

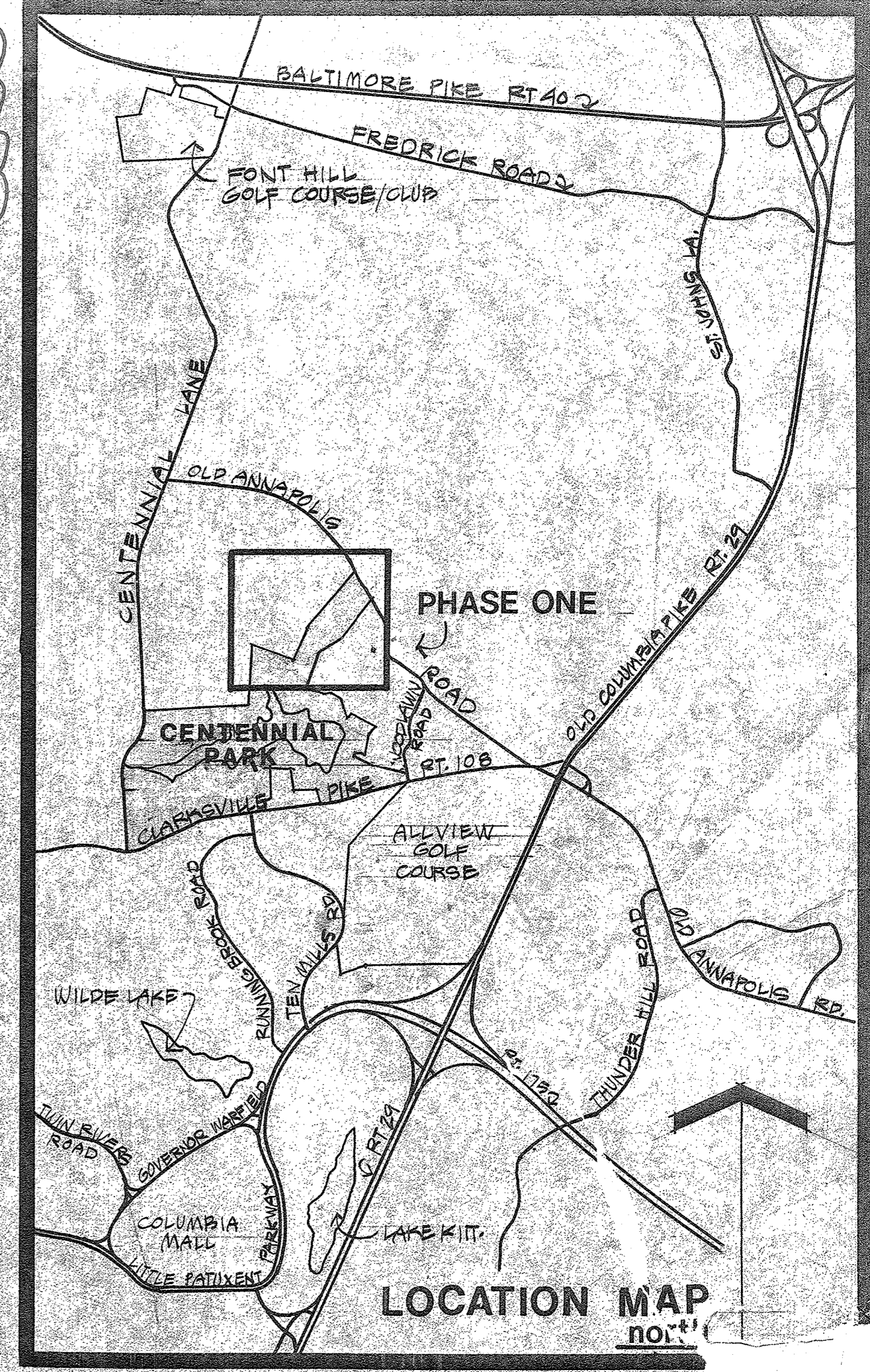
SHEET NO. - SHEET TITLE	PAGE NO.	SHEET NO. - SHEET TITLE	PAGE NO.	SHEET NO. - SHEET TITLE	PAGE NO.
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3 - RESTROOM BUILDING FLOOR PLAN AND ELEVATION	3 OF 48	18 - DRAINAGE AREA MAP AND GRADING PLAN AREA C (MISSING)	18 OF 48	43 - ESC NOTES AND DETAILS	43 OF 48
4 - FRAMING PLAN	4 OF 48	19 - SEDIMENTATION EROSION CONTROL PLAN AREA A	19 OF 48	44 - ESC NOTES AND DETAILS	44 OF 48
5 - RESTROOM BUILDING, MISC. SECTIONS AND DETAILS	5 OF 48	20 - STORM DRAIN, SANITARY AND COLD WATER PLAN	20 OF 48	45 - STORMWATER MANAGEMENT PLAN	45 OF 48
6 - RESTROOM BUILDING MISC. DETAILS	6 OF 48	21 - SEDIMENT, EROSION CONTROL DETAILS AND SANITARY PROFILE	21 OF 48	46 - SWM DETAILS AND NOTES I	46 OF 48
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9 - RESTROOM BLDG. PLUMBING LAYOUT, MISC. DETAILS	9 OF 48	24 - SEDIMENT, EROSION CONTROL NOTES AND MISC. DETAILS	24 OF 48		
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12 - EXISTING CONDITIONS DEMOLITION PLAN AREA C	12 OF 48	27 - MISC. CONSTRUCTION DETAILS	27 OF 48		
13 - CONSTRUCTION LAYOUT	13 OF 48	28 - BRIDGE DETAILS	28 OF 48		
14 - EXISTING CONDITION AREA A LAYOUT PLAN	14 OF 48	29 - MISC. CONSTRUCTION DETAILS	29 OF 48		
15 - EXISTING CONDITION AREA B LAYOUT PLAN (MISSING)	15 OF 48	30 - MISC. CONSTRUCTION DETAILS	30 OF 48		
		31 - MISC. CONSTRUCTION DETAILS	31 OF 48		
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		33 - MISC. CONSTRUCTION DETAILS	33 OF 48		
		34 - MISC. CONSTRUCTION DETAILS	34 OF 48		
		35 - PROPOSED PLAYGROUND LAYOUT PLAN	35 OF 48		
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		38 - SITE DETAILS	38 OF 48		
		39 - STORM DRAIN PROFILES	39 OF 48		
		40 - ESC EXISTING CONDITIONS	40 OF 48		

CENTENNIAL PARK

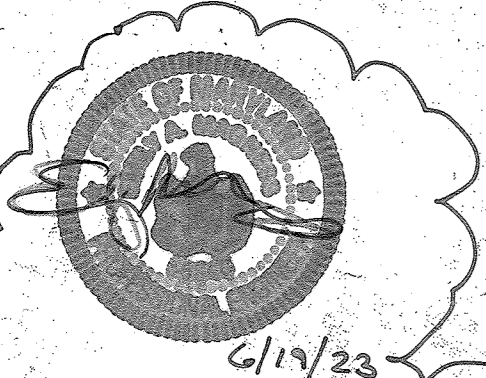
CAPITAL PROJECT NO. N-4-3014

PHASE ONE - ANNAPOLIS ROAD AREA

DEPT. OF PUBLIC WORKS FOR THE DEPT. OF RECREATION AND PARKS HOWARD COUNTY MARYLAND



AREA REFERENCE MAP



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 56848, EXPIRATION DATE 12/16/2024.

PURPOSE STATEMENT - 06.15.2021
THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD.

ORIGINAL MYLAR PLANS FOR SDP-81-126 WERE LOST AND ON 2/10/22 WERE RE-CREATED FROM ARCHIVED PRINTS FROM THE DEPARTMENT OF RECREATION AND PARKS.

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 4-13-81

APPROVED: For public Water, Public Sewerage and Drainage Systems and Roads
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
4-20-81 DATE

APPROVED: For public Water and Public Sewerage Systems
HOWARD COUNTY HEALTH DEPARTMENT
4-20-81 DATE

APPROVED: Howard County Office of Planning and Zoning
4-20-81 DATE

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THE PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Frank J. Daniels
SIGNATURE OF ENGINEER
DATE Feb 4, 1981

DEVELOPER'S CERTIFICATE

"I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THE PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL, AND I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature]
SIGNATURE OF DEVELOPER
DATE

REVIEWED FOR Howard S.C.D. AND MEETS TECHNICAL REQUIREMENTS
NAME

[Signature]
SIGNATURE
DATE 4-20-81

U.S. SOIL CONSERVATION SERVICE

SITE ANALYSIS

ZONING OF PROPERTY	R-20
TOT. AREA OF SITE A+B+C	= 59.51 AC.
TOT. DISTURBED AREA	= 24.52 AC.
TOT. EX. IMPERVIOUS AREA	= 0.00 AC.
TOT. PROPOSED IMPERVIOUS AREA	= 1.66 AC.
NET INCREASE IMPERVIOUS AREA	= 1.66 AC.
TOT. REVEGETATED AREA	= 22.66 AC.

THE DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
APPROVED *[Signature]* 4-20-81
HOWARD S.C.D. DATE

SHEET INDEX

Sheet No.	Sheet Title	Sheet No.	Sheet Title
1	EXISTING CONDITIONS, DEMOLITION PLAN AREA A	20	MISC. CONSTRUCTION DETAILS
2	EXISTING CONDITIONS, DEMOLITION PLAN AREA B	21	MISC. CONSTRUCTION DETAILS
3	EXISTING CONDITIONS, DEMOLITION PLAN AREA C	22	MISC. CONSTRUCTION DETAILS
4	CONSTRUCTION LAYOUT AREA A	23	MISC. CONSTRUCTION DETAILS
5	CONSTRUCTION LAYOUT AREA B	24	MISC. CONSTRUCTION DETAILS
6	CONSTRUCTION LAYOUT AREA C	25	MISC. CONSTRUCTION DETAILS
7	GRADING PLAN AREA A	1A	RESTROOM BUILDING FOUNDATION PLAN, MISC. SECTIONS AND DETAILS
8	GRADING AND PLANTING AREA B (PLANTING N.I.C.)	2A	RESTROOM BUILDING FLOOR PLAN AND ELEVATION
9	GRADING, SEDIMENTATION, EROSION CONTROL PLAN AREA C	3A	FRAMING PLAN
10	SEDIMENTATION EROSION CONTROL PLAN AREA A	4A	RESTROOM BUILDING MISC. SECTIONS AND DETAILS
11	STORM DRAIN, SANITARY & COLD WATER PLAN	5A	RESTROOM BUILDING - MISC. DETAILS
12	SEDIMENT, EROSION CONTROL DETAILS AND SANITARY PROFILE	6A	RESTROOM BUILDING - MISC. DETAILS
13	ROAD PROFILES	7A	RESTROOM BUILDING - ELECTRICAL PLAN SERVICE LAYOUT AND DETAILS
14	ROAD PROFILES AND SEDIMENT, EROSION CONTROL DETAIL	8A	RESTROOM BUILDING - PLUMBING LAYOUT, MISC. DETAILS
15	SEDIMENT, EROSION CONTROL NOTES AND MISC. DETAILS		
16	STORM DRAIN PROFILES AND SCHEDULE		
17	PLANTING PLAN AREA A (N.I.C.)		
18	MISC. CONSTRUCTION DETAILS		
19	BRIDGE DETAILS		

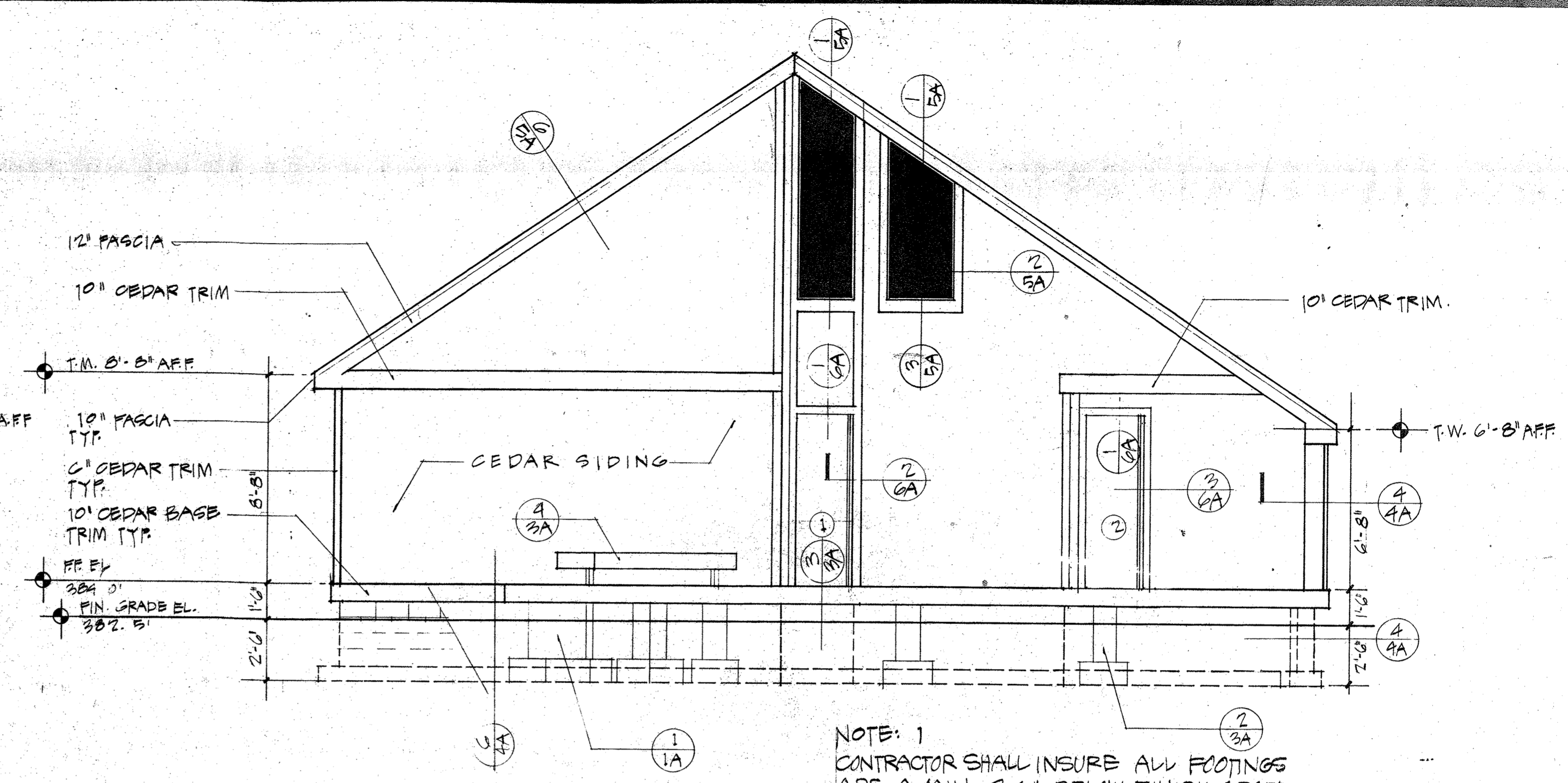
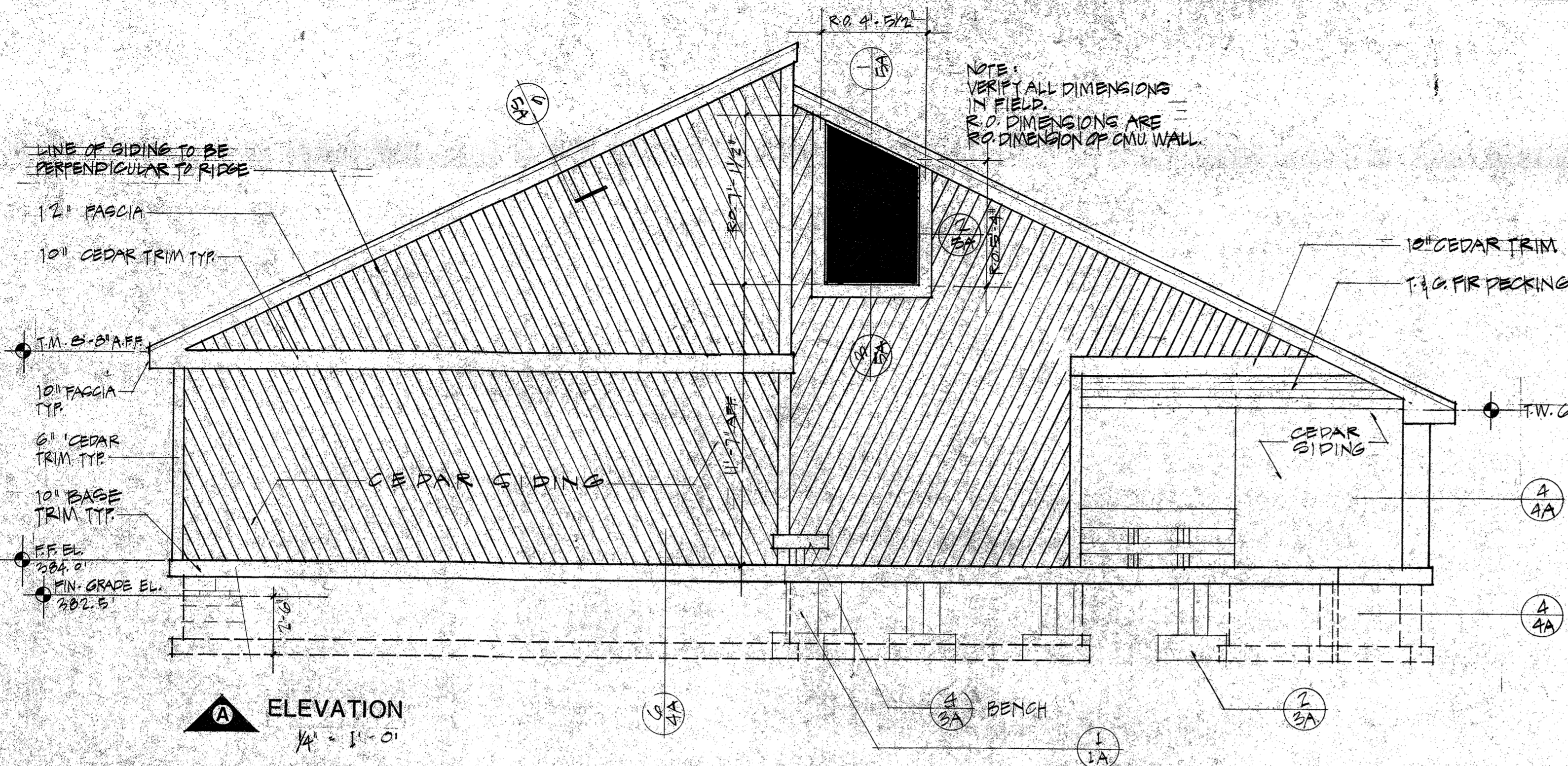
FOR REVISED SHEET INDEX, SEE LIST ABOVE

Howards County, Md., Dept. of Public Works for the Dept. of Rec. and Parks, 3430 Court House Drive, Ellicott City, Maryland
Election District No. 2 Howard Co., Md.
Tax Map No. 30
Liber 885 Folio 76, Parcel 10, 43.18 ac.
Liber 507 Folio 437, Parcel 278, 6145 ac.
Adjacent Property Owners
East: John T. Mason, Jr.
Liber 276 Folio 575, Parcel 86
West: Roland D. Zaiser, Et Al
Liber 831, Folio 321, Parcel 160

LD LAND DESIGN / RESEARCH, INC.
ONE MALL NORTH SUITE 400
COLUMBIA, MARYLAND

COVER SHEET
CENTENNIAL PARK
PHASE ONE - ANNAPOLIS ROAD AREA

DATE	MARCH 6, 1981	REVISIONS:	1
SCALE		REVISED SITE DEVELOPMENT PLAN - 6/1/78	48
DRAWN			10/26
CHECKED			



NOTE: 1
CONTRACTOR SHALL INSURE ALL FOOTINGS ARE A MIN. 2'-6" BELOW FINISH GRADE AND A MIN. 1'-0" BELOW EXISTING GRADE, WHICH EVER IS LOWEST.

NOTE: 2
CONCRETE BLOCK CARRIED TO 10 COURSES ABOVE FINISH FLOOR, AS DIMENSIONED. ALL OTHER BLOCK WORK CARRIED TO UNDER-SIDES OF ROOF

NOTE: 3
DIMENSIONS REFER TO CMU WALL WHERE APPLICABLE.

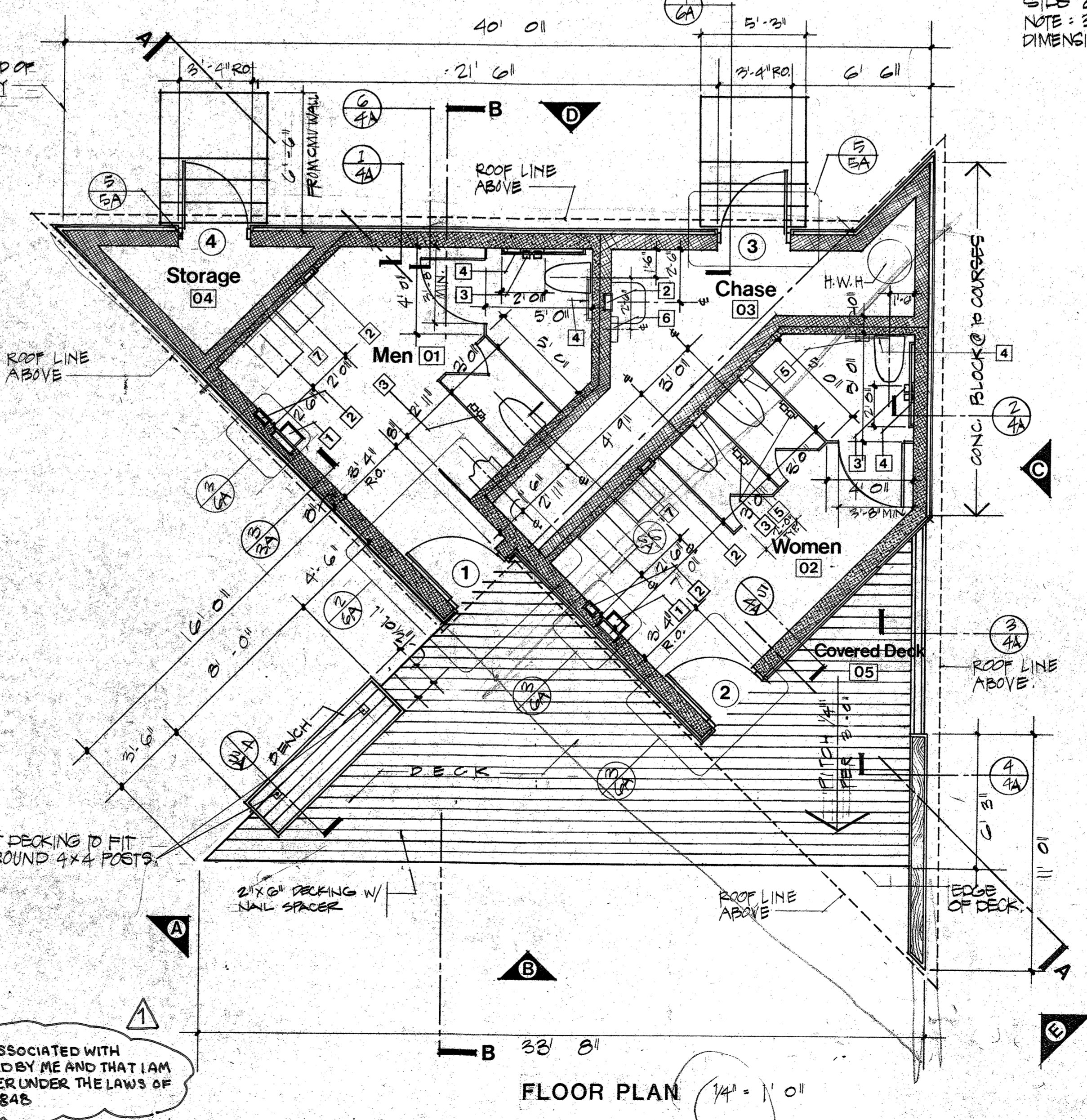
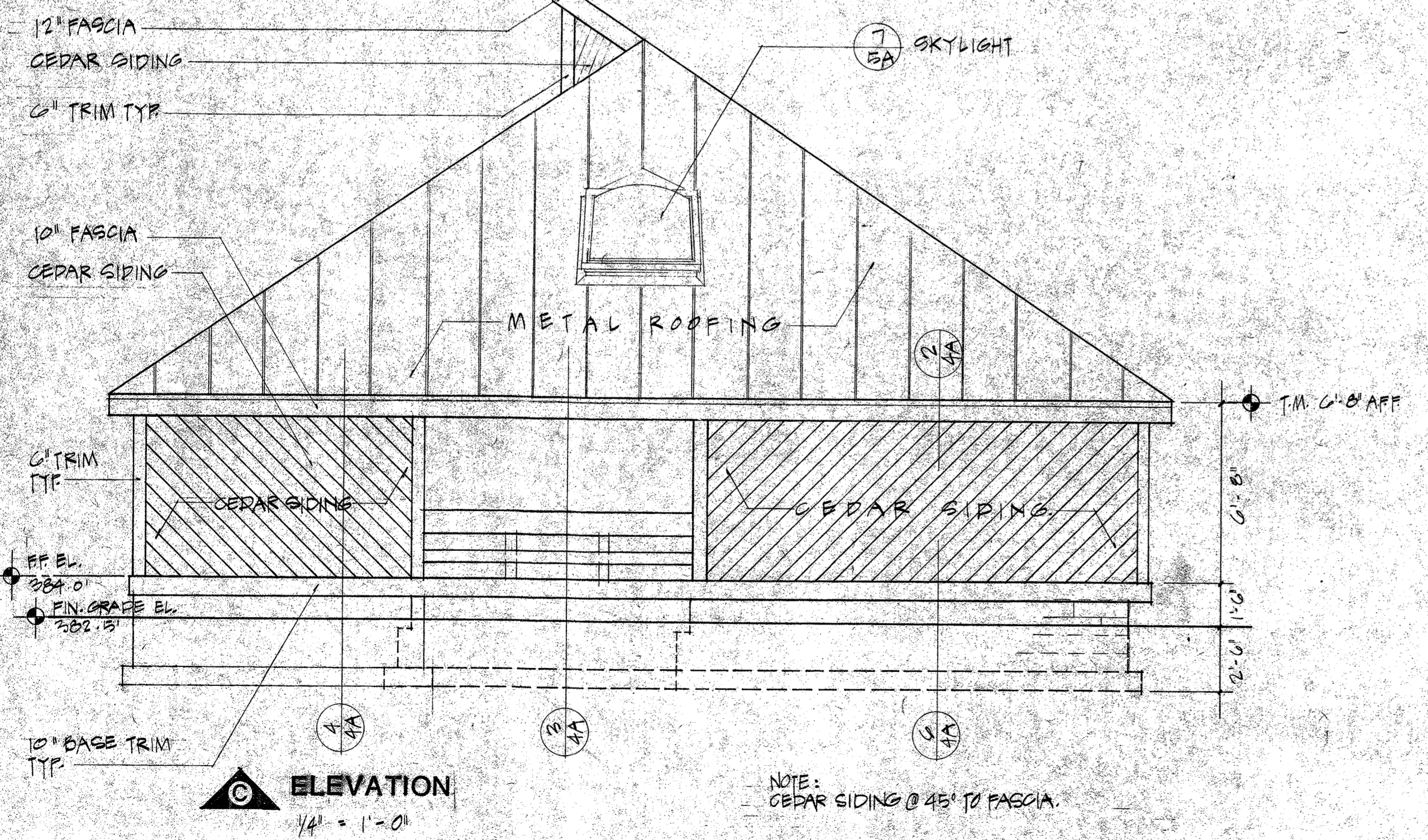
FIXTURE SCHEDULE

MARK	QTY.	FIXTURE	MAKE	MODEL	ROUGH OPENING	REMARKS
1	2	COMBINATION PAPER TOWEL DISP. AND WASTE RECEPTACLE	BOBRICK	B-2947	16" X 24" X 4"	
2	5	RECESSED SOAP DISPENSER	SUPPLIED BY OWNER			ONE OVER SERVICE SINK
3	5	TOILET PAPER DISPENSER	BOBRICK	B-274		
4	2	STAINLESS STEEL GRAB BAR	BOBRICK	B-6206	5'-6 1/2" X 48" HORIZONTAL 5'-6 1/2" X 74" HORIZONTAL	
5	3	COUNTER MOUNTED FEMININE	BOBRICK	B-270		
6	1	COUNTER MOUNTED PAPER TOWEL DISPENSER	BOBRICK	B-262		OVER SERVICE SINK
7	2	FRAMING ANGLE	BOBRICK	B-2906 4P30		BOTTOM OF MIRROR, 3/4" A.F.P.

DOOR SCHEDULE

MARK	SIZE	TYPE	HARDWARE	THRESH.	DETAILS		REMARKS
					HEAD	JAMB STILL	
1	3'-0" X 7'-2" X 1 3/4"	H.M.	LOCKSET**	ALUMINUM	(A)	(B)	W/WEATHERSTRIPPING
2	3'-0" X 7'-2" X 1 3/4"	H.M.	LOCKSET**	ALUMINUM	(C)	(D)	W/WEATHERSTRIPPING
3	3'-0" X 7'-2" X 1 3/4"	H.M.	LOCKSET**	ALUMINUM	(E)	(F)	W/WEATHERSTRIPPING
4	3'-0" X 7'-2" X 1 3/4"	H.M.	LOCKSET**	ALUMINUM	(G)	(H)	W/WEATHERSTRIPPING

H.M. = HOLLOW METAL
**SEE SPECS. FOR HARDWARE SCHEDULE



PURPOSE STATEMENT - 06.15.2023
THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 56848 EXPIRATION DATE 12/16/2024

APPROVED: For public Water, Public Sewerage and Storm Drainage Systems and Roads
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Director: *George F. Newmyer* DATE: 4-26-81
 Chief, Bureau of Engineering: *William B. Rahn* DATE: 4-20-81

APPROVED: For public Water and Public Sewerage Systems
 HOWARD COUNTY HEALTH DEPARTMENT
 County Health Officer: *James M. Boyd, M.D., D.C., P.E.W.* DATE: 4-20-81

APPROVED: Howard County Office of Planning and Zoning
 Planning Director: *Thomas J. Hamill* DATE: 4-20-81
 Chief, Division of Land Development & Zoning Admin.: *John H. Moseman* DATE: 4-20-81

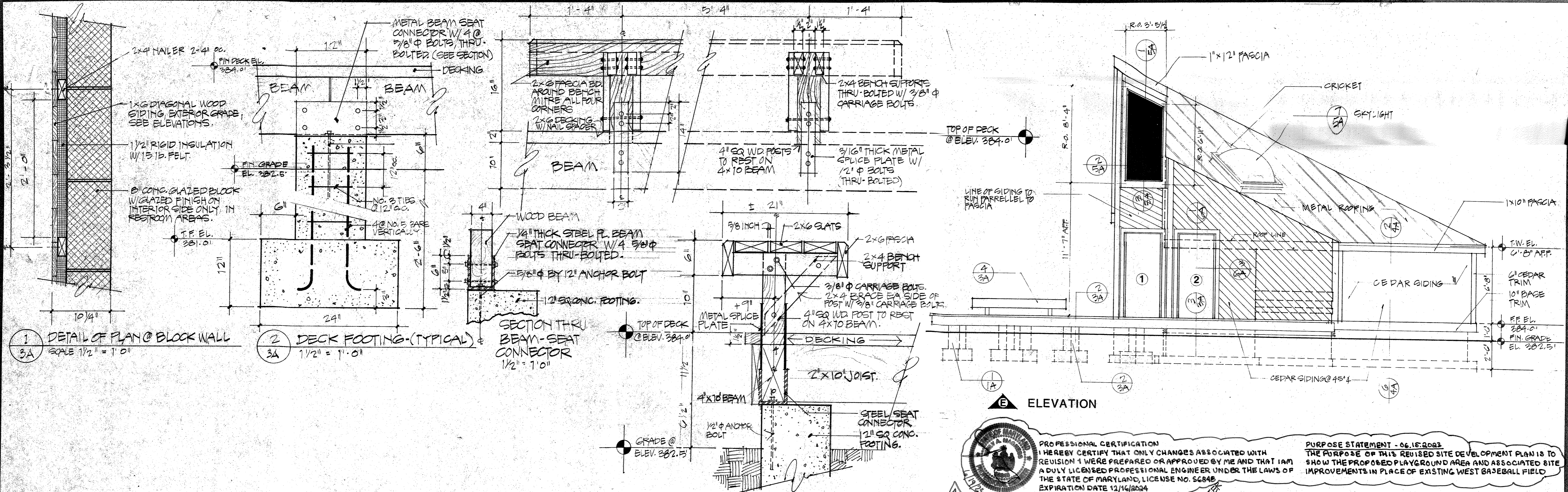
Howard County, Md., Dept. of Public Works for the Dept. of Rec. and Parks, 3430 Court House Drive, Ellicott City, Maryland
 Election District No. 2 Howard Co., Md.
 Tax Map No. 30
 Liber 885 Folio 76, Parcel 10, 43.18 ac.
 Liber 507 Folio 437, Parcel 278, 6145 ac.
 Adjacent Property Owners
 East: John T. Mason, Jr. Liber 276 Folio 575, Parcel 86
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LD LAND DESIGN / RESEARCH, INC.
 ONE MALL NORTH SUITE 400
 COLUMBIA, MARYLAND
RESTROOM BUILDING FLOOR PLAN & ELEVATION

**CENTENNIAL PARK
 PHASE ONE - ANNAPOLIS ROAD AREA**

DATE: 4-26-81 REVISIONS:
 SCALE: 1/4" = 1'-0" 1. REVISED SITE DEVELOPMENT PLAN - 4/15/81
 DRAWN: TE
 CHECKED: N.L.

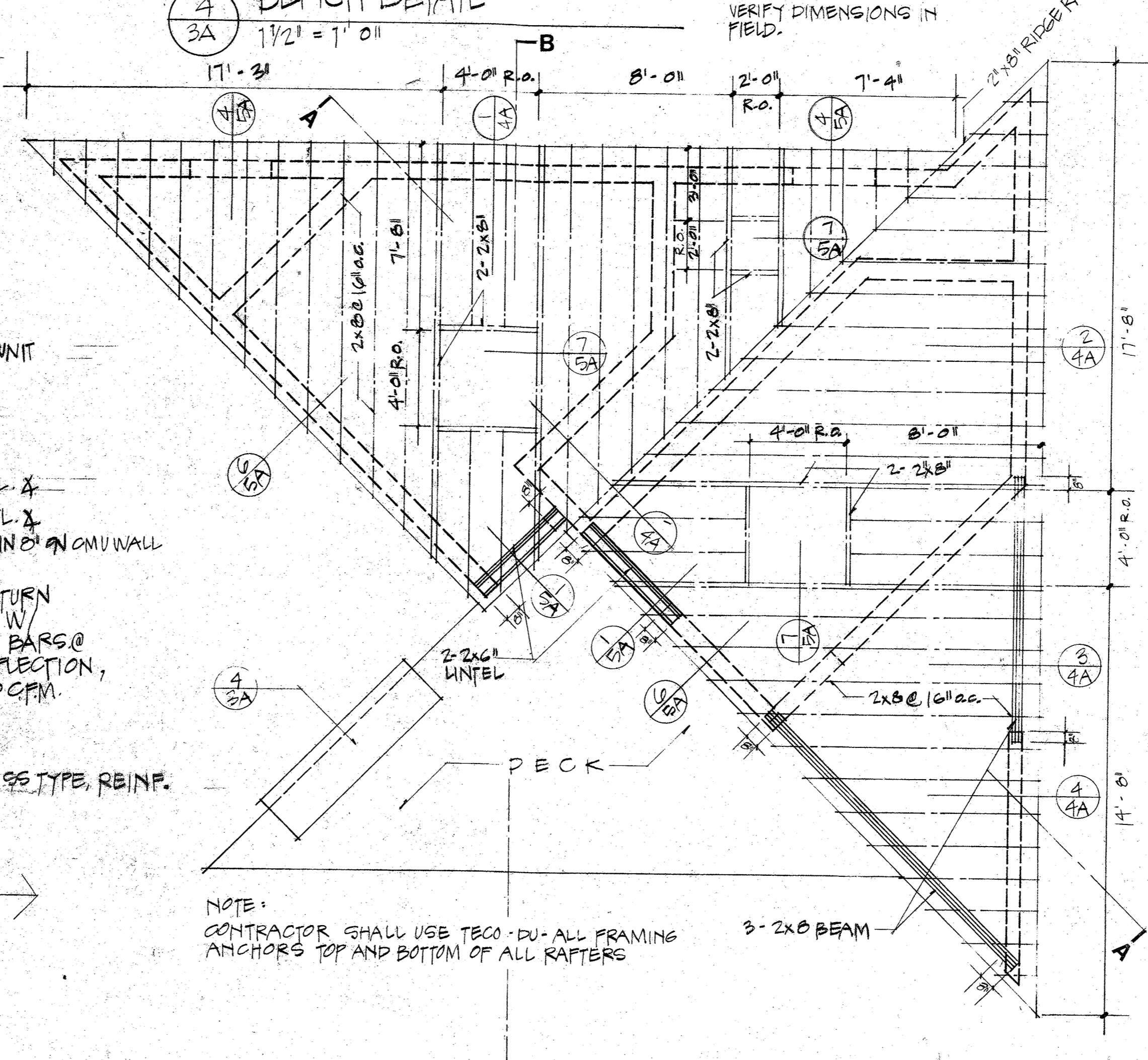
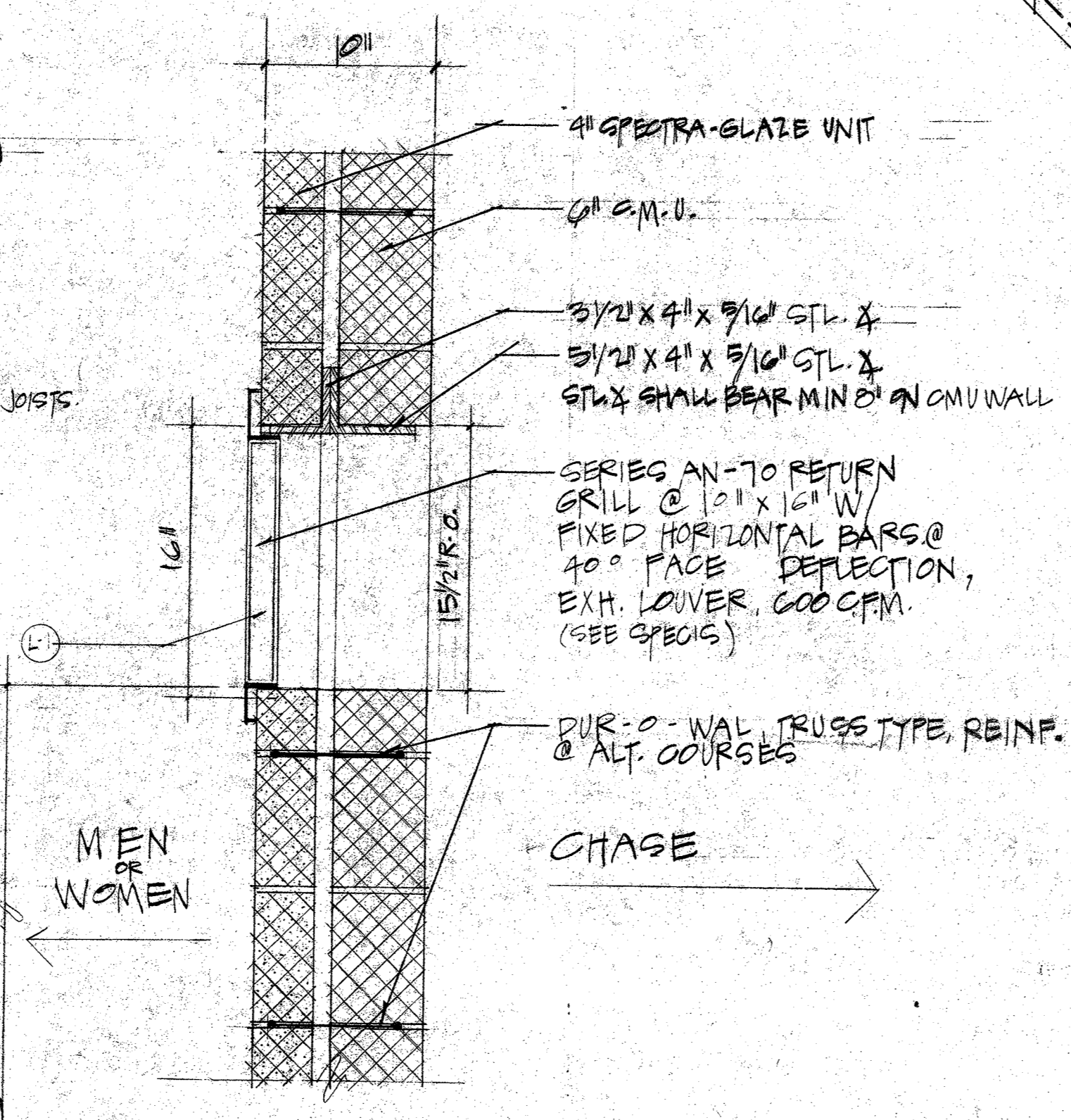
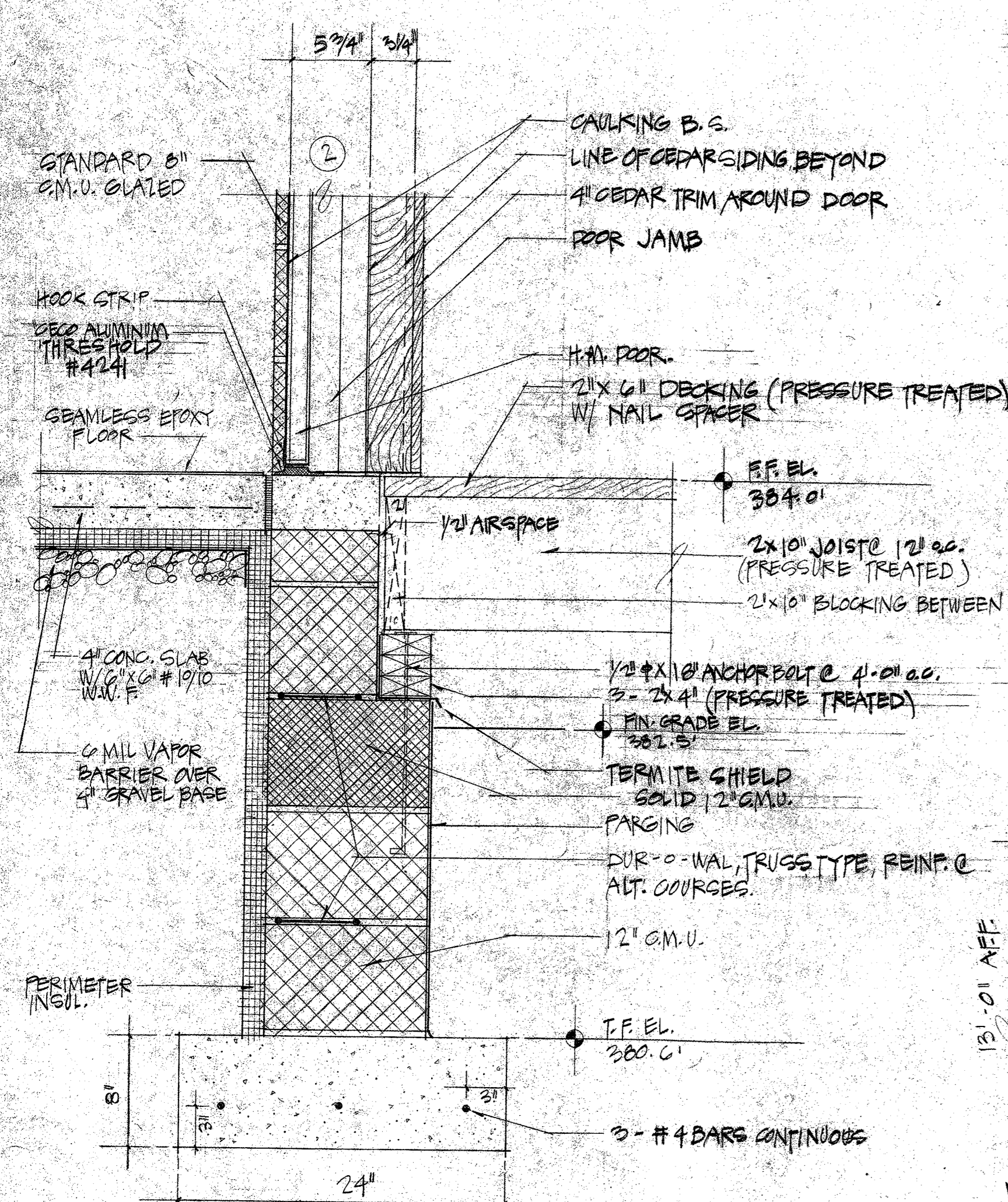
2A
 3
 3 of 48



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 56846, EXPIRATION DATE 12/16/2024.

PURPOSE STATEMENT - 06.15.2023
 THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD.

MARK	SIZE	DETAIL	REMARKS
(L1)	10" x 16" x 18"	(3)	TWO STL & LINTELS BACK-TO-BACK
(L2)	10" x 16" x 18"	(3)	TWO STL & LINTELS BACK-TO-BACK



NOTE: CONTRACTOR SHALL USE TECO-DU-ALL FRAMING ANCHORS TOP AND BOTTOM OF ALL RAFTERS

APPROVED: For public Water, Public Sewerage and Storm Drainage Systems and Roads
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Director: *Don F. Neumann* DATE: 4-20-21
 Chief, Bureau of Engineering: *William S. Ray* DATE: 4-20-21

APPROVED: For public Water and Public Sewerage Systems
 HOWARD COUNTY HEALTH DEPARTMENT
 County Health Officer: *John P. ...* DATE: 4-20-21

APPROVED: Howard County Office of Planning and Zoning
 Planning Director: *James L. Harris* DATE: 4-20-21
 Chief, Division of Land Development & Zoning Adm.: *John ...* DATE: 4-20-21

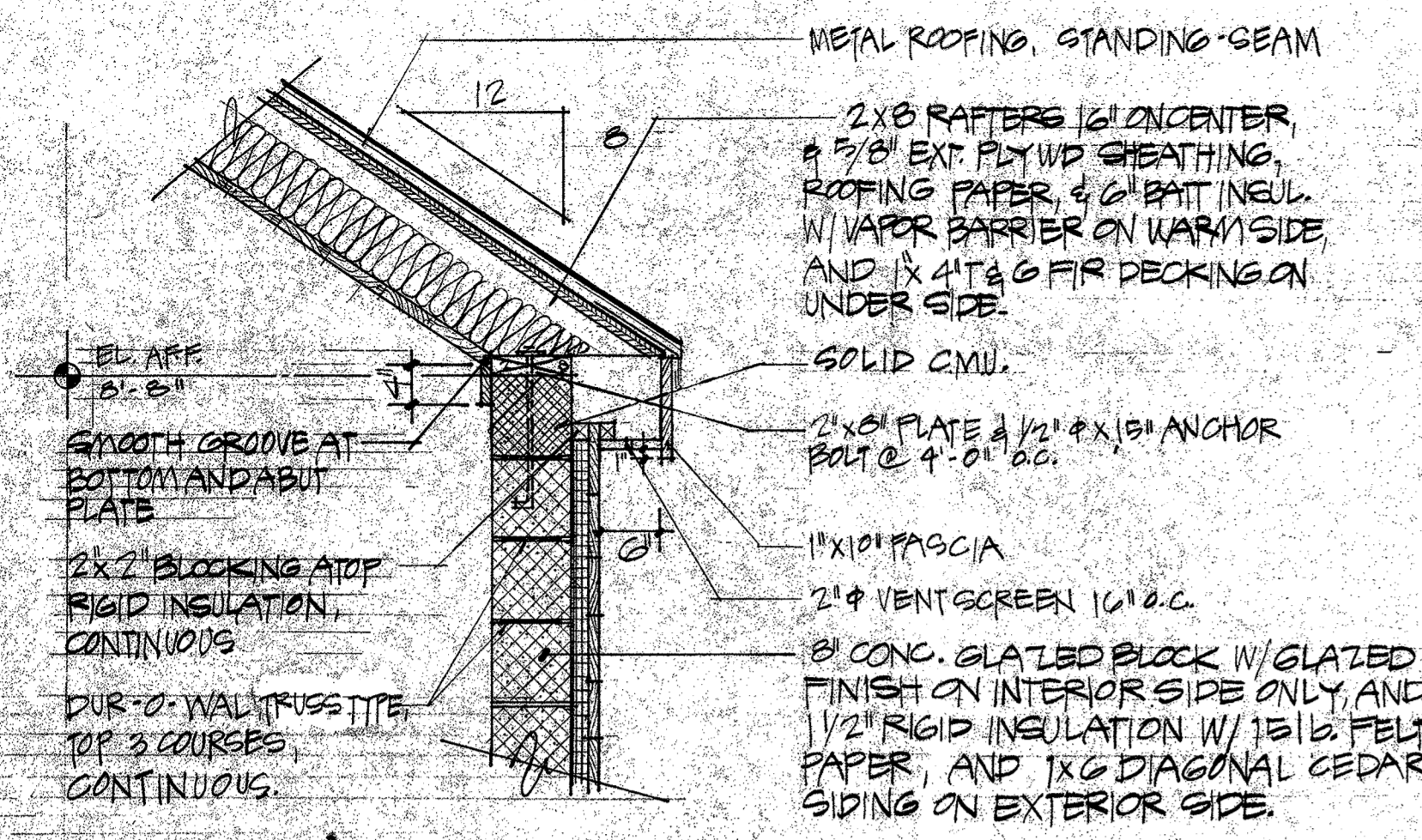
Howards County, Md., Dept. of Public Works for the Dept. of Rec. and Parks, 3430 Court House Drive, Ellicott City, Maryland
 Election District No. 2 Howard Co., Md.
 Tax Map No. 30
 Liber 885 Folio 76, Parcel 10, 43.18 ac.
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 Adjacent Property Owners
 East: John T. Mason, Jr. Liber 276 Folio 575, Parcel 86
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LD LAND DESIGN / RESEARCH, INC.
 ONE MALL NORTH SUITE 400
 COLUMBIA, MARYLAND

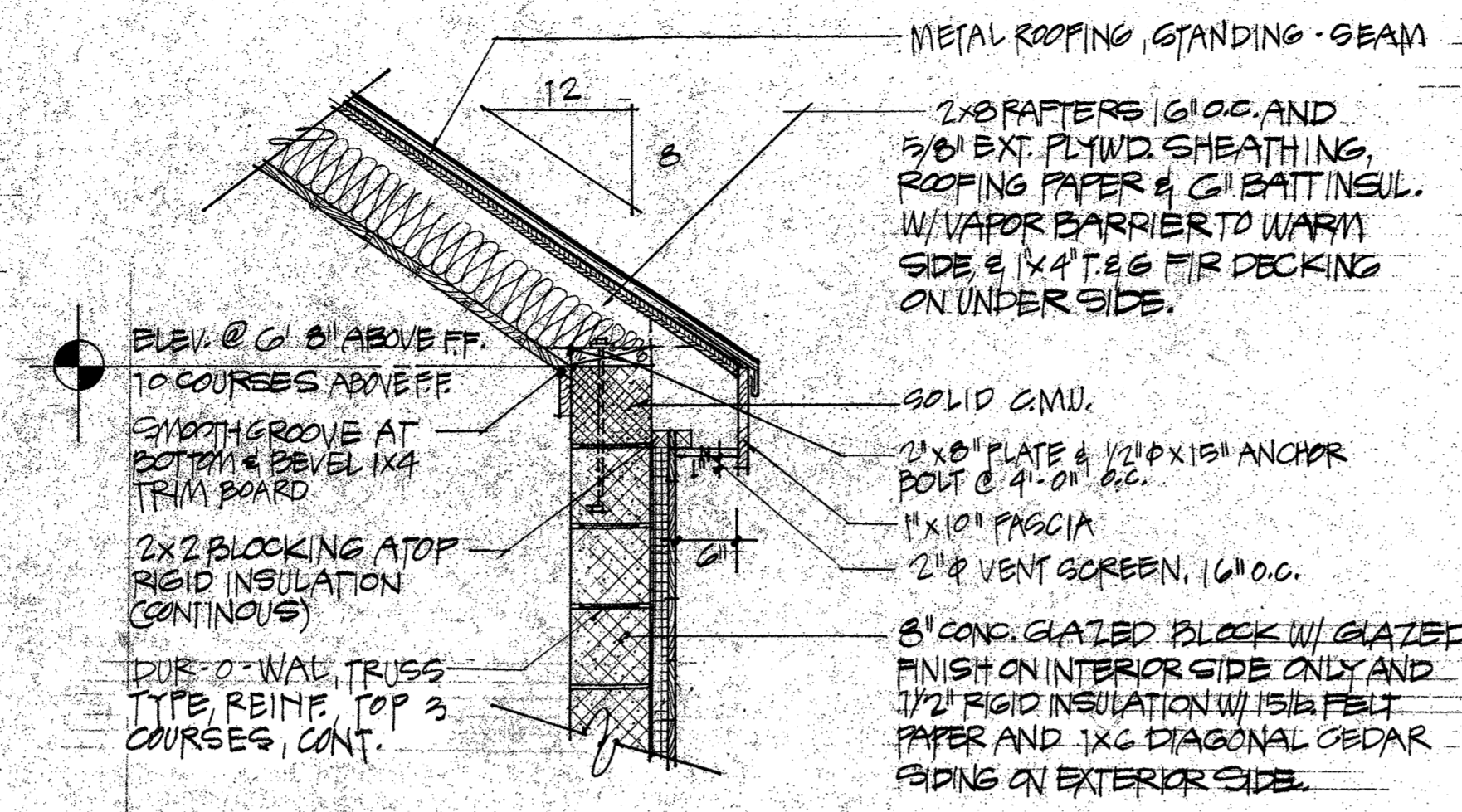
FRAMING PLAN
CENTENNIAL PARK
PHASE ONE - ANNAPOLIS ROAD AREA

DATE	AUG 8, 1983	REVISIONS:	AS NOTED
SCALE	AS NOTED	REVISION 1	REVISED SITE DEVELOPMENT PLAN - 01/12/23
DRAWN	TE		
CHECKED	NL		

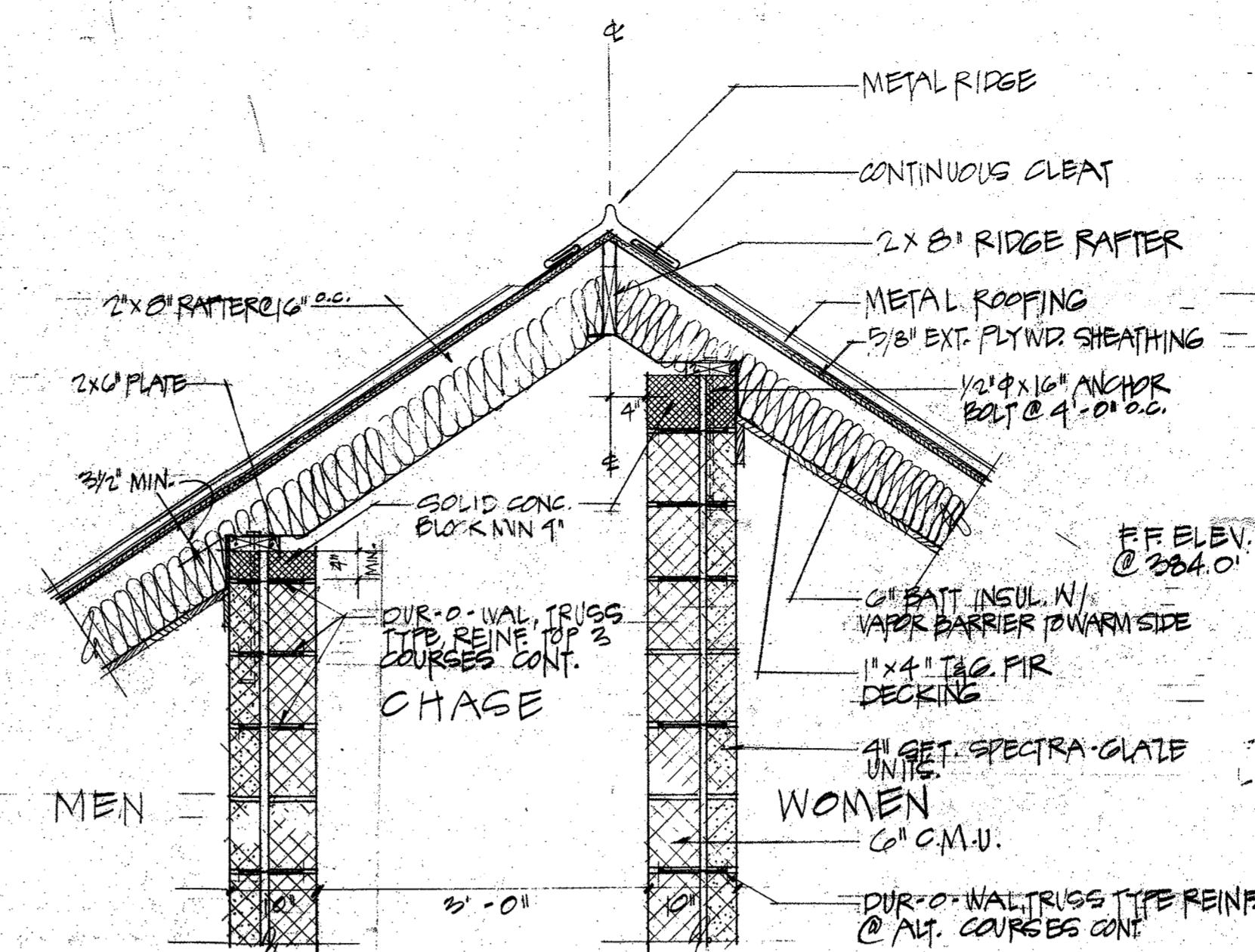
3A
4
1 of 48



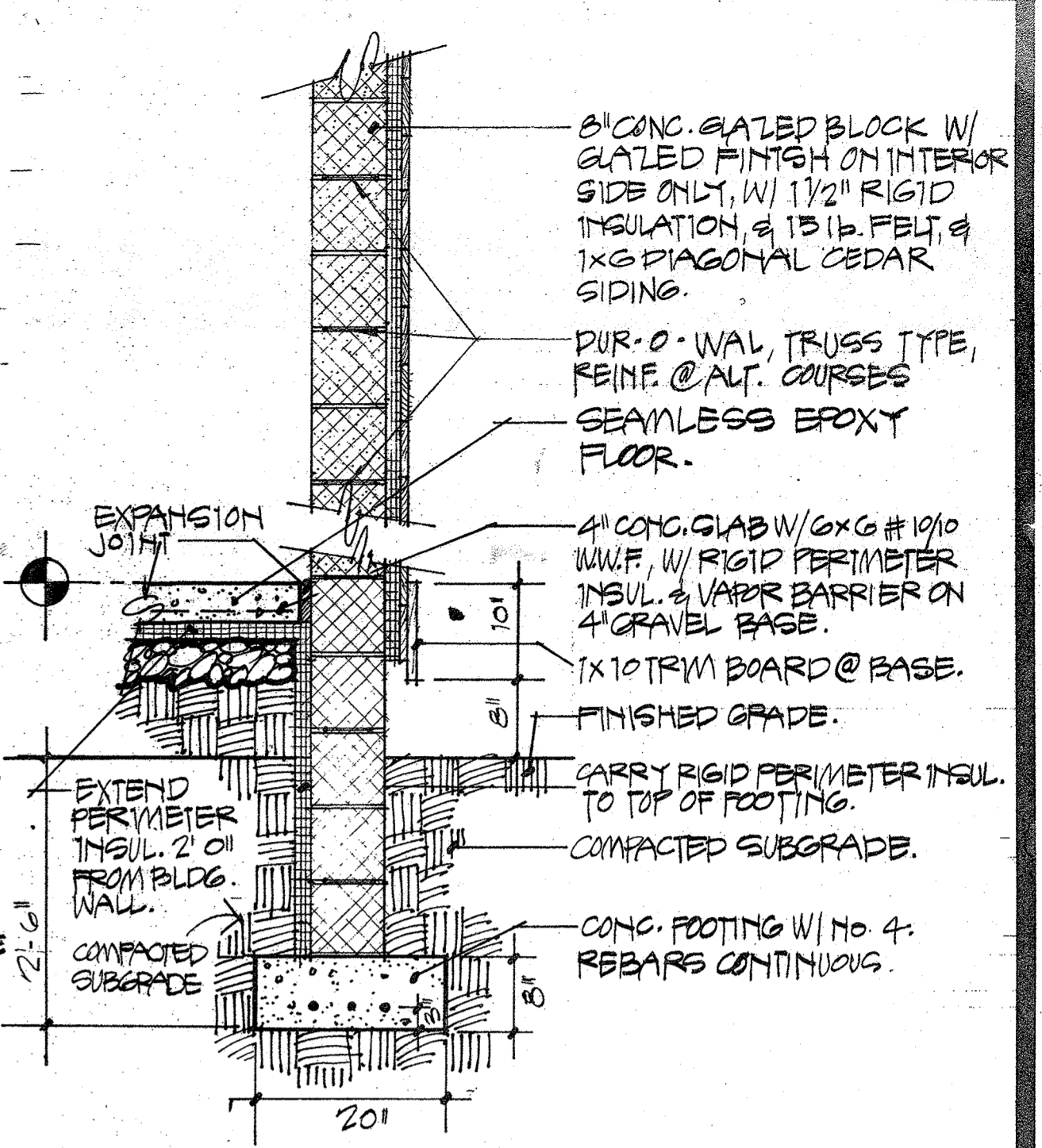
1
4A
DETAIL @ HIGHER BLOCK WALL
SCALE 3/4" = ONE FOOT.



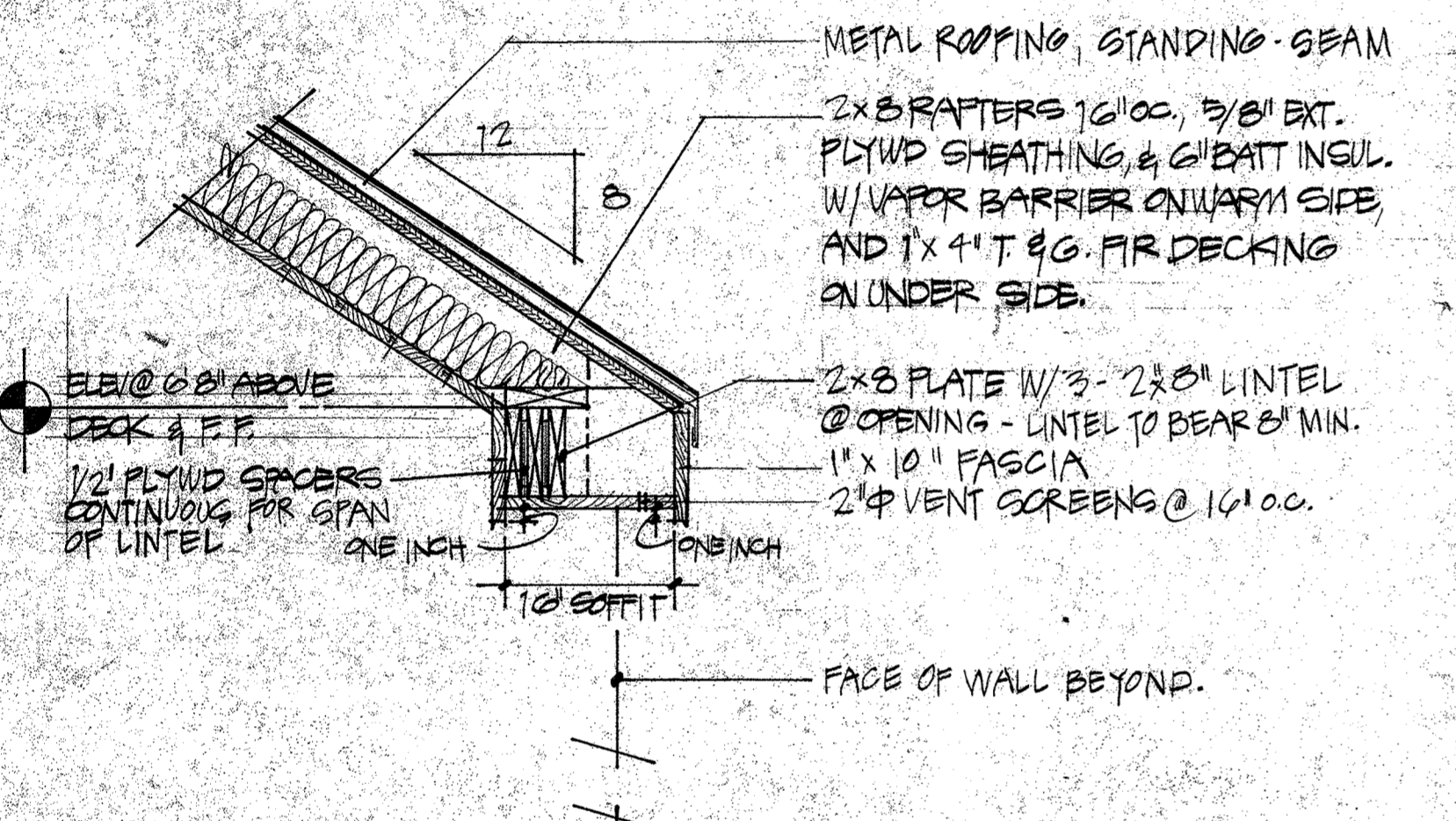
2
4A
DETAIL @ LOWER BLOCK WALL
SCALE 3/4" = ONE FOOT.



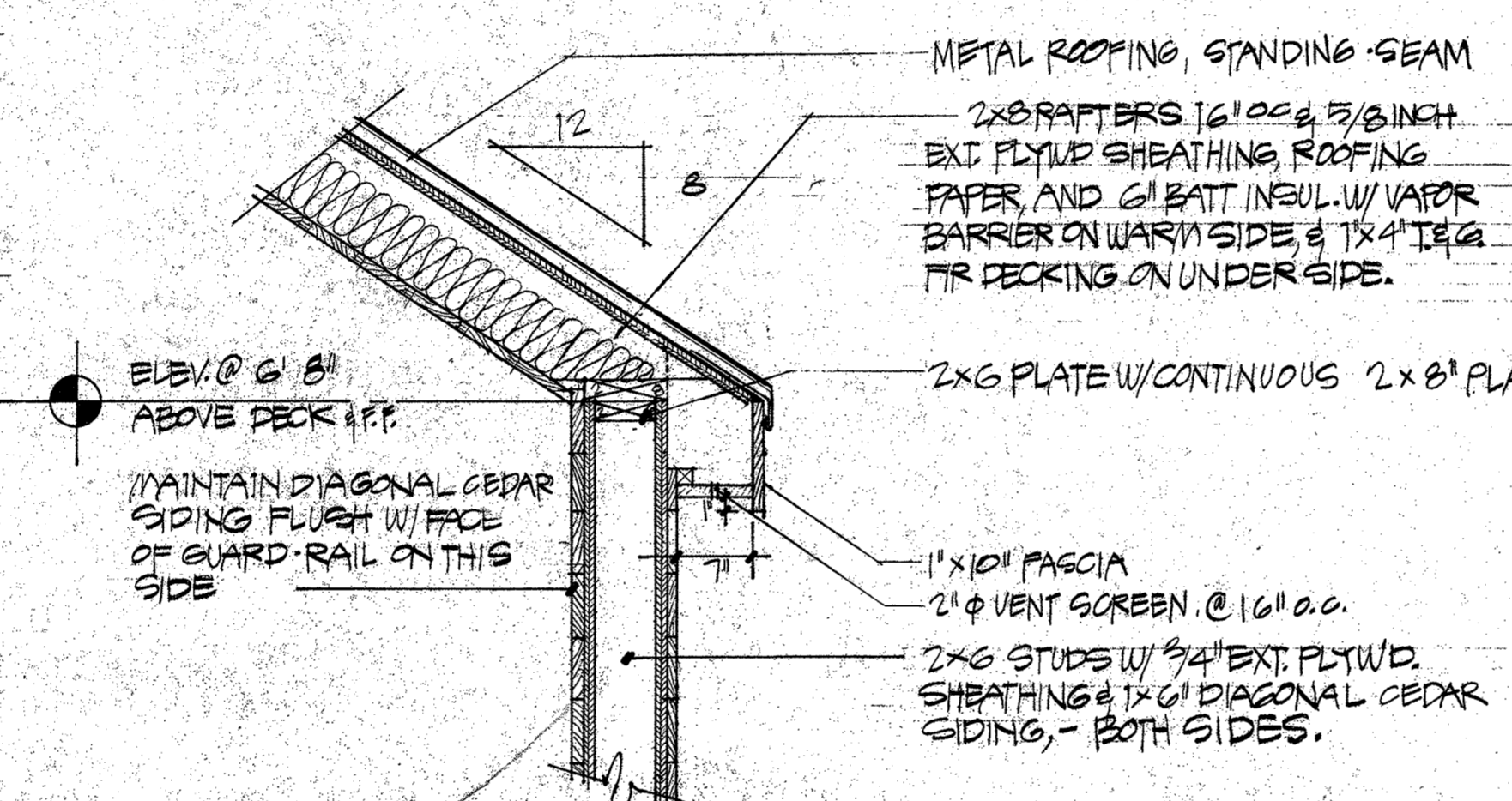
7
4A
DETAIL - RIDGE
SCALE 3/4" = ONE FOOT.



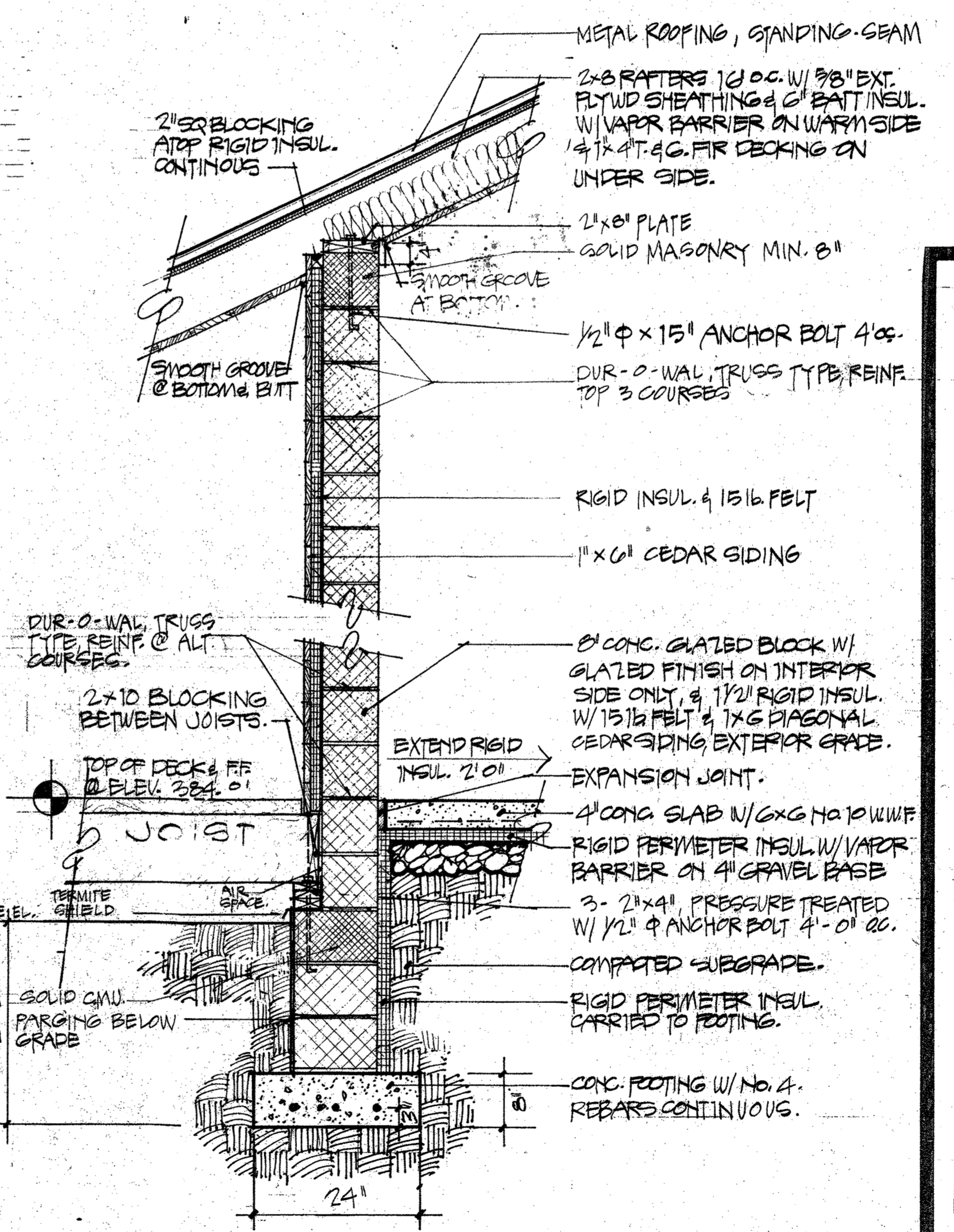
6
4A
FOUNDATION @ BLOCK WALL (TYPICAL)
SCALE 3/4" = ONE FOOT.



3
4A
HEADER DETAIL @ OPENING
SCALE 3/4" = ONE FOOT.



4
4A
DETAIL @ WOOD WALL
SCALE 3/4" = ONE FOOT.



5
4A
DETAIL @ BLOCK WALL
SCALE 3/4" = ONE FOOT.

NOTE:
ALL DECKING & DECK FRAMING MEMBERS SHALL BE PRESSURE TREATED. (SEE SPEC'S.)
VAPOR BARRIER UNDER 4" CONC. SLAB SHALL BE 4 MILL. (SEE SPEC'S.)



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. SC6848 EXPIRATION DATE 12/16/2024

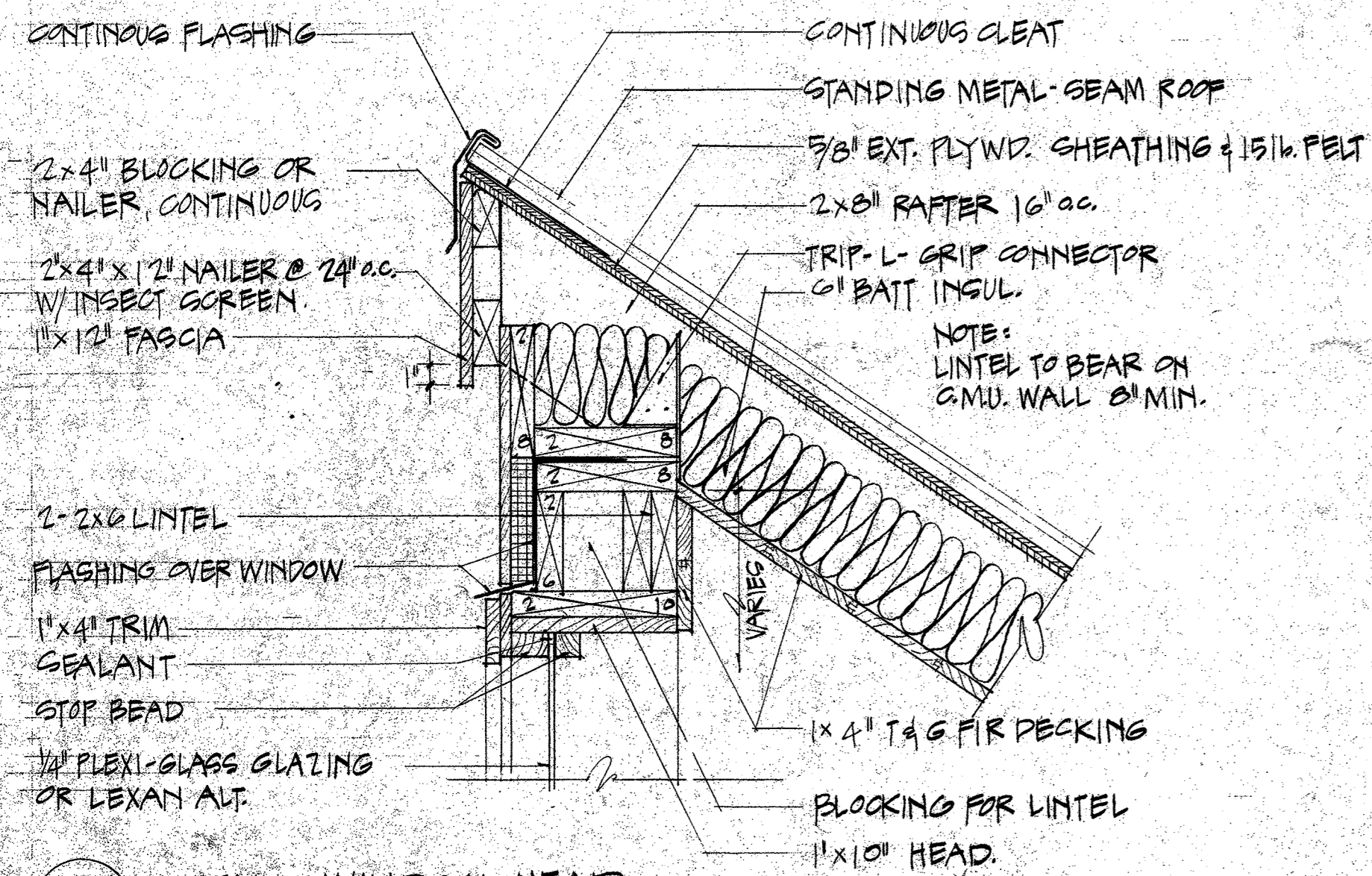
PURPOSE STATEMENT - 06.18.2023
THE PURPOSE OF THIS REGISTERED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED IMPROVEMENTS IN PLACE OF EXISTING WEST BASE BALL FIELD

APPROVED: For public Water, Public Sewerage and Storm Drainage Systems and Roads	4-26-81
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS	DATE
<i>John F. Nummy</i>	4-26-81
DIRECTOR	DATE
<i>William A. Ray</i>	4-26-81
CHIEF, BUREAU OF ENGINEERING	DATE
APPROVED: For public Water and Public Sewerage Systems	4-20-81
HOWARD COUNTY HEALTH DEPARTMENT	DATE
<i>John A. Ray</i>	4-20-81
COUNTY HEALTH OFFICER	DATE
APPROVED: Howard County Office of Planning and Zoning	4-20-81
<i>John A. Ray</i>	4-20-81
PLANNING DIRECTOR	DATE
<i>William A. Ray</i>	4-20-81
CHIEF, DIVISION OF LAND DEVELOPMENT & ZONING ADMIN.	DATE

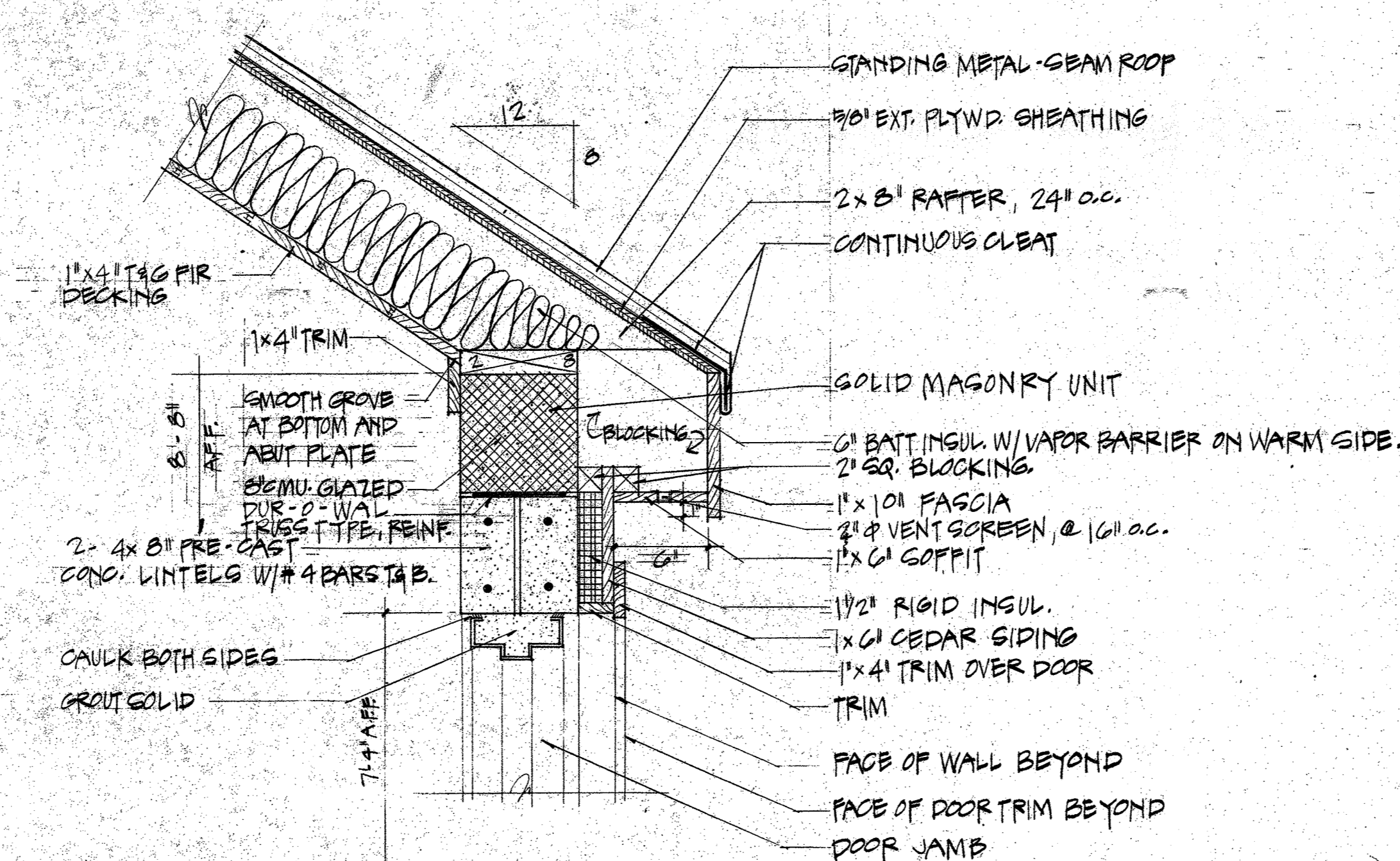
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LD R LAND DESIGN / RESEARCH, INC.
ONE MALL NORTH SUITE 400
COLUMBIA, MARYLAND
RESTROOM BUILDING
MISC. SECTIONS & DETAILS
CENTENNIAL PARK
PHASE - ANNAPOLIS ROAD AREA

DATE	AUG 3, 1980	REVISIONS:	4A
SCALE	AS NOTED	REQUIRED SITE DEVELOPMENT PLAN - 6/15/23	5
DRAWN	TE		5 of 48
CHECKED	N.L.		

