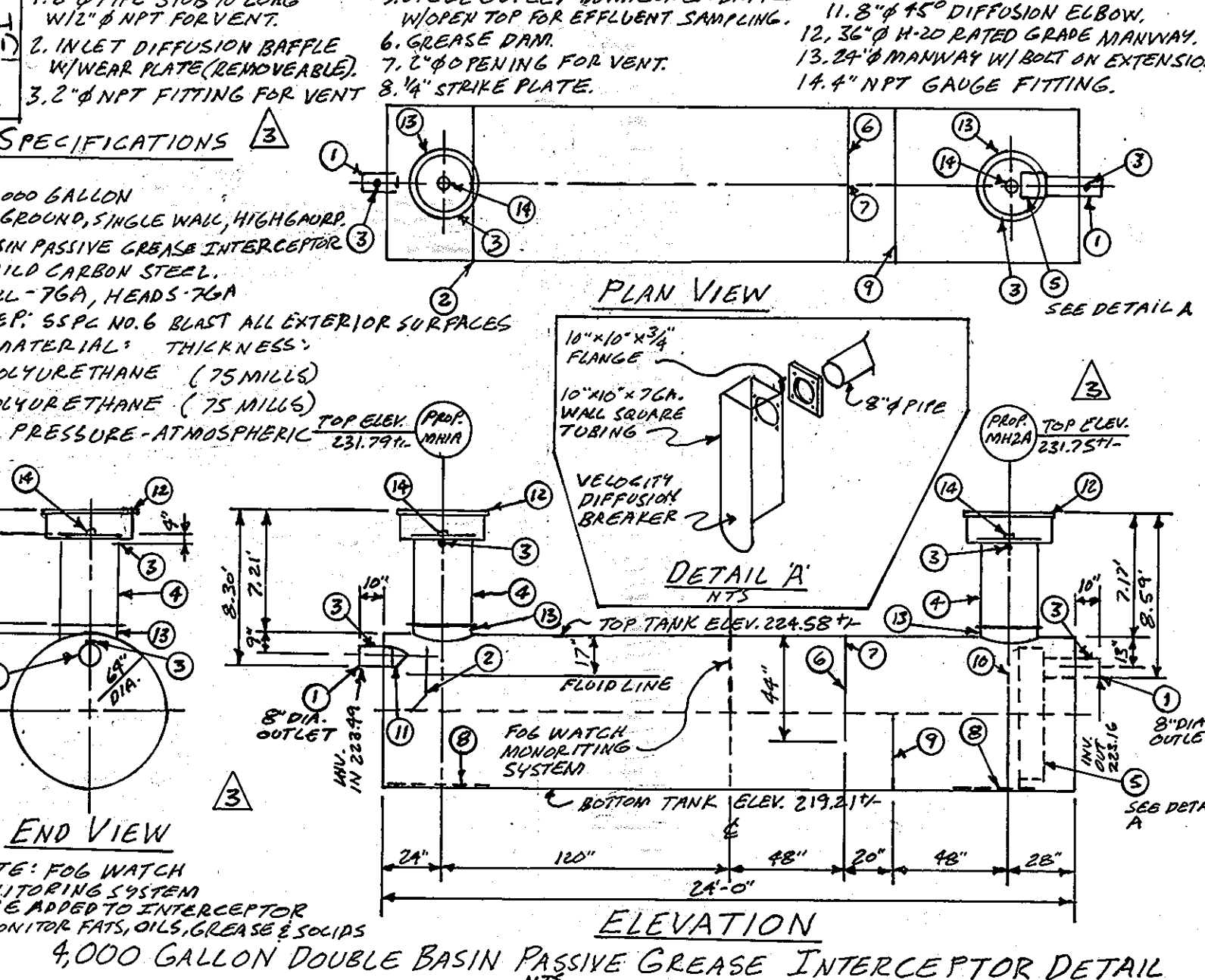
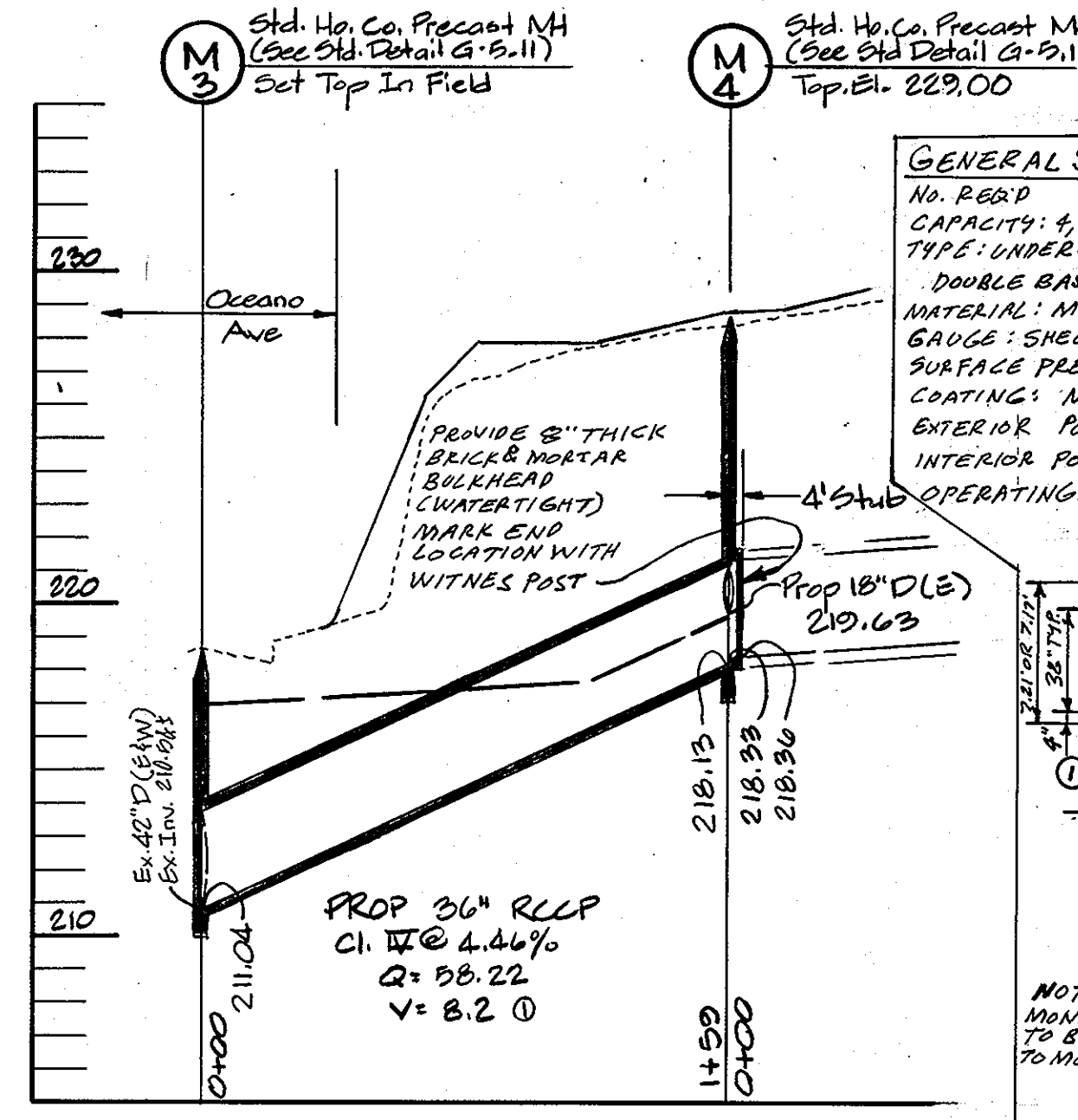
CONCRETE PAVING SECTION
No Scale



