

**DEVELOPER'S CERTIFICATE**  
 THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I, AS AUTHORIZED PERSONNEL ON-SITE IN ACCORDANCE WITH THE HOWARD SOIL CONSERVATION DISTRICT ON THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

*James M. Helm* DATE **12/10/83**

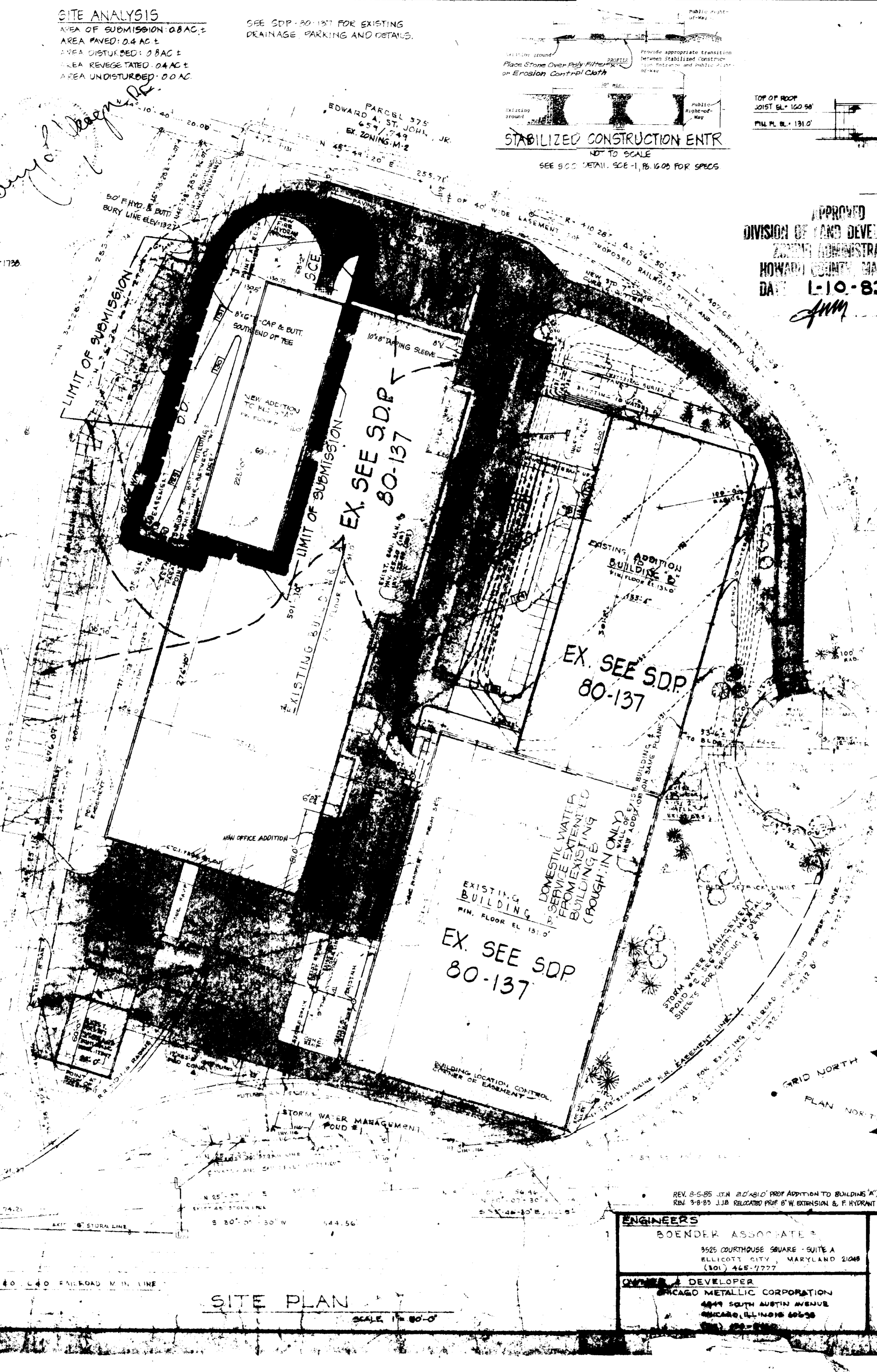
**ENGINEER'S CERTIFICATE**  
 THAT THIS PLAN OF DEVELOPMENT AND CONSTRUCTION CONTROL REPRESENTS A PRACTICAL AND FEASIBLE PLAN OF DEVELOPMENT AND CONSTRUCTION OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*James M. Helm RE* DATE **12/10/83**

