

**SPECIAL NOTES**

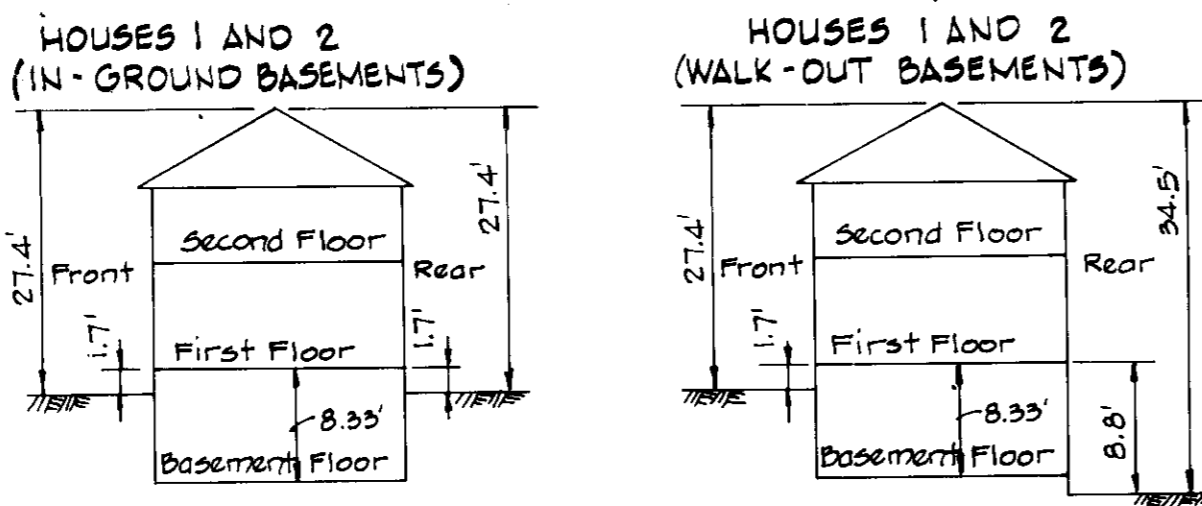
1. Development plan includes all applicable information outlined in Data Sheet 150 Neighborhood Standards F.H.A. Land Planning Bulletin No. 3 V.A. Pamphlet 4 A 8 and conforms with lot improvements and detail grading of Chapter XII F.H.A. Minimum Property Requirements dated May 1963, and to all applicable ordinances and regulations.

2. Drainage structures have been designed in accordance with sound engineering practice using recognized formulas and rainfall data currently prescribed by local authorities. These exhibits comply with the F.H.A. objectives, Minimum Property Standards, local acceptable standards and neighborhood requirements conform to all applicable local government ordinances and regulations and represent the best professional judgement of the designer.

NOTE: PUBLIC AND PRIVATE ROADS TO BE CONSTRUCTED FROM ROAD CONSTRUCTION DRAWINGS FB3-90.

**GENERAL NOTES**

1. Topography taken from aerial topo prepared by Maps Incorporated and verified by field-run survey.
2. Recording reference for lots 471 thru 478 is Plat # 5440-5441
3. Water and sewer facilities are to be provided. (Publicly Owned)
4. Minimum setback from the public street shall be 20' unless otherwise approved by Howard County Planning Board.

