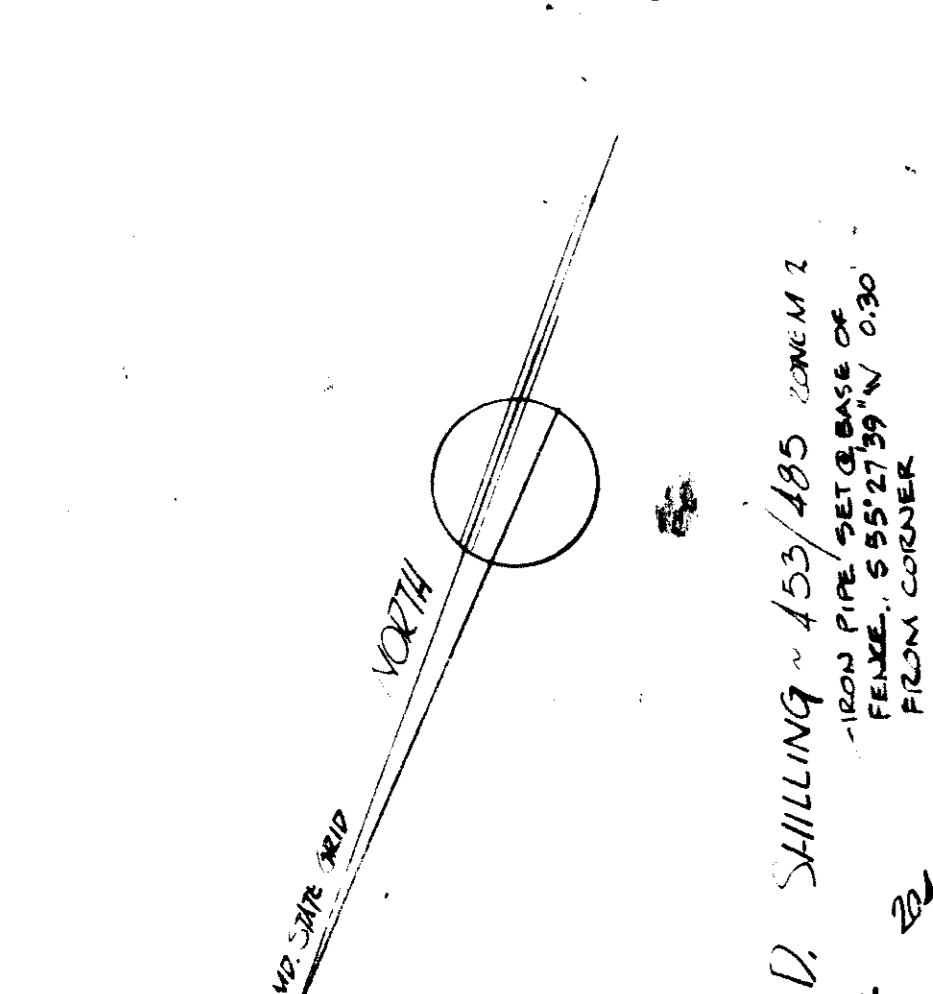
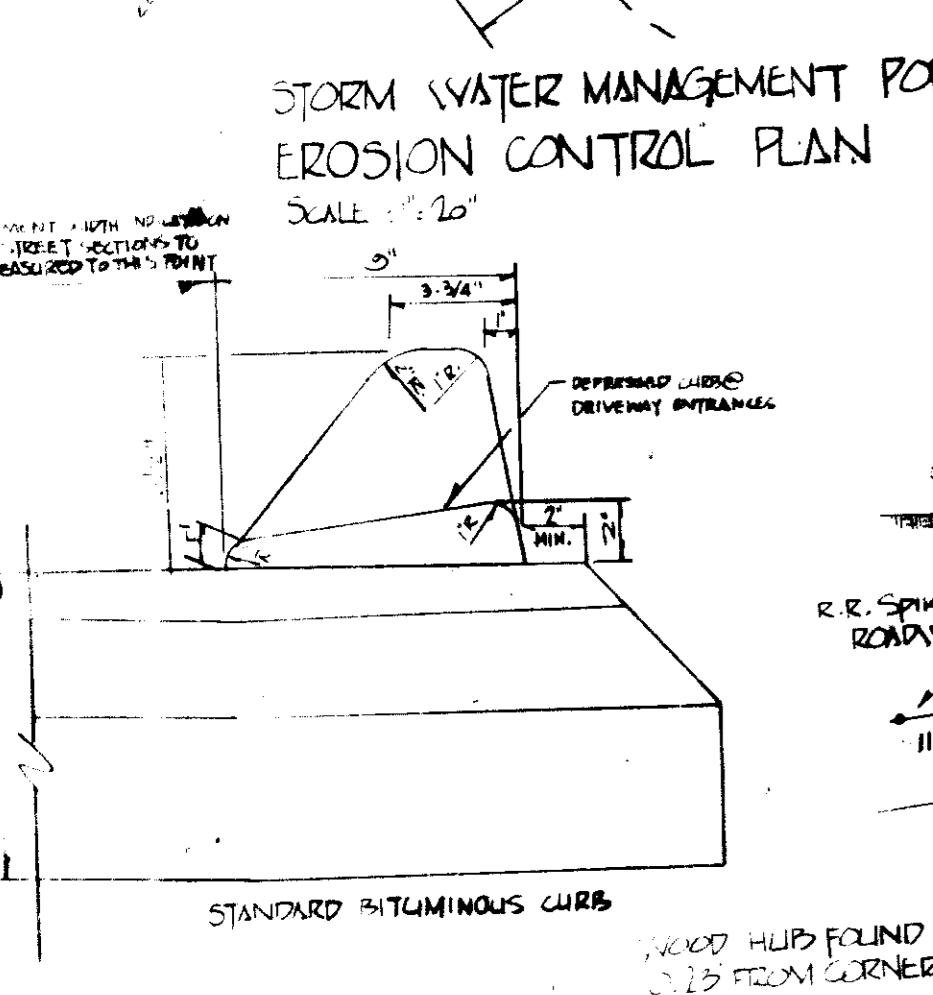