- CONSTRUCTION SEQUENCE**
1. OBTAIN BUILDING PERMIT
  2. NOTIFY THE HOWARD COUNTY BUREAU OF LICENSE, INSPECTIONS AND PERMITS 24 HOURS PRIOR TO GRADING OPERATIONS. ALSO CONSTRUCTION INSPECTIONS/SURVEY DIVISION @ 702-7272 OR 400-1190
  3. INSTALL TEMPORARY SEDIMENT CONTROL MEASURES (S.O.E., S.O.D. & D.D.)
  4. ROUGH GRADE. APPLY TEMPORARY STABILIZATION
  5. STABILIZE AREAS TO BE PAVED WITH BASE COURSE
  6. CONSTRUCT ADDITION
  7. PAVE DRIVEWAY AND PINE GRADE. APPLY PERMANENT STABILIZATION
  8. REMOVE TEMPORARY SEDIMENT CONTROL MEASURES WITH APPROVAL OF HOWARD COUNTY BUREAU OF LICENSE, INSPECTIONS AND PERMITS.

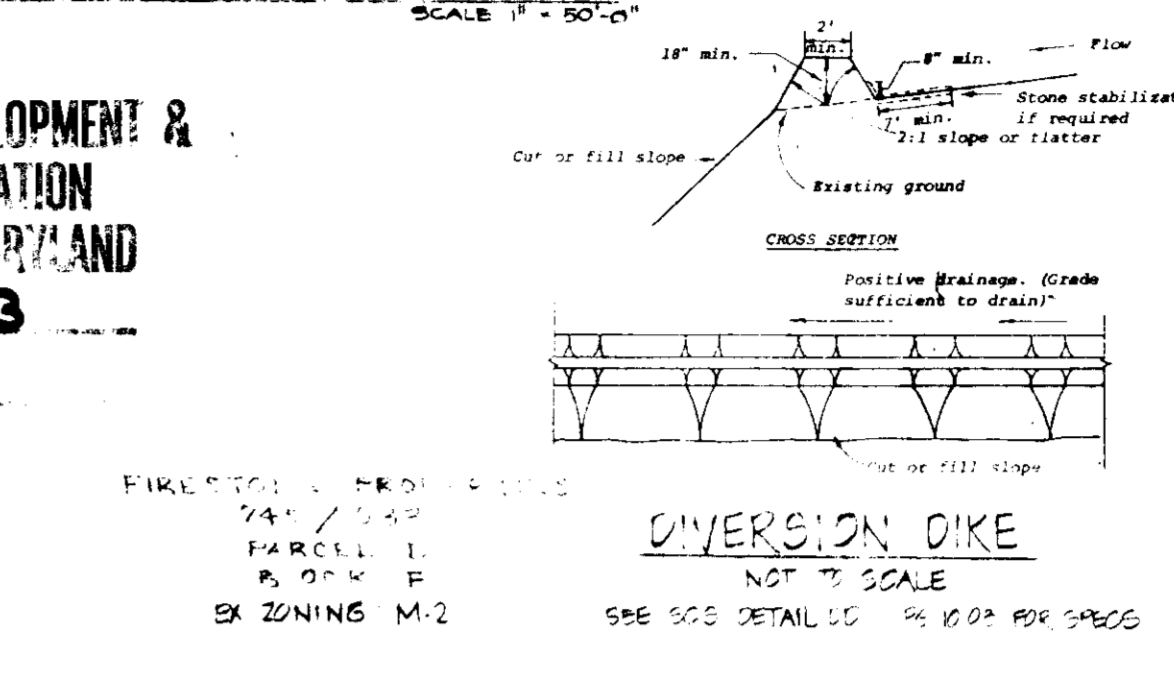
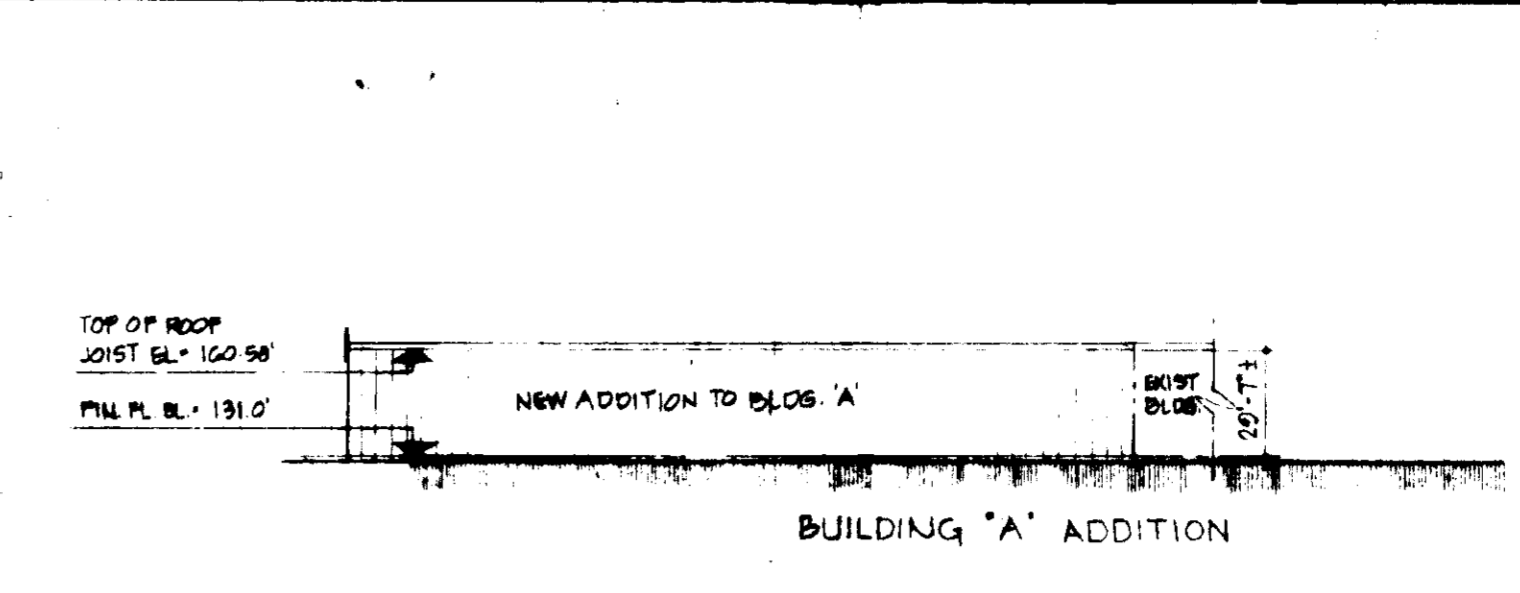
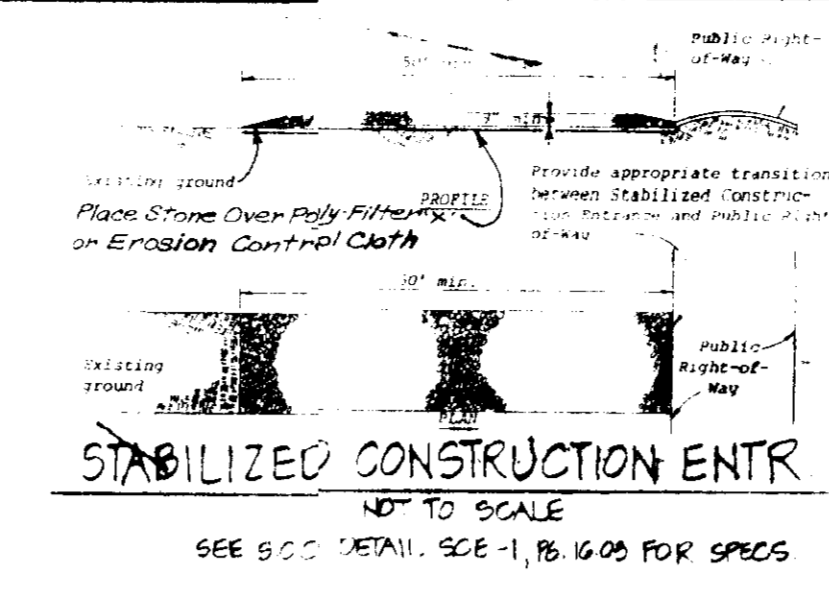
- NOTES**
1. AREA OF MANUFACTURING EXIST. 23,000 SQ. FT., PROP. 0.56 FT.
  2. NUMBER OF OFFICE EMPLOYEES EXIST. 15, PROP. 0
  3. OTHER EMPLOYEES EXIST. 116, PROP. 0
  4. THE CONTRACTOR OR DEVELOPER SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION 24 HOURS PRIOR TO COMMENCEMENT OF WORK AT 592-2417