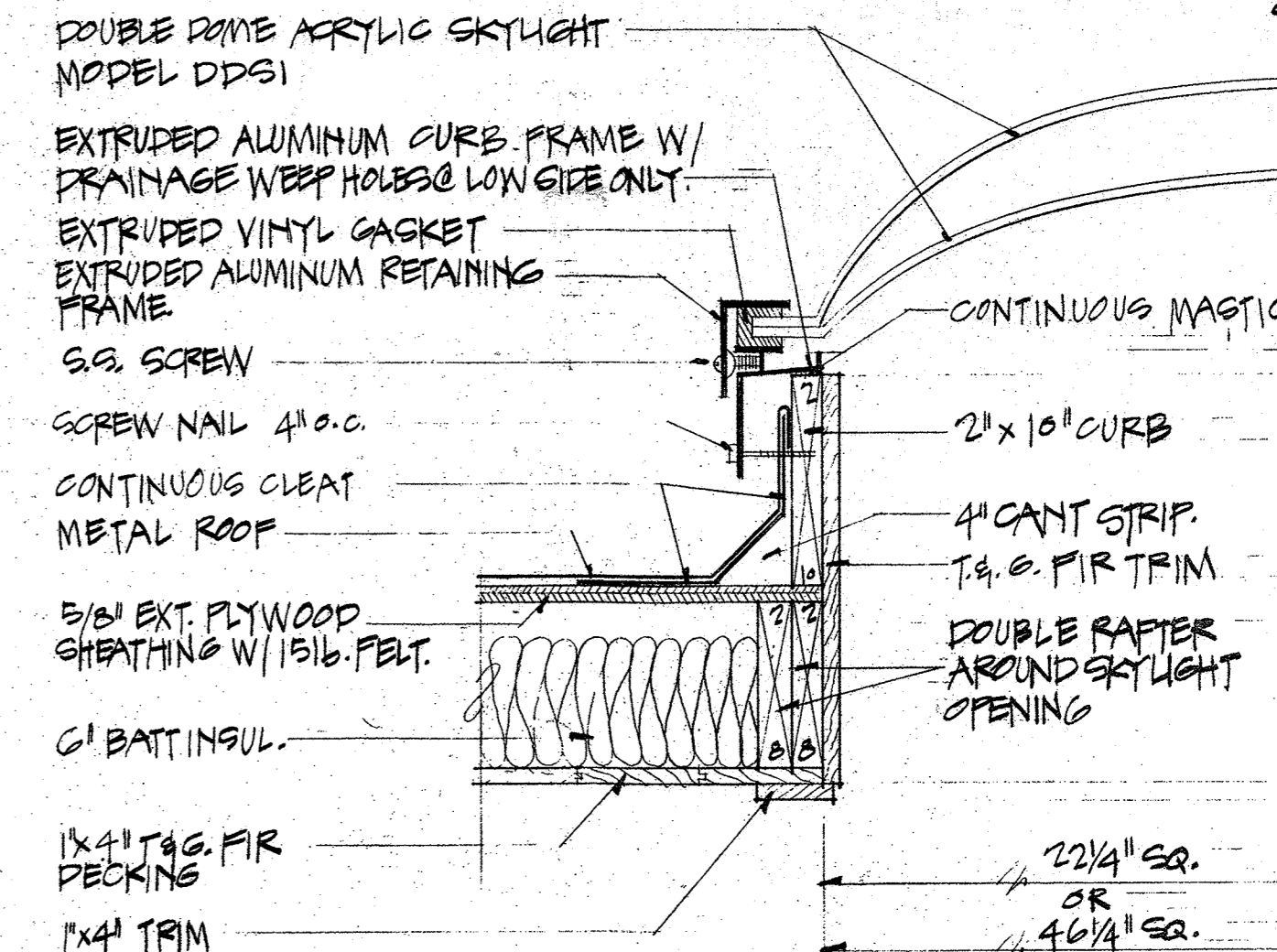


1 DETAIL: WINDOW HEAD
5A 1/2" = 1'-0"

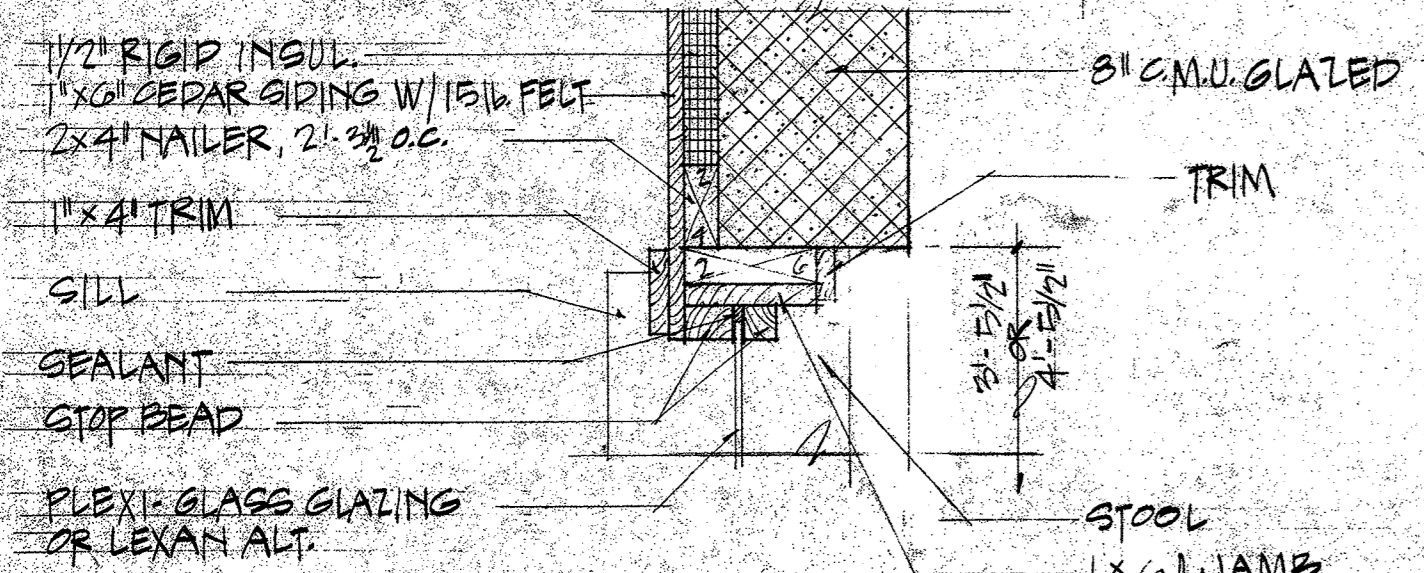


4 DETAIL: DOOR HEAD # 3 & #4 (TYP.)
5A 1/2" = 1'-0"

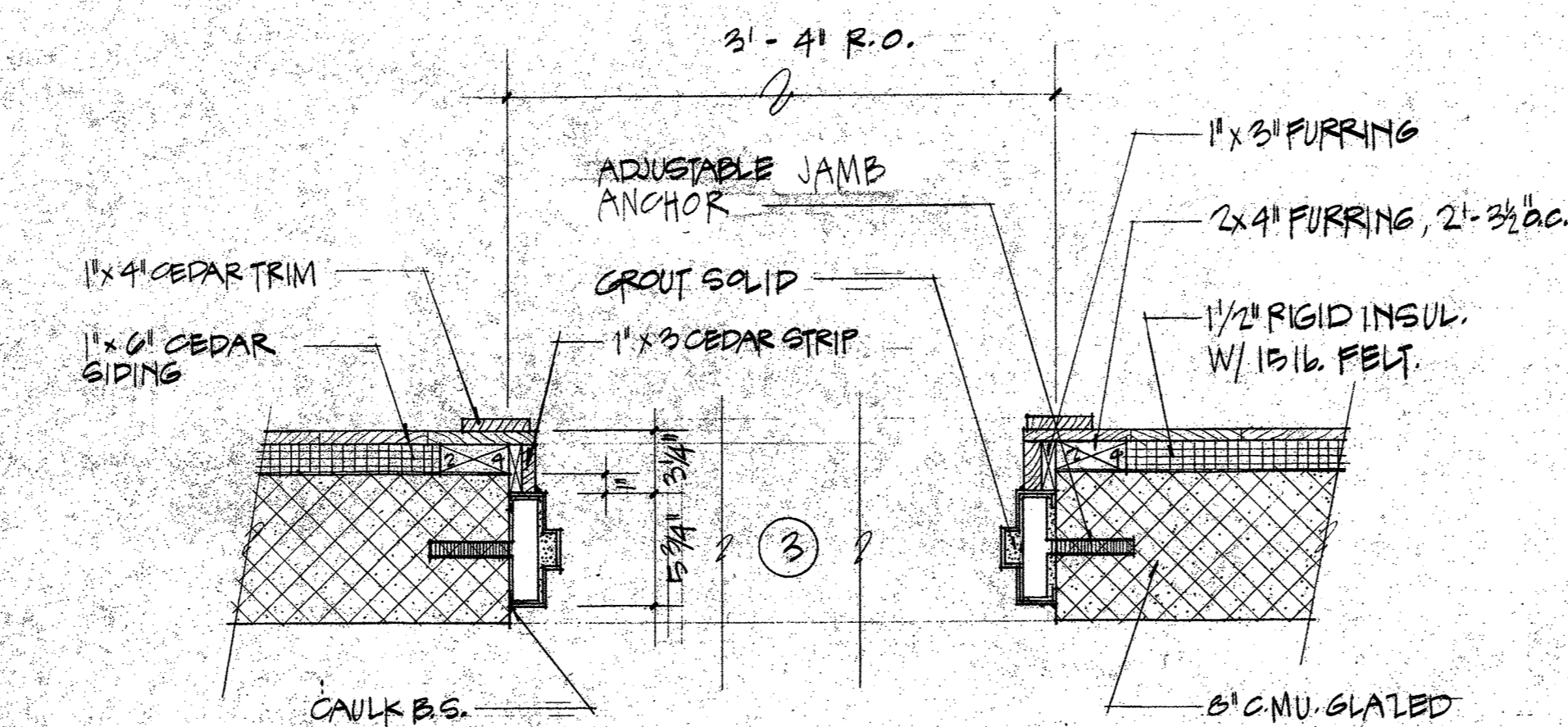
NOTE:
ACRYLIC PLASTIC DOME SKYLIGHTS SHALL BE WASCO SKYDOME BRAND UNITS, MODEL NO. 51-2020 AND 51-5152, MANUFACTURED BY WASCO PRODUCTS, INC. STANFORD, MAINE.



7 DETAIL: SECTION THRU SKYLIGHT
5A 1/2" = 1'-0"



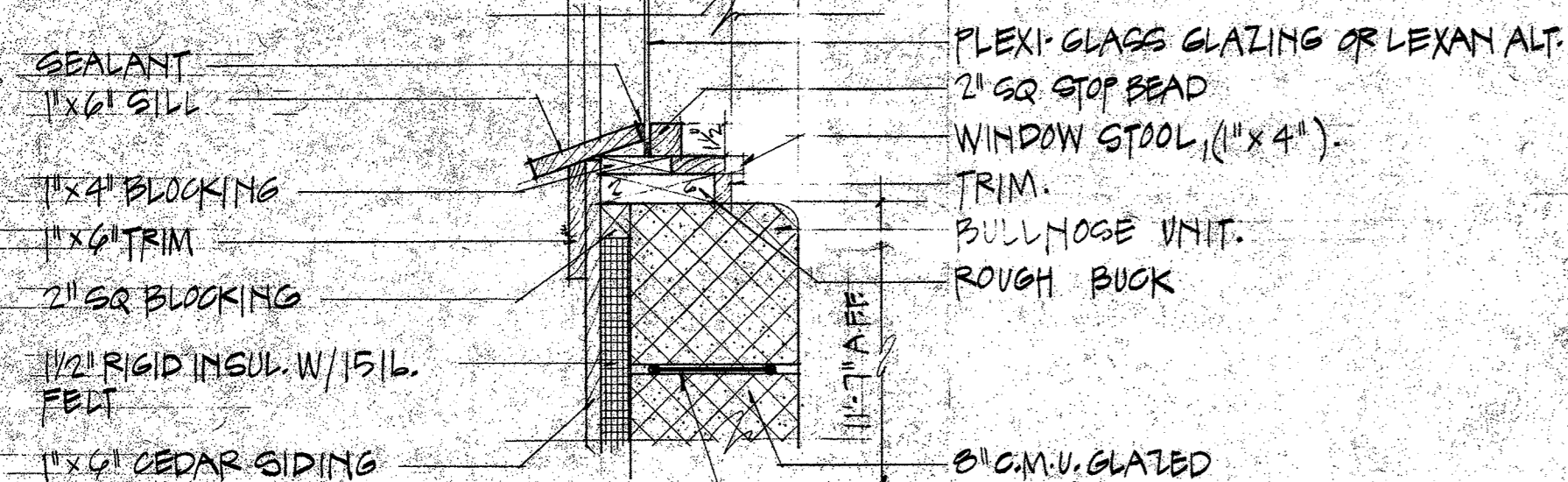
2 DETAIL: WINDOW JAMB
5A 1/2" = 1'-0"



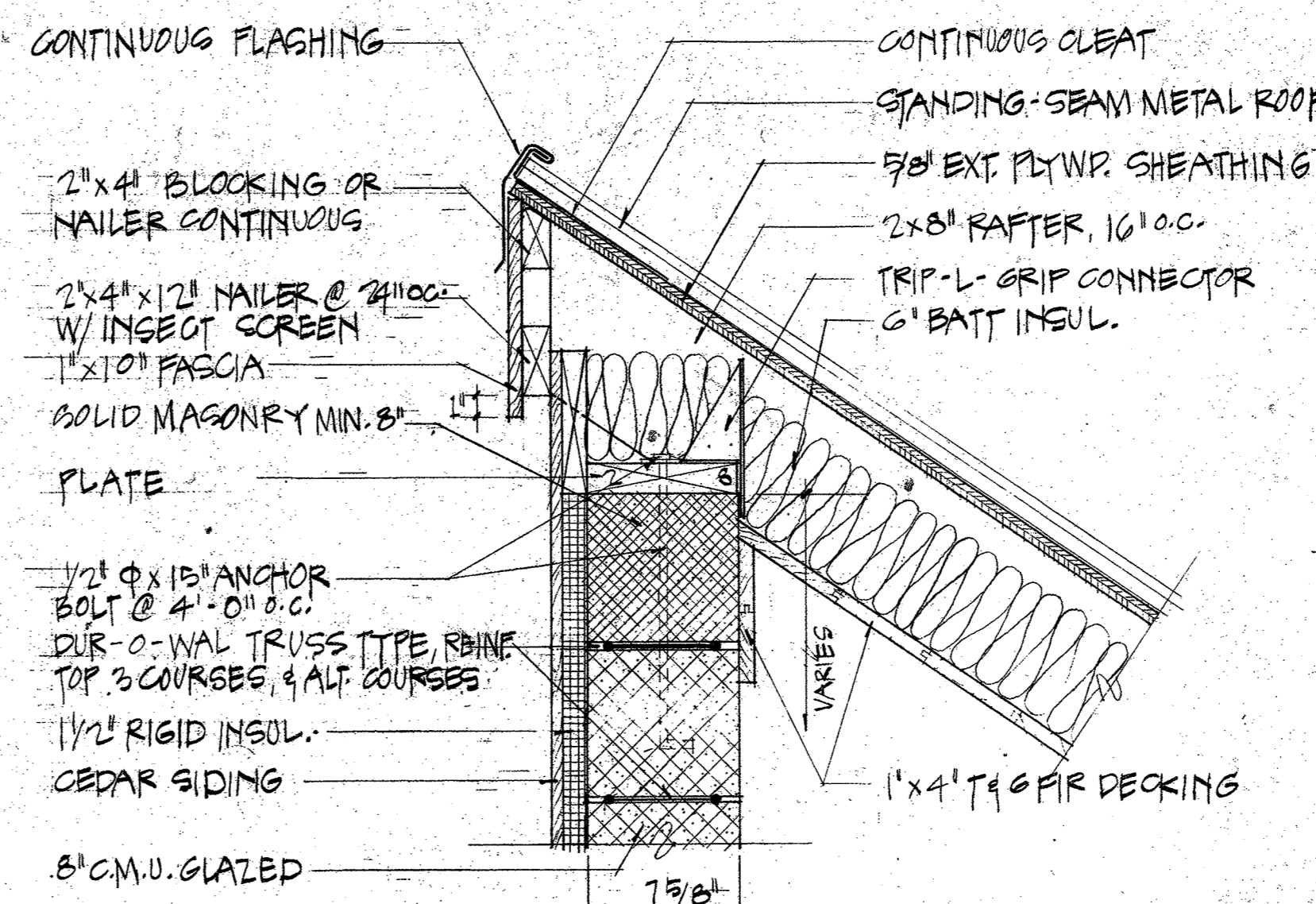
5 DETAIL: DOOR JAMB # 3 & #4 (TYP.)
5A 1/2" = 1'-0"

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 56845 EXPIRATION DATE 12/16/2024

PURPOSE STATEMENT - 06.16.2023
THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD



3 DETAIL: WINDOW SILL
5A 1/2" = 1'-0"



6 DETAIL: END WALL
5A 1/2" = 1'-0"

SYMBOLS		SYMBOLS		SYMBOLS	
C.M.U.	RIGID INSUL.	GRAVEL	GRAVEL		
GLAZED C.M.U.	PLY WOOD	STEEL	STEEL		
SOLID C.M.U.	ROUGH WOOD	DETAIL	DETAIL		
CONCRETE	FINISH WOOD	DETAIL NO.	DETAIL NO.		
		SHEET NO.	SHEET NO.		

ABBREVIATIONS	ABBREVIATIONS	ABBREVIATIONS	ABBREVIATIONS
A.F.F.	REBAR	S.F.T.	REINFORCING BAR
ALT.	S.F.T.	S.T.L.	STRUCTURAL GLAZED FACING TILE
C.M.U.	CONC.	T.F.	STEEL
CONC.	CONC.	T.F.	TOP OF FOOTING
CONT.	CONC.	T.M.	TOP OF MASONRY
DIA.	CONC.	T.W.	TOP OF WALL
EA.	CONC.	WD.	WOOD
EACH	CONC.	W.W.F.	WIRE WELDED FABRIC
EL.	CONC.	∠	ANGLE
ELEVATION	CONC.	@	AT
GAUGE	CONC.	CL	CENTER LINE
INSUL.	CONC.	∅	DIAMETER
MIN.	CONC.	∅	OUTSIDE DIAMETER
ON CENTER	CONC.	Q.D.	
PLYWOOD	CONC.	#	
ROUGH OPENING	CONC.		

FINISH SCHEDULE						
MARK	SPACE	FLOOR	BASE	WALL	CEILING	REMARKS
01	MEN'S TOILET ROOM					#1 SPECTRA-GLAZE S.F.T. UNITS
02	WOMEN'S TOILET ROOM					#1 SPECTRA-GLAZE S.F.T. UNITS
03	CHAGE					
04	STORAGE					
05	COVERED DECK					

APPROVED: For public Water, Public Sewerage and Storm Drainage Systems and Roads

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

Henry F. Neumy 4-20-81
DIRECTOR DATE

William S. Ray 4-20-81
CHIEF, BUREAU OF ENGINEERING DATE

APPROVED: For public/ Water and Public/ Sewerage Systems

HOWARD COUNTY HEALTH DEPARTMENT

James A. Dech, M.D., Dr. P.S.W. 4-20-81
COUNTY HEALTH OFFICER DATE

APPROVED: Howard County Office of Planning and Zoning

Ronald L. Hamrick 4-20-81
PLANNING DIRECTOR DATE

William S. Ray 4-20-81
CHIEF, DIVISION OF LAND DEVELOPMENT & ZONING ADMIN. DATE

Howard County, Md., Dept. of Public Works for the Dept. of Rec. and Parks, 3430 Court House Drive, Ellicott City, Maryland

Election District No. 2 Howard Co., Md.
Tax Map No. 30
Liber 885 Folio 76, Parcel 10, 43.18 ac.
Liber 507 Folio 437, Parcel 278, 6145 ac.
Adjacent Property Owners

East: John T. Mason, Jr.
Liber 276 Folio 575, Parcel 86
West: Roland D. Zaiser, Et Al
Liber 831, Folio 321, Parcel 160

LD LAND DESIGN / RESEARCH, INC.
ONE MALL NORTH SUITE 400
COLUMBIA, MARYLAND

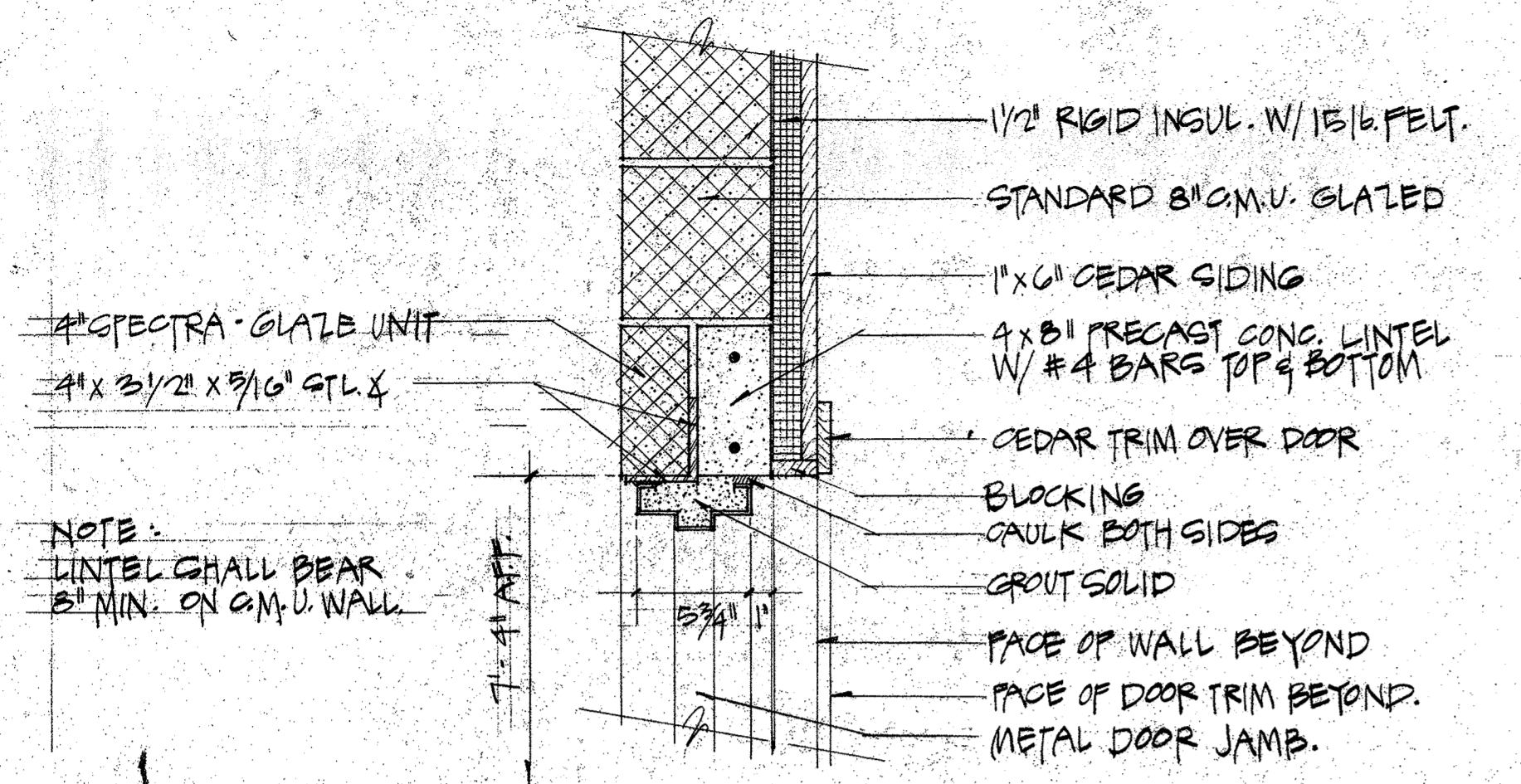
RESTROOM BUILDING
MISC. DETAILS
CENTENNIAL PARK
PHASE ONE - ANNAPOLIS ROAD AREA

DATE AUG 01/80 REVISIONS:
SCALE 1/2" = 1'-0" Δ - REVISED SITE DRAIN LAYOUT
DRAWN T.R.E. PLAN - 6/15/83
CHECKED N.L.

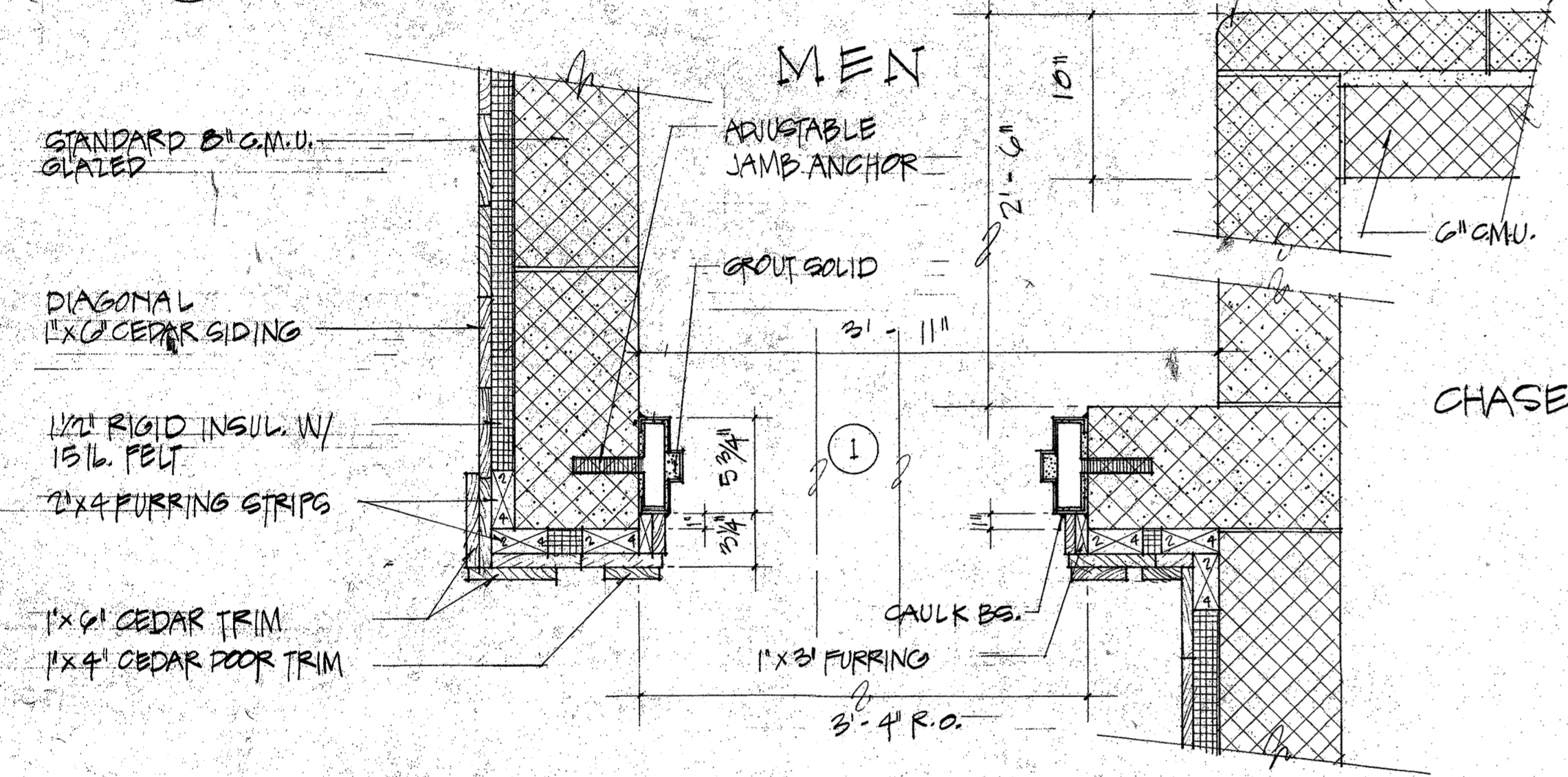
6
5A
6 OF 48

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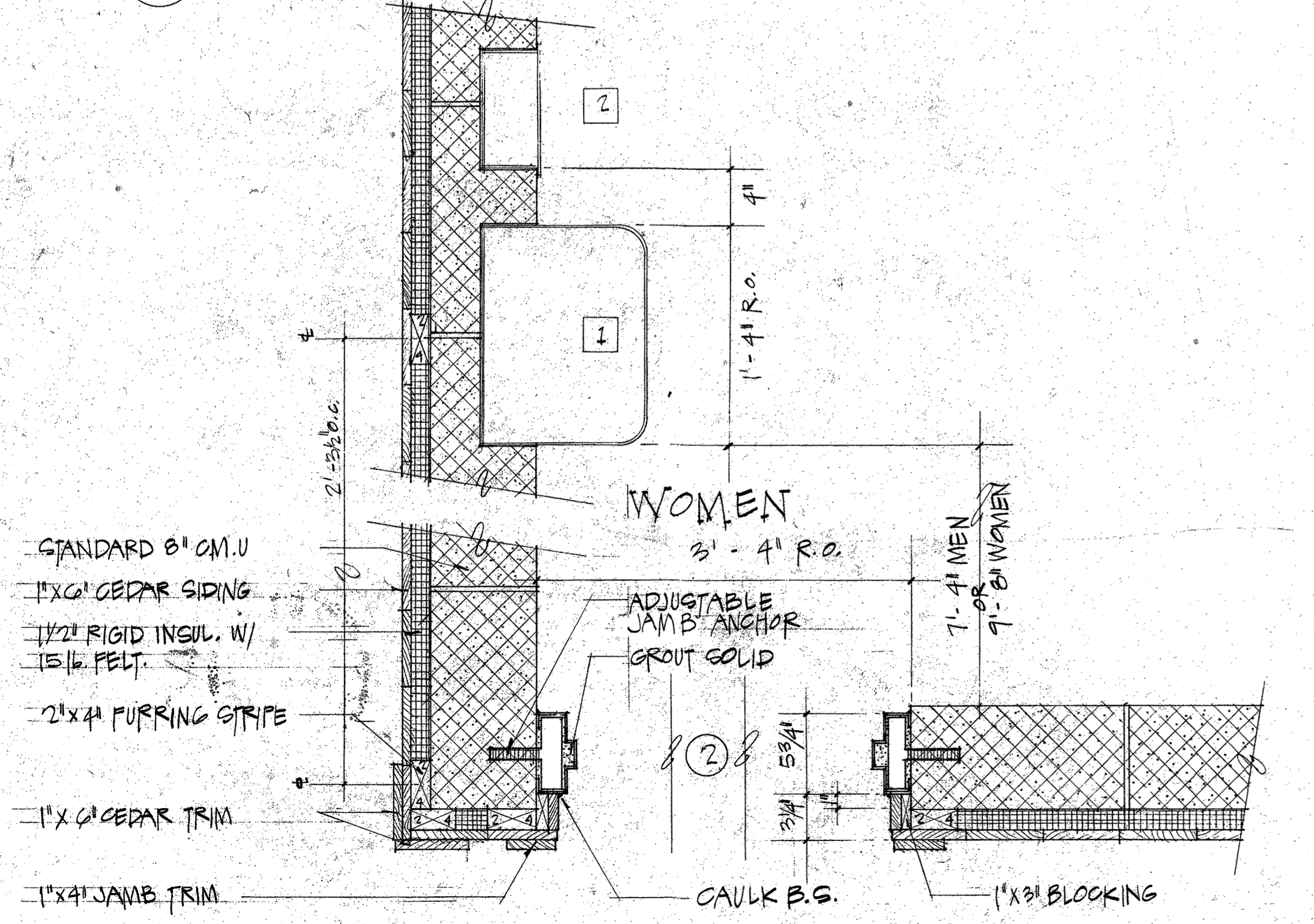
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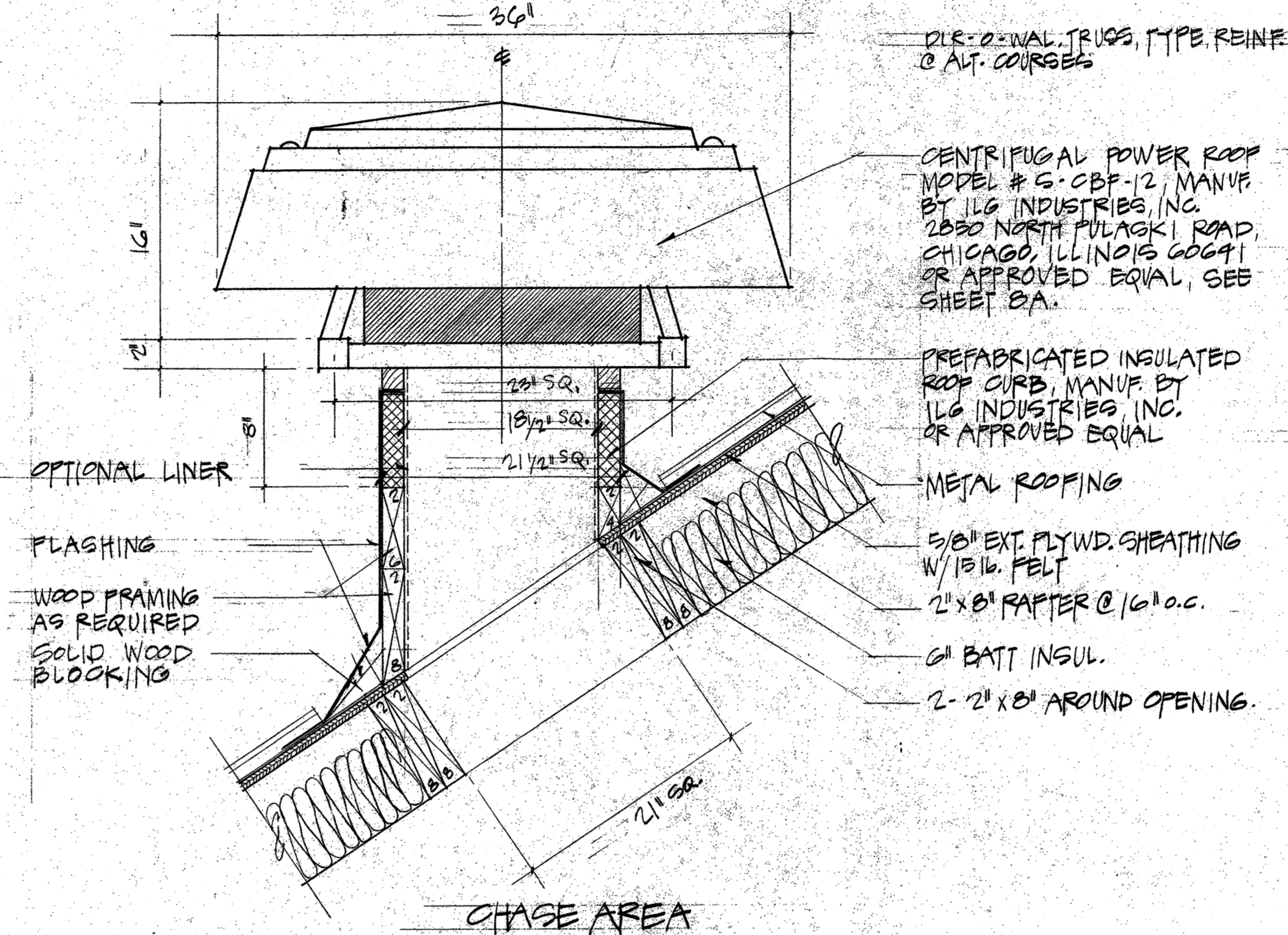
1 DETAIL: OF HEAD @ DOOR #1 & 2 (TYP.)
 GA 1/2" = 1'-0"



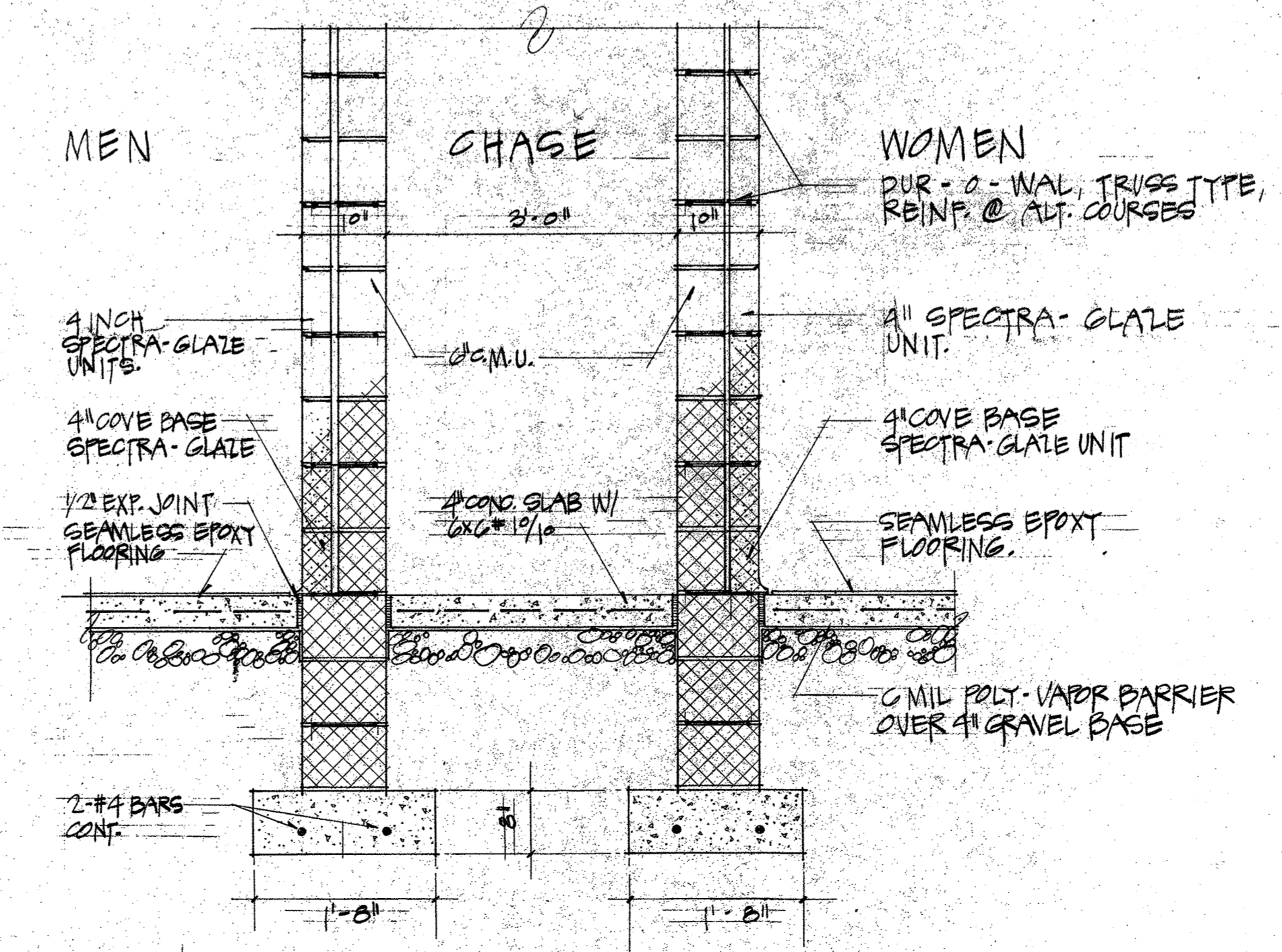
2 DETAIL: TOILET ROOM ENTRANCE (JAMB-DOOR #1)
 GA 1/2" = 1'-0"



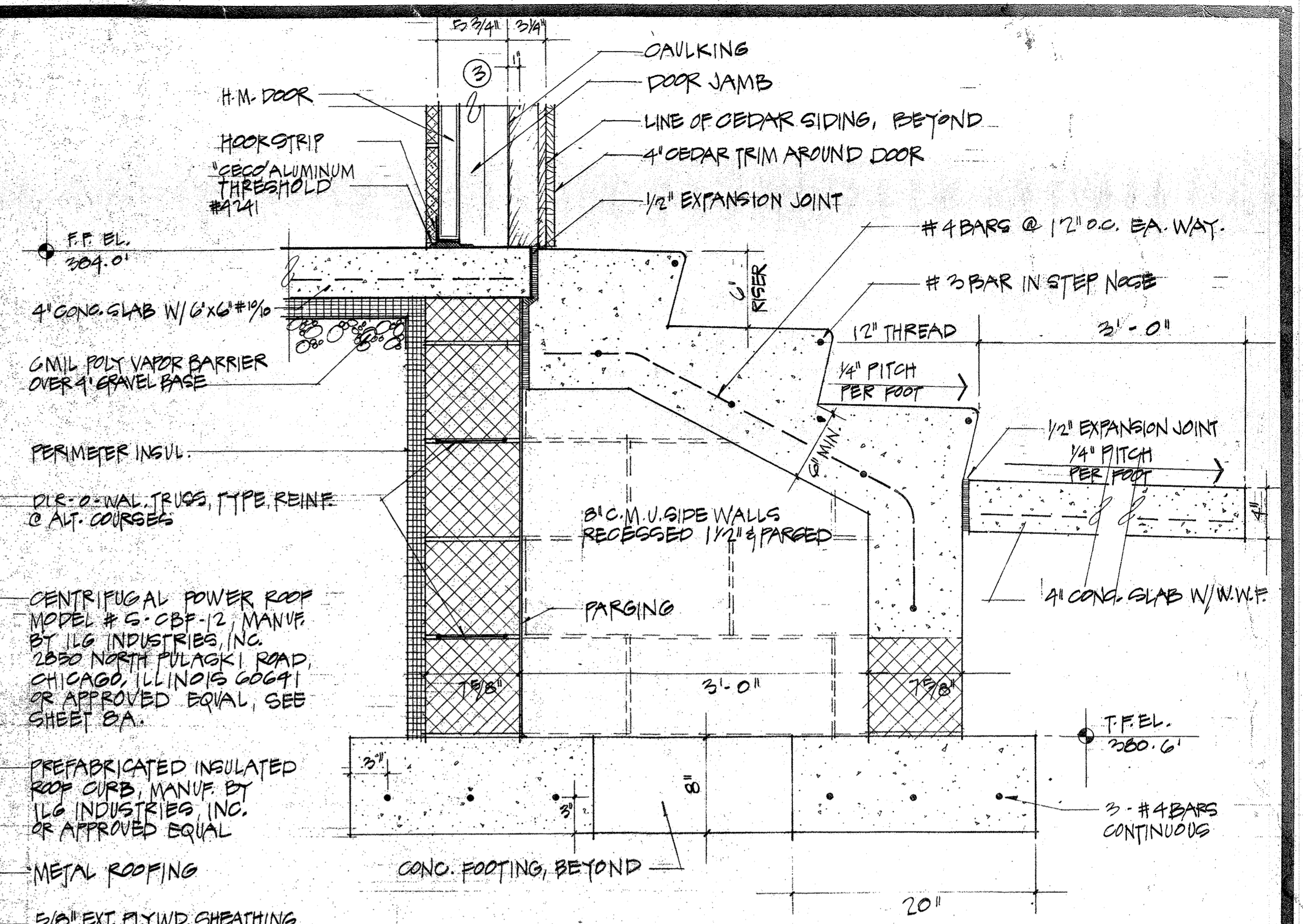
3 DETAIL: TOILET ROOM ENTRANCE (JAMB-DOOR #2)
 GA 1/2" = 1'-0"



5 DETAIL: SECTION THRU POWER ROOF VENT
 GA 1/2" = 1'-0"



6 DETAIL: THRU CHASE WALL
 GA 3/4" = 1'-0"



4 DETAIL: SECTION THRU STEPS & DOOR SILL #3 & #4 (TYP.)
 GA 1/2" = 1'-0"

APPROVED: For public Water, Public Sewerage and Storm Drainage Systems and Roads
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Director: *Joseph F. Nomin* 4-20-81 DATE
 Chief, Bureau of Engineering: *Robert S. Reim* 4/20/81 DATE

APPROVED: For public/ Water and Public/ Sewerage Systems
 HOWARD COUNTY HEALTH DEPARTMENT
 County Health Officer: *James Paul M.D. Dr. P.F.W.* 4-20-81 DATE

APPROVED: Howard County Office of Planning and Zoning
 Planning Director: *Donald J. Harp* 4-20-81 DATE
 Chief, Division of Land Development & Zoning Admin.: *William M. Brown* 4-20-81 DATE

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 Liber 507 Folio 437, Parcel 278, 61.45 ac.
 Adjacent Property Owners
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 West: Roland D. Zaiser, Et Al Liber 831, Folio 321, Parcel 160

LD LAND DESIGN / RESEARCH, INC.
 ONE MALL NORTH SUITE 400
 COLUMBIA, MARYLAND

RESTROOM BUILDING
 MISC. DETAILS

**CENTENNIAL PARK
 PHASE ONE - ANNAPOLIS ROAD AREA**

DATE	AUG 8 1980	REVISIONS:	7
SCALE	AS NOTED	REVISION 1	6A
DRAWN	T.R.E.	PLAN - 6/15/83	7 of 48
CHECKED	NL		

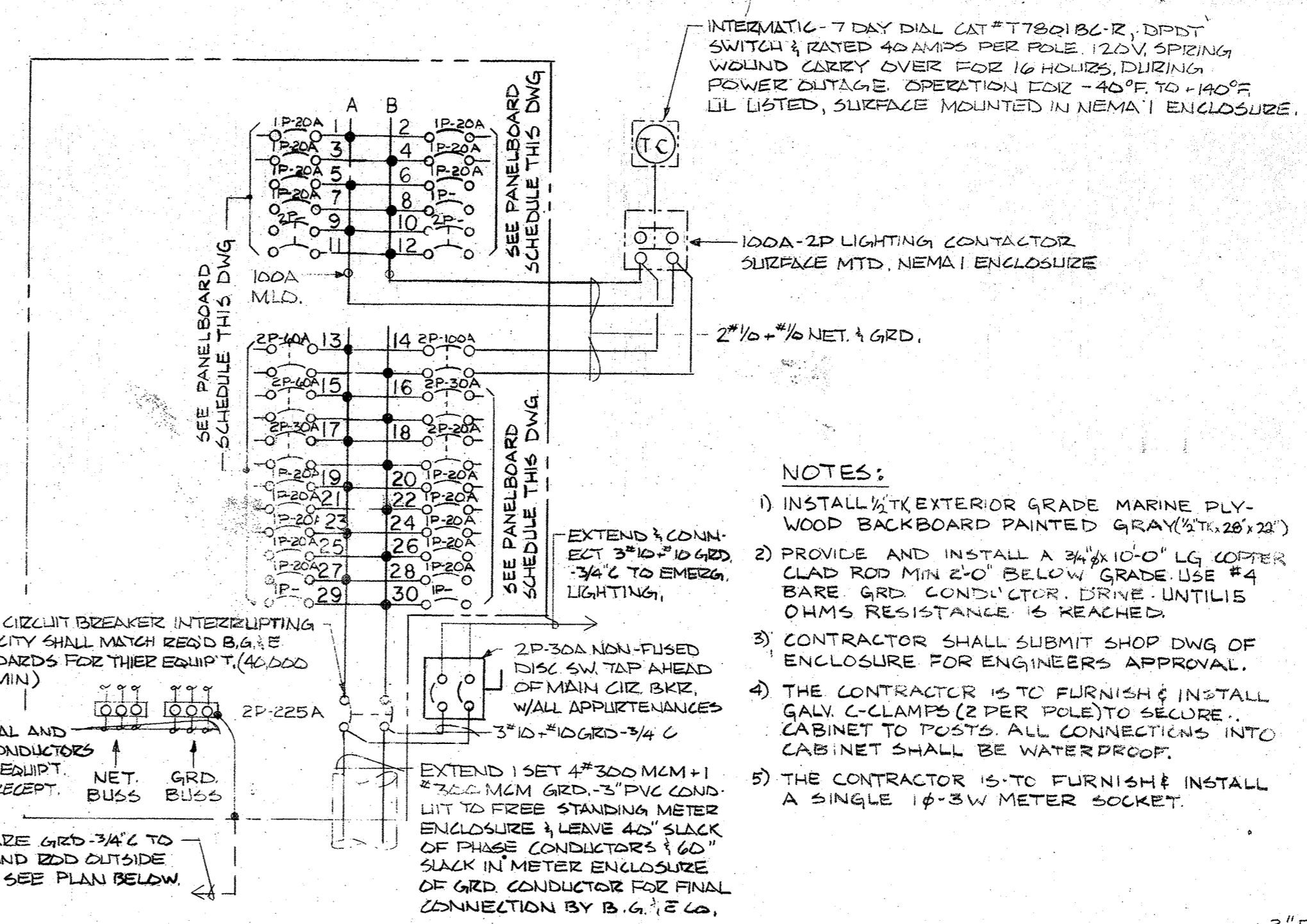
ELECTRICAL SYMBOLS

- S SINGLE POLE SWITCH 20A, 120 VAC. MOUNT BOTT 4'-0" AFF. ARROW HART CO. CAT. #1991-I OR APPROVED EQUAL.
- JUNCTION BOX NEMA 4 1/2 WATERTIGHT PENTAGONAL BOLTS (SIZE PER N.E.C.)
- DUPLEX GROUND-Fault INDICATING RECEPTACLE, 15A, 125 V WITH WEATHERPROOF HINGED ENCLOSURE MTD. IN BRONZE VANDAL PROOF BOX, MOUNT BOTTOM 1'-6" A.F.F. P4'S CO. CAT. NO. 1591-WP SEE RECEPTACLE DETAIL THIS SHEET.
- CONDUIT RUN CONCEALED ABOVE CEILING AND/OR IN WALLS SLASH LINES INDICATE NUMBER OF CONDUCTORS.
- HOMERUN RACEWAY TO PANEL. NUMBER OF ARROWS INDICATES NUMBER OF CONDUCTORS.
- A.F.F. ABOVE FINISH FLOOR
- ABOLITE RLM STANDARD DOME-ONE PIECE SOCKET FIXTURE CAT. RF150 1/1-150 WATT INCANDESCENT LAMP 120 V. MOUNTING SHALL BE PENDANT TYPE 8'-0" A.F.F.
- PANEL-E 120/240-1φ-3W-60Hz -SPLIT BUS SURFACE MTD
- EMERGENCY LIGHT-HOLOPHANE CO. CAT #M-12-2-4413 1/2-35 WATT SEALED BEAM HEADS. 120 V WALL MOUNTED 8'-0" AFF.
- MOTOR. FINAL CONNECTION WITH FLEXIBLE CONDUIT.
- ELECT. HOT WATER HEATER 6KW, 240V. FINAL CONNECTION W/FLEX. CONDUIT.
- NEW DISCONNECT SWITCH, NEMA 3R 250V-50 AMP SIZE AS SHOWN FUSING PER N.E.C.
- 175 WATT METAL HALIDE "PARKPAK" LUMINAIRE W/CLEAR POLY-CARBONATE LENS & VANDAL PROOF SCREWS. 240V. WALL BRACKET MOUNTING, HOLOPHANE CO. CAT #245 HA 240-823-FF-06973-TP W/ UNIVERSAL BURNING LAMP-175 W.
- 175 WATT METAL HALIDE "PARKPAK" LUMINAIRE W/CLEAR POLY-CARBONATE LENS & VANDAL PROOF SCREWS. 240V. CEILING MOUNTED HOLOPHANE CO. CAT #245 CE 240-823-FF-TP WITH UNIVERSAL BURNING LAMP-175 W.
- CONDUIT RUN EXPOSED ALONG CEILING AND/OR WALLS AT CEILING. SLASH LINES INDICATE NUMBER OF CONDUCTORS.
- ELECTRIC HEATING UNITS. PROVIDE REQUIRED OVERCURRENT FUSING & DISCONNECT SWITCH (EACH UNIT).

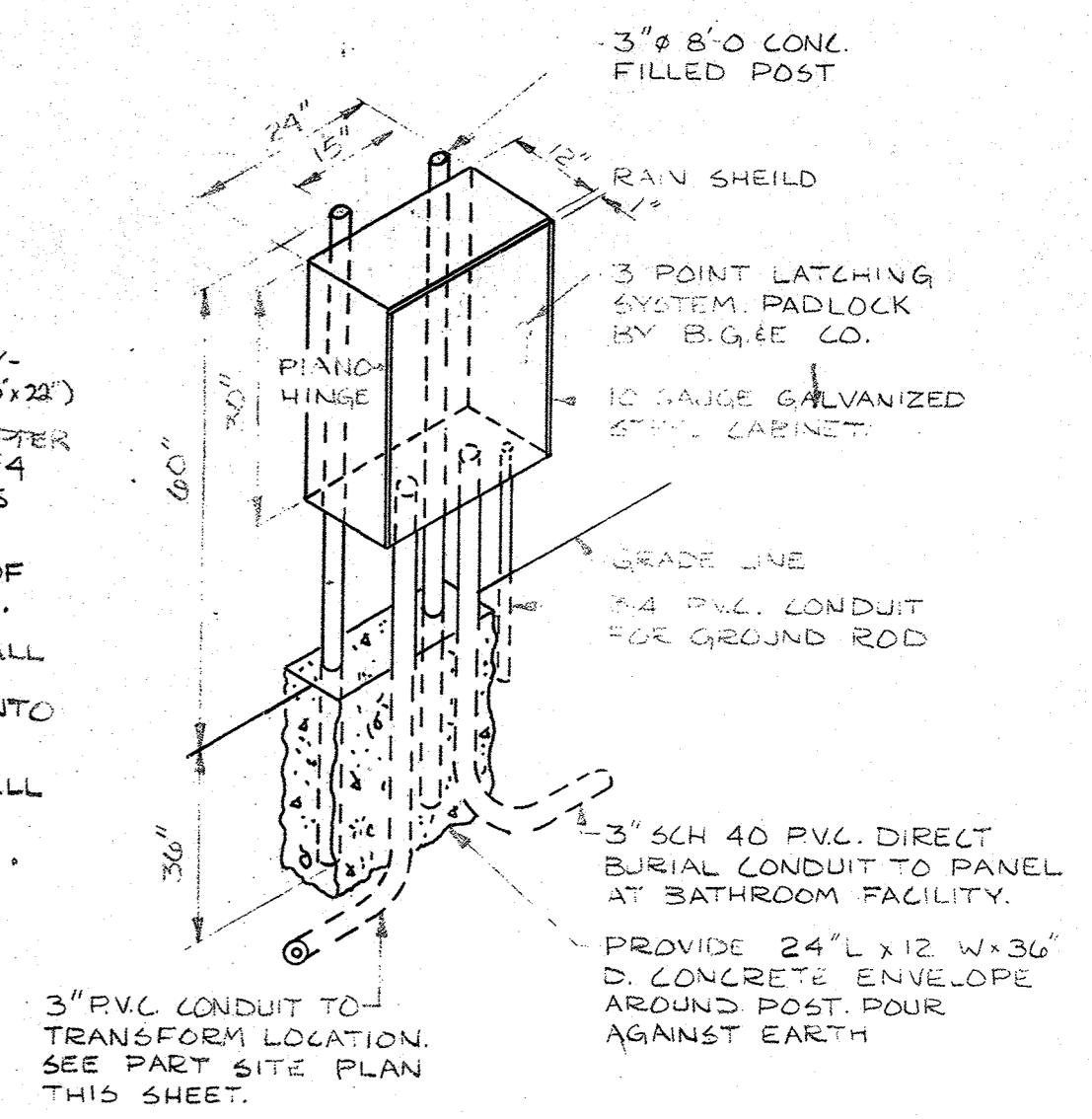
SF SINGLE POLE ILC-A-TRONIC SOLID STATE MOTOR SPEED CONTROLLER, DIAL FOR SPEED CONTROL 1/115 V ON/OFF. ILC INDUSTRIES INC.

GENERAL NOTES:

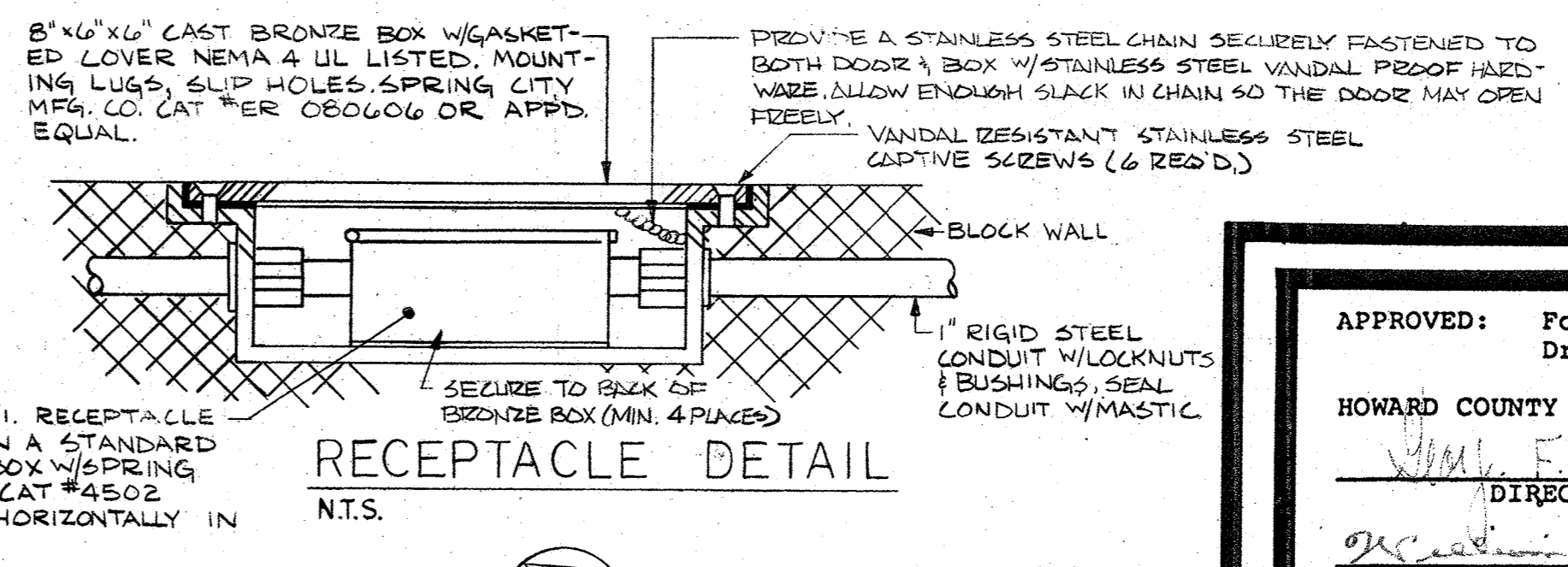
- 1) ALL LIGHTING FIXTURES, RECEPTACLES AND EQUIPMENT SHALL BE INSTALLED COMPLETE WITH ALL JUNCTION BOXES, FITTINGS, WIZING, CONDUIT, WIRE NUTS, SWITCHES, OVERCURRENT PROTECTION AND ALL APPURTENANCES AS REQUIRED TO PROVIDE A PROPERLY FUNCTIONING SYSTEM IN ACCORDANCE WITH MANUFACTURERS, N.E.C. & ALL CODES AND LOCAL AGENCIES HAVING JURISDICTION OVER THIS PROJECT AND TO THE SATISFACTION OF THE ENGINEER.
- 2) THE CONTRACTOR SHALL COORDINATE ALL HIS WORK WITH THE B.G. & E. CO., HOWARD COUNTY & THE ENGINEER PRIOR TO STARTING HIS WORK.
- 3) ALL WIZING & CONDUIT SHALL BE EXTENDED AND CONNECTED COMPLETE WITH ALL APPURTENANCES.
- 4) ALL EXPOSED HARDWARE SHALL BE VANDAL PROOF STAINLESS STEEL AND A MIN. OF TWO TOOLS SHALL BE PROVIDED TO HOWARD COUNTY FOR EACH TYPE OF VANDAL HARDWARE USED IN THE PROJECT.



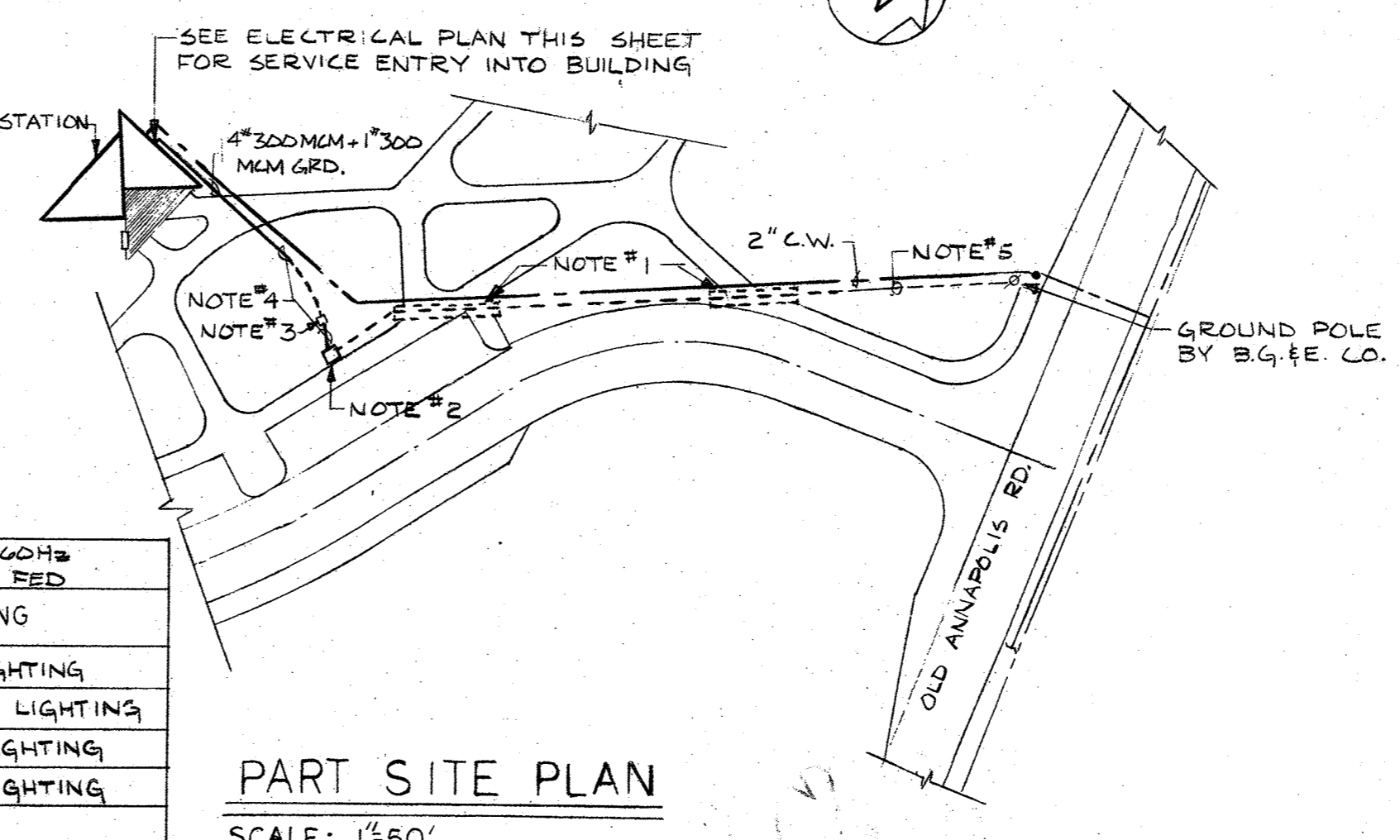
PANEL-E WIRING DIAGRAM
N.T.S.



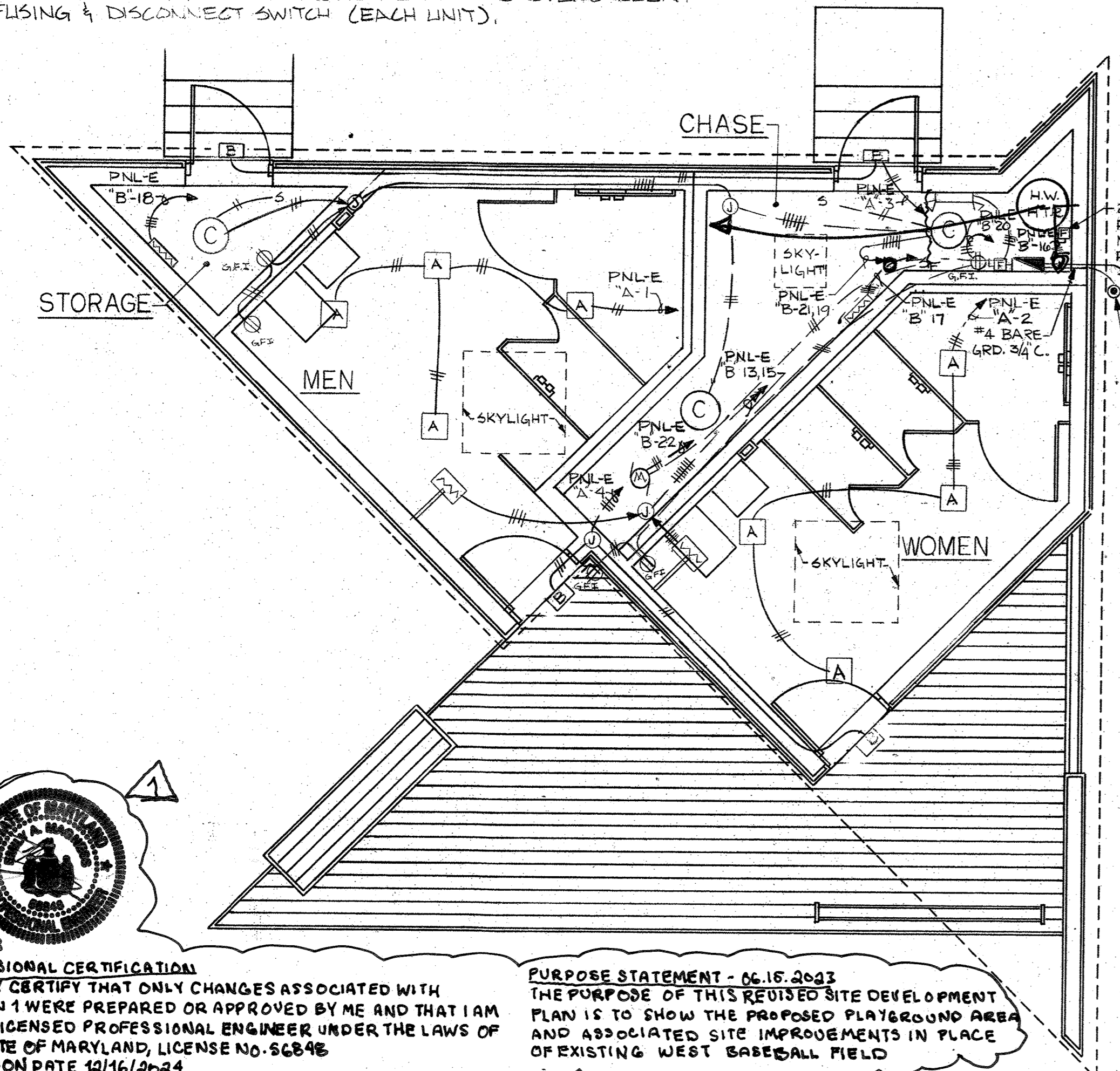
FREE STANDING METER ENCLOSURE ASSEMBLY
N.T.S.



RECEPTACLE DETAIL
N.T.S.



PART SITE PLAN
SCALE: 1"=50'



ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

SECTION	CIRCUIT BREAKER	RATING	HOMERUN WIRING	SERVING
SECTION 'A' 100 A. M.L.O.	1	1P-20A	3" 10-BX	MENS RM. LIGHTING
	2	1P-20A	3" 10-BX	WOMENS RM. LIGHTING
	3	1P-20A	3" 10-3/4"	OUTDOOR LIGHTING
	4	1P-20A	3" 10-3/4"	OUTDOOR LIGHTING
	5-7	1P-20A	---	SPARES
SECTION 'B' 225 A M.C.B.	8-12	1P- ---	---	SPACES
	13	2P-60A	4" 4-1 1/4"	UNIT HEATER MENS RM.
	14	2P-125 A	4" 1/2-2"	SECTION 'A'
	15	2P-60 A	4" 4-1 1/4"	UNIT HEATER WOMENS RM.
	16	2P-30A	4" 8-1"	HOT WATER HEATER
	17	2P-30A	4" 8-1"	CHASE-SPACE HEATER
	18	2P-20A	4" 10-3/4"	STORAGE-SPACE HEATER
	19	1P-20A	3" 10-3/4"	RECEPTACLES
	20	1P-20A	3" 10-3/4"	RECEPTACLES
	21	1P-20A	3" 10-3/4"	CHASE/STORAGE LTR.
	22	1P-20A	3" 10-3/4"	ROOF VENTILATOR MOTOR
	23	1P-20A	---	SPACE
	24	1P-20A	3" 10-3/4"	TIME CLOCK
25-28	1P-20A	---	SPARES	
29-30	1P- ---	---	SPACES	

- NOTES:**
- 1) 4" SCHEDULE 40 PVC SLEEVES, MIN 40" BELOW GRADE. EXTEND 2'-0" BEYOND EDGE OF PAVEMENT
 - 2) TRANSFORMER PAD BY BALT. GAS & ELECTRIC CO.
 - 3) FREE STANDING METER CABINET 10'-0" BEHIND 1/2" SEE FREE STANDING METER ENCLOSURE ASSEMBLY THIS SH.
 - 4) 3" SCHEDULE 40 PVC DIRECT BURIAL CONDUIT FROM METER TO PANEL IN BUILDING. RUN MIN. 2'-0" BELOW GRADE. BY CONTRACTOR
 - 5) DIRECT BURIAL CABLE TO TRANSFORMER BY B.G. & E. CO.
 - 6) THE CONTRACTOR SHALL COORDINATE WITH THE B.G. & E. FOR EXACT LOCATIONS OF EQUIPMENT BEFORE ANY WORK IS PERFORMED.
 - 7) IN EXCAVATING, IF THE CONTRACTOR COMES ACROSS ANY EXIST. UTILITIES, HE SHALL DETERMINE THE CONDITION & SUITABILITY FOR USE. THE METHOD EMPLOYED SHALL BE ACCEPTABLE TO HOWARD COUNTY WHO SHALL BE INFORMED OF DAMAGED OR OBSTRUCTIVE UTILITIES.



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APPROVED: For public Water, Public Sewerage and Storm Drainage Systems and Roads
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

Director: _____ DATE: _____
Chief, Bureau of Engineering: _____ DATE: _____

APPROVED: For public/ Water and Public/ Sewerage Systems
HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer: _____ DATE: 4-28-21

APPROVED: Howard County Office of Planning and Zoning
Planning Director: _____ DATE: 6-20-21
Chief, Division of Land Development & Zoning Admin.: _____ DATE: 11-2-21

Howard County, Md., Dept. of Public Works for the Dept. of Rec. and Parks, 3430 Court House Drive, Bellicott City, Maryland
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LD LAND DESIGN / RESEARCH, INC.
ONE MALL NORTH SUITE 400 COLUMBIA, MARYLAND
RESTROOM BLDG. - ELECTRICAL PLAN SERVICE LAYOUT & DETAILS

CENTENNIAL PARK PHASE ONE - ANNAPOLIS ROAD AREA

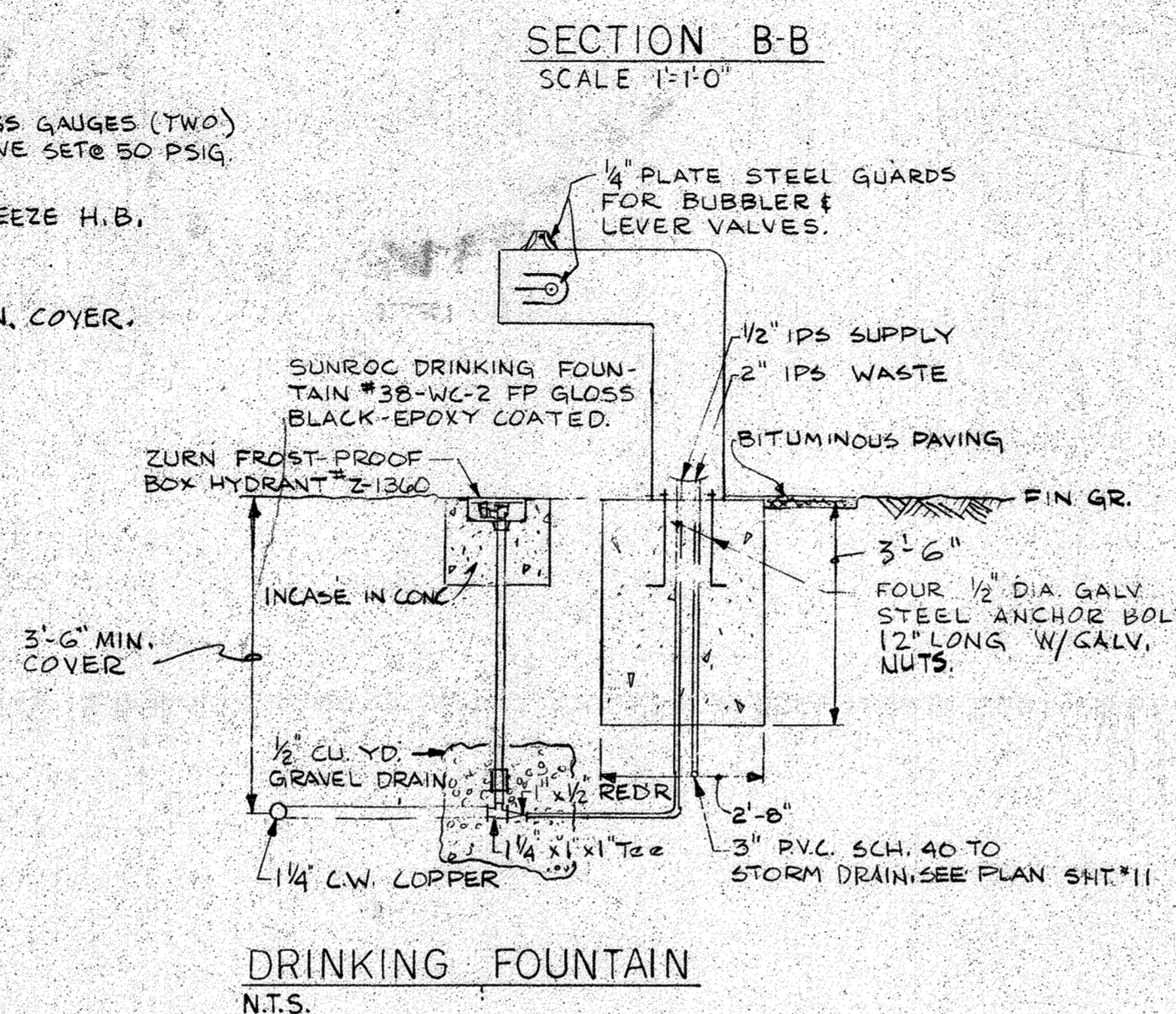
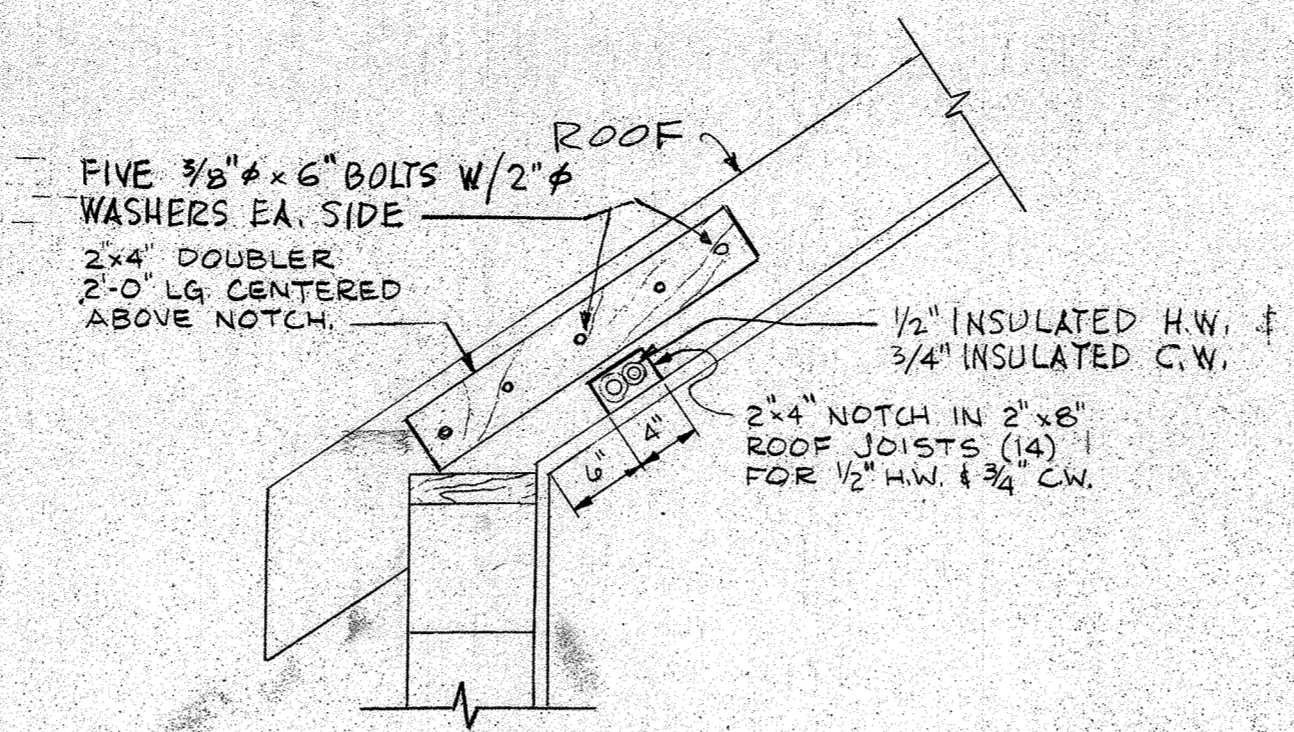
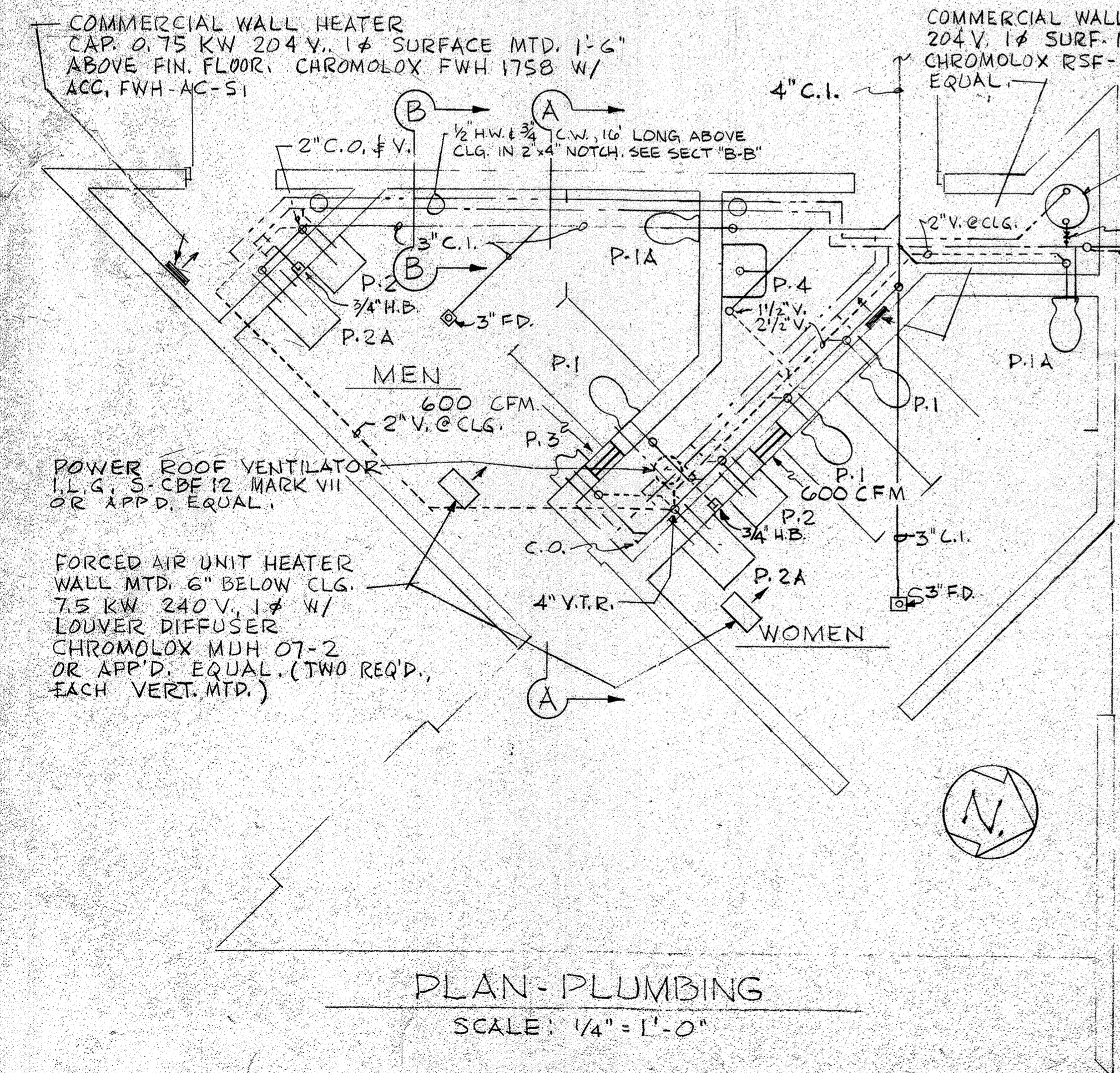
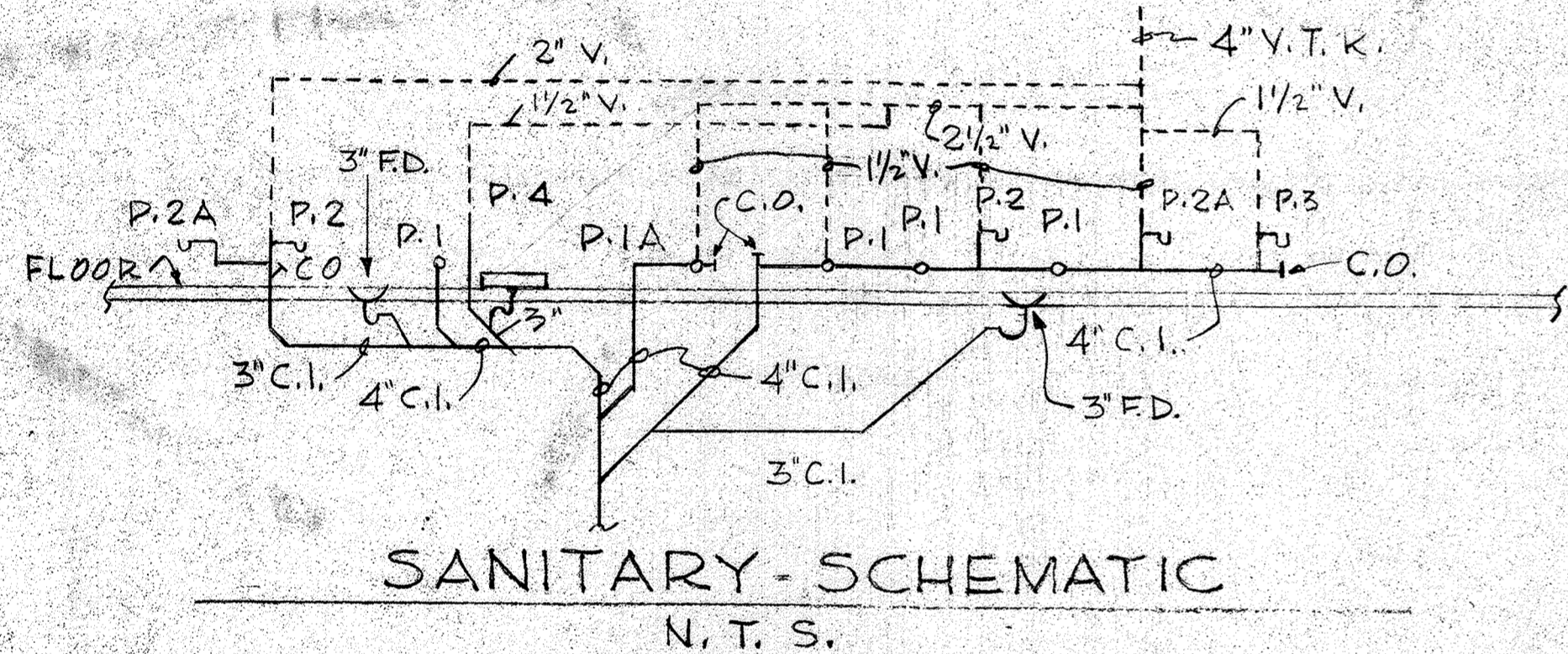
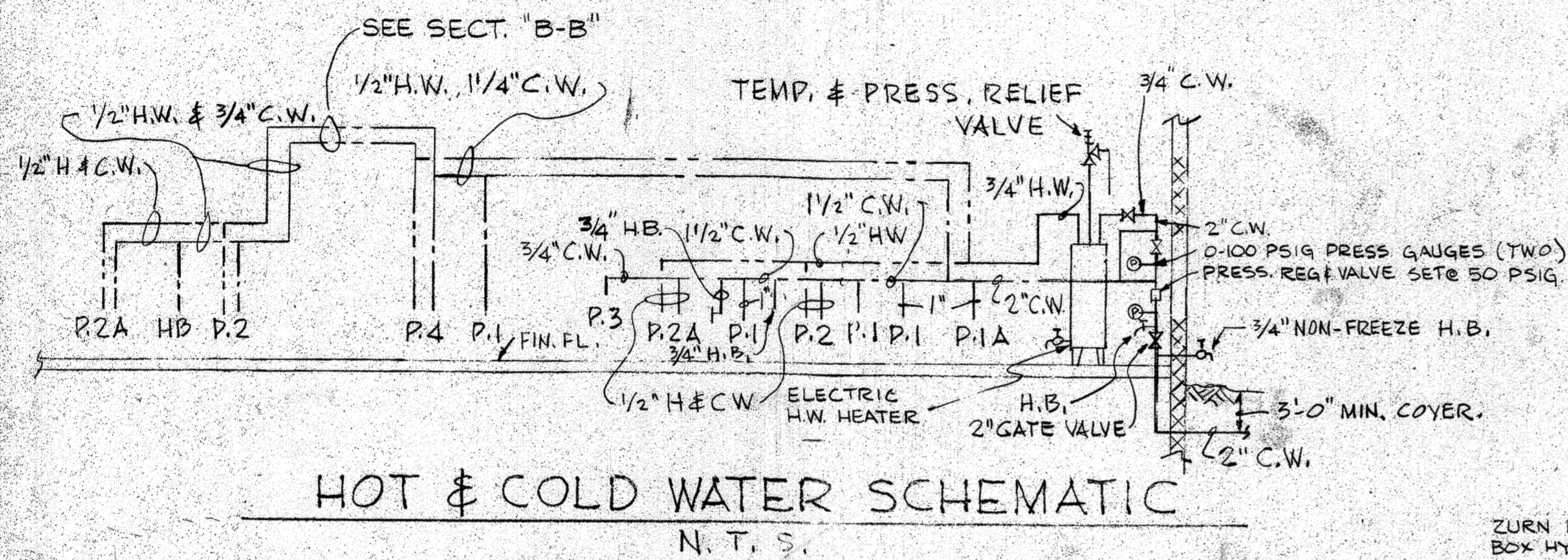
DATE: _____ SCALE: _____ DRAWN: _____ CHECKED: _____