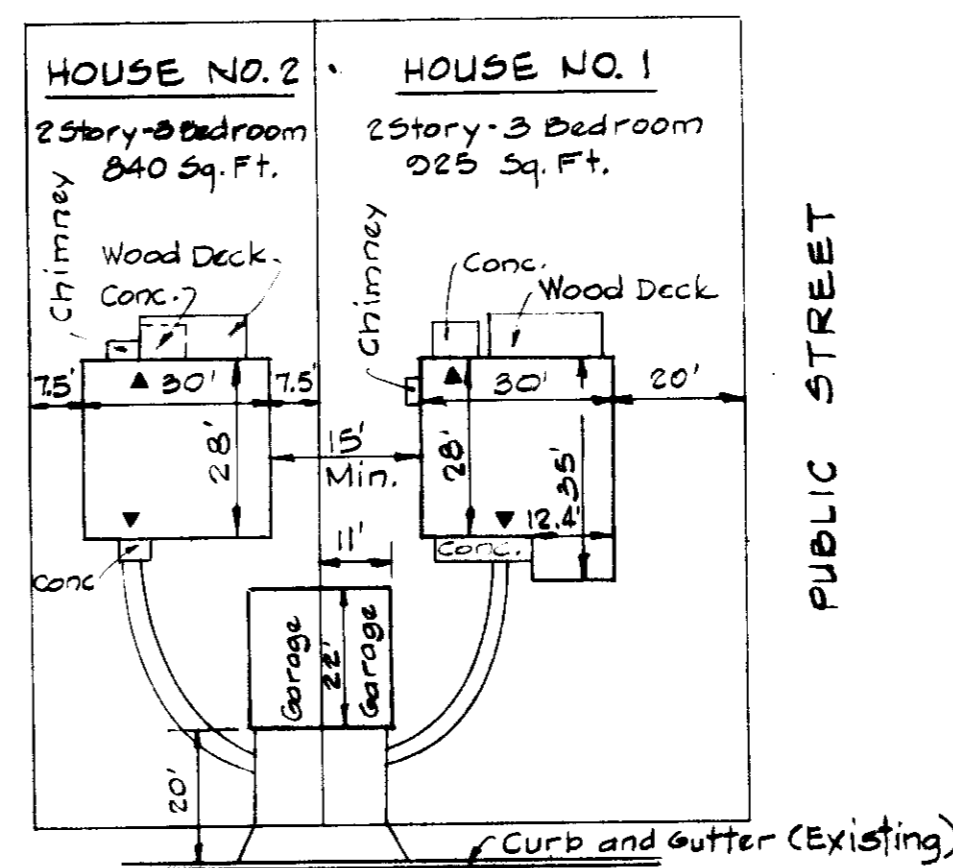


TYPICAL DWELLING ELEVATIONS

No Scale  
LOTS 462 THRU 470  
PLAT #

BUILDING COVERAGE			
Lot No.	Lot Area-S.F.	House Area-S.F.	% Lot Coverage
471	7,214	1,165	16.1%
472	5,144	1,080	21.0%
473	7,677	1,165	15.2%
474	5,477	1,165	21.3%
475	11,298	1,165	10.3%
476	5,557	1,165	21.7%
477	7,552	1,165	15.6%

\* Includes Garage.  
See Architectural Plans For Details.

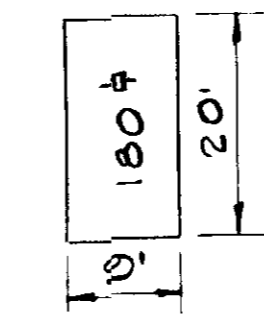


TYPICAL PLOT PLANS

Scale: 1" = 30'