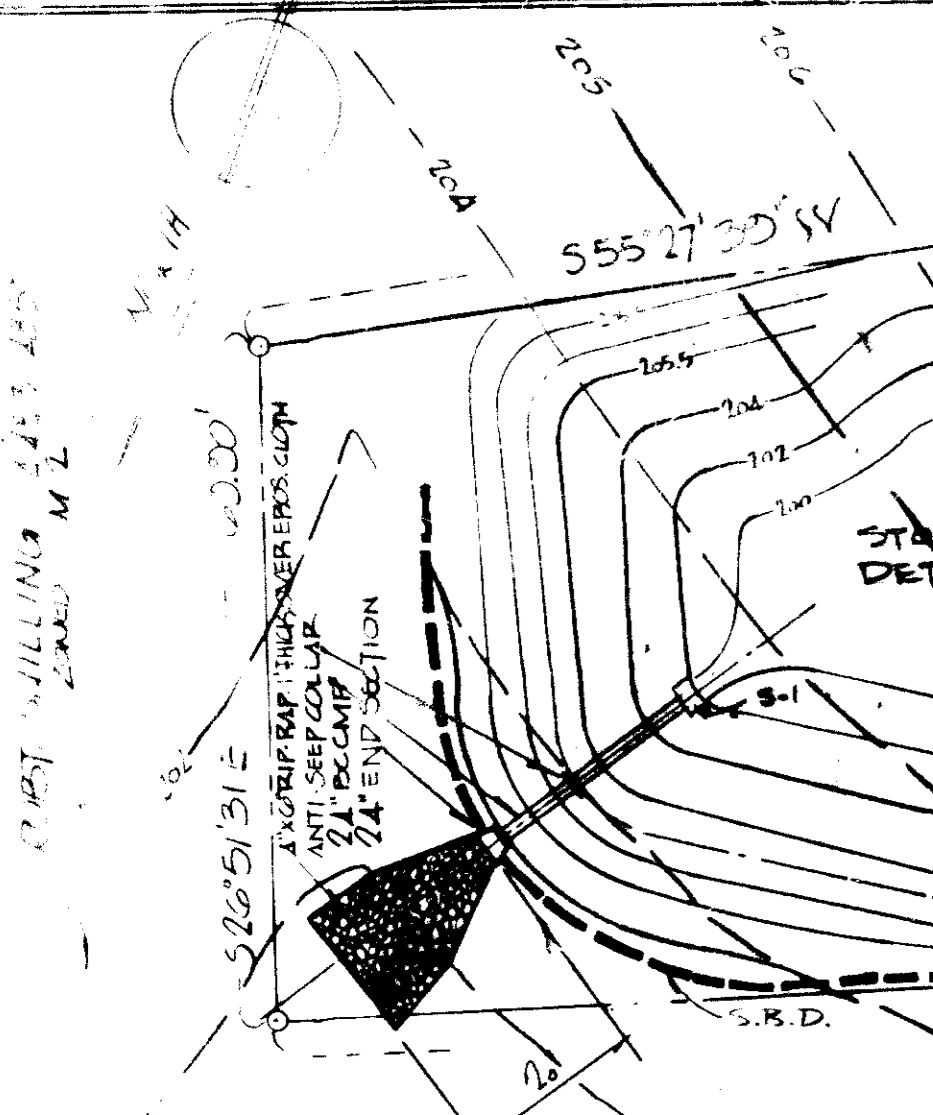
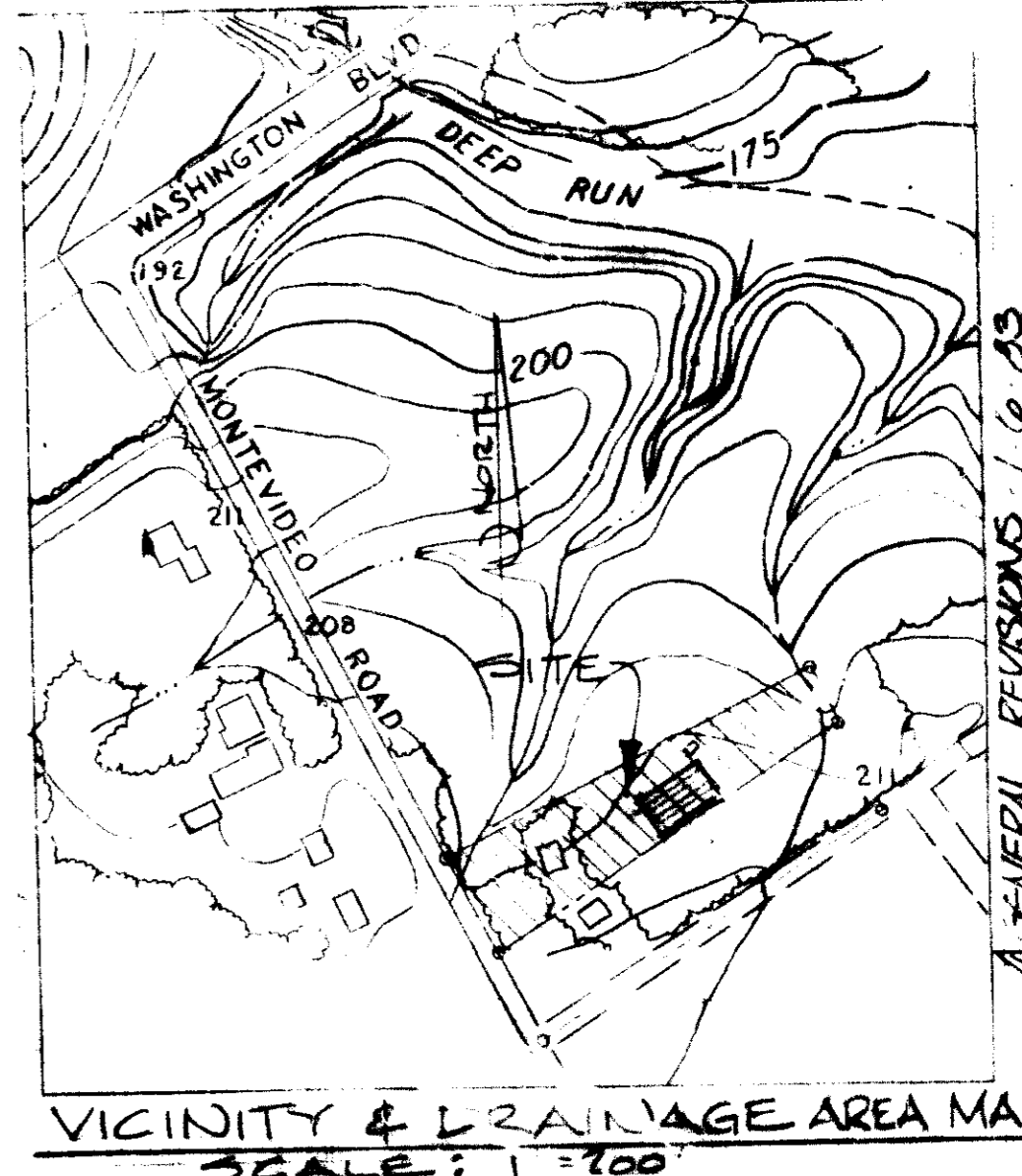
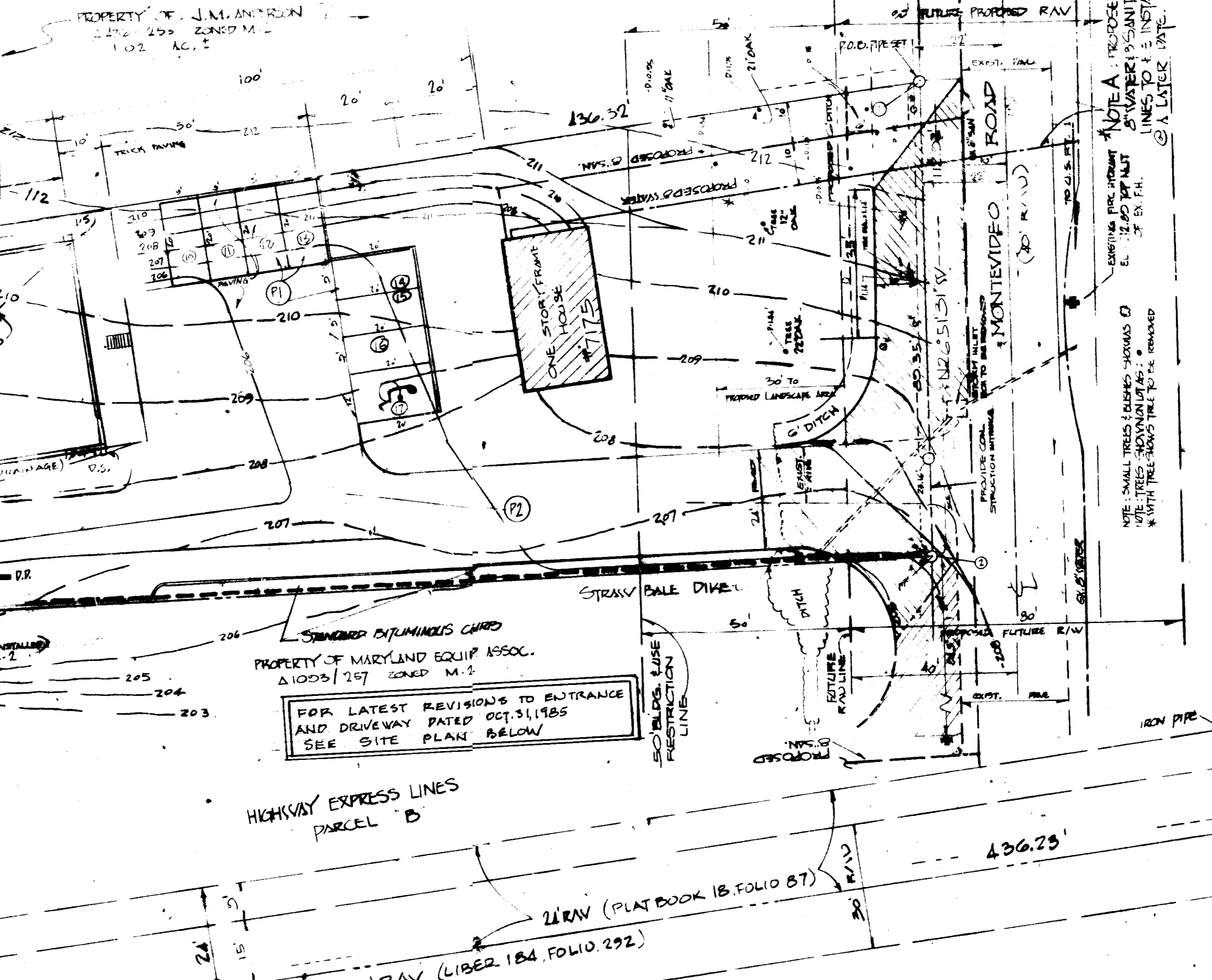