REVISIONS:
1. REVISED SITE DEVELOPMENT PLAN - 4/15/23

7A
8
8 of 45

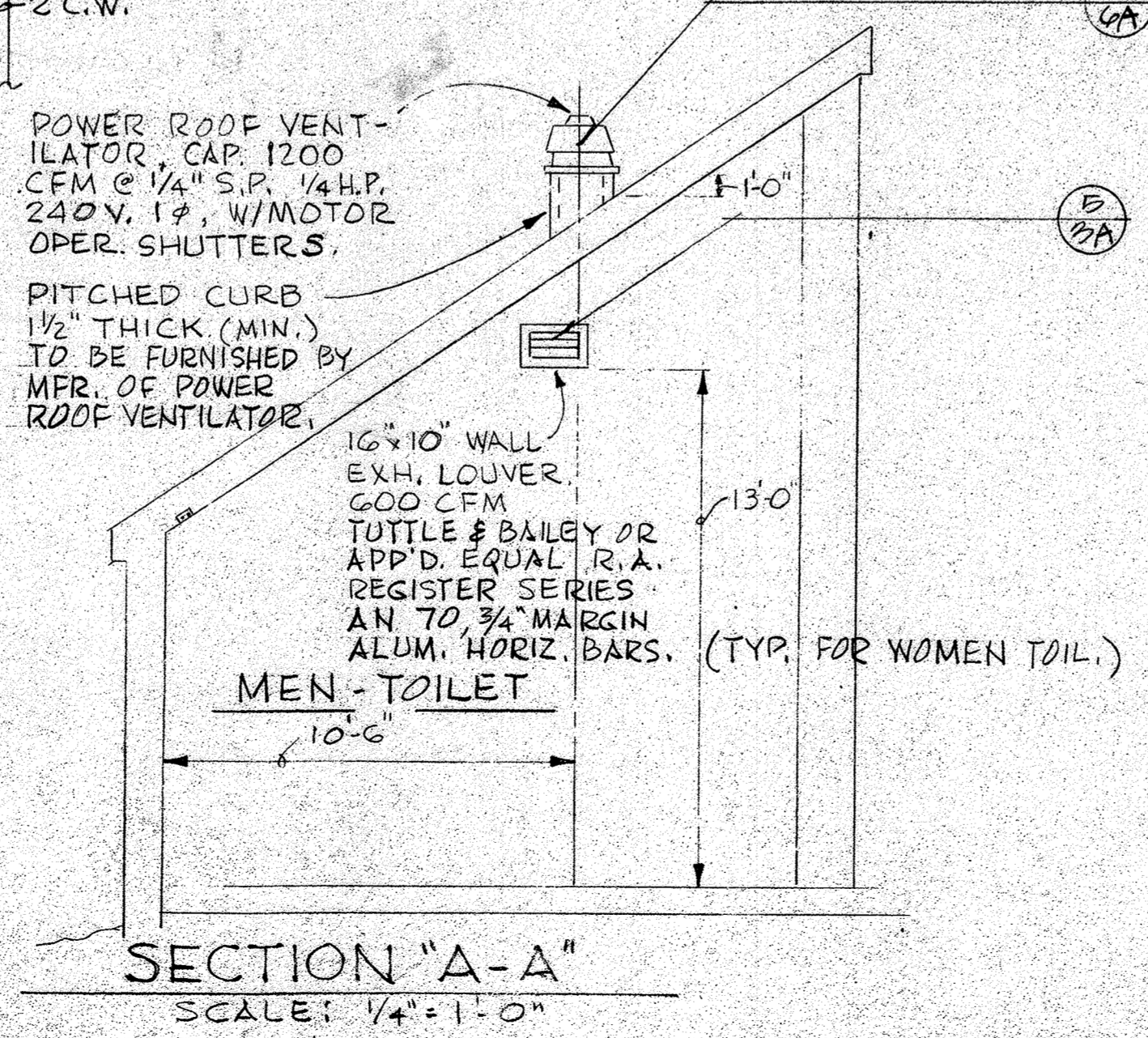
PLUMBING FIXTURE SCHEDULE						
NO	FIXTURE	WASTE	VENT	C.W.	H.W.	REMARKS
P-1	WATER CLOSET	4"	2"	1"	-	WALL HUNG,
P-1A	WATER CLOSET	4"	2"	1"	-	SAME AS P-1, EXCEPT MOUNTED AT 20" FROM FLOOR TO TOP OF SEAT.
P-2	LAVATORY	1 1/2"	1 1/2"	1/2"	1/2"	WALL MTD.
P-2A	LAVATORY	1 1/2"	1 1/2"	1/2"	1/2"	WHEELCHAIR TYPE.
P-3	URINAL	2"	1 1/2"	3/4"	-	WALL MTD.,
P-4	SERVICE SINK	3"	1 1/2"	1/2"	1/2"	FLOOR MTD, RECEPTOR

NOTE: ALL FIXTURES SHALL BE "WATER SAVING TYPE"



SYMBOLS

- SOIL OR WASTE
- VENT
- C.W. - COLD WATER
- H.W. - HOT WATER
- H.B. - HOSE BIBB
- N.F. H.B. - NON FREEZE HOSE BIBB
- C.I. - CAST IRON
- V.T.R. - VENT THRU ROOF
- V. - VENT



STRUCTURAL NOTES

- DESIGN LIVE LOADS:
 - A. FLOOR AND DECK: 100 PSF
 - B. ROOF: 20 PSF
 - C. WIND: 15 PSF
- FOUNDATIONS:
 - A. SOIL BEARING VALUE IS ASSUMED TO BE 3000 PSF. CONTRACTOR SHALL EMPLOY A GEOTECHNICAL ENGINEER TO ASCERTAIN THAT SOIL OF THIS CAPACITY EXISTS AT BOTTOM OF FOOTINGS BEFORE POURING OF CONCRETE. IF SOIL OF THIS CAPACITY OR HIGHER IS FOUND NOT TO EXIST THEN WORK MUST BE SUSPENDED UNTIL INSTRUCTIONS ARE RECEIVED FROM THE ENGINEER.
 - B. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL A MINIMUM OF 2'-6" BELOW FINISHED GRADE AND 1' BELOW EXISTING GRADE.
 - C. BACKFILL SHALL BE PLACED IN 8" LAYERS AND COMPACTED WITH APPROVED MECHANICAL TAMPERS TO MAXIMUM DENSITY.
- CONCRETE:
 - A. CONCRETE SHALL BE PROPORTIONED TO DEVELOP COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS.
 - B. 6 X 6 #10/10 WIRE MESH SHALL BE PLACED IN ALL SLABS ON GRADE UNLESS NOTED OTHERWISE. LAPS SHALL BE A MINIMUM OF 6".
- MASONRY:
 - A. ALL MORTAR IN FOUNDATIONS SHALL BE TYPE S PER BOCA BASIC BUILDING CODE, SECTION 816, HAVING COMPRESSIVE STRENGTH OF 1,800 PSI IN 28 DAYS.
 - B. CONCRETE BLOCK SHALL BE LOAD BEARING PER ASTM C90-75.
 - C. MASONRY WALL REINFORCING SHALL BE STANDARD GAGE DUR-O-WAL, GALVANIZED, LAID IN EVERY SECOND BED JOINT EXCEPT WHERE NOTED OTHERWISE. TWO CONSECUTIVE JOINTS ABOVE AND BELOW OPENINGS AND TOP THREE COURSES OF ALL WALLS SHALL ALSO BE REINFORCED.
 - D. TOP OF ALL WALLS AND BEARING COURSES UNDER JOIST AND BEAMS SHALL BE SOLID BLOCK A MINIMUM OF 4" HIGH, FULL THICKNESS OF WALL.
- METALS:
 - A. ALL NAILS, BOLTS, PLATES, HANGERS, ANCHORS, AND IRON OF EVERY DESCRIPTION SHALL BE HOT DIP GALVANIZED AFTER FABRICATION.
- STRUCTURAL WOOD:
 - A. ALL STRUCTURAL WOOD SHALL BEAR THE GRADE MARK OF THE GRADING RULES AGENCY HAVING JURISDICTION.
 - B. ROOF AND WALL FRAMING SHALL BE NO. 2 SOUTHERN PINE, NO. 2 HEM/FIR OR APPROVED EQUAL.
 - C. DECKING, JOIST AND TIMBERS SHALL BE PRESSURE TREATED SOUTHERN PINE. TREATMENT SHALL CONFORM TO AMERICAN WOOD-PRESERVERS' ASSOCIATION STANDARD ANPP LP-22. TREATMENT SHALL BE CCA, CHROMATED COPPER ARSENATE.

- DECKING SHALL BE NO. 1, TREATED TO .40 RETENTION.
- JOIST AND BEAMS TO 4" THICK SHALL BE NO. 2, TREATED TO .60 RETENTION.
- BEAMS, THICKER THAN 4" SHALL BE NO. 2 SR (STRESS RATED) TREATED TO .60 RETENTION.
- ALL FRAMING MEMBERS SHALL HAVE MINIMUM 4" BEARING ON WOOD OR MASONRY OR BE SUPPORTED BY METAL FRAMING DEVICES CAPABLE OF DEVELOPING FULL STRENGTH OF THE MEMBER.
- BOCA BUILDING CODE, APPENDIX L, RECOMMENDED NAILING SCHEDULE, SHALL BE FOLLOWED FOR ALL WOOD NAILING UNLESS SPECIFIED OTHERWISE.
- ALL PLYWOOD SHALL BE GRADED PER AMERICAN PLYWOOD ASSOCIATION STANDARDS.
 - ROOF SHEATHING SHALL BE CD, T&G, INTERIOR WITH EXTERIOR GLUE, 5/8" THICK.
 - WALL SHEATHING SHALL BE CD, 3/4" THICK, INTERIOR WITH EXTERIOR GLUE.
 - WALL AND ROOF SHEATHING SHALL BE FASTENED WITH 8d NAILS SPACED 6" C.C. AT PANEL EDGES AND 12" C.C. AT INTERMEDIATE SUPPORTS.

APPROVED: For public Water, Public Sewerage and Storm Drainage Systems and Roads

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

Henry F. Nummy
DIRECTOR

Michael S. P...
CHIEF, BUREAU OF ENGINEERING

DATE

APPROVED: For public Water and Public Sewerage Systems

HOWARD COUNTY HEALTH DEPARTMENT

James M. Boyd, M.D. Dr. C.F.W.
COUNTY HEALTH OFFICER

DATE: 4-20-91

APPROVED: Howard County Office of Planning and Zoning

Thomas J. ...
PLANNING DIRECTOR

...
CHIEF, DIVISION OF LAND DEVELOPMENT & ZONING ADMIN.

DATE

Howard County, Md., Dept. of Public Works for the Dept. of Rec. and Parks, 3430 Court House Drive, Ellicott City, Maryland

Election District No. 2 Howard Co., Md.
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I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 56848 EXPIRATION DATE 12/16/2024

PURPOSE STATEMENT - 06.15.2023

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD

LD LAND DESIGN / RESEARCH, INC.

ONE MALL NORTH SUITE 400
COLUMBIA, MARYLAND

RESTROOM BLDG. -
PLUMBING LAYOUT, MISC. DETAILS

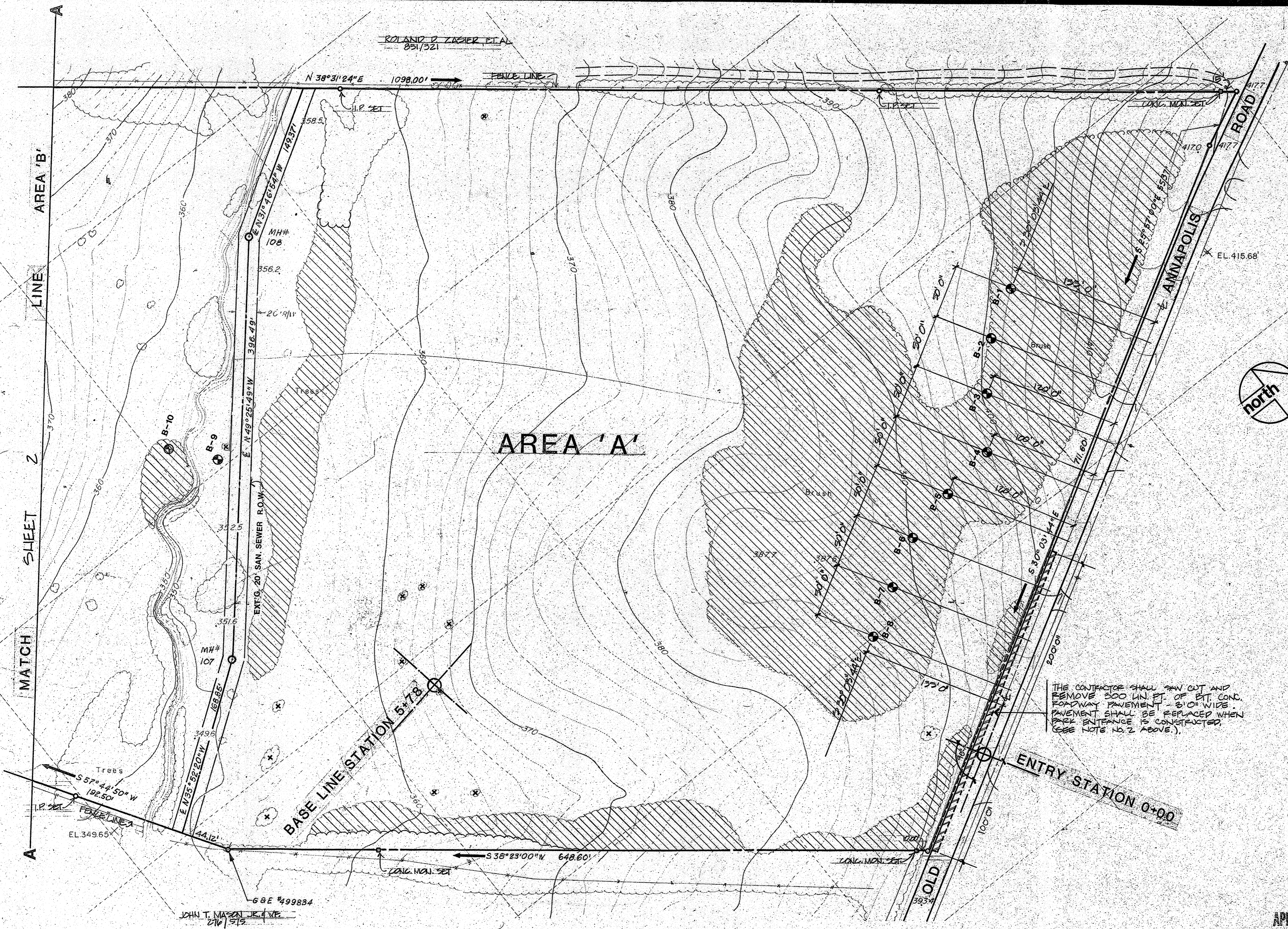
**CENTENNIAL PARK
PHASE ONE - ANNAPOLIS ROAD AREA**

DATE	REVISIONS:
SCALE	Δ - REVISED SITE DEVELOPMENT PLAN - 6/15/23
DRAWN	
CHECKED	

8A
1 OF 48

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ERECTION OF ALL REQUIRED CONSTRUCTION SIGNS, BARRIERS AND LIGHTS IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.), LATEST EDITION (I.E. HAZARD I.D. BEACONS, ADV. FLAGMAN SIGN, ADV. ROAD CONST., ADV. ONE LANE P.S., CONE APPLICATION ETC.)
2. UPON REMOVAL OF THE ROADWAY SECTION INDICATED BELOW, THE CONTRACTOR SHALL FILL THE EXCAVATION WITH THE REQUIRED DEPTH OF C&G TO MEET THE REMAINING BIT CONC. PAVEMENT IN LINE AND GRADE. THE CONTRACTOR SHALL CHECK THE EXCAVATION ONLY AND INSURE THAT THE PROPER ELEVATION IS MAINTAINED.



THE CONTRACTOR SHALL CUT AND REMOVE 200 LIN. FT. OF BIT CONC. ROADWAY PAVEMENT - 8'0" WIDE. PAVEMENT SHALL BE REPLACED WHEN PARK ENTRANCE IS CONSTRUCTED. (SEE NOTE NO. 2 ABOVE.)

APPROVED: For public Water, Public Sewerage and Storm Drainage Systems and Roads
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
John F. Nalley 4-20-81
 DIRECTOR DATE
William S. Ray 4-20-81
 CHIEF, BUREAU OF ENGINEERING DATE

APPROVED: For public Water and Public Sewerage Systems
 HOWARD COUNTY HEALTH DEPARTMENT
James M. Beal MD, PH.D. 4-20-81
 COUNTY HEALTH OFFICER DATE

APPROVED: Howard County Office of Planning and Zoning
Thomas L. Harlow 4-20-81
 PLANNING DIRECTOR DATE
Richard M. ... 4-20-81
 CHIEF, DIVISION OF LAND DEVELOPMENT & ZONING ADMIN. DATE

APPROVED
 DIVISION OF LAND DEVELOPMENT &
 ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 4-13-81
afum

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 56848 EXPIRATION DATE 12/16/2004
PURPOSE STATEMENT - 06.15.2003
 THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD

- EXISTING PAVEMENT TO BE REMOVED
- EXISTING TREES TO BE REMOVED
- EXIST. VEGETATION MASSES TO BE REMOVED
- EXISTING MONUMENT
- EXISTING IRON PIN
- BORING LOCATION

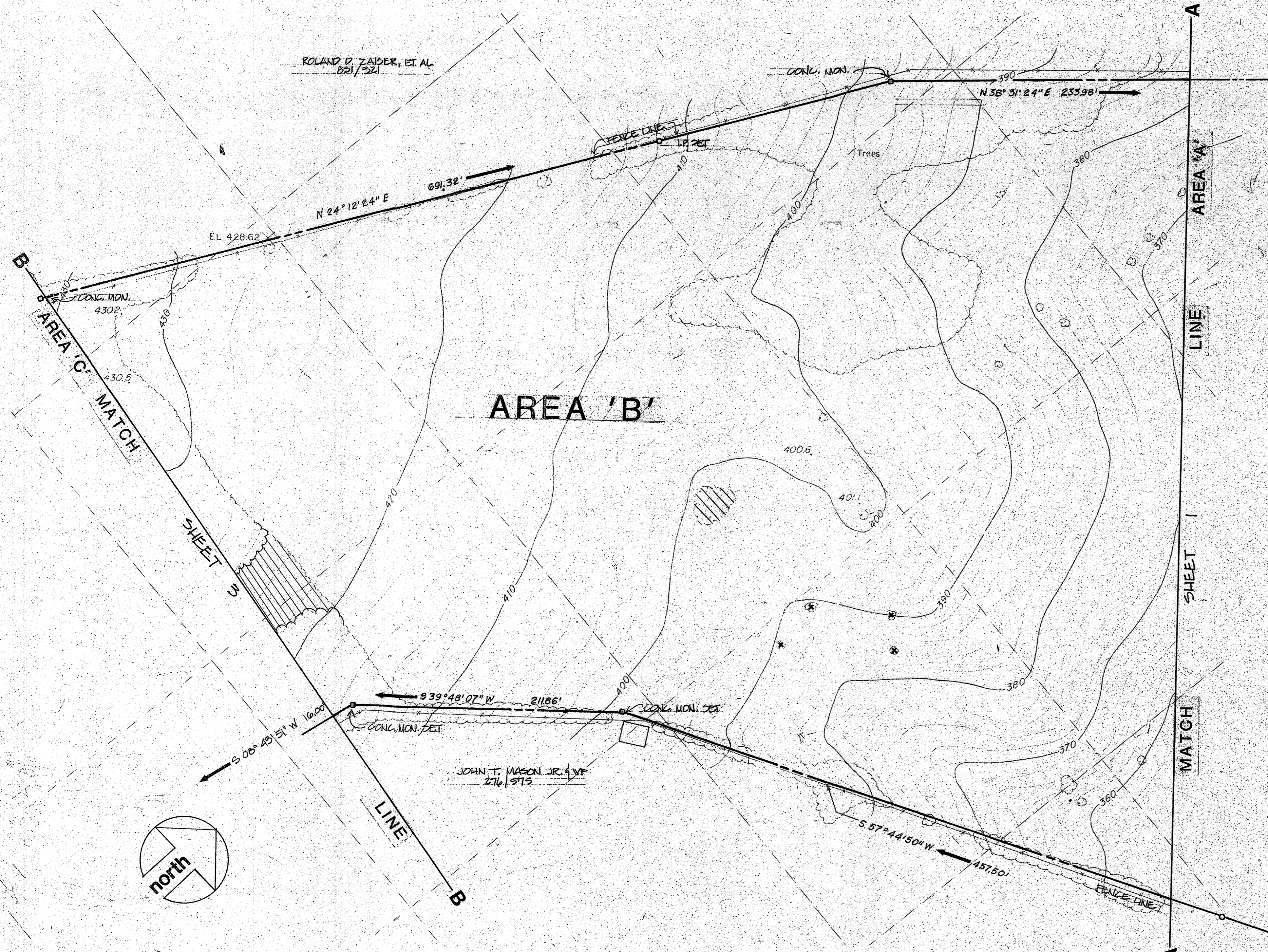
Howard County, Md., Dept. of Public Works for the Dept. of Rec. and Parks, 3430 Court House Drive, Ellicott City, Maryland
 Election District No. 2 Howard Co., Md.
 Tax Map No. 30
 Liber 885 Folio 76, Parcel 10, 43.18 ac.
 Liber 507 Folio 437, Parcel 278, 6145 ac.
 Adjacent Property Owners
 East: John T. Mason, Jr. Liber 276 Folio 575, Parcel 86
 West: Roland D. Zaiser, Et Al Liber 831, Folio 321, Parcel 160

LD LAND DESIGN / RESEARCH, INC.
 ONE MALL NORTH SUITE 400
 COLUMBIA, MARYLAND

EXISTING CONDITIONS
DEMOLITION PLAN AREA A
CENTENNIAL PARK
PHASE ONE - ANNAPOLIS ROAD AREA

DATE	MARCH 6, 1981	REVISIONS:	
SCALE	ONE INCH = 50'0"	REVISIONS:	REVISOR'S SITE DEVELOPMENT PLAN - 6/15/83
DRAWN	NHC		
CHECKED	RJG		

10 OF 49
 2-2-81



ROLAND D. ZAISER, ET AL.
821/321

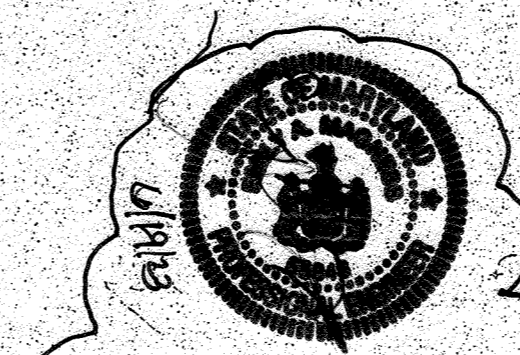
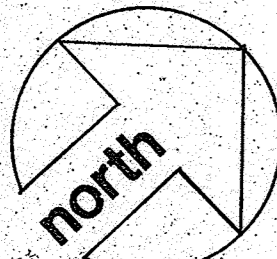
CONC. MON. N 38° 51' 24" E 253.98'

N 24° 12' 24" E 691.32'

EL. 428.62

AREA 'B'

JOHN T. MASON JR. & VP
276/575



APPROVED
DIVISION OF LAND DEVELOPMENT &
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 4-13-81

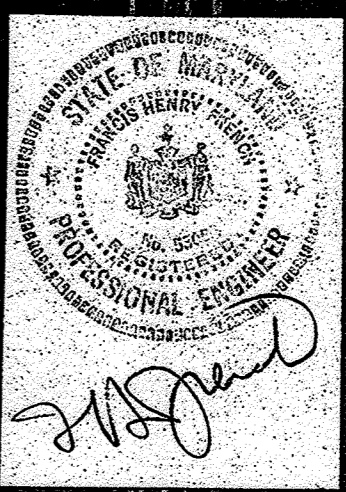
PROFESSIONAL CERTIFICATION
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REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM
A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF
THE STATE OF MARYLAND, LICENSE NO. 56848
EXPIRATION DATE 12/16/2024

PURPOSE STATEMENT - 06.16.2024
THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO
SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE
IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD

APPROVED: For public Water, Public Sewerage and Storm
Drainage Systems and Roads
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Shirley F. Nunn 4-20-81
DIRECTOR DATE
Thomas S. Bell 4-20-81
CHIEF, BUREAU OF ENGINEERING DATE

APPROVED: For public Water and Public
Sewerage Systems
HOWARD COUNTY HEALTH DEPARTMENT
Joseph D. ... 4-20-81
COUNTY HEALTH OFFICER DATE

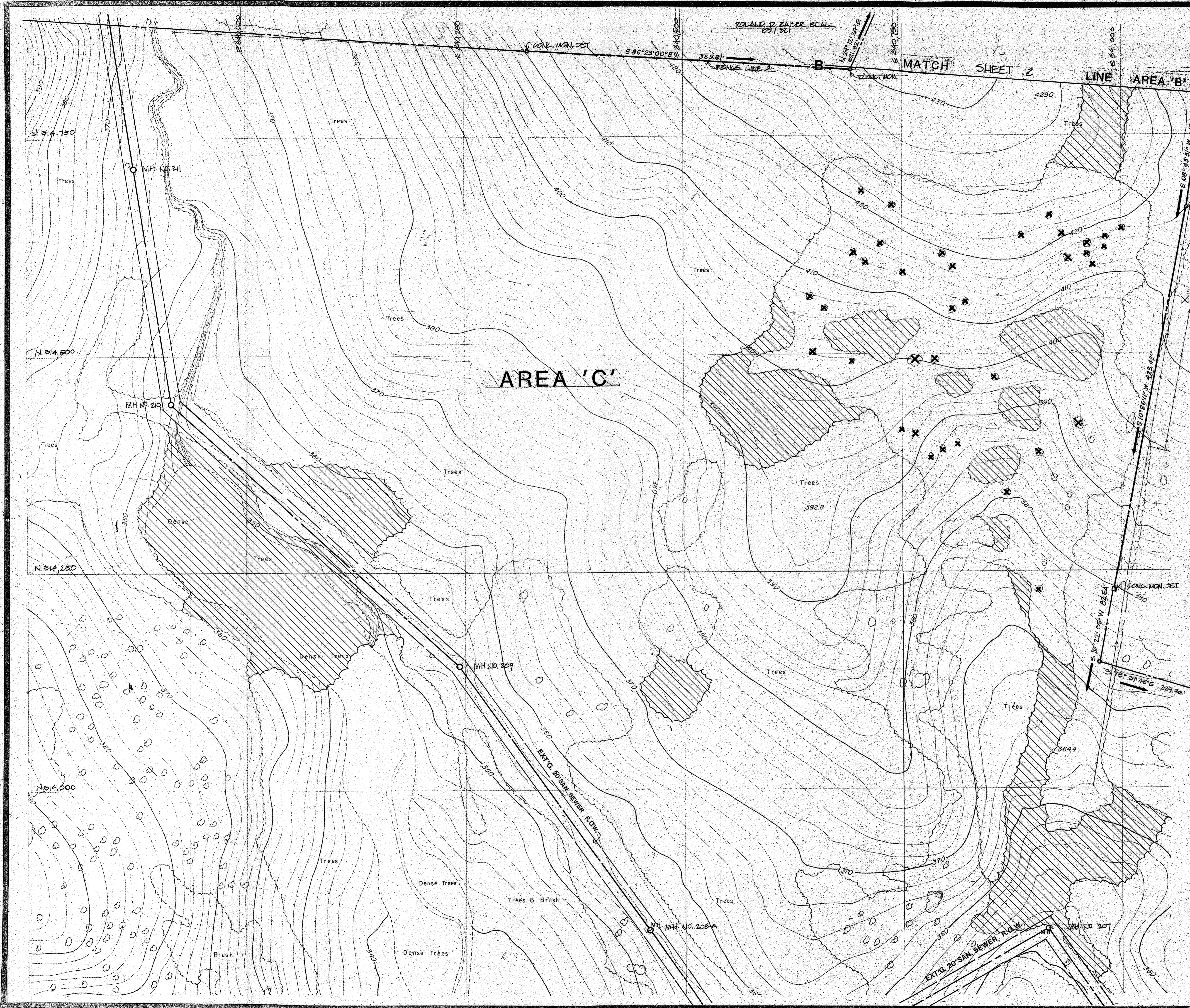
APPROVED: Howard County Office of Planning and Zoning
Thomas J. Harris 4-20-81
PLANNING DIRECTOR DATE
John ... 4-20-81
CHIEF, DIVISION OF LAND DEVELOPMENT & ZONING ADMIN. DATE



Howard County, Md., Dept. of Public Works
for the Dept. of Rec. and Parks, 3430 Court
House Drive, Ellicott City, Maryland
Election District No. 2 Howard Co., Md.
Tax Map No. 30
Liber 885 Folio 76, Parcel 10, 43.18 ac.
Liber 507 Folio 437, Parcel 278, 6145 ac.
Adjacent Property Owners
East: John T. Mason, Jr.
Liber 276 Folio 575, Parcel 86
West: Roland D. Zaiser, Et Al
Liber 831, Folio 321, Parcel 160

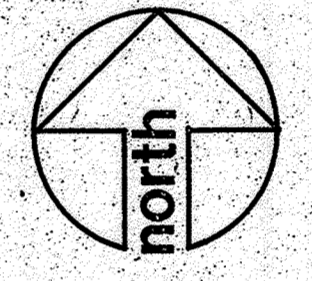
LD LAND DESIGN / RESEARCH, INC.
ONE MALL NORTH SUITE 400
COLUMBIA, MARYLAND

EXISTING CONDITIONS		
DEMOLITION PLAN AREA B		
CENTENNIAL PARK PHASE ONE - ANNAPOLIS ROAD AREA		
DATE	MARCH 1981	REVISIONS:
SCALE	ONE INCH = 50' 0"	REVISION 1: REVISED SITE DEVELOPMENT PLAN - 6/15/83
DRAWN	NFC	
CHECKED	ZAG	



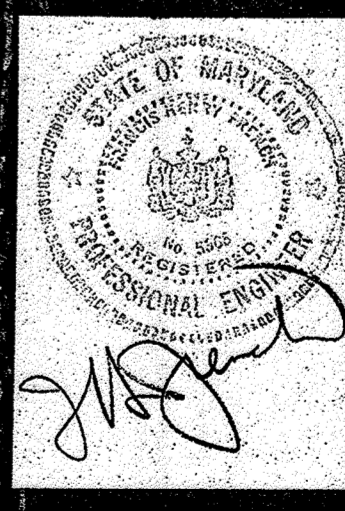
PROFESSIONAL CERTIFICATION
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PURPOSE STATEMENT - 06.16.2023
 THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD.



APPROVED
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 4-13-81

APPROVED: For public Water, Public Sewerage and Storm Drainage Systems and Roads	
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS	
<i>John F. Nummy</i> DIRECTOR	4-20-81 DATE
<i>James A. Ryan</i> CHIEF, BUREAU OF ENGINEERING	4-20-81 DATE
APPROVED: For public Water and Public Sewerage Systems	
HOWARD COUNTY HEALTH DEPARTMENT	
<i>Joyce M. Reed M.D. Per: P.F.W.</i> COUNTY HEALTH OFFICER	4-20-81 DATE
APPROVED: Howard County Office of Planning and Zoning	
<i>Thomas J. Harvick</i> PLANNING DIRECTOR	4-20-81 DATE
<i>John W. Mason, Jr.</i> CHIEF, DIVISION OF LAND DEVELOPMENT & ZONING ADMIN.	4-20-81 DATE



Howard County, Md., Dept. of Public Works
 for the Dept. of Rec. and Parks, 3430 Court House Drive, Ellicott City, Maryland

Election District No. 2 Howard Co., Md.
 Tax Map No. 30
 Liber 885 Folio 76, Parcel 10, 43.18 ac.
 Liber 507 Folio 437, Parcel 278, 6145 ac.
 Adjacent Property Owners

East: John T. Mason, Jr.
 Liber 276 Folio 575, Parcel 86

West: Roland D. Zaiser, Et Al
 Liber 831, Folio 321, Parcel 160

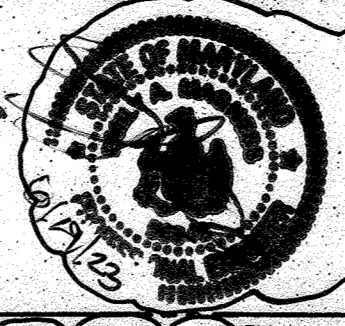
LD LAND DESIGN / RESEARCH, INC.
 ONE MALL NORTH SUITE 400
 COLUMBIA, MARYLAND

EXISTING CONDITIONS
 DEMOLITION PLAN AREA C

**CENTENNIAL PARK
 PHASE - ANNAPOLIS ROAD AREA**

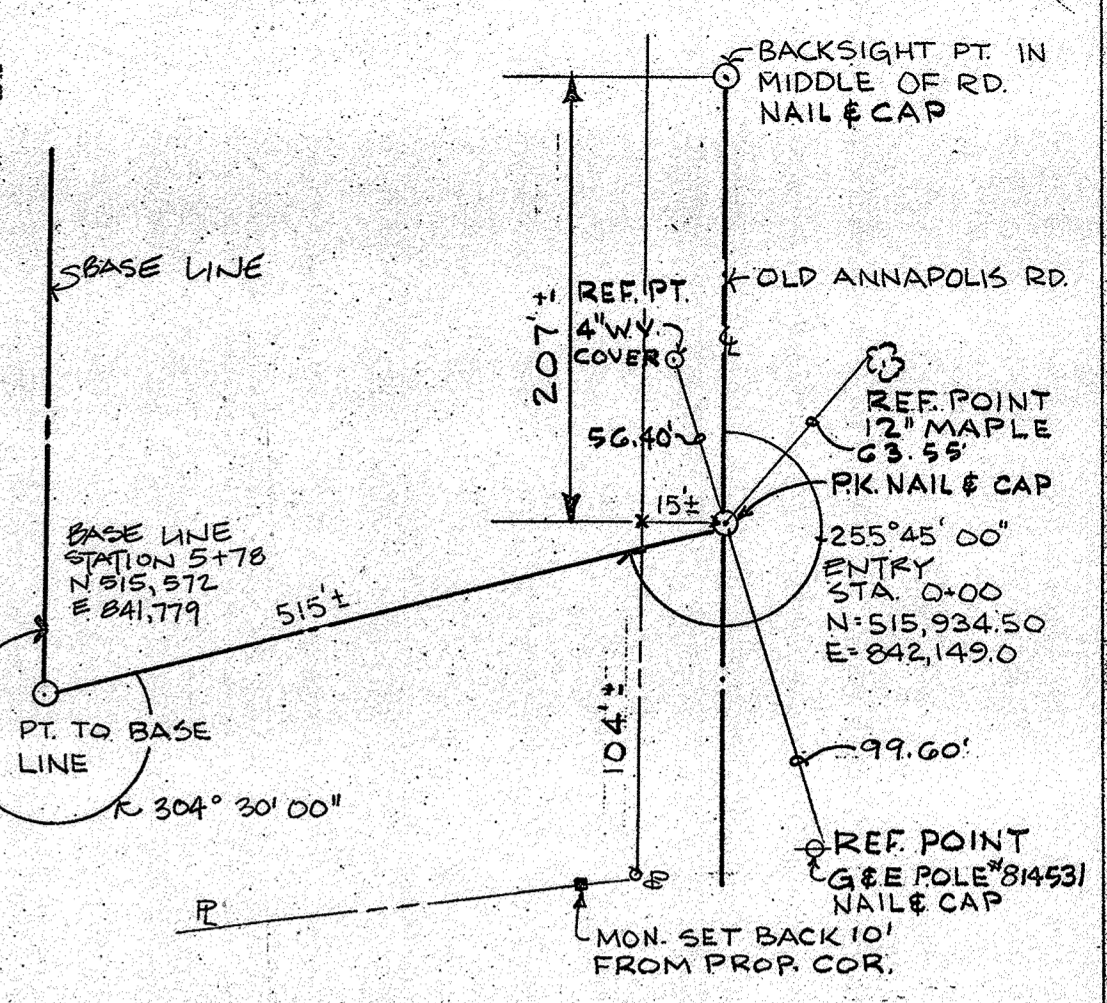
DATE	MARCH 6, 1981	REVISIONS:	3
SCALE	ONE INCH = 200 FT	REVISED SITE DEVELOPMENT PLAN - 6/25/23	12
DRAWN	NHC		12 OF 48
CHECKED	BJC		4-26

PURPOSE STATEMENT - 06.15.2023
 THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD

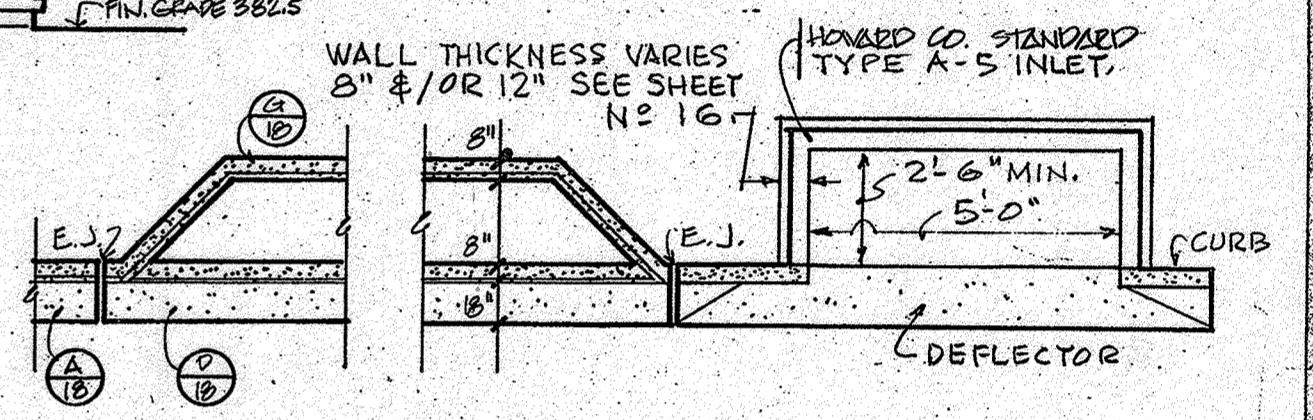


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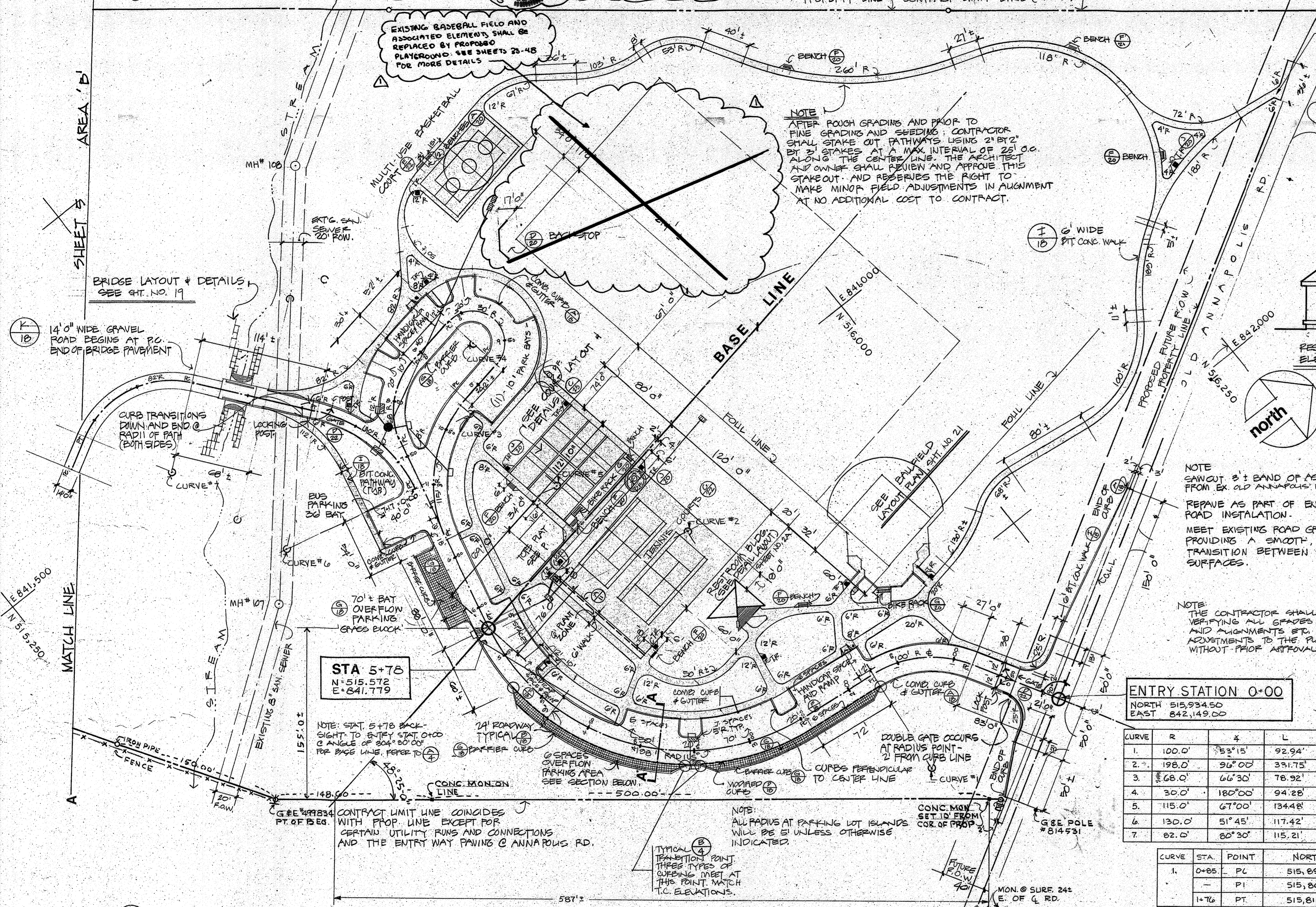
APPROVED
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE **4-13-81**



A BASE LINE DATA
 - N.T.S.

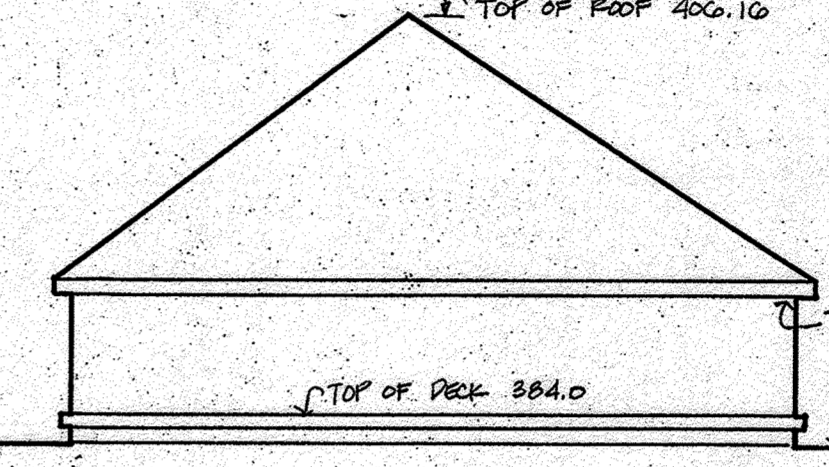


B CURB TRANSITIONS
 - N.T.S.



NOTE
 AFTER ROUGH GRADING AND PRIOR TO FINE GRADING AND SEEDING, CONTRACTOR SHALL STAKE OUT PATHWAYS USING 2" BY 2" BENCH MARKS AT A MAX. INTERVAL OF 251' 0.0" ALONG THE CENTER LINE. THE ARCHITECT AND OWNER SHALL REVIEW AND APPROVE THIS STAKEOUT, AND RESERVES THE RIGHT TO MAKE MINOR FIELD ADJUSTMENTS IN ALIGNMENT AT NO ADDITIONAL COST TO CONTRACTOR.

CONC. MON. @ SURFACE 27" ± E OF C. OF ROAD BETWEEN #820 DRIVEWAYS
BENCH MARK
 N 516.446.163
 E 841.880.493



REST ROOM BUILDING
 ELEVATION 'B'

NOTE
 SAWCUT 3" ± BAND OF ASPHALT FROM EX. OLD ANNAPOLIS RD. REPAIR AS PART OF ENTRY ROAD INSTALLATION. MEET EXISTING ROAD GRADES, PROVIDING A SMOOTH, NATURAL TRANSITION BETWEEN EX'G & PROPOSED SURFACES.

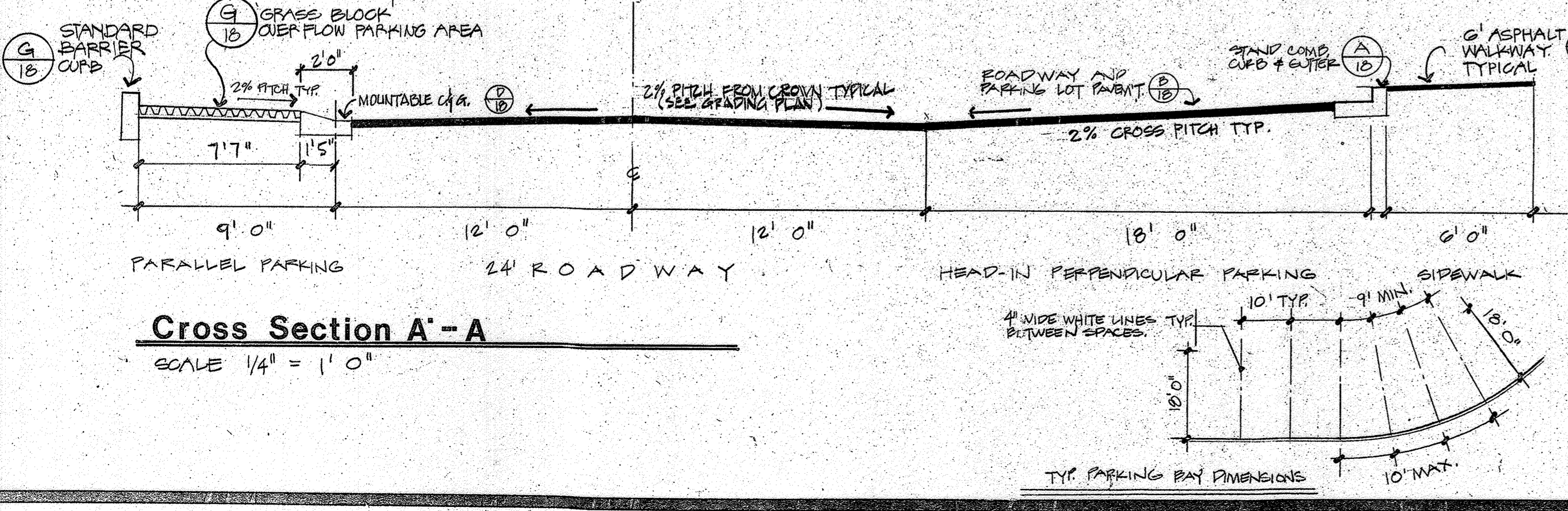
NOTE
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL GRADES, DIMENSIONS, ELEVATIONS AND ALIGNMENTS ETC. IN THE FIELD. NO ADJUSTMENTS TO THE PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE ARCHITECT.

ENTRY STATION 0+00
 NORTH 515,934.50
 EAST 842,149.00

CURVE DATA

CURVE	R	Δ	L	TAN	D _L	E
1.	100.0'	53°15'	92.94'	50.13'	57°17'45"	11.23'
2.	198.0'	96°00'	371.75'	219.90'	28°56'14"	81.71'
3.	68.0'	66°30'	76.92'	44.58'	84°15'51"	12.22'
4.	30.0'	180°00'	94.28'	-	190°59'09"	-
5.	115.0'	67°00'	134.48'	76.12'	49°49'21"	21.01'
6.	130.0'	51°45'	117.42'	63.05'	44°04'25"	13.76'
7.	82.0'	80°30'	115.21'	69.42'	69°52'22"	22.43'

CURVE	STA.	POINT	NORTH COORDINATE	EAST
1.	0+85	PC	515,892.0	842,076.0
	-	PI	515,804.0	842,129.0
	1+76	PT	515,816.0	842,029.0
2.	2+50	PC	515,744.0	842,020.0
	-	PI	515,766.0	841,824.0
	5+78	PT	515,572.0	841,779.0
3.	7+58	PC	515,614.0	841,603.0
	-	PI	515,661.0	841,620.0
	8+35	PT	515,648.0	841,549.0
4.	8+87	PC	515,717.0	841,542.0
	-	PI	515,722.0	841,568.0
	9+75	PT	515,728.0	841,599.0
5.	10+18	PC	515,685.0	841,607.0
	-	PI	515,705.0	841,721.0
	11+51	PT	515,592.0	841,695.0
6.	7+17	PC	515,599.0	841,641.0
	-	PI	515,475.0	841,614.0
	1+23	PT	515,585.0	841,533.0
7.	2+33	PC	515,502.0	841,443.0
	-	PI	515,537.0	841,494.0
	3+00	PT	515,396.0	841,420.0



Cross Section A-A
 SCALE 1/4" = 1' 0"

NOTES:
 1. BUS SPACES
 41 REGULAR PARKING SPACES
 19 OVERFLOW PARKING SPACES
 3 HANDICAP SPACES
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR STRIPING 47 SPACES INCLUDING HANDICAP SYMBOL ON 3 SPACES. OVERFLOW SPACES SHALL NOT BE STRIPED.
 3. CONTRACTOR SHALL FURNISH & INSTALL 3 SIGNS, RT-8, DESIGNATING HANDICAP PARKING SPACES IN ACCORDANCE WITH MARYLAND STATE BUILDING CODE FOR THE HANDICAPPED. AGED SIGNS INDICATED BY HEAVY DOT (D) ON PLAN ADJACENT TO HANDICAP SPACES.
 4. SPACES AT FUTURE NATURE CENTER NOT IN COUNT.

APPROVED: For public Water, Public Sewerage and Storm Drainage Systems and Roads
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Director: *[Signature]* DATE: 4-20-81
 Chief, Bureau of Engineering: *[Signature]* DATE: 4-20-81

APPROVED: For public Water and Public Sewerage Systems
 HOWARD COUNTY HEALTH DEPARTMENT
 Chief Health Officer: *[Signature]* DATE: 4-21-81

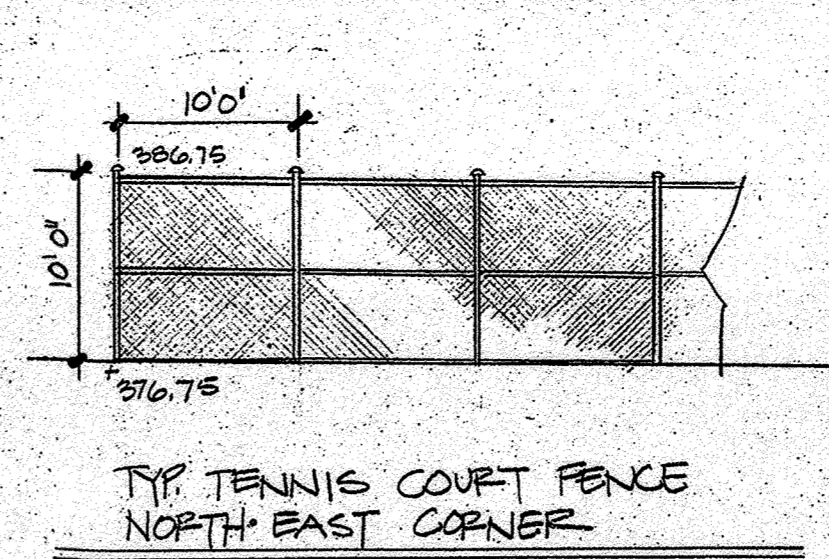
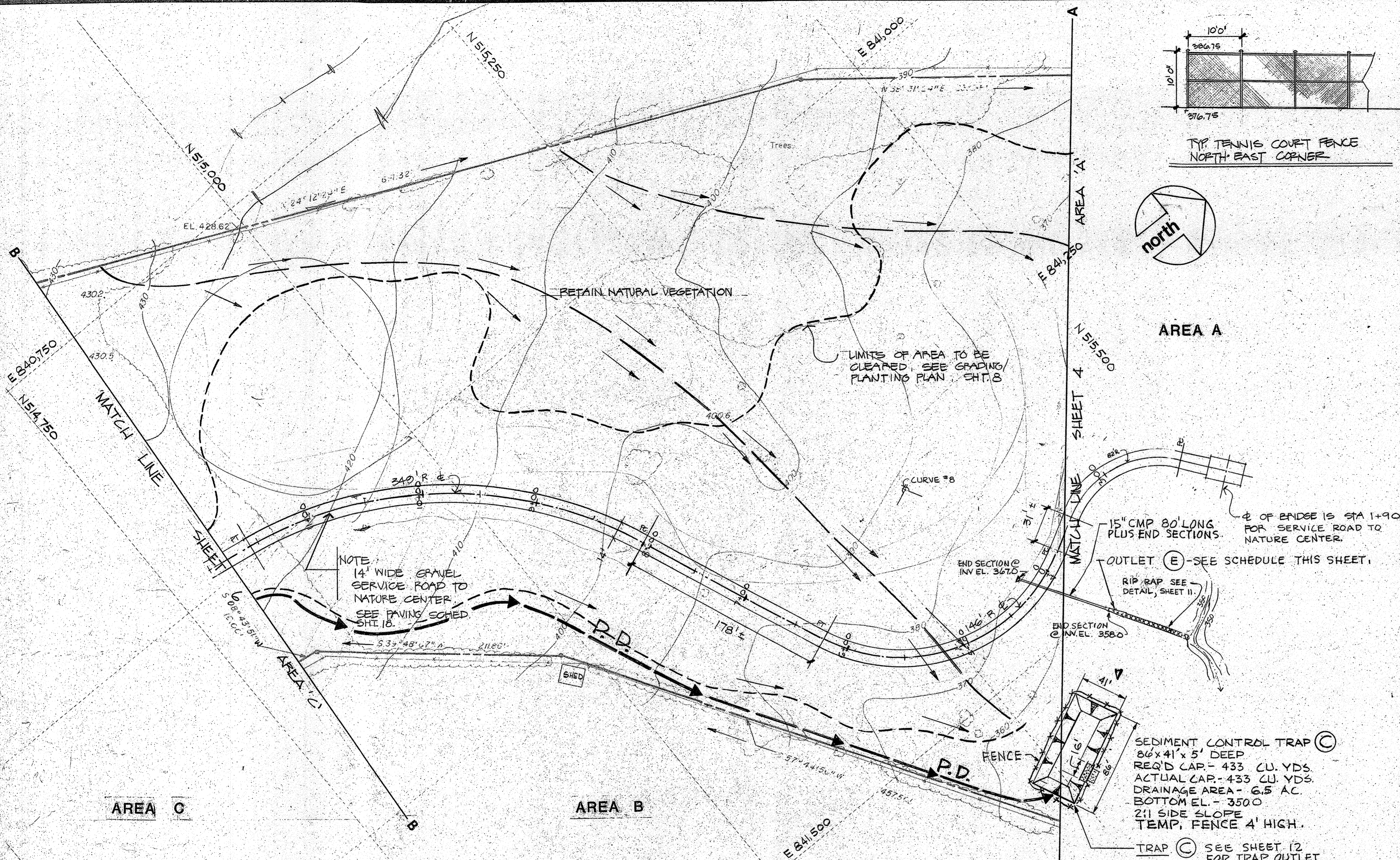
APPROVED: Howard County Office of Planning and Zoning
 Planning Director: *[Signature]* DATE: 4-20-81
 Chief, Division of Land Development & Zoning Admin: *[Signature]* DATE: 4-20-81

Howard County, Md., Dept. of Public Works for the Dept. of Rec. and Parks, 3430 Court House Drive, Ellicott City, Maryland
 Election District No. 2 Howard Co., Md.
 Tax Map No. 30
 Liber 885 Folio 76, Parcel 10, 43.18 ac.
 Liber 507 Folio 437, Parcel 278, 61A5 ac.
 Adjacent Property Owners
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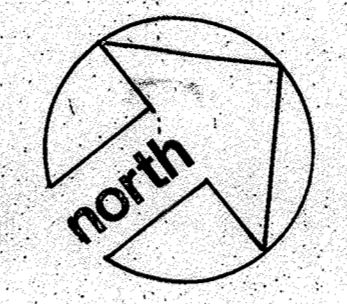
LD LAND DESIGN / RESEARCH, INC.
 ONE MALL NORTH SUITE 400
 COLUMBIA, MARYLAND

CONSTRUCTION LAYOUT
CENTENNIAL PARK
PHASE ONE - ANNAPOLIS ROAD AREA

DATE	APRCH 6, 1981	REVISIONS:	REVISED SITE DEVELOPMENT PLAN - 6/15/23
SCALE	1" = 20' 0"		
DRAWN	R.J.G.		
CHECKED	NHG		



REFER TO DETAIL B/22 FOR FENCING INFORMATION, (COLOR, MESH SIZE, HEIGHT, FASTENING, ETC.)



() Provide the following certification blocks, duly executed:

() 1. By the Developer:

"I certify that all development and/or construction will be done according to this plan of development and plan for Erosion and Sediment Control, and I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

Signature of Developer 4-20-81
Date

() By the Engineer:

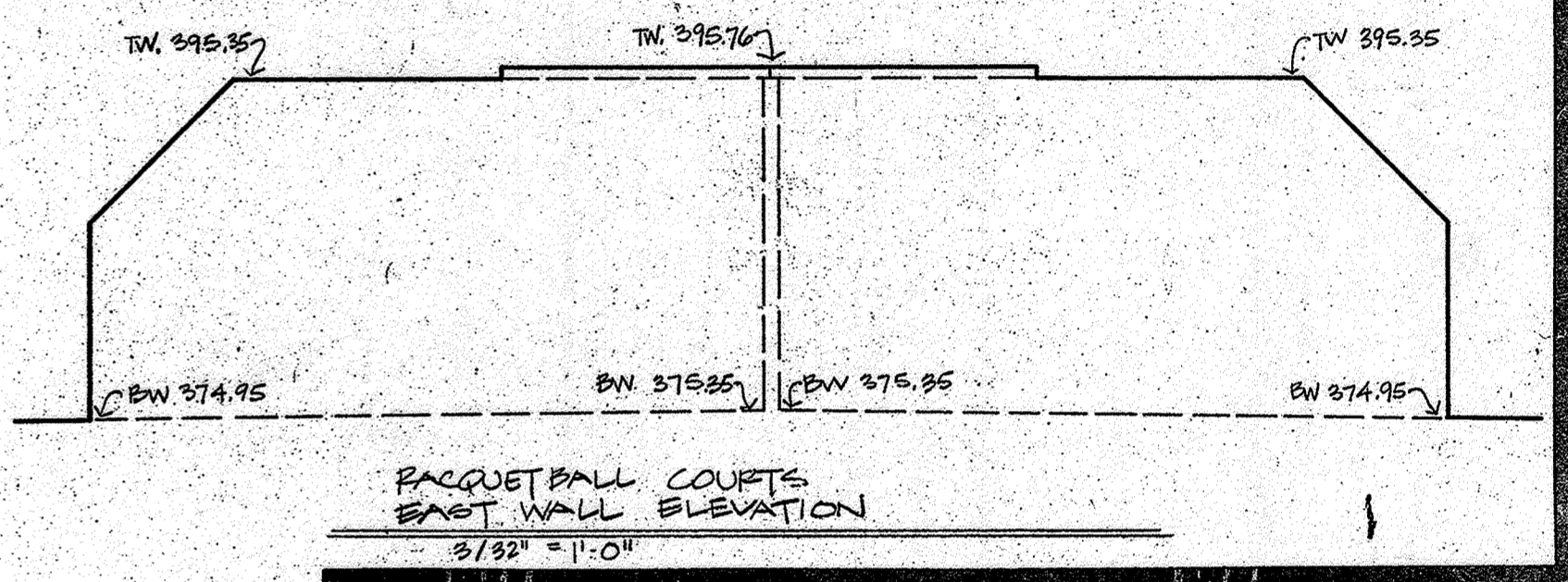
"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer 8.5.80
Date

Reviewed for Howard S.C.D.
Name
and meets Technical Requirements
Signature Date 4-20-81
U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

Approved *Signature* Date 4-20-81
Howard S.C.D.



APPROVED: For public Water, Public Sewerage and Storm Drainage Systems and Roads

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

Signature 4-20-81
DIRECTOR DATE

Signature 4-20-81
CHIEF, BUREAU OF ENGINEERING DATE

APPROVED: For public/ Water and Public/ Sewerage Systems

HOWARD COUNTY HEALTH DEPARTMENT

Signature 4-20-81
COUNTY HEALTH OFFICER DATE

APPROVED: Howard County Office of Planning and Zoning

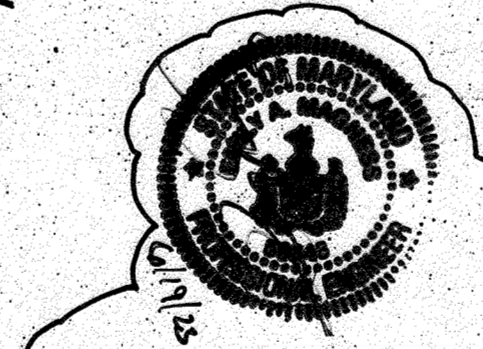
Signature 4-20-81
PLANNING DIRECTOR DATE

Signature 4-20-81
CHIEF, DIVISION OF LAND DEVELOPMENT & ZONING ADMIN. DATE

Howard County, Md., Dept. of Public Works for the Dept. of Rec. and Parks, 3430 Court House Drive, Ellicott City, Maryland

Election District No. 2 Howard Co., Md.
 Tax Map No. 30
 Liber 885 Folio 76, Parcel 10, 43.18 ac.
 Liber 507 Folio 437, Parcel 278, 6145 ac.

Adjacent Property Owners
 East: John T. Mason, Jr.
 Liber 276 Folio 575, Parcel 86
 West: Roland D. Zaiser, Et Al
 Liber 831, Folio 321, Parcel 160



PROFESSIONAL CERTIFICATION
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 EXPIRATION DATE 12/16/2024

APPROVED
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 4-13-81

CURVE DATA

CURVE	R	Δ	L	TAN Δ/2	D _s	E
8	146.00'	97°00'	247.17'	165.02'	39°14'31"	61.80'
9	349.00'	59°00'	359.38'	197.45'	16°25'02"	48.62'

CURVE	STA.	POINT	NORTH COORDINATE	EAST
8	3+80	PC	515,371.0	841,437.0
	-	PI	515,302.0	841,312.0
9	6+20	PT	515,164.0	841,367.0
	8+00	PC	515,096.0	841,203.0
11+58	-	PI	514,773.0	841,335.0
	-	PT	514,829.0	840,989.0

PURPOSE STATEMENT - 06.15.2023
 THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD.

STORM WATER OUTLET PROTECTION SCHEDULE

CONDUIT OUTLET	DESCRIPTION	MAX. FLOW	MAX. VEL.
(A)	15" CMP (SW INLET INTO POND) MAX. FLOW 12 CFS MAX. VEL. 10.4 FPS W ₁ = 4'-6", W ₂ = 11'-8", L = 26'-0"	12 CFS	10.4 FPS
(B)	21" CMP (SW. INLET INTO POND) MAX. FLOW 19 CFS MAX. VEL. = 7.5 FPS W ₁ = 5'-0", W ₂ = 10'-0", L = 20'-0"	19 CFS	7.5 FPS
(C)	30" CMP (POND DISCH.) MAX. FLOW 50 CFS, MAX. VEL. 10.0 FPS W ₁ = 7'-0", W ₂ = 16'-0", L = 34'-0" (SEE CROSS SECTION, SHEET 12)	50 CFS	10.0 FPS
(D)	12" CMP (UNDER RD. & PATH) MAX. FLOW 4.5 CFS MAX. VEL. 5.2 FPS W ₁ = 3'-0", W ₂ = 5'-0", L = 40'-0" (AREA I B)	4.5 CFS	5.2 FPS
(E)	15" CMP (SOUTHWEST OF BRIDGE) MAX. FLOW 8.5 CFS MAX. VEL. 7.2 FPS W ₁ = 3'-8", W ₂ = 7'-3", L = 15'-0" (SEE CROSS SECTION, SHEET 11)	8.5 CFS	7.2 FPS

RIP-RAP-WEIGHT SCHEDULE

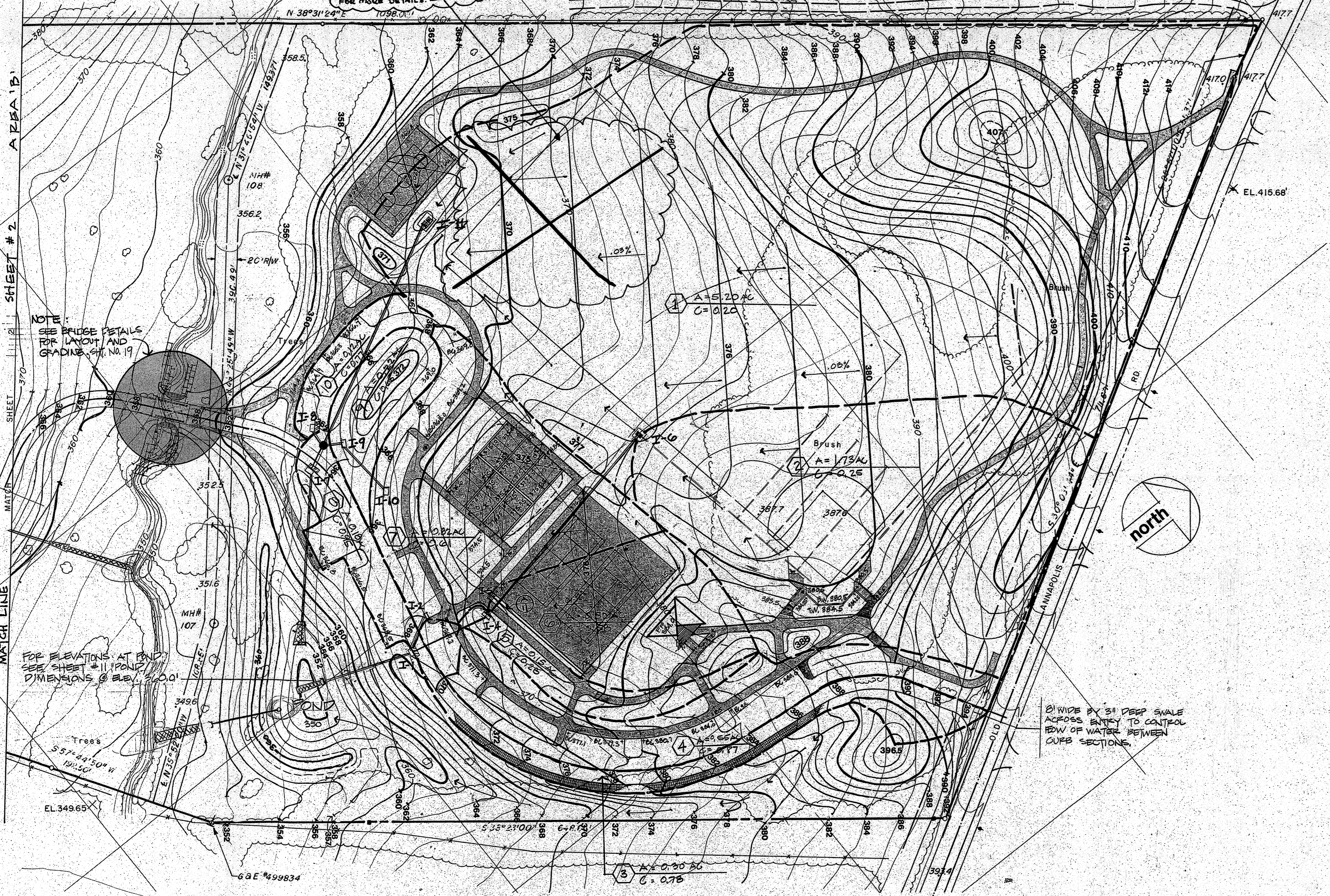
OUTLET	MAX. WT. OF STONE REQ'D.	MIN. & MAX. RANGE IN WEIGHT OF STONE	WEIGHT RANGE OF 75% OF STONE
(A)	250	25 - 250	50 - 250
(B)	75	25 - 75	50 - 75
(C)	150	25 - 150	50 - 150
(D)	50	25 - 50	40 - 50
(E)	75	25 - 75	50 - 75

AREA B
SHEET # 2
MATCH LINE

EXISTING BASEBALL FIELD AND ASSOCIATED ELEMENTS SHALL BE REPLACED BY PROPOSED PLAYGROUND. SEE SHEETS 25-48 FOR MORE DETAILS.

NOTE:
SEE BRIDGE DETAILS FOR LAYOUT AND GRADING. SEE SHEET NO. 19

FOR ELEVATIONS AT POND SEE SHEET # 11 FOR POND DIMENSIONS & ELEV. 2.00'



NOTE: SEE SHEET # 11 FOR STORM WATER SYSTEM DESIGN, AND SHEET # 16 FOR STORM WATER PROFILES.

PURPOSE STATEMENT - 06.15.2023
THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD.



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 56848 EXPIRATION DATE 12/16/2024

PURPOSE STATEMENT - 06.15.2023
THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD.

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 4-13-81
J. W. Mason

APPROVED: For public Water and Public Sewerage Systems and Storm Drainage Systems and Roads	
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS	
<i>W. F. Nunnally</i> DIRECTOR	4-30-81 DATE
<i>William E. Ryan</i> CHIEF, BUREAU OF ENGINEERING	4-20-81 DATE
APPROVED: For public Water and Public Sewerage Systems	
HOWARD COUNTY HEALTH DEPARTMENT	
<i>James D. M.D. Per. O. F. W.</i> COUNTY HEALTH OFFICER	4-21-81 DATE
APPROVED: Howard County Office of Planning and Zoning	
<i>Thomas J. Herring</i> PLANNING DIRECTOR	4-20-81 DATE
<i>John W. Mason</i> CHIEF, DIVISION OF LAND DEVELOPMENT & ZONING ADMIN.	4-20-81 DATE

STATE OF MARYLAND
COUNTY OF HOWARD
HOWARD COUNTY, Md., Dept. of Public Works for the Dept. of Rec. and Parks, 3430 Court House Drive, Ellicott City, Maryland
Election District No: 2 Howard Co., Md.
Tax Map No. 30
Liber 885 Folio 76, Parcel 10, 43.18 ac.
Liber 507 Folio 437, Parcel 278, 6145 ac.
Adjacent Property Owners
East: John T. Mason, Jr., Liber 276 Folio 575, Parcel 86
West: Roland D. Zaiser, Et Al Liber 831, Folio 321, Parcel 160

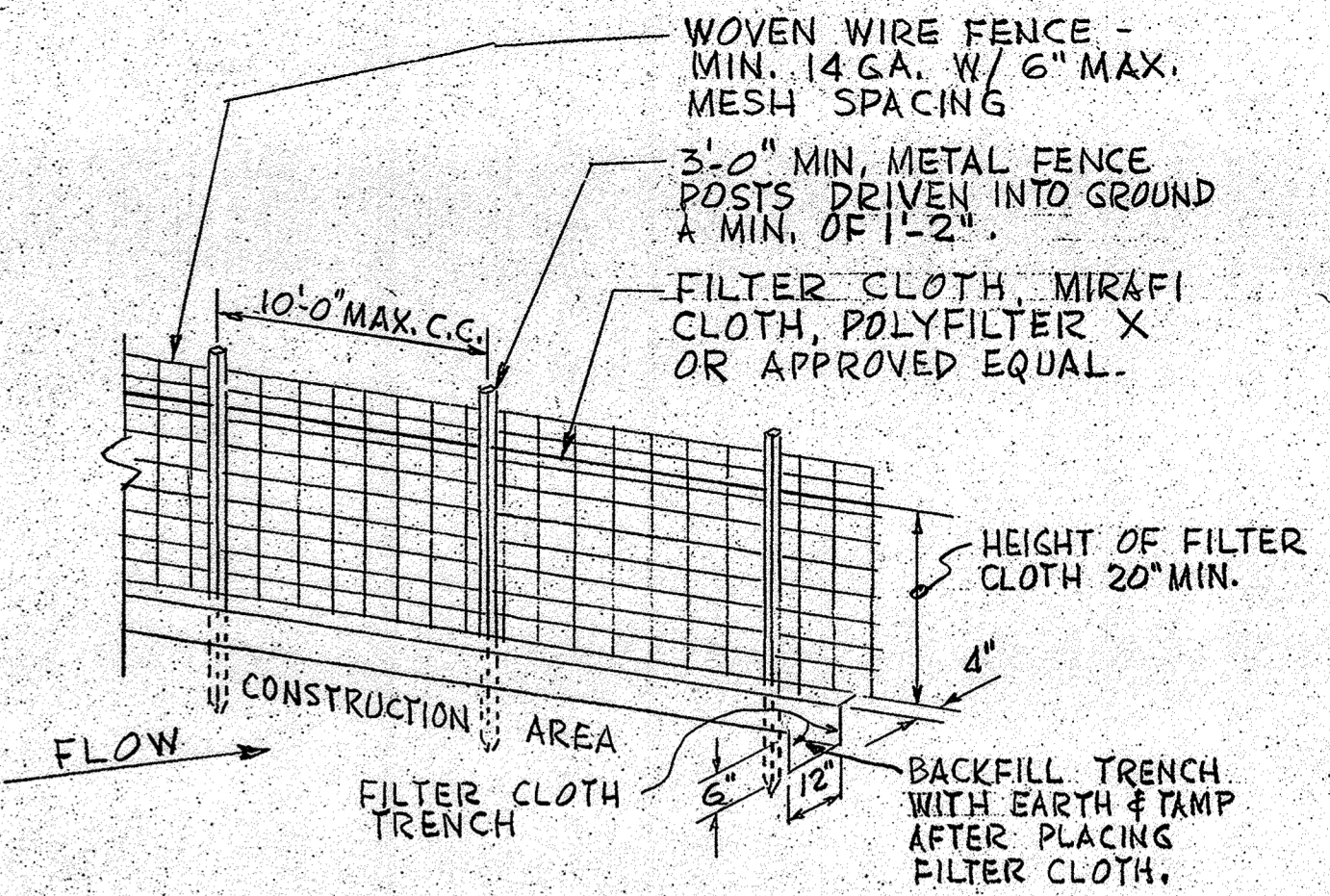
LD LAND DESIGN / RESEARCH, INC.
ONE MALL NORTH SUITE 400
COLUMBIA, MARYLAND

DRAINAGE AREA MAP & GRADING PLAN AREA A

CENTENNIAL PARK PHASE ONE - ANNAPOLIS ROAD AREA

DATE	MARCH 6, 1981	REVISIONS:	
SCALE	1" = 50'	REVISION 1	REVISED SITE DEVELOPMENT PLAN - 6/15/23
DRAWN	NHC		
CHECKED	E-36		

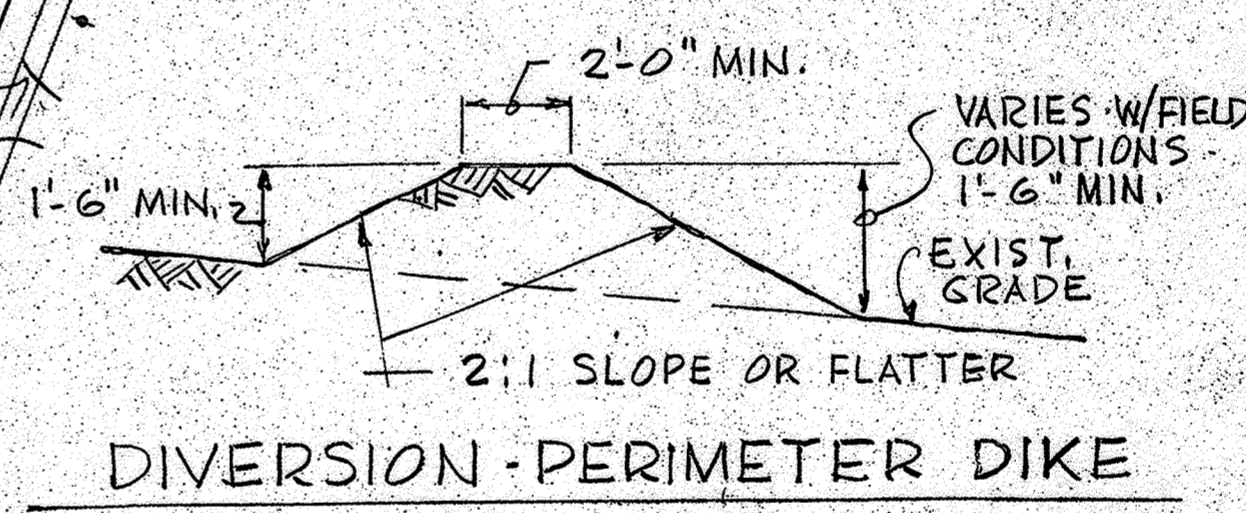
7
16
05/20



NOTES:

1. WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS BY USE OF WIRE TIES.
2. FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE BY USE OF WIRE TIES SPACED EVERY 24" x 24".

APPROVED
 DIVISION OF LAND DEVELOPMENT &
 ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 4-13-81



LEGEND

PERIMETER DIKE — P.D.

STONE INLET OR OUTLET STRUCTURE

EXISTING COUNTOUR — 390

SILT FENCE — S.F.

N.T.S.
 STABILIZED CONSTRUCTION
 ENTRANCE STD. SCE-1

SITE ANALYSIS - (AREA A)

TOTAL AREA OF SITE	12.0 AC.
TOTAL DISTURBED AREA	12.0 AC.
TOTAL EXIST. IMPERVIOUS AREA	0.0 AC.
TOTAL PROPOSED IMPERVIOUS AREA	1.7 AC.
TOTAL REVEGETATED AREA	10.2 AC.
EXIST. RCN 67 SOIL GROUP B	
SEE SHEET N-11 FOR FINISHED GRADES & DRAINS.	
WEIGHTED RUNOFF AFTER DEVELOPMENT - RCN 67	

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 56683, EXPIRATION DATE 12/16/2004.

PURPOSE STATEMENT - DE-15-2003
 THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD.