  5. TRUCK LOADING SPACES TO BE USED AS FREIGHT TRANSFER PARKING ONLY
  6. USE OF ADDITION TO BLDG. "A" IS STORAGE
  7. SITE IS A PORTION OF TAX MAP NO. 574
  8. SANTA BARBARA COURT RECORDED IN PLAT BOOK 25, P. 1010 AS ALONG THE LATEST RECORDS OF HOWARD CO., MD. IS AN EXISTING PUBLIC ROAD
  9. ZONING OF SITE IS M-2
  10. ONE-STREET PARKING: 10 SPACES (1 PARKING SPACE FOR TWO EMPLOYEES OR 1 PERCENT OF TOTAL FLOOR AREA)
  11. COMPLIANCE WITH HOWARD COUNTY ZONING PARKING REQUIREMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
  12. TRUCK PARKING: CHICAGO METALLIC CORP. DOES NOT HAVE A TRUCK FLEET. SHIPPING AND RECEIVING IS BY CONTRACTORS. BLDG. "A" HAS BAYS FOR 8 TRUCKS (INSIDE). BLDG. "B" HAS 6 OUTSIDE TRUCK SPACES. BLDG. "C" ADDITION HAS 3 OUTSIDE TRUCK SPACES INSIDE. TRUCK TRUCK PARKING ON SITE IS 11 SPACES.
  13. SITE ANALYSIS:
    - a) AREA OF SITE: DEEDED PARCEL AREA = 10.10 ACRES; TOTAL SITE AREA = 13.017 ACRES
    - b) GROSS BUILDING AREA:
 