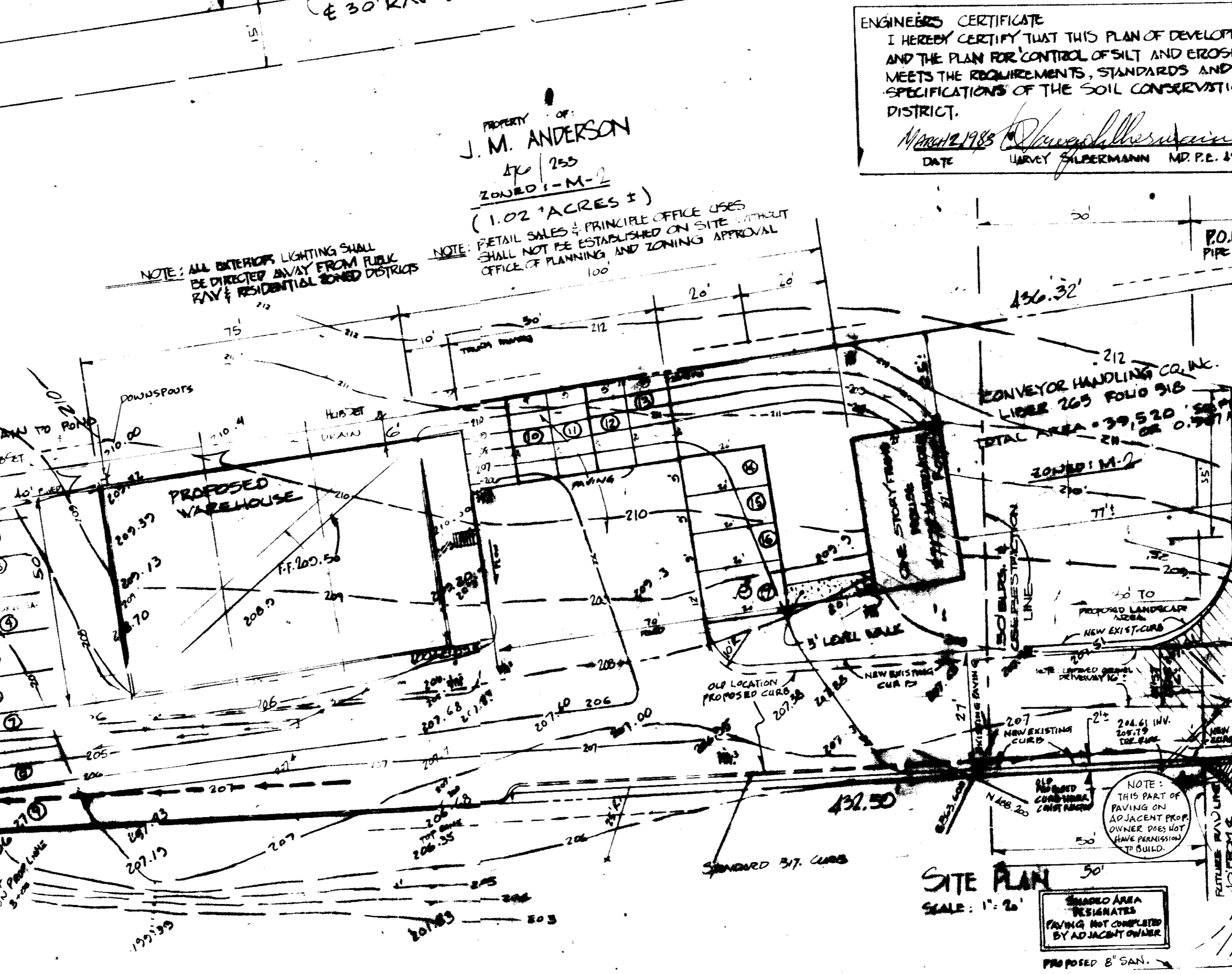
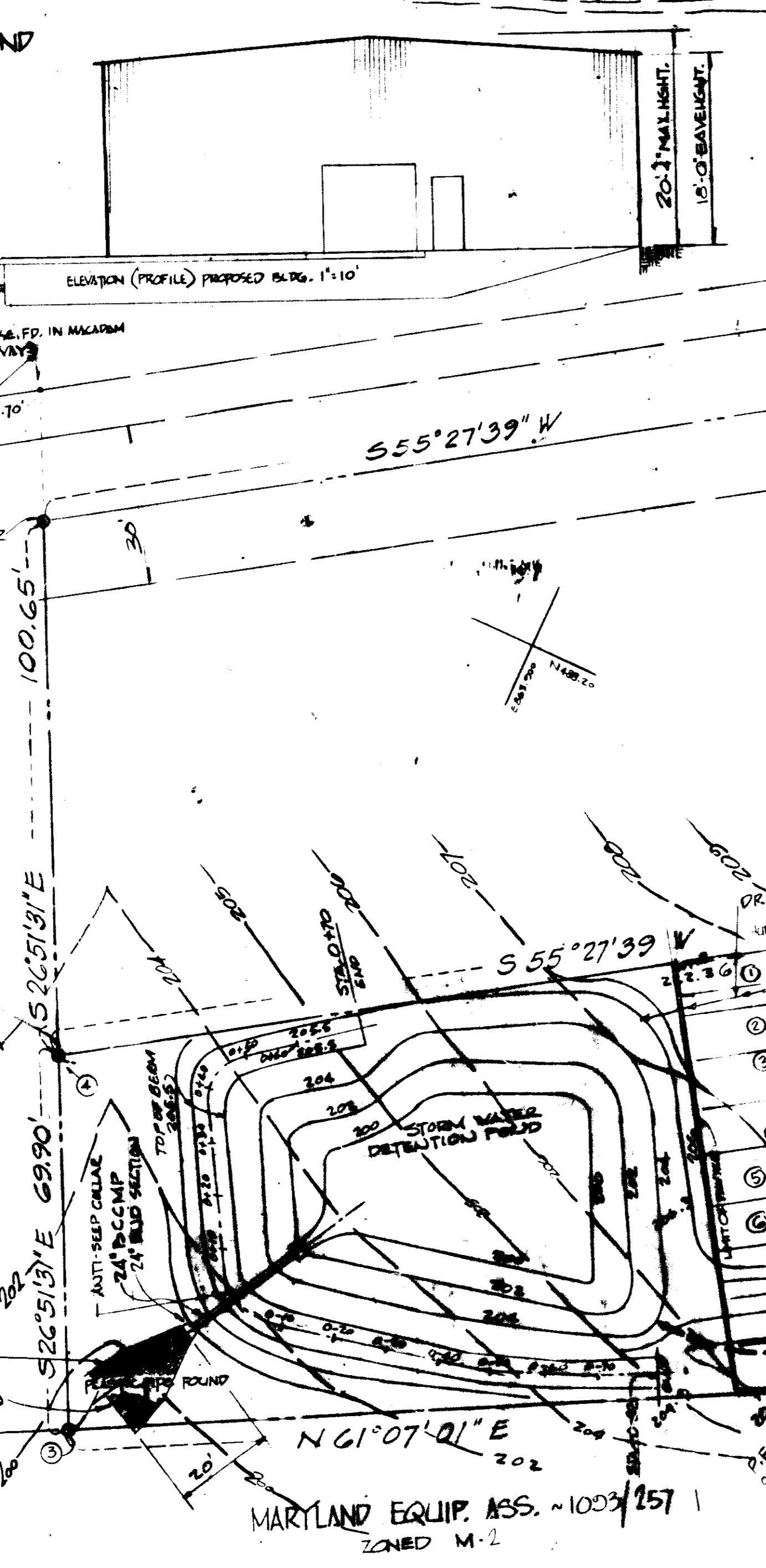