() Provide the following certification blocks, duly executed:

() 1. By the Developer:

"I certify that all development and/or construction will be done according to this plan of development and plan for Erosion and Sediment Control, and I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

William E. Pugh 4-20-81
 Signature of Developer Date

() By the Engineer:

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Frank A. Spivech 8-5-80
 Signature of Engineer Date

Reviewed for *Howard* S.C.D.
 Name

and meets Technical Requirements

James M. Nelson Date 4-20-81
 Signature Date
 U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

William E. Pugh Date 4/20/81
 Approved Signature Date
 Howard S.C.D.

APPROVED: For public Water, Public Sewerage and Storm Drainage Systems and Roads

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

William F. Nunn 4-20-81
 DIRECTOR DATE

William E. Pugh 4-20-81
 CHIEF, BUREAU OF ENGINEERING DATE

APPROVED: For public/ Sewerage Systems Water and Public/ Sewerage Systems

HOWARD COUNTY HEALTH DEPARTMENT

James M. Nelson 4-21-81
 COUNTY HEALTH OFFICER DATE

APPROVED: Howard County Office of Planning and Zoning

William E. Pugh 4-20-81
 PLANNING DIRECTOR DATE

William E. Pugh 4-20-81
 CHIEF DIVISION OF LAND DEVELOPMENT & ZONING ADMIN. DATE

Howard County, Md., Dept. of Public Works for the Dept. of Rec. and Parks, 3430 Court House Drive, Ellicott City, Maryland

Election District No. 2 Howard Co., Md.

Tax Map No. 30

Liber 885 Folio 76, Parcel 10, 43.18 ac.

Liber 507 Folio 437, Parcel 278, 6145 ac.

Adjacent Property Owners

East: John T. Mason, Jr.
 Liber 276 Folio 575, Parcel 86

West: Roland D. Zaiser, Et Al
 Liber 831, Folio 321, Parcel 160

LD LAND DESIGN / RESEARCH, INC.

ONE MALL NORTH SUITE 400
 COLUMBIA, MARYLAND

SEDIMENTATION EROSION CONTROL PLAN AREA A

CENTENNIAL PARK PHASE ONE - ANNAPOLIS ROAD AREA

DATE	MARCH 6, 1981	REVISIONS:	
SCALE	AS SHOWN	1. REVISED SITE DEVELOPMENT PLAN - 6/15/83	
DRAWN	FZ		
CHECKED	FE		

10
 11048
 11020

THIS SHEET PERTAINS ONLY TO WORK DONE PRIOR TO DECEMBER 30TH.

PURPOSE STATEMENT - 06.15.1988
 THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD

EXISTING BASEBALL FIELD AND ASSOCIATED ELEMENTS SHALL BE REPLACED BY PROPOSED PLAYGROUND. SEE SHEETS 75-48 FOR MORE DETAILS

CONC. MON. SET BACK 15' FROM PROP. COR.

SEDIMENT CONTROL AND POND CONSTRUCTION

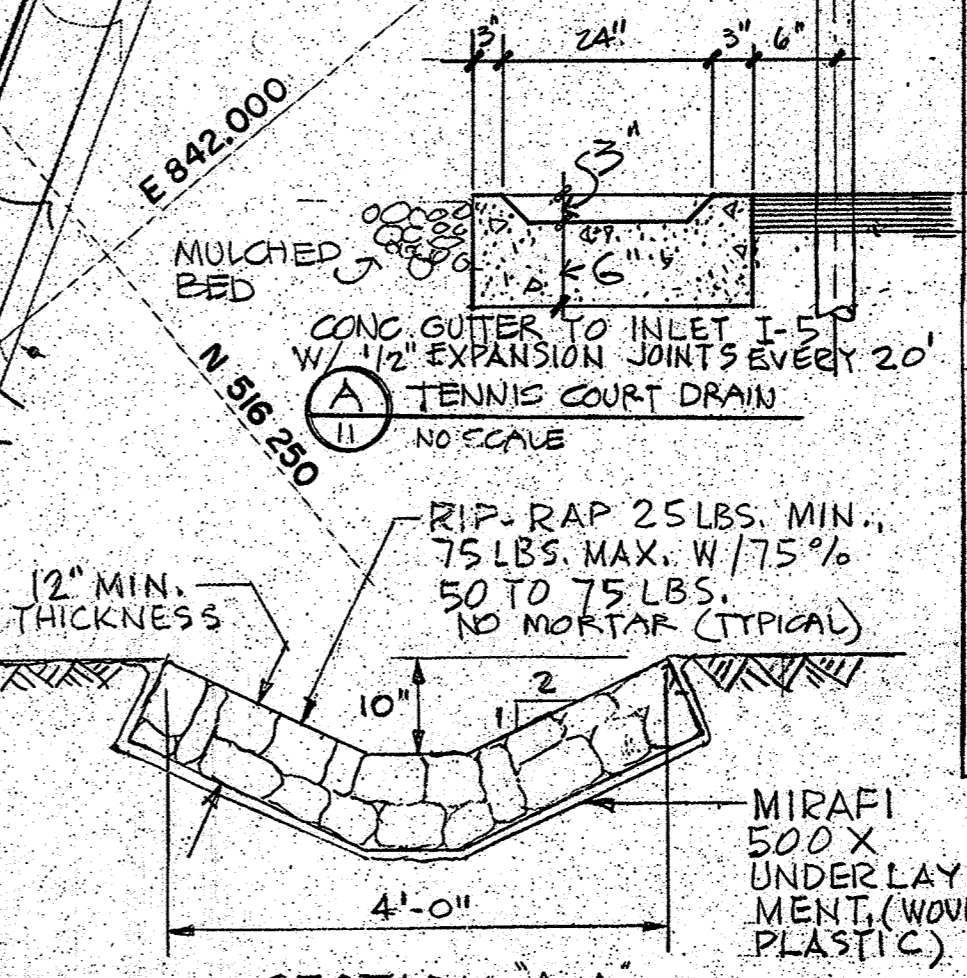
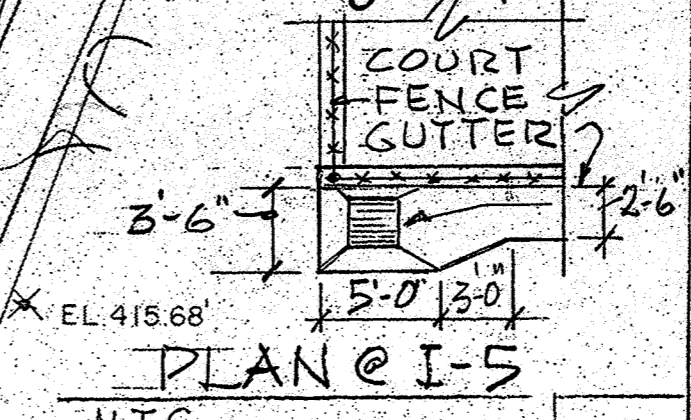
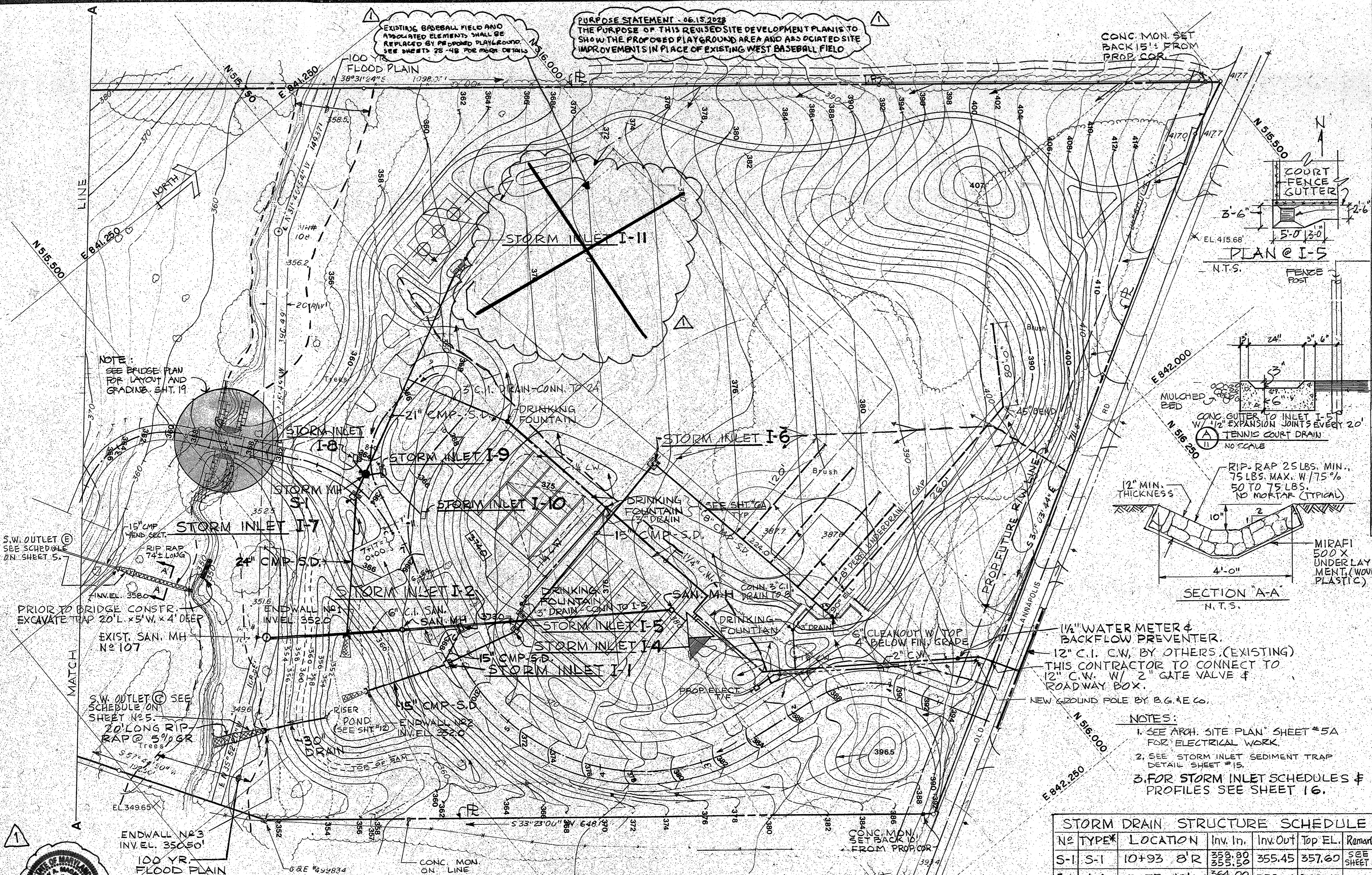
By the Developer:
 "I certify that all development and/or construction will be done according to these plans of development, pond construction, erosion and sediment control. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary. Dev't. plan will not be made unless authorized by The Howard Soil Conservation District. I will provide the Howard Soil Conservation District with a red-lined "as built" of the pond within 30 days of completion."
 Signature of Developer: *[Signature]* Date: 4/20/81

By the Engineer:
 "I certify that this plan for pond construction, erosion, and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he must provide the Howard Soil Conservation District with a red-lined "as built" of the pond within 30 days of completion."
 Signature of Engineer: *[Signature]* Date: 8.5.80

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.
 U.S. Soil Conservation Service: *[Signature]* Date: 4-20-81

These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.
 Approved: *[Signature]* Date: 4/20/81
 Howard S.C.D.

Plan Number

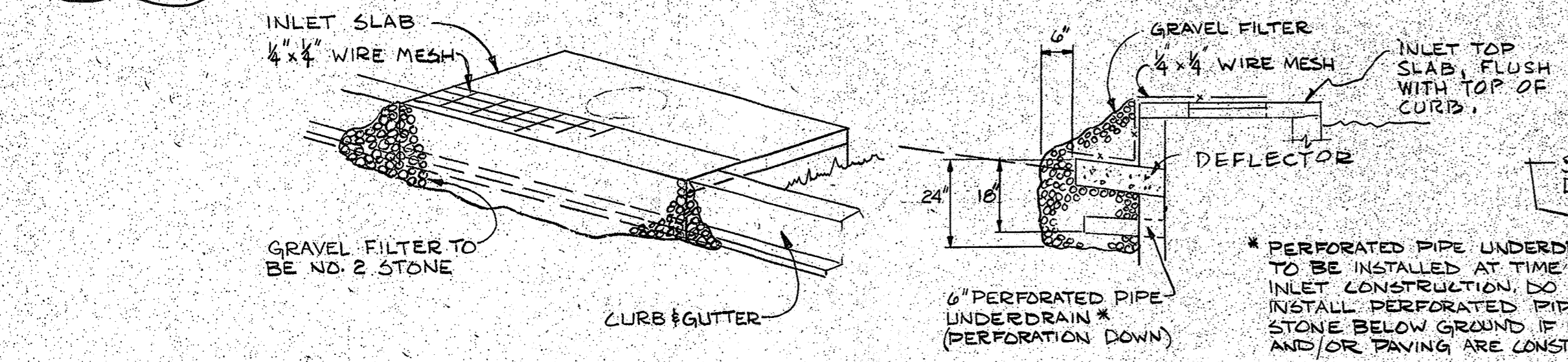


- NOTES:
- SEE ARCH. SITE PLAN SHEET #5A FOR ELECTRICAL WORK
 - SEE STORM INLET SEDIMENT TRAP DETAIL SHEET #15
 - FOR STORM INLET SCHEDULES & PROFILES SEE SHEET 16.

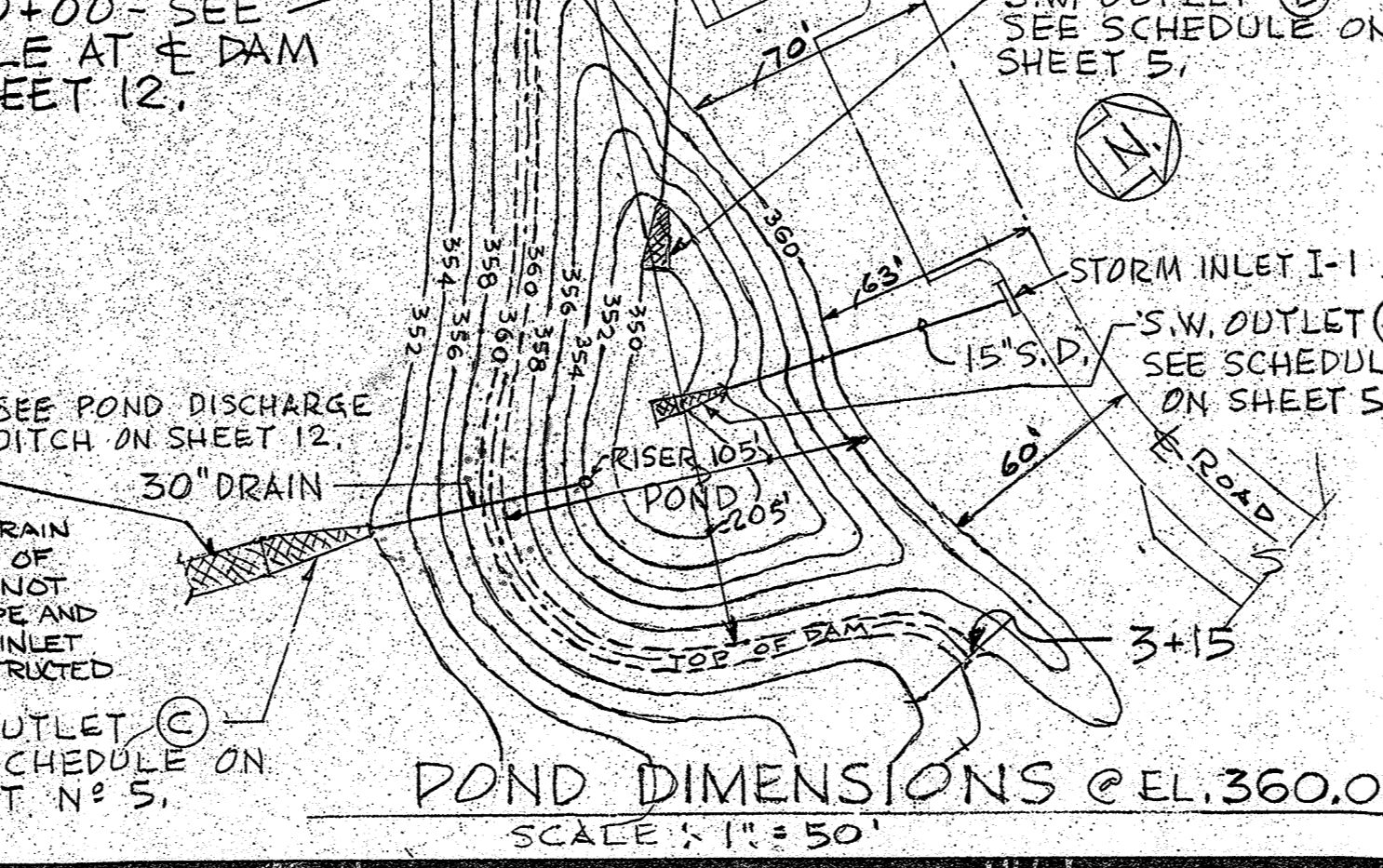
STORM DRAIN STRUCTURE SCHEDULE						
NO	TYPE*	LOCATION	Inv. In.	Inv. Out	Top EL.	Remarks
S-1	S-1	10+93 8'R	358.80 358.80	355.45	357.60	SEE SHEET 16
I-1	I-A	5+77 12'L	364.00 363.00	358.64	362.43	
I-2	I-A	6+00 12'R	-	364.83	368.60	
I-3	DELETED					
I-4	3	SEE PLAN	368.75 366.00	365.00	372.60	
I-5	2	SEE PLAN	-	368.75	374.75	
I-6	3	SEE PLAN	367.85	367.75	373.58	
I-7	I-A	0+50 7'L	355.10	354.00	364.43	
I-8	1	7+90 12'L	-	359.00	364.73	
I-9	1	7+75 12'R	359.00	352.90	364.83	
I-10	5	10+93 12'L	-	360.20	366.68	
I-11	4	SEE PLAN	-	358.85	363.50	*

STORM DRAINS SANITARY & COLD WATER - PLAN
 STORM WATER MANAGEMENT SCALE: 1" = 50'

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 56 848 EXPIRATION DATE 12/16/2004



STORM DRAIN INLET PROTECTION DETAILS
 N.T.S.



POND DIMENSIONS @ EL. 360.0
 SCALE: 1" = 50'

APPROVED
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE: 4-13-81

APPROVED: For public Water, Public Sewerage and Storm Drainage Systems and Roads
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Director: *[Signature]* Date: 4-20-81
 Chief, Bureau of Engineering: *[Signature]* Date: 4/20/81

APPROVED: For public Water and Public Sewerage Systems
 HOWARD COUNTY HEALTH DEPARTMENT
 County Health Officer: *[Signature]* Date: 4-20-81

APPROVED: Howard County Office of Planning and Zoning
 Planning Director: *[Signature]* Date: 4-20-81
 Chief, Division of Land Development & Zoning Admin: *[Signature]* Date: 4/20/81

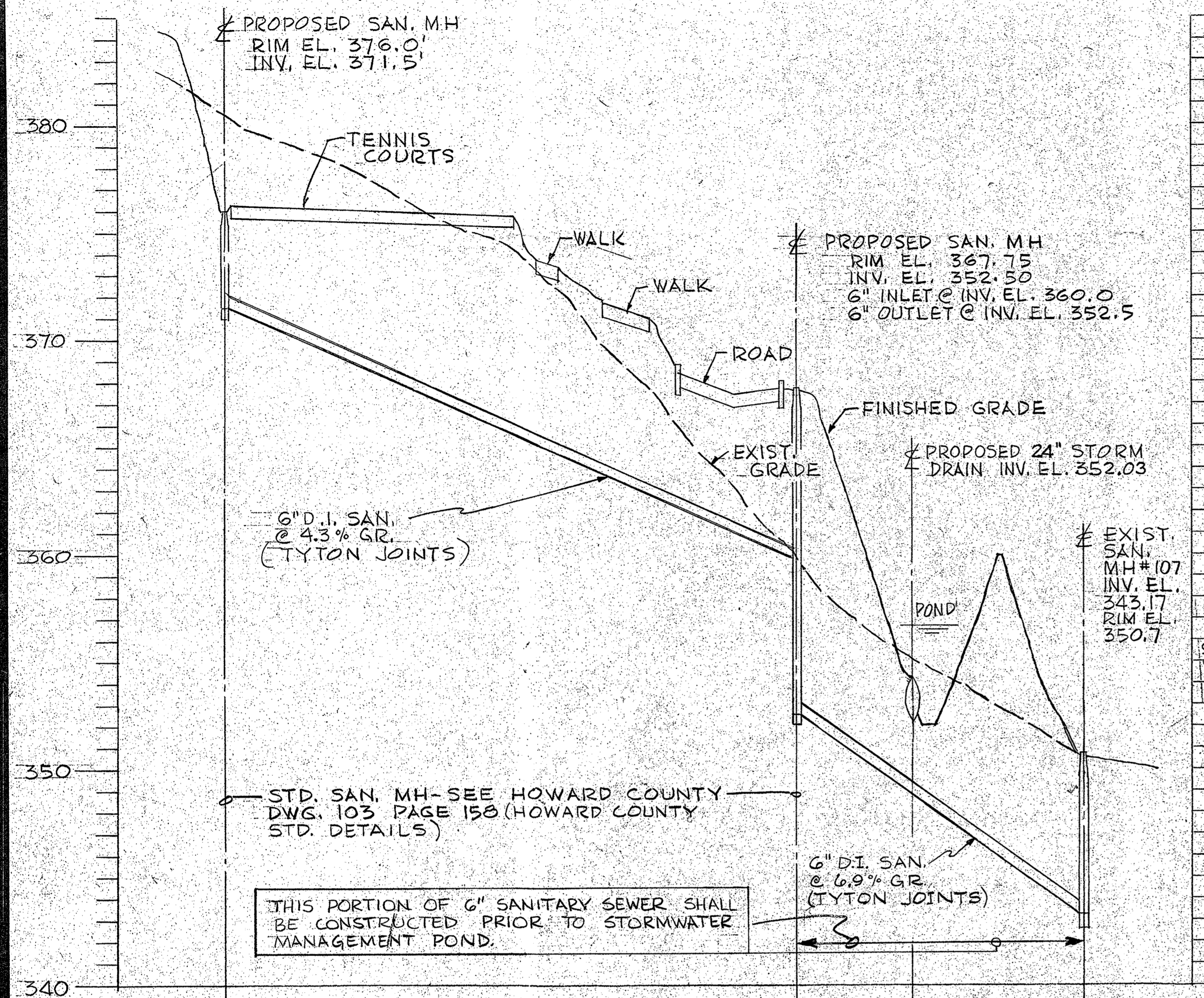
Professional Engineer Seal
 Howard County, Md., Dept. of Public Works for the Dept. of Rec. and Parks, 3430 Court House Drive, Ellicott City, Maryland
 Election District No. 2 Howard Co., Md. Tax Map No. 30
 Liber 885 Folio 76, Parcel 10, 43.18 ac. Liber 507 Folio 437, Parcel 278, 6145 ac. Adjacent Property Owners
 East: John T. Mason, Jr., Liber 276 Folio 575, Parcel 86
 West: Roland D. Zaiser, Et Al Liber 831, Folio 321, Parcel 160

LD LAND DESIGN / RESEARCH, INC.
 ONE MALL NORTH SUITE 400
 COLUMBIA, MARYLAND
 STORM DRAIN, SANITARY & COLD WATER PLAN

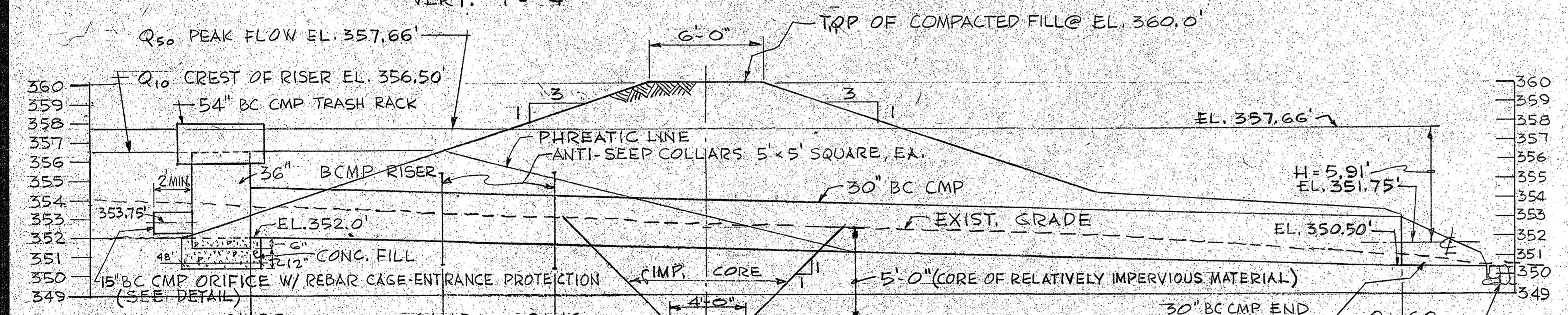
CENTENNIAL PARK PHASE ONE - ANNAPOLIS ROAD AREA

DATE	MARCH 6, 1981	REVISIONS:	REVISED SITE DEVELOPMENT PLAN - 6/17/82
SCALE	AS SHOWN		
DRAWN	MRH		
CHECKED	FF		

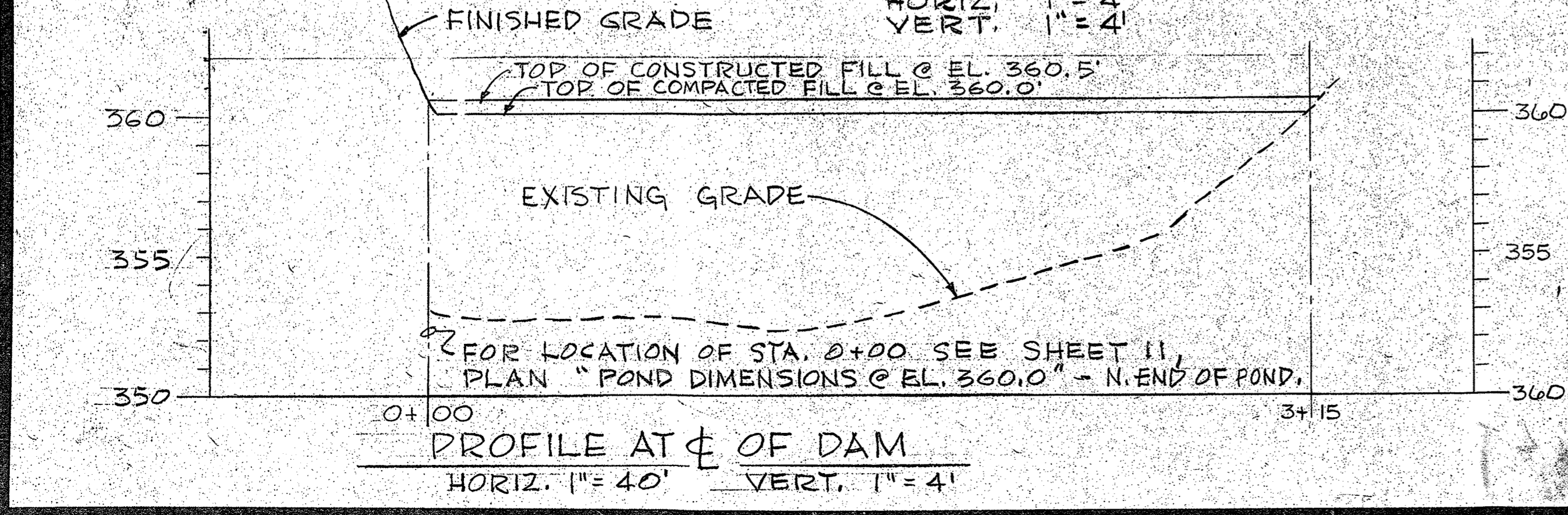
11
 20
 25
 48



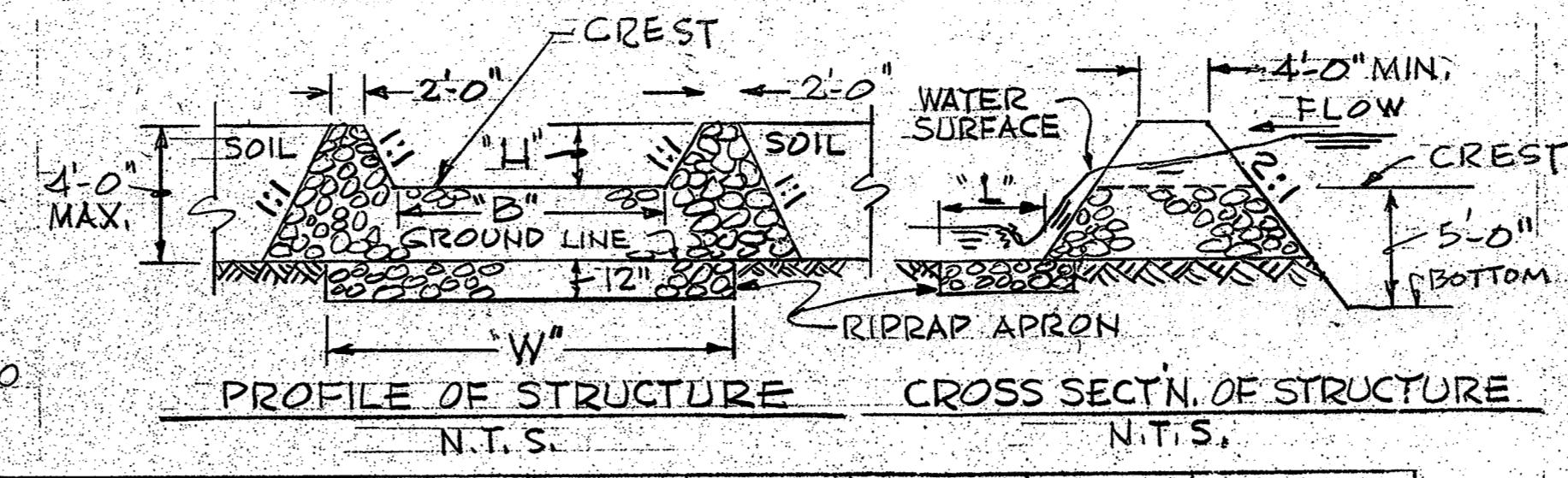
PROFILE - SANITARY
 HORIZ. 1" = 40'
 VERT. 1" = 4'



PROFILE - DAM
 HORIZ. 1" = 4'
 VERT. 1" = 4'



PROFILE AT CENTER OF DAM
 HORIZ. 1" = 40' VERT. 1" = 4'

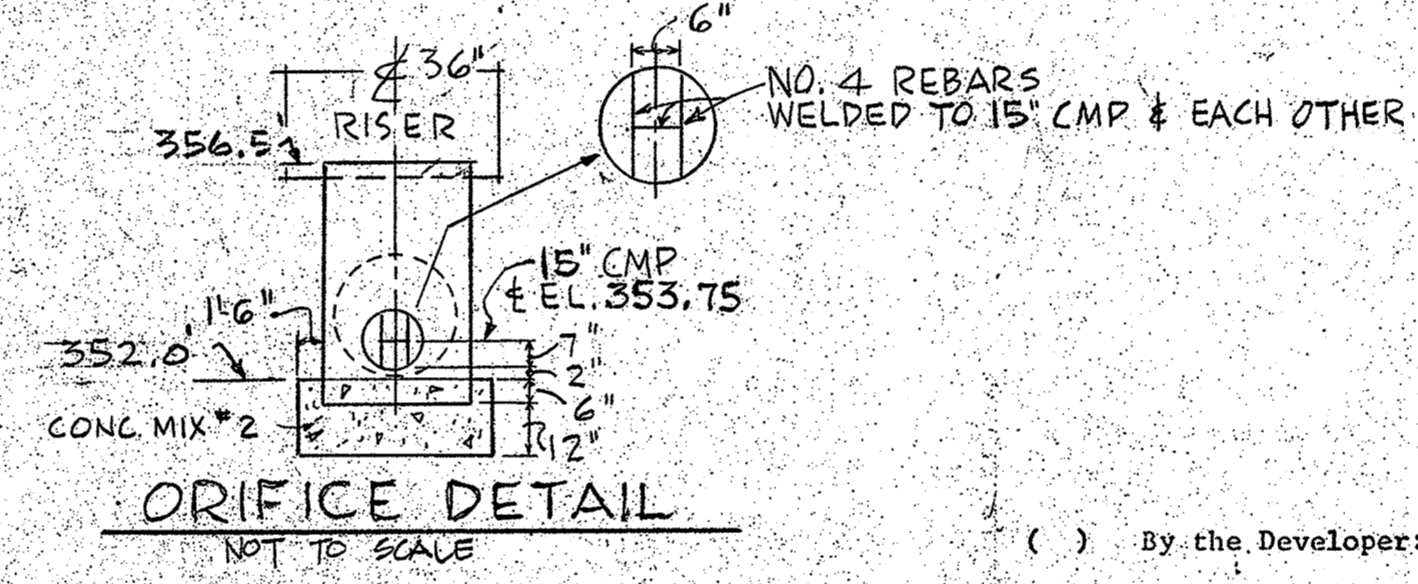


TRAP DESIGNATION	PEAK DISCH. @ CRITICAL DEPTHS	VELOCITY @ CRITICAL DEPTHS	WEIR LENGTH "B"	HEIGHT "H"	RIPRAP APRON WIDTH "W"	RIPRAP APRON LENGTH "L"	ROCK SIZE
(A)	20	3.3	20'	1.0'	26'	8'	3-6 SURGE OR MD. NO. 1 STONE
(B)(C)(D)	10	3.3	15'	1.0'	21'	8'	MD. NO. 1 STONE

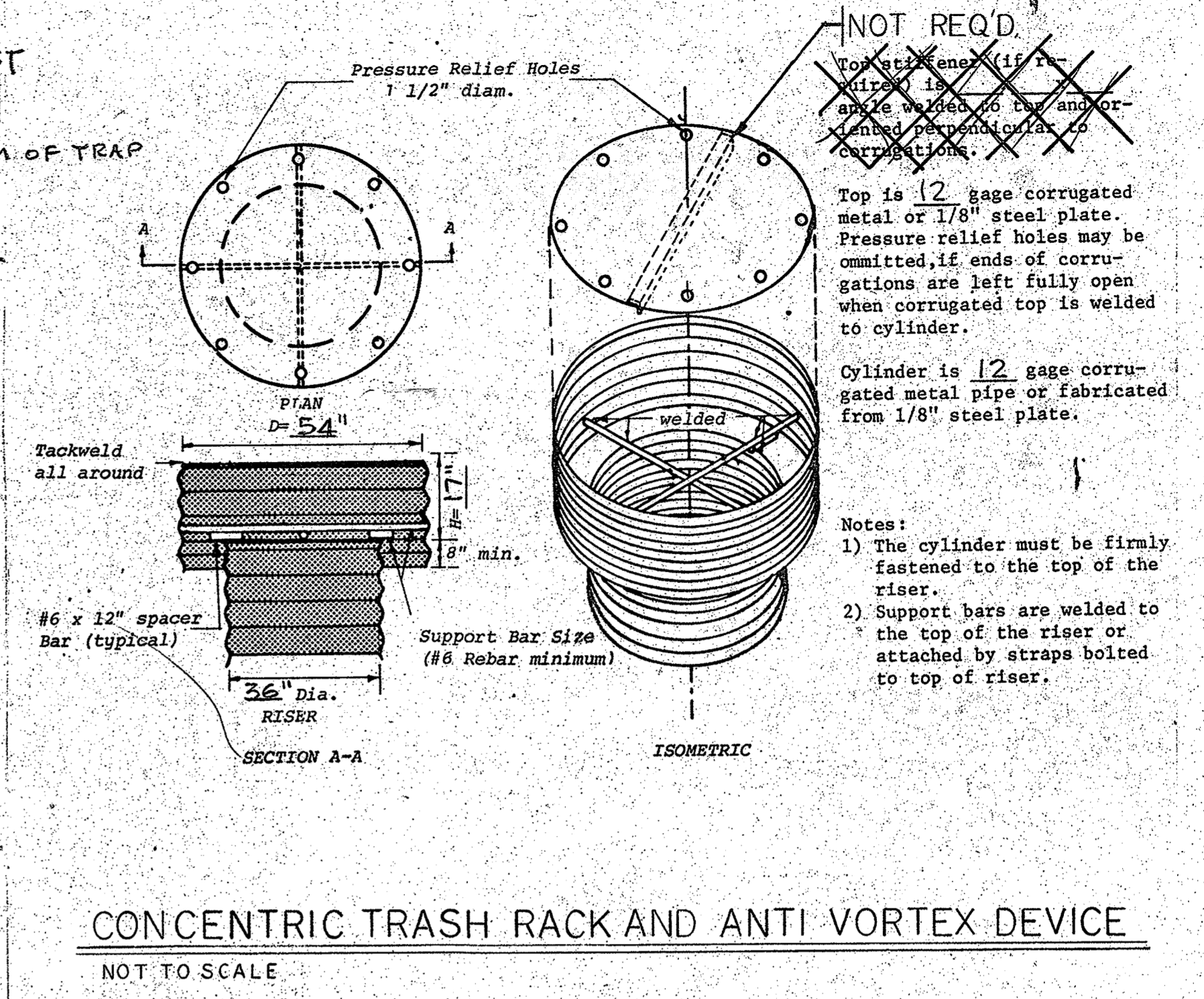
TO BE USED IN CONJUNCTION WITH STD. # SPEC. NO. 17.01 FOR STONE OUTLET STRUCTURES.

- Construction Specifications**
- Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The pool area shall be cleared.
 - The fill material for the embankment shall be free of roots or other woody vegetation as well as over sized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed.
 - Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap. Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
 - The structure shall be inspected after each rain and repairs made as needed.
 - Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
 - The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.
 - All cut and fill slopes shall be 2:1 or flatter.

SEDIMENT CONTROL - STONE OUTLET STRUCTURE
 NOT TO SCALE



ORIFICE DETAIL
 NOT TO SCALE



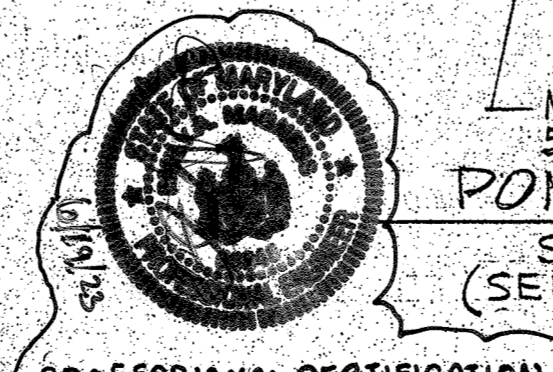
CONCENTRIC TRASH RACK AND ANTI VORTEX DEVICE
 NOT TO SCALE

() By the Developer:
 "I certify that all development and/or construction will be done according to these plans of development, pond construction and erosion and sediment control. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary. Deviation from this plan will not be made unless authorized by the Howard Soil Conservation District. I will provide the Howard Soil Conservation District with a red-lined "as built" of the pond within 30 days of completion."
 Signature of Developer: *Frank J. Jensch* Date: 8.5.80

() By the Engineer:
 "I certify that this plan for pond construction, erosion, and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he must provide the Howard Soil Conservation District with a red-lined "as built" of the pond within 30 days of completion."
 Signature of Engineer: *Frank J. Jensch* Date: 8.5.80

() These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.
 U.S. Soil Conservation Service: *James McVicker* Date: 4-20-81

() These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.
 Approved: *Robert Ziehm* Date: 4/20/81
 Howard S.C.D.



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND
 LICENSE NO. 56843, EXPIRATION DATE 10/16/2004

APPROVED
 DIVISION OF LAND DEVELOPMENT &
 ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 4-13-81

APPROVED: For public Water, Public Sewerage and Storm Drainage Systems and Roads
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Director: *William F. Nunn* Date: 4-20-81
 Chief, Bureau of Engineering: *William E. Reed* Date: 4-20-81

APPROVED: For public Water and Public Sewerage Systems
 HOWARD COUNTY HEALTH DEPARTMENT
 County Health Officer: *James M. Reed* Date: 4-20-81

APPROVED: Howard County Office of Planning and Zoning
 Planning Director: *Thomas J. Harris* Date: 4-20-81
 Chief, Division of Land Development & Zoning Admin.: *John W. McQuinn* Date: 4-20-81

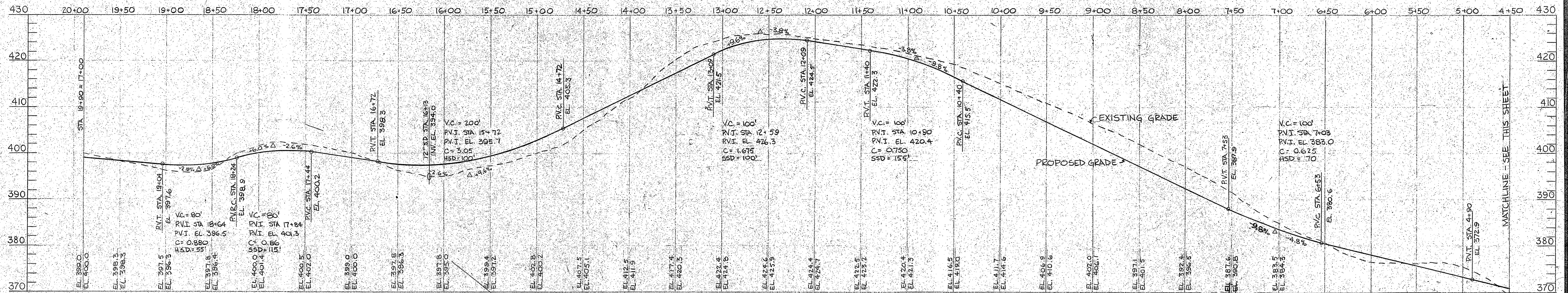
Howard County, Md., Dept. of Public Works for the Dept. of Rec. and Parks, 3430 Court House Drive, Ellicott City, Maryland
 Election District No. 2 Howard Co., Md.
 Tax Map No. 30
 Liber 885 Folio 76, Parcel 10, 43.18 ac.
 Liber 507 Folio 437, Parcel 278, 61.45 ac.
 Adjacent Property Owners
 East: John T. Mason, Jr. Liber 276 Folio 575, Parcel 86
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LD LAND DESIGN / RESEARCH, INC.
 ONE MALL NORTH SUITE 400
 COLUMBIA, MARYLAND
 SEDIMENT, EROSION CONTROL
 DETAILS & SANITARY PROFILE

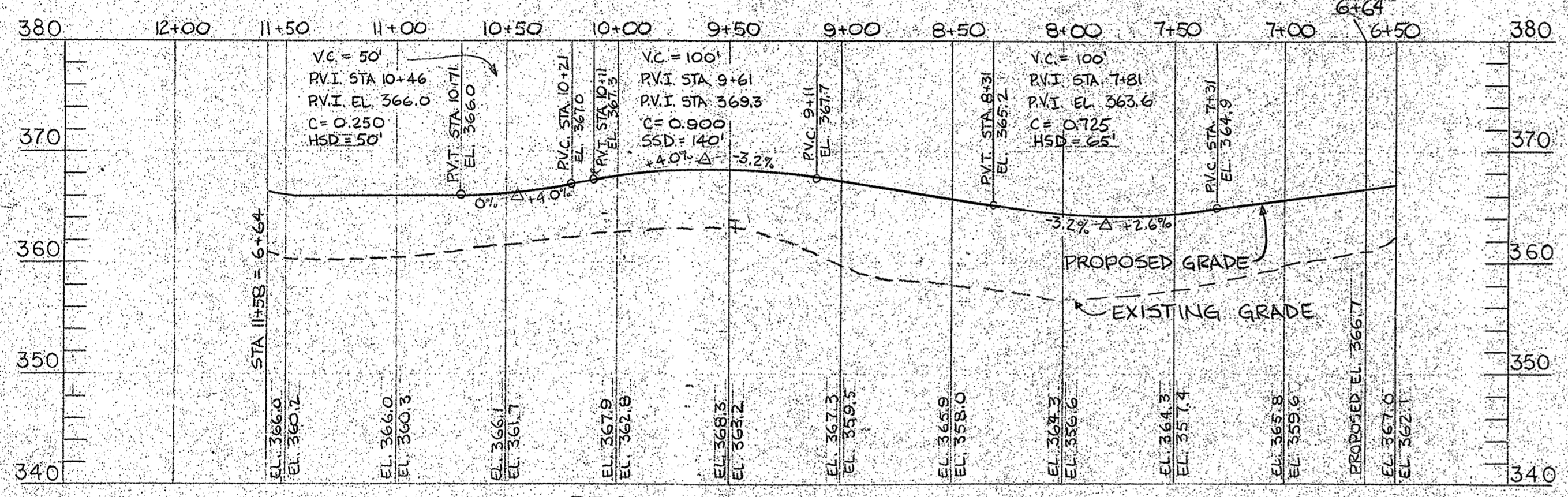
**CENTENNIAL PARK
 PHASE ONE - ANNAPOLIS ROAD AREA**

DATE	MARCH 6, 1981	REVISIONS:	12
SCALE	AS NOTED	REVISION NO.	1
DRAWN	FF	DATE	4/20/81
CHECKED	FF	DATE	4/20/81

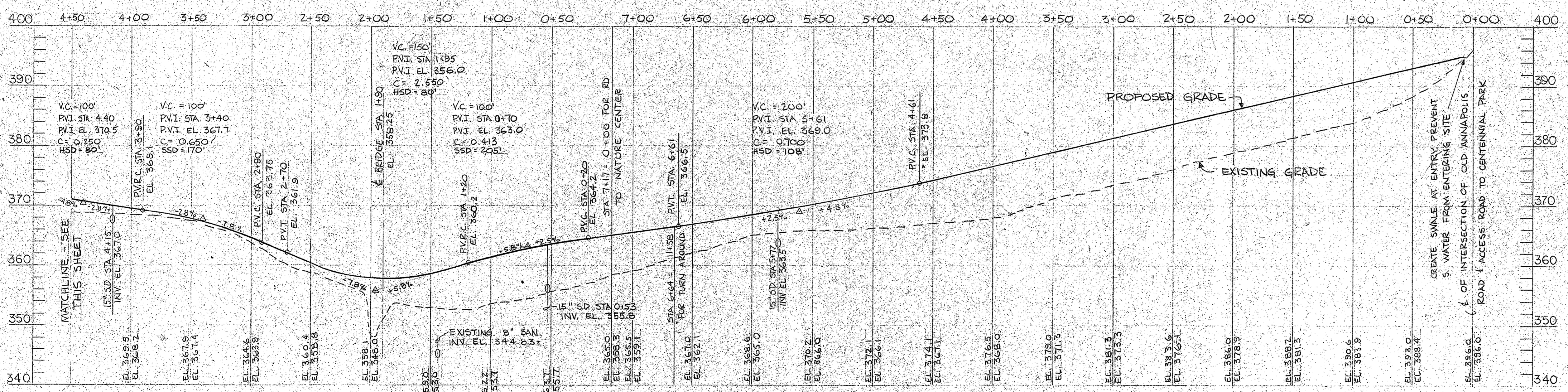
SDP-81-126



PROFILE - SERVICE ROAD TO NATURE CENTER
 HORIZ: 1" = 50'-0"
 VERT: 1" = 10'-0"



PROFILE - TURN AROUND
 HORIZ: 1" = 50'-0"
 VERT: 1" = 10'-0"



PROFILE - ACCESS ROAD
 HORIZ: 1" = 50'-0"
 VERT: 1" = 10'-0"

APPROVED
 DIVISION OF LAND DEVELOPMENT &
 ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 4-13-81
[Signature]

- NOTES:
- SEE SHEET NO II FOR PLAN VIEW
 - AS W/ ALL PARK DRIVES & SERVICE ROADS, THE CONTRACTOR SHALL GRADE TO BASE ELEVATION FOR ARCHITECT'S REVIEW & APPROVAL BEFORE CONTINUING.

APPROVED: For public Water, Public Sewerage and Storm Drainage Systems and Roads

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

[Signature]
 DIRECTOR
 DATE 4-20-81

[Signature]
 CHIEF, BUREAU OF ENGINEERING
 DATE 4-20-81

APPROVED: For public Water and Public Sewerage Systems

HOWARD COUNTY HEALTH DEPARTMENT

[Signature]
 COUNTY HEALTH OFFICER
 DATE 4-20-81

APPROVED: Howard County Office of Planning and Zoning

[Signature]
 PLANNING DIRECTOR
 DATE 4-20-81

[Signature]
 CHIEF, DIVISION OF LAND DEVELOPMENT & ZONING ADMIN.
 DATE 4-20-81

Howard County, Md., Dept. of Public Works
 for the Dept. of Rec. and Parks, 3430 Court
 House Drive, Ellicott City, Maryland

Election District No. 2 Howard Co., Md.
 Tax Map No. 30
 Liber 885 Folio 76, Parcel 10, 43.18 ac.
 Liber 507 Folio 437, Parcel 278, 61.45 ac.

Adjacent Property Owners
 East: John T. Mason, Jr.
 Liber 276 Folio 575, Parcel 86
 West: Roland D. Zaiser, Et Al
 Liber 831, Folio 321, Parcel 160

LD R LAND DESIGN / RESEARCH, INC.
 ONE MALL NORTH SUITE 400
 COLUMBIA, MARYLAND

ROAD PROFILES

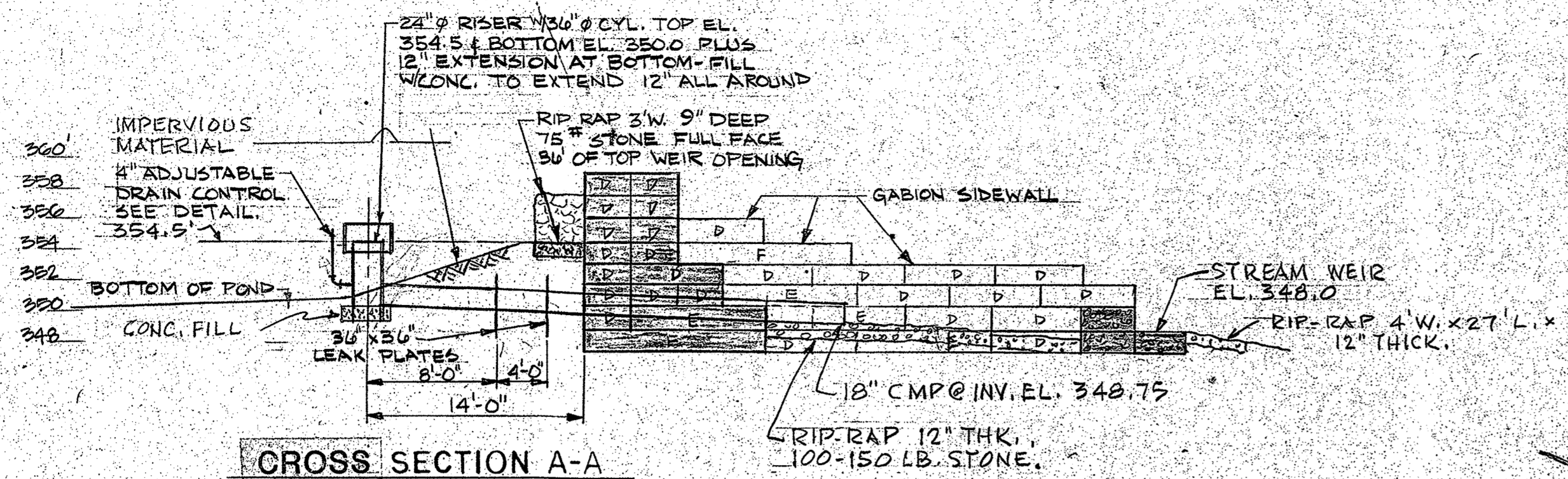
**CENTENNIAL PARK
 PHASE ONE - ANNAPOLIS ROAD AREA**

DATE	MARCH 6, 1981	REVISIONS:	22
SCALE	1" = 50'-0"	REVISED SITE DEVELOPMENT	13
DRAWN	M.R.H.	PLANS: 6/15/23	14
CHECKED	F.H.F.		

SDP-81-12

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. S6848
 EXPIRATION DATE 12/16/2024

PURPOSE STATEMENT - 06.18.2023
 THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD



CROSS SECTION A-A

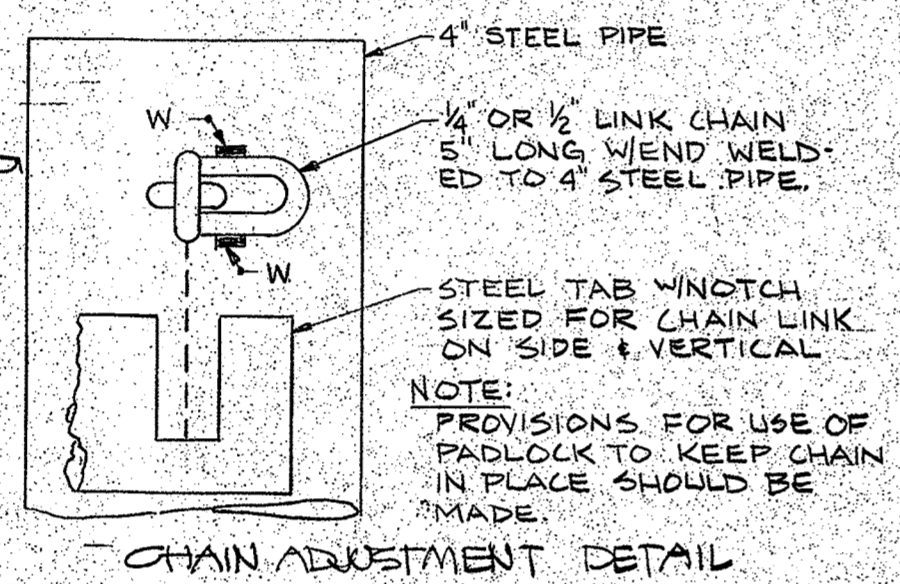
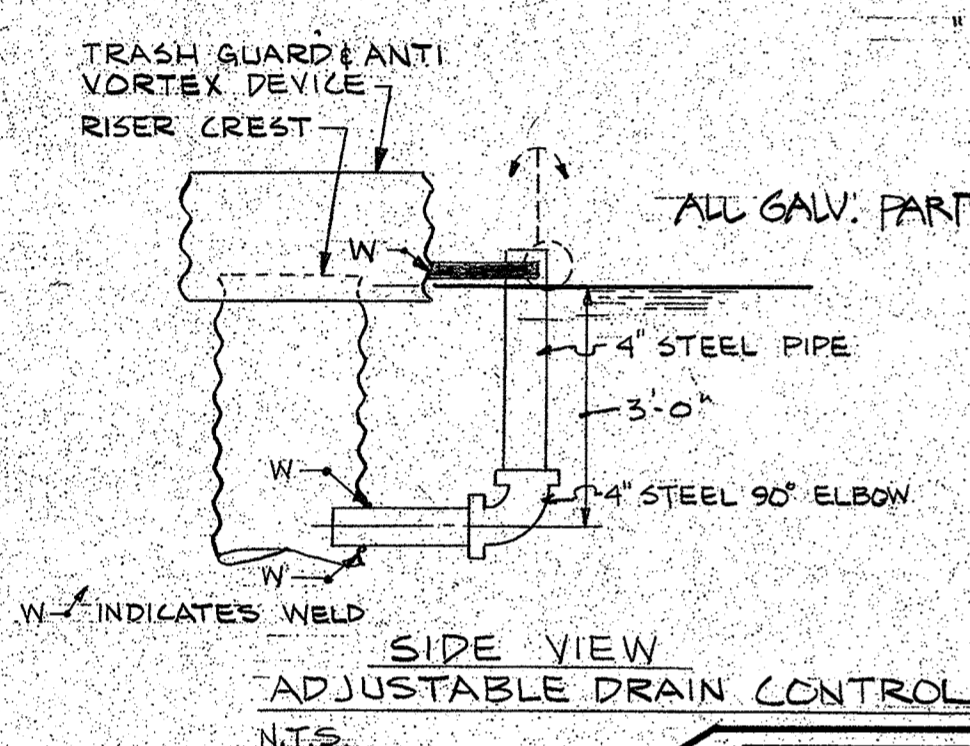
A STUDY POND WEIR

1/8" = 1'-0"

USE GALVANIZED GABIONS AS SUPPLIED BY:
 MYCAFFERRI GABIONS, INC.
 (301) 223-8700
 OR APPROVED EQUAL

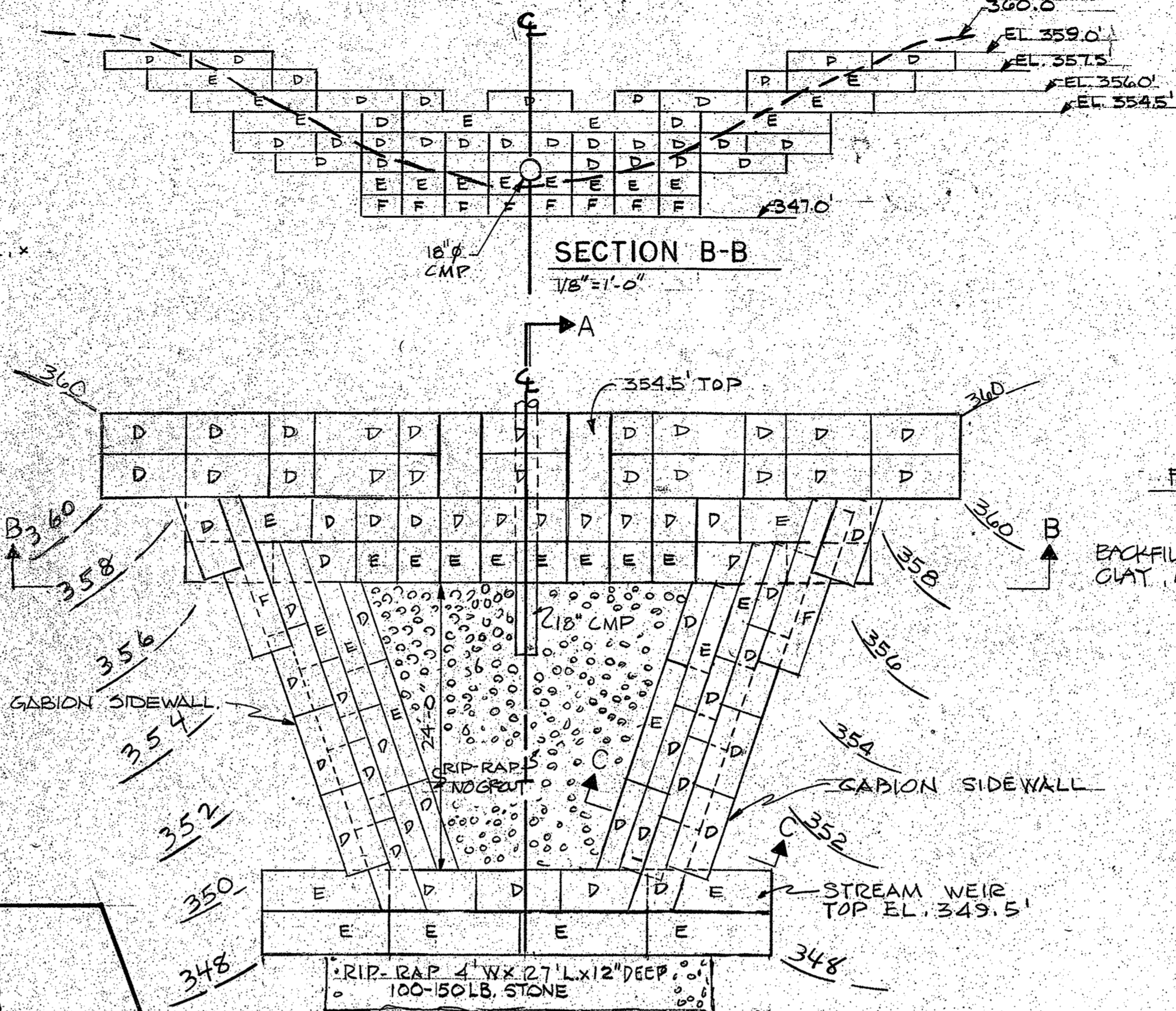
THE FOLLOWING SIZES UTILIZED TO CONSTRUCT THE TWO TYPES OF WEIRS SHOWN ON THE PLANS. INSTALL TO MANUFACTURER'S SPEC'S.

- TYPE D 6' BY 3' BY 18" DEEP
- TYPE E 9' BY 3' BY 18" DEEP
- TYPE F 12' BY 3' BY 18" DEEP



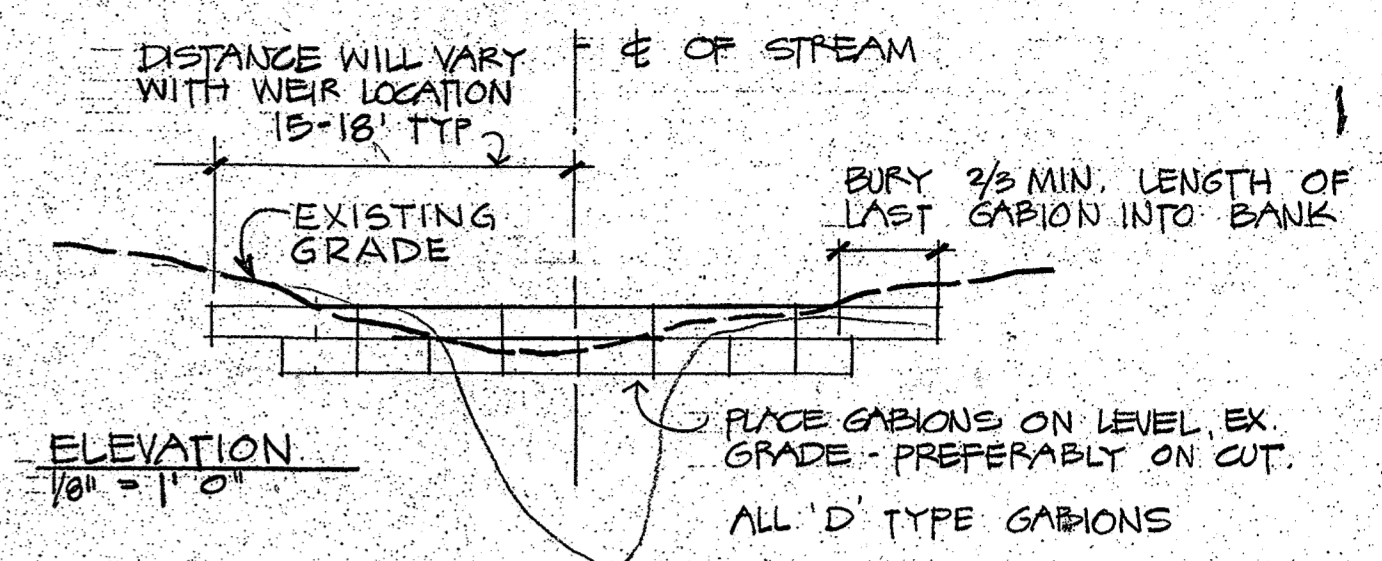
C SECTION C-C

1/8" = 1'-0"



B PLAN STUDY POND WEIR

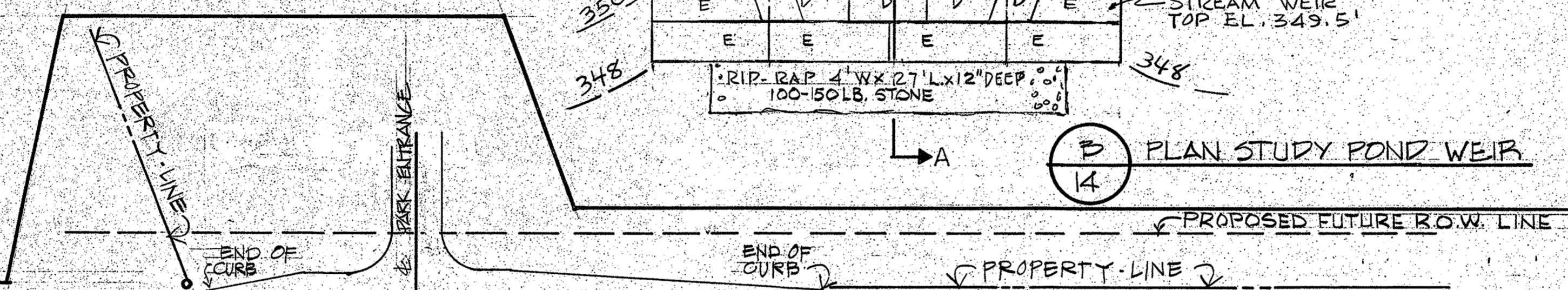
1/8" = 1'-0"



C STREAM WEIR

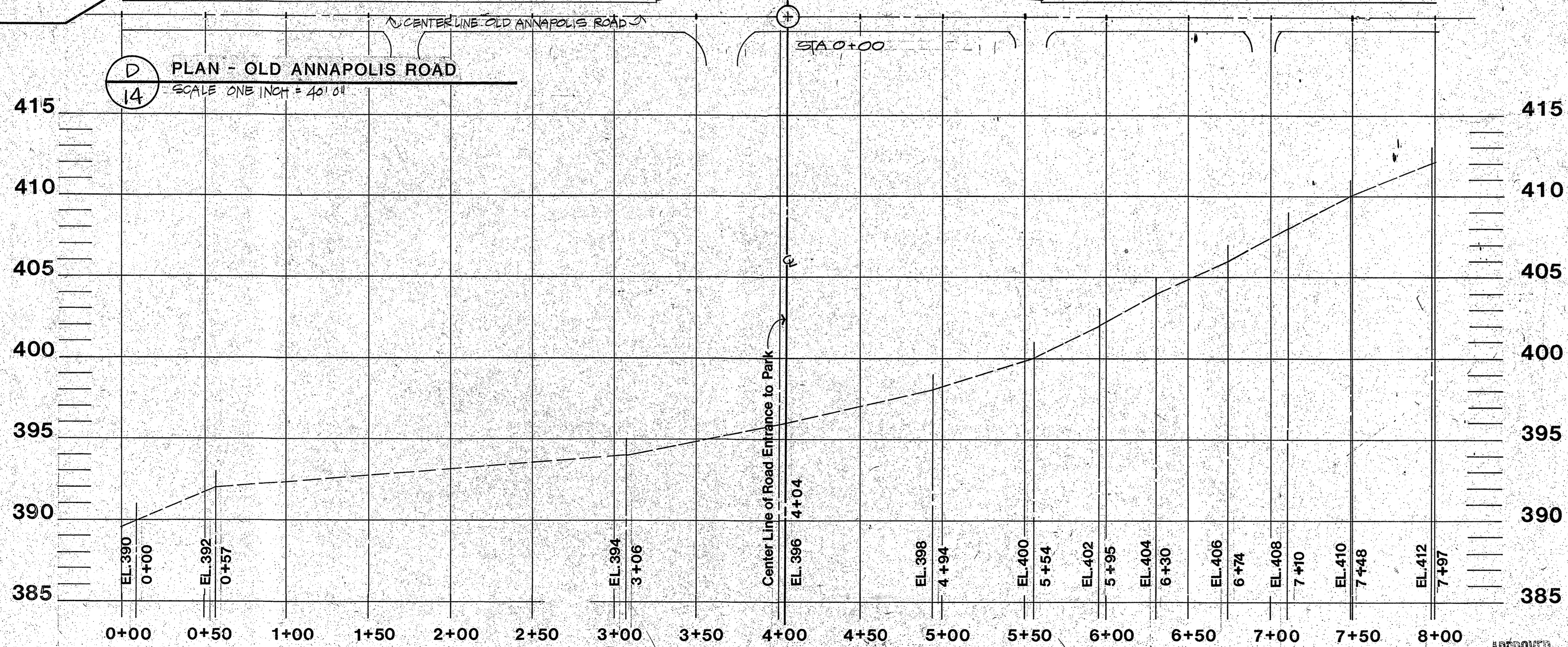
AS SHOWN

NOTE: STONE COLOR WILL BE APPROVED BY OWNER & ARCHITECT PRIOR TO INSTALLATION.



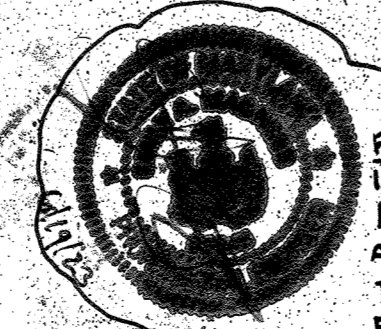
D PLAN - OLD ANNAPOLIS ROAD

SCALE ONE INCH = 40' 0"



E PROFILE (EXIST.) - OLD ANNAPOLIS ROAD

SCALE HORIZONTAL - ONE INCH = 40' 0"
 VERTICAL - ONE INCH = 4' 0"



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 56398 EXPIRATION DATE 12/16/2024

PURPOSE STATEMENT - 06.15.2023
 THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD

APPROVED
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 4-13-21

APPROVED: For public Water, Public Sewerage and Storm Drainage Systems and Roads
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Director: *William F. Neuman* DATE: 4-20-21
 Chief, Bureau of Engineering: *William S. Reilly* DATE: 4/20/21

APPROVED: For public Water and Public Sewerage Systems
 HOWARD COUNTY HEALTH DEPARTMENT
 County Health Officer: *James M. O'Donnell, M.D.* DATE: 4-20-21

APPROVED: Howard County Office of Planning and Zoning
 Planning Director: *John J. ...* DATE: 4-20-21
 Chief, Division of Land Development & Zoning Admin: *...* DATE: 4-20-21

Howard County, Md., Dept. of Public Works for the Dept. of Rec. and Parks, 3430 Court House Drive, Ellicott City, Maryland
 Election District No. 2 Howard Co., Md.
 Tax Map No. 30
 Liber 885 Folio 76, Parcel 10, 43.18 ac.
 Liber 507 Folio 437, Parcel 278, 6145 ac.
 Adjacent Property Owners:
 East: John T. Mason, Jr., Liber 276 Folio 575, Parcel 86
 West: Roland D. Zaiser, Et Al Liber 831, Folio 321, Parcel 160

LD LAND DESIGN / RESEARCH, INC.
 ONE MALL NORTH SUITE 400
 COLUMBIA, MARYLAND
 ROAD PROFILE & SEDIMENT, EROSION CONTROL DETAIL

CENTENNIAL PARK PHASE ONE - ANNAPOLIS ROAD AREA

DATE	MARCH 6, 2021	REVISIONS:	14
SCALE	AS NOTED	REVISED SITE DEVELOPMENT PLAN - 6/18/23	13
DRAWN	FZ		12
CHECKED	JFE		11

SDP-81-126

These specifications are appropriate to ponds within the scope of the Standard for practice 376.

I. SITE PREPARATION

Areas under the borrow areas, embankment, and structural works shall be cleared, grubbed and the topsoil stripped to remove all trees, vegetation, roots or other objectionable material. Channel banks and sharp breaks shall be sloped to no steeper than 1:1.

Areas covered by the pond or reservoir will be cleared of all trees, brush, logs, fences, rubbish and other objectionable material unless otherwise designated on the plans. Trees, brush and stumps shall be cut approximately level with the ground surface.

All cleared and grubbed material shall be disposed of outside the limits of the dam and reservoir as directed by the owner or his representative. When specified, a sufficient quantity of topsoil will be stockpiled in a suitable location for use on the embankment and other designated areas.

II. EARTH FILL

Material

The fill material shall be taken from approved designated borrow area or areas. It shall be free of roots, stumps, wood, rubbish, over-size stones, frozen or other objectionable materials. The embankment shall be constructed to an elevation which provides for anticipated settlement to the design elevation. The fill height all along the length of the embankment shall be increased above the design elevation (including freeboard) as shown on the plans.

Placement

Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill materials shall be placed in 8-inch maximum thickness (before compaction) layers which are to be continuous over the entire length of the fill. The most porous borrow material shall be placed in the downstream portions of the embankment.

Compaction

The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one tread track of the equipment or compaction shall be achieved by a minimum of four complete passes of a sheepfoot, rubber tired or vibratory roller. Fill material shall contain sufficient moisture such that the required degree of compaction can be obtained with the equipment used.

Cutoff Trench

Where specified, a cutoff trench shall be excavated along or parallel to the centerline of the embankment as shown on the plans. The bottom width of the trench shall be governed by the equipment used for excavation, with the minimum width being four feet. The depth shall be at least four feet or as shown on the plans. The side slopes of the trench shall be 1 to 1 or flatter. The backfill material for the cutoff trench shall be the most impervious material available and shall be compacted with equipment or rollers to assure maximum density and minimum permeability.

III. STRUCTURAL BACKFILL

Backfill material shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other compaction equipment. The material needs to fill completely all spaces under and adjacent to the pipe. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall the contractor drive equipment over any part of a concrete structure or pipe unless there is a compacted fill of twenty-four inches or greater over the structure or pipe.

IV. PIPE CONDUITS

A. Corrugated Metal Pipe

- Materials - (Steel Pipe) - This pipe and its appurtenances shall be galvanized and fully bituminous coated and shall conform to the requirements of AASHTO Specification M-190 Type A with watertight coupling bands. Any bituminous coating damaged or otherwise removed shall be replaced with cold applied bituminous coating compound.
- Connections - All connections with pipes must be completely watertight. The drain pipe or barrel connection to the riser shall be welded all around when the pipe and riser are metal. Watertight coupling bands shall be used at all joints. Anti-seep collars shall be connected to the pipe in such a manner as to be completely watertight. DIMPLED BANDS ARE NOT ACCEPTABLE.
- Bedding - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.
- Laying pipe - The pipe shall be placed with inside circumferential laps pointing downstream and with the longitudinal laps at the sides.
- Backfilling shall conform to structural backfill as shown above.
- Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

V. CONCRETE

1. Materials

- Cement - Normal Portland cement shall conform to the latest ASTM Specification C-150.
- Water - The water used in concrete shall be clean, free from oil, acid, alkali, scales, organic matter or other objectionable substances.
- Sand - The sand used in concrete shall be clean, hard, strong and durable, and shall be well graded with 100 percent passing a one-quarter inch sieve. Limestone sand shall not be used.
- Coarse Aggregate - The coarse aggregate shall be clean, hard, strong and durable, and free from clay or dirt. It shall be well graded with a maximum size of one and one-half (1-1/2) inches.
- Reinforcing Steel - The reinforcing steel shall be deformed bars of intermediate grade billet steel or rail steel conforming to ASTM Specification A-615.

- Design Mix - The concrete shall be mixed in the following proportions, measured by weight. The water-cement ratio shall be 5-1/2 to 6 U. S. gallons of water per 94 pound bag of cement. The proportion of materials for the trial mix shall be 1:2:3-1/2. The combination of aggregates may be adjusted to produce a plastic and workable mix that will not produce harshness in placing or honeycombing in the structure.
- Mixing - The concrete ingredients shall be mixed in batch mixers until the mixture is homogeneous and of uniform consistency. The mixing of each batch shall continue for not less than one and one-half minutes after all the ingredients, except the full amount of water, are in the mixer. The minimum mixing time is predicted on proper control of the speed of rotation of the mixer and of the introduction of the materials, including water, into the mixer. Water shall be added prior to, during, and following the mixer-charging operations. Excessive overmixing requiring the addition of water to preserve the required concrete consistency shall not be permitted. Truck mixing will be allowed provided that the use of this method shall cause no violation of any applicable provisions of the specifications given here.

- Forms - The forms shall have sufficient strength and rigidity to hold the concrete and to withstand the necessary pressure, tamping, and vibration without deflection from the prescribed lines. They shall be mortar-tight and constructed so that they can be removed without hammering or prying against the concrete.

The inside of forms shall be oiled with a non-staining mineral oil or thoroughly wetted before concrete is placed.

Forms may be removed 24 hours after the placement of concrete. All wire ties and other devices used shall be recessed from the surface of the concrete.

- Reinforcing Steel - All reinforcing material shall be free of dirt, rust, scale, oil, paint or any other coatings. The steel shall be accurately placed and securely tied and blocked into position so that no movement of the steel will occur during placement of concrete.
- Consolidating - Concrete shall be consolidated with internal type mechanical vibrators. Vibration shall be supplemented by spading and hand tamping as necessary to insure smooth and dense concrete along form surfaces, in corners, and around embedded items.
- Finishing - Defective concrete, honeycombed areas, voids left by the removal of tie rods, ridges on all concrete surfaces permanently exposed to view or exposed to water on the finished structure, shall be repaired immediately after the removal of forms. All voids shall be reamed and completely filled with dry-patching mortar.
- Protection and Curing - Exposed surfaces of concrete shall be protected from the direct rays of the sun for at least the first three days. All concrete shall be kept continuously moist for at least ten (10) days after being placed. Moisture may be applied by spraying or sprinkling as necessary to prevent the concrete from drying. Concrete shall not be exposed to freezing during the curing period. Curing compounds may also be used.
- Placing Temperature - Concrete may not be placed at temperatures below 37°F. with the temperature falling, or 34°F. with the temperature rising.

VI. STABILIZATION

All borrow areas shall be graded to provide proper drainage and left in a slightly condition. All exposed surfaces of the embankment, spillway, spoil and borrow areas, and berms shall be stabilized by seeding, fertilizing and mulching (if required) in accordance with the vegetative treatment specifications shown on or accompanying the drawings.

SOIL EROSION AND SEDIMENT CONTROL NOTES

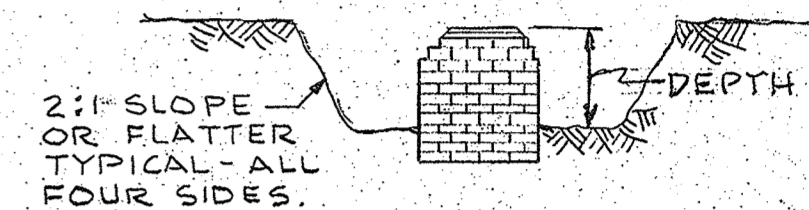
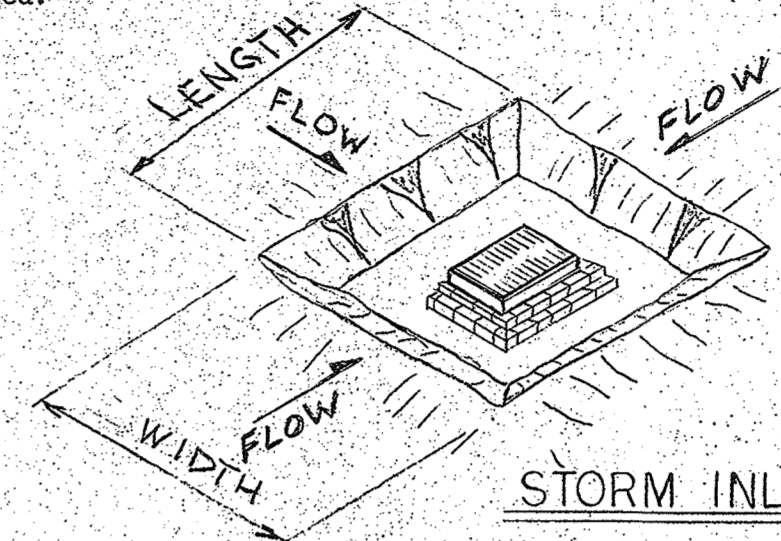
- All soil erosion and sediment control measures shall be constructed prior to any grading of the site.
- All sediment control measures shall remain in place until permission for their removal has been obtained from the Howard County Department of Inspections & Permits. Phone: 992-2436.
- Notify the Howard County Department of Inspections & Permits, at least 24 hours prior to beginning of any work.
- All sediment control measures shall conform to the standards and specifications in urbanizing areas and as shown and detailed on these plans.
- Continued inspection & maintenance shall be the responsibility of the Contractor.
- Seed or sod all exposed soil in grassed areas within 72 hours of grading to finished grade in accordance with H.S.C.D. standards and specifications. Lay base course in paved areas or protect with bituminous mulch or other methods approved by the Engineer within 72 hours of fine grading.
- Temporary seeding:
 - Ground Limestone - 3500 lbs./ac. worked into top 3" of soil.
 - Fertilizer - 600 lbs./ac. of 10-20-10.
 - Mulch - 4000 lbs./ac. at the rate of 92 lbs. per 1000 sq. ft.
 - Seed - 40 lbs./ac. rye grass.
 - Binder - Asphalt at the rate of 8 gal./1000 sq. ft. per state roads commission specification section 36-05-3, page 479.
 - Alternate - Hydrosed-fertilizer seed & mulch using coned hydromulch with terra tack binder or approved equal with applicable notes according to the manufacturers specifications.
- Permanent seeding mixtures. See Specs, Section I-1.

SEQUENCE OF CONSTRUCTION

- The Contractor shall obtain grading permit.
- The Contractor shall construct and maintain all soil erosion and sediment control structures prior to any site grading.
- Proceed with site grading and construction of storm water drain piping, channels and structures as shown on the contract drawings.
- As various areas are brought to final grade, place top soil sod/seed grassed areas in conformity with contract drawings and sediment control notes.
- Construct potable water line as shown on the contract plans.
- Construct tennis and multi-use courts.
- Construct road, parking areas and jogging paths.
- Upon completion of fine grading and stabilization of the site, all stone outlet sediment traps and perimeter dikes shall be filled flush with finished grade.
- Sanitary sewer line in pond area must be constructed prior to any work in the pond area, see Profile - Sanitary on Sheet 12.
- The only areas to be cleared shall be where sed. control is present.

INLET SEDIMENT NOTES

- Sediment shall be removed & trap restored to its original dimensions when the sediment has accumulated to the design depth of the trap removed. Sediment shall be deposited in a suitable area & in such a manner that it will not erode.
- The trap & dike structures shall be inspected after each rain and repairs made as needed.
- The trap & dike shall be removed & area stabilized when the remaining drainage area has been properly stabilized.



STORM INLET SEDIMENT TRAP NOTES

INLET	LENGTH	WIDTH	DEPTH
I-4	20'	20'	3'-0"
I-6	20'	20'	1'-6"
I-11	20'	40'	2'-0"

APPROVED: For public Water, Public Sewerage and Storm Drainage Systems and Roads

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

Ray F. Nunn
DIRECTOR
DATE 4-20-81

Orlando J. Rain
CHIEF, BUREAU OF ENGINEERING
DATE 4/20/81

APPROVED: For public Water and Public Sewerage Systems

HOWARD COUNTY HEALTH DEPARTMENT

James M. Powell, M.D., P.F.W.
COUNTY HEALTH OFFICER
DATE 4-20-81

APPROVED: Howard County Office of Planning and Zoning

Donald H. Harnish
PLANNING DIRECTOR
DATE 4-20-81

John M. ...
CHIEF, DIVISION OF LAND DEVELOPMENT & ZONING ADMIN.
DATE 4-20-81



Howard County, Md., Dept. of Public Works for the Dept. of Rec. and Parks, 3430 Court House Drive, Ellicott City, Maryland
Election District No. 2 Howard Co., Md.
Tax Map No. 30
Liber 885 Folio 76, Parcel 10, 43.18 ac.
Liber 507 Folio 437, Parcel 278; 6145 ac.
Adjacent Property Owners:
East: John T. Mason, Jr., Parcel 86
Liber 276 Folio 573, Parcel 86
West: Roland D. Zaiser, Et Al
Liber 831, Folio 321, Parcel 160

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 4-13-81



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 56848
EXPIRATION DATE 12/16/2024

PURPOSE STATEMENT - 06.15.2003
THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD

LD LAND DESIGN / RESEARCH, INC.