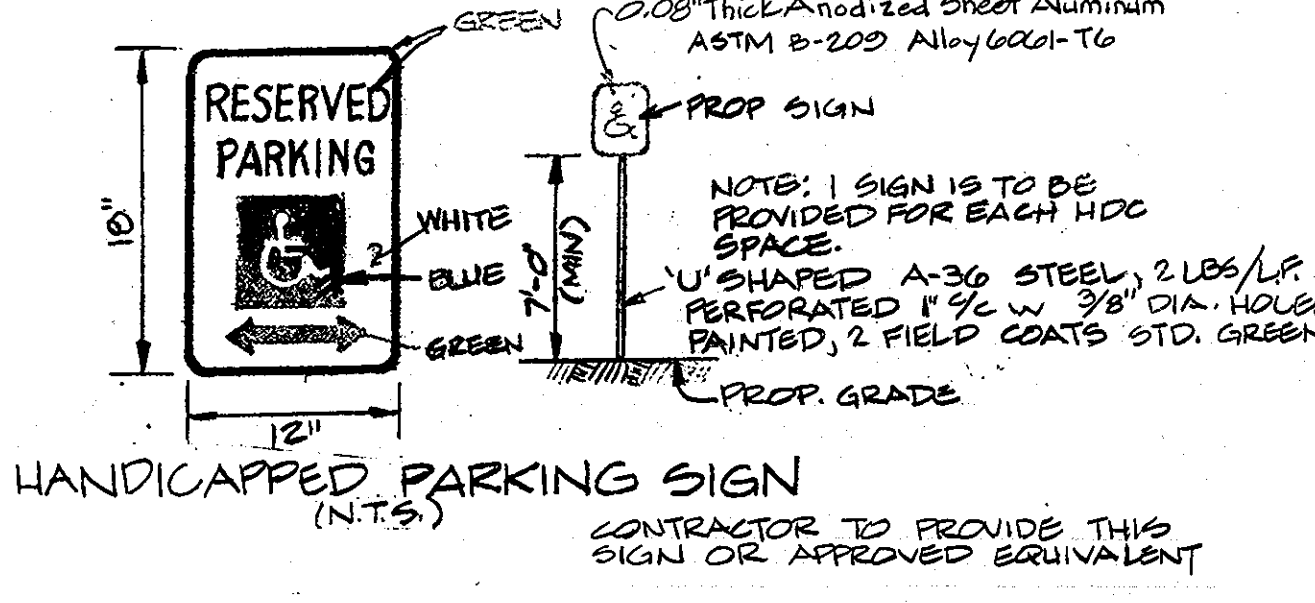
VALLEY GUTTER DETAIL
No Scale



FIRE HYDRANT PROTECTION DETAIL
No Scale



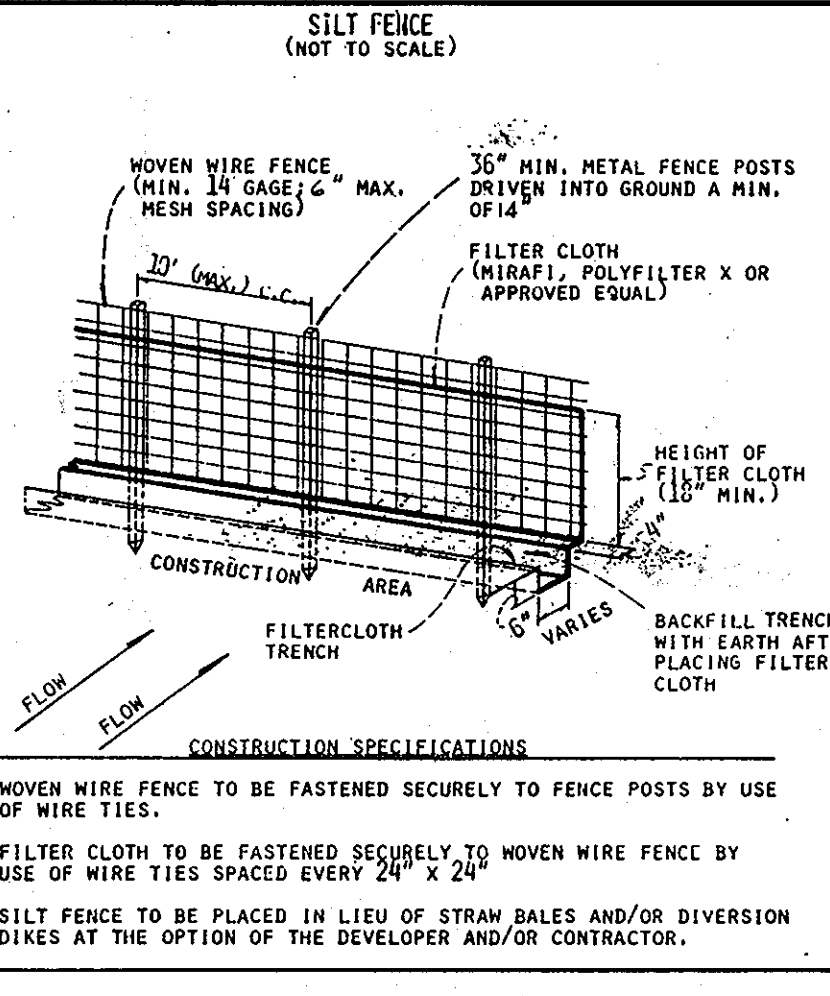
REVERSE SLOPE CURB & GUTTER DETAIL
No Scale



HANDICAPPED PARKING SIGN
(N.T.S.)