ANALYSIS		FLOOR SPACE	
REQUIRED	59,520 SQ FEET OR 0.907 ACRES	OFFICE SPACE 21'x37'x2 FLOORS = 1554 FT <sup>2</sup>	
EMPLOYEES	M-2	WAREHOUSE SPACE 50'x75' = 3,750 FT <sup>2</sup>	
4 EMPLOYEES	7.8 SPACES (7'x4')	GREEN AREA REQUIRED (20% MIN. REQUIRED) 20% x 39,520 FT <sup>2</sup>	
USE BOARDS		= 7,904 FT <sup>2</sup> MIN.	
20' x 7.5'	7.5 SPACES	GREEN AREA PROVIDED = 8,624 FT <sup>2</sup>	
PARKING REQUIRED	10.3 SPACES		
PARKING PROVIDED	17 SPACES		



DATE	TABLE
11/20/82	074
12/17/82	137
1/13/83	213
2/22/83	364
3/15/83	428
4/20/83	001
5/17/83	078

PROPERTY OF J.M. ANDERSON  
1.12 AC.  
ZONED M-2



SITE DEVELOPMENT PLAN REQUIREMENTS - PREPARATION INFO.	
APPROVED FOR PUBLIC WATER DRAINAGE SYSTEMS AND ROADS HOWARD COUNTY DEPT. OF PUBLIC WORKS	4-8-83
<i>John F. Newmyer</i> DATE	
APPROVED FOR PUBLIC WATER AND PRIVATE SEWERAGE SYSTEM HOWARD COUNTY HEALTH DEPARTMENT	4-8-83
<i>Richard S. Ray</i> DATE	
APPROVED FOR PLANNING AND ZONING HOWARD COUNTY OFFICE OF PLANNING AND ZONING	4-12-83
<i>John G. Jones</i> DATE	
APPROVED FOR PLANNING AND ZONING HOWARD COUNTY OFFICE OF PLANNING AND ZONING	4-14-83
<i>Donald Hamrick</i> DATE	
APPROVED FOR PLANNING AND ZONING HOWARD COUNTY OFFICE OF PLANNING AND ZONING	4-14-83
<i>John G. Jones</i> DATE	
APPROVED FOR PLANNING AND ZONING HOWARD COUNTY OFFICE OF PLANNING AND ZONING	MARCH 2, 1983
<i>Anthony Alvarez</i> DATE	

ENGINEER'S CERTIFICATE  
I HEREBY CERTIFY THAT THIS PLAN OF DEVELOPMENT AND THE PLAN FOR CONTROL OF SILT AND EROSION MEETS THE REQUIREMENTS, STANDARDS AND SPECIFICATIONS OF THE SOIL CONSERVATION DISTRICT.  
DATE: MARCH 2, 1983  
*Anthony Alvarez*  
DEVELOPER (ANTHONY ALVAREZ)

U.S. SOIL CONSERVATION SERVICE  
THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.  
DATE: 4-5-83  
*John McVey*  
HOWARD SOIL CONSERVATION DISTRICT

APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE: 2-1-83  
*Anthony Alvarez*

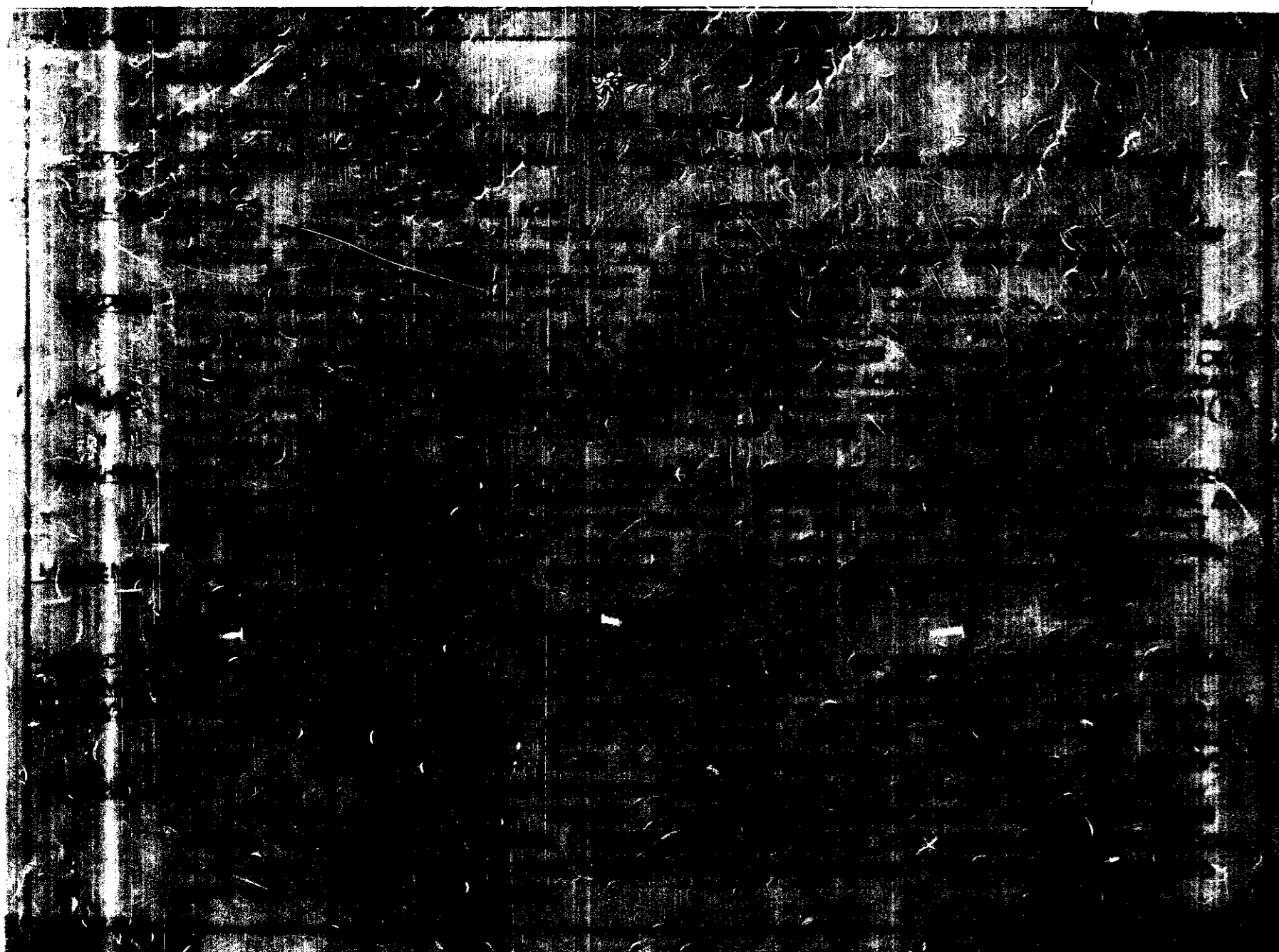
REVISOR: 9-15-83  
REVISED ENTRANCE & DRIVEWAY - OCT. 1985  
HOWARD COUNTY, MARYLAND  
NO. P.R. #4240  
OWNER: ANTHONY ALVAREZ  
7,75 MONTEVIDEO ROAD 20794  
HOWARD COUNTY, MARYLAND  
FIRST ELECTION DISTRICT

ARMANIAN ASSOCIATES  
1011 BALTIMORE, MARYLAND  
JOB NO. 82023  
DATE: NOV. 4, 1982  
SCALE: 1" = 20'  
DESIGN: J.S. SILBERMAN  
DRAWING: J.S. SILBERMAN