ONE MALL NORTH SUITE 400
COLUMBIA, MARYLAND
SEDIMENT, EROSION CONTROL NOTES & MISC. DETAILS

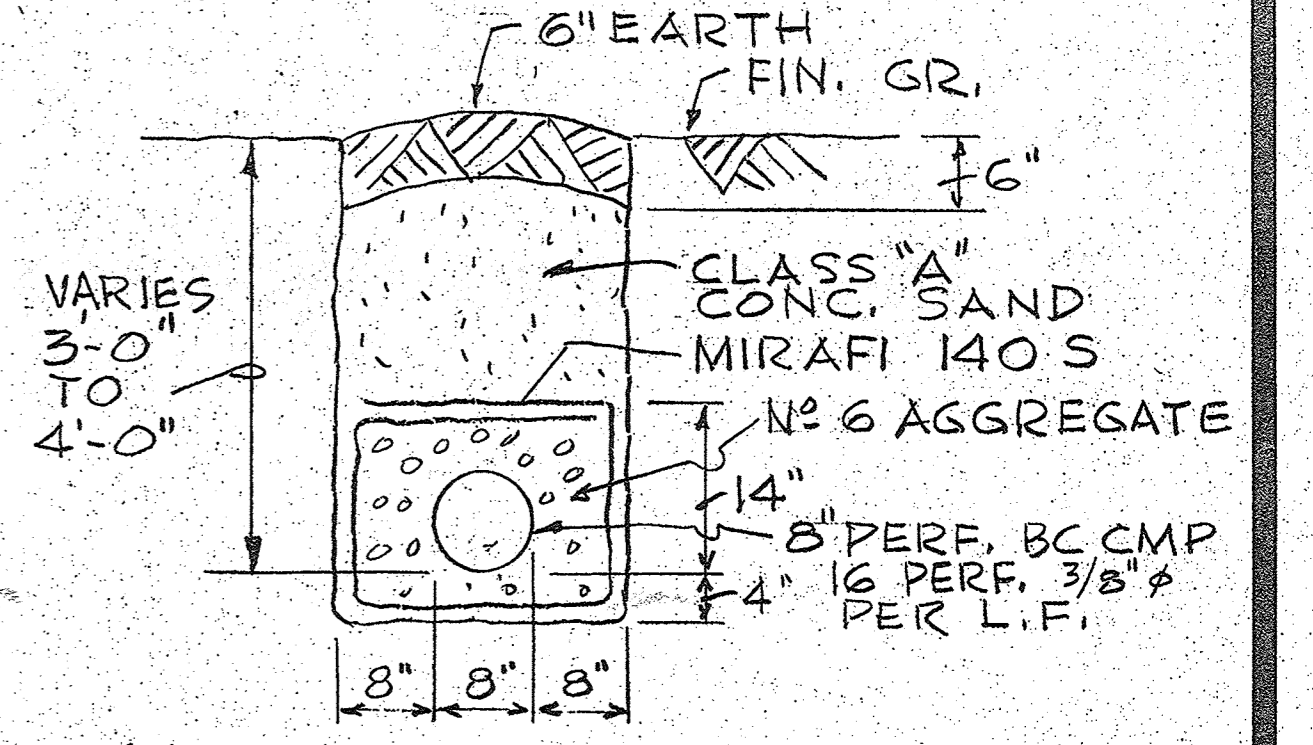
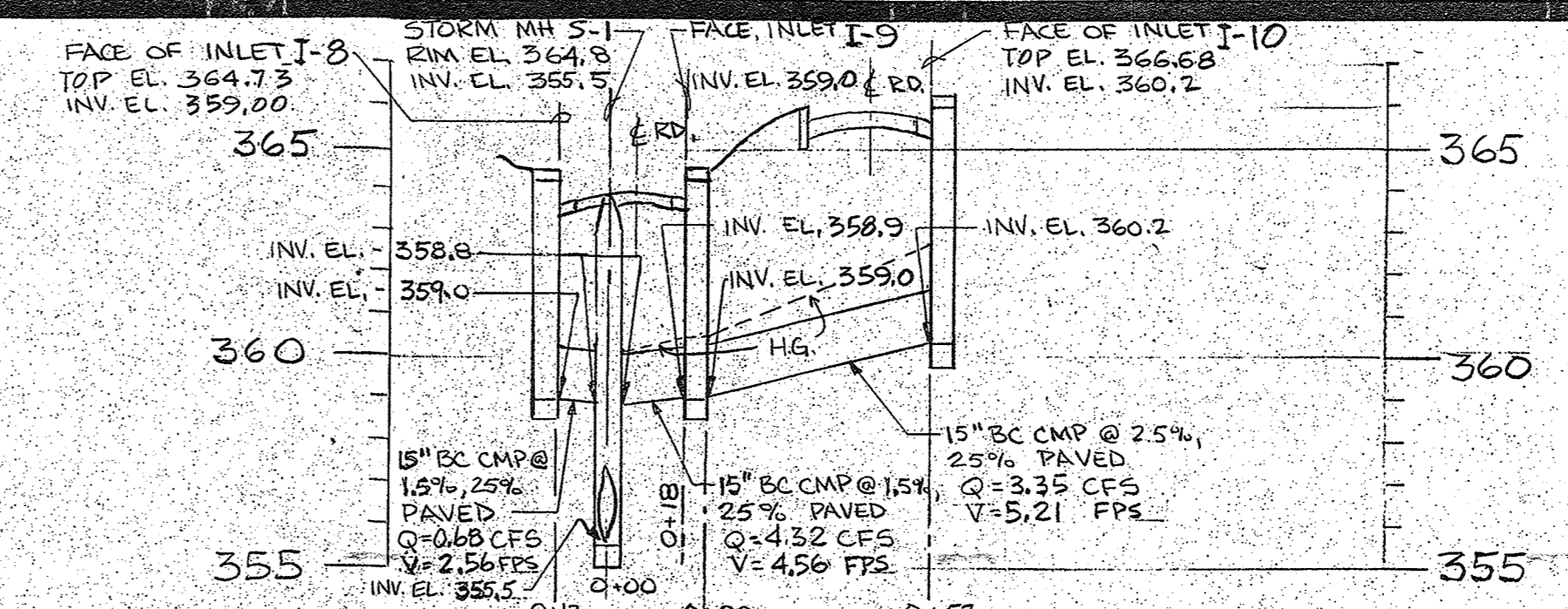
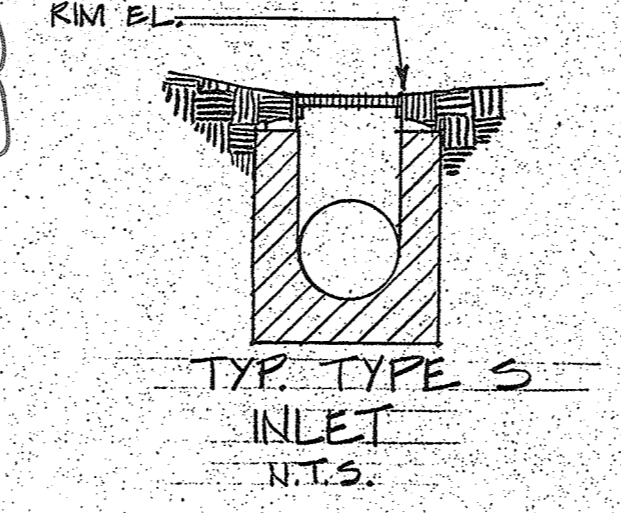
CENTENNIAL PARK
PHASE - ANNAPOLIS ROAD AREA

DATE	REVISIONS:
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SCALE: AS NOTED	
DRAWN: F.Z.	
CHECKED: FF	

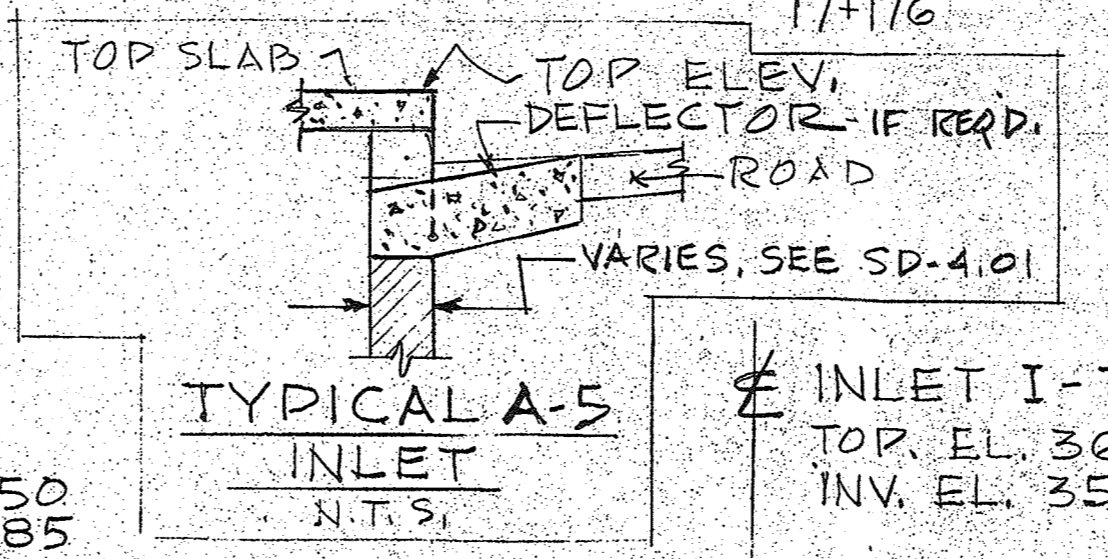
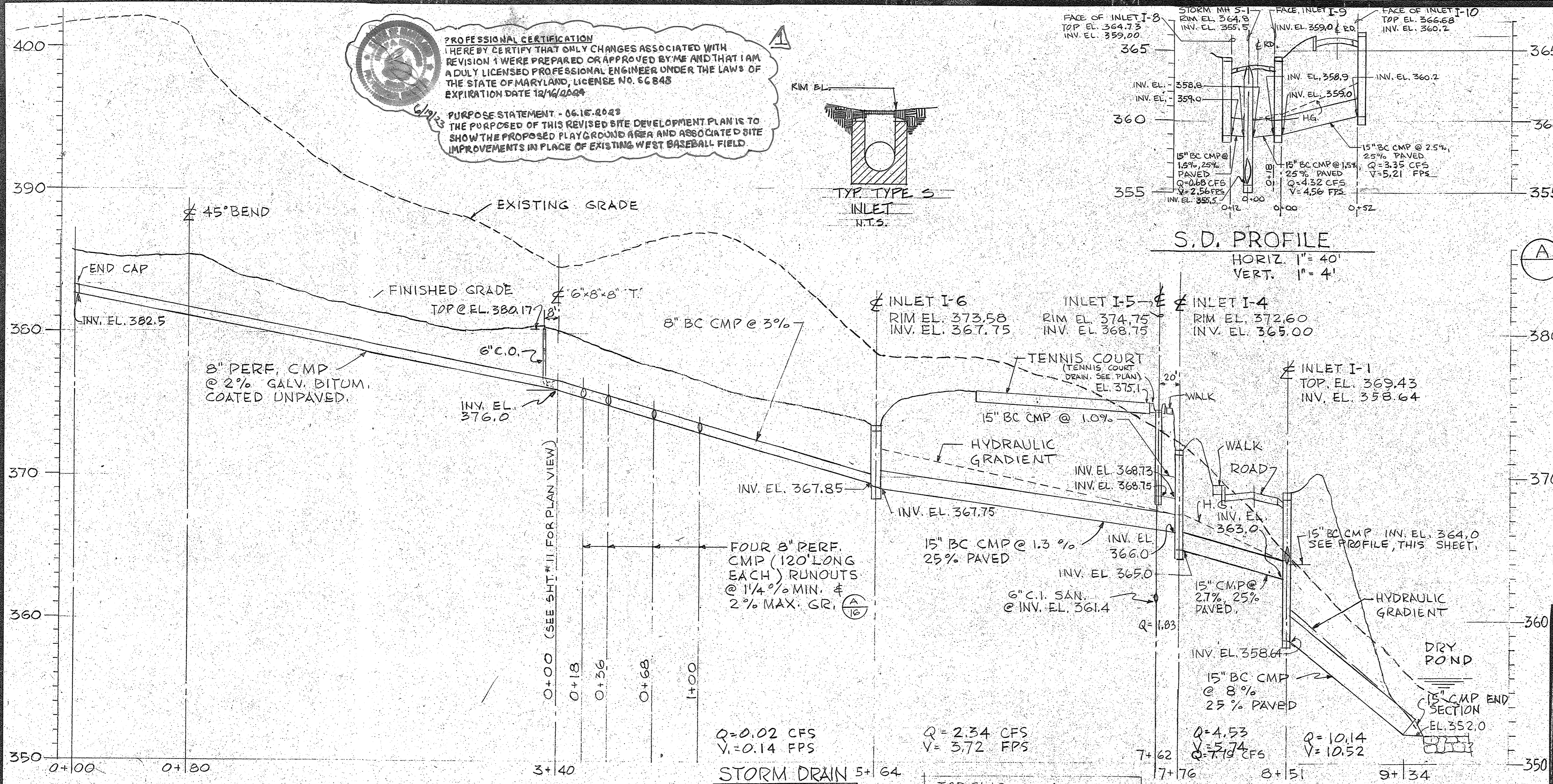
15
04/24/81
16426

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 6C 848 EXPIRATION DATE 12/16/2024

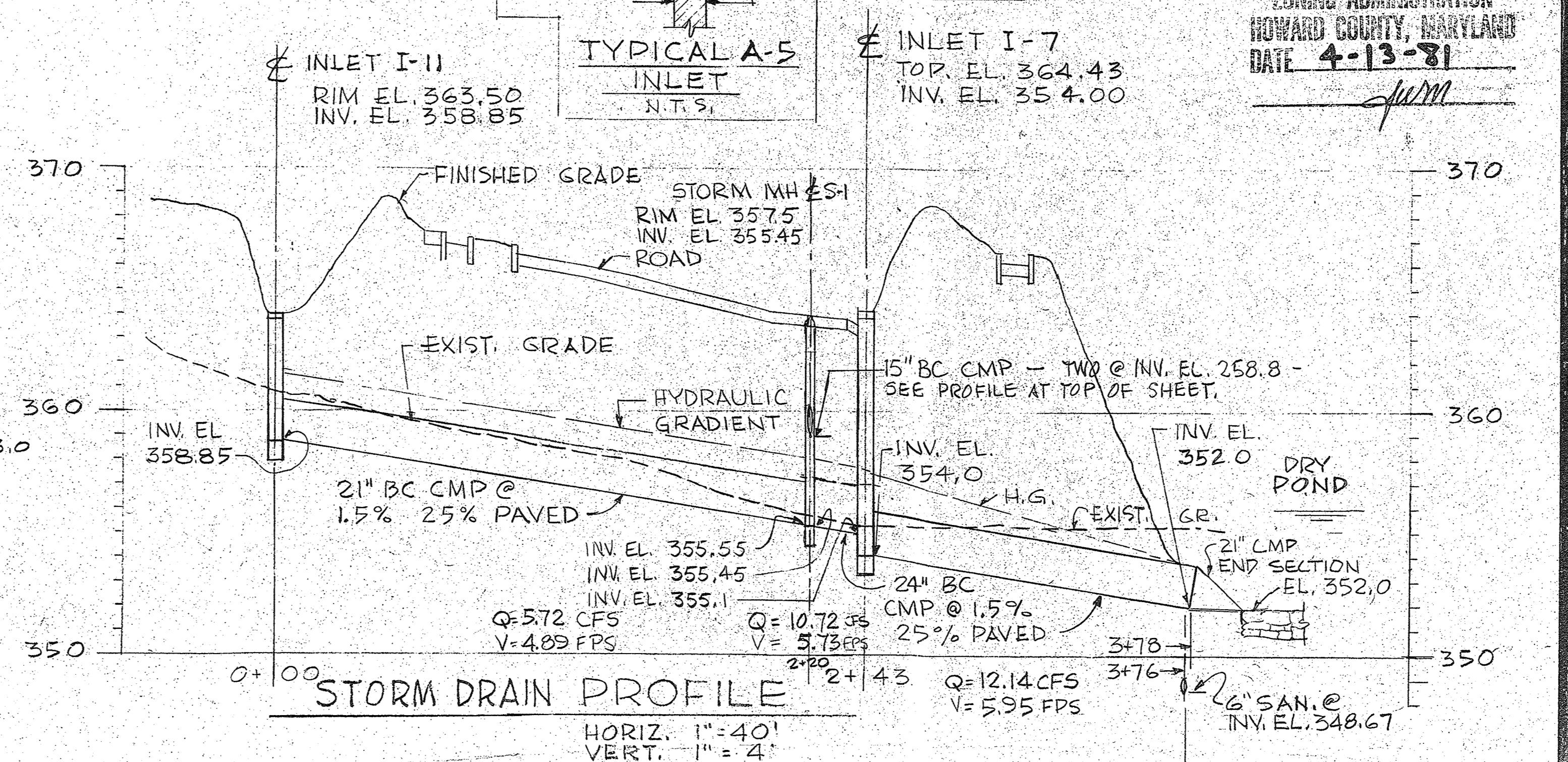
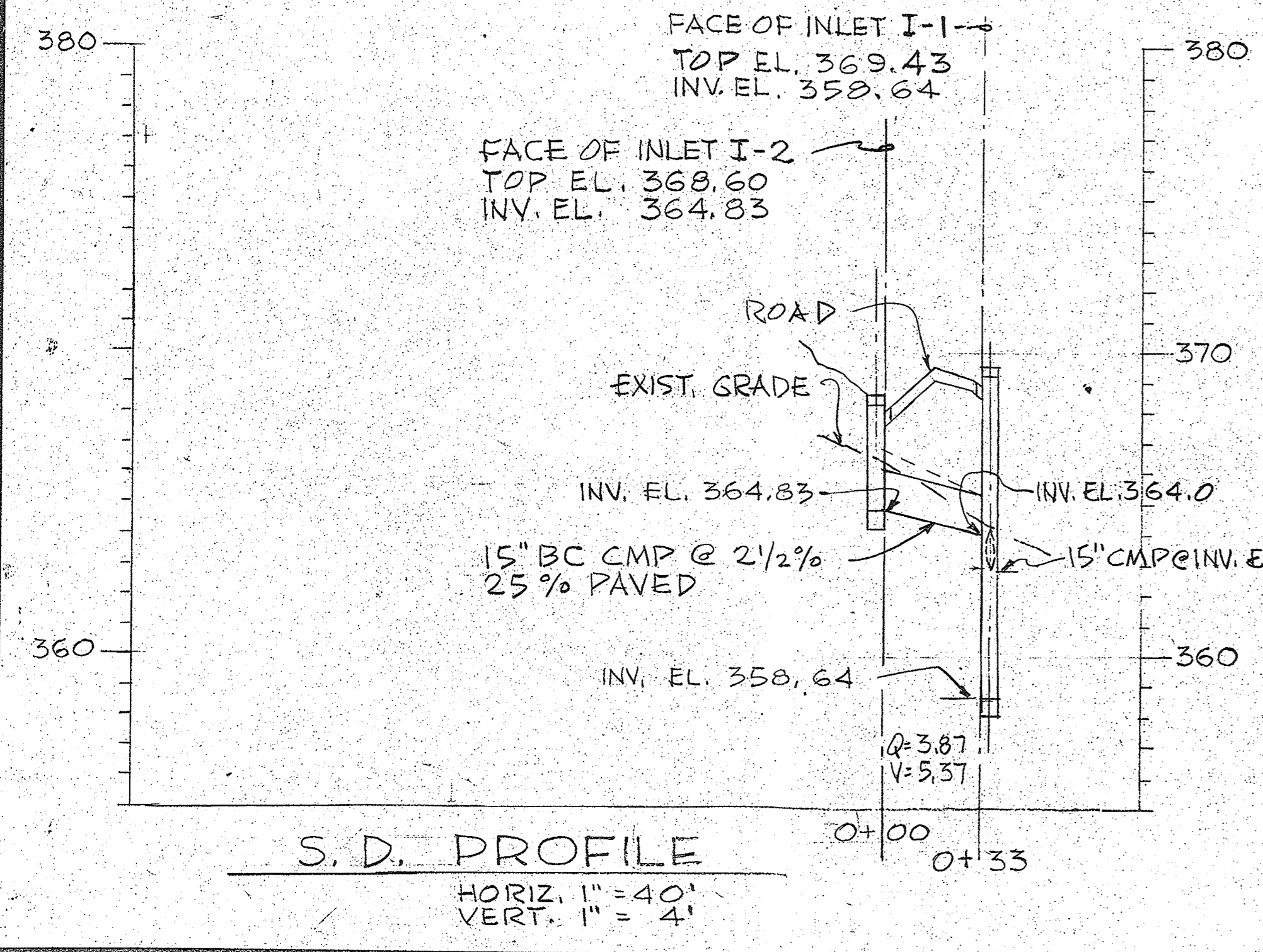
PURPOSE STATEMENT - 06.16.2023
 THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD



NO. *	DESCRIPTION
1	HO. CO. MD. D.P.W. STD. SD-4.01 TYPE 'A-5' INLET
1A	SAME AS 1, PLUS INLET DEFLECTORS H.C. STD. S.D. 4.83
2	HO. CO. MD. D.P.W. STD. SD-4.22 TYPE 'S' INLET W/ REPLACEMENT GRATE SD-4.93. APP'D. 10.8.80.
3	HO. CO. MD. D.P.W. STD. SD-4.23 DOUBLE TYPE 'S' INLET W/ REPLACEMENT GRATES SD-4.93. APP'D. 10.8.80.
4	SAME AS NO. 3, BUT TWO REQ'D. IN TANDEM.
S-1	MD. SRC STD. DROP MANHOLE. STD. NO. MD.-383.11 W/ STD. MD.-383.31 FRAME & MD.-383.32 COVER.
* SEE STORM DRAIN STRUCTURE SCHEDULE ON SHEET 11.	
5	HO. CO. MD. D.P.W. STD. SD-4.02 TYPE 'A-10' INLET



APPROVED
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 4-13-81



APPROVED: For public Water, Public Sewerage and Storm Drainage Systems and Roads
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: [Signature] DATE: 4-21-81
 CHIEF, BUREAU OF ENGINEERING: [Signature] DATE: 4/20/81

APPROVED: For public Sewerage Systems Water and Public
 HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: [Signature] DATE: 4-20-81

APPROVED: Howard County Office of Planning and Zoning
 PLANNING DIRECTOR: [Signature] DATE: 4-20-81
 CHIEF, DIVISION OF LAND DEVELOPMENT & ZONING ADMIN.: [Signature] DATE: 4-20-81

Howards County, Md., Dept. of Public Works for the Dept. of Rec. and Parks, 3430 Court House Drive, Ellicott City, Maryland
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 Tax Map No. 30
 Liber 885 Folio 76, Parcel 10, 43.18 ac.
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 Adjacent Property Owners
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LD LAND DESIGN / RESEARCH, INC.
 ONE MALL NORTH SUITE 400
 COLUMBIA, MARYLAND

STORM DRAIN PROFILES & SCHEDULE

CENTENNIAL PARK PHASE - ANNAPOLIS ROAD AREA

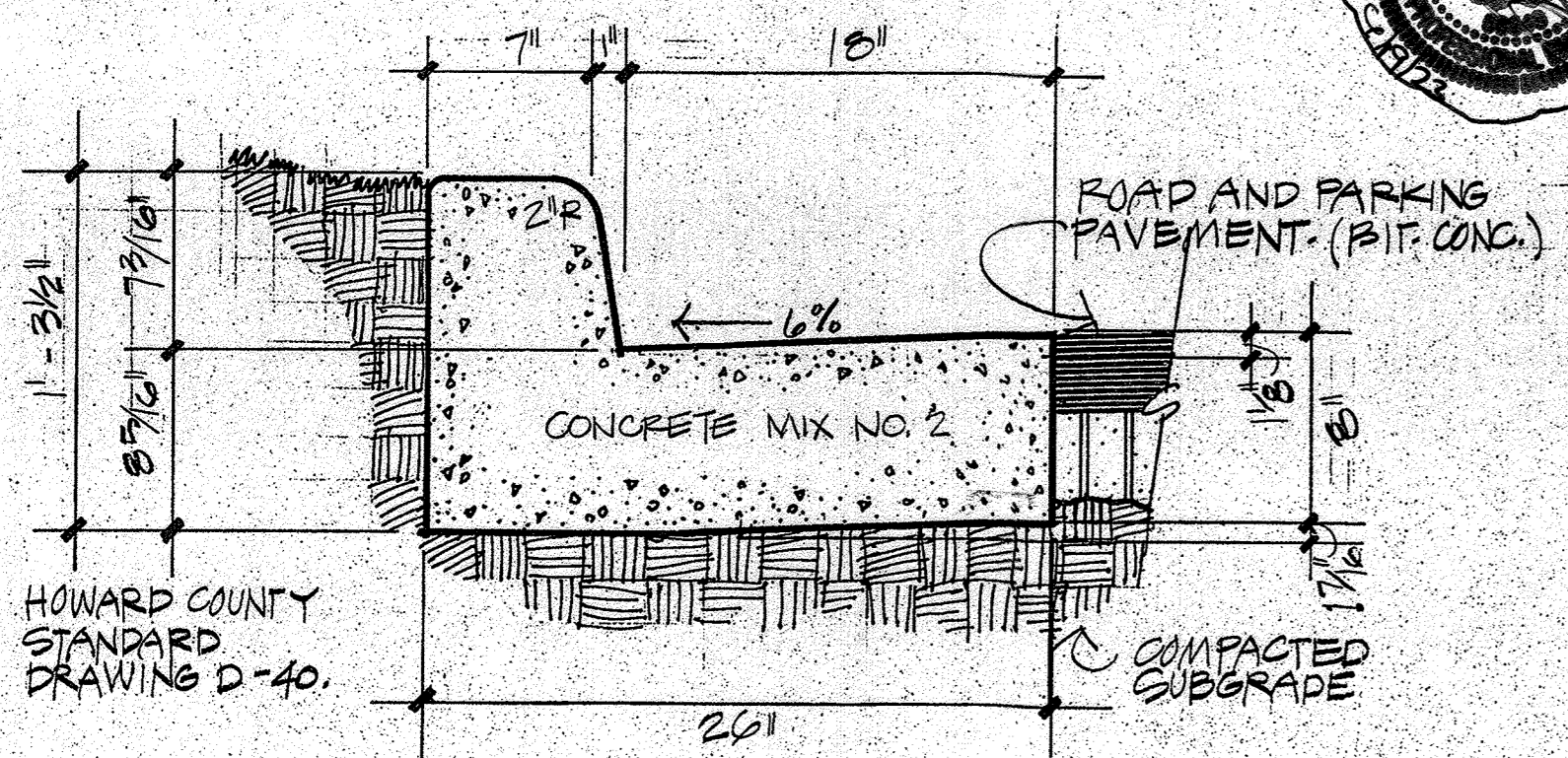
DATE	11/24/81	REVISIONS:	1. REVISED SITE DEVELOPMENT PLAN - 6/16/23
SCALE			
DRAWN			
CHECKED			

16 OF 48

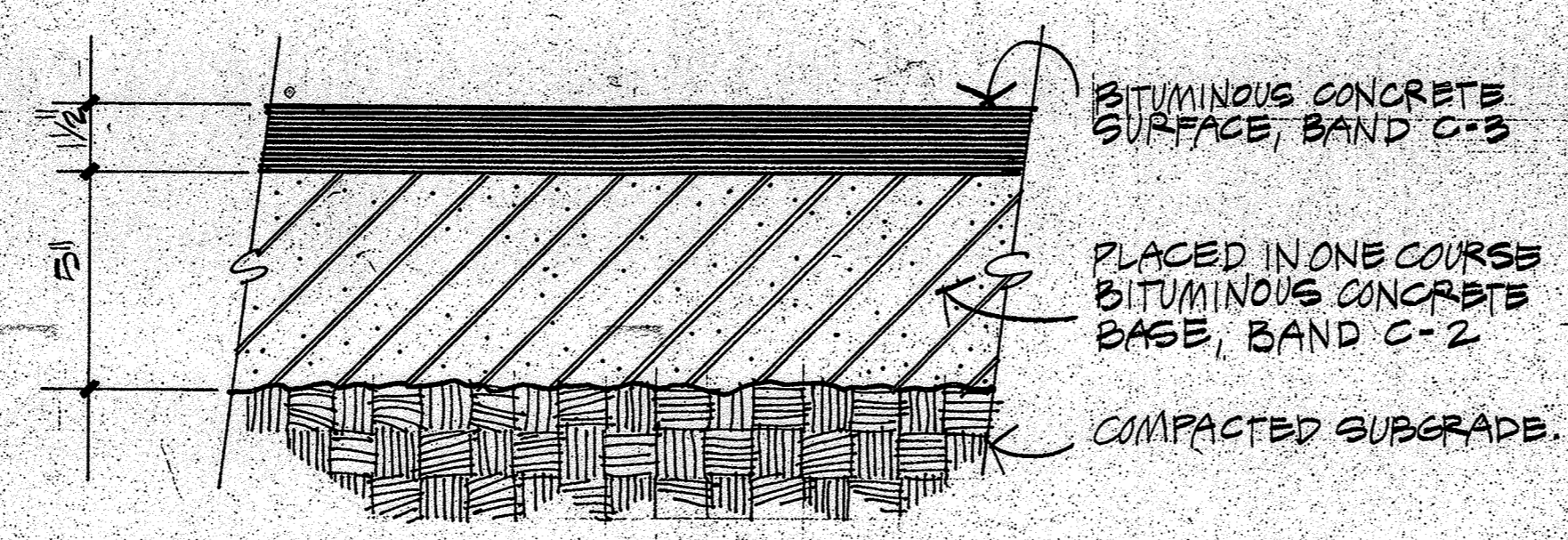


PROFESSIONAL CERTIFICATION
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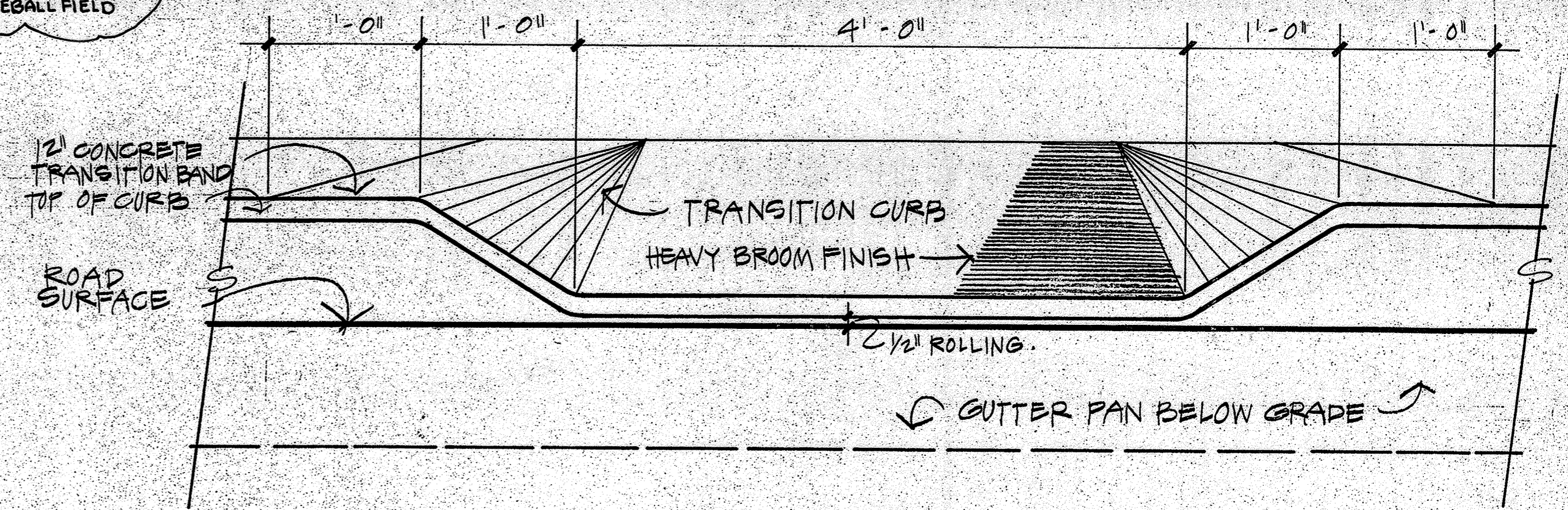
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A STANDARD 7" COMBINATION CURB AND GUTTER
 SCALE 1/2" = ONE FOOT.

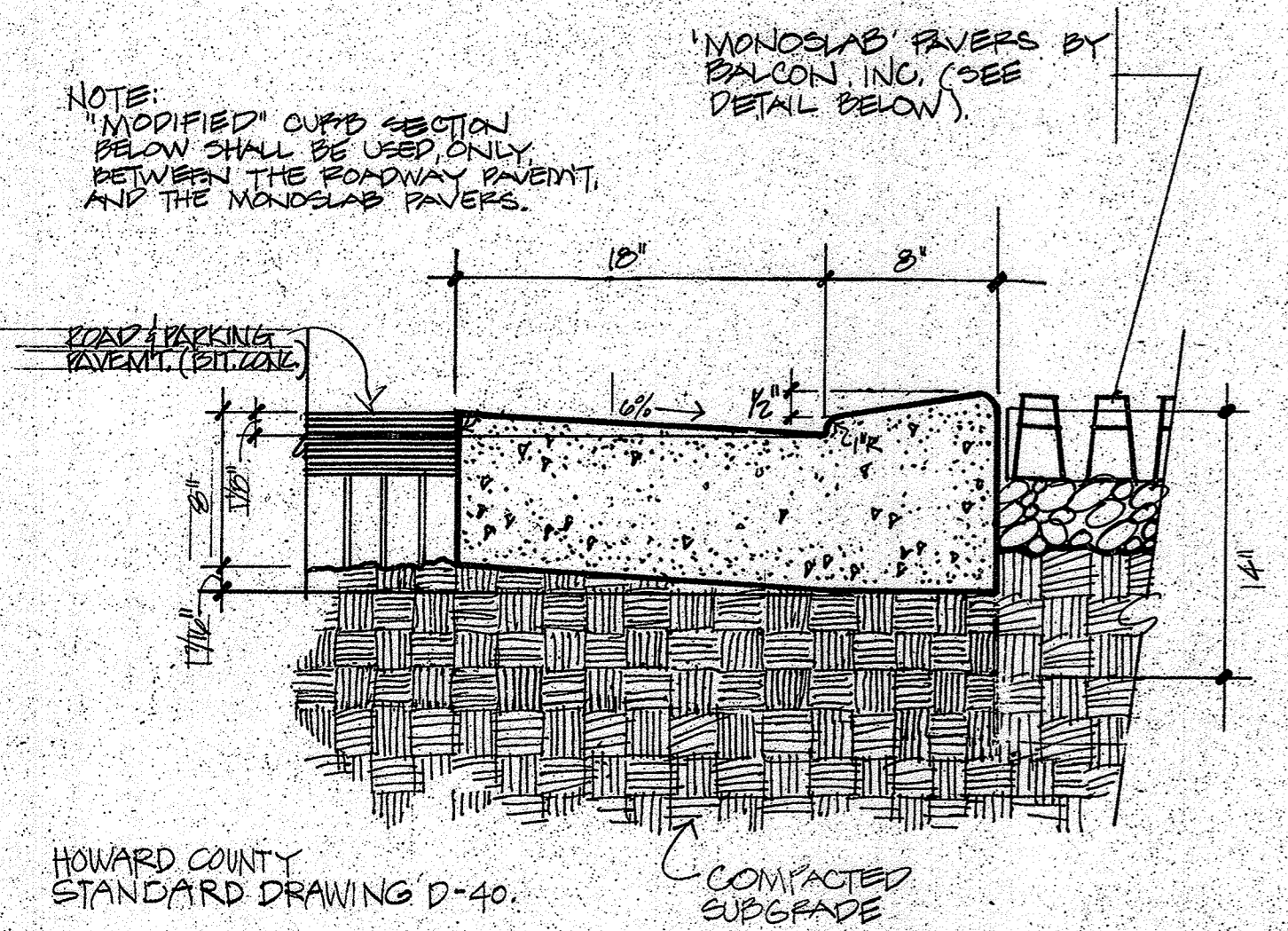


B ROAD AND PARKING LOT PAVEMENT
 NO SCALE:

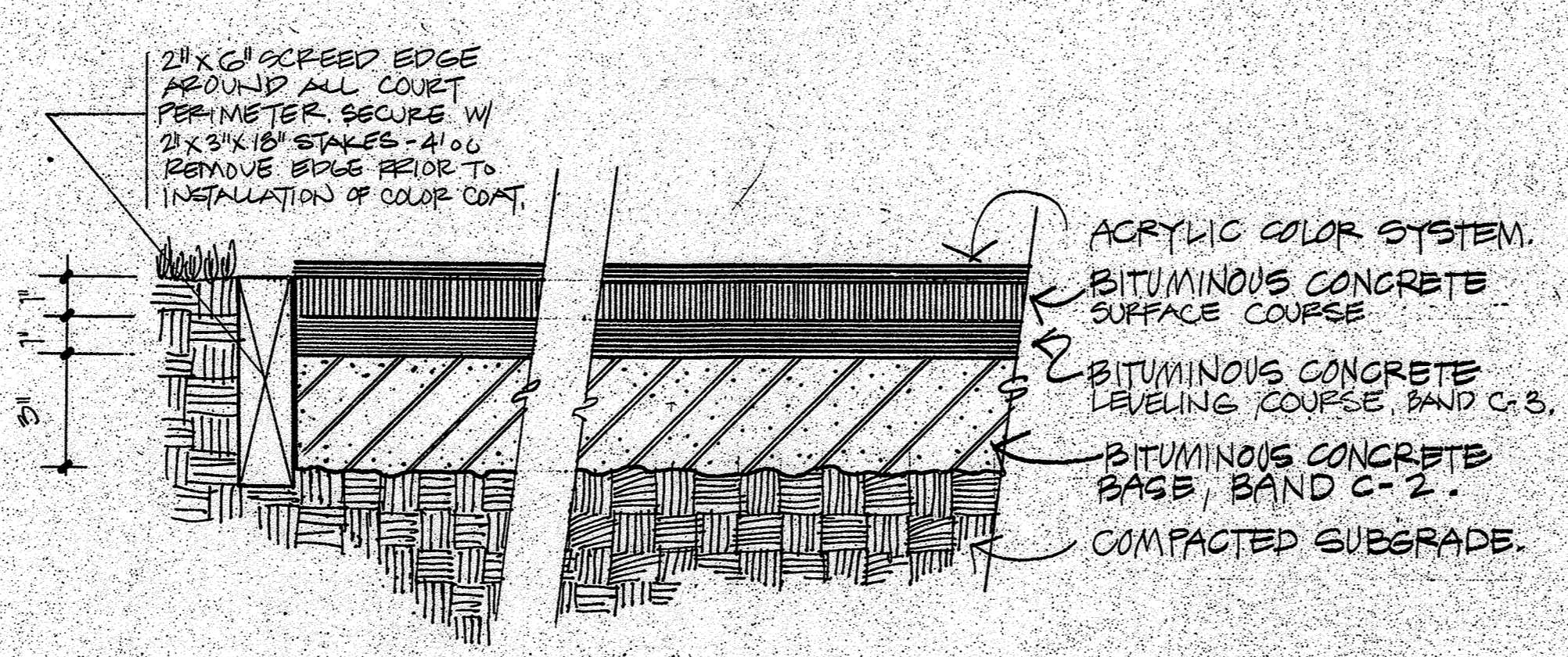


C FRONT ELEVATION HANDICAPPED RAMP
 NO SCALE:

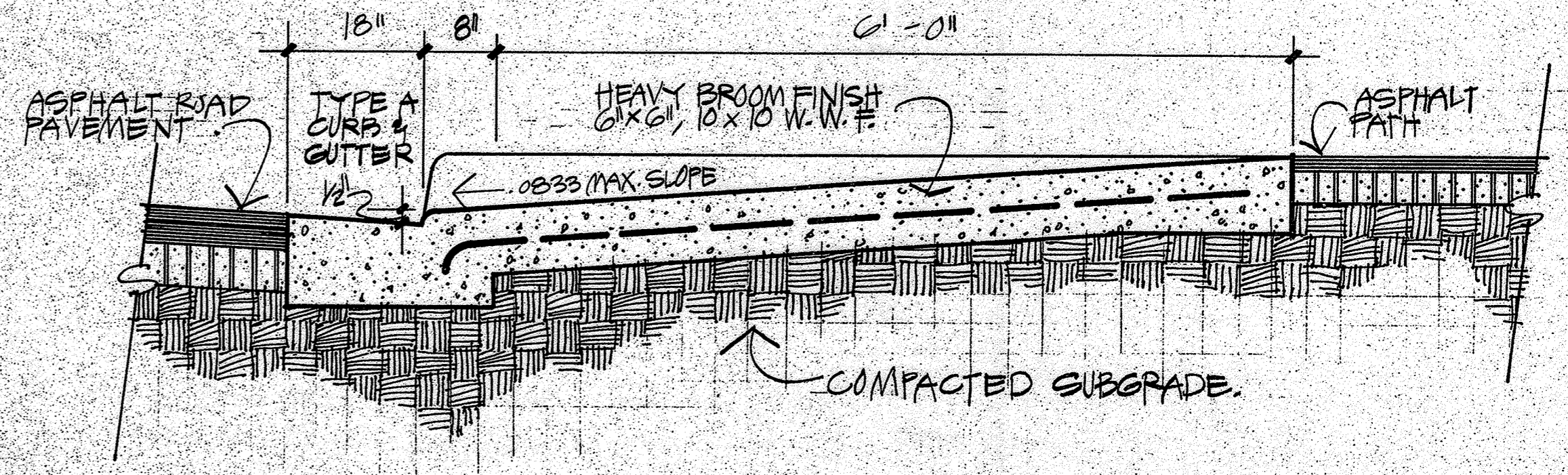
NOTE:
 RAMP AND CURB SHALL BE POURED INTEGRALLY.



D MOUNTABLE COMBINATION CURB AND GUTTER
 NO SCALE:



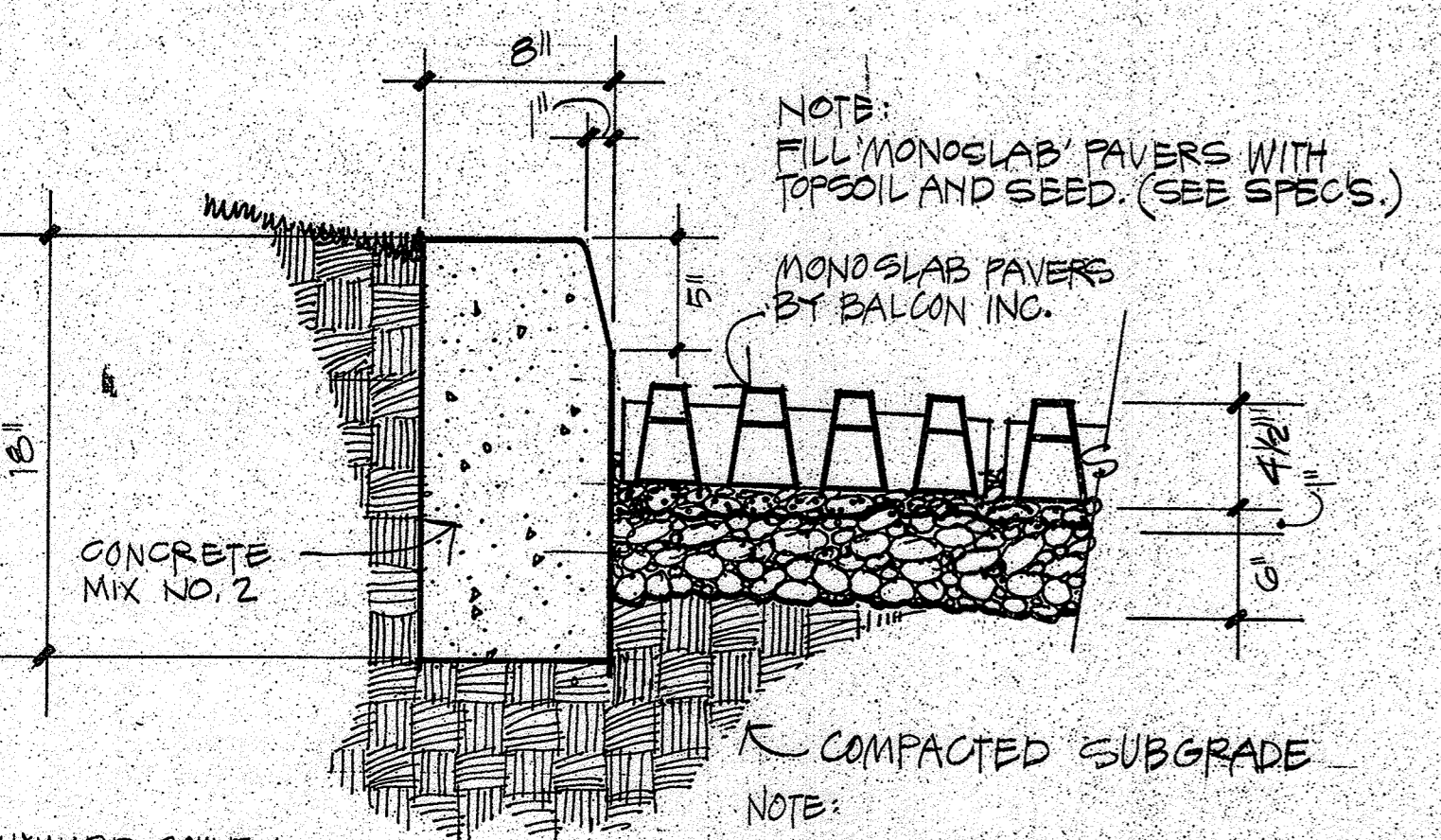
E COURT GAMES PAVEMENT
 NO SCALE



F SECTION HANDICAPPED RAMP
 SCALE 1" = ONE FOOT.

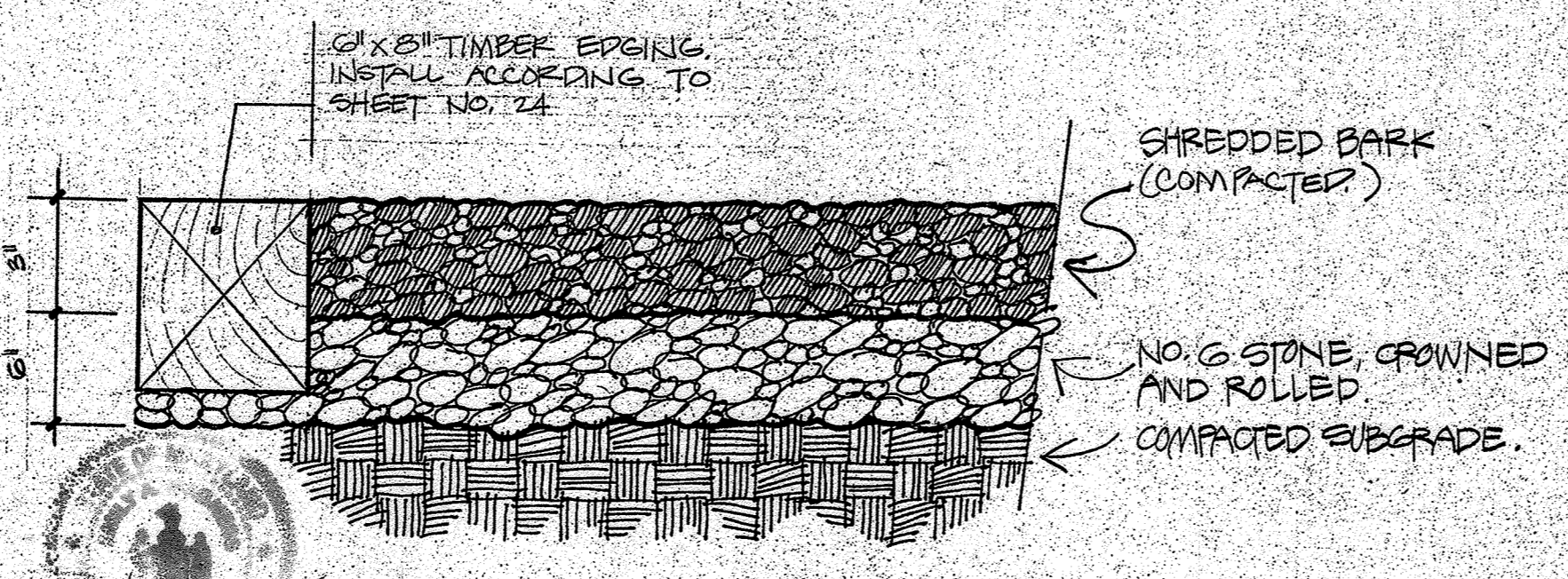
APPROVED
 DIVISION OF LAND DEVELOPMENT &
 ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 4-13-21

APPROVED: For public Water, Public Sewerage and Storm Drainage Systems and Roads	4-20-21
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS <i>John F. Nomin</i> DIRECTOR	DATE
<i>Eric S. Ryan</i> CHIEF, BUREAU OF ENGINEERING	4-20-21 DATE
APPROVED: For public Water and Public Sewerage Systems	4-20-21
HOWARD COUNTY HEALTH DEPARTMENT <i>John P. Bell</i> COUNTY HEALTH OFFICER	DATE
APPROVED: Howard County Office of Planning and Zoning	4-20-21
<i>Donald L. Harris</i> PLANNING DIRECTOR	DATE
<i>John W. Marshall</i> CHIEF, DIVISION OF LAND DEVELOPMENT & ZONING ADMIN.	4-20-21 DATE

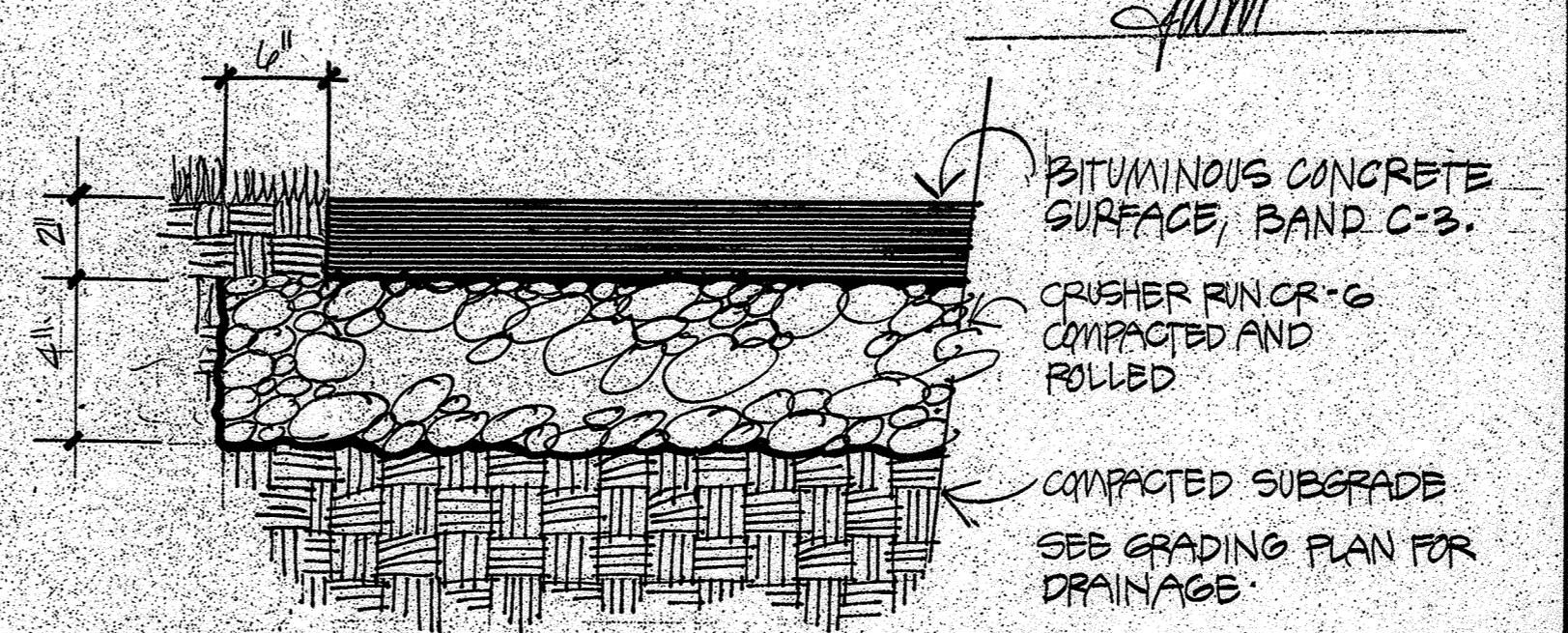


G STANDARD BARRIER CURB
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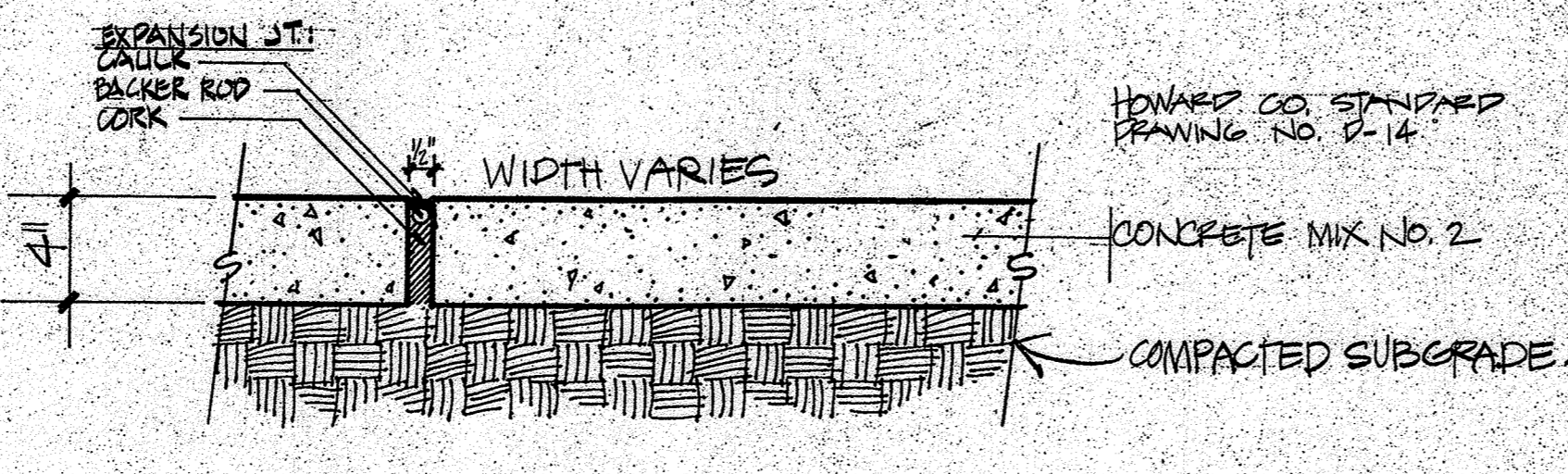
2. BARRIER CURB SHALL ONLY BE USED AT THE OVERFLOW PARKING AREA AND AROUND THE MEDIAN PORTION AT THE NEXT END OF THE PARKING LOT.



H WOOD CHIP SURFACING
 NO SCALE:

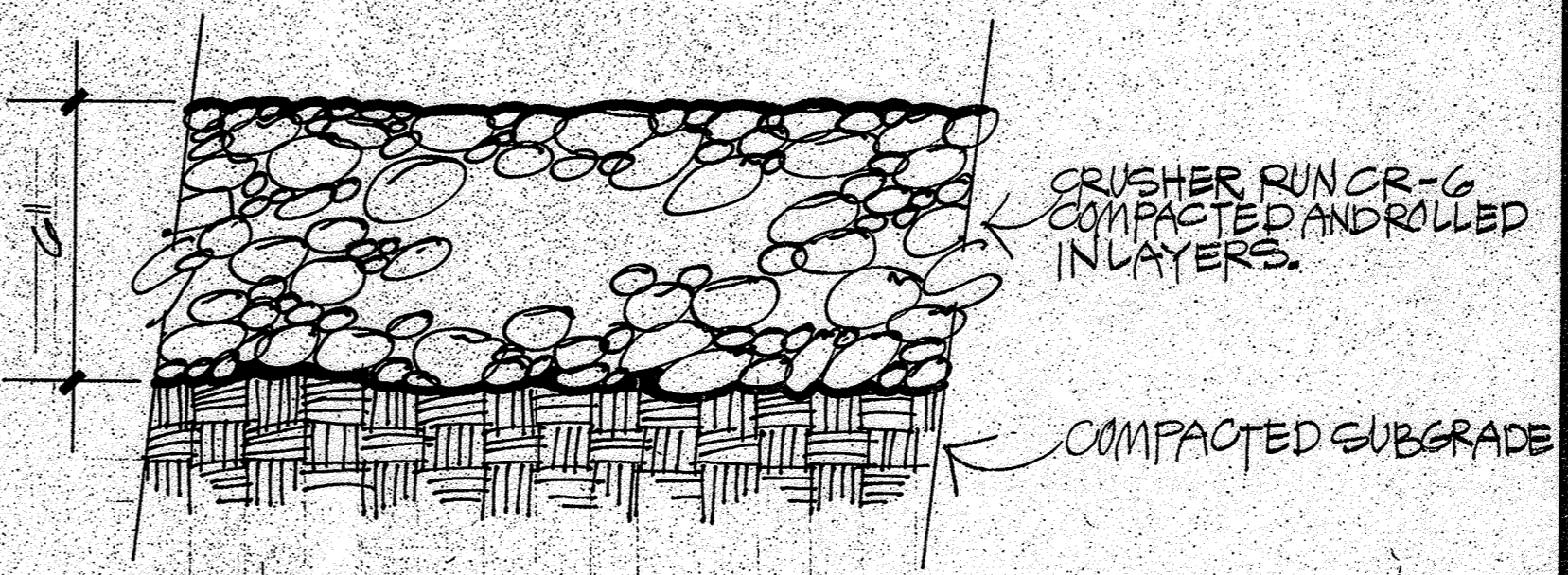


I PATHWAY PAVEMENT
 NO SCALE:



J CONCRETE PAVEMENT
 NO SCALE:

DETAIL APPLIES TO PADS FOR FOUNTAINS, BENCHES, TRASH RECEPTACLES, HANDICAP RAMPS AND GENERAL CONC. FLATWORK.



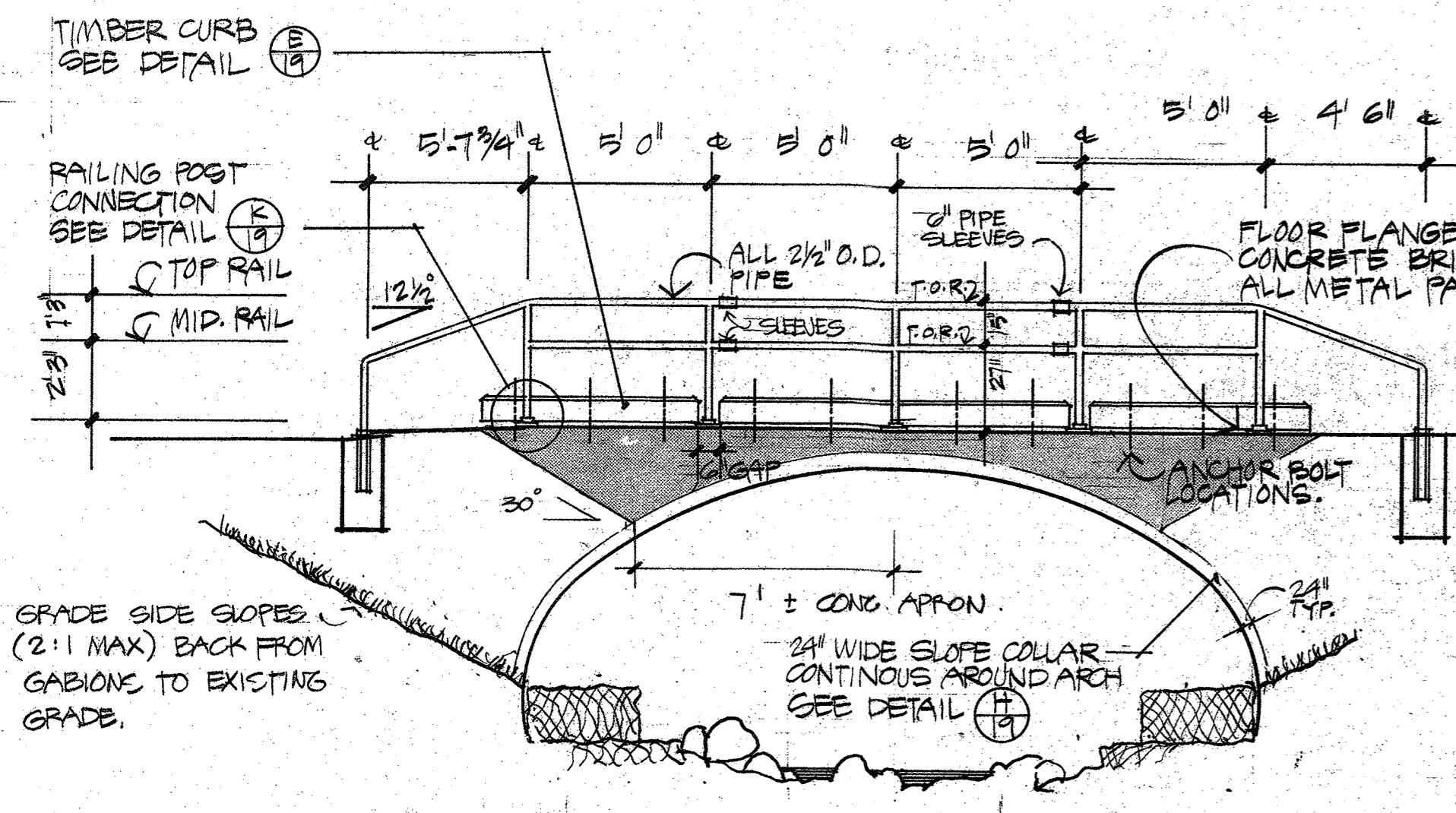
K GRAVEL ROAD SURFACE (NATURE CENTER)
 NO SCALE:

Howard County, Md., Dept. of Public Works
 for the Dept. of Rec. and Parks, 3430 Court House Drive, Ellicott City, Maryland
 Election District No. 2 Howard Co., Md.
 Tax Map No. 30
 Liber 885 Folio 76, Parcel 10, 43.18 ac.
 Liber 507 Folio 437, Parcel 278, 6145 ac.
 Adjacent Property Owners
 East: John T. Mason, Jr.
 Liber 276 Folio 575, Parcel 86
 West: Roland D. Zaiser, Et Al
 Liber 831, Folio 321, Parcel 160

LD LAND DESIGN / RESEARCH, INC.
 ONE MALL NORTH SUITE 400
 COLUMBIA, MARYLAND

MISC. CONSTRUCTION DETAILS
CENTENNIAL PARK
 PHASE ONE - ANNAPOLIS ROAD AREA

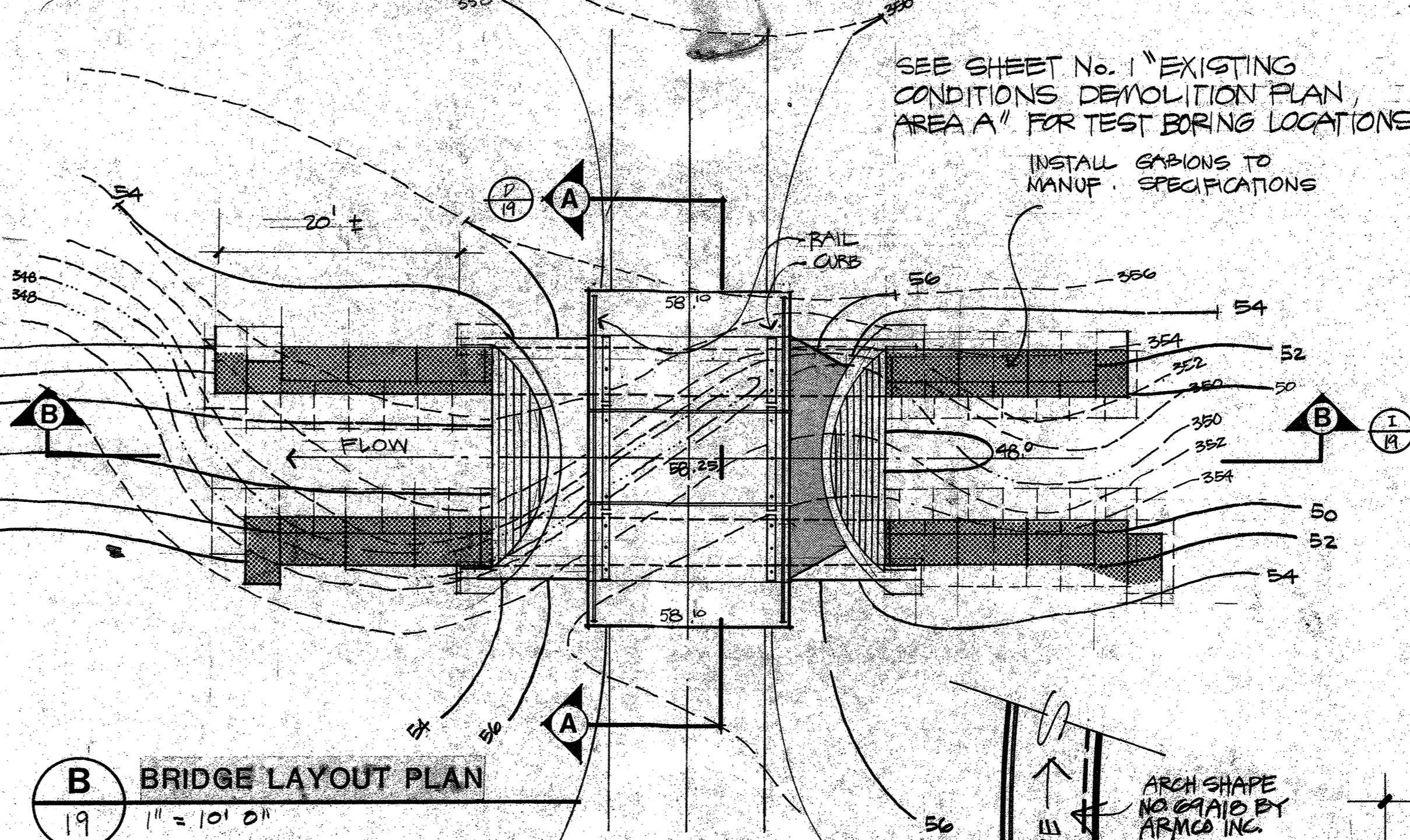
DATE	MAE. G. RB1	REVISIONS:	18
SCALE	AS NOTED	Δ REVISED SITE DEVELOPMENT	27
DRAWN	T.E.	PLANS - 6/15/23	27
CHECKED	NHC		27



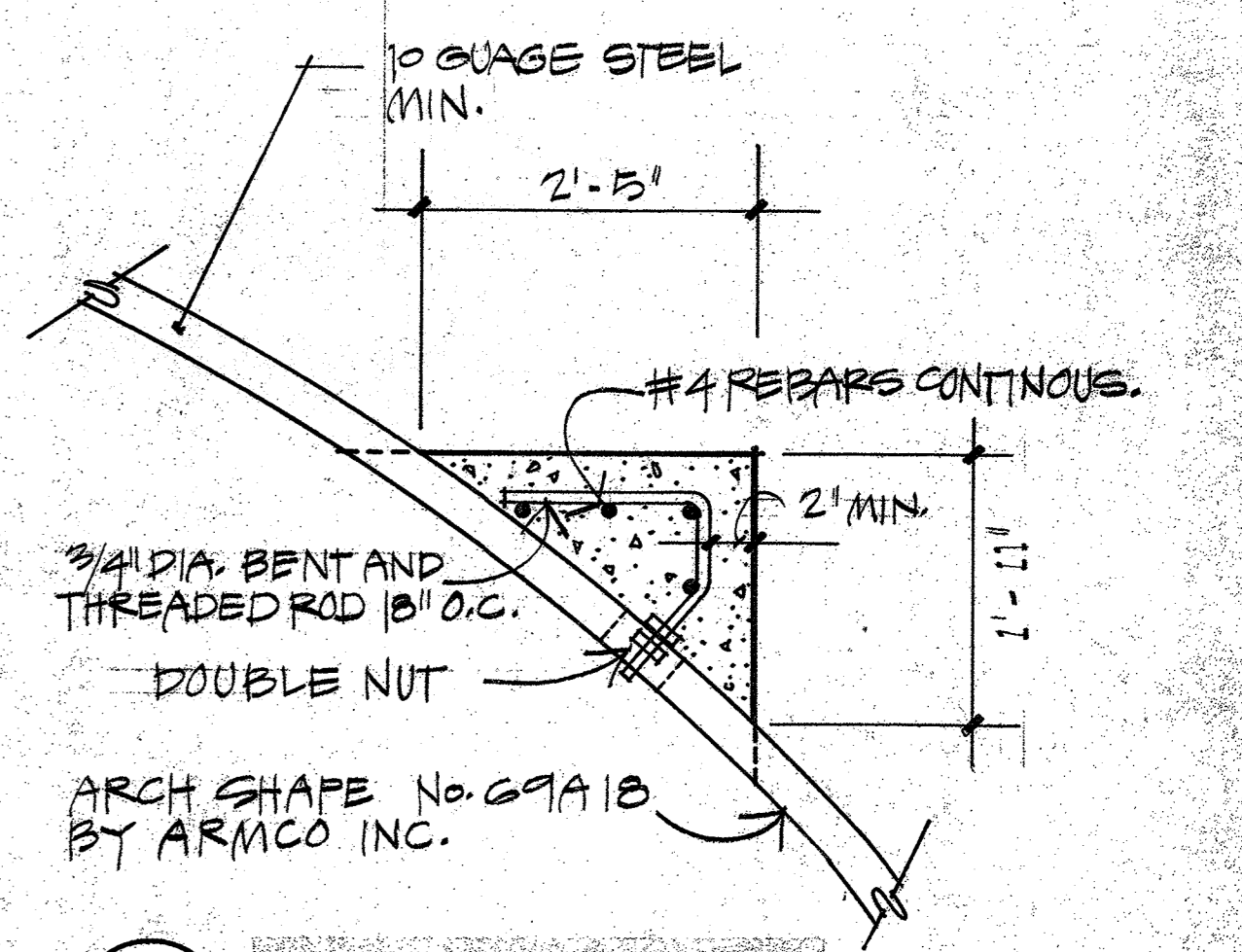
A SIDE ELEVATION
 19 SCALE: 1/4" = ONE FOOT.
 *UPSTREAM SIDE SHOWN FOR APRON ABOVE ARCH.

NOTE:
 - ALL MATERIAL SHALL CONFORM TO A.A.S.H.T.O., M-167 REFERENCE TO STRUCTURAL PLATE ARCHES.
 - CERTAIN ASPECTS OF THIS DESIGN ARE PATENTED BY U.S. NO. 300580406 AND CANADIAN NO. 804292.
 - THE BACKFILL TEST SHALL CONFORM TO A.A.S.H.T.O., T-180.

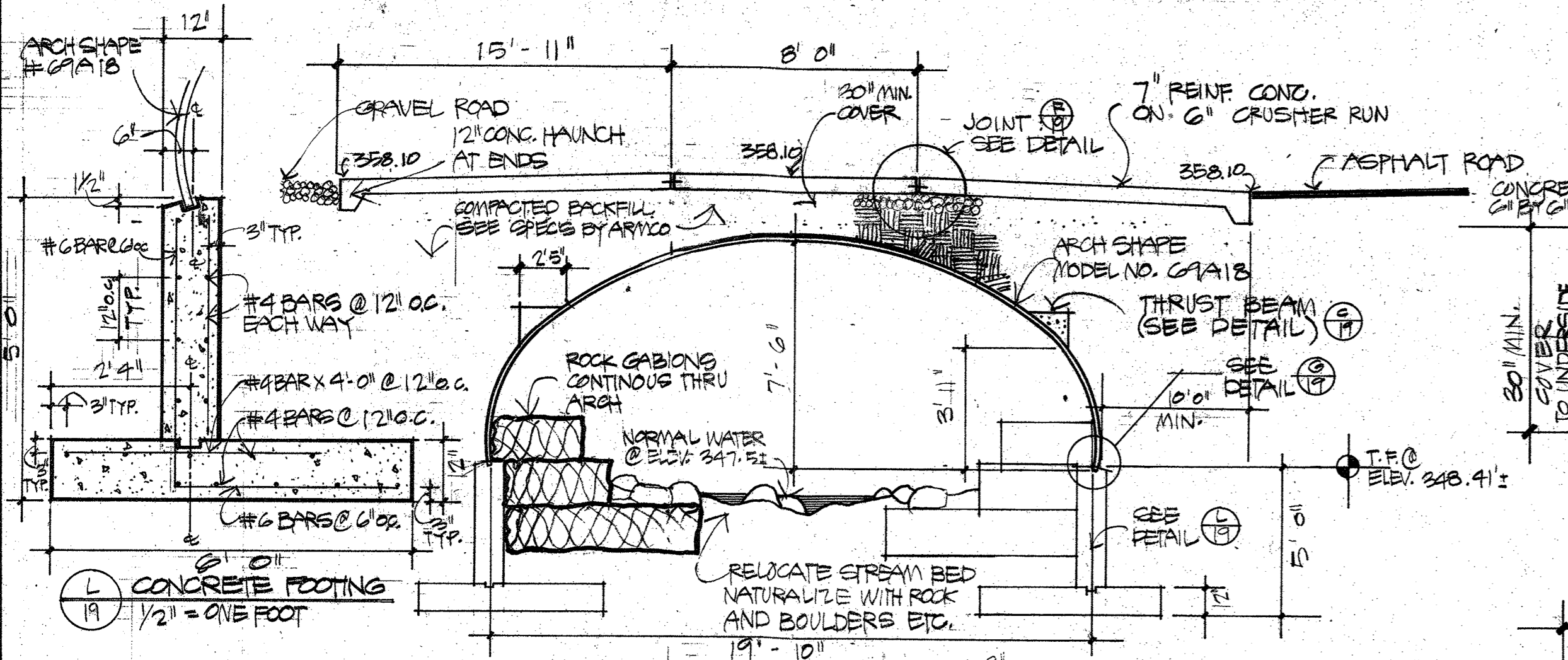
(2) SET SCREWS (VANDAL HEADS) TAPPED THRU RAIL POSTS AT EACH FLANGE.
 1 1/2" DIA. BY 30" RAIL FOOTING WITH PIPE SLEEVE TO ACCEPT 1 1/2" BELOW GRADE SECTION OF POST AT EACH END.
RAILING NOTES:
 TOP RAIL & MID - BUILD IN (3) SECTIONS CONNECT WITH PIPE SLEEVE (SEE SCREWS) POSTS AND MIDRAIL CONNECTION, WELDED CONTINUOUS & GROUND SMOOTH.
 FABRICATE AS MUCH AS POSSIBLE IN SHOP GALVINIZE, PRIME AND PAINT N.S.H.P. - TOUCH UP IN FIELD.



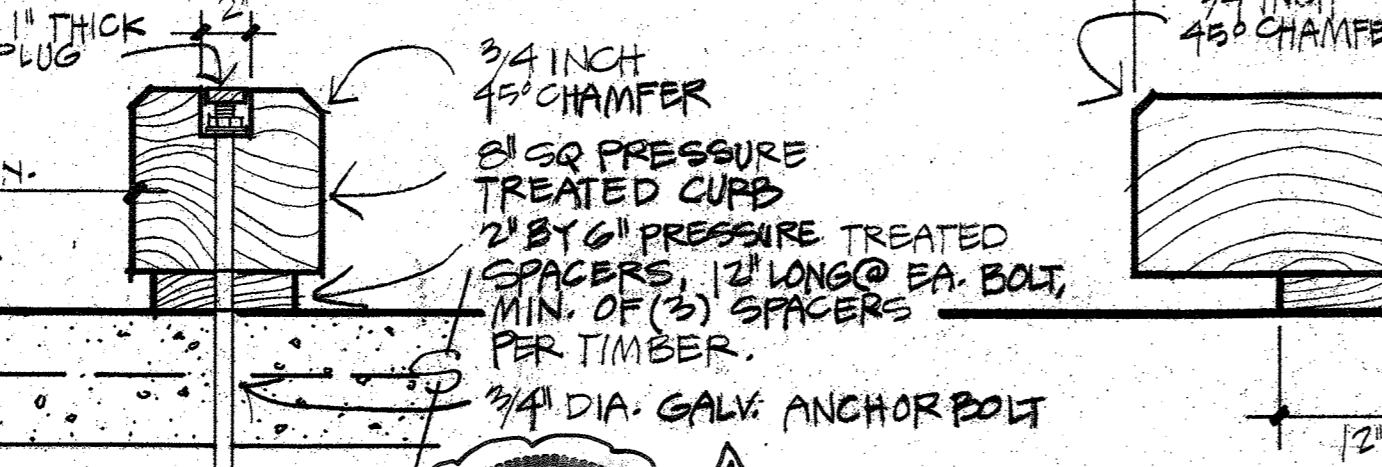
B BRIDGE LAYOUT PLAN
 19 1" = 10' 0"



C THRUST BEAM DETAIL
 19 NO SCALE
 CONCRETE SLOPE COLLAR
 #4 REBARS TO BE CONTINUOUS FOR LENGTH OF SLOPE COLLAR.
 3/4" DIA. BY 6" LONG MULTI-PLATE ANCHOR BOLT W/ DOUBLE NUT.
 ARCH SHAPE No. 69A18 BY ARMCO INC.
 #4 STIRRUP REBAR, 18" O.C.

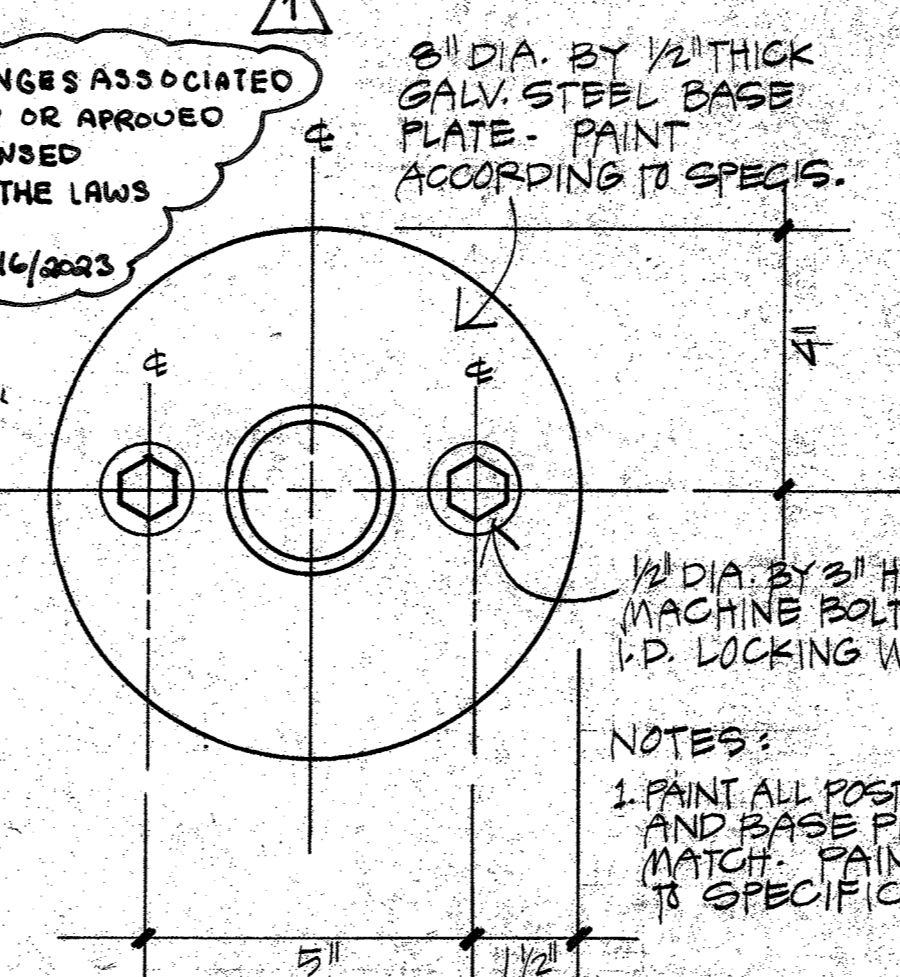


D ARCH CROSS SECT A-A
 19 SCALE 1/4" = ONE FOOT.