**TYPICAL PARKING SPACE**

No Scale



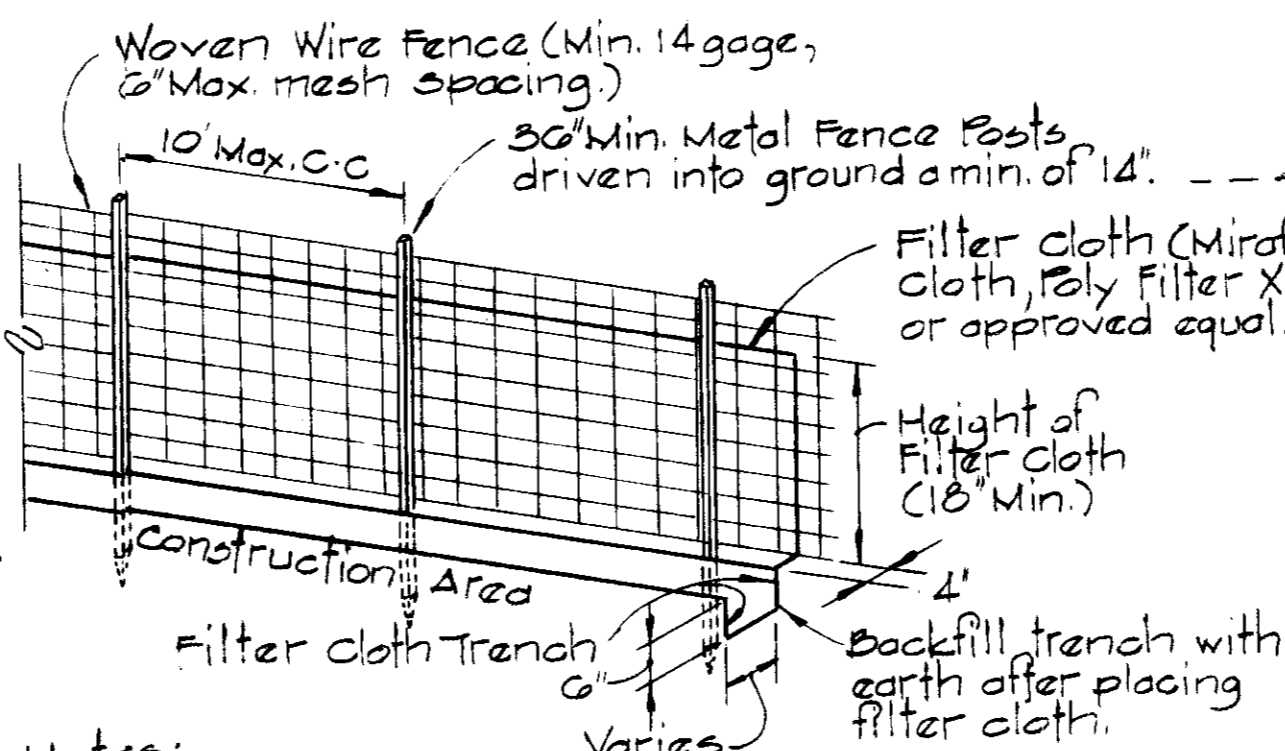
**SEQUENCE OF CONSTRUCTION**

- HRD will:
1. Grade Lots 466 thru 478 utilizing sediment control measures approved under F-80-90 and F-83-90.
  2. Pave Kindler Road and private court on Lot 478 and Seed Lots 466 thru 473.

- MARK BLDG. will:
1. Install Silt Fence for 1st Phase Lots 474 thru 477.
  2. Construct dwellings and appurtenances and seed yards.
  3. Remove silt fence when yards have stabilized.
  4. Install Silt Fence for 2nd Phase Lots 471, 472 and 473.
  5. Construct dwellings and appurtenances and seed yards.
  6. Remove Silt Fence when yards have stabilized.

**PERMANENT SEEDING**

Lime: 2 tons/acre agricultural ground limestone.  
Fertilizer: 1000#/acre (10-10-10)  
Seeding: 100#/acre of the following:  
20% Kentucky Blue Grass, 20% Merion Blue Grass, 5% Redtop, 55% Creeping Red Fescue.  
Mulch Required: Mulch area with straw at the rate of 75#/1000 sq. ft. or 15 tons/acre. Anchor with asphalt at the rate of 400 gallons/acre.



- Notes:
1. Waven wire fence to be fastened securely to fence posts by use of wire ties.
  2. Filter cloth to be fastened securely to waven wire fence by use of wire ties spaced every 24" x 24".