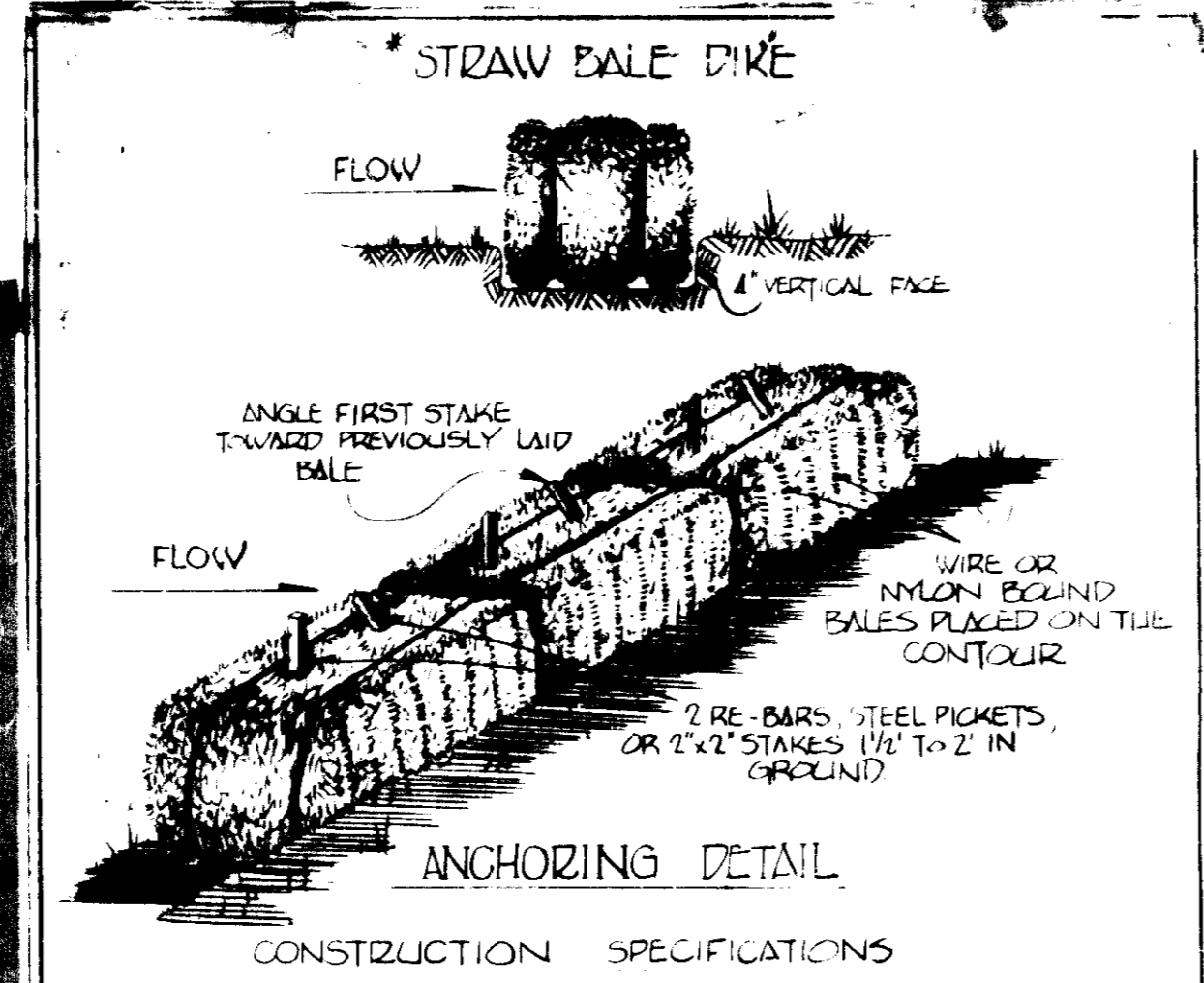
PROPOSED WAREHOUSE PLAN  
SITE PLAN  
STORM WATER MANAGEMENT PLAN  
EROSION CONTROL PLAN

ANTHONY ALVAREZ - OWNER  
CONVEYOR HANDLING COMPANY, INC.  
775 MONTEVIDEO ROAD, HOWARD CO.  
20794 MARYLAND  
FIRST ELECTION DISTRICT

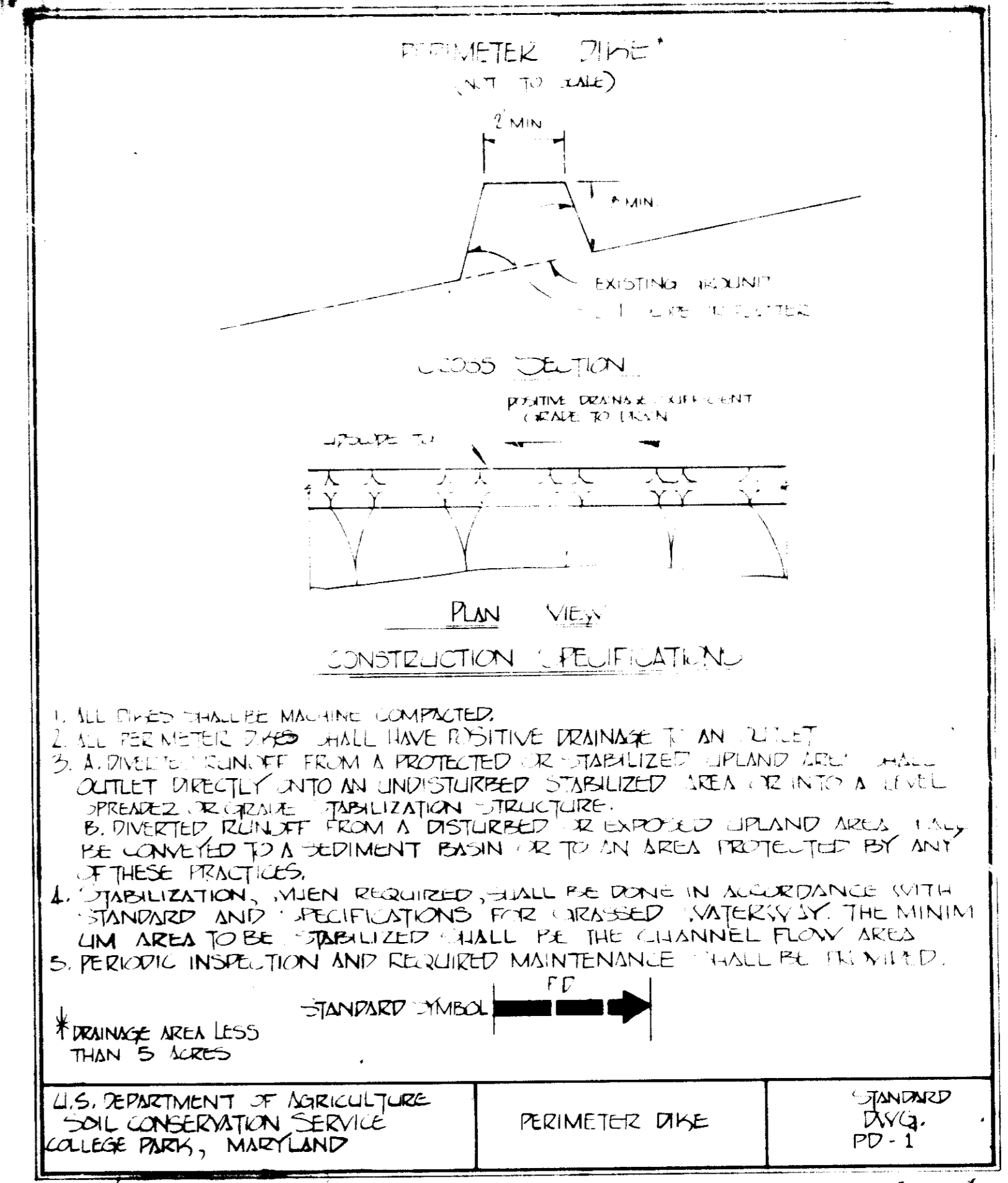
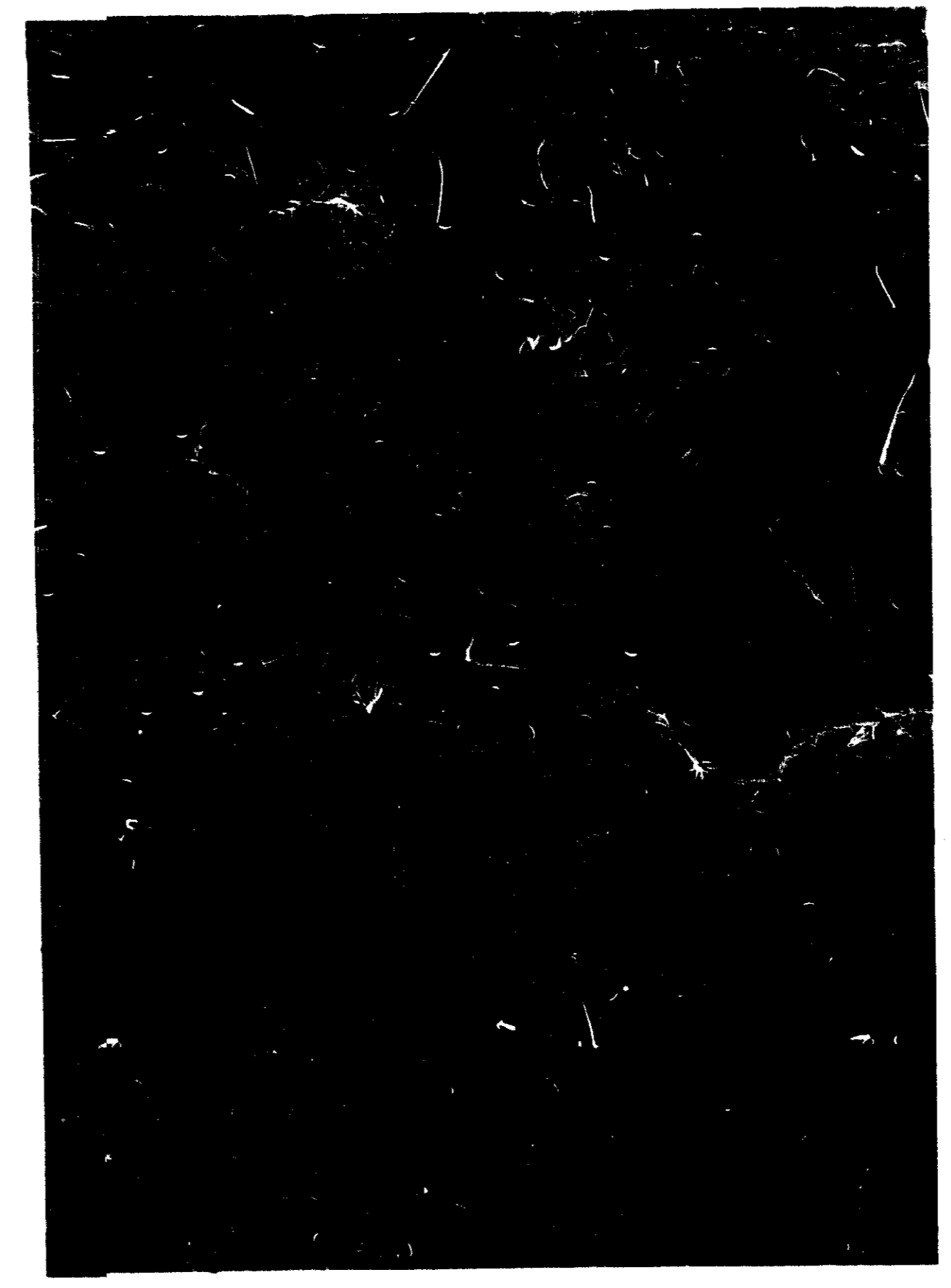
PAVING DETAILS - TRUCKING & AUTO PARKING