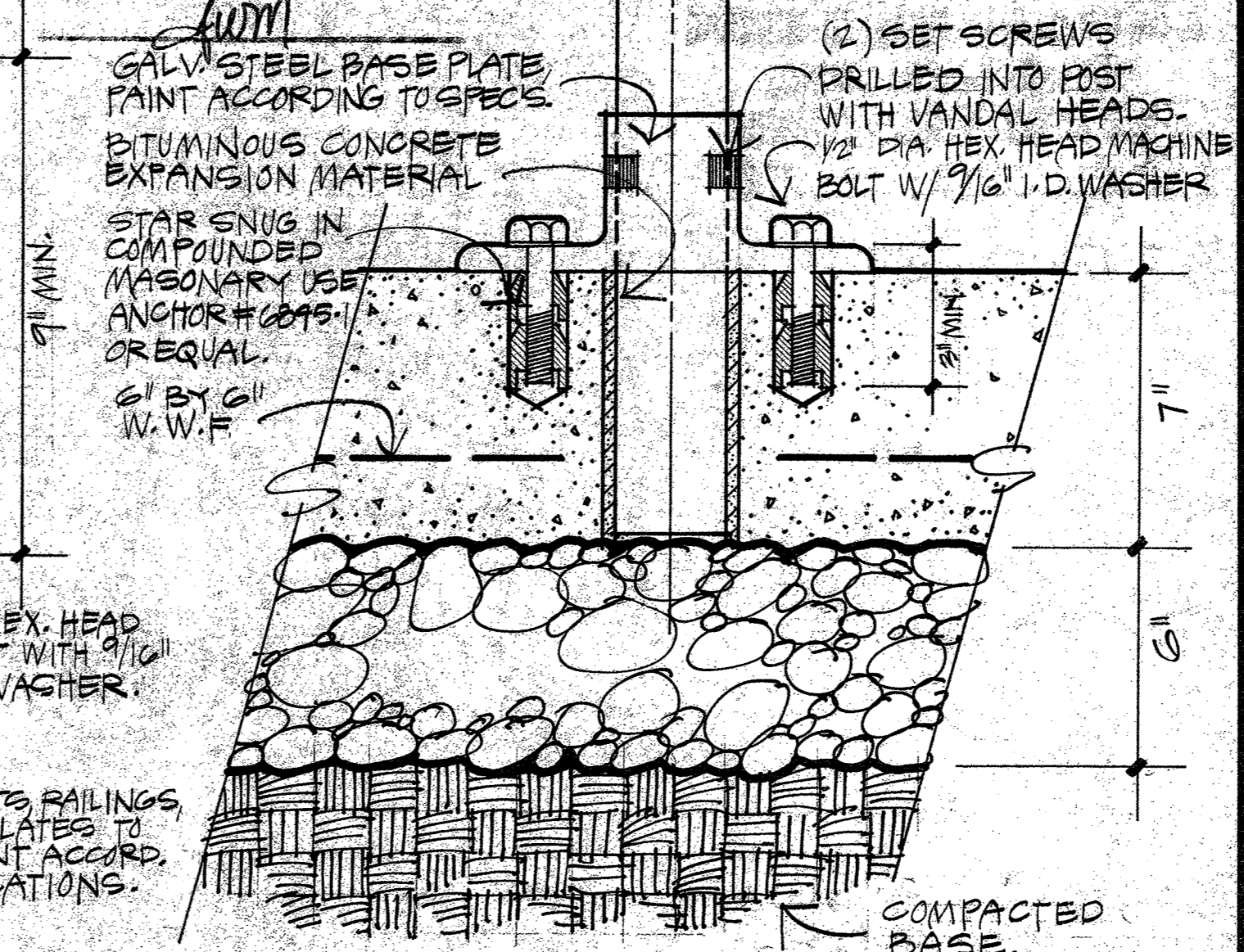
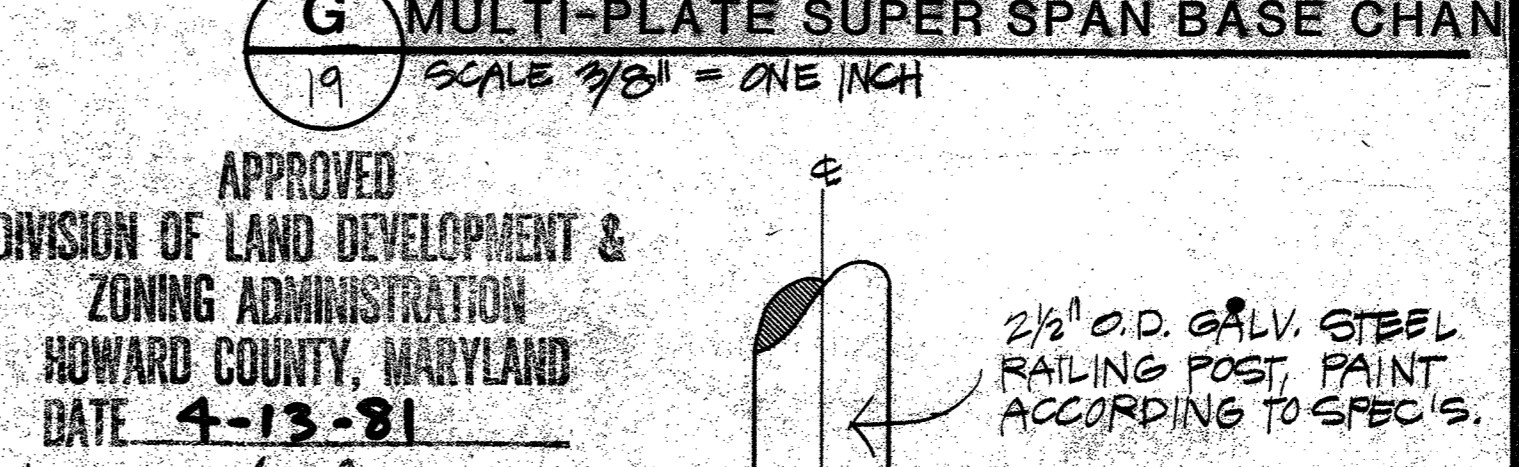


E TIMBER CURB DETAIL
 19 SCALE 1/2" = ONE FOOT

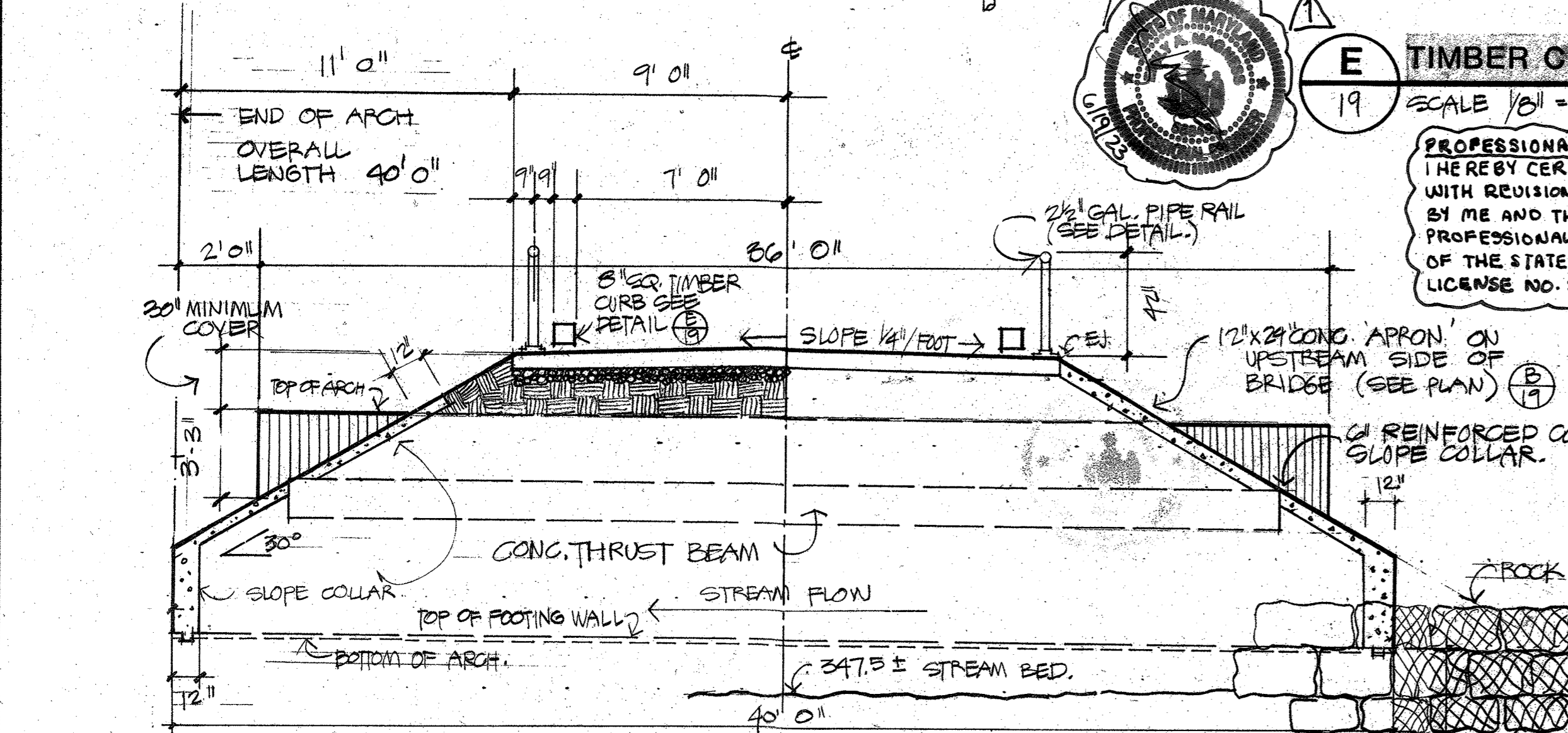
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. SG848, EXP. DATE: 10/16/2023



F EXPANSION JOINT DETAIL
 19 NO SCALE



K RAILING POST CONNECTION
 19 NO SCALE



I BRIDGE CROSS SECTION B-B
 19 SCALE 1/4" = ONE FOOT.

J PLAN VIEW OF BASE PLATE
 19 NO SCALE

H SLOPE COLLAR SECTION C-C
 19 SCALE 1/8" = ONE FOOT.

APPROVED: For public Water, Public Sewerage and Storm Drainage Systems and Roads
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Walter F. Nunn 4-20-81
 DIRECTOR DATE
William E. Gray 4/20/81
 CHIEF, BUREAU OF ENGINEERING DATE

APPROVED: For public Water and Public Sewerage Systems
 HOWARD COUNTY HEALTH DEPARTMENT
James H. Bond, M.D. Dr. D.F.W. 4-20-81
 COUNTY HEALTH OFFICER DATE

APPROVED: Howard County Office of Planning and Zoning
Thomas H. Harris 4-20-81
 PLANNING DIRECTOR DATE
William E. Gray 4-20-81
 CHIEF, DIVISION OF LAND DEVELOPMENT & ZONING ADMIN. DATE

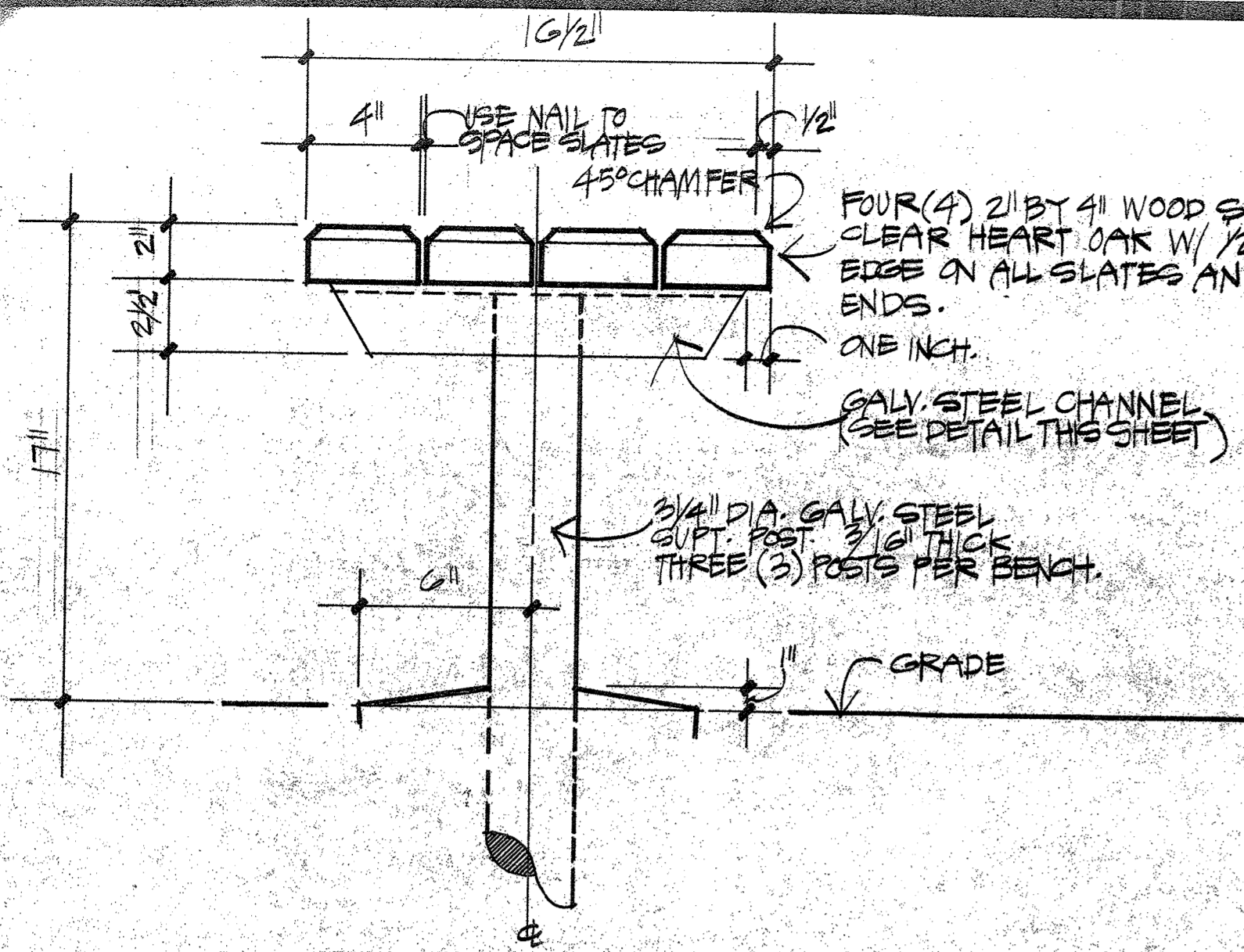
Howards County, Md., Dept. of Public Works
 For the Dept. of Rec. and Parks, 3430 Court House Drive, Ellicott City, Maryland
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 Liber 885 Folio 76, Parcel 10, 43.18 ac.
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LD LAND DESIGN / RESEARCH, INC.
 ONE MALL NORTH SUITE 400
 COLUMBIA, MARYLAND

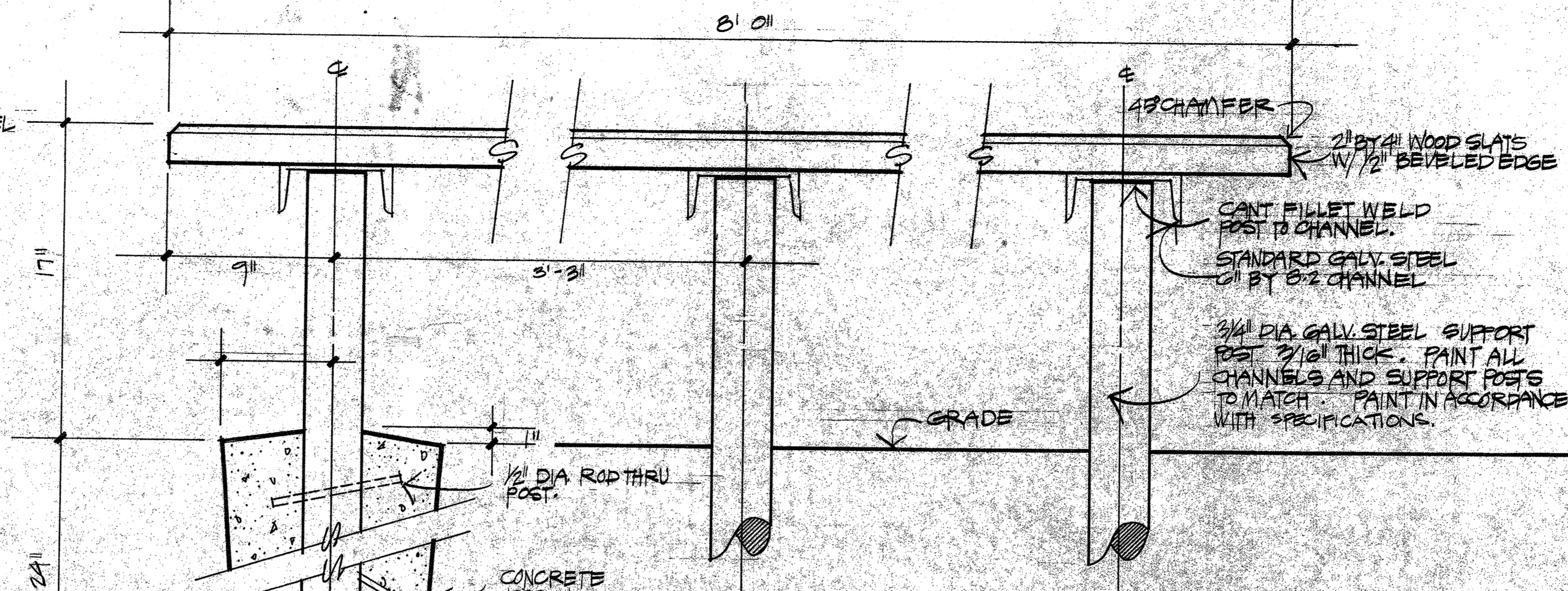
BRIDGE DETAILS
CENTENNIAL PARK PHASE ONE - ANNAPOLIS ROAD AREA

DATE	MARCH 6, 1981	REVISIONS:	REVISED SITE DEVELOPMENT PLAN - 6/10/83
SCALE	AS NOTED		
DRAWN	T.E.		
CHECKED	D.S.		

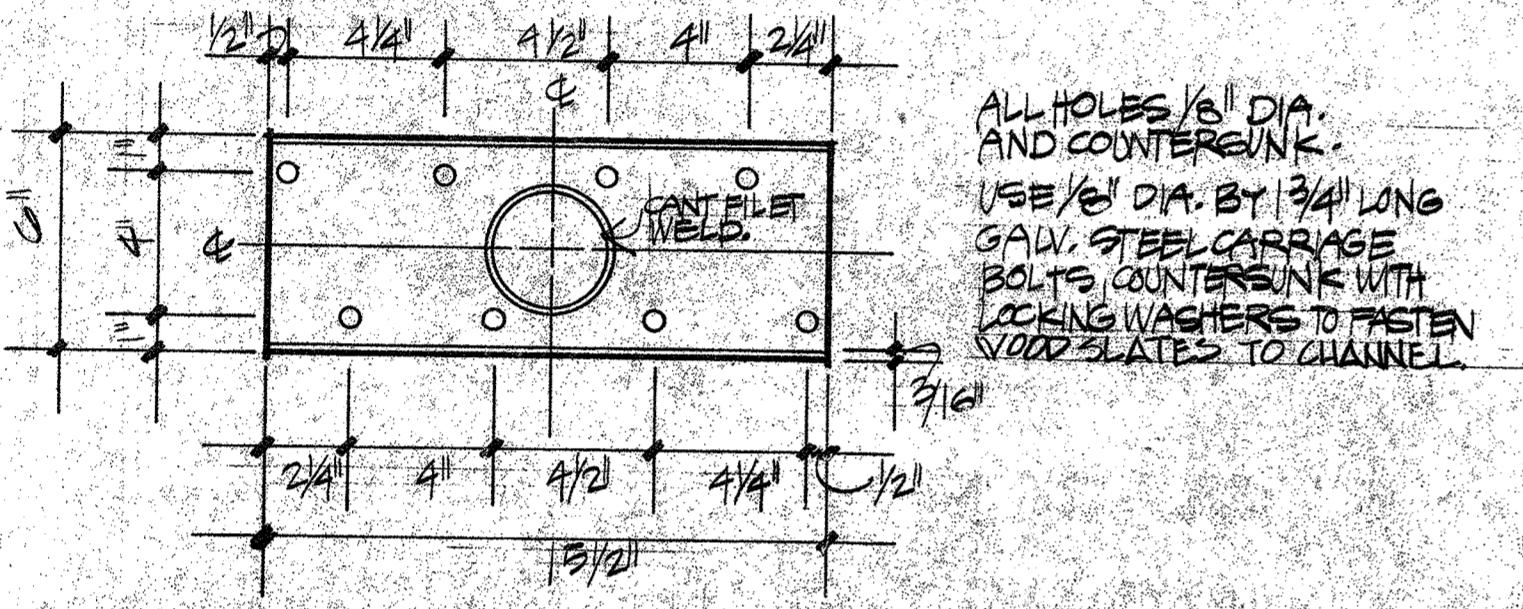
19
 28048
 12023



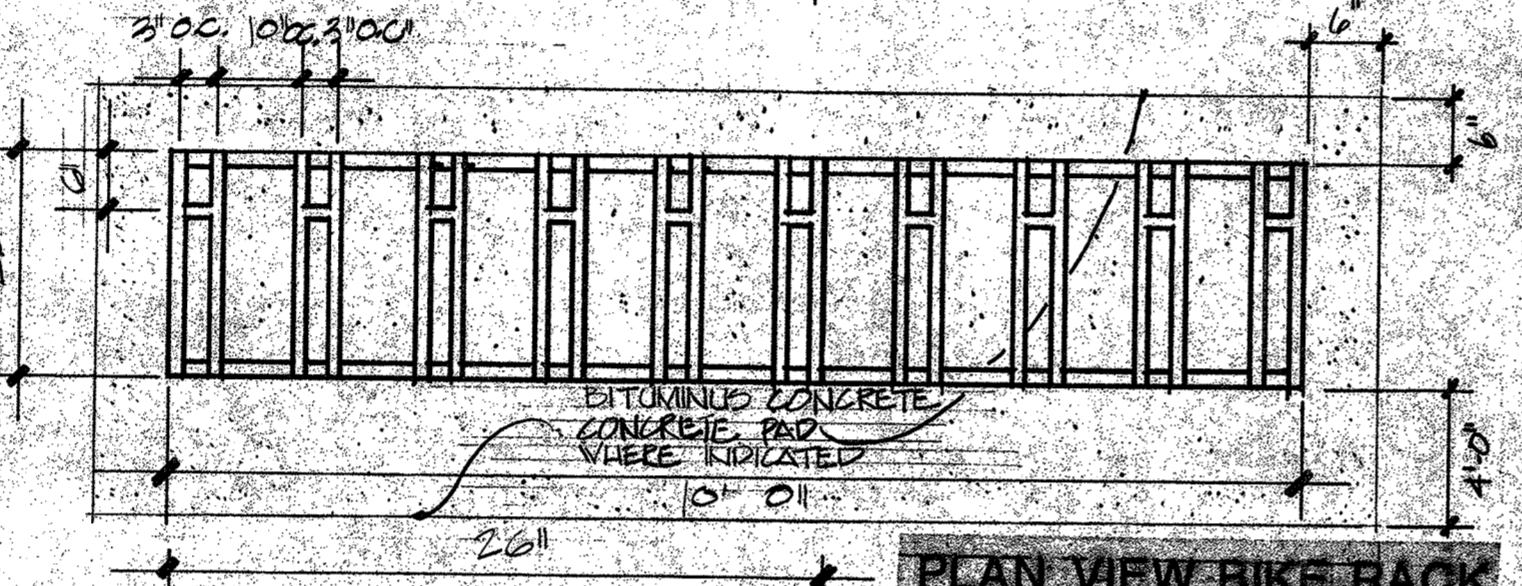
A END ELEVATION (PLAYER'S BENCH)
SCALE 3/16" = ONE INCH. HOWARD CO. STANDARD



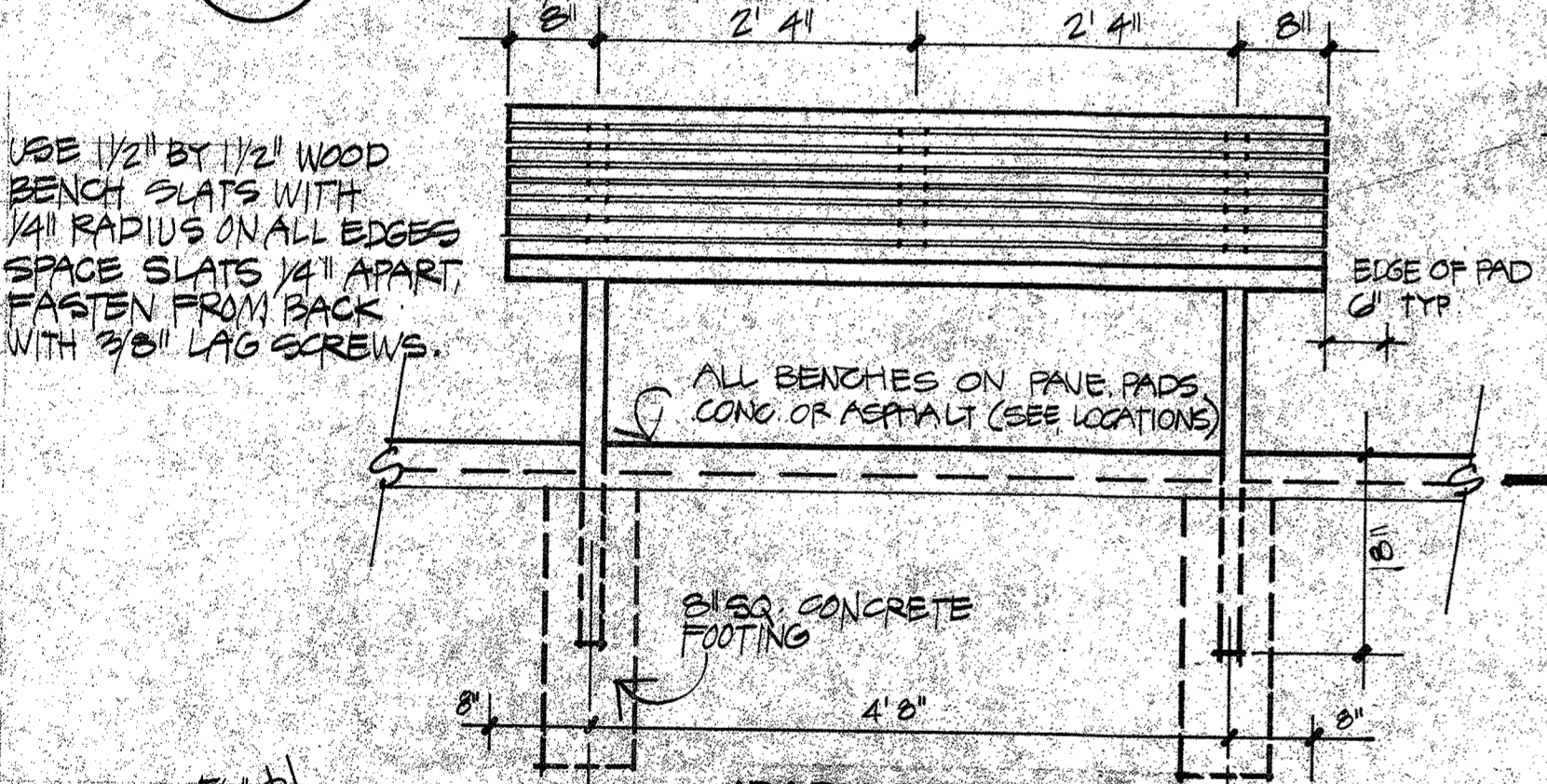
B FRONT ELEVATION (PLAYER'S BENCH)
SCALE 3/16" = ONE FOOT



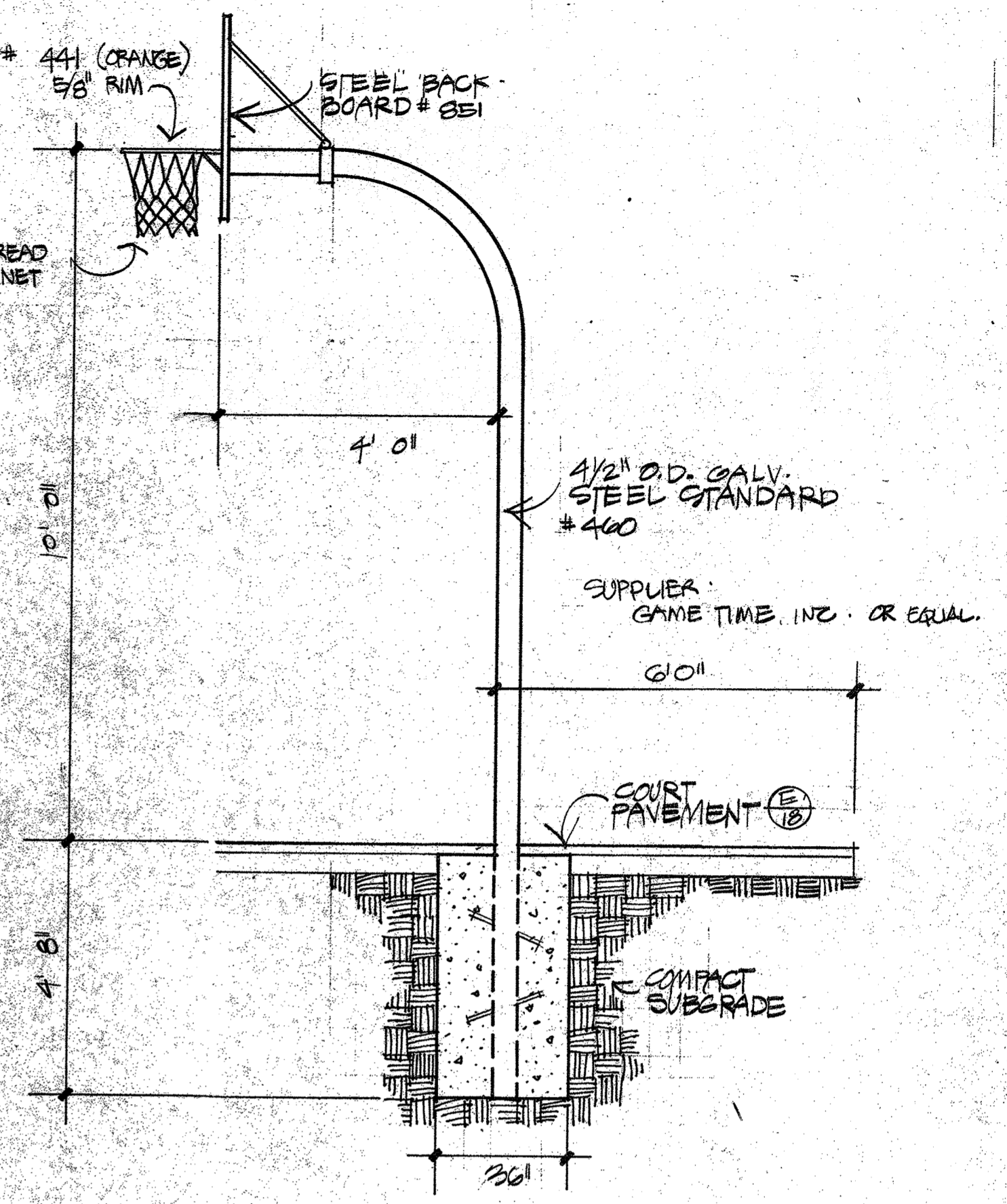
C STEEL CHANNEL DETAIL (PLAYER'S BENCH)
SCALE 3/16" = ONE INCH



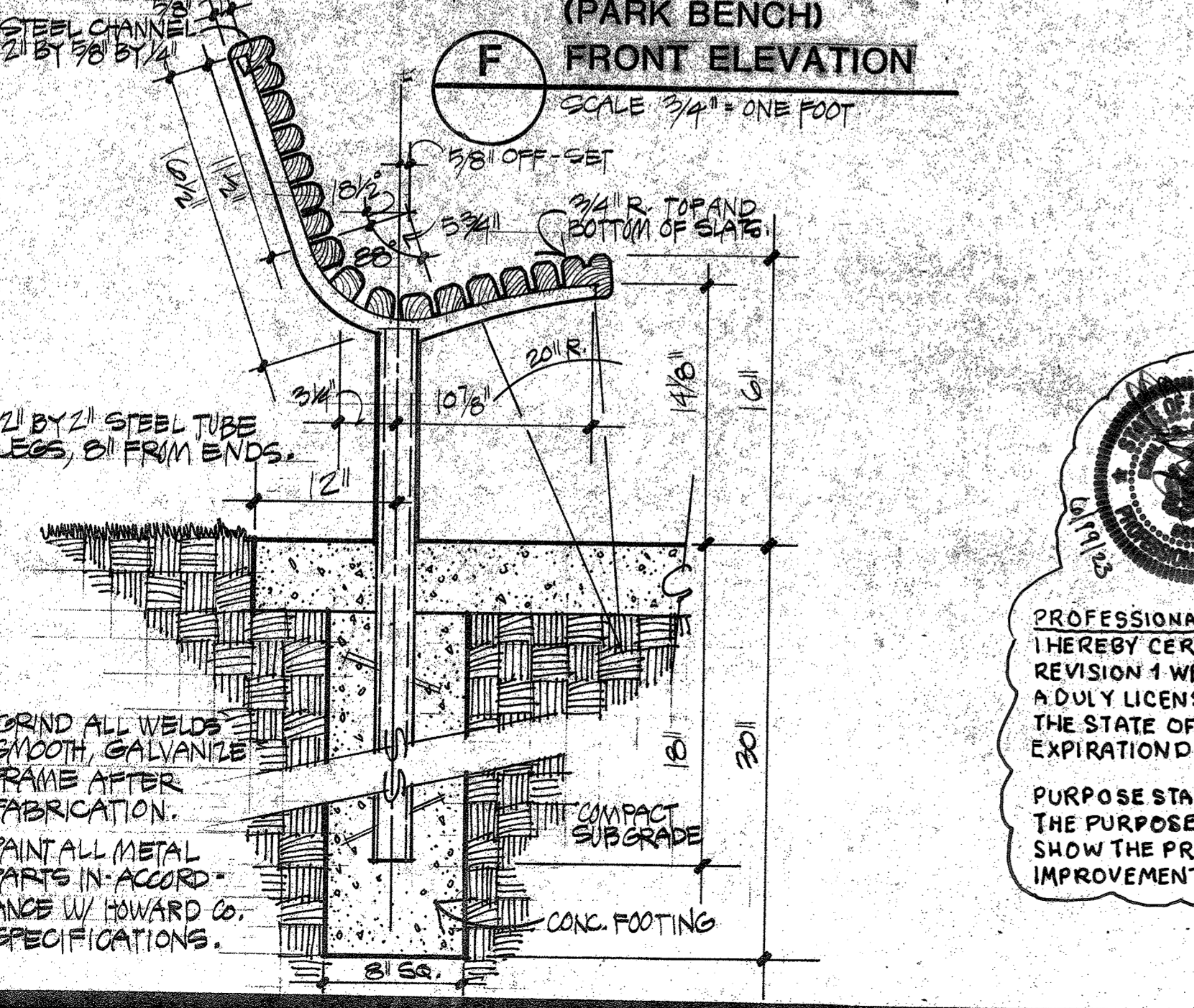
PLAN VIEW BIKE RACK



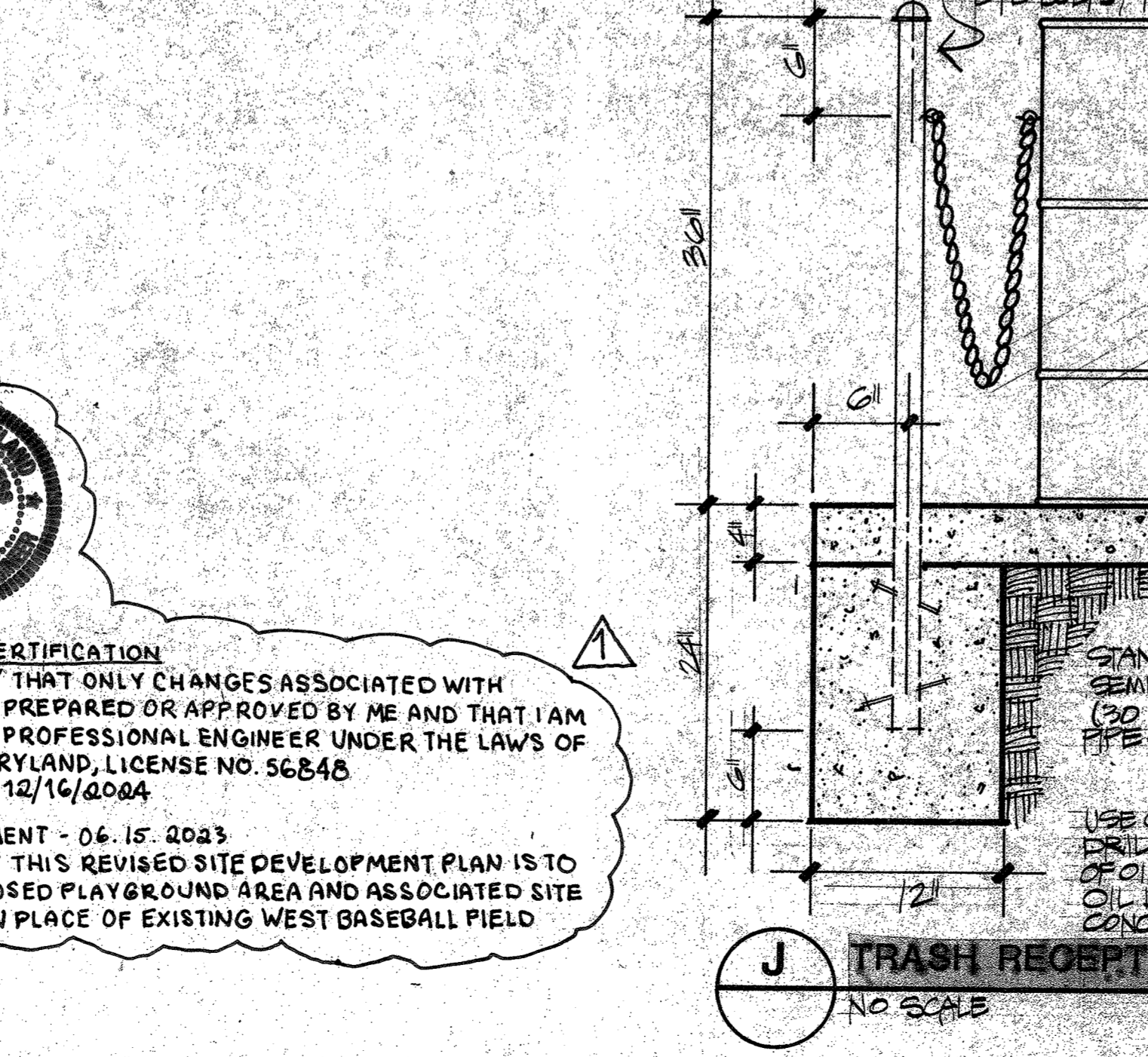
D BASEBALL BACKSTOP
NO SCALE



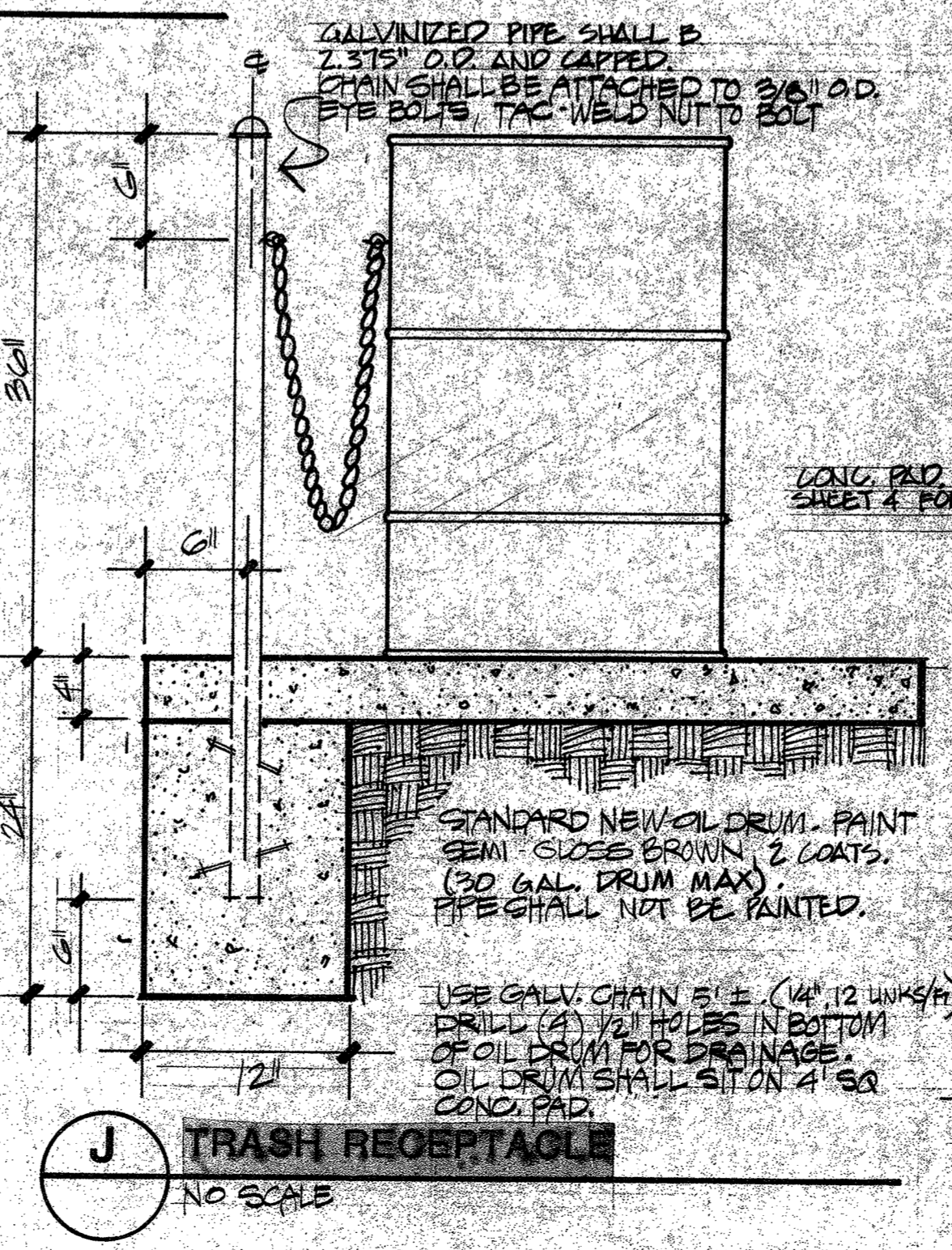
E BASKETBALL BACKSTOP DETAIL
SCALE NONE



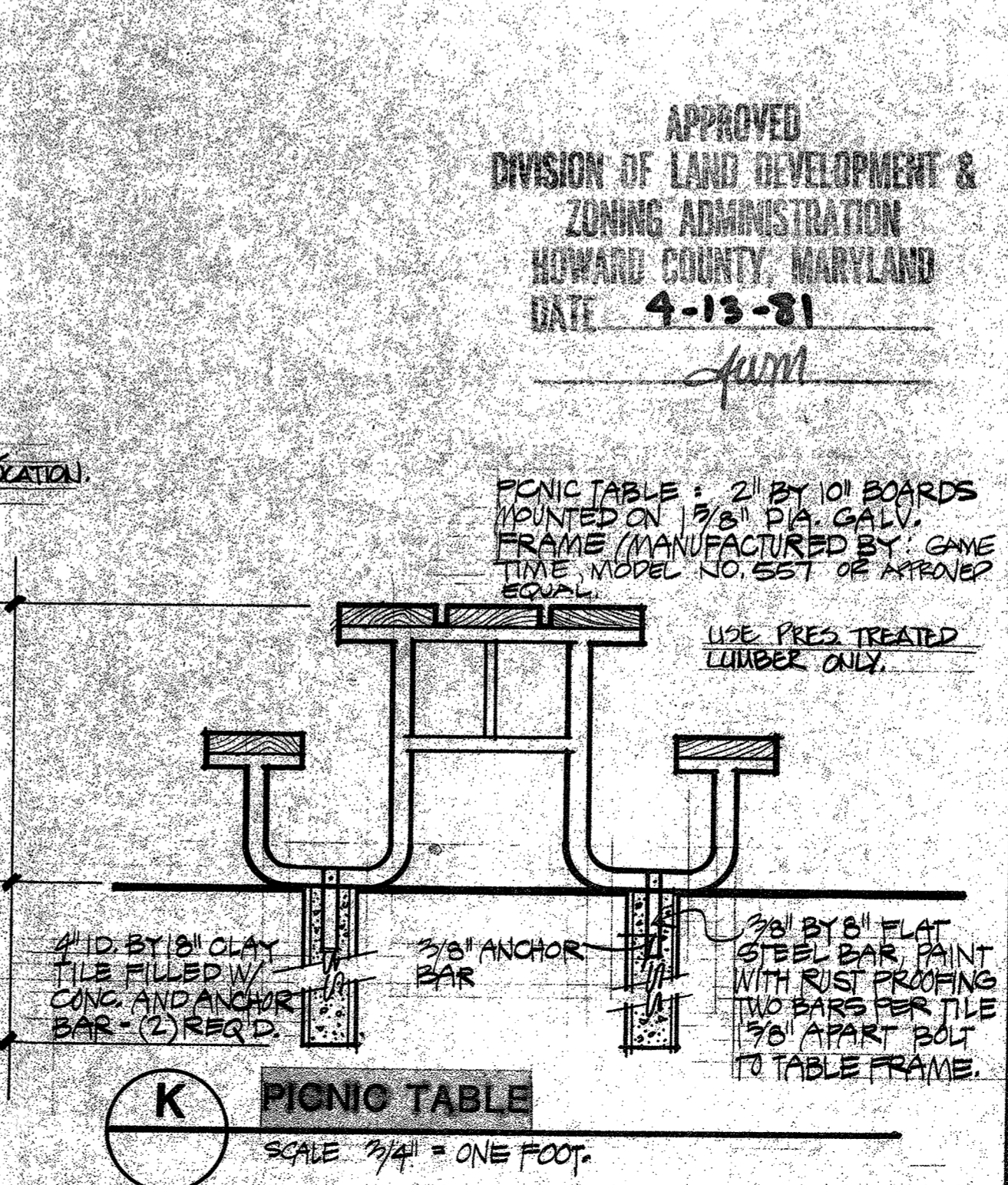
G BIKE RACK
NO SCALE



F (PARK BENCH) FRONT ELEVATION
SCALE 3/4" = ONE FOOT



J TRASH RECEPTACLE
NO SCALE



K PICNIC TABLE
SCALE 3/4" = ONE FOOT

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 56848, EXPIRATION DATE 12/16/2024.

PURPOSE STATEMENT - 06.15.2023
THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD.

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 4-13-21

APPROVED: For public Water, Public Sewerage and Storm Drainage Systems, and Roads
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Director: *John F. Nunn* DATE 4-20-21
Chief, Bureau of Engineering: *William S. Ray* DATE 4-12-21

APPROVED: For public Water and Public Sewerage Systems
HOWARD COUNTY HEALTH DEPARTMENT
County Health Officer: *James W. Boyd, Jr. D.O.* DATE 4-20-21

APPROVED: Howard County Office of Planning and Zoning
Planning Director: *Thomas J. Harris* DATE 4-20-21
Chief, Division of Land Development & Zoning Admin.: *William S. Ray* DATE 4-20-21

Howard County, Md., Dept. of Public Works for the Dept. of Rec. and Parks, 3430 Court House Drive, Ellicott City, Maryland
Election District No. 2 Howard Co., Md.
Tax Map No. 30
Liber 885 Folio 76, Parcel 10, 43.18 ac.
Liber 507 Folio 437, Parcel 278, 6145 ac.
Adjacent Property Owners
East: John T. Mason, Jr., Parcel 86
West: Roland D. Zaiser, Et Al, Parcel 160

LD LAND DESIGN / RESEARCH, INC.
ONE MALL NORTH SUITE 400
COLUMBIA, MARYLAND

MISC. CONSTRUCTION DETAILS
CENTENNIAL PARK
PHASE ONE - ANNAPOLIS ROAD AREA

DATE	MARCH 6, 2021	REVISIONS:	REVISED SITE DEVELOPMENT PLAN - G1512
SCALE	AS NOTED		
DRAWN	TE		
CHECKED	NC		

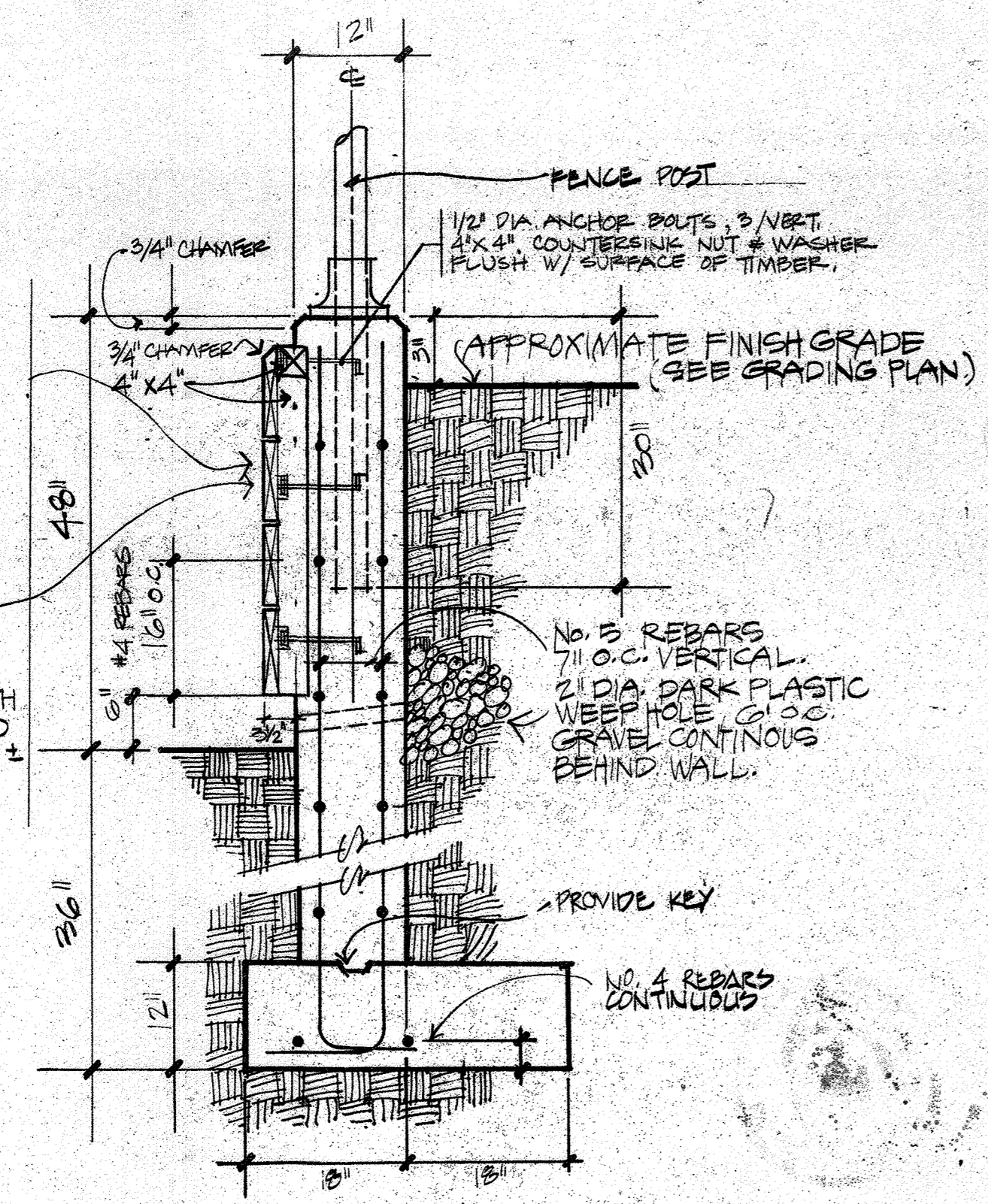
20
210418



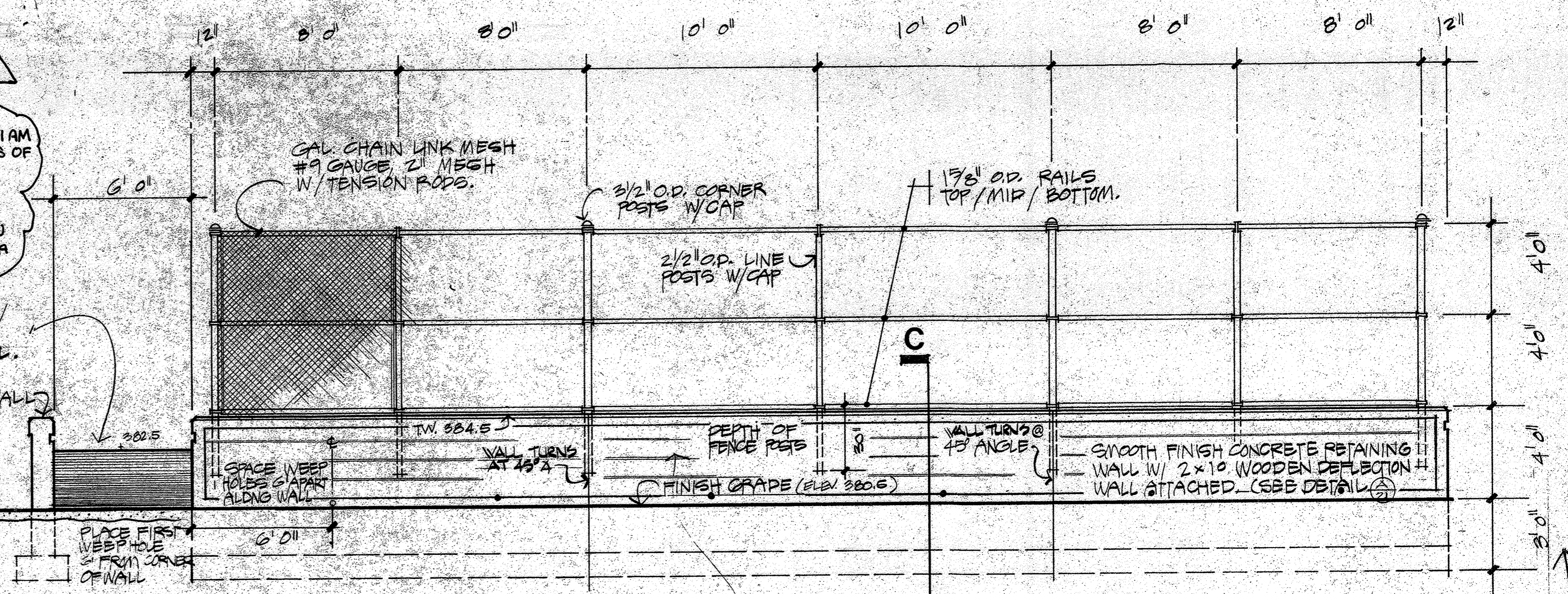
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PURPOSE STATEMENT - 06.15.2023
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- FOUL BALL DEFLECTOR:**
- 4" BY 4" PRES. TREATED FRAME; INSTALL VERT. MEMBERS 4" ± O.C. (2" FROM END TURNS; FENCED WALL, FACING FIELD ONLY).
 - INSTALL 4"X4" HORIZONTAL MEMBER CONT. ATOP VERTICALS.
 - FOUR INTEGRALLY WITH WALL, PROVIDE GAL ANCHOR BOLTS AS SHOWN.
 - HORIZONTAL MEMBERS, 2" BY 10" PRES. TREATED BOARDS CONT. (JOINTS AT VERT. MEMBERS ONLY).
 - FASTEN BOARDS AT EA. VERT. WITH TWO (2) GALVANIZED FLAT HEAD WOOD SCREWS 3" ± - COUNTERSINK 1/4" ±.
 - PROVIDE NAIL SPACER BETWEEN BOARDS (APPROX 1/4").

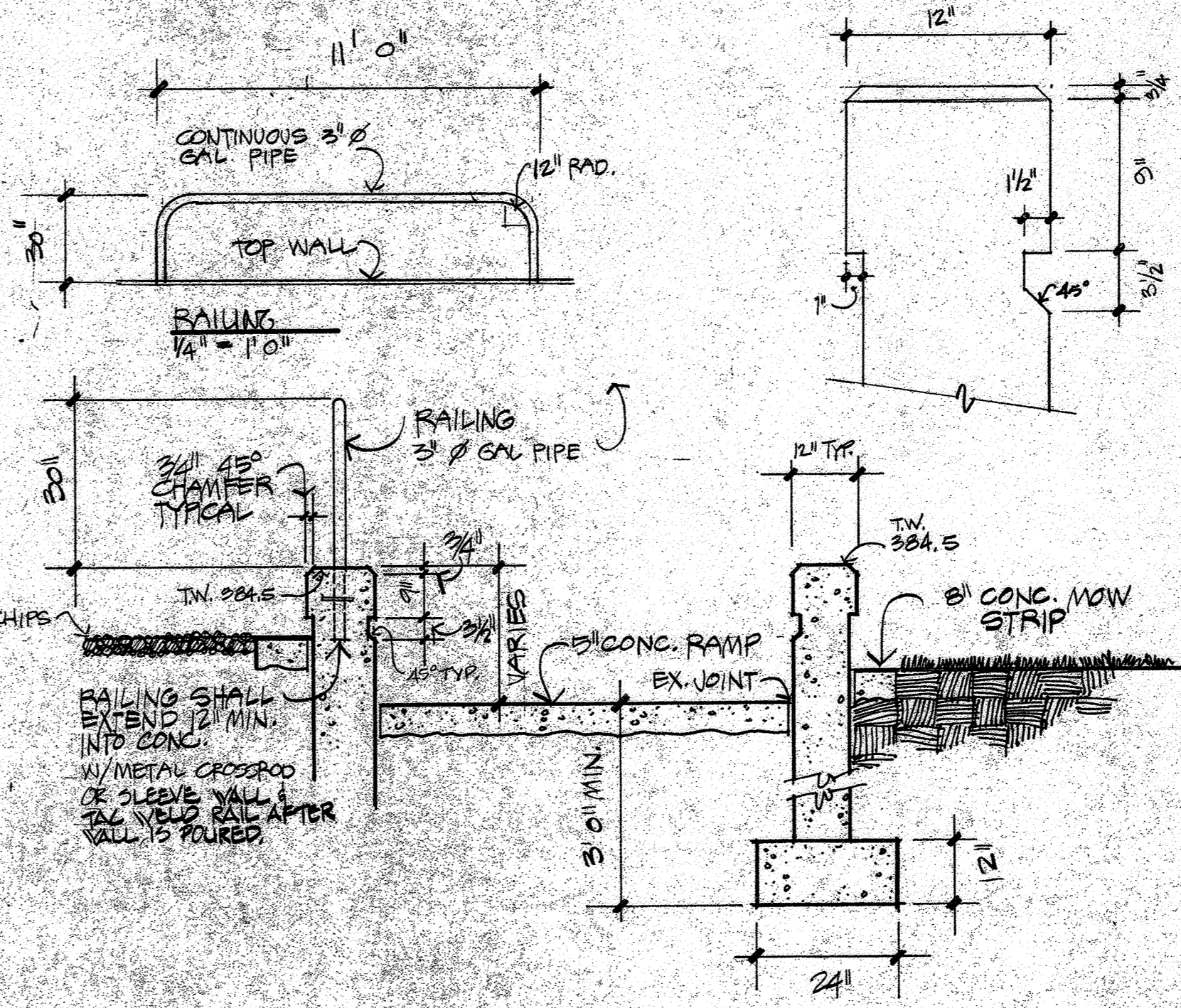


A SECTION C-C CONCRETE BACKSTOP/RETAINING WALL
 SCALE 3/4" = ONE FOOT

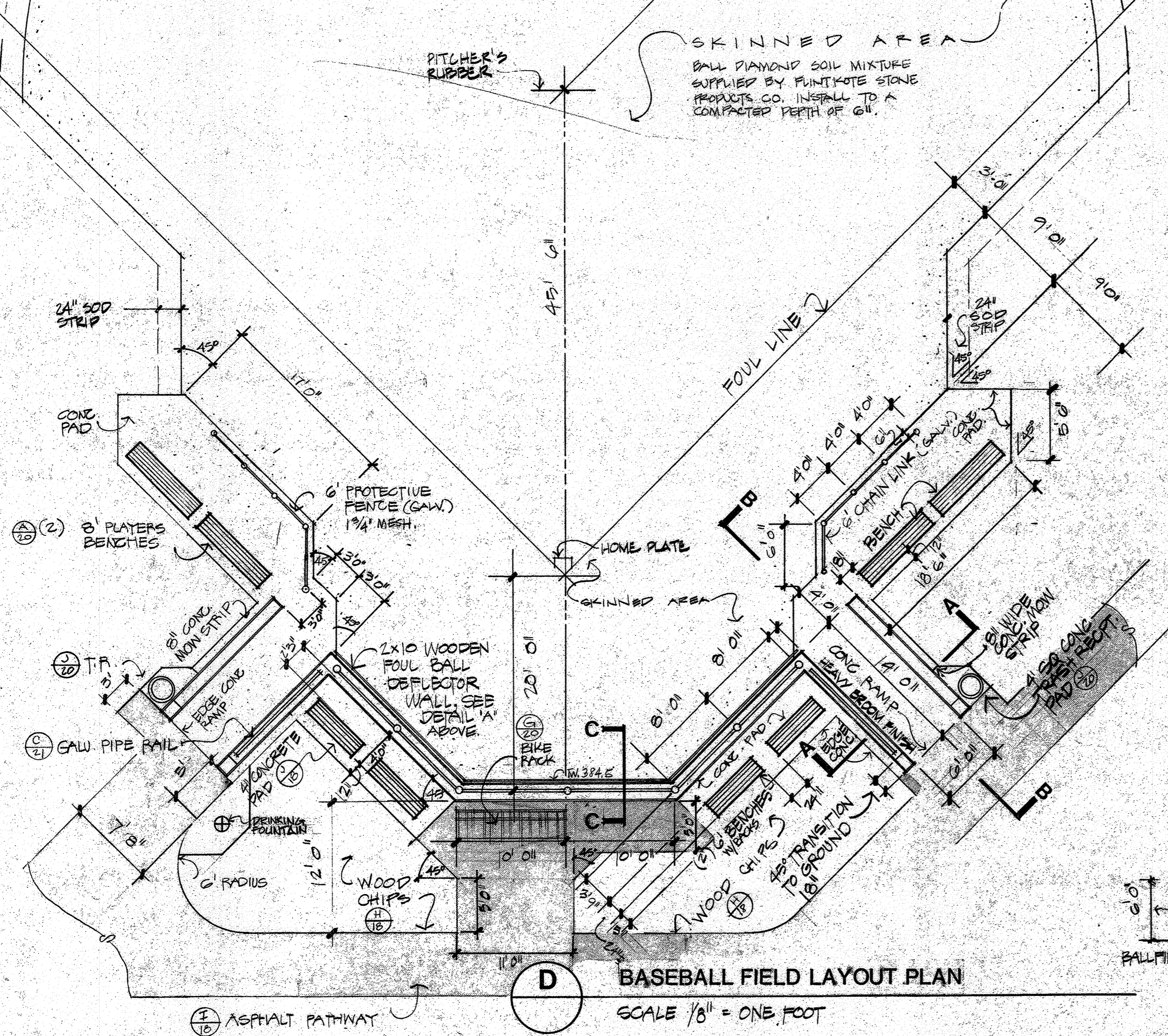


B BACKSTOP ELEVATION
 SCALE 1/4" = ONE FOOT

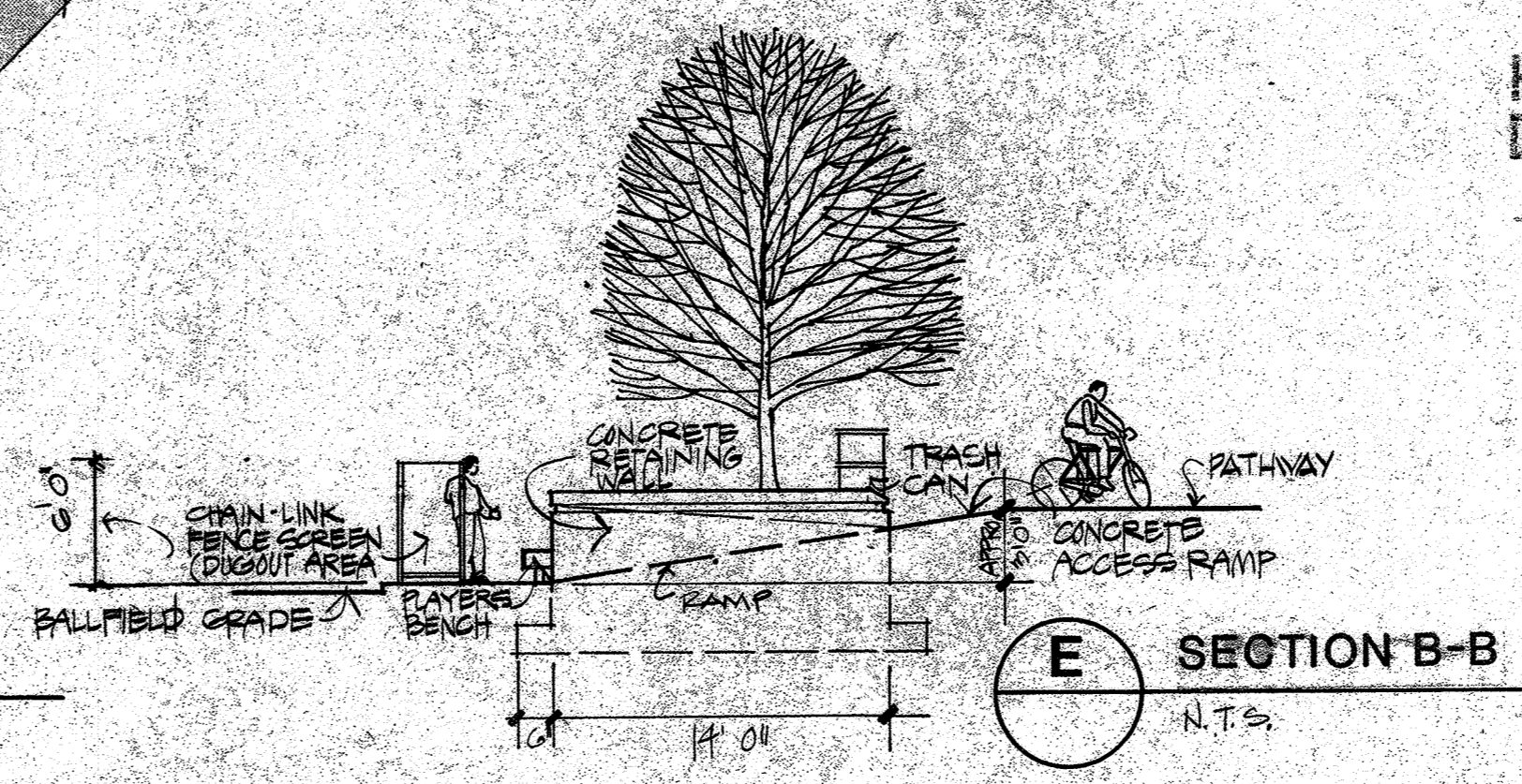
NOTE: SEE WOOD FOUL BALL DEFLECTOR ON RETAINING WALL DETAIL A, THIS SHEET.



C SECTION A-A
 SCALE 1/2" = ONE FOOT



D BASEBALL FIELD LAYOUT PLAN
 SCALE 1/8" = ONE FOOT



E SECTION B-B
 N.T.S.

APPROVED
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 4-13-21

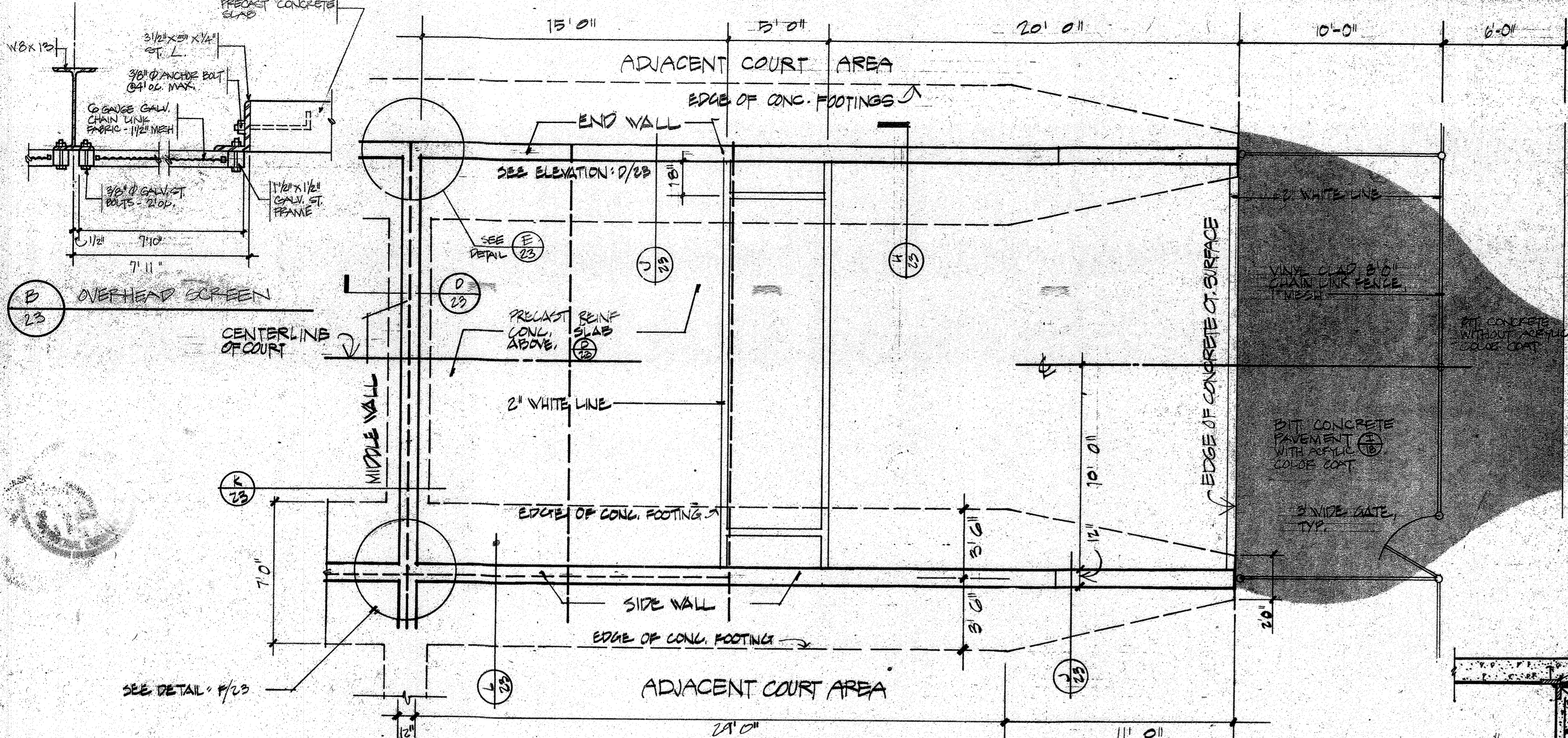
APPROVED: For public Water, Public Sewerage and Storm Drainage Systems and Roads	4-20-21
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS <i>Ally F. Nummy</i> DIRECTOR	DATE
<i>William S. Pety</i> CHIEF, BUREAU OF ENGINEERING	4/20/21 DATE
APPROVED: For public Water and Public Sewerage Systems	4-20-21
HOWARD COUNTY HEALTH DEPARTMENT <i>John R. Pety</i> COUNTY HEALTH OFFICER	DATE
APPROVED: Howard County Office of Planning and Zoning	4-20-21
<i>Thomas J. Harris</i> PLANNING DIRECTOR	DATE
<i>John W. Macchman</i> CHIEF, DIVISION OF LAND DEVELOPMENT & ZONING ADMIN	4-20-21 DATE

STATE OF MARYLAND
 Howard County, Md., Dept. of Public Works for the Dept. of Rec. and Parks, 3430 Court House Drive, Ellicott City, Maryland
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LD LAND DESIGN / RESEARCH, INC.
 ONE MALL NORTH SUITE 400
 COLUMBIA, MARYLAND

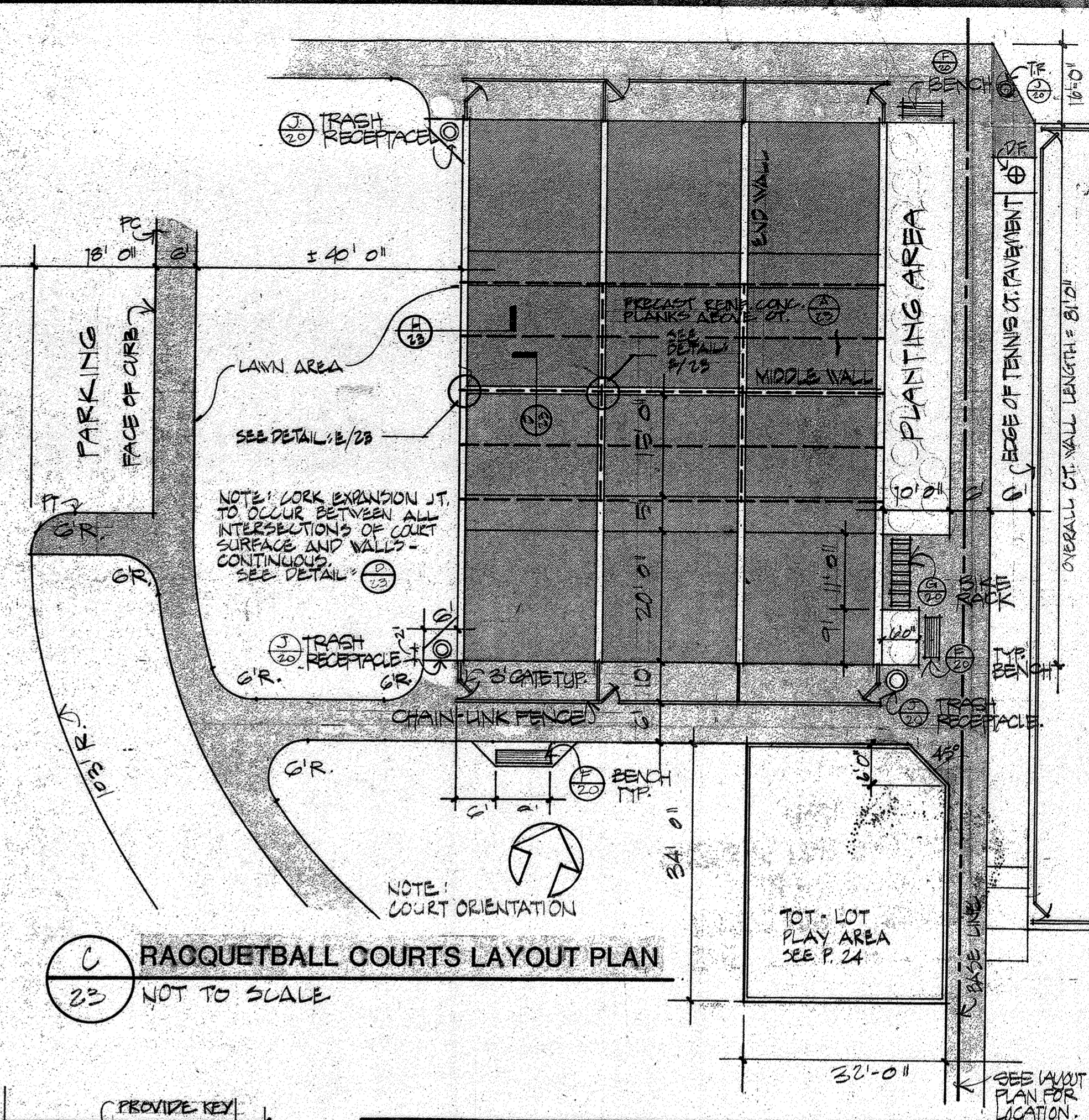
MISC. CONSTRUCTION DETAILS
CENTENNIAL PARK
 PHASE ONE - ANNAPOLIS ROAD AREA

DATE	MAR 6, 2021	REVISIONS:	21
SCALE	AS NOTED	1. REVISED SITE DEVELOPMENT PLAN - 6/15/23	30
DRAWN	TE		30 9 18
CHECKED	NC		22 9 20



Finishing Of Formed Surfaces
 After forms have been removed, all honeycombed and defective concrete shall be removed to sound concrete and patched immediately - the patching mortar shall be of the same proportions as concrete except that coarse aggregate shall be omitted. Tie holes shall be filled with patching mortar. Areas shall be thoroughly dampened prior to treatment. After patching, surfaces that will be exposed to view shall be wetted and rubbed with carborundum brick or other abrasive until a uniform color and texture are produced.

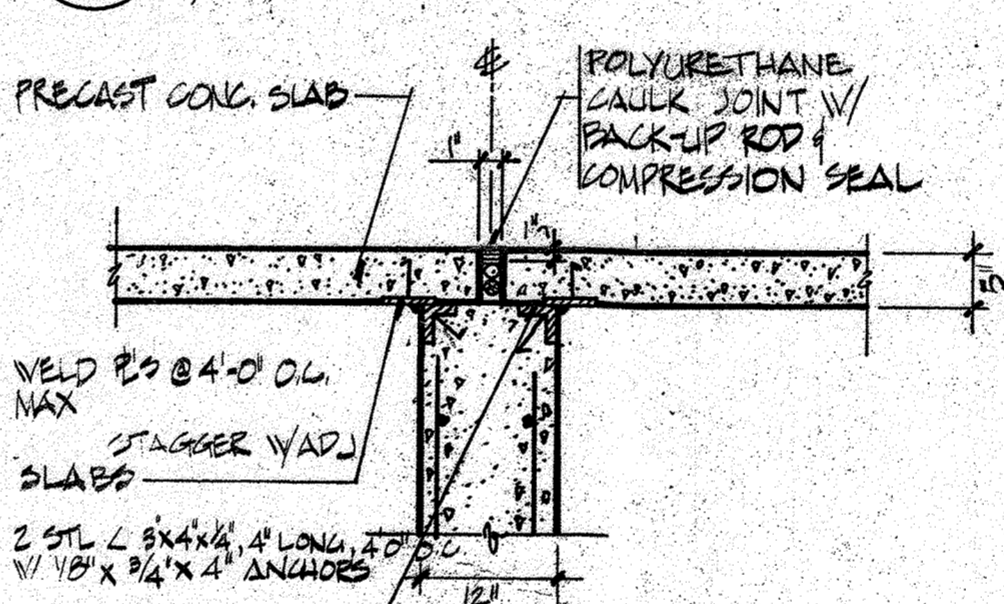
Finishing of Slab on Grade (Class A Tolerance)
 Slab on grade shall receive a hard trowel finish free of trowel marks and uniform in texture and appearance. Surface shall be true in plane within 1/8" in 10 feet as determined by a 10 foot straightedge placed anywhere on the slab in any direction.



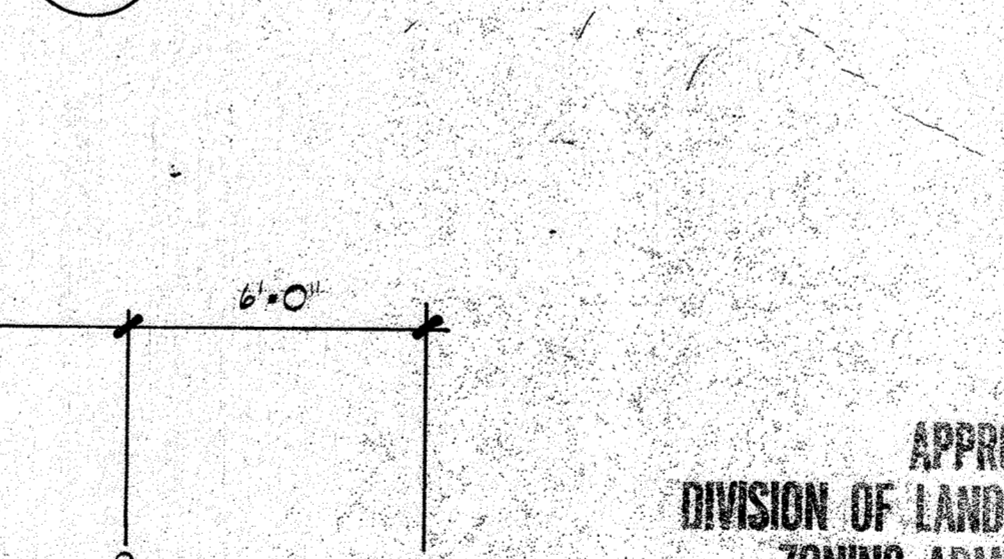
A RACQUETBALL COURT PLAN - MIDDLE COURT
 SCALE: 1/4" = 1'-0"

NOTE:
 PRECAST SLABS SHALL BE BY LAUREL CONCRETE PRODUCTS CO., LAUREL, MD.; SHOCKEY BROS. INC., WINCHESTER, VA. OR APPROVED EQUAL. SLABS SHALL BE A MIN. OF 5" THICK PRE-STRESSED SOLID SLABS WITH A LIVE LOAD CAP. OF 60 P.S.F. THEY SHALL BE ERECTED BY THE MANUFACTURER IN ACCORDANCE WITH APPROVED SHOP DRAWINGS.

