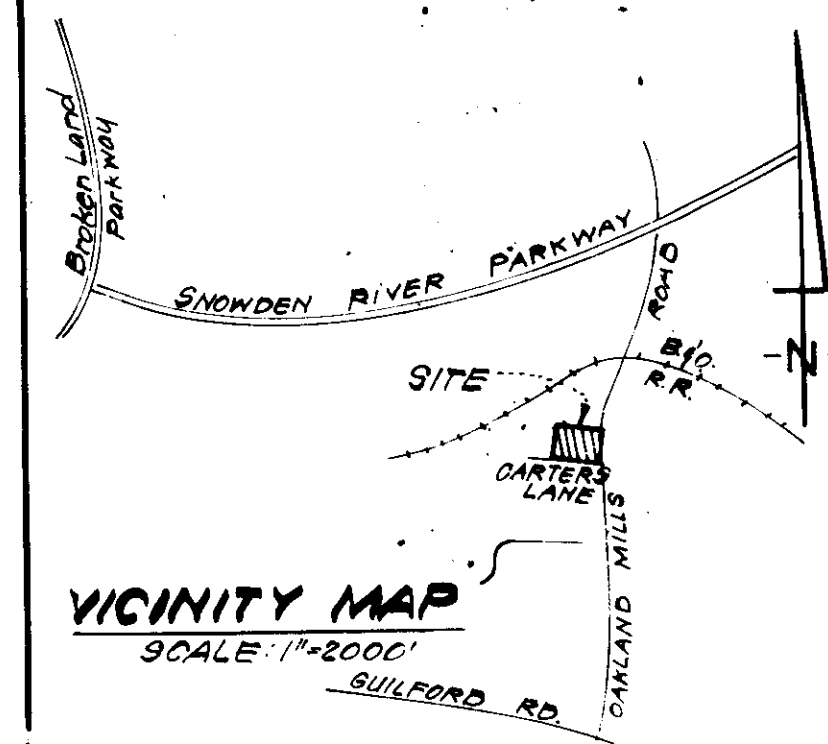


LANDSCAPE BUFFER

- ⊕ Acer Rubrum - Red Maple 2 1/2" cal. min B&E
- ⊕ Pinus Strobus - White Pine 2 1/2" cal. 5-8' ht. B&E

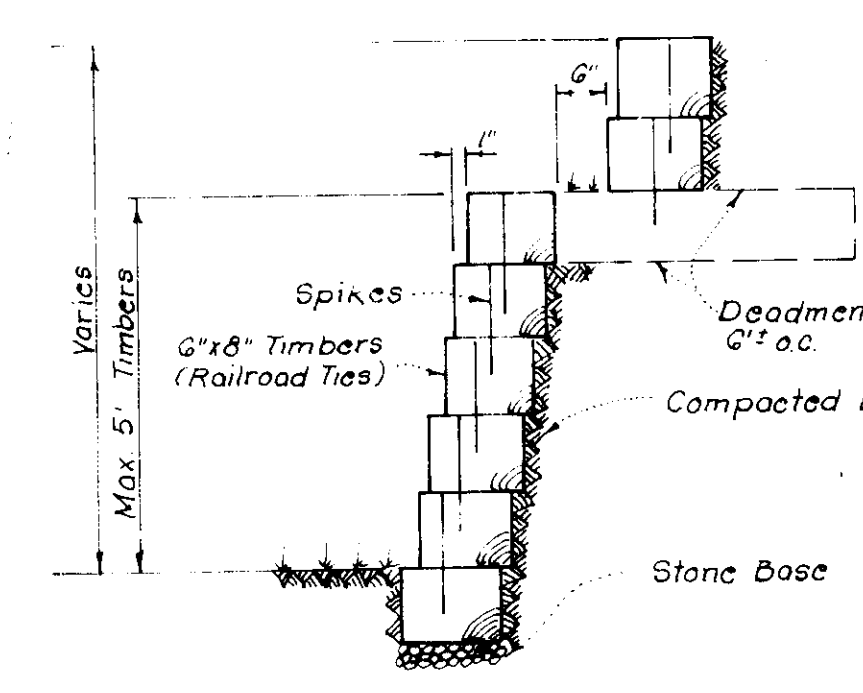
LEGEND:

- 1. Contour Interval 2 Ft.
- 2. Existing Contour
- 3. Proposed Contour
- 4. Spot Elevation
- 5. Direction of Drainage
- 6. Existing Trees to be retained
- 7. Retaining Wall
- 8. Building Restriction Line

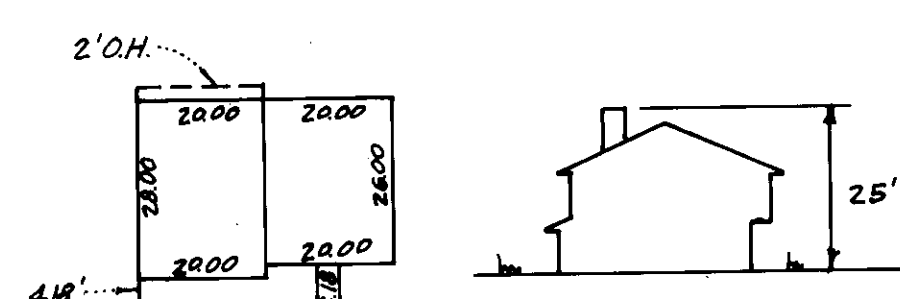


GENERAL NOTES:

1. The land included in this plan is zoned RA-1.
2. The coordinates shown herein are based on Maryland State Plane Coordinate System, Howard County Bench Marks.
3. The area covered in this submission is located on Tax Map No. 42, Parcel 30.
4. The total area included in this plan is 0.151 Acres (Residential). The total area of Open Space Lot 45 = 0.843 Acres (Open Space).
5. All Roadways are public & existing.
6. Any damage to county owned rights of way shall be corrected at the developer's expense.
7. Total Number of Residential Lots = 2
8. Parking Spaces Required: 2 per unit (88 spaces)
9. Parking Spaces Provided: 2 per unit (88 spaces)
10. Building Coverage: 25,828 sq. ft. = 18%
11. Retaining Walls that create grade differences in excess of 3' shall properly be protected with approved guardrails.