**SILT FENCE DETAIL**

No Scale

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT

John B. ... 6-9-83 DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING

Thomas J. ... 6-10-83 DATE

PLANNING DIRECTOR

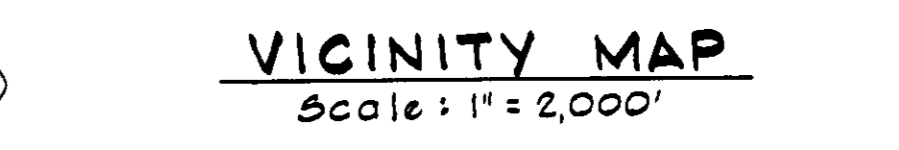
CRITIC DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

James F. ... 6-6-83 DATE

DIRECTOR

CHIEF, BUREAU OF ENGINEERING



VICINITY MAP  
Scale: 1" = 2,000'

**SITE ANALYSIS**

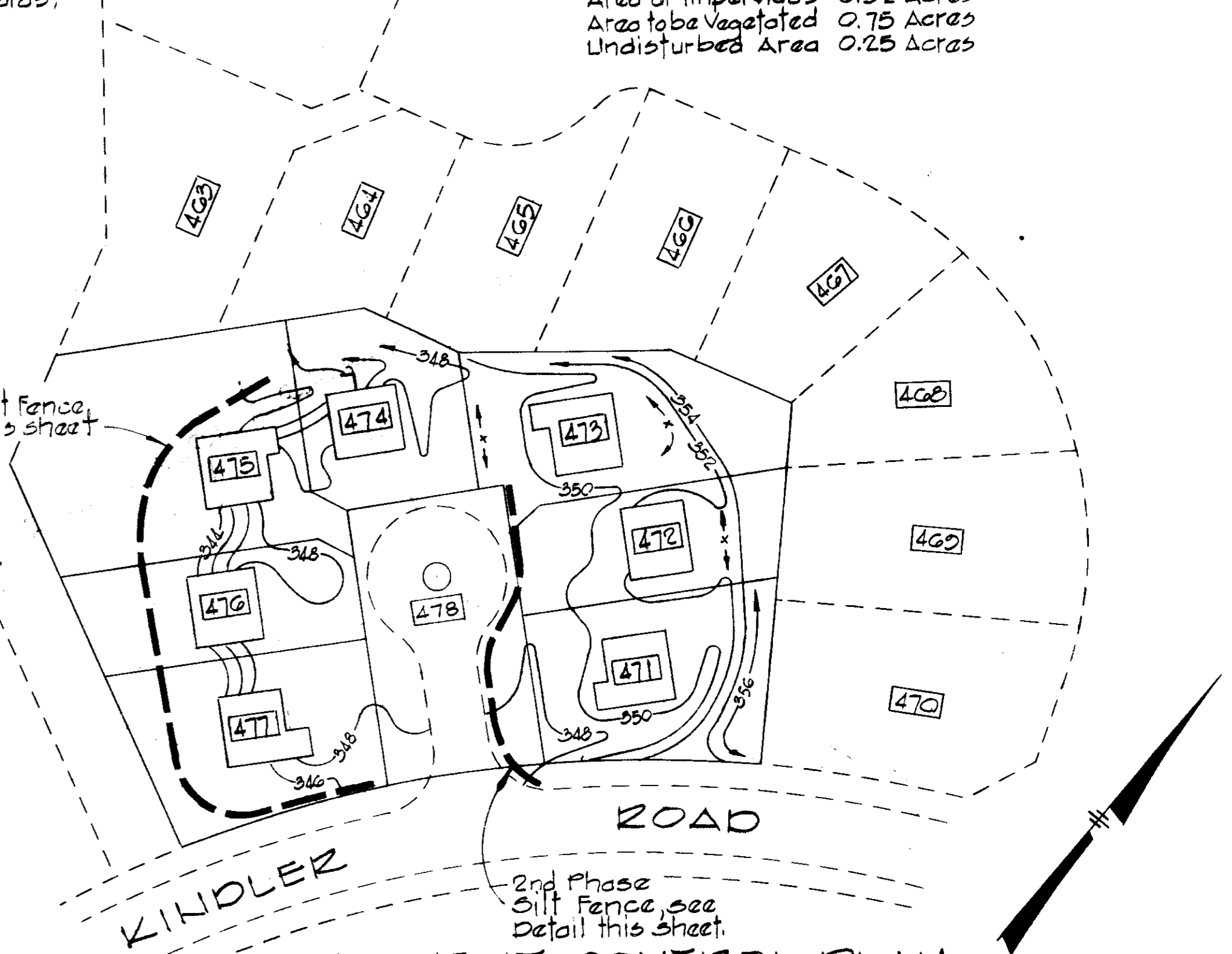
Existing Zoning - New Town (Single Family Medium Density)  
Final Development Plan Phase 178-A-1, Part II Plat # 3054A-54G thru 561  
Number of Lots = 8 (7 Dwelling and 1 Common Open Area)  
Total Area = 1.920 Ac. Density = 7/1.920 = 3.65 Dwellings/Ac.