BLDG.	FLOOR	MANUFACTURING	OFFICE
BLDG. "A"	MEZZANINE FLOOR	75,740 SQ. FT.	10,000
BLDG. "A"	MEZZANINE	17,000 SQ. FT.	17,000
BLDG. "B"	GROUND FLOOR	47,000 SQ. FT.	10,000
BLDG. "B"	MEZZANINE	8,010 SQ. FT.	0
BLDG. "C"	ADDITION	40,000 SQ. FT.	40,010
PAINT STORAGE	BLDG.	3,000 SQ. FT.	3,000
<b>GRASS BLDG. AREA</b>		<b>103,920 SQ. FT.</b>	<b>23,000</b>
    - c) FLOOR AREA RATIO: FLOOR AREA RATIO = 36%; FLOOR AREA RATIO WITH PROPOSED ADD. TO BLDG. "A" = 39.0%; PERMITTED FLOOR AREA RATIO = 30.7%
    - d) LANDSCAPING: LANDSCAPING AND PLANTING = 146,600 SQ. FT. LAND IN GRASS AND PLANTING, AFTER PROPOSED ADDITION TO BLDG. "A" = 151,075 SQ. FT. PERCENTAGE OF SITE W/ LANDSCAPING = 25.5%; PROPOSED PERCENTAGE W/ LANDSCAPING = 23.1%; REQ'D. MINIMUM PERCENTAGE = 20% MIN.
  14. LANDSCAPED AREA DOES NOT INCLUDE RAILROAD EASEMENTS OR SPACE NORTH OF PAINT, STEEL BLDG. AND EAST OF PAVING LIMITS AT EAST SIDE OF PROPERTY.