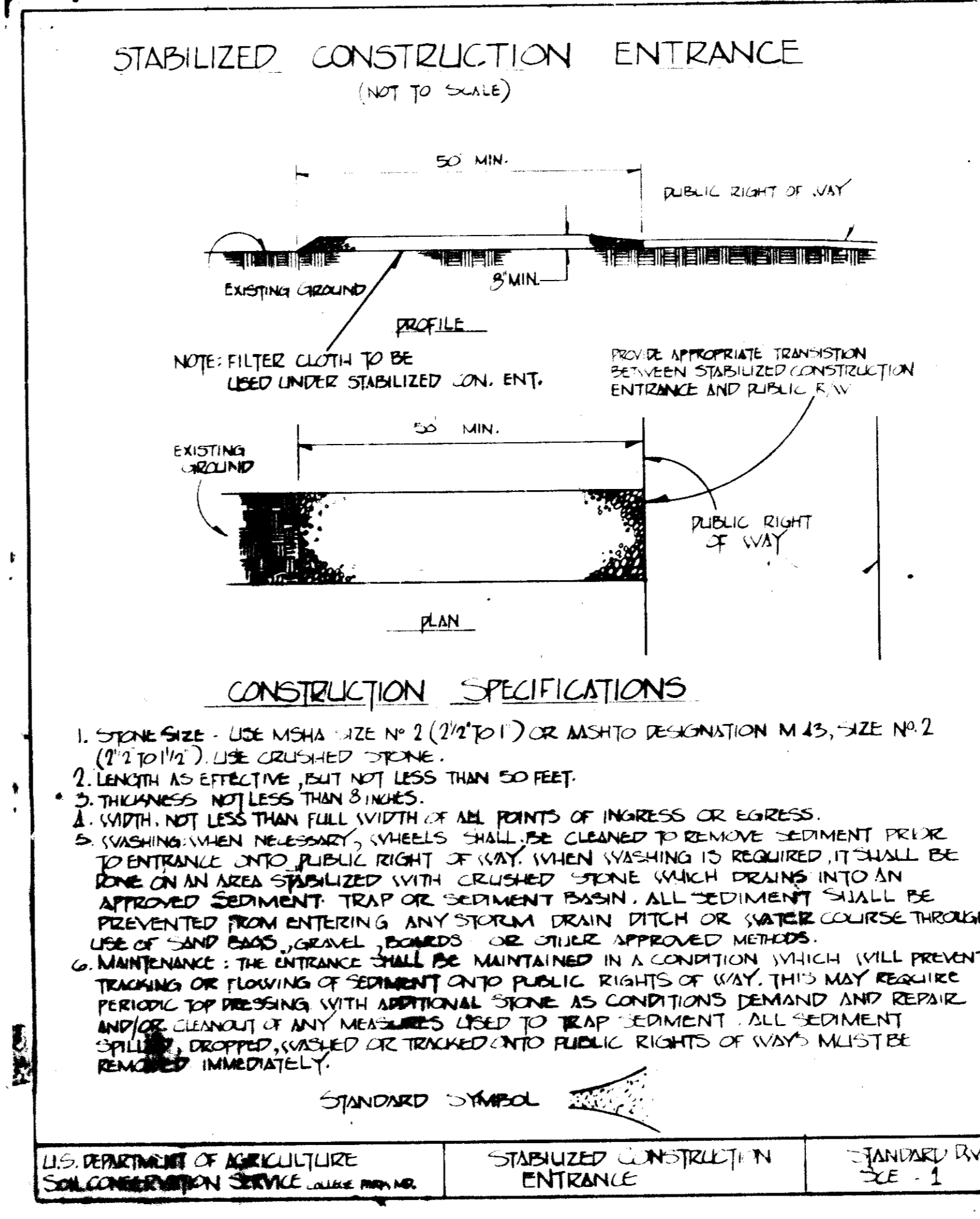
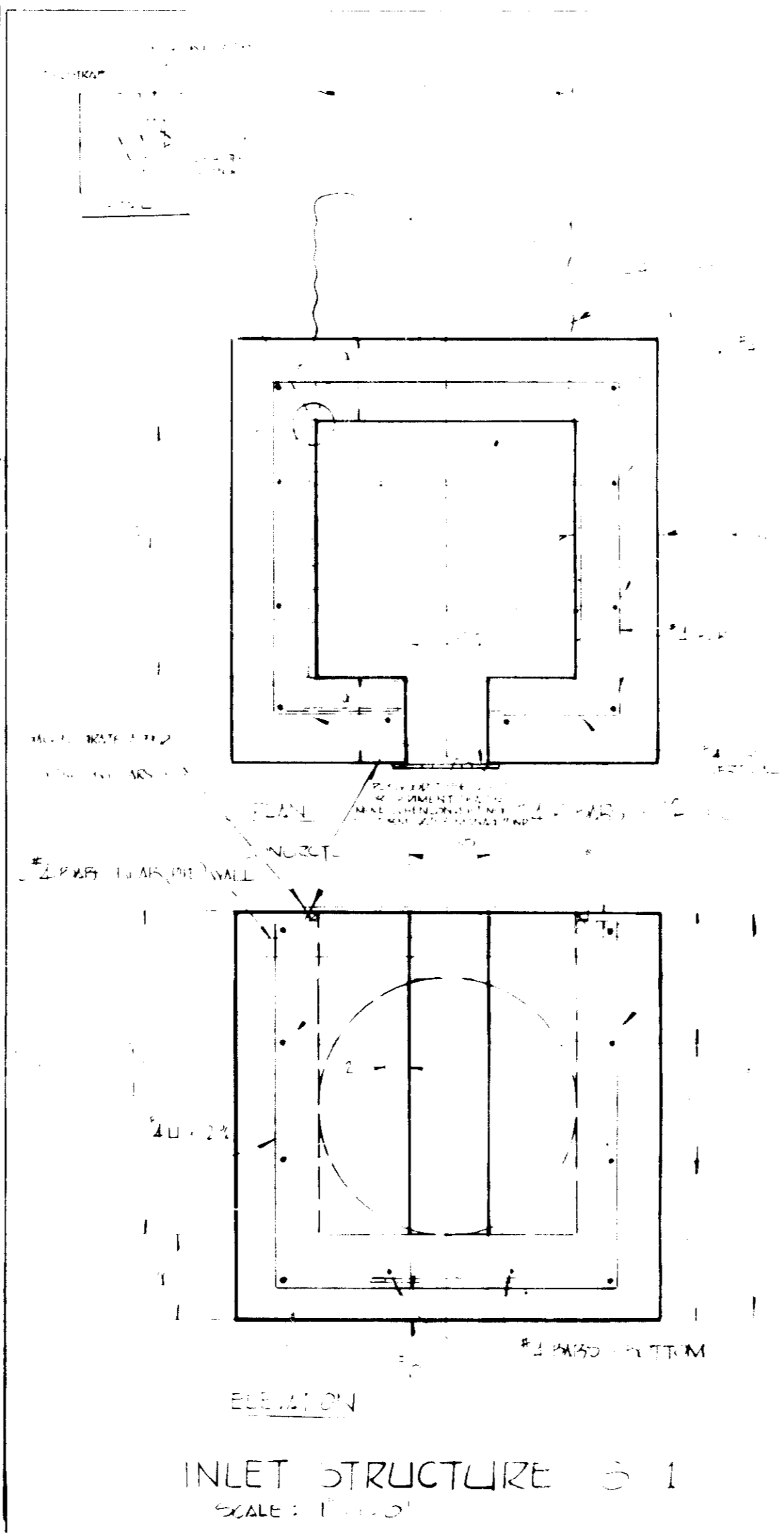
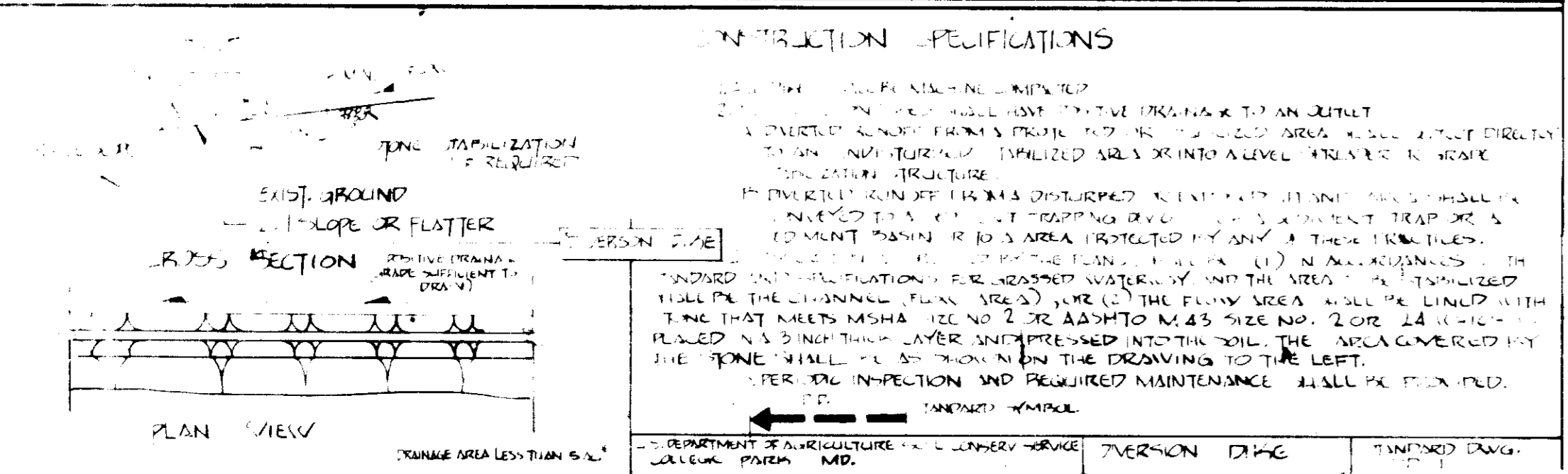
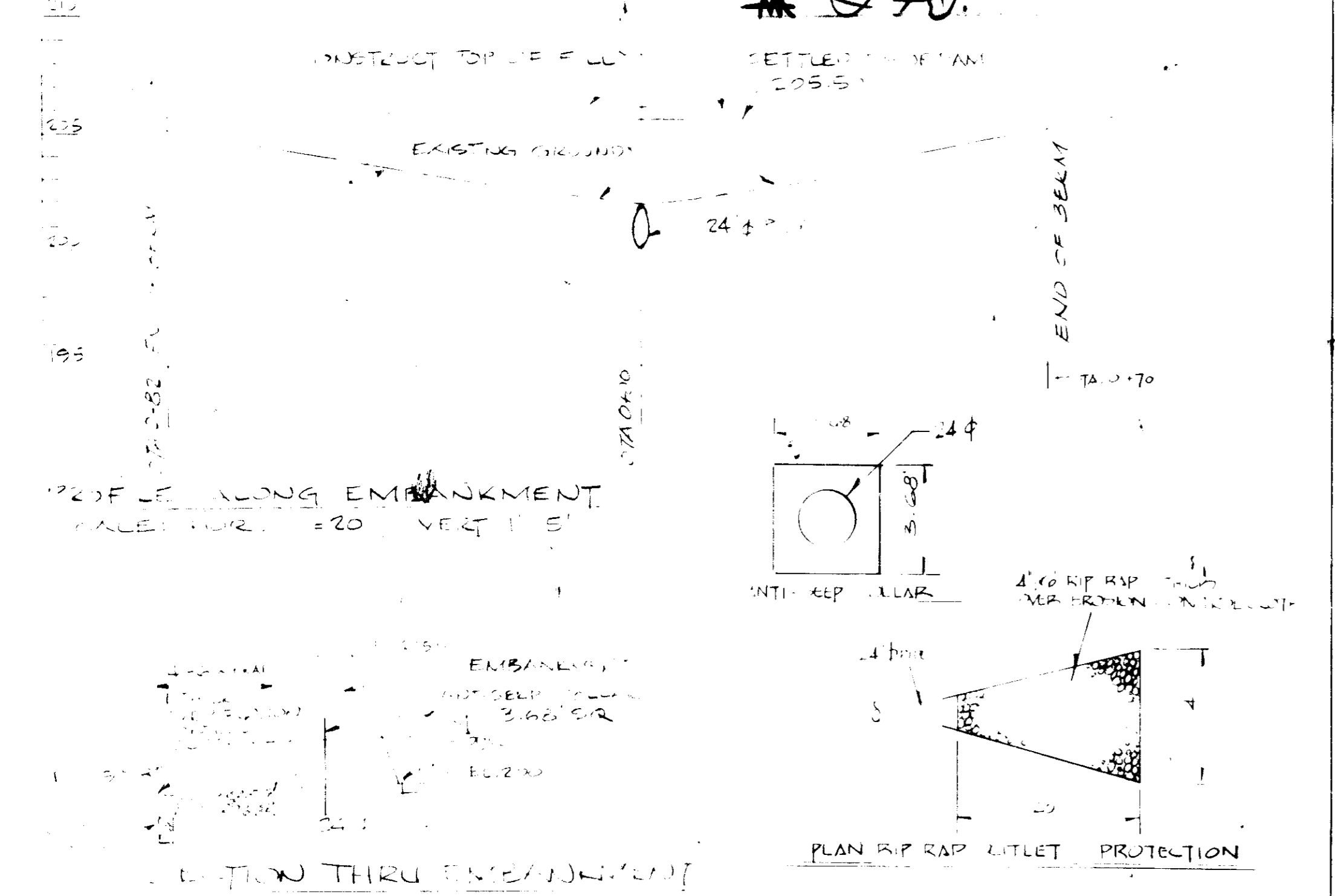
SECTION NUMBER	ROAD AND STREET CONFIGURATION	DESIGN SPEED	TRAFFIC VOLUME	ADDITIONAL NOTES
P-5	RESIDENTIAL ZONED MINOR MAJOR COLLECTORS MINOR LOCAL INDUSTRIAL ZONED LOCAL CUL DE SAC STREET ALLEYS PARKING AREAS APARTMENTS & COMMERCIAL ZONED TRUCK TRAIL ZONE WITH MORE THAN 10 TRUCK TRAILS PER DAY			