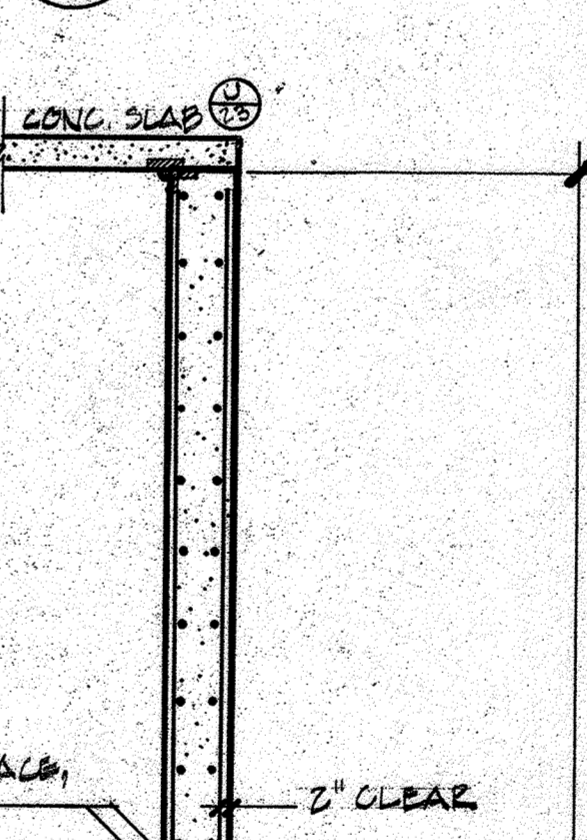
J CONC. SLAB AT END WALL
 SCALE: 3/4" = 1'-0"



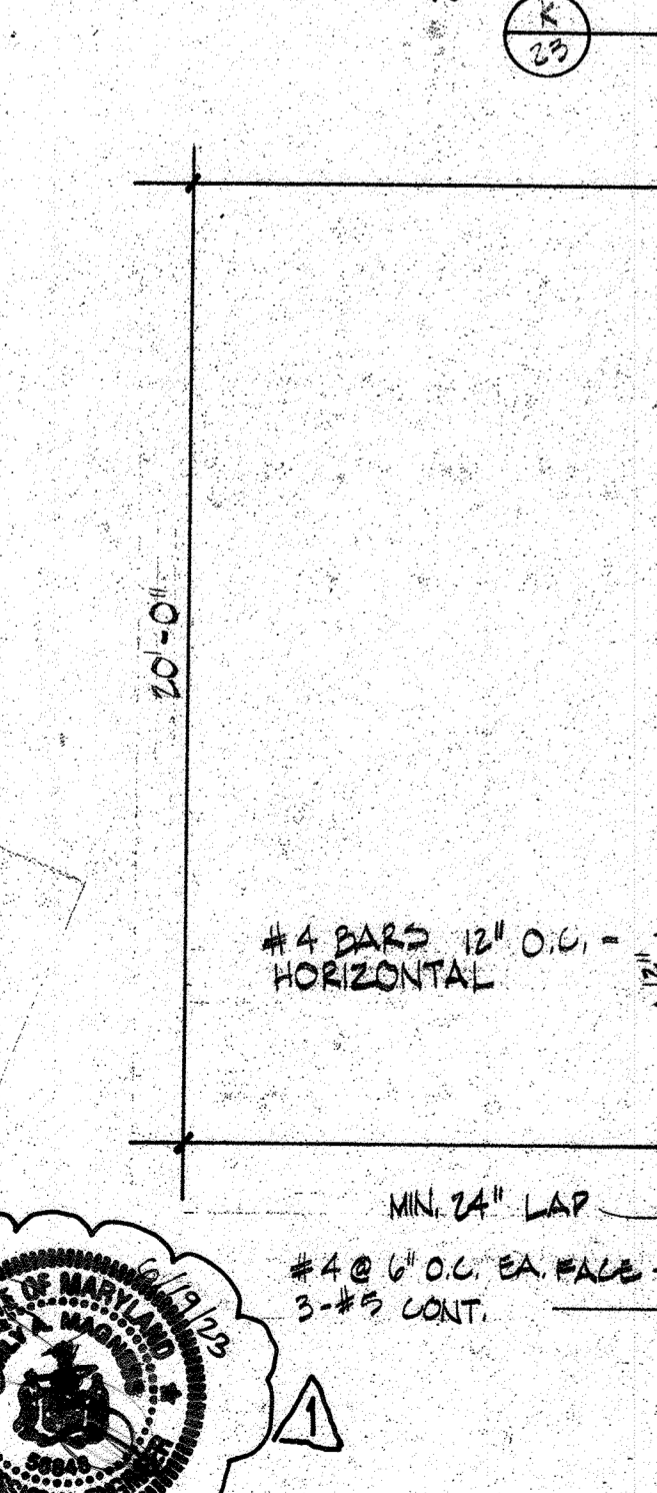
L CONC. SLAB AT SIDE WALL
 SCALE: 3/4" = 1'-0"



G SIDEWALL JOINT
 NOT TO SCALE



K CONC. SLAB AT MIDDLE WALL
 SCALE: 3/4" = 1'-0"



D RACQUETBALL COURT ELEVATION
 SCALE: 1/4" = 1'-0"



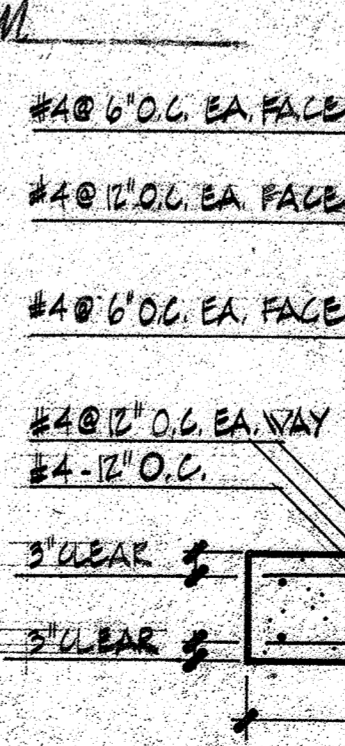
E END WALL
 NO SCALE



F INTERSECTION MIDDLE WALL
 NO SCALE



APPROVED
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 4-13-81



H END WALL SECTION
 SCALE: 3/8" = 1'-0"

APPROVED: For public Water, Public Sewerage and Storm Drainage Systems and Roads	DATE 4-20-81
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS <i>Walter F. Williams</i> DIRECTOR	DATE 4-20-81
APPROVED: For public Water and Public Sewerage Systems	DATE 4-20-81
HOWARD COUNTY HEALTH DEPARTMENT <i>James M. Bond, M.D. Dr. P. P. A.</i> COUNTY HEALTH OFFICER	DATE 4-20-81
APPROVED: Howard County Office of Planning and Zoning	DATE 4-20-81
<i>Thomas L. Harris</i> PLANNING DIRECTOR	DATE 4-20-81
<i>Michael W. Brown</i> CHIEF, DIVISION OF LAND DEVELOPMENT & ZONING ADMIN.	DATE 4-20-81

Howard County, Md., Dept. of Public Works for the Dept. of Rec. and Parks, 3430 Court House Drive, Ellicott City, Maryland
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 Adjacent Property Owners
 East: John T. Mason, Jr. Liber 276 Folio 575, Parcel 86
 West: Roland D. Zaiser, Et Al Liber 831, Folio 321, Parcel 160

LD LAND DESIGN / RESEARCH, INC.
 ONE MALL NORTH SUITE 400
 COLUMBIA, MARYLAND
 MISCELLANEOUS
 CONSTRUCTION DETAILS
CENTENNIAL PARK
 PHASE ONE - ANNAPOLIS ROAD AREA

DATE	MARCH 6, 1981	REVISIONS:	23
SCALE	AS NOTED	22 - REVISED SITE DEVELOPMENT PLAN - 11/17/82	23
DRAWN	D.A.		
CHECKED	J.C.		

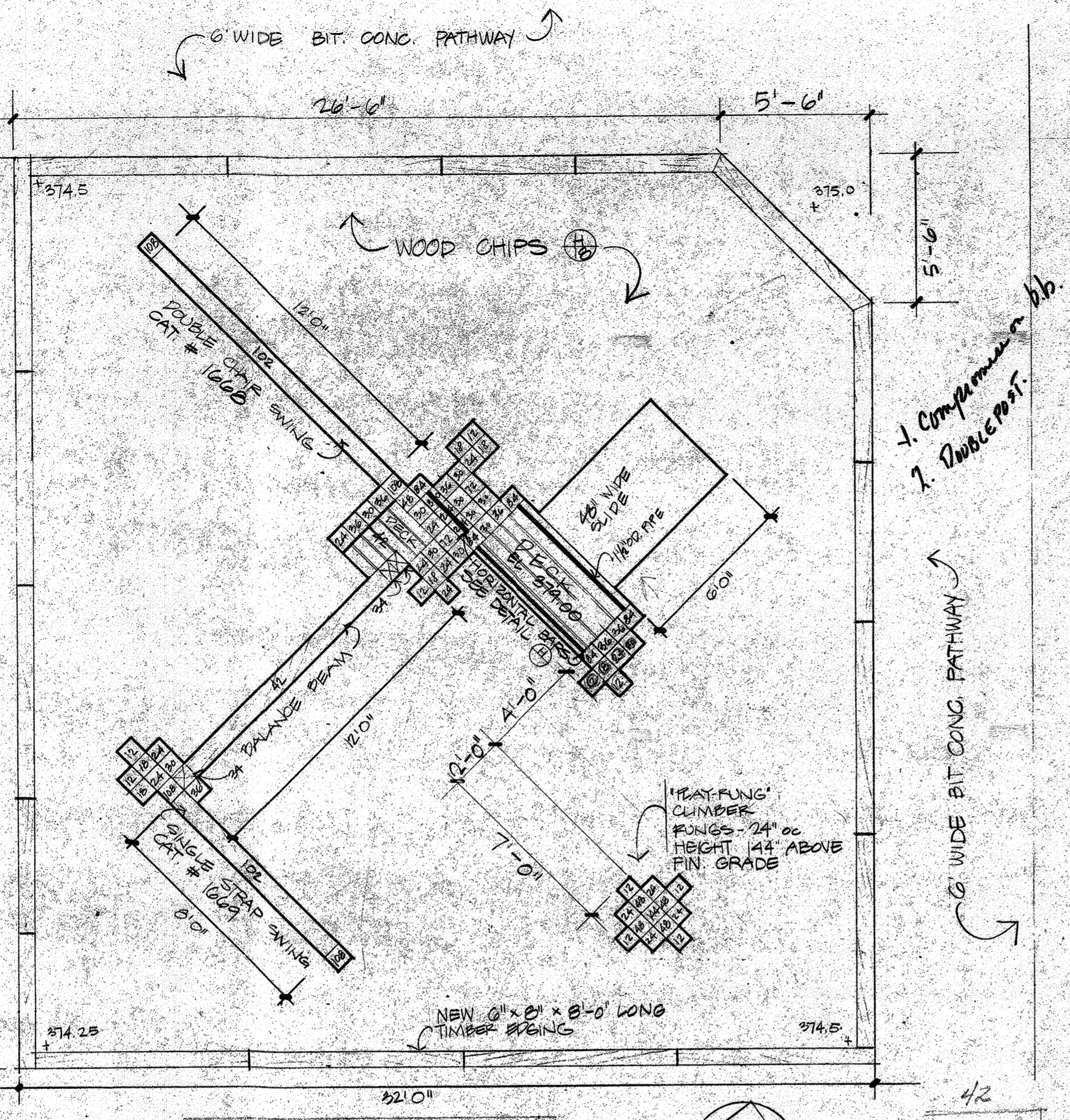
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- NOTES**
1. ALL FASTENERS TO BE GALVANIZED.
 2. CONTRACTOR MUST SUBMIT SHOP DRAWINGS OF PLAY EQUIPMENT BY MANUFACTURER SHOWING LAYOUT, DEPTH OF FOOTINGS, FASTENINGS, ETC.
 3. NUMBERS ON TIMBERS INDICATE HEIGHT IN INCHES ABOVE FINISHED GRADE.
 4. SECURE TIMBER EDGING WITH 1/2" x 24" PIPE SPACED EQUALLY - 3 PIPES PER 8'-0" LONG TIMBER.
 5. MIN. TIMBER LENGTH SHALL BE 5' OF 1 1/2" PIPE STAKES PER 8'-0" LONG TIMBER.

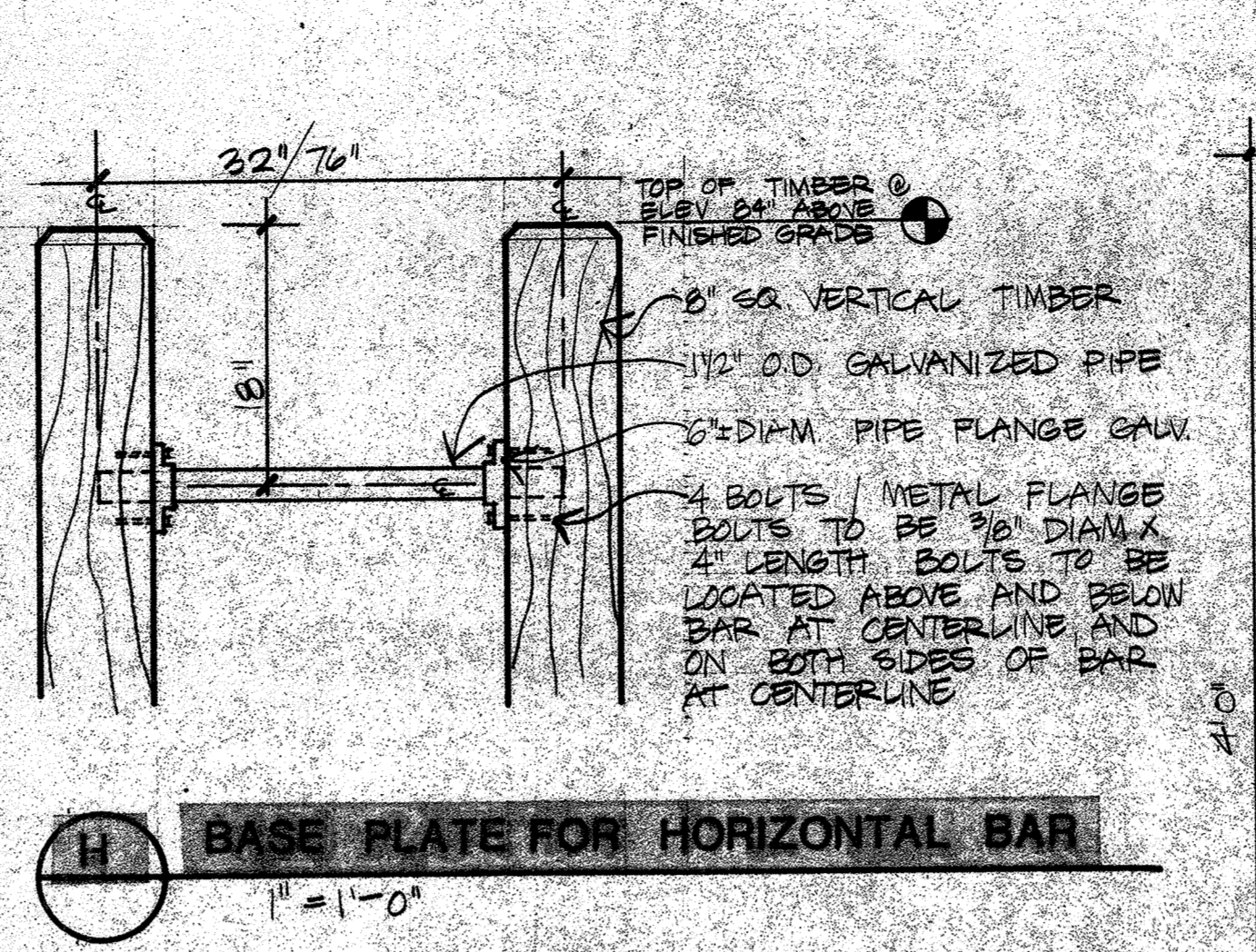


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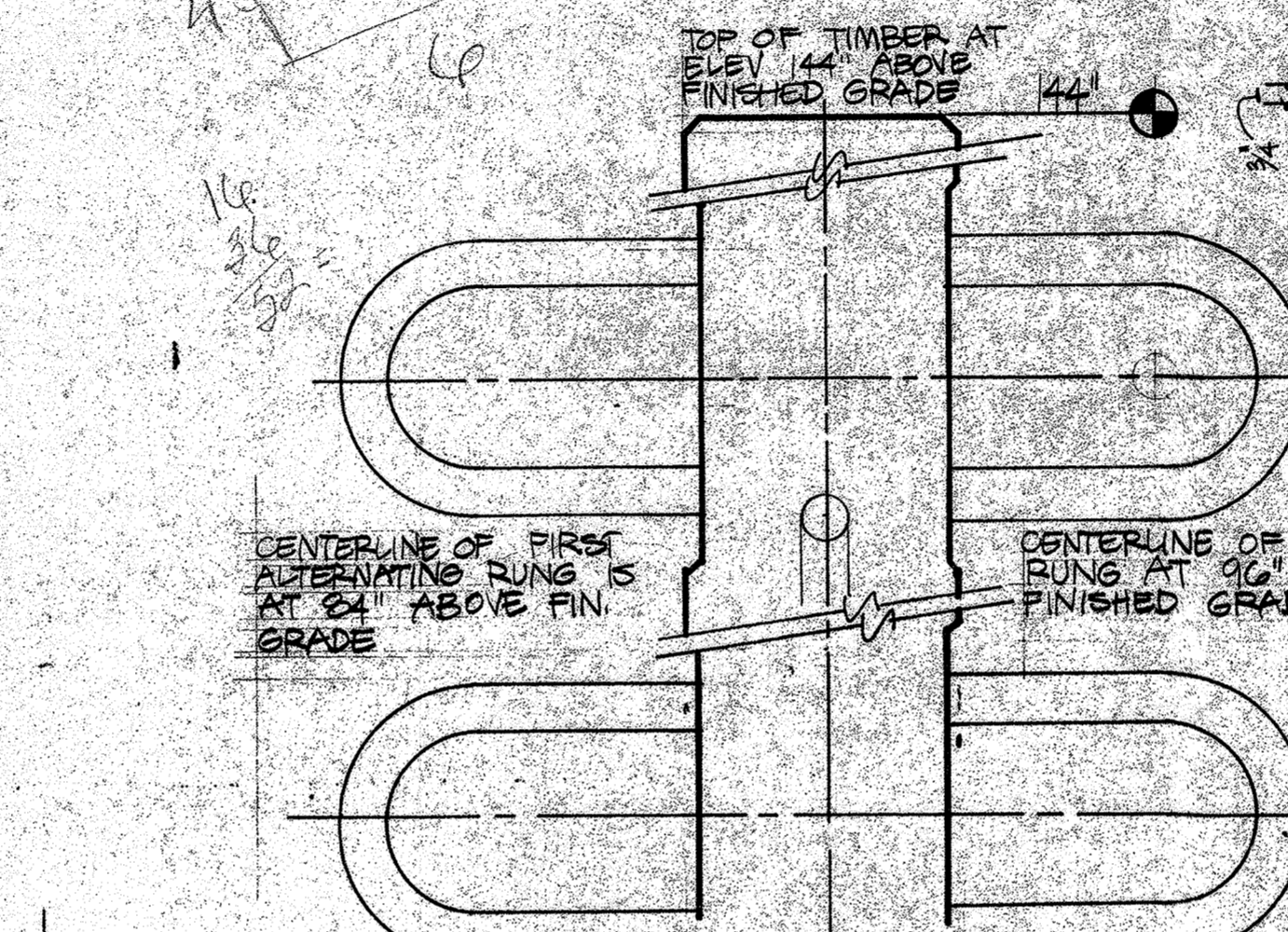
PURPOSE STATEMENT - 06/18/2003
THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLANS IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD.



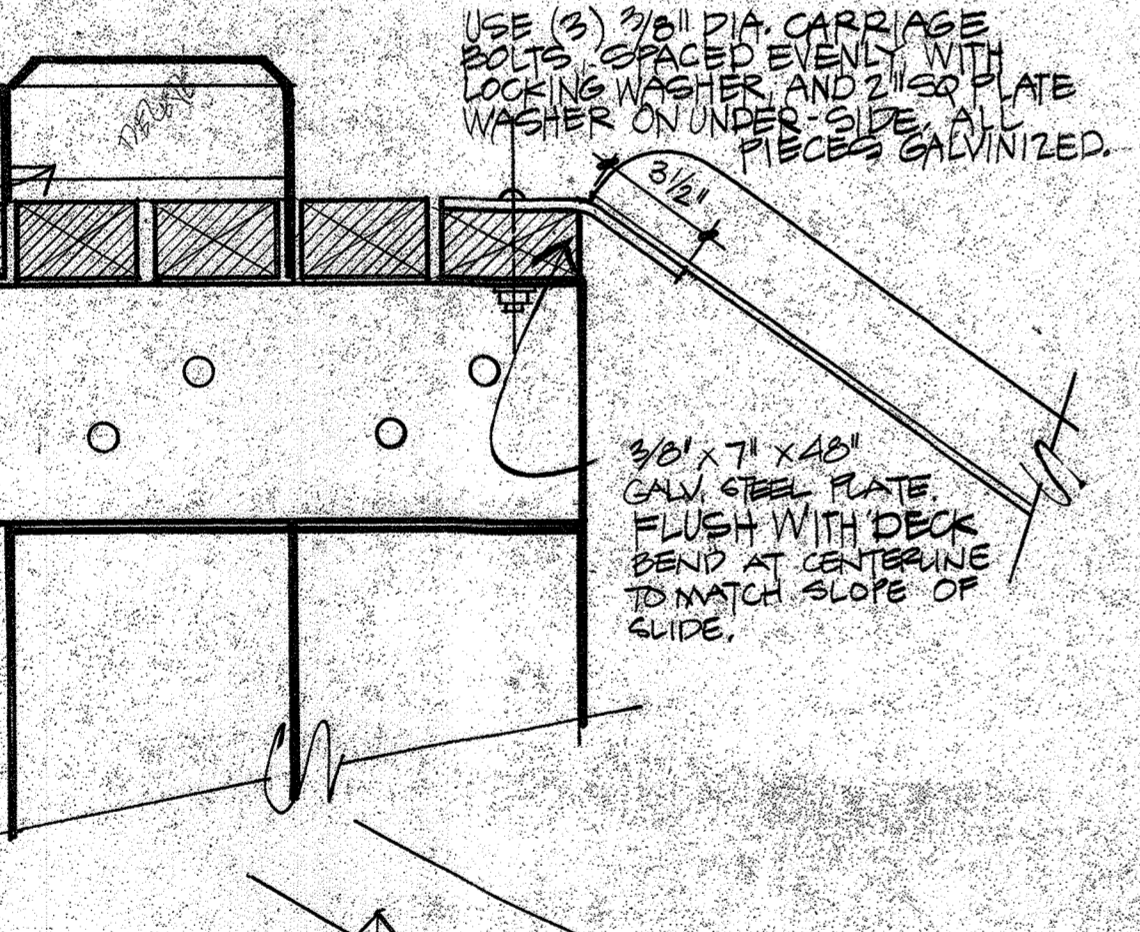
A PLAY LOT LAYOUT PLAN
SCALE 1/4" = 1'-0"



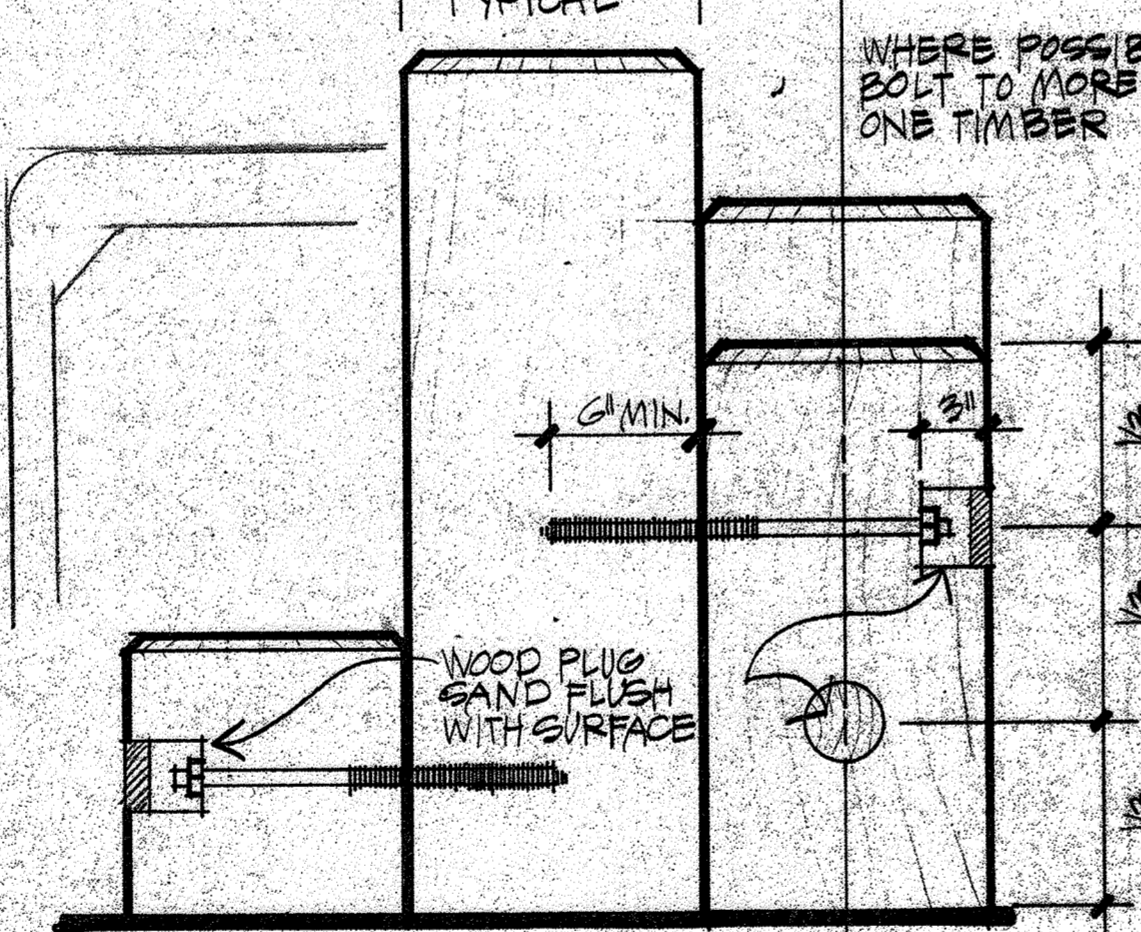
H BASE PLATE FOR HORIZONTAL BAR
SCALE 1" = 1'-0"



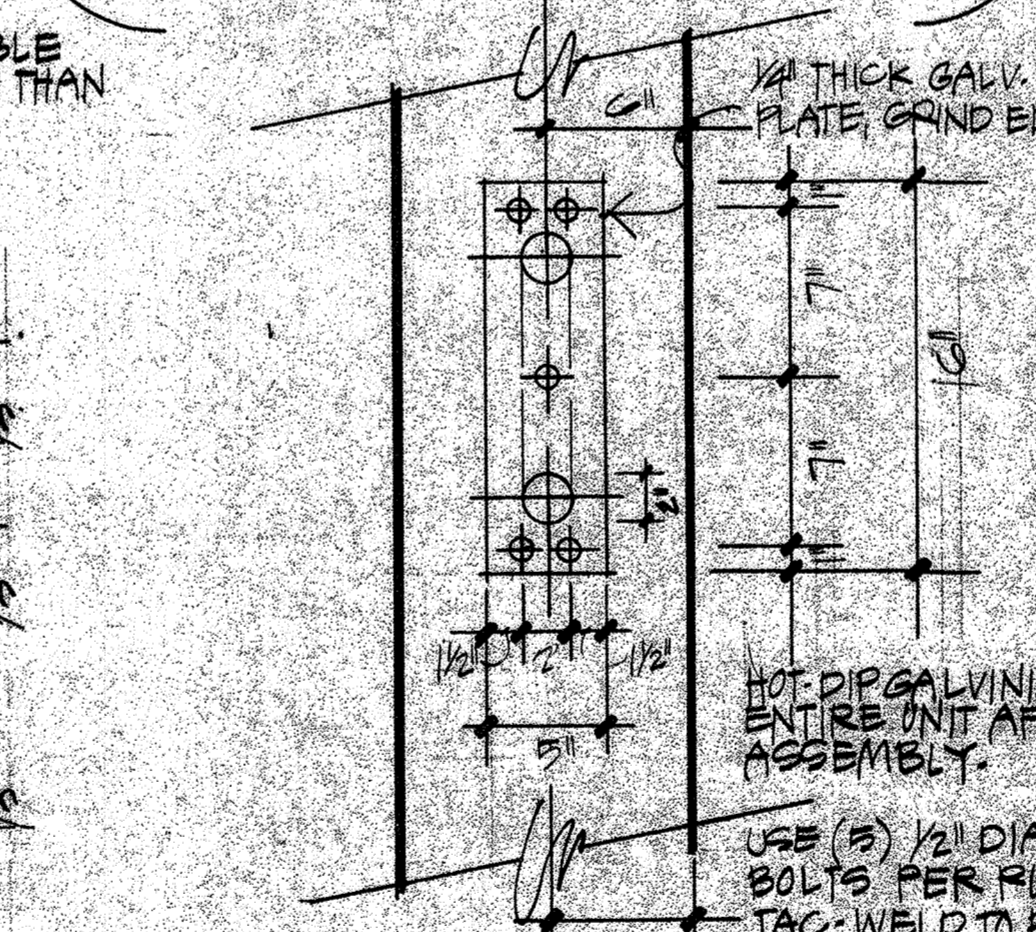
B PROJECT SIGN
SCALE N.T.S.



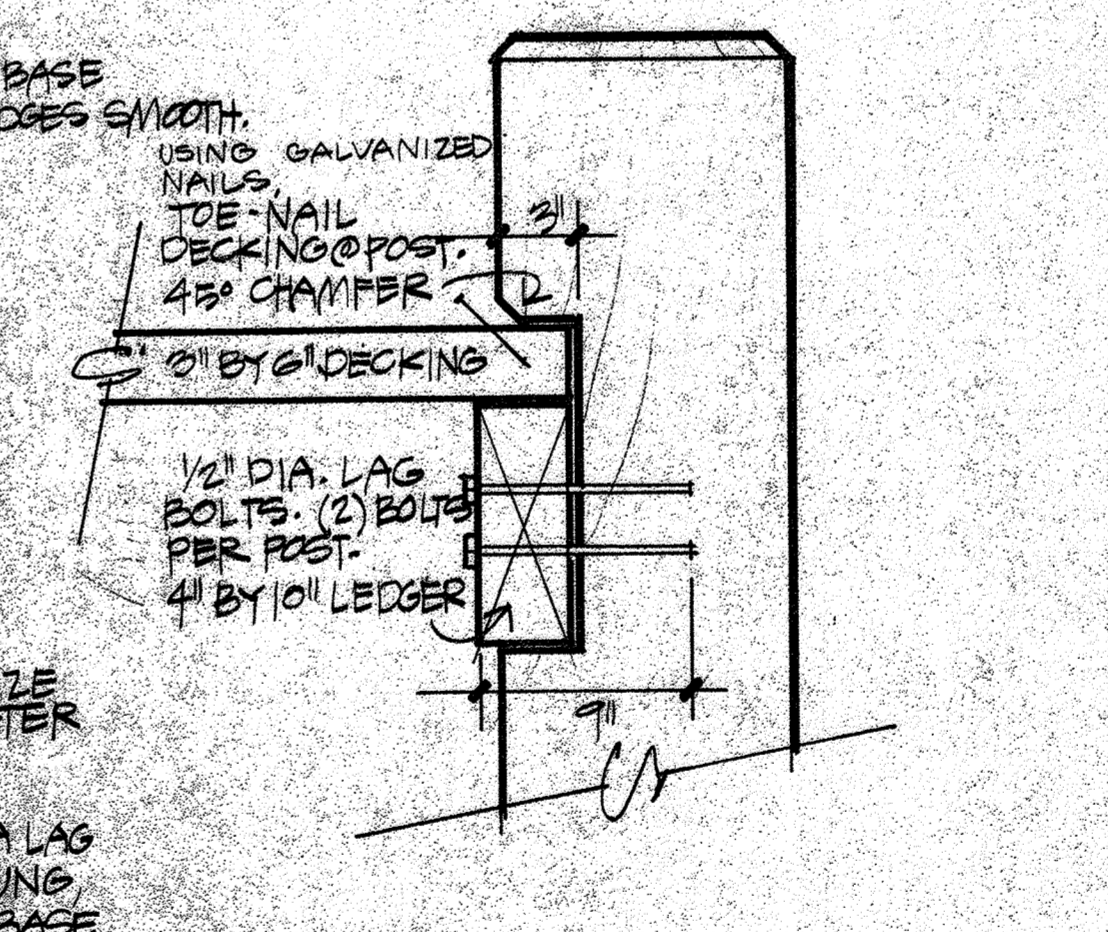
D SLIDE CONNECTION
SCALE 1/2" = ONE FOOT



E TYP. PLAYTIMBER INSTALLATION
SCALE 1/2" = ONE FOOT



F PLAY RUNG DETAIL
SCALE 1/2" = ONE FOOT



G WOOD DECKING DETAIL
SCALE 1/2" = ONE FOOT

centennial park

phase one annapolis road area
project no. n-4-3014

Howard County
department of recreation
and parks

Land Design/Research Inc.

landscape architects / site planners
5560 sterrett place suite 300 columbia, md.

NAME OF CONTRACTOR
ADDRESS OF CONTRACTOR

park under construction - do not enter

1	1/4"
2	1/2"
3	3/4"
4	1"
5	1 1/4"
6	1 1/2"
7	1 3/4"
8	2"
9	2 1/4"
10	2 1/2"
11	2 3/4"
12	3"
13	3 1/4"
14	3 1/2"
15	3 3/4"
16	4"
17	4 1/4"
18	4 1/2"
19	4 3/4"
20	5"
21	5 1/4"
22	5 1/2"
23	5 3/4"
24	6"

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE **4-13-81**
sum

APPROVED: For public Water, Public Sewerage and Storm Drainage Systems and Roads	
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS	
<i>Henry F. Nunn</i>	4-20-81
DIRECTOR	DATE
<i>William S. Ryan</i>	4-13-81
CHIEF, BUREAU OF ENGINEERING	DATE
APPROVED: For public Water and Public Sewerage Systems	
HOWARD COUNTY HEALTH DEPARTMENT	
<i>John D. Mason, Jr.</i>	4-20-81
COUNTY HEALTH OFFICER	DATE
APPROVED: Howard County Office of Planning and Zoning	
<i>Thomas J. Harnick</i>	4-20-81
PLANNING DIRECTOR	DATE
<i>John W. Murrain</i>	4-20-81
CHIEF, DIVISION OF LAND DEVELOPMENT & ZONING ADMIN.	DATE

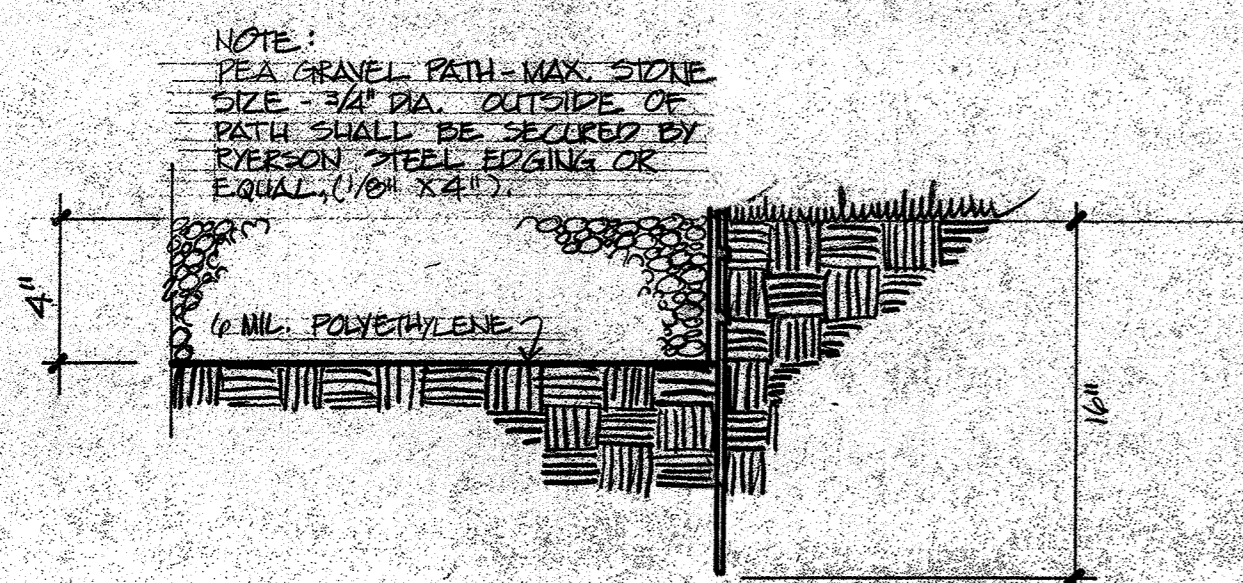
STATE OF MARYLAND
Howard County, Md., Dept. of Public Works
for the Dept. of Rec. and Parks, 3430 Court House Drive, Ellicott City, Maryland
Election District No. 2 Howard Co., Md.
Tax Map No. 30
Liber 885 Folio 76, Parcel 10, 43.18 ac.
Liber 507 Folio 437, Parcel 278, 6145 ac.
Adjacent Property Owners
East: John T. Mason, Jr.
Liber 276 Folio 575, Parcel 86
West: Roland D. Zaiser, Et Al
Liber 831, Folio 321, Parcel 160

LD LAND DESIGN / RESEARCH, INC.
ONE MALL NORTH SUITE 400
COLUMBIA, MARYLAND

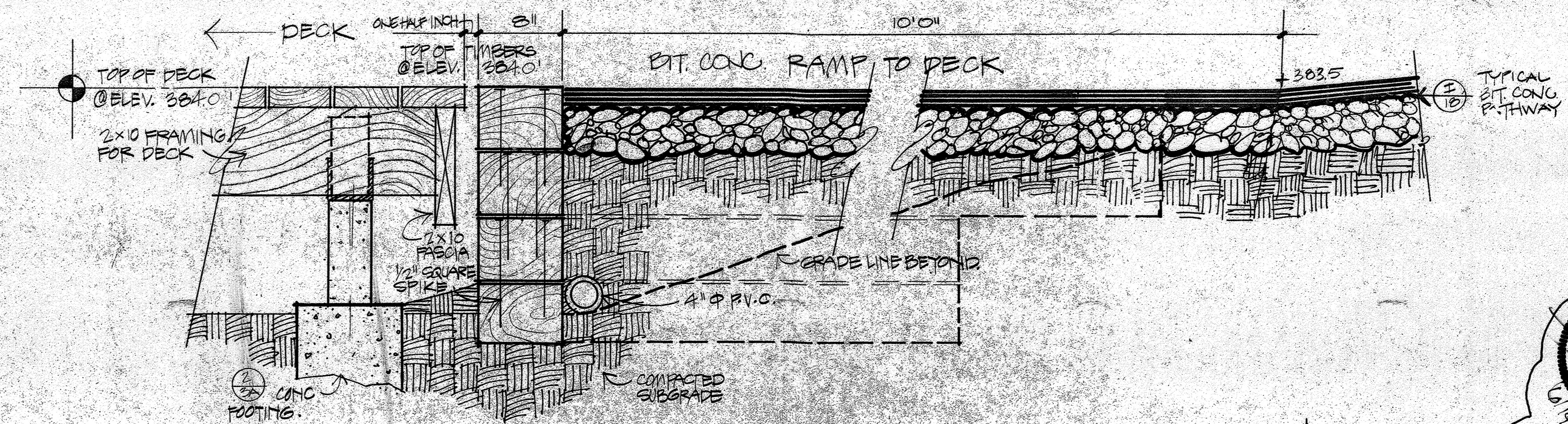
MISC. CONSTRUCTION DETAILS
CENTENNIAL PARK
PHASE ONE - ANNAPOLIS ROAD AREA

DATE	MARCH 6, 1981	REVISIONS:	
SCALE	AS NOTED	1. REVISED SITE DEVELOPMENT PLAN - 6/15/83	
DRAWN	TE		
CHECKED	NHC		

24



A GRAVEL PATH
N.T.S.

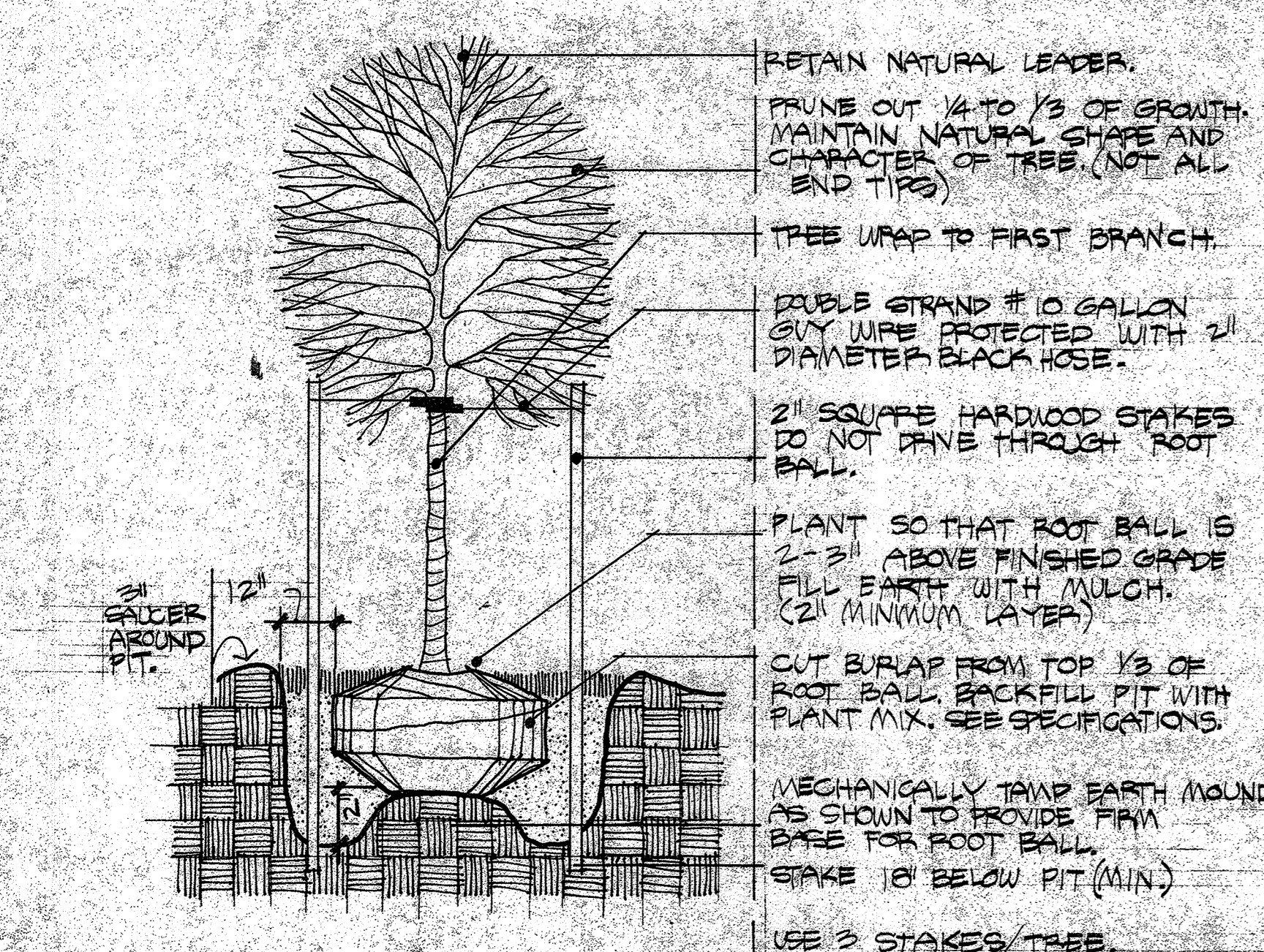


B SECTION @ RAMP TO DECK
1/2" = ONE FOOT.

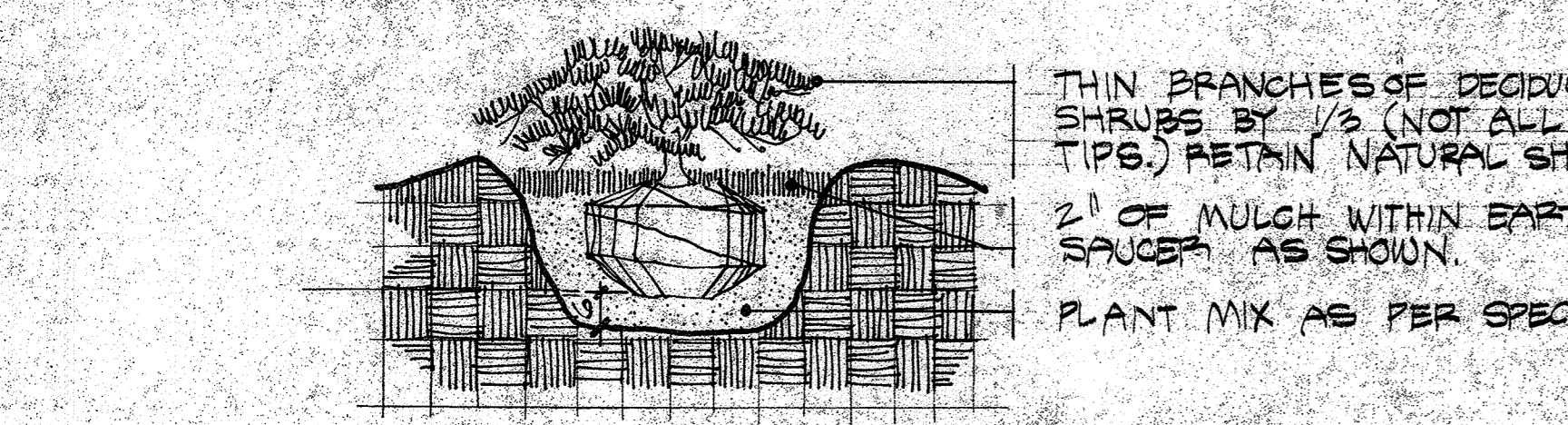
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 56848 EXPIRATION DATE 10/16/2024

PURCHASE STATEMENT - 06.15.2023
THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND PLAN AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD

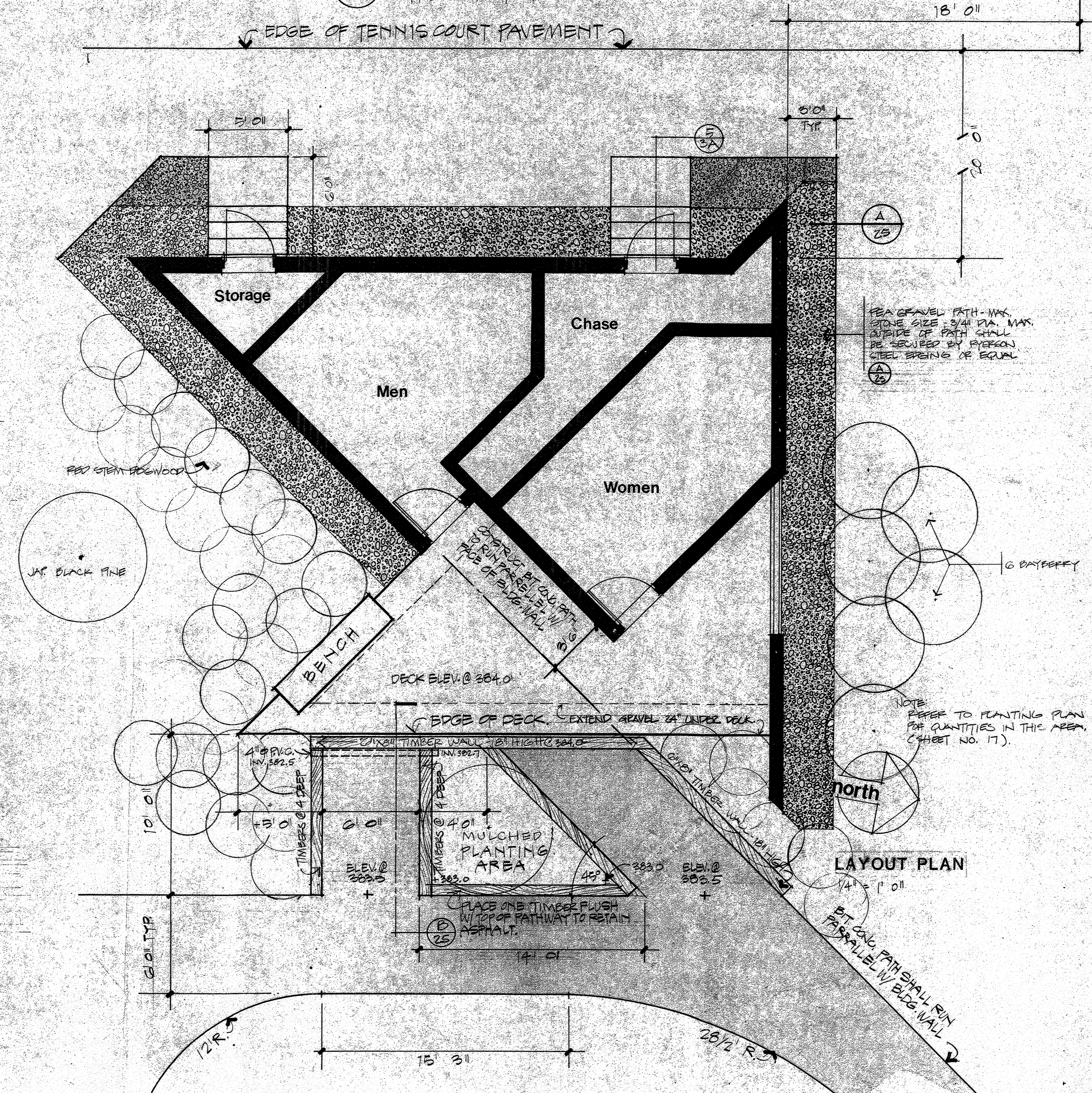
APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE **4-13-21**

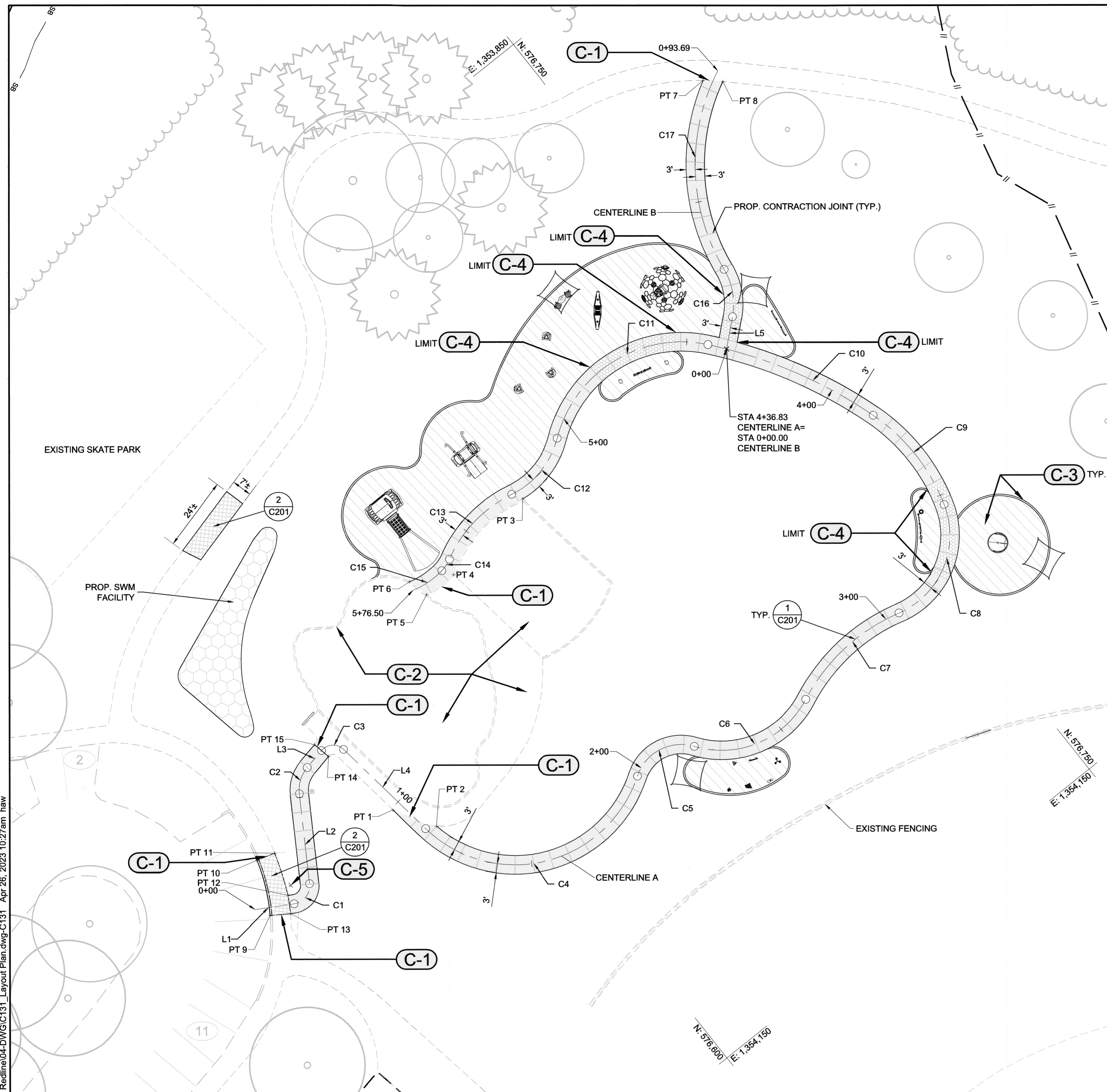


C TREE STAKING
SCALE: NONE



D SHRUB PLANTING
NO SCALE





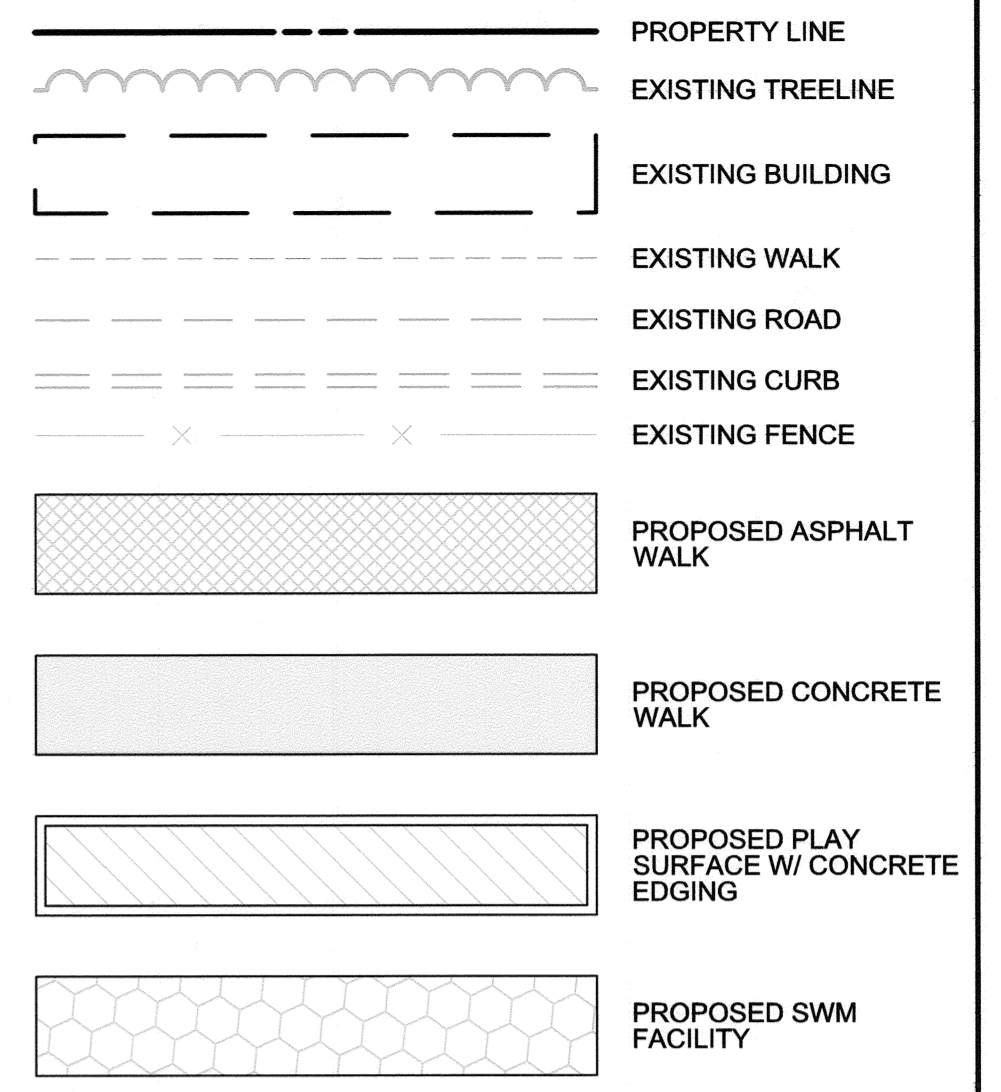
LINE DATA

LINE	START POINT	BEARING	DISTANCE	END POINT	ALIGNMENT
L1	STA. 0+00.00 N: 576509.99 E: 1354016.70	N30°17'06"E	12.83'	STA. 0+12.83 N: 576521.07 E: 1354023.17	CENTERLINE A
L2	STA. 0+21.93 N: 576529.07 E: 1354021.21	N57°52'16"W	29.27'	STA. 0+51.20 N: 576544.63 E: 1353996.42	CENTERLINE A
L3	STA. 0+60.30 N: 576551.92 E: 1353991.40	N11°11'38"W	7.21'	STA. 0+67.52 N: 576559.00 E: 1353990.00	CENTERLINE A
L4	STA. 0+75.55 N: 576564.83 E: 1353994.18	N82°28'15"E	36.93'	STA. 1+12.48 N: 576569.69 E: 1354030.78	CENTERLINE A
L5	STA. 0+00.00 N: 576743.10 E: 1353970.50	N40°45'42"W	10.60'	STA. 0+10.60 N: 576751.13 E: 1353963.58	CENTERLINE B

BASELINE CURVE DATA

CURVE	START POINT	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	END POINT	ALIGNMENT
C1	PC STA 0+12.83 N: 576521.07 E: 1354023.17	5.92'	9.10'	8.23'	N13° 47' 35"W	88°09'22"	PT STA 0+21.93 N: 576529.07 E: 1354021.21	CENTERLINE A
C2	PC STA 0+51.20 N: 576544.63 E: 1353996.42	11.17'	9.10'	8.85'	N34° 31' 57"W	46°40'38"	PT STA 0+60.30 N: 576551.92 E: 1353991.40	CENTERLINE A
C3	PC STA 0+67.52 N: 576559.00 E: 1353990.00	4.92'	8.03'	7.17'	N35° 37' 18"E	93°37'53"	PT STA 0+75.55 N: 576564.83 E: 1353994.18	CENTERLINE A
C4	PC STA 1+12.48 N: 576569.69 E: 1354030.78	42.00'	84.57'	70.99'	N24° 45' 01"E	115°22'13"	PT STA 1+97.05 N: 576634.16 E: 1354060.50	CENTERLINE A
C5	PC STA 1+97.05 N: 576634.16 E: 1354060.50	15.00'	23.07'	20.86'	N11° 07' 15"E	88°06'40"	PT STA 2+20.12 N: 576654.63 E: 1354075.21	CENTERLINE A
C6	PC STA 2+20.12 N: 576654.63 E: 1354075.21	31.00'	42.54'	39.28'	N15° 46' 37"E	78°36'59"	PT STA 2+62.65 N: 576692.42 E: 1354075.21	CENTERLINE A
C7	PC STA 2+62.65 N: 576692.42 E: 1354075.21	62.00'	42.04'	41.24'	N4° 06' 29"W	38°50'48"	PT STA 3+04.69 N: 576733.55 E: 1354072.25	CENTERLINE A
C8	PC STA 3+04.69 N: 576733.55 E: 1354072.25	27.33'	42.08'	38.04'	N28° 42' 09"W	88°12'07"	PT STA 3+46.77 N: 576766.92 E: 1354053.98	CENTERLINE A
C9	PC STA 3+46.77 N: 576766.92 E: 1354053.98	62.67'	37.55'	36.99'	N89° 58' 05"W	34°19'46"	PT STA 3+84.31 N: 576766.94 E: 1354016.99	CENTERLINE A
C10	PC STA 3+84.31 N: 576766.94 E: 1354016.99	150.17'	58.72'	58.35'	S61° 39' 52"W	22°24'19"	PT STA 4+43.04 N: 576739.25 E: 1353965.63	CENTERLINE A
C11	PC STA 4+43.04 N: 576739.25 E: 1353965.63	41.75'	63.61'	57.64'	S6° 48' 43"W	87°17'58"	PT STA 5+06.65 N: 576682.02 E: 1353958.80	CENTERLINE A
C12	PC STA 5+06.65 N: 576682.02 E: 1353958.80	28.00'	24.19'	23.44'	S12° 05' 25"E	49°29'41"	PT STA 5+30.84 N: 576659.10 E: 1353963.71	CENTERLINE A
C13	PC STA 5+30.84 N: 576659.10 E: 1353963.71	42.47'	29.76'	29.16'	S7° 25' 11"E	40°09'12"	PT STA 5+60.60 N: 576630.18 E: 1353967.47	CENTERLINE A
C14	PC STA 5+60.60 N: 576630.18 E: 1353967.47	13.00'	4.53'	4.50'	S17° 31' 14"E	19°57'06"	PT STA 5+65.13 N: 576625.89 E: 1353968.83	CENTERLINE A
C15	PC STA 5+65.13 N: 576625.89 E: 1353968.83	27.00'	11.37'	11.29'	S4° 31' 26"W	24°08'13"	PT STA 5+76.50 N: 576614.63 E: 1353967.94	CENTERLINE A
C16	PC STA 0+10.60 N: 576751.13 E: 1353963.58	22.00'	15.94'	15.59'	N61° 30' 47"W	41°30'11"	PT STA 0+26.53 N: 576758.57 E: 1353949.88	CENTERLINE B
C17	PC STA 0+26.53 N: 576758.57 E: 1353949.88	66.33'	67.16'	64.33'	N53° 15' 38"W	58°00'31"	PT STA 0+93.69 N: 576797.04 E: 1353898.33	CENTERLINE B

LEGEND



CONSTRUCTION NOTES

- THESE NOTES PERTAIN TO C131 ONLY.
- C-1** MEETING EXISTING PAVING SMOOTHLY IN LINE AND GRADE
 - C-2** EXISTING PLAYGROUND AND ADJACENT CONCRETE WALK WAS CONSTRUCTED WITHOUT A GRADING PERMIT UNDER THE SUPERVISION OF HOWARD COUNTY RECREATION AND PARKS SINCE THE LIMIT OF DISTURBANCE WAS LESS THAN 5,000 SQUARE FEET.
 - C-3** PROPOSED PLAYGROUND SURFACING, EQUIPMENT, AND CONCRETE EDGING SHALL BE INSTALLED BY OTHERS.
 - C-4** CONCRETE WALK WITHIN DESIGNATED LIMITS ON PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH DETAIL 4/C514
 - C-5** REINSTALL PARK SIGN

SITE GEOMETRY POINT TABLE

POINT NAME	REFERENCE BASELINE	STATION	OFFSET	DESCRIPTION	ALIGNMENT
PT 1	CENTERLINE A	1+00.67	RT 3.00'	MEET EX. WALK	CENTERLINE A
PT 2	CENTERLINE A	1+14.57	LT 3.00'	MEET EX. WALK	CENTERLINE A
PT 3	CENTERLINE A	5+28.55	LT 3.00'	MEET EX. CONC. EDGING	CENTERLINE A
PT 4	CENTERLINE A	5+63.80	LT 3.72'	MEET EX. CONC. EDGING	CENTERLINE A
PT 5	CENTERLINE A	5+73.30	LT 3.21'	MEET EX. CONC. EDGING	CENTERLINE A
PT 6	CENTERLINE A	5+76.50	RT 3.00'	MEET EX. CONC. EDGING	CENTERLINE A

SITE GEOMETRY POINT TABLE

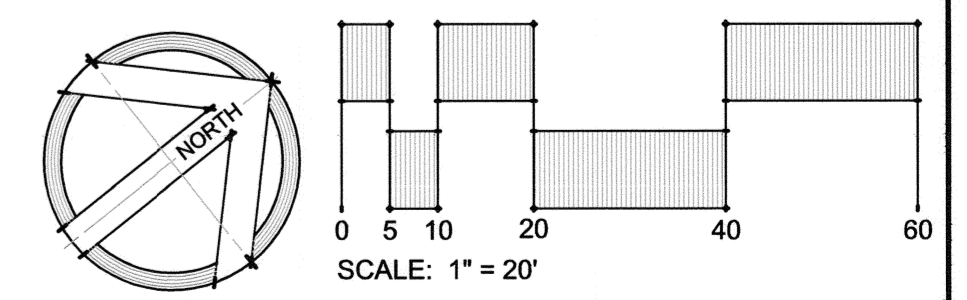
POINT NAME	REFERENCE BASELINE	STATION	OFFSET	DESCRIPTION	ALIGNMENT
PT 7	CENTERLINE B	0+88.98	LT 3.00'	MEET EX. WALK	CENTERLINE B
PT 8	CENTERLINE B	0+91.29	RT 3.00'	MEET EX. WALK	CENTERLINE B
PT 9	CENTERLINE A	0+04.56	RT 2.60'	MEET EX. CURB	CENTERLINE A
PT 10	CENTERLINE A	0+02.92	LT 15.71'	MEET EX. CURB	CENTERLINE A
PT 11	CENTERLINE A	0+33.06	LT 10.14'	MEET EX. WALK	CENTERLINE A
PT 12	CENTERLINE A	0+11.25	LT 3.00'	MEET EX. WALK	CENTERLINE A

SITE GEOMETRY POINT TABLE

POINT NAME	REFERENCE BASELINE	STATION	OFFSET	DESCRIPTION	ALIGNMENT
PT 13	CENTERLINE A	0+11.25	RT 3.00'	MEET EX. WALK	CENTERLINE A
PT 14	CENTERLINE A	0+67.52	RT 3.00'	MEET EX. WALK	CENTERLINE A
PT 15	CENTERLINE A	0+67.52	LT 3.00'	MEET EX. WALK	CENTERLINE A

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 56248 EXPIRATION DATE 12/16/2024

PURPOSE STATEMENT - 06.15.2023
 THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD.



APPROVED: DEPARTMENT OF PLANNING & ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 6/23/23
 DATE: 6/29/23
 DATE: 7/5/23

Howard County
 RECREATION & PARKS

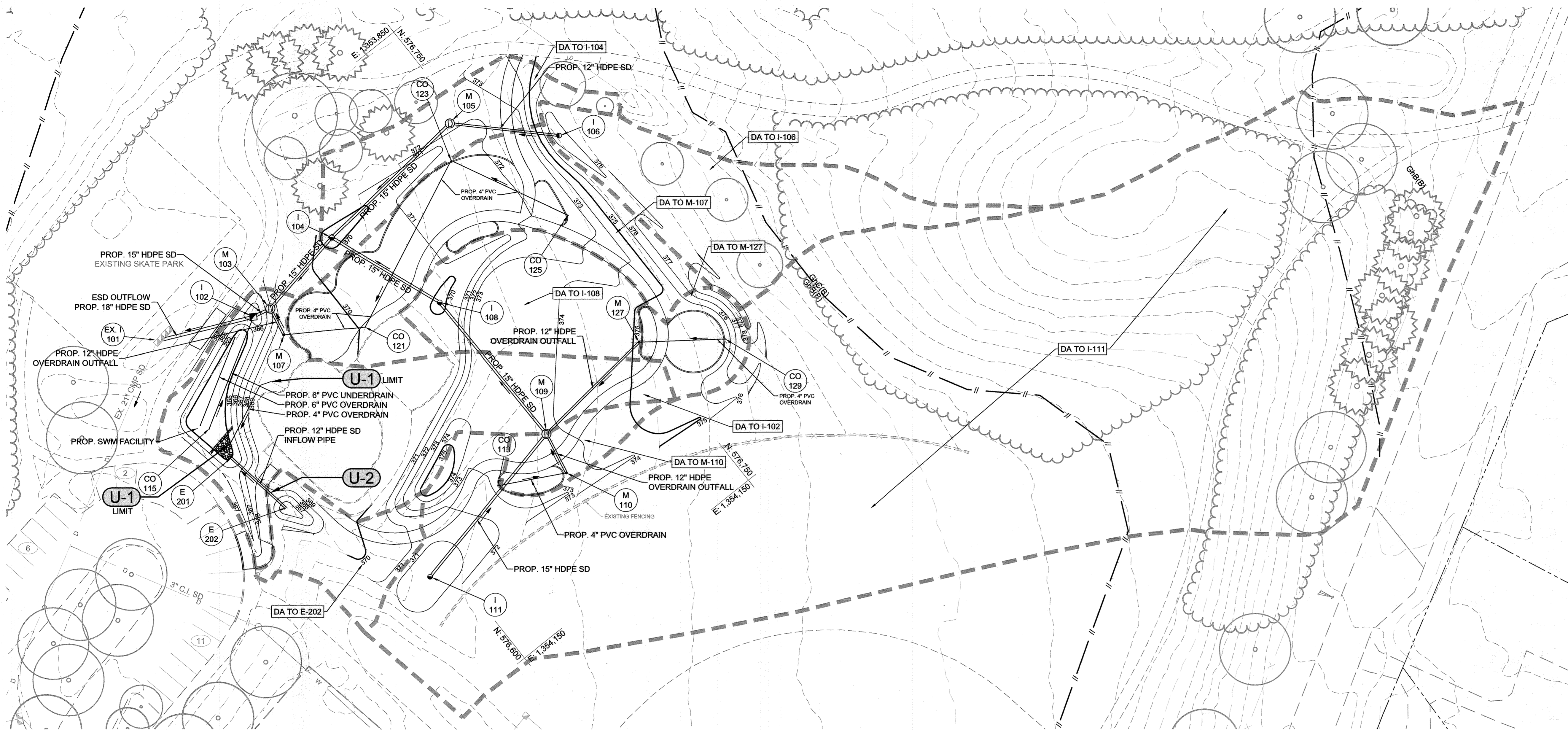
SITERESOURCES
 Creative Design. Successfully Engineered.
 14315 Jarrattsville Pike, Phoenix, MD 21131-0249
 410.683.3388 www.siteresourcesinc.com

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 56448 EXPIRATION DATE: 12/16/2024

NO.	DATE	DESCRIPTION	ADDRESS CHART	PERMIT INFORMATION CHART			
1	06.15.2023	REVISED SITE DEVELOPMENT PLAN	MAP/GRID/PARCEL MAP 0030/GRID 0002 PARCEL 0010	STREET ADDRESS 9801 OLD ANNAPOLIS ROAD, ELLCOTT CITY, MD 21042	PROJECT NAME CENTENNIAL PARK NORTH	SECTION/AREA N/A	LOT/PARCEL NO. 0010
				LIBER / FOLIO # L. 885/ F. 79	GRID # 2	ZONING R-20	TAX MAP NO. 1402218690
				WATER CODE --	SEWER CODE --	PROPERTY IMPROVEMENT NEW PLAYGROUND AREA	ELECT DISTRICT 2nd
						CENSUS TRACT 602304	

35
PROPOSED PLAYGROUND LAYOUT PLAN
C131
 SHEET 35 OF 48
 SDP-81-126

© SITERESOURCES, INC. 2/22/2023 HVC0 Centennial Park N Playground Redline 04-DV(C)131_Layout Plan.dwg-C131 Apr 28, 2023 10:27am 18aw



LEGEND

- PROPERTY LINE
- EXISTING TREELINE
- EXISTING BUILDING
- EXISTING WALK
- EXISTING ROAD
- EXISTING CURB
- EXISTING FENCE
- EXISTING TREES
- EX. 15" SD
- EX. 6" W
- PROPOSED CONCRETE WALK
- PROPOSED PLAY SURFACE W/ CONCRETE EDGING
- PROPOSED CONTOURS
- PROPOSED 15" SD
- DRAINAGE AREA

UTILITY NOTE

THESE NOTES PERTAIN TO C151 ONLY.

U-1 INSTALL APPROXIMATELY 40'-0" OF 4" PVC OVERDRAIN THAT CONNECT THE EXISTING OVERDRAIN TO 3" ABOVE THE PROPOSED SWM FACILITY FOREBAY

U-2 ADJUST EXISTING ELECTRICAL HANDBOX TO MEET FINISHED GRADE

INLET	DA (SF)	% IMP	C FACTOR
I-104	5,414	5%	0.24
I-106	9,538	0%	0.21
M-107	9,995	72%	0.88
I-108	6,373	0%	0.21
M-127	2,412	49%	0.53
I-102	19,083	32%	0.42
M-110	1,536	47%	0.52
I-111	94,752	3%	0.23
E-202	3,792	11%	0.28

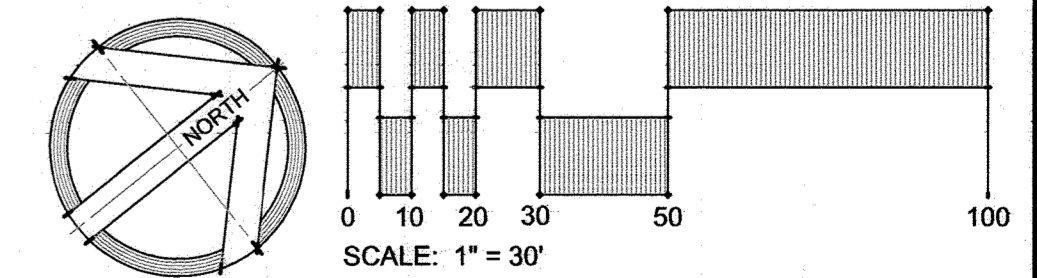
SOILS TABLE

MAP UNIT SYMBOL	MAP UNIT NAME	HYDROLOGIC SOIL GROUP	"K" VALUE
GhB	GLENELG-URBAN LAND COMPLEX 0 TO 8% SLOPES	B	Not Rated
GhC	GLENELG-URBAN LAND COMPLEX 8 TO 15% SLOPES	B	.28



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 EXPIRATION DATE 12/16/2024

PURPOSE STATEMENT - 06.15.2023
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APPROVED: DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

6/29/23
 6/29/23
 7/5/23
 DATE

Howard County
 RECREATION & PARKS

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NO.	DATE	DESCRIPTION	ADDRESS CHART	PERMIT INFORMATION CHART
1	06.15.2023	REVISED SITE DEVELOPMENT PLAN	MAP/GRID/PARCEL MAP 0030/GRID 0002 PARCEL 0010	PROJECT NAME CENTENNIAL PARK NORTH LIBER / FOLIO # L. 885/ F. 79 GRID # 2 ZONING R-20 TAX MAP NO. 1402218690 ELECT DISTRICT 2nd CENSUS TRACT 602304 PROPERTY IMPROVEMENT NEW PLAYGROUND AREA

36
PROPOSED UTILITY PLAN
C151
 SHEET 36 OF 48
 SDP-81-126

© SITE RESOURCES, INC. Z:\22\22086-HWCO Centennial Park N Playground Redline\04-DWG\C341_SD DA Map&Utility Plan.dwg-C151 Apr 26, 2023 02:20pm haw



LEGEND

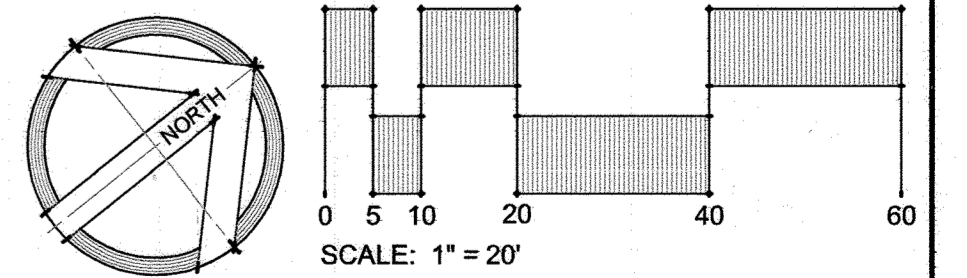
	PROPERTY LINE
	EXISTING TREELINE
	EXISTING BUILDING
	EXISTING WALK
	EXISTING ROAD
	EXISTING CURB
	EXISTING FENCE
	EXISTING TREES
	EXISTING 15" SD
	EXISTING 6" W
	PROPOSED CONCRETE WALK
	PROPOSED PLAY SURFACE W/ CONCRETE EDGING
	PROPOSED CONTOURS
	EXISTING SPOT ELEVATIONS
	PROPOSED SPOT ELEVATIONS
	PROPOSED STORM DRAIN
	LIMIT OF DISTURBANCE

© SITE RESOURCES, INC. Z:\22220266-HWCO Centennial Park N Playground Redline\04-DWG\C161 Grading Plan.dwg-C161 Apr 26, 2023 10:28am haw
 21" CMP SD
 3" C.I. SD
 11



PROFESSIONAL CERTIFICATION
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APPROVED: DEPARTMENT OF PLANNING & ZONING

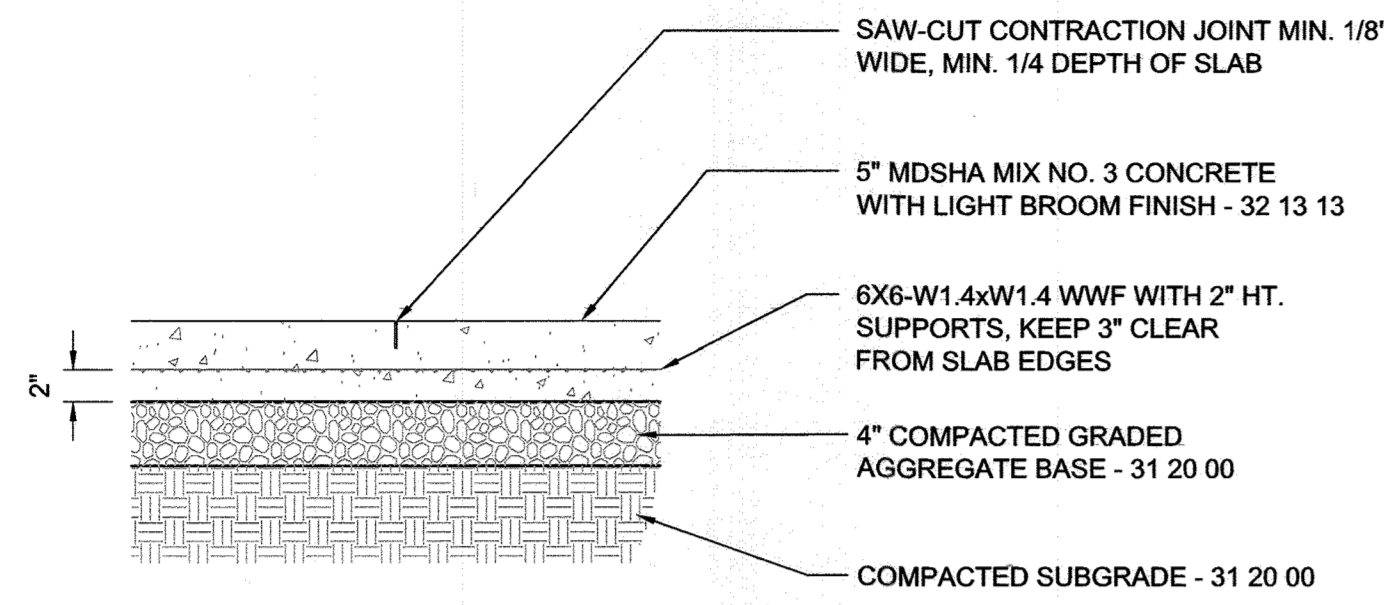
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 6.29.23

CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 7/5/23
 DIRECTOR

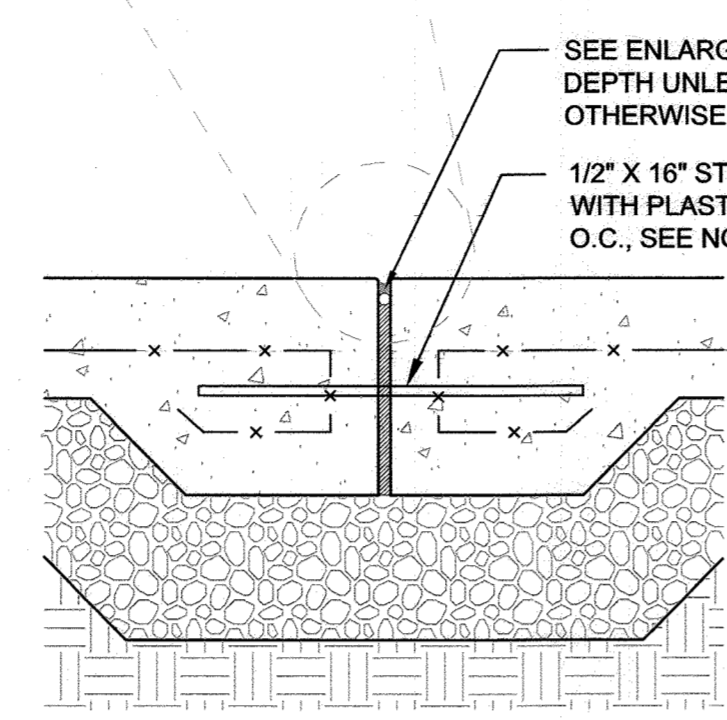
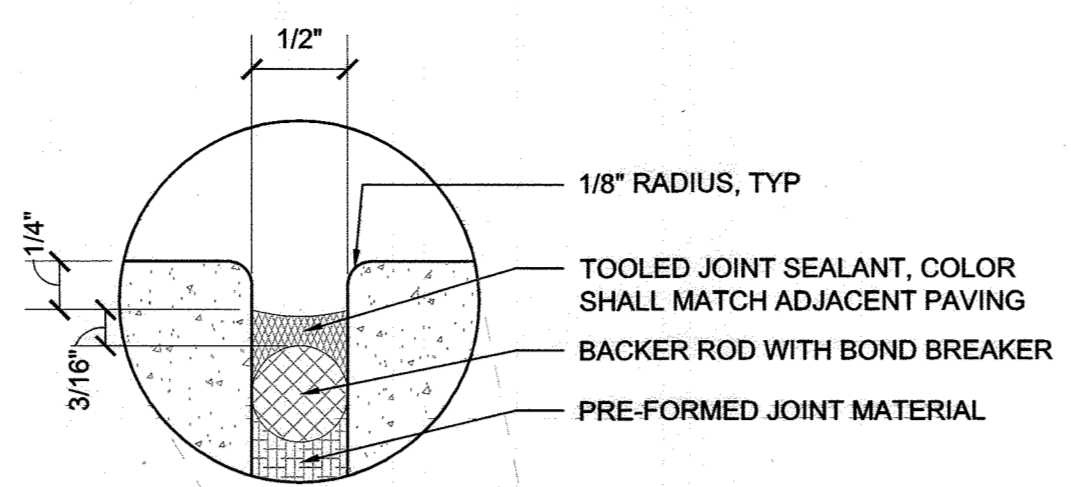
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 RECREATION & PARKS

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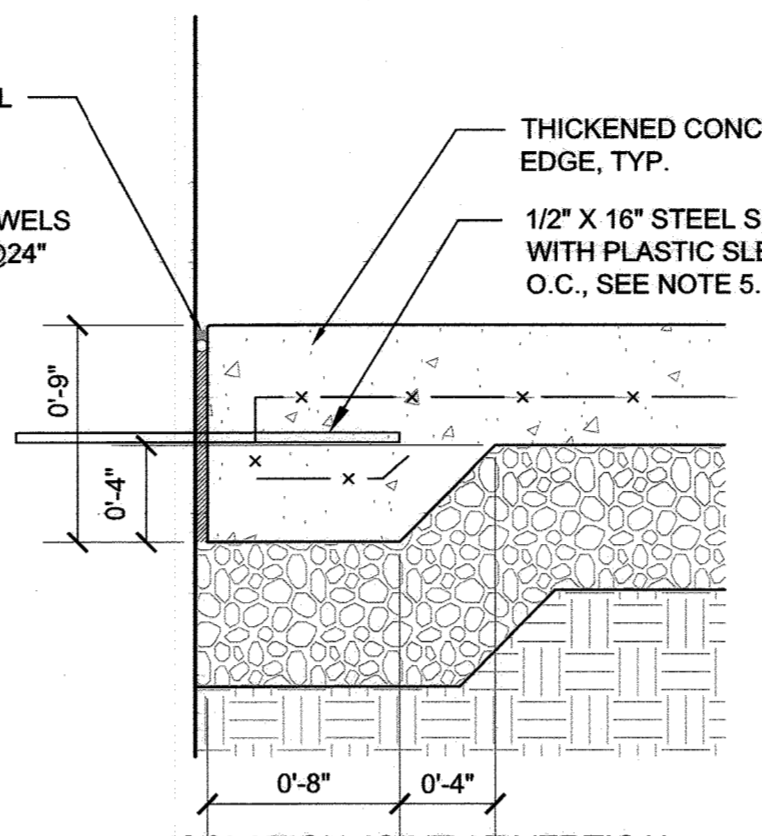
NO.	DATE	DESCRIPTION	ADDRESS CHART			PERMIT INFORMATION CHART			37 PROPOSED GRADING PLAN C161 SHEET 37 OF 48 SDP-81-126
△	06.15.2023	REVISED SITE DEVELOPMENT PLAN	MAP/GRID/PARCEL	STREET ADDRESS	PROJECT NAME	SECTION/AREA	LOT/PARCEL NO.		
			MAP 0030/GRID 0002 PARCEL 0010	9801 OLD ANNAPOLIS ROAD, ELLCOTT CITY, MD 21042	CENTENNIAL PARK NORTH	N/A	0010		
					LIBER / FOLIO #	ELECT DISTRICT	CENSUS TRACT		
					L. 885/ F. 79	2	2nd	602304	
					WATER CODE	SEWER CODE	PROPERTY IMPROVEMENT		
							NEW PLAYGROUND AREA		



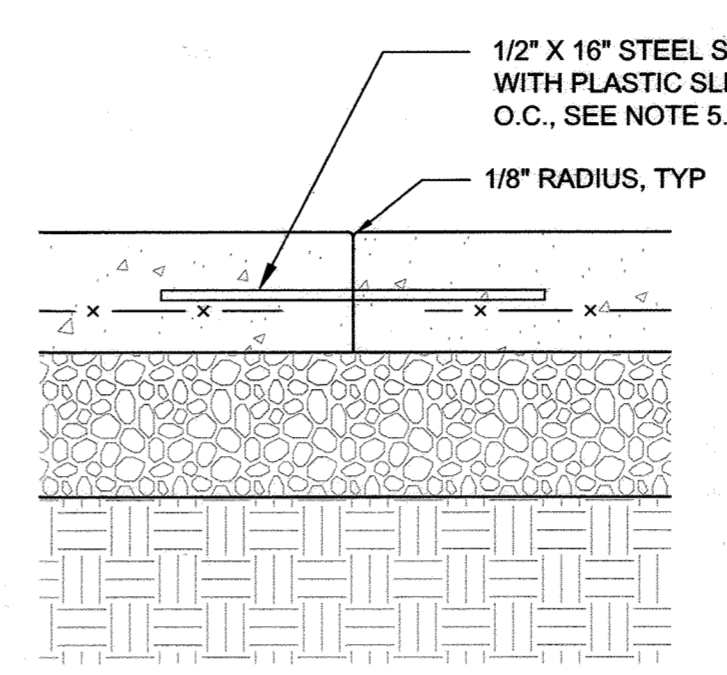
- NOTES:
1. PLACE CONTRACTION JOINTS AT INTERVAL MATCHING WIDTH OF SIDEWALK BUT NOT MORE THAN 2X THE SLAB THICKNESS IN FEET.
 2. PROVIDE ISOLATION JOINTS WHERE POUR MEETS EXISTING CONCRETE PAVING OR CURB AND ALL PROPOSED VERTICAL CONDITIONS.
 3. WHEN CONCRETE PAVING ABUTS EXISTING CONCRETE PAVING, CORE DRILL AND INSTALL DOWELS PER DETAIL.
 4. UNLESS OTHERWISE SHOWN ON PLAN, CONTRACTOR TO SUBMIT LAYOUT OF PROPOSED CONTRACTION JOINTS FOR APPROVAL PRIOR TO POURING CONCRETE.