**OFF-STREET PARKING SPACES**

Required: 7 Dwellings @ 2 Spaces/Dwelling = 14  
Proposed: 14 Spaces - 7 in Garages, 7 in Driveways

**SITE ANALYSIS (SEDIMENT CONTROL)**

Total Area 1.92 Acres  
Area of Impervious 0.92 Acres  
Area to be Vegetated 0.75 Acres  
Undisturbed Area 0.25 Acres



**SEDIMENT CONTROL PLAN**

Scale: 1" = 50'

No.	DATE	DESCRIPTION OF REVISION
3	5/23/83	Revised Bldgs. on Lots 474 and 475
2	5/13/83	As Per Planning Comments
1	4/20/83	Revised Sediment Control Plan

**COLUMBIA SITE PLAN**

for VILLAGE OF KINGS CONTRIVANCE  
SECTION 2 AREA 3  
LOTS 471 THRU 478  
**GRADING PLAN AND SEDIMENT CONTROL PLAN**  
SHEET 1 OF 1  
ELECTION DISTRICT NO 6, HOWARD COUNTY, MARYLAND  
DATE: April 20, 1983 SCALE: As Shown

**LEGEND**

- 340 Proposed Contour (1' Interval)
- 340 Existing Contour (2' Interval)
- 1 or 2 Building Type
- 278 Lot Number
- R.W. Retaining Wall
- H.R. Handicap Ramp
- Concrete Walk (Existing)
- Fire Hydrant
- Light Fixture
- Trees to Remain
- Modified Curb and Gutter (Existing)
- Silt Fence
- Diversion Dike

**GRADING PLAN**

Scale: 1" = 30'

**RESPONSIBLE PERSONNEL CERTIFICATION**

"I HEREBY CERTIFY THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT."

Lee B. Rosenberg 4-20-83 DATE

**CERTIFICATION BY THE DEVELOPER**

"I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

Lawrence I. Rosenberg 4-20-83 DATE

**CERTIFICATION BY THE ENGINEER**

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Kenneth A. McCord P.E. 1974 4-20-83 DATE

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS

U.S. SOIL CONSERVATION SERVICE

6/21/83 DATE

APPROVED: [Signature] 6-21-83 DATE  
HOWARD S.C.D.

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE 5-18-83

MARK BUILDING COMPANY, INC.  
P.O. BOX 1272  
COLUMBIA, MD. 21044

OWNER  
10275 LITTLE PATUXENT PARKWAY  
COLUMBIA, MARYLAND 21044

WHITMAN, REQUARDT & ASSOCIATES ENGINEERS  
2315 ST. PAUL STREET  
BALTIMORE, MARYLAND 21218  
KENNETH A. MCCORD P.E. NO. 1974