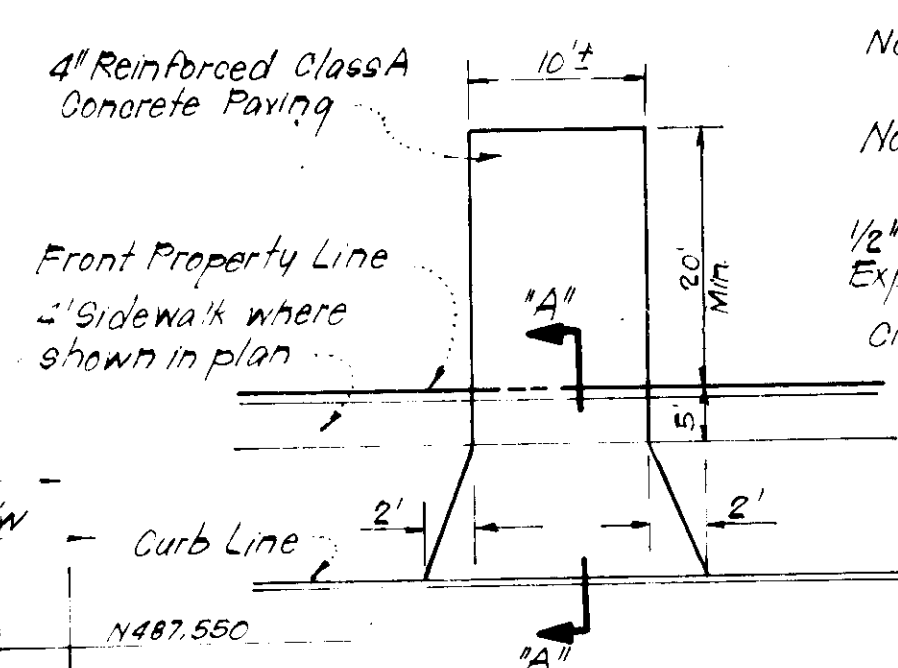
TIMBER RETAINING WALL
No Scale



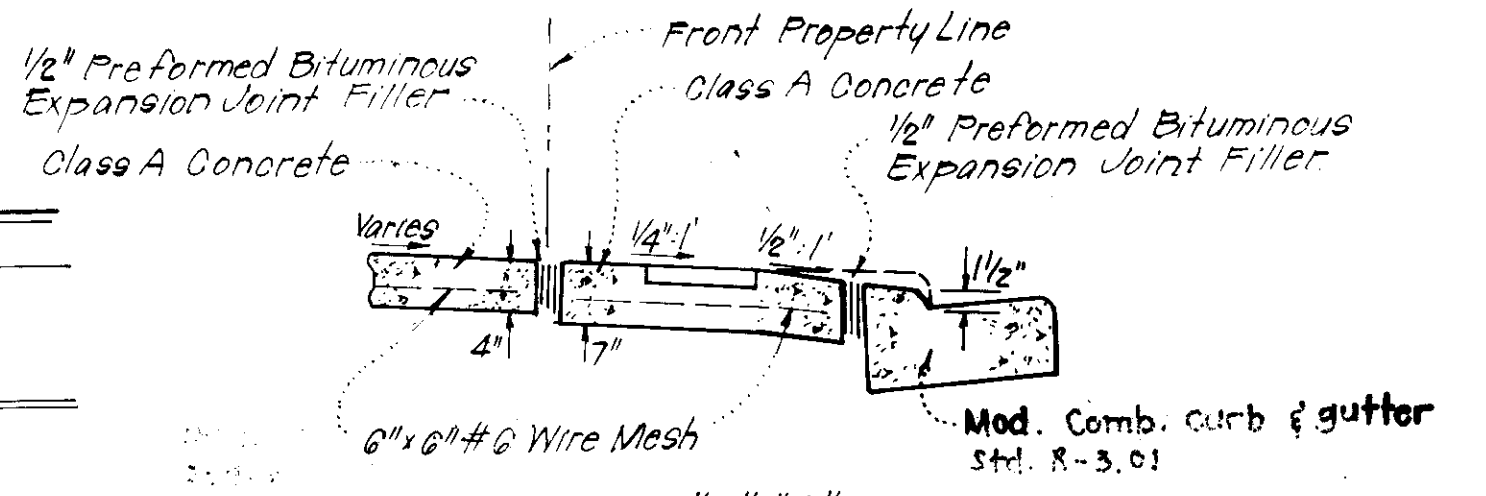
WALDEN/BERKELEY
No Scale

TYPICAL HOUSES
No Scale

Note: Use Residential Driveway Entrance, How. Co. Std. Dwg. D-34, pg. 80 except where driveway abuts Modified Comb. Curb & Gutter.
Note: Materials and Construction shall be in accordance with Hb. Co. Road Constr. Code.



DRIVEWAY ABUTTING MODIFIED COMB CURB & GUTTER
No Scale



SECTION "A-A"



SURVEYOR'S CERTIFICATE

I hereby certify that the information contained herein is the same as shown on previously approved SDP 80-82, with the following exceptions:

- 1. House Type and Grading has been revised on Lots 21 and 22.

I further certify that the Sediment & Erosion control measures, as previously approved, will not be affected, the grading is substantially the same as originally approved, the building setbacks comply with Howard County Zoning and Subdivision Regulations, and the lot has the same geometric configuration as shown on the respective recorded subdivision plans.

11-3-82 Date
DONALD B. SACKETT
Registered Land Surveyor
Md. No. 6059

R.S. CARTER et al.
N/S

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 12-6-82 DATE
 APPROVED FOR: HOWARD COUNTY OFFICE OF PLANNING & ZONING
 12-6-82 DATE
 APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 11-30-82 DATE
 11-30-82 DATE

PLAT REFERENCE: 4502

CLARK • FINEROCK & SACKETT
 ENGINEERS • PLANNERS • SURVEYORS
 11315 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593 3400

DESIGNED JME	REVISED SITE DEVELOPMENT PLAN LOTS 21 & 22 GUILFORD SQUARE 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND FOR: THE RYLAND GROUP (COI. DIV.) Suite 200 V.O.M. OFFICE Bldg. Columbia, Md. 21044	SCALE 1"=30'
DRAWN M.W.		DRAWING 10/1
CHECKED JME		JOB NO. 70-034
DATE Nov. 3, 1982		FILE NO. 70-001-X
		SDP-83-45