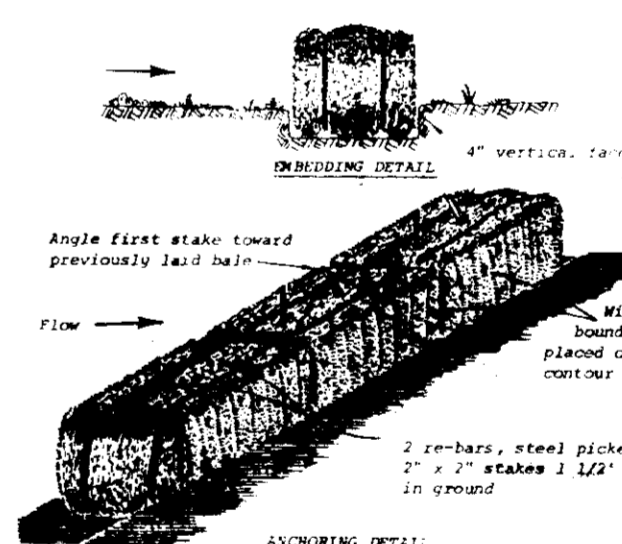
**SITE ANALYSIS**  
 AREA OF SUBMISSION: 0.8 AC ±  
 AREA PAVED: 0.4 AC ±  
 AREA DISTURBED: 0.8 AC ±  
 AREA REVEGETATED: 0.4 AC ±  
 AREA UNDISTURBED: 0.0 AC

SEE SDP 80-137 FOR EXISTING DRAINAGE, PARKING AND DETAILS.



**SEDIMENT CONTROL NOTES**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS PREPARED BY THE U.S.D.A. SOIL CONSERVATION SERVICE.
2. APPLY FOR GRADING PERMIT.
3. NOTIFY THE BUREAU OF LICENSE INSPECTIONS AND PERMITS, 24 HRS. PRIOR TO GRADING OPERATIONS.
4. CONSTRUCTION SHALL ADHERE TO THE CONSTRUCTION SEQUENCE.
5. CUT AND FILL SLOPES SHALL BE 3:1 MINIMUM.
6. ELEVATIONS MARKED THUS (X) SHALL BE FINISHED GRADE.
7. ANY EXCESS MATERIAL SHALL BE STOCKPILED IN A CLEARED LOCATION ON SITE WHICH IS PROTECTED BY SEDIMENT CONTROL STRUCTURE(S). MAXIMUM FILL SHALL BE 3 FT. STOCKPILED MATERIAL SHALL BE STABILIZED ACCORDING TO SPECIFICATIONS BELOW.
8. SEDIMENT CONTROL STRUCTURES SHALL BE REMOVED ONLY WITH PERMISSION OF THE BUREAU OF LICENSE, INSPECTIONS AND PERMITS.
9. STABILIZATION MEASURES:
  - TEMPORARY STABILIZATION:
    - APPLY 2000 LBS./AC. OR 46 LBS. OF PULVERIZED DOLOMIC LIMESTONE, 500 LBS. OR 11.5 LBS./1000 SQ. FT. OF 10-10-10 FERTILIZER, PLANT WITH 100 LBS./AC. MULCH ALL DISTURBED AREAS IMMEDIATELY AFTER GRADING.
    - PERMANENT STABILIZATION:
      - APPLY 2000 LBS./AC. OF PULVERIZED DOLOMIC LIMESTONE
      - 500 LBS./AC. OF 10-10-10 FERTILIZER.
      - 85 LBS./AC. OF KENTUCKY 31 TALL FESCUE.
      - 40 LBS./AC. OF KENTUCKY BLUE GRASS.
      - 25 LBS./AC. OF ANNUAL RYEGRASS.
  - NOTE: SEEDING MAY BE DONE BETWEEN MARCH 1 - MAY 1, OR AUG. 1 - OCT. 1. MULCH ALL DISTURBED AREAS IMMEDIATELY AFTER GRADING.
  - MULCH: 2 TONS/AC. OF UNWEATHERED WHEATSTRAW. TIE MULCH DOWN WITH 400 GAL./AC. OF LIQUID ASPHALT.