- CONSTRUCTION SPECIFICATIONS**
1. BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ADJUTING THE ADJACENT BALES.
  2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4".
  3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR RE-BARS ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
  4. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
  5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
- 588  
STANDARD SYMBOL



DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE - 2-1-83



APPROVED FOR THE PUBLIC WORKS DEPARTMENT  
DATE: 4-8-83  
DATE: 4-8-83  
DATE: 4-12-80  
DATE: 4-14-83  
DATE: 4-14-83

James F. Neuman  
John E. Neuman  
James E. Neuman  
James E. Neuman  
James E. Neuman

APPROVED FOR THE PUBLIC WORKS DEPARTMENT  
DATE: 4-14-83  
DATE: 4-14-83

James E. Neuman  
James E. Neuman

engineers & planners  
SURVIVORS  
SILBERMANN & ASSOCIATES  
1703 E. JOFFA ROAD, BALTIMORE, MARYLAND  
661-5886

Table 1 - Unit by Unit Parking Comparison

Unit #	Area (SF)	Business Type	Required Parking Spaces per 1,000 SF	Parking Spaces Required	
Previous Use	105	850	General Retail	5.0	4 spaces
Proposed Use	105	850	Carry Out Restaurant	6.0	5 spaces

Table 2 - Shared Parking Analysis (Weekdays)