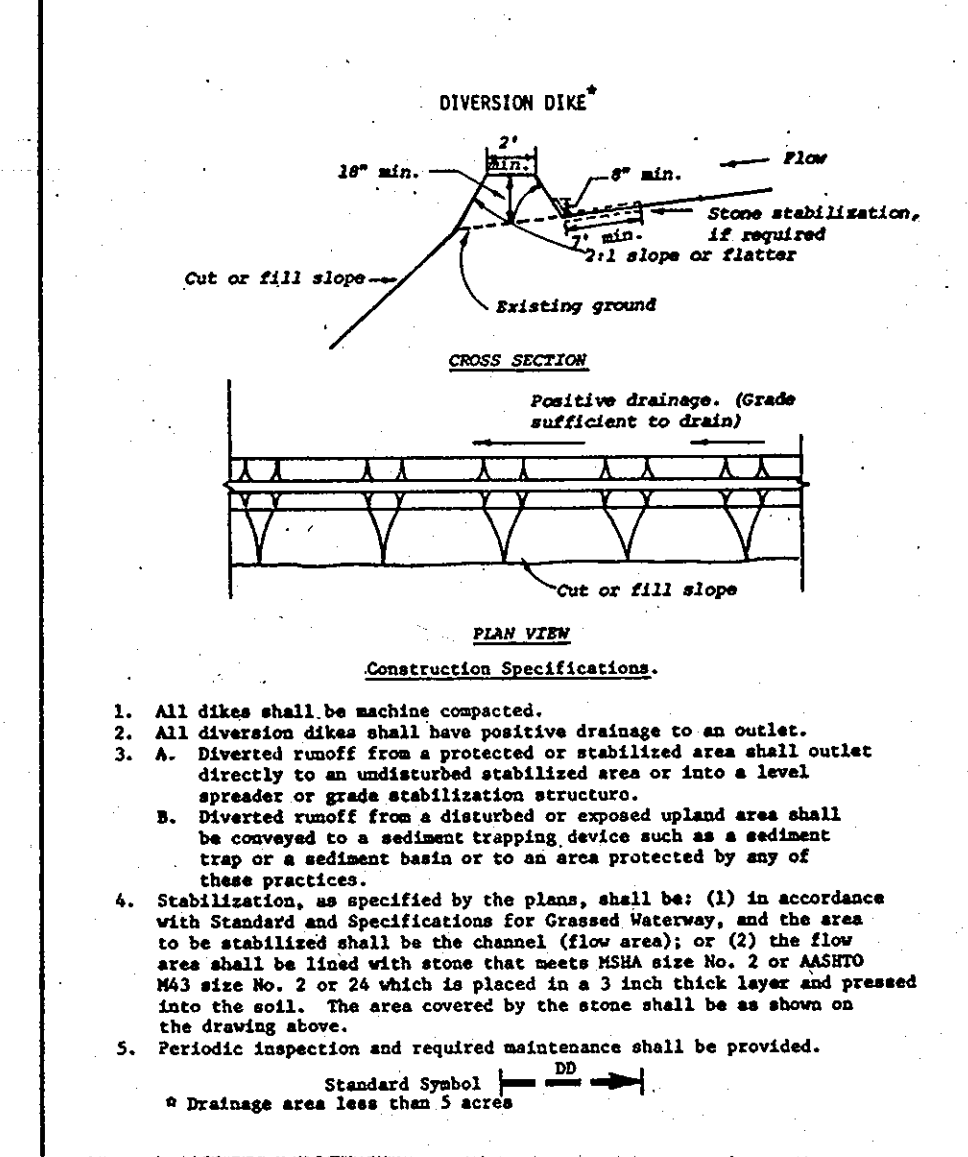
GENERAL NOTES

- 1) All Site And Utilities Work shall be Done In Accordance With Howard County Standard Specifications And Details For Construction, Or As Shown On These Plans
- 2) Maximum Building Height = 30'
- 3) All Areas Not Being Paved Or Receiving Building Coverage shall be Stabilized In Accordance With The Plans Approved By The Howard County Soil Conservation District
- 4) Any Damage To Public Right-Of-Way And/Or Adjacent Properties shall be Repaired Immediately At The Contractor's Expense.
- 5) The Contractor shall Verify Size, Location, Type & Elevation Of All Existing Utilities And Proposed Crossings, To His Own Satisfaction, Before Laying Any Pipe
- 6) All slopes shall be 2:1 or flatter
- 7) The Contractor shall Maintain a Least 2' Eave Behind All Curbs & Gutter
- 8) The Contractor shall Review The Drainage Pattern Indicated By Contours Prior To Casting Any Concrete Curb & Gutter To Determine The Location Of Standard Slope Or Reverse Slope Concrete Curb & Gutter.
- 9) The Contractor shall Notify The CFP Telephone Company And The Gas And Electric Company 5 Days Prior To Starting Work Shown On These Plans By Calling "Miss Utility"; Call Collect 1-888-0100
- 10) For Details Of Curb & Signs For The Handicapped, See The Maryland Building Code For The Handicapped And Aged And Detail This Sheet.
- 11) The Contractor shall Maintain A Minimum Of 3:3 Cover Over All Proposed Water Lines
- 12) All Rip Rap shall be Placed On Filter Cloth
- 13) Construction Of Stairs, Risers, Retaining Walls, Fences And Gates shall be As Specified By The Architect.
- 14) All Utilities Under Paved Areas shall Receive Full Trench Compaction
- 15) Contractor shall Contact The Office Of G.W. Stephens Jr. And Assoc. At 823-8120 To Determine That The Latest Plans Are In His Possession Prior To Using These Plans For Any Purpose
- 16) Contractor Is To Provide Responsible Personnel With A Certificate Of Attendance At A Department Of Natural Resources Approved Training Program For The Control Of Sediment And Erosion Before Beginning This Project.
- 17) Exterior Lighting shall be Directed/Reflected Away From Adjacent Public R/W's
- 18) Contractor shall Coordinate Construction Of Facilities Proposed On These Plans, And Any Required Evisions With All Other Contractors Involved In The Construction Of Proposed Improvements Or Facilities.