REVIEWED FOR HOWARD S.O.D. AND MEETS TECHNICAL REQUIREMENTS

*James M. Helm* DATE **1-31-83**  
 U.S. SOIL CONSERVATION DISTRICT

*Wm. J. Ram* DATE **1-31-83**  
 HOWARD SOIL CONSERVATION DISTRICT

APPROVED FOR NO WATER OR SEWER FACILITIES STORAGE ONLY, HOWARD COUNTY HEALTH DEPARTMENT

*James M. Helm* DATE **3-10-83**

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING ADMINISTRATION

*Thomas J. Smith* DATE **3-10-83**

REVIEWED FOR: STORM DRAINAGE, SEWER AND DRIVEWAYS

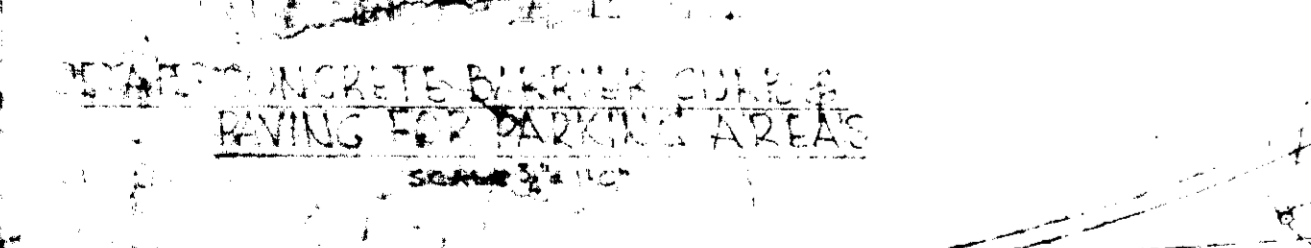
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

*James M. Helm* DATE **3-9-83**

*James M. Helm* DATE **3-9-83**  
 CHIEF BUREAU OF ENGINEERING

BLDG. ADDITION APPROVED SDP 80-137  
 REVISED SITE DEVELOPMENT PLAN SHOWING ADDITION BUILDING "E"

<b>ENGINEERS</b> BOENDER ASSOCIATES 3525 COURTHOUSE SQUARE - SUITE A BELLETT CITY, MARYLAND 21048 (301) 465-7277	<b>DEVELOPER</b> CHICAGO METALLIC CORPORATION 4849 SOUTH AUSTIN AVENUE CHICAGO, ILLINOIS 60632	<b>ARCHITECTS</b> BONNETT and BRANDY ARCHITECTS and ENGINEERS 100 CENTLE STREET BALTIMORE 21201 MARYLAND DATE: DEC 1982 SCALE: AS NOTED REVISIONS: JOB NO. 1
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5'0" C&G RAILROAD MAIN LINE

**SITE PLAN**  
 SCALE 1" = 80'-0"

\* THIS BUILDING ADDITION IS APPROVED FOR STORAGE ONLY, NO WATER OR SEWER ALLOCATION IS GRANTED WITH THIS APPROVAL AND NO PERMIT FOR INSTALLATION OF PLUMBING FIXTURES WILL BE ISSUED UNTIL SEWER CAPACITY IN THE PATASCO TREATMENT PLANT IS AVAILABLE