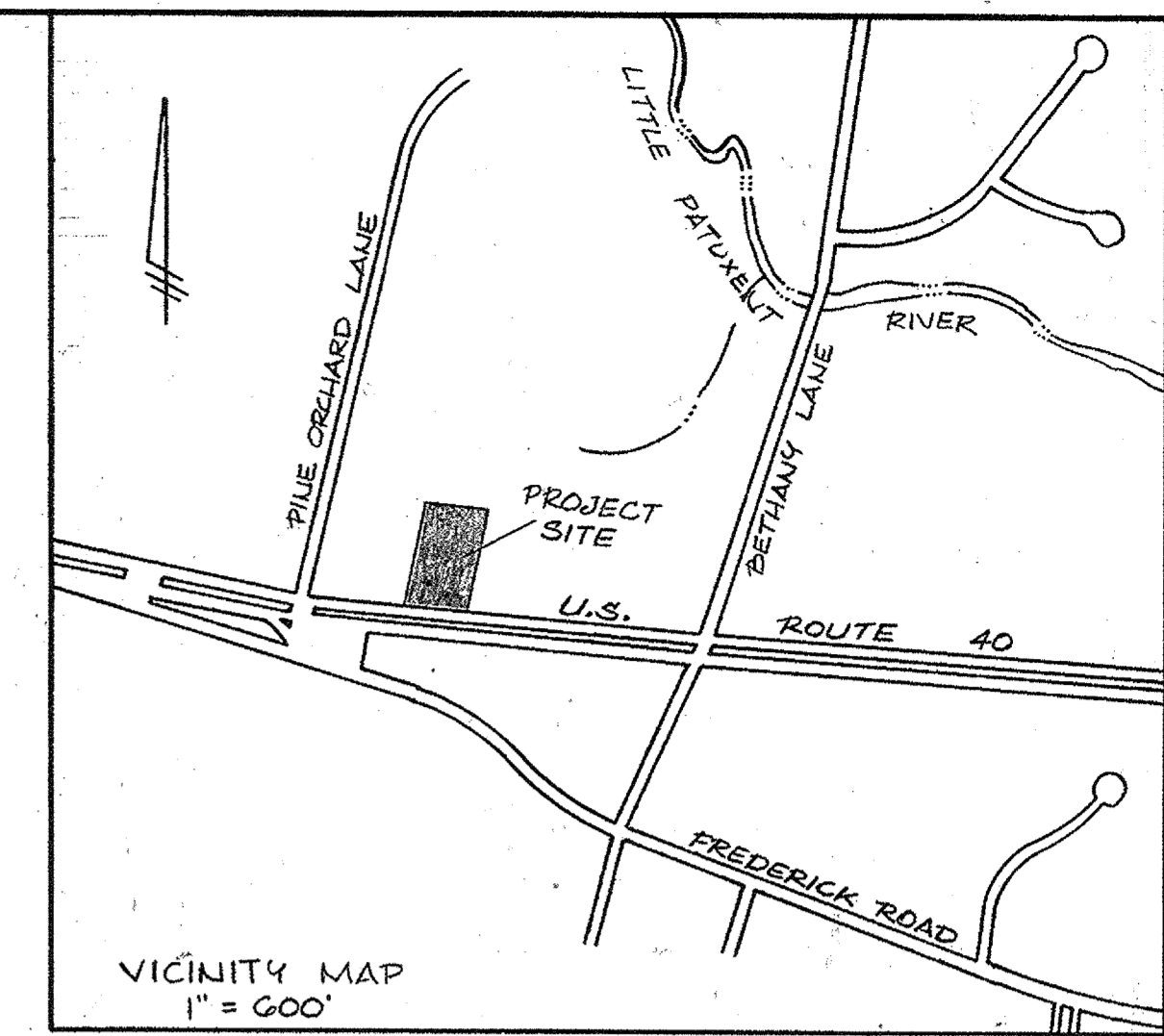
Business Type	Floor Area (SF)	Required Spaces per 1,000 SF	6 AM - 8 AM		8 AM - 3 PM		3 PM - 5 PM		5 PM - Midnight	
			%-age	# Spaces	%-age	# Spaces	%-age	# Spaces	%-age	# Spaces
Business Office	14,617	3.3	80%	39	100%	48	100%	48	10%	5
Medical Office <sup>1</sup>	6,014	5.0	80%	24	100%	30	100%	30	10%	3
Retail	4,314	5.0	20%	4	60%	13	60%	13	90%	19
Carryout Restaurant	4,208	6.0	50%	13	50%	13	50%	13	100%	25
Church Assembly	2,100	10.0	0%	0	0%	0	0%	0	100%	21
Church Office	2,154	3.3	0%	0	100%	7	100%	7	100%	7
Animal Hospital <sup>2</sup>	1,764	4.0	20%	1	60%	4	60%	4	90%	6
Personal Service <sup>3</sup>	1,700	5.0	20%	2	60%	5	60%	5	90%	8
Day Spa <sup>3</sup>	2,550	3.3	20%	2	60%	5	60%	5	90%	8
<b>TOTAL</b>	<b>39,421</b>			<b>85</b>		<b>125</b>		<b>125</b>		<b>102</b>

- 1- Time distribution based on business office and adjusted with hours of operation.
- 2- Time distribution based on retail usage, with no required spaces on weekend evenings based on hours of operation.
- 3- Time distribution based on retail usage.

Table 3 - Shared Parking Analysis (Weekend/Nighttime)

Business Type	Floor Area (SF)	Required Spaces per 1,000 SF	Weekend				Nighttime	
			6 AM - 6 PM		6 PM - Midnight		Midnight - 6 AM	
			%-age	# Spaces	%-age	# Spaces	%-age	# Spaces
Business Office	14,617	3.3	10%	5	5%	2	5%	2
Medical Office <sup>1</sup>	6,014	5.0	10%	3	0%	0	0%	0
Retail	4,314	5.0	100%	22	70%	15	5%	1
Carryout Restaurant	4,208	6.0	100%	25	100%	25	10%	3
Church Assembly	2,100	10.0	100%	21	0%	0	0%	0
Church Office	2,154	3.3	100%	7	0%	0	0%	0
Animal Hospital <sup>2</sup>	1,764	4.0	100%	7	0%	0	0%	0
Personal Service <sup>3</sup>	1,700	5.0	100%	9	70%	6	5%	0
Day Spa <sup>3</sup>	2,550	3.3	100%	8	70%	6	5%	0
<b>TOTAL</b>	<b>39,421</b>			<b>107</b>		<b>54</b>		<b>6</b>

- 1- Time distribution based on business office and adjusted with hours of operation.
- 2- Time distribution based on retail usage, with no required spaces on weekend evenings based on hours of operation.
- 3- Time distribution based on retail usage.



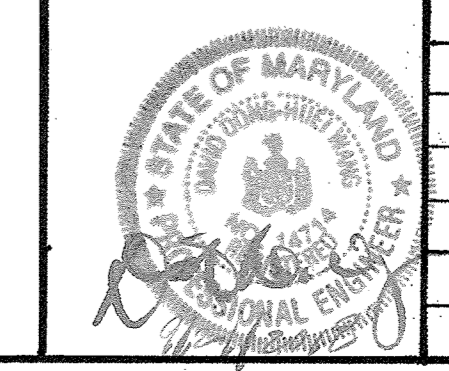
**SITE PLAN & DETAILS**  
**BETHANY-40 CENTER**  
 PINE ORCHARD PARK - SEC. 1 - PARCEL "C"  
 REVISION TO SDP 82-30  
 PLAT REF. N 2 5032  
 2<sup>ND</sup> ELECTION DISTRICT NOVEMBER 1, 1982  
 SCALE AS SHOWN TAX MAP 24 PARCEL 11 DEED REF. 487/789

OWNER / DEVELOPER  
 BETHANY-40 LTD.  
 1715 M BELMONT AVE.  
 BALTIMORE MD, 21207  
 205-1440

08/02/2018-NEW SHEET  
 SHARED PARKING ANALYSIS

**CST**  
 Engineering, Inc.  
 7075 SAMUEL MORSE DRIVE SUITE 250  
 COLUMBIA, MARYLAND 21046  
 WWW.CSTENGINEERS.COM

PROJECT NO.: 8282-4  
 FINAL  
 DESIGNED BY:  
 DRAWN BY:  
 DATE:  
 SCALE: AS SHOWN  
 SHEET NO. 3 OF 3



APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Chad Plankton*  
 Chief, Development Engineering Division J.P. Date 9-28-18

*Vent Sealand*  
 Chief, Division of Land Development Date 10-4-18

*Nadine Pfeiffer*  
 Director Date 10-4-18