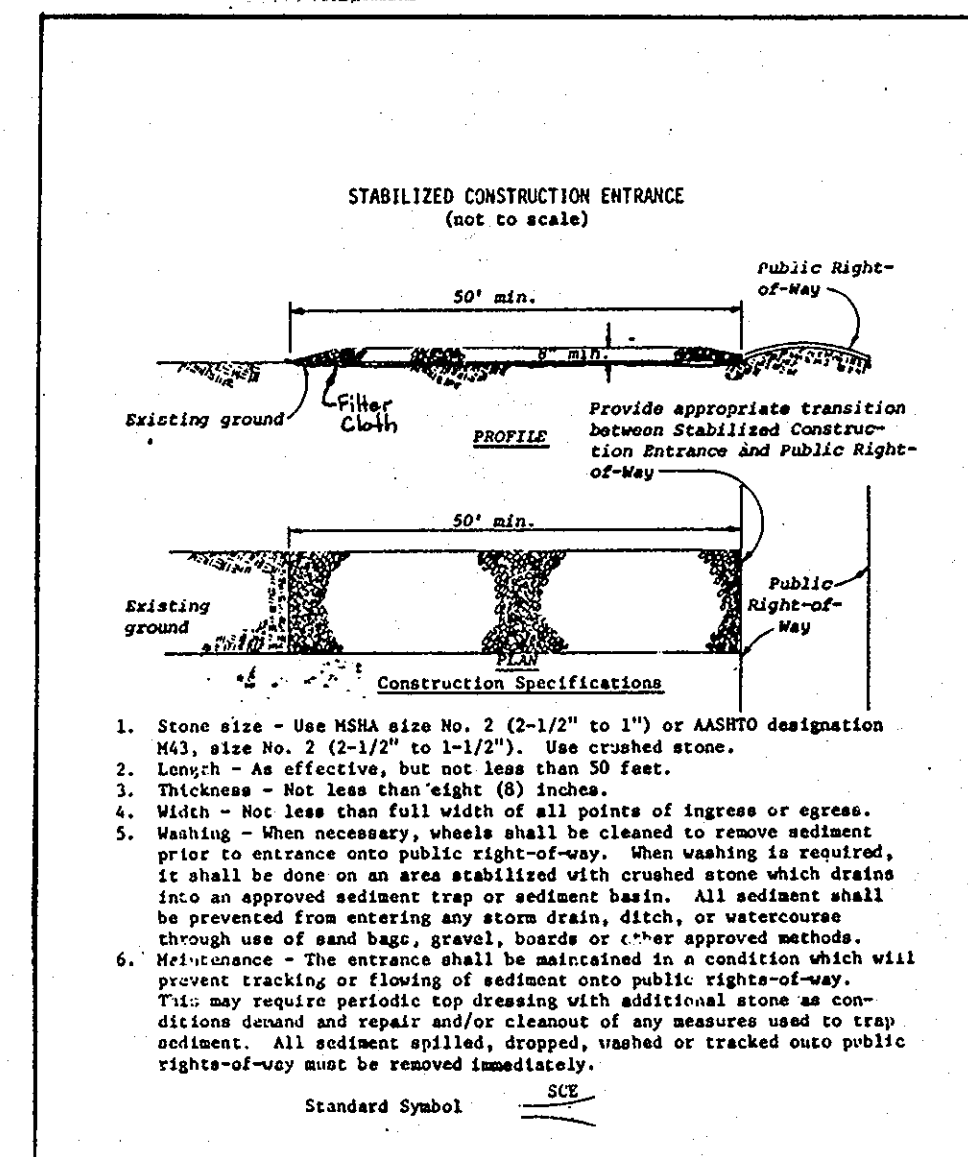


CONSTRUCTION SPECIFICATIONS

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 6-2-83



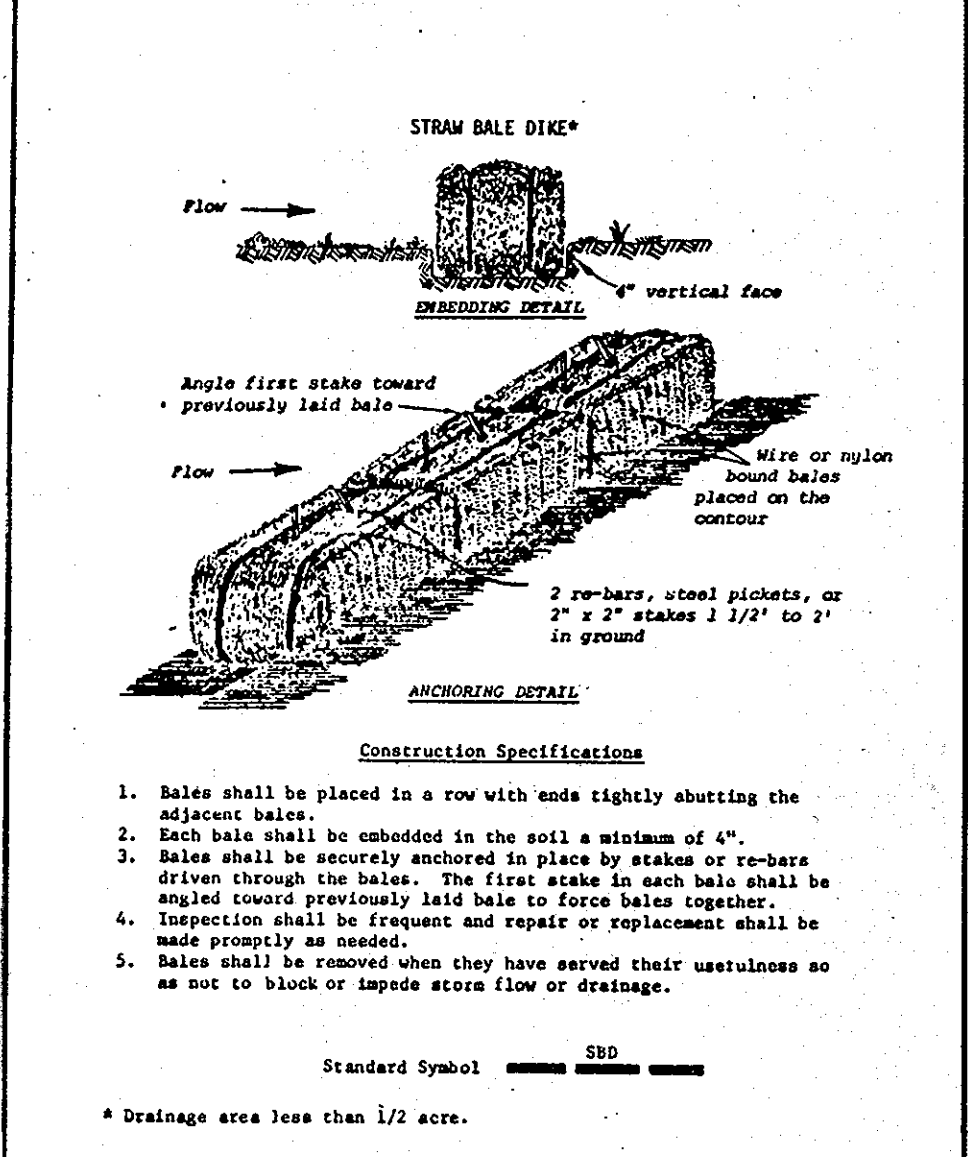
CONSTRUCTION SPECIFICATIONS



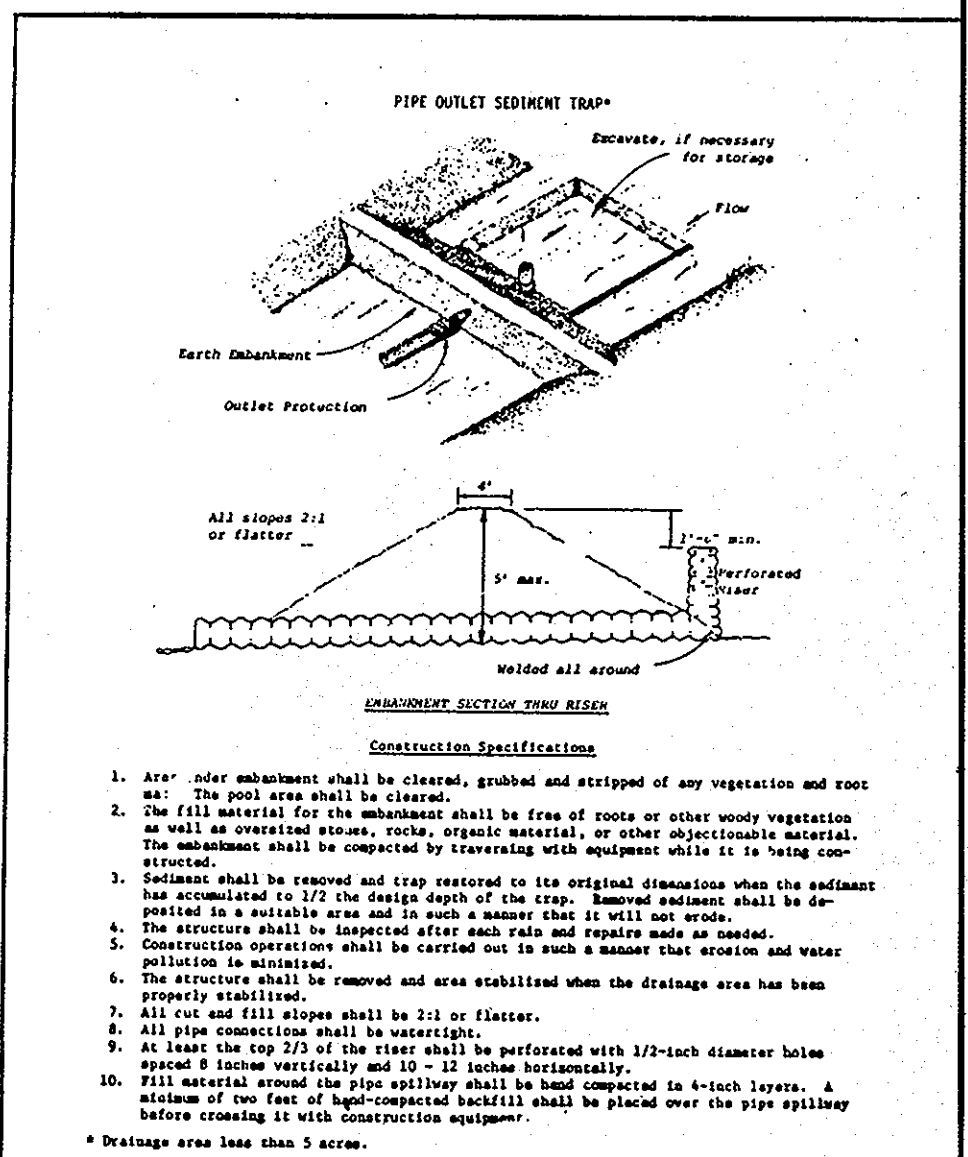
CONSTRUCTION SPECIFICATIONS

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEM
HOWARD COUNTY HEALTH DEPARTMENT
DATE 7-1-83
APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
DATE 7-1-83
CHIEF OF LAND DEVELOPMENT & ZONING ADMINISTRATION
DATE 7-1-83
APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
DATE 6-29-83
CHIEF OF BUREAU OF ENGINEERING
DATE 6-29-83

HOWARD SOIL CONSERVATION DISTRICT
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
DATE 6-27-83
APPROVED: HOWARD SOIL CONSERVATION DISTRICT
REVISION FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS
DATE 6/27/83