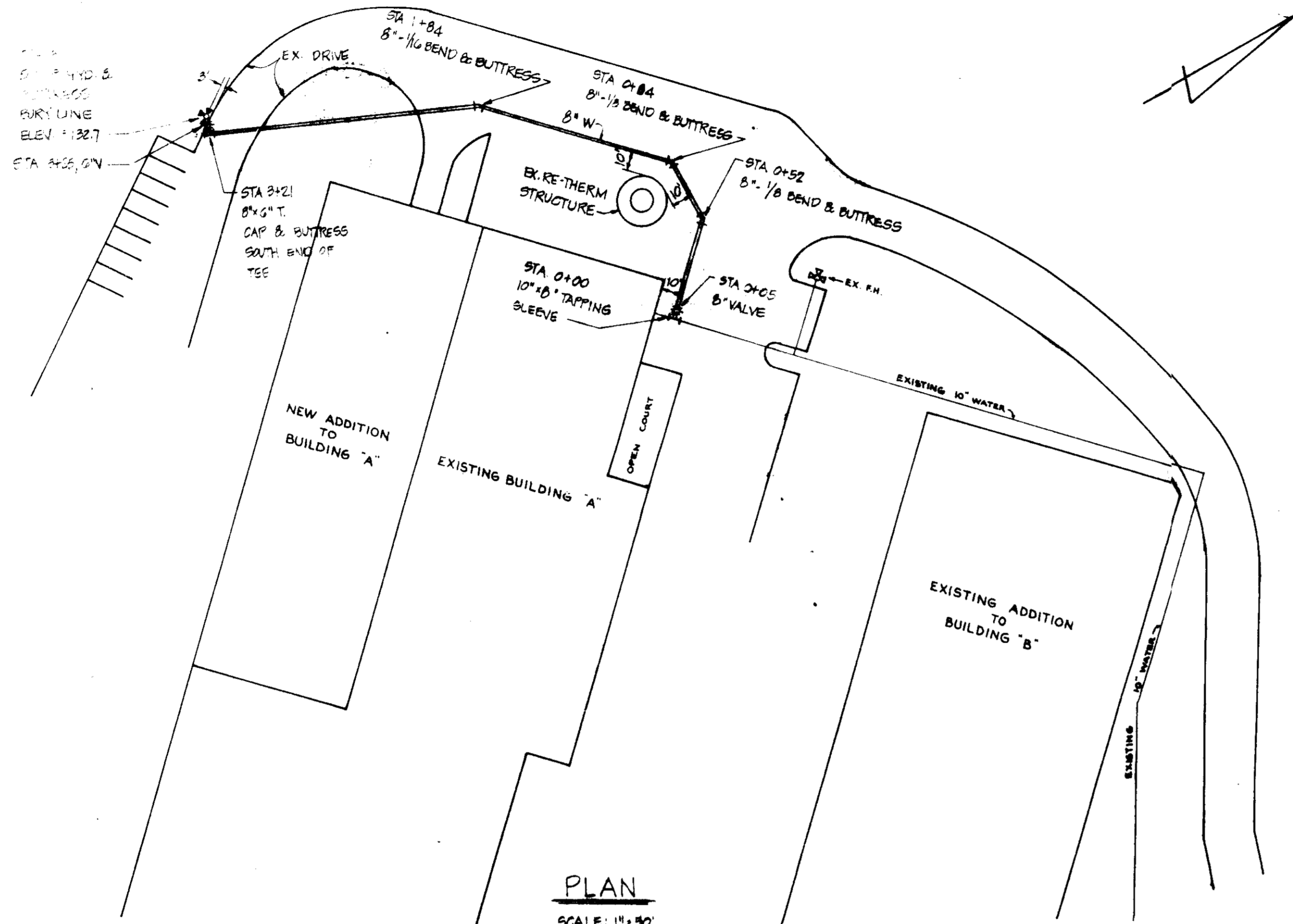
APPROVED FOR NO WATER AND SEWERAGE FACILITIES, STORAGE ONLY.  
 HOWARD COUNTY HEALTH DEPARTMENT  
*[Signature]* 3-10-83  
 DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
*[Signature]* 3-10-83  
 DATE

APPROVED FOR \* STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*[Signature]* 3-9-83  
 DATE

APPROVED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS  
*[Signature]* 3-9-83  
 DATE

U.S. SOIL CONSERVATION SERVICE DATE  
 THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT  
 SOIL CONSERVATION DISTRICT DATE