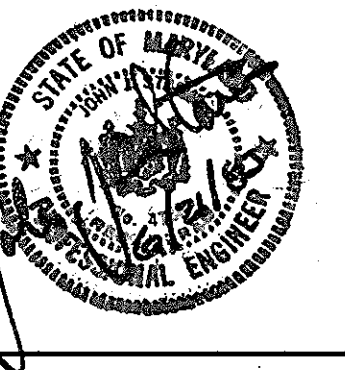


CONSTRUCTION SPECIFICATIONS



CONSTRUCTION SPECIFICATIONS

GEORGE WILLIAM STEPHENS JR. & ASSOC.
303 ALLEGANY AVENUE
ELLSBURG & SUPERVISORS
TOWSON, MARYLAND 21284
301-825-0120
4732 REG. NO.
5/2/83 DATE



SEAFOOD MARKET ASSOC. LTD. PARTNERSHIP
3011 FREDERICK ROAD
ELLICOTT CITY, MARYLAND 21043
TITLE: General Partner
4/28/83 DATE

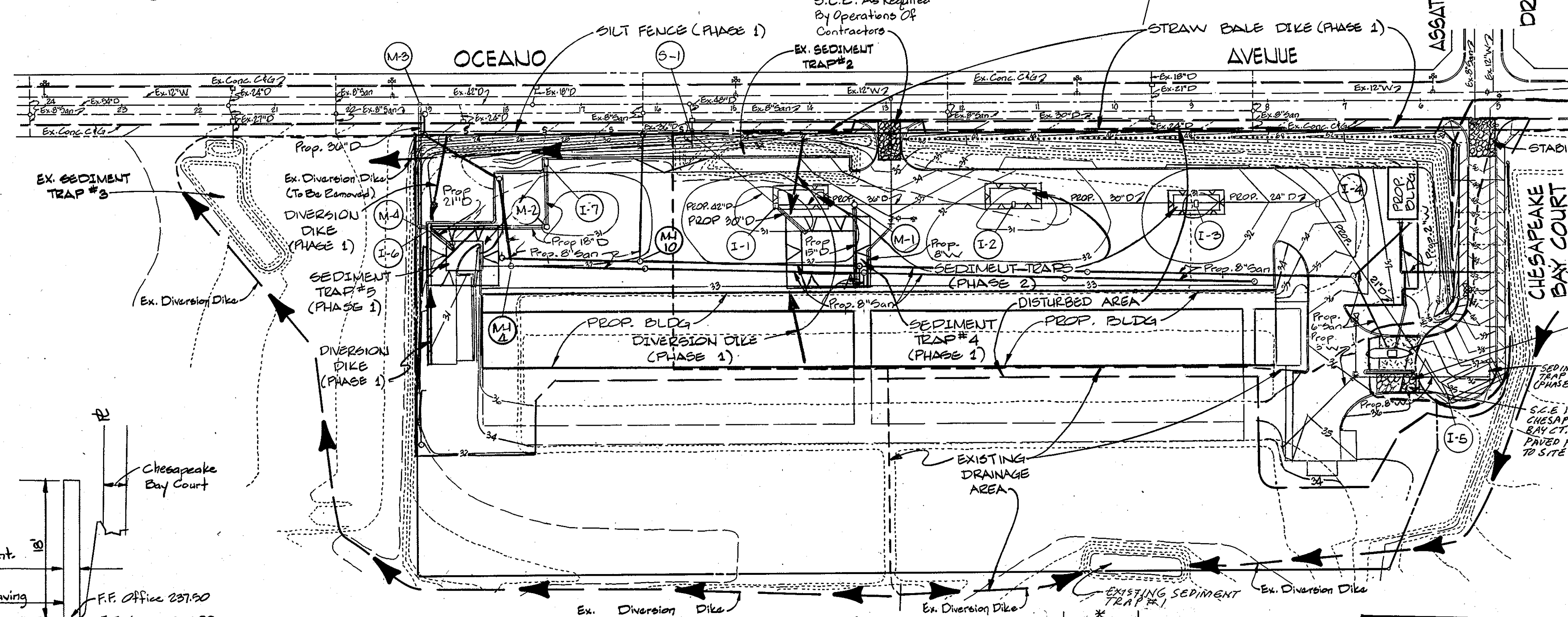
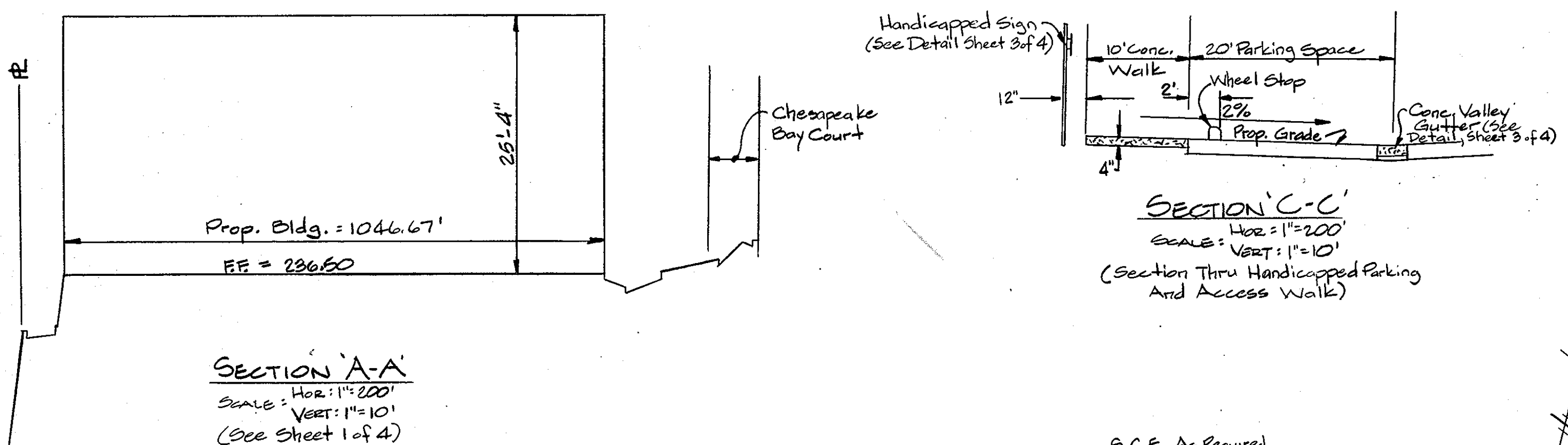
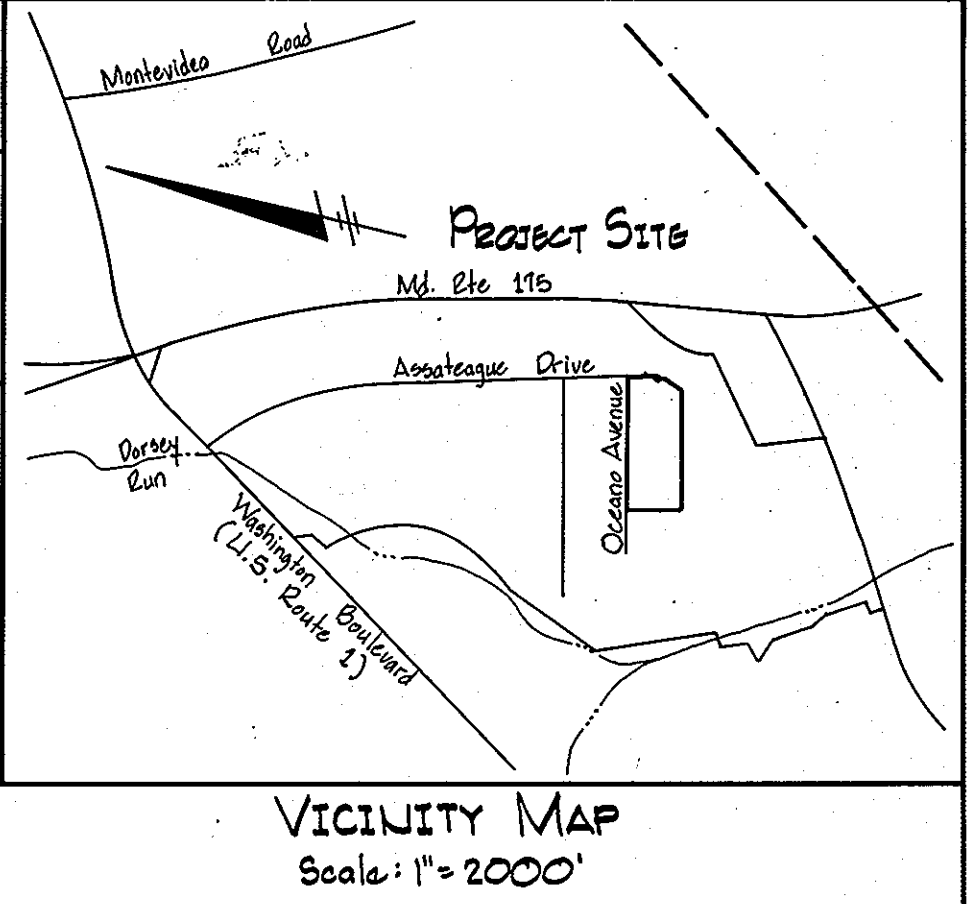
MARYLAND FOOD CENTER AUTHORITY
201 WEST PRESTON STREET
BALTIMORE, MARYLAND 21201
301-383-2000
TITLE: Director
6/23/83 DATE

REVISIONS	NO.	DATE
DESCRIPTION		
V.M.-4 TO M-3	1	7/1/83
PROVIDED CONCRETE PAD NO. 2 DETAIL AND PROVIDED DETAIL OF INTERCEPTOR BY GWS	2	01/20/10

PROFILES AND DETAILS FOR
MARYLAND WHOLESALE SEAFOOD MARKET
SECTION B BLOCK A PARCEL B PLAT #5461
MARYLAND WHOLESALE FOOD CENTER
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DRAWN BY: H.W.B.J.
JUNE 21, 1983
DESIGNED BY: C.R.H.
ELECTION DISTRICT #6
P.L. 04111
CHECKED BY: C.R.H.
JOB NO. DATE SHEET NO.
3 OF 4
SDP-83-188

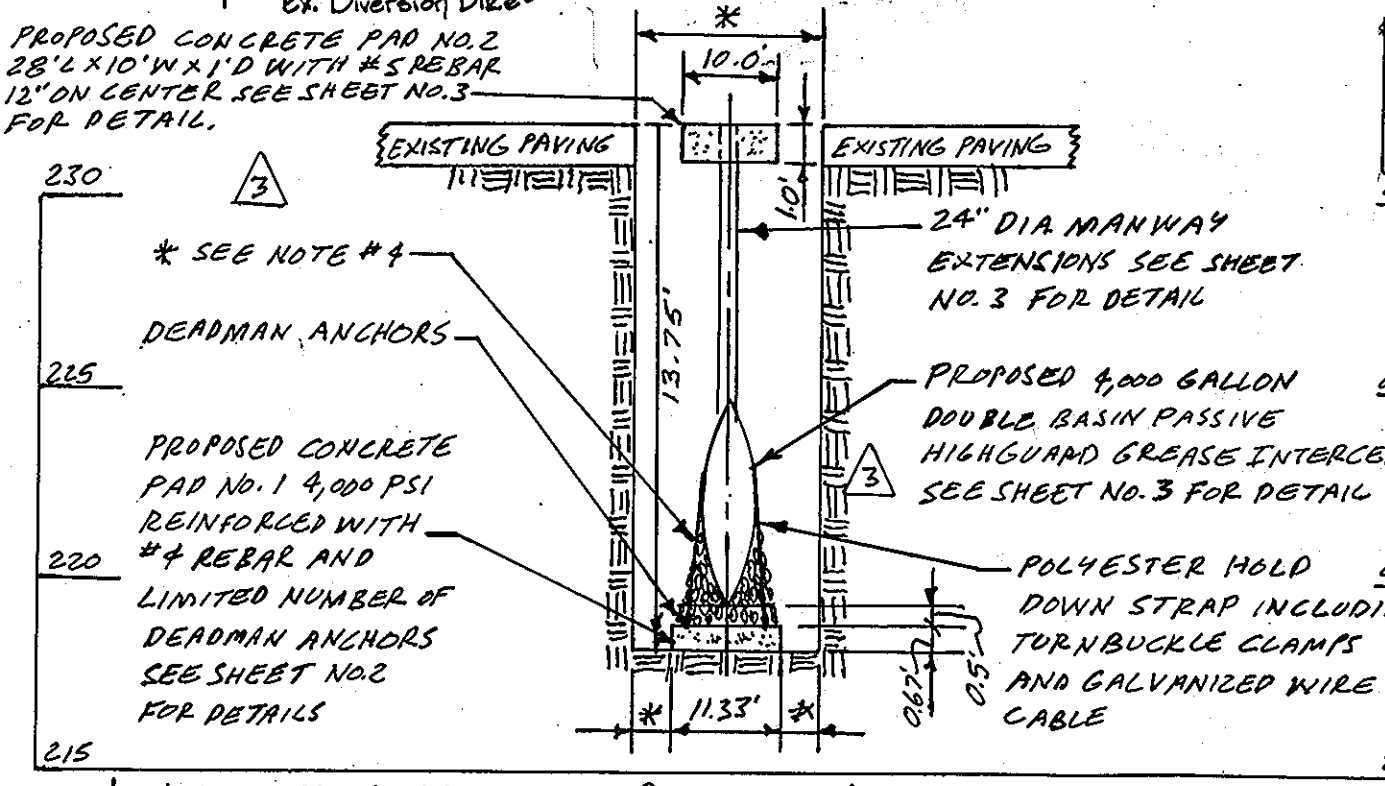
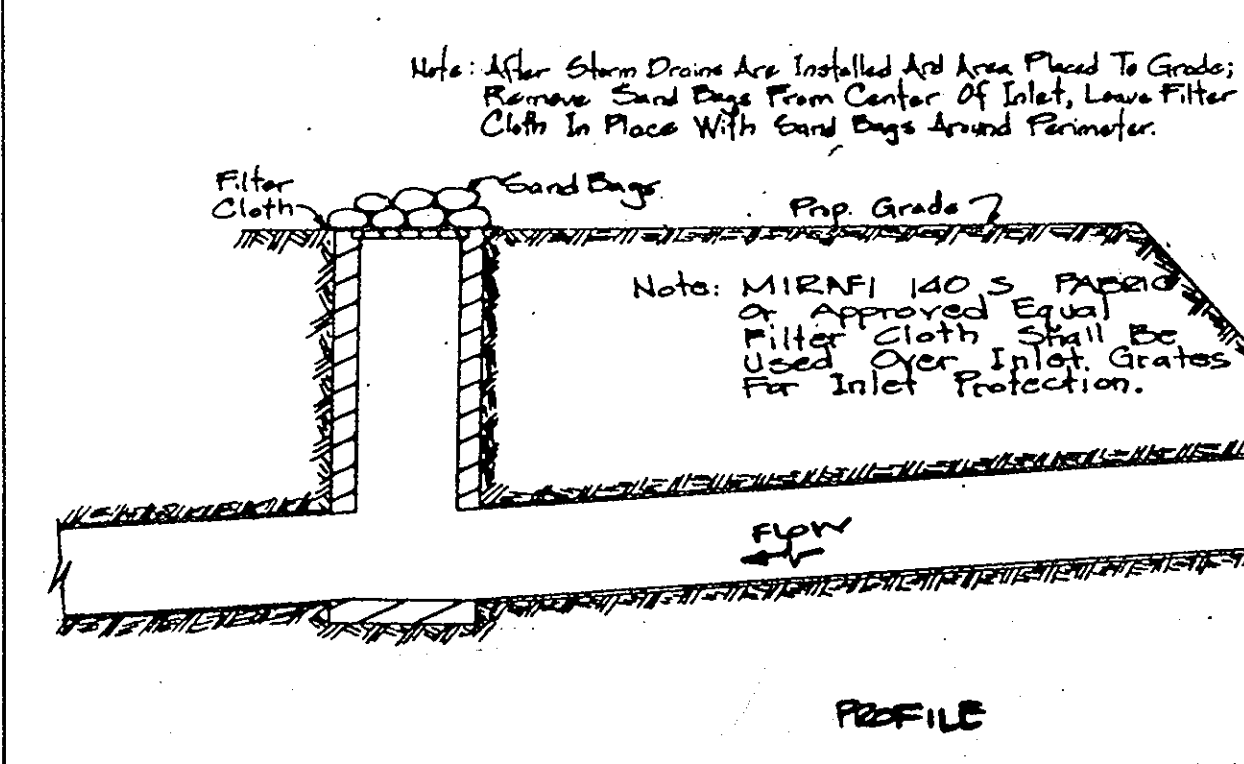
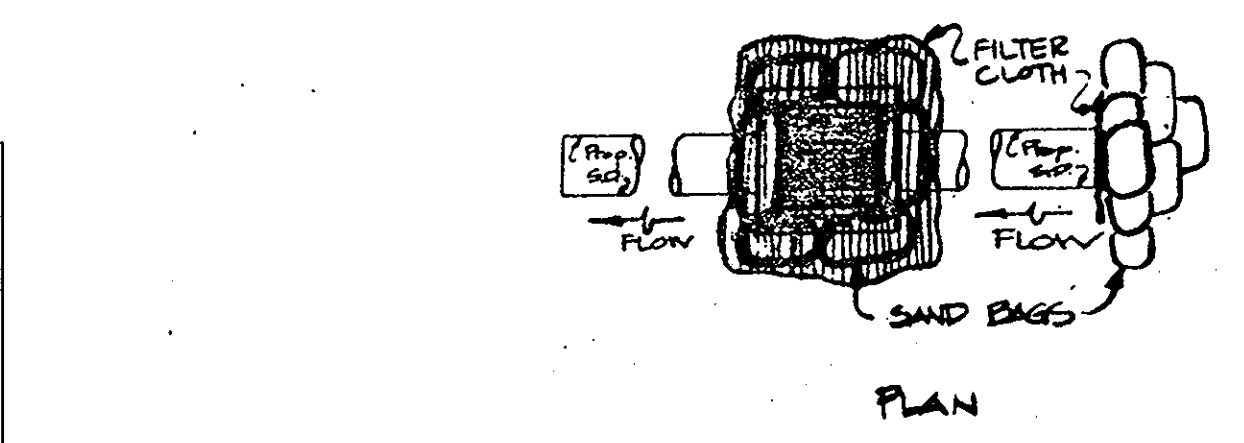
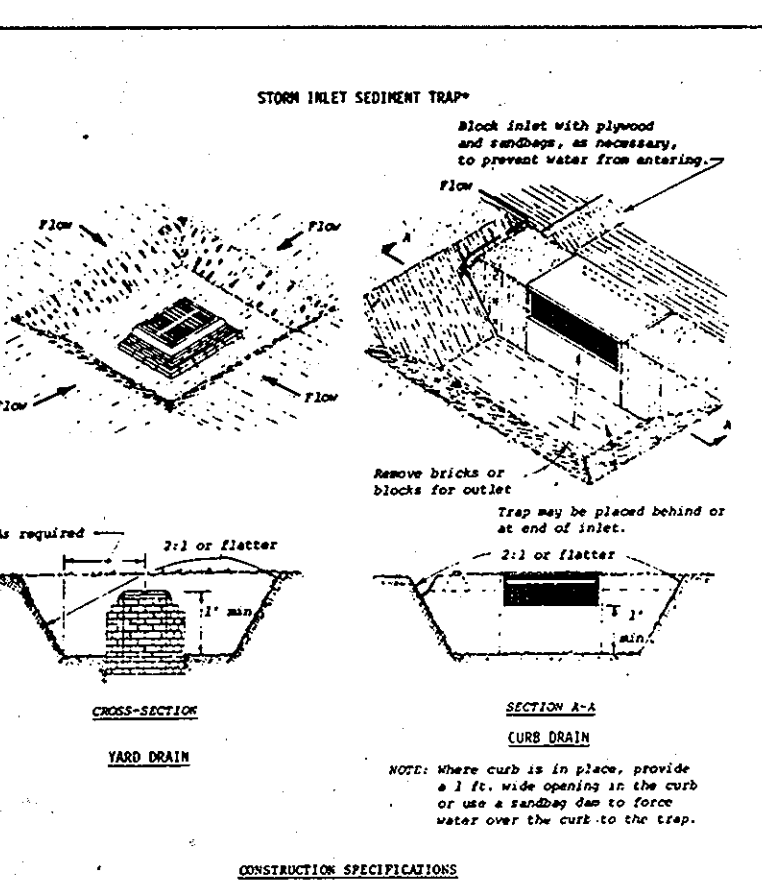
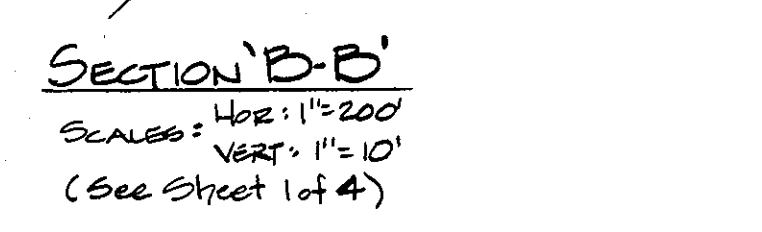
HOWARD SOIL CONSERVATION DISTRICT
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 APPROVED: HOWARD SOIL CONSERVATION DISTRICT DATE: 6/27/83
 REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.
 James M. Helmer 6/27/83
 SECRETARY: THE UNITED STATES SOIL CONSERVATION DISTRICT

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEM
 HOWARD COUNTY HEALTH DEPARTMENT
 DATE: 7-1-83
 COUNTY HEALTH OFFICER: [Signature]
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 DATE: 7-1-83
 PLANNING DIRECTOR: [Signature]
 CHIEF OF LAND DEVELOPMENT & ZONING ADMINISTRATION
 DATE: 7-1-83
 APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
 DATE: 6-28-83
 DIRECTOR: [Signature]
 CHIEF OF BUREAU OF ENGINEERING
 DATE: 6-28-83