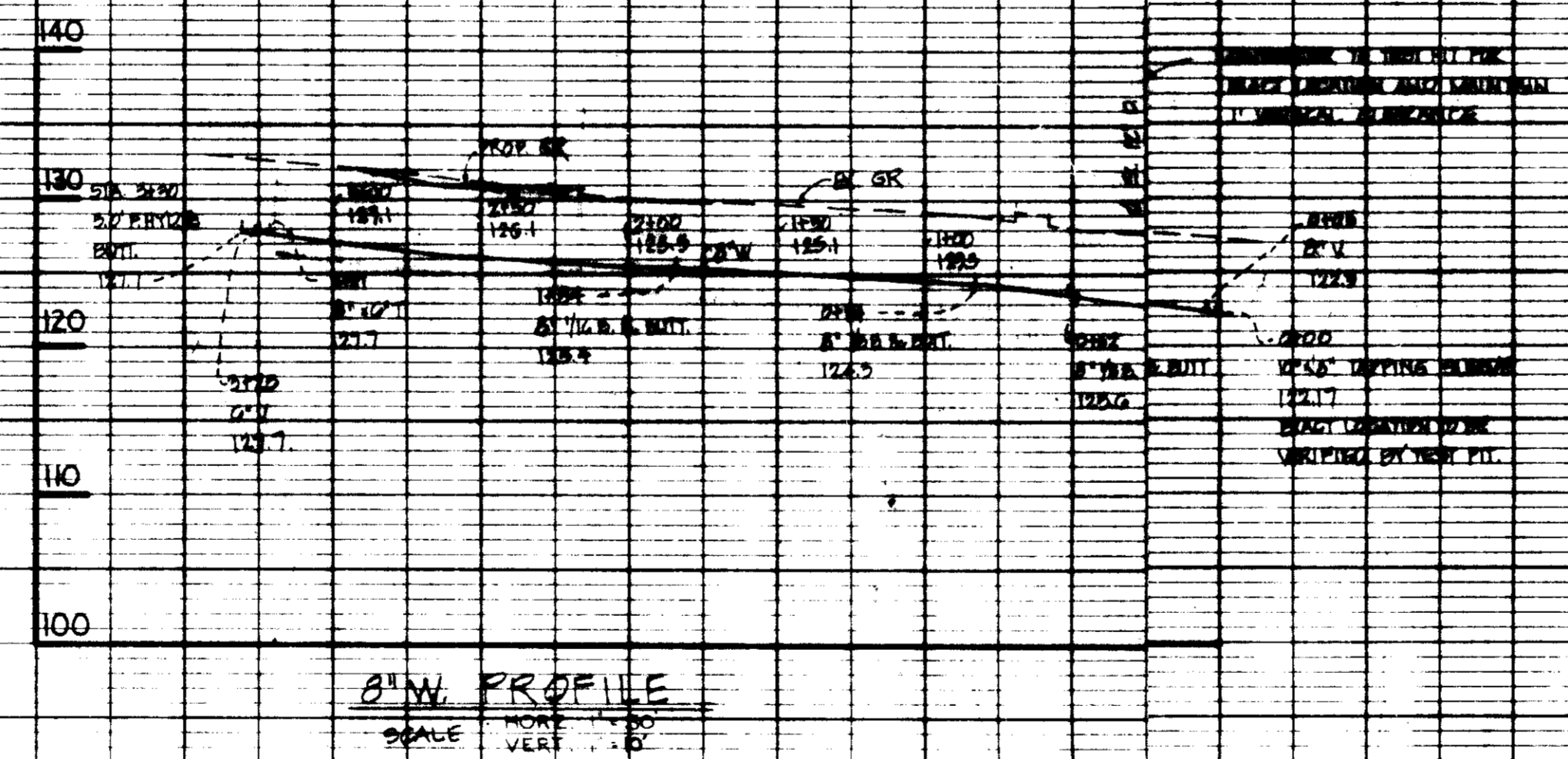
PLAN  
 SCALE: 1"=30'

APPROVED  
 DIVISION OF LAND DEVELOPMENT &  
 ZONING ADMINISTRATION  
 HOWARD COUNTY, MARYLAND  
 DATE 1-10-83  
*[Signature]*

*Larry S. Yeager PE*



TITLE PRIVATE 8" WATER EXTENSION - PLAN AND PROFILE							
PROJECT ADDITION TO BUILDING "A"							
LOCATION 1ST BARRON DISTRICT PK. MAP ST. HOWARD COUNTY, MD.							
DATE 1-10-83	SCALE 1"=30'	DESIGN BY J.J.B.	DRAWN BY C.B./J.J.B.	CHECKED BY	DRAWING NO. 2 OF 2	JOB NO. 82184	
BOENDER ASSOCIATES 1100 WASHINGTON BLVD. SUITE A ELICOTT CITY, MARYLAND 21043 301-983-7777							
engineers surveyors planners							



8" W. PROFILE  
 SCALE: HORIZ. 1"=30' VERT. 1"=8'

PLAN

PROFILE