SEQUENCE OF INSTALLATION FOR INTERCEPTOR

- OBTAIN PLUMBING PERMIT.
- NOTIFY HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES 48 HOURS BEFORE BEGINNING WORK.
- SAW CUT EXISTING ASPHALT AND CONCRETE PAVING SEE PLAN FOR LOCATION REMOVE AND DISPOSE.
- EXCAVATE DOWN TO EXISTING B' INDUSTRIAL SANITARY SEWER LINE. DO NOT DISTURB OR BREAK SEWER LINE.
- CONTINUE EXCAVATING DOWN (NOT DISTURBING OR BREAKING SEWER LINE) TO BOTTOM OF NEW CONCRETE PAD NO. 1 ELEVATION.
- INSTALL NEW CONCRETE PAD 1 WITH REINFORCING AND DEADMAN ANCHORS. SEE CONCRETE PAD NO. 1 PLAN SHEET NO. 3.
- ONCE CONCRETE PAD NO. 1 IS INSTALLED SPREAD 0.5" LAYER OF (SEE NOTE #4 THIS SHEET AND PROFILE SHEET NO. 2).
- SHUT OFF EXISTING B' INDUSTRIAL SANITARY SEWER LINE. CUT AND REMOVE SECTION OF EXISTING INDUSTRIAL SEWER LINE. (SEE PLAN & PROFILE FOR LOCATION).
- WITH CRANE LIFT AND PLACE NEW 4,000 GALLON INTERCEPTOR ON CRUSHED AGGREGATE AND CONCRETE PAD ALIGN INTERCEPTOR INLET AND OUTLET CONNECTIONS WITH EXISTING B' INDUSTRIAL SEWER LINE WITH BOTH INLET AND OUTLET STRAP TANK DOWN WITH TWO POLYESTER HOLD DOWN STRAPS. (SEE SECTION A THIS SHEET).
- MAKE FINAL INLET AND OUTLET CONNECTIONS TO NEW 4,000 GALLON INTERCEPTOR.
- INSTALL TWO 24" DIA. MANHOLE EXTENSIONS WITH MANHOLE FRAMES AND COVERS. (SEE PROFILES & DETAILS SHEET NOS. 2 & 3. INSTALL FOG WATCH MONITORING SYSTEM.
- INSTALL THREE 2" PVC VENTS FROM THE TOP TO THE LOADING DOCK AREA.
- TURN ON B' INDUSTRIAL SEWER LINE. (CHECK FOR LEAKS).
- BACKFILL TANK AND PIPE TRENCH TO SUBGRADE.
- INSTALL NEW CONCRETE PAD NO. 2 (SEE PLAN & PROFILE FOR LOCATION).
- CLEAN UP WORK AREA FOR FINE FINISH RECEPTION.



NOTE FOR CURRENT PROPOSED GRADING
 SEE APPROVED SITE AND UTILITIES PLAN (SHEET 1 OF 4)

NOTES:
 1. ALL WORK SHALL BE PERFORMED WITH THE LATEST APPLICABLE FEDERAL, STATE AND LOCAL SAFETY AND HEALTH REGULATIONS.
 2. CONTRACTOR TO PROVIDE TRENCH BOX OR TRENCH SHIELDING TO STABILIZE TRENCH DURING INSTALLATION.
 3. WIDTH OF TRENCH TO BE DETERMINED BY CONTRACTOR BASED ON EQUIPMENT NEEDED TO COMPACT TRENCH MATERIALS.
 4. BEDDING AND BACKFILL SHALL BE CLEAN SAND, PEA GRAVEL OR NO. 8 CRUSHED STONE. MECHANICALLY STABILIZED IN CLASSES 30 TO 75% OF THE MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AS WASHED DESIGNATION 7-150.
 5. Temporary Ex. Drainage Area; 1.1 Acres; Proposed Drainage Area; 1.0 Acres

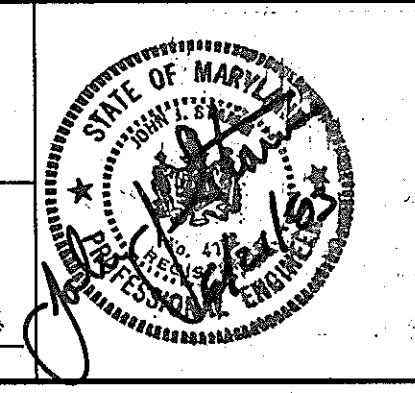
SEDIMENT TRAP DESIGN DATA

TRAP	@ I-1	@ I-2	@ I-3	@ I-5	#4	#5
Type Of Trap	Storm Inlet	Storm Inlet	Storm Inlet	Storm Inlet	Pipe Outlet	Pipe Outlet
Drainage Area	2.1 Ac. ±	2.3 Ac. ±	2.8 Ac. ±	2.4 Ac. ±	2.6 Ac. ±	2.6 Ac. ±
Volume Required	3780 c.f.	4140 c.f.	5040 c.f.	4320 c.f.	10980 c.f.	4680 c.f.
Volume Provided	5148 c.f.	5148 c.f.	5148 c.f.	5148 c.f.	12708 c.f.	7028 c.f.
Bottom Dimensions	20'x40'x3' Deep	20'x40'x3' Deep	20'x40'x3' Deep	20'x40'x3' Deep	45'x40'x3' Deep	45'x40'x3' Deep
Top Of Trap	Grate 229.5	Grate 229.5	Grate 230	Grate 234.5	Berm 230.5	Berm 228.5
Bottom Of Trap	226.5	226.5	227.5	231.5	225.5	225.5
Cleanout Elevation	227.5	228.5	228.5	232.5	227.5	227.5
Outlet Pipe Size					30"	21"

APPROVED
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE: 6-2-83
 [Signature]

- CONSTRUCTION SEQUENCE**
- Repair and clean existing Sediment Control Devices which contribute flow to existing Sediment Traps 1, 2 & 3.
 - Install stabilized construction entrances.
 - Install Phase I Sediment Control Devices along Oceanic Avenue.
 - Install Storm Drain along west property line (M-3, M-4, I-6, M-2, I-7) Protect I-7 from accepting silt; Construct Temp. Ditch to Trap #5
 - Install Diversion Dikes, and Phase I (Trap #5) and Outfall Pipe.
 - Install Sanitary Sewers from Oceanic Avenue to Manholes, MH 4 & MH 10 plug and construct Storm Drain S-1 to I-1, Construct Phase I (Trap #4) and outfall pipe to I-1.
 - Abandon existing Trap #2, refill and grade to drain and construct Diversion Dike adjacent to Phase I (Trap #4).
 - Construct Storm Drain System M-1, I-1, I-2, I-3, I-4 & I-5.
 - Construct Inlet Sediment Traps at I-1, I-2, I-3, & I-5. Grade vicinity I-7 to drain to S.I.S.T. #5.
 - Abandon Phase I (Trap #4).
 - Commence Grading Operations and begin on-site sewer, water and drain construction.
 - Stabilize Disturbed Areas as soon as possible after they are brought to grade.
 - Abandon Sediment Control Devices as Drainage Area to each device is stabilized.
 - Clean and Stabilize Existing Sediment Trap #1 and Fill and Stabilize (abandon) existing Sediment Trap #3.

ENGINEER
GEORGE WILLIAM STEPHENS, JR. & ASSOC., INC.
 303 ALLEGHENY AVENUE
 ELK LANE & BUNYON RD
 TOWSON, MARYLAND 21284
 201-825-8120



DEVELOPER
SEAFOOD MARKET ASSOC. LTD. PARTNERSHIP
 3011 FREDERICK ROAD
 ELLICOTT CITY, MARYLAND 21043

OWNER
MARYLAND FOOD CENTER AUTHORITY
 201 WEST PRESTON STREET
 BALTIMORE, MARYLAND 21201
 301-383-2000

REVISIONS

DESCRIPTION	NO.	DATE
PROVIDED SECTION DETAIL OF 4,000 GALLON INTERCEPTOR AND PROVIDED SEQUENCE OF INSTALLATION FOR INTERCEPTOR BY CWS.	1	01/22/10

EROSION AND SEDIMENT CONTROL PLAN
 FOR
MARYLAND WHOLESALE SEAFOOD MARKET
 SECTION 3 BLOCK A PARCEL B PLAT #2401
 MARYLAND WHOLESALE FOOD CENTER

HOWARD COUNTY, MARYLAND ELECTION DISTRICT #6
 SCALE: 1"=100' JUNE 21, 1983 PL. 4711
 DRAWN BY: HMB DESIGNED BY: C.P.H. CHECKED BY: C.P.H.

JOB NO. DATE SHEET NO. **4** OF 4
SDP-83-188