(A) ISOLATION JOINT AT CONCRETE PAVING & CONCRETE SUBBASES



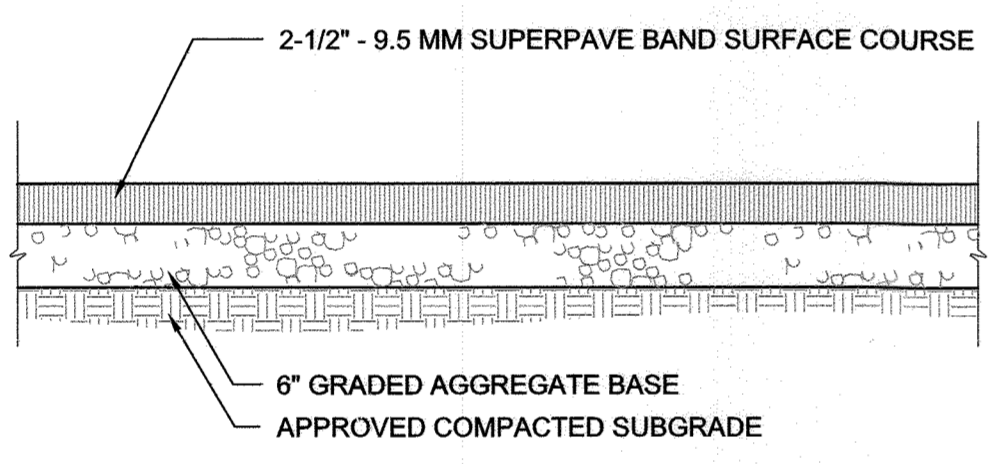
(B) ISOLATION JOINT AT VERTICAL INTERFACES, WALLS, CURBS, ETC.



(C) CONSTRUCTION JOINT

1 CONCRETE WALK

NOT TO SCALE



- NOTES:
1. A REPRESENTATIVE FROM THE ON-SITE GEO-TECHNICAL ENGINEER SHALL OBSERVE AND TEST ANY COMPACTED FILL TO BE USED FOR PAVEMENT SUPPORT, AND OBSERVE ANY PROOFROLLING OPERATIONS OF PAVEMENT SUBGRADES.

2 ASPHALT WALK

NOT TO SCALE



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 56848
 EXPIRATION DATE 12/16/2024

PURPOSE STATEMENT - 06.15.2023
 THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD.

APPROVED: DEPARTMENT OF PLANNING & ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION 6/29/23 DATE
 CHIEF, DIVISION OF LAND DEVELOPMENT 6/29/23 DATE
 DIRECTOR 7/5/23 DATE

Howard County
 RECREATION & PARKS

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NO.	DATE	DESCRIPTION	ADDRESS CHART		PERMIT INFORMATION CHART				
△	06.15.2023	REVISED SITE DEVELOPMENT PLAN	MAP/GRID/PARCEL	STREET ADDRESS	PROJECT NAME	SECTION/AREA	LOT/PARCEL NO.		
			MAP 0030/GRID 0002 PARCEL 0010	9801 OLD ANNAPOLIS ROAD, ELLCOTT CITY, MD 21042	CENTENNIAL PARK NORTH	N/A	0010		
					LIBER / FOLIO #	GRID #	ZONING	TAX MAP NO.	ELECT DISTRICT
					L. 885/ F. 79	2	R-20	1402218690	2nd
					WATER CODE	SEWER CODE	PROPERTY IMPROVEMENT		
					--	--	NEW PLAYGROUND AREA		

38
 SITE DETAILS
C201
 SHEET 38 OF 48

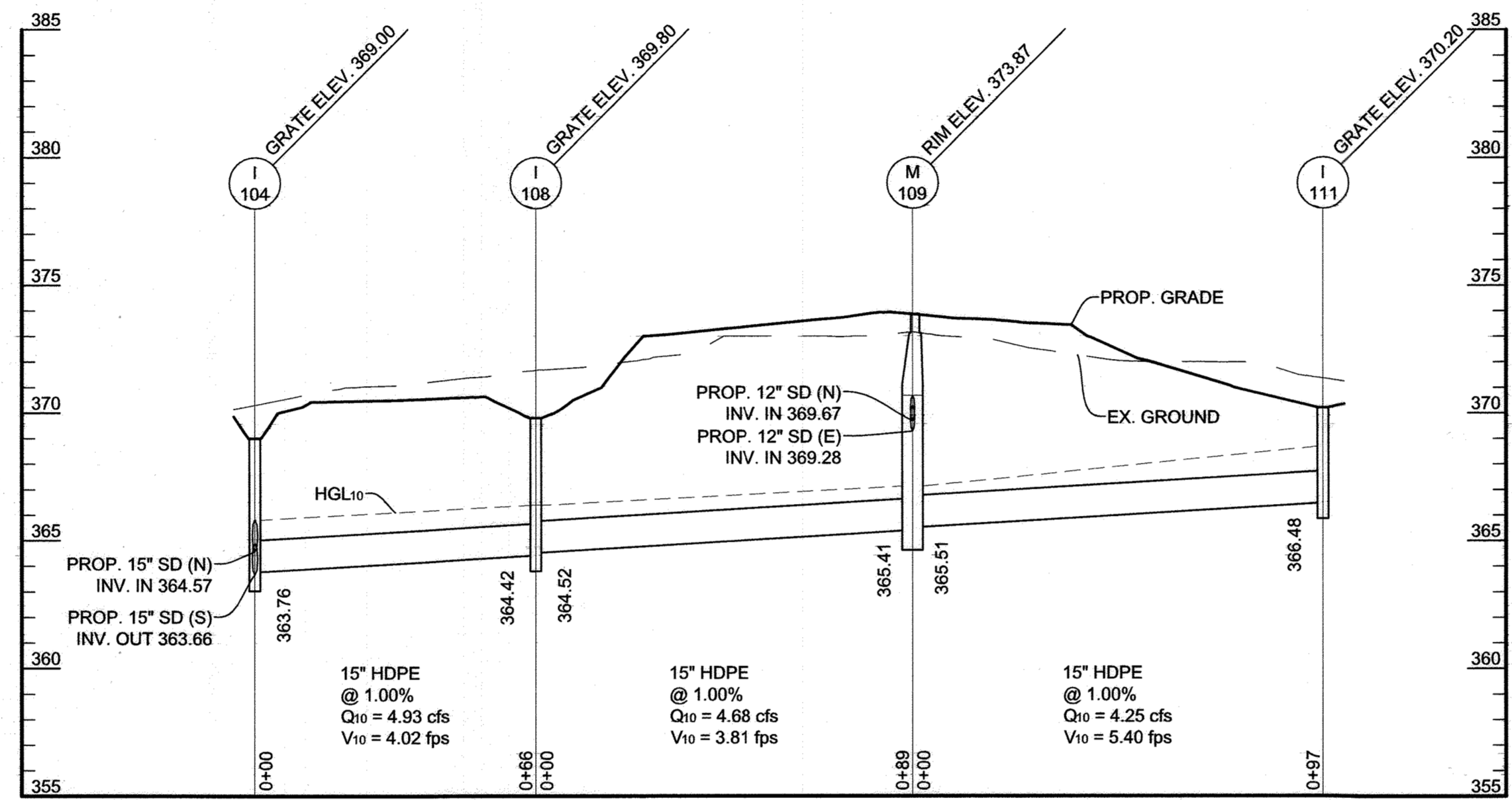
© SITE RESOURCES, INC. Z:\2222086-HWCO Centennial Park N Playground Realign\04-DWG\C131_Layout\Plan.dwg-C201 Apr 26, 2023 10:28am haw

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 56848 EXPIRATION DATE 12/16/2024

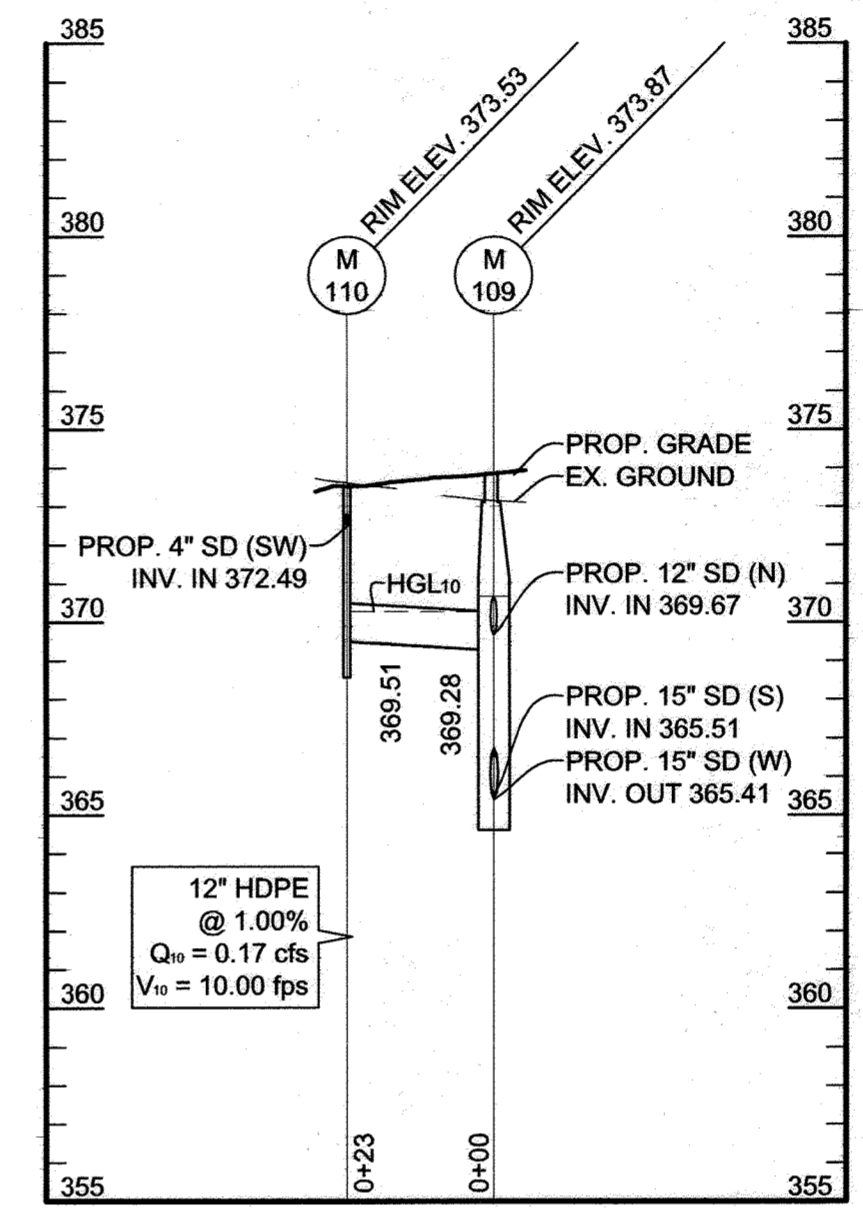
PURPOSE STATEMENT - 05.15.2023
 THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD.

STRUCTURE TABLE

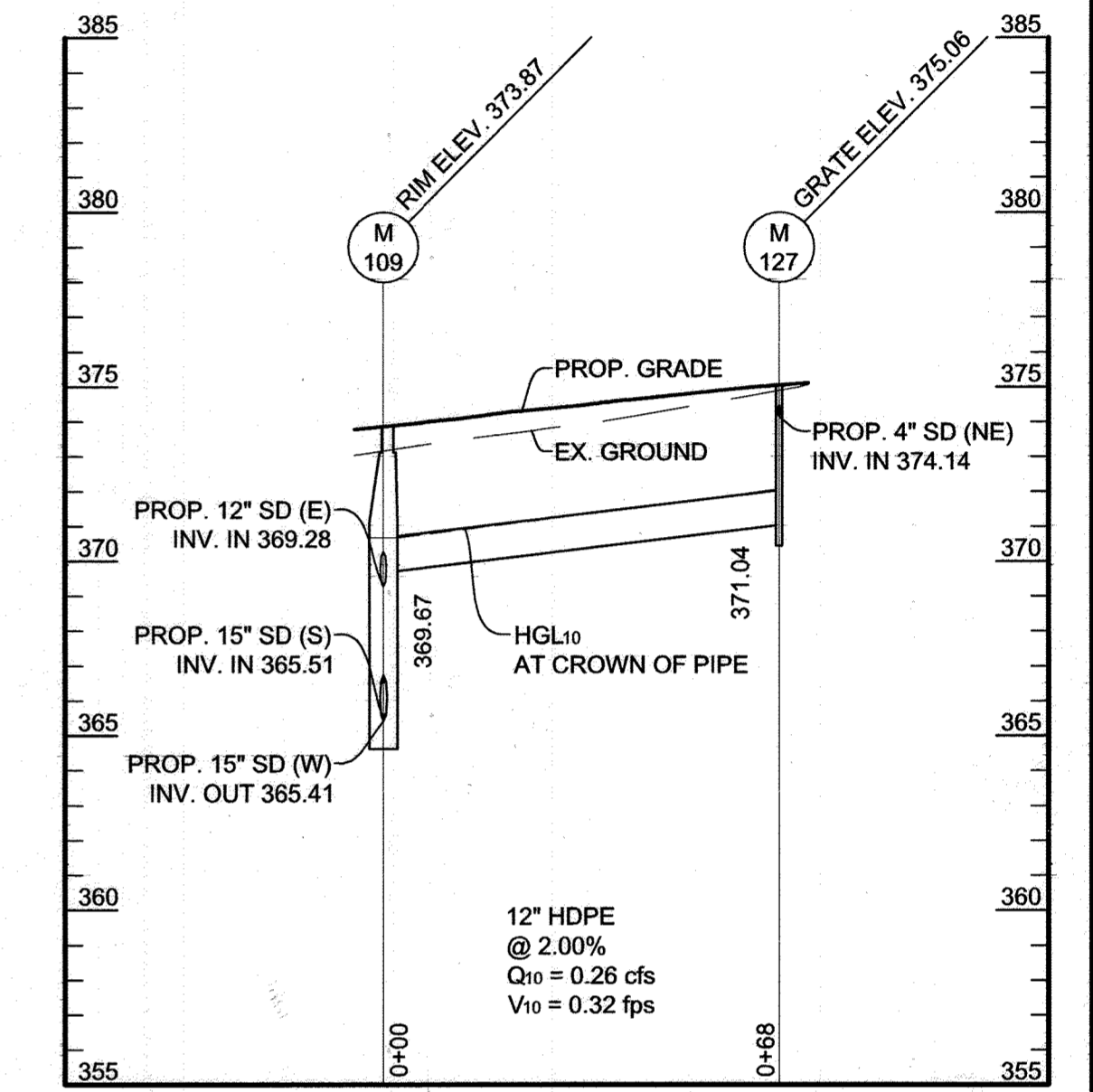
STRUCTURE #	STRUCTURE TYPE	TOP ELEV.	INV. IN	INV. OUT	COORDINATES
I-102	TYPE 'D' INLET HOWARD CO. D-4.11	GRATE 366.00	15" HDPE (N) 361.55 6" PVC (SE) 361.08	18" HDPE (SW) 360.33	N: 576,599.46 E: 1,353,921.14
M-103	PRECAST STANDARD MANHOLE HOWARD CO. G-5.12	RIM 367.84	15" HDPE (N) 362.43 12" HDPE (E) 363.52	15" HDPE (S) 361.75	N: 576,609.12 E: 1,353,923.35
I-104	30" NYLOPLAST DRAIN BASIN STANDARD GRATE	GRATE 369.00	15" HDPE (N) 364.57 15" HDPE (E) 363.76	15" HDPE (S) 363.66	N: 576,657.56 E: 1,353,914.37
M-105	PRECAST STANDARD MANHOLE HOWARD CO. G-5.12	RIM 372.18	12" HDPE (NE) 367.68	15" HDPE (S) 367.42	N: 576,743.62 E: 1,353,906.08
I-106	30" NYLOPLAST DRAIN BASIN STANDARD GRATE	GRATE 375.40		12" HDPE (SW) 368.84	N: 576,784.73 E: 1,353,946.99
M-107	12" NYLOPLAST DRAIN BASIN SOLID GRATE	GRATE 369.31	4" PVC (NE) 368.43	12" HDPE (W) 363.84	N: 576,606.05 E: 1,353,938.59
I-108	30" NYLOPLAST DRAIN BASIN PEDESTRIAN GRATE	GRATE 369.80	15" HDPE (E) 364.52	15" HDPE (W) 364.42	N: 576,680.95 E: 1,353,976.27
M-109	PRECAST STANDARD MANHOLE HOWARD CO. G-5.12	RIM 373.87	12" HDPE (E) 369.28 12" HDPE (N) 369.67 15" HDPE (S) 365.51	15" HDPE (W) 365.41	N: 576,682.14 E: 1,354,065.21
M-110	12" NYLOPLAST DRAIN BASIN SOLID COVER	RIM 373.53	4" PVC (SW) 372.49	12" HDPE (W) 369.51	N: 576,677.63 E: 1,354,087.70
I-111	30" NYLOPLAST DRAIN BASIN STANDARD GRATE	GRATE 370.20		15" HDPE (N) 366.48	N: 576,587.50 E: 1,354,085.45
CO-113	4 INCH CLEANOUT	CAP 373.39		4" PVC (NE) 372.49	N: 576,645.14 E: 1,354,070.50
CO-115	4 INCH CLEANOUT	CAP 365.25		6" PVC (NW) 361.08	N: 576,544.60 E: 1,353,952.53
CO-123	4 INCH CLEANOUT	CAP 371.61	4" PVC (NE) 368.43	4" PVC (SE) 368.43	N: 576,732.01 E: 1,353,921.73
CO-125	4 INCH CLEANOUT	CAP 372.36		4" PVC (SW) 368.43	N: 576,762.33 E: 1,353,982.64
M-127	12" NYLOPLAST DRAIN BASIN SOLID COVER	GRATE 375.06	4" PVC (NE) 374.14	12" HDPE (S) 371.04	N: 576,750.22 E: 1,354,058.03
CO-129	4 INCH CLEANOUT	CAP 375.88		4" PVC (SW) 374.14	N: 576,786.88 E: 1,354,085.03
E-201	HDPE END SECTION		12" HDPE (E) 365.00		N: 576,544.31 E: 1,353,971.58
E-202	HDPE END SECTION			12" HDPE (W) 366.00	N: 576,550.44 E: 1,354,010.04



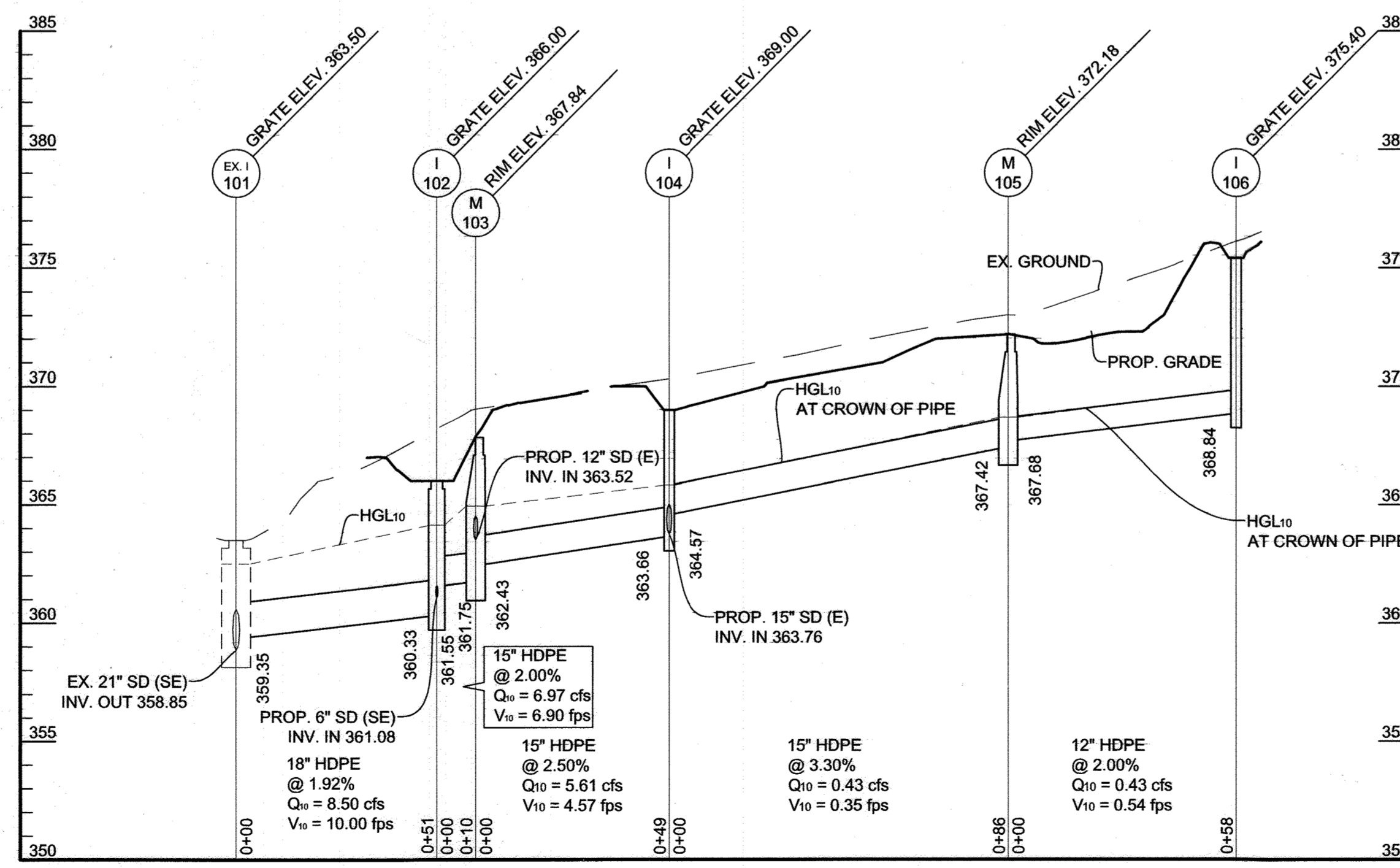
1 SD: I-111 to I-104
 SCALES: HORIZ. 1" = 30'
 VERT. 1" = 5'



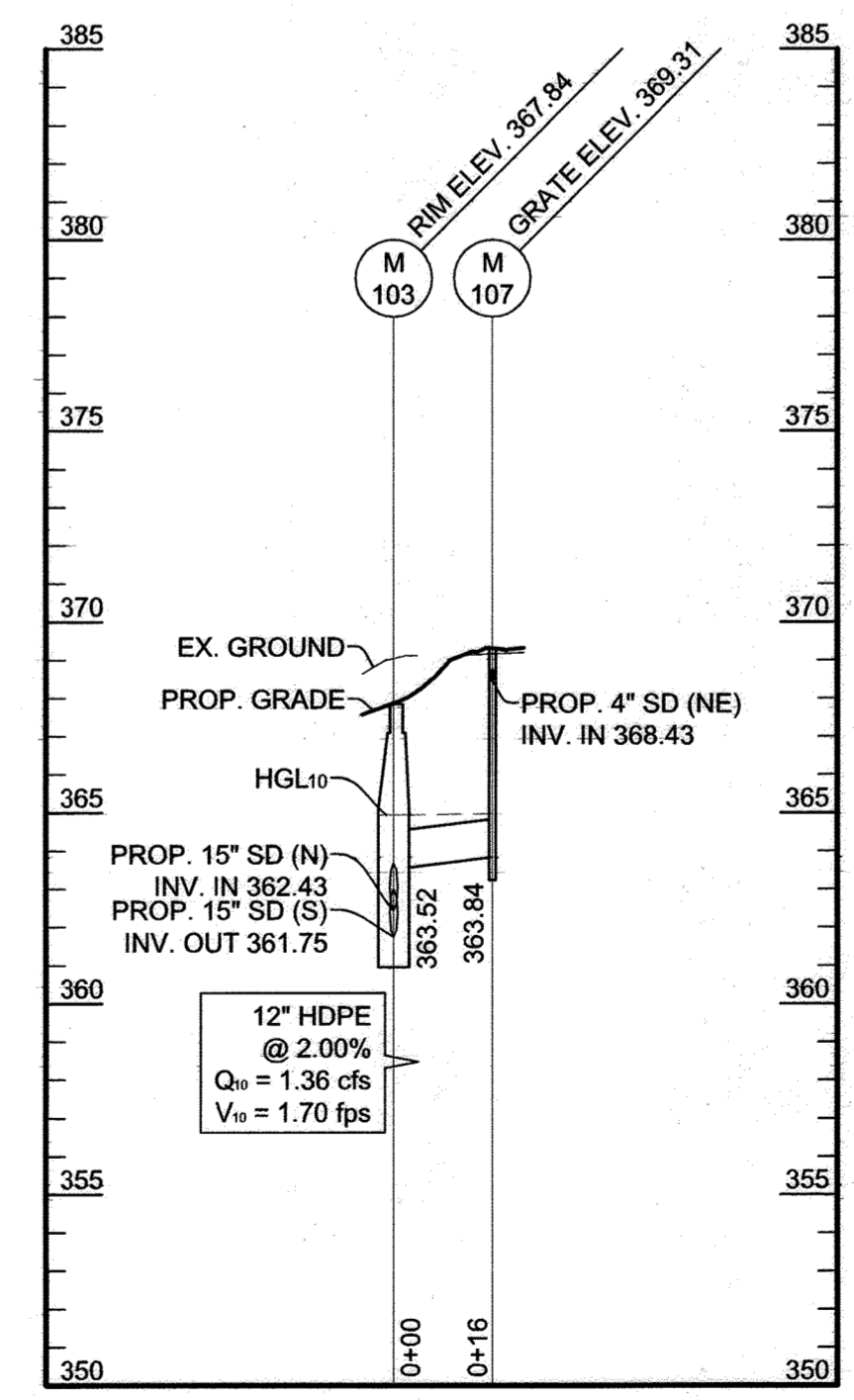
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 VERT. 1" = 5'



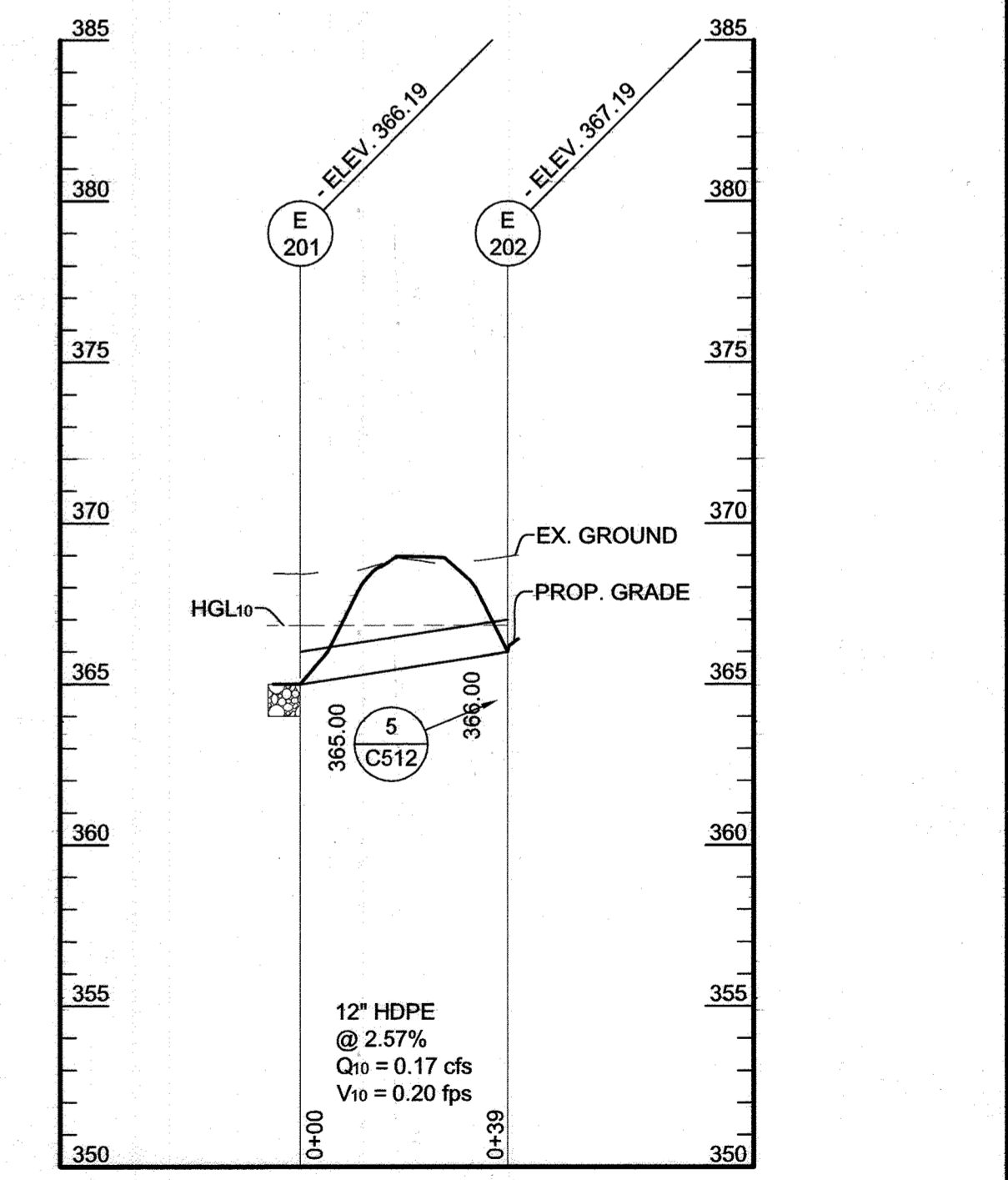
3 SD: M-127 TO M-109
 SCALES: HORIZ. 1" = 30'
 VERT. 1" = 5'



4 SD: I-106 to E-101
 SCALES: HORIZ. 1" = 30'
 VERT. 1" = 5'



5 SD: M-107 TO M-103
 SCALES: HORIZ. 1" = 30'
 VERT. 1" = 5'



6 SD: INFLOW PIPE TO MB #1
 SCALES: HORIZ. 1" = 30'
 VERT. 1" = 5'

APPROVED: DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

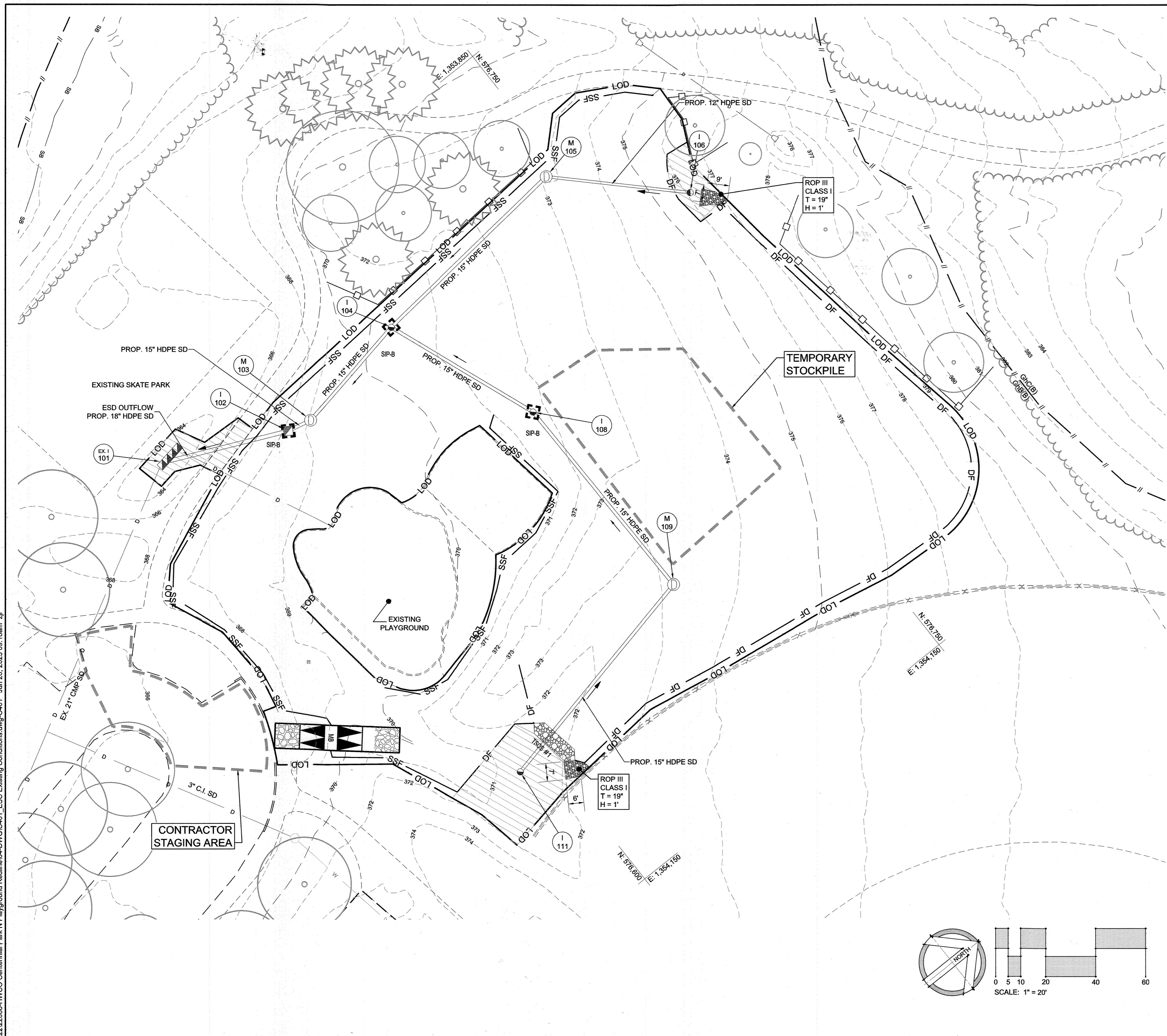
6.29.23
 DATE
 6/28/23
 DATE
 7/5/23
 DATE

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NO.	DATE	DESCRIPTION	ADDRESS CHART	PERMIT INFORMATION CHART		
1	06.15.2023	REVISED SITE DEVELOPMENT PLAN	MAP/GRID/PARCEL MAP 0030/GRID 0002 PARCEL 0010	PROJECT NAME CENTENNIAL PARK NORTH	SECTION/AREA N/A	LOT/PARCEL NO. 0010
			STREET ADDRESS 9801 OLD ANNAPOLIS ROAD, ELLCOTT CITY, MD 21042	LIBER / FOLIO # L 885/ F. 79	GRID # 2	ZONING R-20
				TAX MAP NO. 1402218690	ELECT DISTRICT 2nd	CENSUS TRACT 602304
				PROPERTY IMPROVEMENT NEW PLAYGROUND AREA		

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STORM DRAIN PROFILES
C301
 SHEET 39 OF 48
 SDP-81-126



LEGEND

- PROPERTY LINE
- EXISTING TREELINE
- EXISTING BUILDING
- EXISTING WALK
- EXISTING ROAD
- EXISTING CURB
- EXISTING FENCE
- EXISTING TREES
- EX. 15" SD
- EXISTING CONTOURS
- LOD
- DF
- SSF
- TREE PROTECTION FENCE
- STANDARD B
- SCE
- MOUNTABLE BERM
- TSSMC - <math><1.5 \text{ lb/ft}^2</math>
- SAME DAY STABILIZATION
- TSOS

SEEDING & STABILIZATION NOTE

SEEDING AND STABILIZATION ARE TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE INTERVALS REQUIRED BY THE 2011 MD STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, WHICHEVER IS MORE STRINGENT.

CONTRACTOR STAGING AREA NOTE

CONTRACTOR TO ENSURE THAT THE DESIGNATED CONTRACTOR STAGING AREA IS TO BE KEPT CLEAR OF STOCKPILE MATERIAL. STAGING AREA TO BE USED FOR CLEAN MATERIAL AND EQUIPMENT ONLY.

GENERAL NOTE

CONTRACTOR SHALL INSTALL PROPOSED STORM DRAIN PER SAME DAY STABILIZATION NOTE ON C423.

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 56848 EXPIRATION DATE 12/16/2024

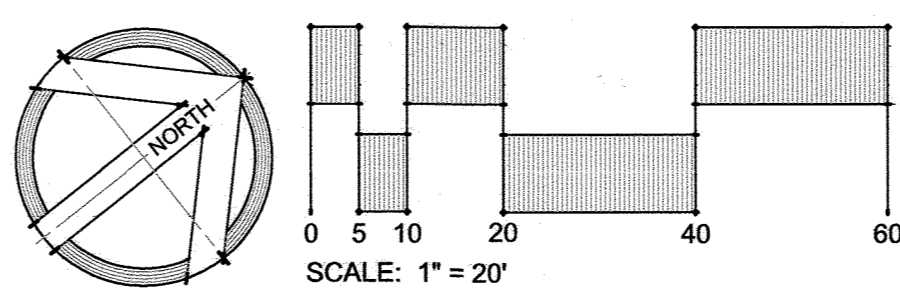
PURPOSE STATEMENT - 06.15.2023
 THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD

TEMPORARY STONE OUTLET STRUCTURE #1

DRAINAGE AREA	0.27 AC
TOTAL STORAGE REQUIRED	480 CU. FT.
TOTAL STORAGE PROVIDED	1,783 CU. FT.

STAGE STORAGE - TSOS #1

CONTOUR ELEV.	CONTOUR AREA	AVG. END AREA INCREMENT	AVG. END CUMULATIVE
371.4	0	NA	0
372	486	145	145
373	2,790	1,638	1,783



APPROVED: DEPARTMENT OF PLANNING & ZONING
 [Signature] 6/29/23
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE
 [Signature] 6/29/23
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE
 [Signature] 7/5/23
 DIRECTOR
 DATE

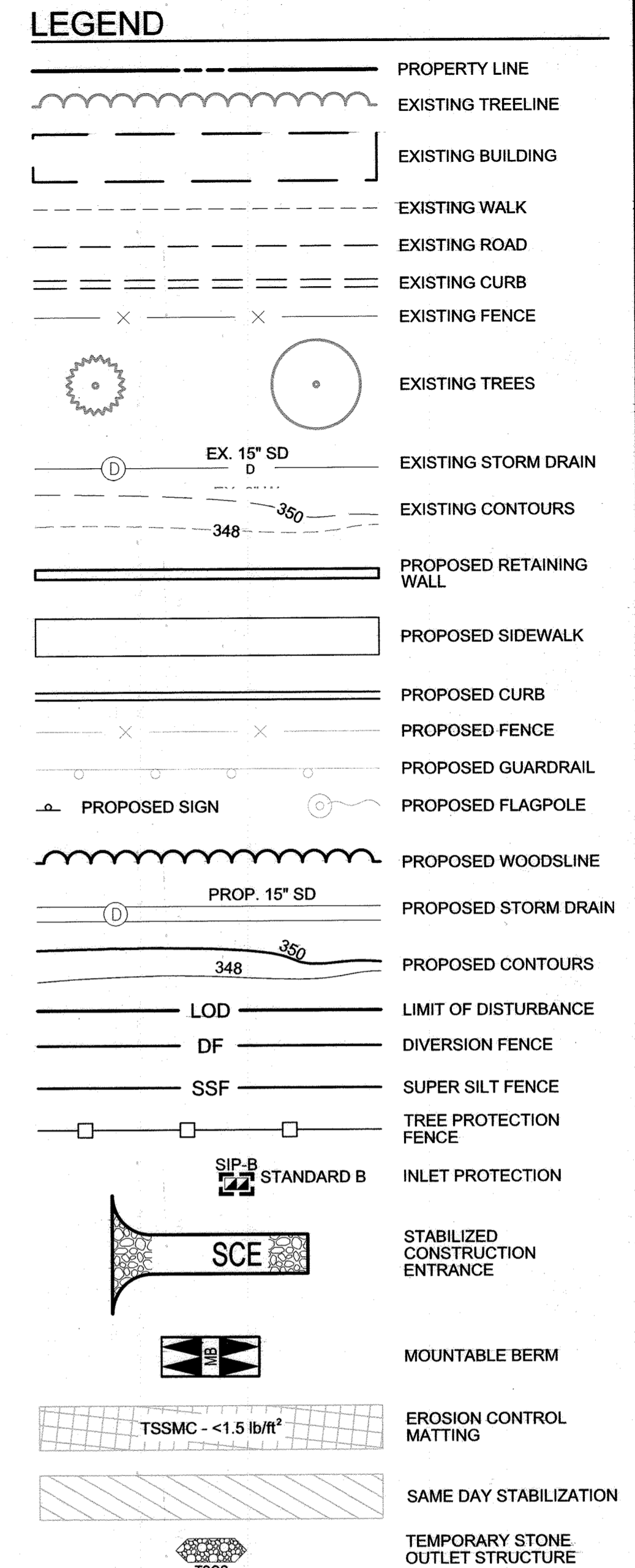
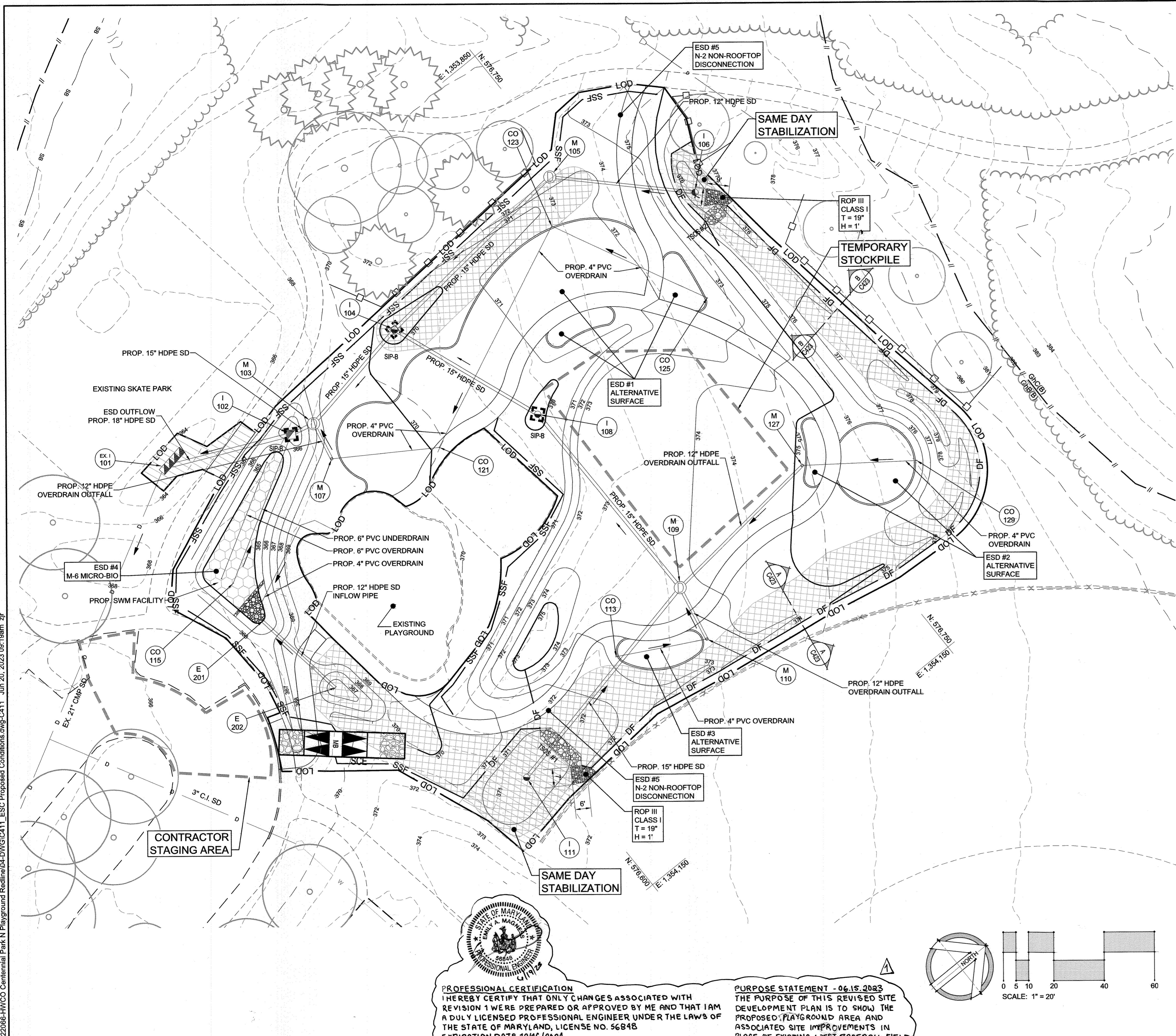
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NO.	DATE	DESCRIPTION	ADDRESS CHART	PERMIT INFORMATION CHART
1	06.15.2023	REVISED SITE DEVELOPMENT PLAN	MAP/GRID/PARCEL MAP 0030/GRID 0002 PARCEL 0010	PROJECT NAME CENTENNIAL PARK NORTH LIBER / FOLIO # L 885/ F. 79 GRID # 2 ZONING R-20 TAX MAP NO. 1402218690 ELECT DISTRICT 2nd CENSUS TRACT 602304
			STREET ADDRESS 9801 OLD ANNAPOLIS ROAD, ELLIOTT CITY, MD 21042	SECTION/AREA N/A LOT/PARCEL NO. 0010
			PROPERTY IMPROVEMENT NEW PLAYGROUND AREA	

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 ESC EXISTING CONDITIONS PLAN
C401
 SHEET 40 OF 48
 SDP-81-126

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 ESC Existing Conditions.dwg-C401



TEMPORARY STONE OUTLET STRUCTURE #1

DRAINAGE AREA	0.16 AC
TOTAL STORAGE REQUIRED	288 CU. FT.
TOTAL STORAGE PROVIDED	342 CU. FT.

STAGE STORAGE - TSOS #1

CONTOUR ELEV.	CONTOUR AREA	AVG. END AREA INCREMENT	AVG. END CUMULATIVE
371	0	NA	0
372	685	342	342

TEMPORARY STONE OUTLET STRUCTURE #2

DRAINAGE AREA	0.02 AC
TOTAL STORAGE REQUIRED	40 CU. FT.
TOTAL STORAGE PROVIDED	79 CU. FT.

STAGE STORAGE - TSOS #2

CONTOUR ELEV.	CONTOUR AREA	AVG. END AREA INCREMENT	AVG. END CUMULATIVE
375.6	0	NA	0
376	65	13	13
376.6	200	66	79

SEEDING & STABILIZATION NOTE

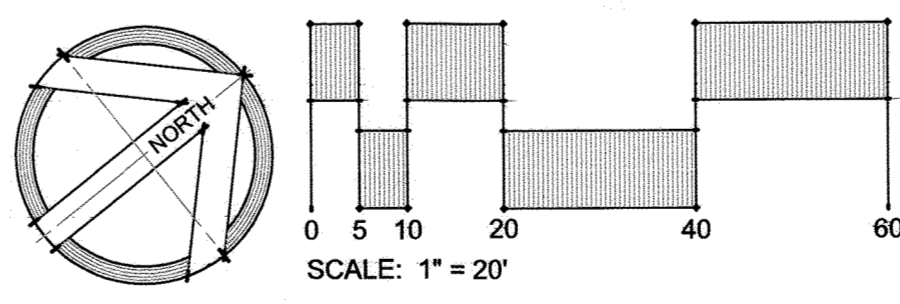
SEEDING AND STABILIZATION ARE TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE INTERVALS REQUIRED BY THE 2011 MD STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, WHICHEVER IS MORE STRINGENT.

CONTRACTOR STAGING AREA NOTE

CONTRACTOR TO ENSURE THAT THE DESIGNATED CONTRACTOR STAGING AREA IS TO BE KEPT CLEAR OF STOCKPILE MATERIAL. STAGING AREA TO BE USED FOR CLEAN MATERIAL AND EQUIPMENT ONLY.

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 56B48, EXPIRATION DATE 12/16/2024.

PURPOSE STATEMENT - 06.15.2023
 THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD.



DESIGN CERTIFICATION
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE: *Emily Magness* DATE: 4/15/23
 PRINTED NAME: EMILY MAGNESS P.E. No. 58848

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 SIGNATURE: *Alexander Butcher* DATE: 06/29/23
 HOWARD SOIL CONSERVATION DISTRICT

OWNER'S / DEVELOPER'S CERTIFICATION
 I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

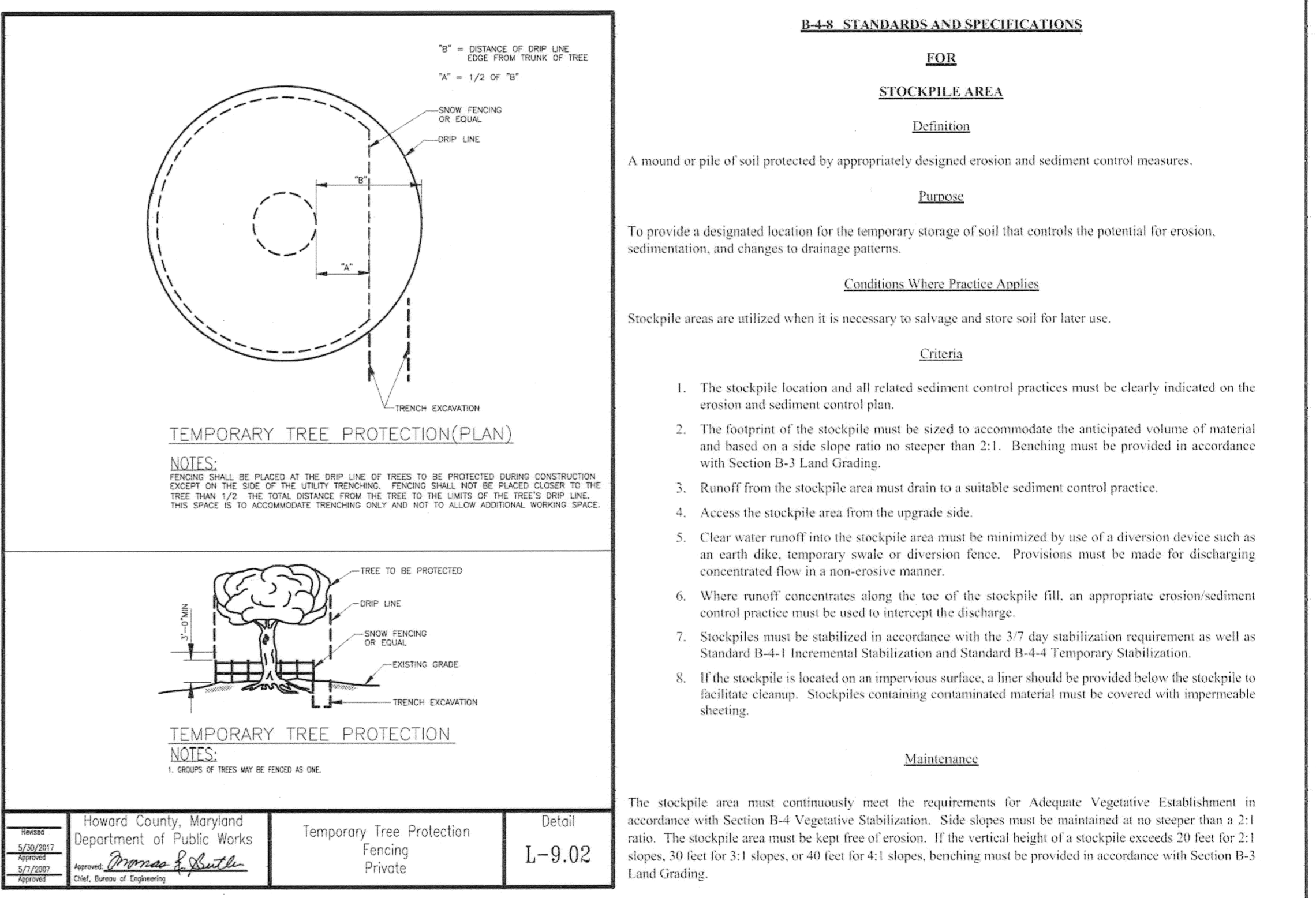
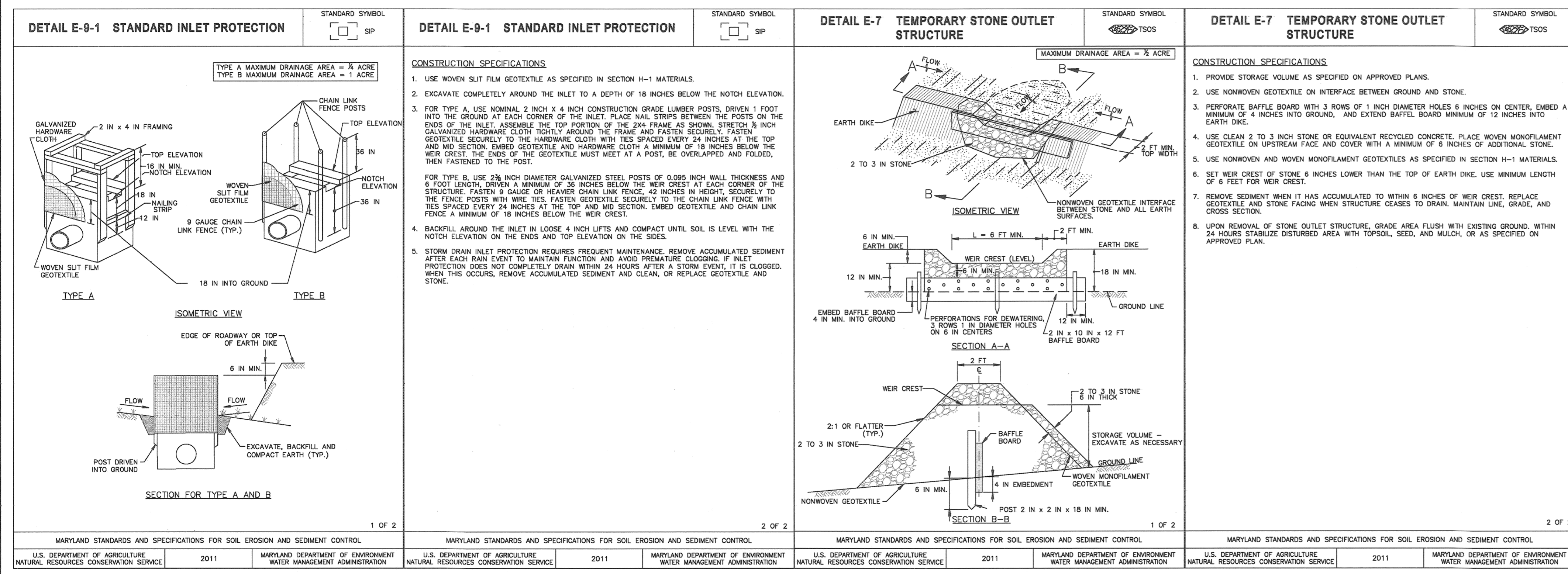
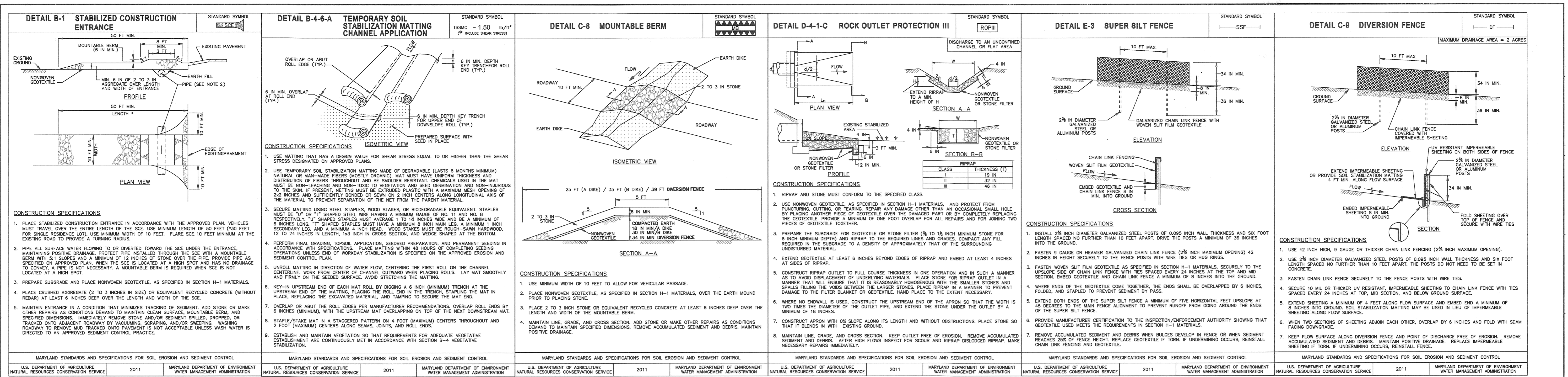
OWNER'S / DEVELOPER'S SIGNATURE: *Michael Mlaji* DATE: 6-27-23
 PRINTED NAME: MICHAEL MLAJI

APPROVED: DEPARTMENT OF PLANNING & ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 6/29/23
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 6/29/23
 DIRECTOR DATE: 7/5/23

Howard County
 RECREATION & PARKS

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NO.	DATE	DESCRIPTION	ADDRESS CHART	PERMIT INFORMATION CHART	41
1	06.15.2023	REVISED SITE DEVELOPMENT PLAN	MAP/GRID/PARCEL: 9801 OLD ANNAPOLIS ROAD, ELLICOTT CITY, MD 21042	PROJECT NAME: CENTENNIAL PARK NORTH	ESC PROPOSED CONDITIONS
			STREET ADDRESS: 9801 OLD ANNAPOLIS ROAD, ELLICOTT CITY, MD 21042	SECTION/AREA: N/A	C411
			MAP 0030/GRID 0002 PARCEL 0010	LOT/PARCEL NO.: 0010	SHEET 41 OF 48
				LIBER / FOLIO # L. 885/ F. 79	
				GRID # 2	
				ZONING R-20	
				TAX MAP NO. 1402218690	
				ELECT DISTRICT 2nd	
				CENSUS TRACT 602304	
				WATER CODE -	
				SEWER CODE -	
				PROPERTY IMPROVEMENT NEW PLAYGROUND AREA	



OWNER'S / DEVELOPER'S CERTIFICATION
 I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

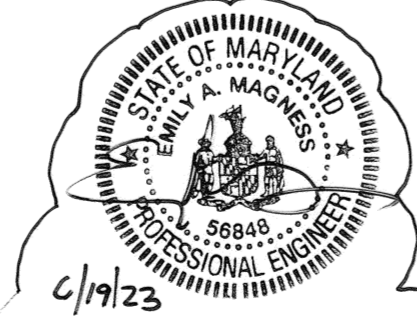
OWNER'S / DEVELOPER'S SIGNATURE: *Michael Miloni*
 DATE: 6/29/23

APPROVED: DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Engineering Division
 Chief, Division of Land Development
 Director

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
Alexander Butcher
 DATE: 06/29/23

DESIGN CERTIFICATION
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE: *[Signature]*
 DATE: 6/15/23
 EMILY MAGNESS
 PRINTED NAME
 P.E. No. 56848



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 56848
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Howard County, Maryland
 Department of Public Works
 Temporary Tree Protection
 Fencing
 Private
 Detail
 L-9.02

NO.	DATE	DESCRIPTION
1	06.15.2023	REVISED SITE DEVELOPMENT PLAN

Howards County
 RECREATION & PARKS

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ADDRESS CHART		PERMIT INFORMATION CHART	
MAP/GRID/PARCEL	STREET ADDRESS	PROJECT NAME	SECTION/AREA
MAP 0030/GRID 0002/PARCEL 0010	9801 OLD ANNAPOLIS ROAD, ELLICOTT CITY, MD 21042	CENTENNIAL PARK NORTH	N/A
WATER CODE		LIBER / FOLIO #	GRID #
--	--	L. 885 / F. 79	2
SEWER CODE		ZONING	TAX MAP NO.
--	--	R-20	1402218990
PROPERTY IMPROVEMENT		ELECT DISTRICT	CENSUS TRACT
NEW PLAYGROUND AREA		2nd	602304

42
 ESC NOTES & DETAILS
 C421
 SHEET 42 OF 48
 SDP-81-126

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B-4 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

DEFINITION USING VEGETATION AS COVER TO PROTECT EXPOSED SOIL FROM EROSION.
PURPOSE TO PROMOTE THE ESTABLISHMENT OF VEGETATION ON EXPOSED SOIL.
CONDITIONS WHERE PRACTICE APPLIES ON ALL DISTURBED AREAS NOT STABILIZED BY OTHER METHODS. THIS SPECIFICATION IS DIVIDED INTO SECTIONS ON INCREMENTAL STABILIZATION; SOIL PREPARATION, SOIL AMENDMENTS AND TOPSOILING; SEEDING AND MULCHING; TEMPORARY STABILIZATION; AND PERMANENT STABILIZATION.
EFFECTS ON WATER QUALITY AND QUANTITY STABILIZATION PRACTICES ARE USED TO PROMOTE THE ESTABLISHMENT OF VEGETATION ON EXPOSED SOIL. WHEN SOIL IS STABILIZED WITH VEGETATION, THE SOIL IS LESS LIKELY TO ERODE AND MORE LIKELY TO ALLOW INFILTRATION OF RAINFALL, THEREBY REDUCING SEDIMENT LOADS AND RUNOFF TO DOWNSTREAM AREAS.

PLANTING VEGETATION IN DISTURBED AREAS WILL HAVE AN EFFECT ON THE WATER BUDGET, ESPECIALLY ON VOLUMES AND RATES OF RUNOFF, INFILTRATION, EVAPORATION, TRANSPARATION, PERCOLATION, AND GROUNDWATER RECHARGE. OVER TIME, VEGETATION WILL INCREASE ORGANIC MATTER CONTENT AND IMPROVE THE WATER HOLDING CAPACITY OF THE SOIL AND SUBSEQUENT PLANT GROWTH.

VEGETATION WILL HELP REDUCE THE MOVEMENT OF SEDIMENT, NUTRIENTS, AND OTHER CHEMICALS CARRIED BY RUNOFF TO RECEIVING WATERS. PLANTS WILL ALSO HELP PROTECT GROUNDWATER SUPPLIES BY ASSIMILATING THOSE SUBSTANCES PRESENT WITHIN THE ROOT ZONE.

SEDIMENT CONTROL PRACTICES MUST REMAIN IN PLACE DURING GRADING, SEEDBED PREPARATION, SEEDING, MULCHING, AND VEGETATIVE ESTABLISHMENT.

ADEQUATE VEGETATIVE ESTABLISHMENT INSPECT SEEDED AREAS FOR VEGETATIVE ESTABLISHMENT AND MAKE NECESSARY REPAIRS, REPLACEMENTS, AND RESEEDINGS WITHIN THE PLANTING SEASON.

- 1. ADEQUATE VEGETATIVE STABILIZATION REQUIRES 95 PERCENT GROUND COVER.
2. IF AN AREA HAS LESS THAN 40 PERCENT GROUND COVER, RESTABILIZE FOLLOWING THE ORIGINAL RECOMMENDATIONS FOR LIME, FERTILIZER, SEEDBED PREPARATION, AND SEEDING.
3. IF AN AREA HAS BETWEEN 40 AND 94 PERCENT GROUND COVER, OVER-SEED AND FERTILIZE USING HALF OF THE RATES ORIGINALLY SPECIFIED.
4. MAINTENANCE FERTILIZER RATES FOR PERMANENT SEEDING ARE SHOWN IN TABLE B.6.

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

DEFINITION TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.
PURPOSE TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

- 1. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TABLE B.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN.
2. FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY. SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING.
3. WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3 A.1.B AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

TEMPORARY SEEDING SUMMARY

Table with 6 columns: SPECIES, APPLICATION RATE (LBS./AC.), SEEDING DATES, SEEDING DEPTH, FERTILIZER RATE (10-20-20), LIME RATE. Includes rows for Annual Ryegrass and Foxtail Millet.

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 56 848, EXPIRATION DATE 12/16/2024.
PURPOSE STATEMENT - 06/15/2023
THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD.

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
Signature: Howard Soil Conservation District, Date: 06/29/23

OWNER'S / DEVELOPER'S CERTIFICATION
I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONSTRUCTION, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.
Signature: Michael Nwan, Date: 6-27-23

DESIGN CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
Signature: Michael Nwan, Date: 6/25/23

APPROVED: DEPARTMENT OF PLANNING & ZONING
Signature: Chief, Development Engineering Division, Date: 6-29-23
Signature: Chief, Division of Land Development, Date: 7/5/23

B-4-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS

DEFINITION THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.

PURPOSE TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.
CONDITIONS WHERE PRACTICE APPLIES WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

CRITERIA A. SOIL PREPARATION

- 1. TEMPORARY STABILIZATION
a. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOWS OR RIPPER MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSEND, IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION. SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE.
b. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS.
c. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.
2. PERMANENT STABILIZATION
a. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE:
i. SOIL PH BETWEEN 6.0 AND 7.0.
ii. SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM).
iii. SOIL TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.

SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)

- 1. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSES.
2. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME OR TRADEMARK AND WARRANTY OF THE PRODUCER.
3. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 90 PERCENT WILL PASS THROUGH A #100 MESH SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH A #20 MESH SIEVE.
4. LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.

- 5. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL.
B. MULCHING
1. MULCH MATERIALS (IN ORDER OF PREFERENCE)
a. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.
PURPOSE TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.
CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

CRITERIA A. SEED MIXTURES

- 1. GENERAL USE
a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE. FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
b. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 - CRITICAL AREA PLANTING.
c. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY.
d. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.
2. TURFGRASS MIXTURES
a. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A TURF TO HIGH LEVEL OF MAINTENANCE.
b. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
c. KENTUCKY BLUEGRASS: FULL SUN MIXTURE; FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT. IRRIGATION REQUIRED IN SOUTHWESTERN MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL

DEFINITION THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.
PURPOSE TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

CONDITIONS WHERE PRACTICE APPLIES TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.

CRITERIA A. SEEDING

- 1. SPECIFICATIONS
a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REFER TO TABLE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE. MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WHEN THE GROUND THAW.
b. INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS EFFECTIVE.
c. SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

- 2. APPLICATION
a. INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.1, PERMANENT SEEDING TABLE B.3, OR SITE-SPECIFIC SEEDING SUMMARIES.
b. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDED AREA WITH A WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT.
c. DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL.
d. CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED MUST BE FIRM AFTER PLANTING.
e. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION.
f. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND FERTILIZER).
g. IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN: 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN; P205 (PHOSPHOROUS), 200 POUNDS PER ACRE; K2O (POTASSIUM), 200 POUNDS PER ACRE.
h. LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING.
i. MULCHING
1. MULCH MATERIALS (IN ORDER OF PREFERENCE)
a. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITION THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.
PURPOSE TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

CONDITIONS WHERE PRACTICE APPLIES TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.

CRITERIA A. SEEDING

- 1. SPECIFICATIONS
a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REFER TO TABLE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE. MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WHEN THE GROUND THAW.
b. INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS EFFECTIVE.
c. SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

- 2. APPLICATION
a. INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.1, PERMANENT SEEDING TABLE B.3, OR SITE-SPECIFIC SEEDING SUMMARIES.
b. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDED AREA WITH A WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT.
c. DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL.
d. CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED MUST BE FIRM AFTER PLANTING.
e. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION.
f. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND FERTILIZER).
g. IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN: 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN; P205 (PHOSPHOROUS), 200 POUNDS PER ACRE; K2O (POTASSIUM), 200 POUNDS PER ACRE.
h. LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING.
i. MULCHING
1. MULCH MATERIALS (IN ORDER OF PREFERENCE)
a. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE

MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED, DECAYED, OR EXCESSIVELY DUSTY. NOTE: USE ONLY STERILE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED.

WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE.

- 1. WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNIFORMLY SPREAD SLURRY.
2. WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITING FACTORS.
3. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED, FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER, ON APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS.
4. WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE PHYTO-TOXIC.
5. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH OF APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, PH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER HOLDING CAPACITY OF 90 PERCENT MINIMUM.

- 2. APPLICATION
a. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING.
b. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE.
c. WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.
3. ANCHORING
a. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND EROSION HAZARD.
i. A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS PRACTICE SHOULD FOLLOW THE FOLLOWING:
ii. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.
iii. SYNTHETIC BINDERS SUCH AS ACRYLIC DLK (AGRO-TACK), DCA-70, PETROBOND, TERRA TAX II, TERRA TACK AR OR OTHER APPROVED EQUAL MAY BE USED INSTEAD OF WOOD CELLULOSE RATES AS SPECIFIED BY THE MANUFACTURER. APPLICATION OF LIQUID BINDERS NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE OF ASPHALT BINDERS IS STRICTLY PROHIBITED.
iv. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET LONG.

PERMANENT SEEDING SUMMARY

Table with 6 columns: NO., SPECIES, APPLICATION RATE (LBS./AC.), SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE (10-20-20), LIME RATE. Includes rows for Tall Fescue and Kentucky Bluegrass.

SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUBMITTED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.

- d. SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
e. SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPORTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.

- 2. SOD INSTALLATION
a. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD.
b. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND WITHOUT WEEDS OR STUCKY EARTH ON THE SURFACE. JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS.
c. WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS AND THE UNDERLYING SOIL SURFACE.
d. WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN EIGHT HOURS.
3. SOD MAINTENANCE
a. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOISTURE TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING.
b. AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT. DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/2 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

APPROVED: DEPARTMENT OF PLANNING & ZONING
Signature: Chief, Development Engineering Division, Date: 6-29-23
Signature: Chief, Division of Land Development, Date: 7/5/23

HOWARD COUNTY RECREATION & PARKS logo and address information.

SITERESOURCES logo and address information.

Table with 3 columns: NO., DATE, DESCRIPTION. Includes a note about the revised site development plan.

Table with 2 columns: ADDRESS CHART (MAP/GRID/PARCEL, STREET ADDRESS) and PERMIT INFORMATION CHART (PROJECT NAME, SECTION/AREA, LOT/PARCEL NO., etc.).

ESC NOTES & DETAILS section with note C422 and sheet number SDP-81-126.

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HSCD STANDARD SEDIMENT CONTROL NOTES

- A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-113-1855 AFTER THE FUTURE LOD AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MINIMUM OF 48 HOUR NOTICE TO CID MUST BE GIVEN AT THE FOLLOWING STAGES:
 - PRIOR TO THE START OF EARTH DISTURBANCE,
 - UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING,
 - PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF ANOTHER GRADING UNIT,
 - PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL PRACTICES.
 OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE. OTHER RELATED STATE AND FEDERAL PERMITS SHALL BE REFERENCED, TO ENSURE COORDINATION AND TO AVOID CONFLICTS WITH THIS PLAN.
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE GRADING.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR TOPSOIL (SEC. B-4-2), PERMANENT SEEDING (SEC. B-4-5), TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES IF THE GROUND IS FROZEN. INCREMENTAL STABILIZATION (SEC. B-4-1) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH >15' OF CUT AND/OR FILL. STOCKPILES (SEC. B-4-8) IN EXCESS OF 20 FT. MUST BE BENCHED WITH STABLE OUTLET, ALL CONCENTRATED FLOW, STEEP SLOPE, AND HIGHLY ERODIBLE AREAS SHALL RECEIVE SOIL STABILIZATION MATTING (SEC. B-4-4).
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE CID.

SITE ANALYSIS:

TOTAL AREA OF SITE: 104.36 ACRES
 AREA DISTURBED: 1.11 ACRES
 AREA TO BE ROOFED OR PAVED: 0.37 ACRES
 AREA TO BE VEGETATIVELY STABILIZED: 0.74 ACRES
 TOTAL CUT: 975 CU. YDS. +/-
 TOTAL FILL: 440 CU. YDS. +/-
 OFFSITE WASTE/BORROW AREA LOCATION: SITE WITH AN ACTIVE GRADING PERMIT
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HCSCD, THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY; AND THE NEXT DAY AFTER EACH RAIN EVENT. A WRITTEN REPORT BY THE CONTRACTOR, MADE AVAILABLE UPON REQUEST, IS PART OF EVERY INSPECTION AND SHOULD INCLUDE:
 - INSPECTION DATE

- INSPECTION TYPE (ROUTINE, PRE-STORM EVENT, DURING RAIN EVENT)
 - NAME AND TITLE OF INSPECTOR
 - WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST RECORDED PRECIPITATION)
 - BRIEF DESCRIPTION OF PROJECT'S STATUS (E.G., PERCENT COMPLETE) AND/OR CURRENT ACTIVITIES
 - EVIDENCE OF SEDIMENT DISCHARGES
 - IDENTIFICATION OF PLAN DEFICIENCIES
 - IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAINTENANCE
 - IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS
 - COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTRUCTION AND STABILIZATION REQUIREMENTS
 - PHOTOGRAPHS
 - MONITORING/SAMPLING
 - MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED
 - OTHER INSPECTION ITEMS AS REQUIRED BY THE GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES (NPDES, MDE).
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER.
 - ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE HSCD PRIOR TO PROCEEDING WITH CONSTRUCTION. MINOR REVISIONS MAY ALLOWED BY THE CID PER THE LIST OF HSCD-APPROVED FIELD CHANGES.
 - DISTURBANCE SHALL NOT OCCUR OUTSIDE THE L.O.D. A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE CID. UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE HSCD, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.
 - WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT STRUCTURE.
 - TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDISTRIBUTION ONTO FINAL GRADE. ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON-THE-CONTOUR, AND BE IMBRICATED AT 25' MINIMUM INTERVALS, WITH LOWER ENDS CURLED UPHILL BY 2' IN ELEVATION.
 - STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS (INCLUSIVE):
 - USE I AND II: MARCH 1 - JUNE 15
 - USE III AND IIII: OCTOBER 1 - APRIL 30
 - USE IV: MARCH 1 - MAY 31
 - A COPY OF THIS PLAN, THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND ASSOCIATED PERMITS SHALL BE ON-SITE AND AVAILABLE WHEN THE SITE IS ACTIVE.

SITE ANALYSIS DATA	
TOTAL PROPERTY AREA	104.36 AC
EXISTING IMPERVIOUS AREA	8.83 AC
EX. WETLANDS / WETLAND BUFFER (LOD)	0.00 AC
EX. FLOODPLAINS / BUFFER (LOD)	0.00 AC
EX. FORESTS (LOD)	0.00 AC
STEEP SLOPES (15% TO 25%) (LOD)	0.02 ± AC
STEEP SLOPES (> 25%) (LOD)	0.00 ± AC
LOD AREA	1.11 ± AC
EXISTING IMPERVIOUS AREA (LOD)	0.01 ± AC
PROPOSED IMPERVIOUS AREA (LOD)	0.37 ± AC
EXISTING GREEN OPEN AREA (LOD)	1.10 ± AC
PROPOSED GREEN OPEN AREA (LOD)	0.74 ± AC
ERODIBLE SOILS (LOD)	0.02 ± AC
PROPOSED SITE USAGE	RECREATION

DESIGN NARRATIVE

THE PROPOSED DEVELOPMENT SITE IS THE CENTENNIAL PARK NORTH IMPROVEMENTS FOR HOWARD COUNTY DEPARTMENT OF RECREATION & PARKS AND IS LOCATED AT 9801 OLD ANNAPOLIS ROAD IN ELLICOTT CITY. THE PROPOSED SITE IMPROVEMENTS INCLUDE PLAYGROUNDS, PEDESTRIAN PATHWAYS, AND ASSOCIATED STORM DRAINAGE. THERE ARE NO STEEP SLOPES, WETLANDS, PERENNIAL AND INTERMITTENT STREAMS, NOR THEIR ASSOCIATED BUFFERS, IMPACTED BY THE DEVELOPMENT. THE SITE LIES OUTSIDE OF THE 100-YEAR FLOODPLAIN.

THIS PROJECT IS CONSIDERED NEW DEVELOPMENT PER THE MARYLAND SWM DESIGN MANUAL BECAUSE THE EXISTING SITE IS LESS THAN 40% IMPERVIOUS. THE EXISTING IMPERVIOUS COVERAGE (0.01 ACRES) FOR THE LOD (1.11 ACRES) IS 0.9%. STORMWATER MANAGEMENT WILL BE ADDRESSED BY THE ENVIRONMENTAL SITE DESIGN (ESD) METHODOLOGY WITHIN THE PROPOSED PROJECT AREA. FOR THIS PROJECT, TREATMENT OF ESD VOLUME (ESDV) IS REQUIRED FOR 100% OF THE IMPERVIOUS AREA.

THE SITE DESIGN MAINTAINS NATURAL FLOW PATTERNS AND DOES NOT INVOLVE SIGNIFICANT GRADE CHANGES THAT WOULD DIVERT RUNOFF AWAY FROM ITS EXISTING DRAINAGE AREA.

STANDARD STABILIZATION NOTE

FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:

- THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND
- SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.

STOCKPILE MAINTENANCE

THE STOCKPILE AREA MUST CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION. SIDE SLOPES MUST BE MAINTAINED AT NO STEEPER THAN A 2:1 RATIO. THE STOCKPILE AREA MUST BE KEPT FREE OF EROSION. IF THE VERTICAL HEIGHT OF A STOCKPILE EXCEEDS 20 FEET FOR 2:1 SLOPES, 30 FEET FOR 3:1 SLOPES, OR 40 FEET FOR 4:1 SLOPES, BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADING.

SAME DAY STABILIZATION NOTE

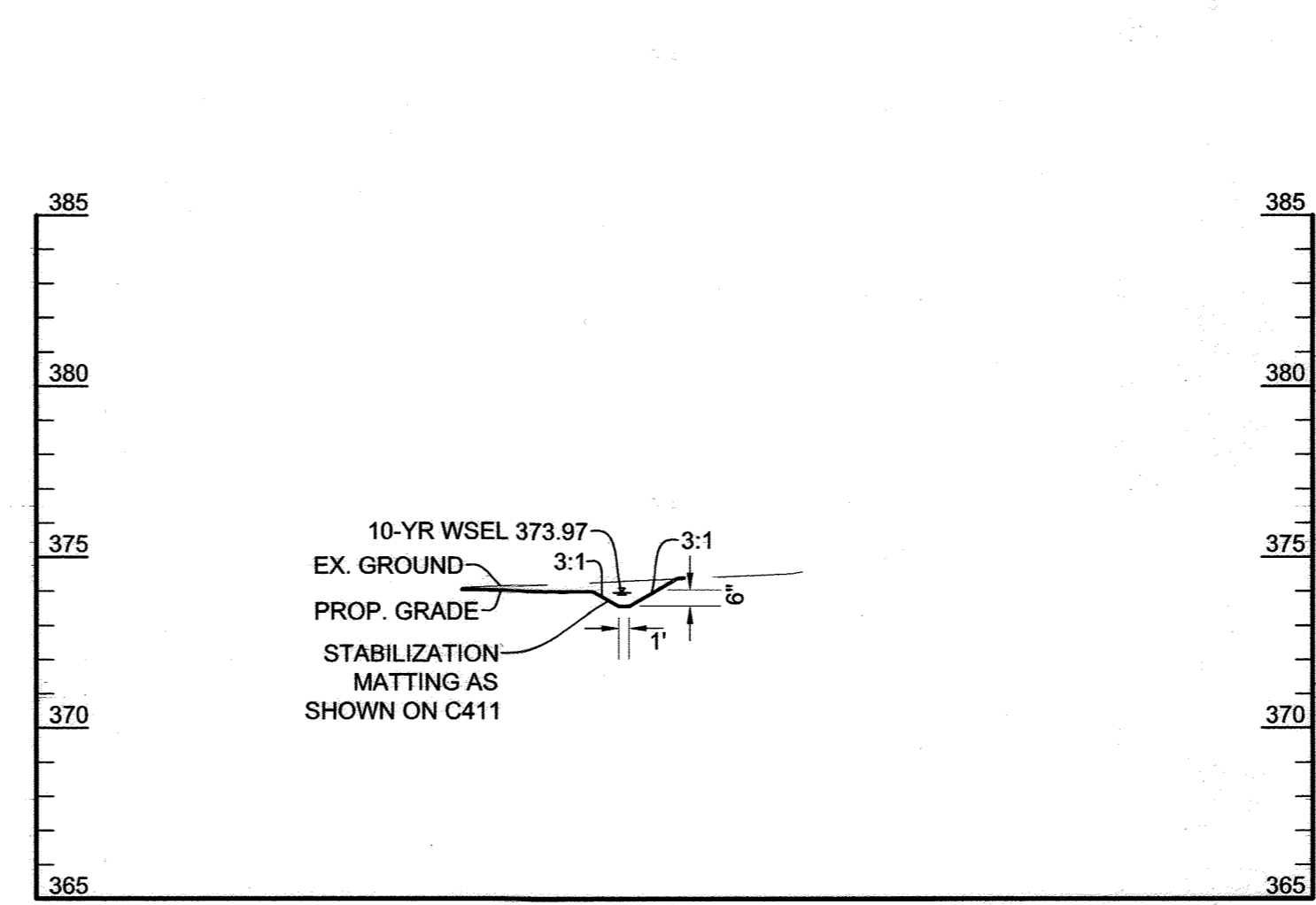
THE WORK IN THIS AREA SHALL BE DONE USING THE METHOD OF "SAME DAY STABILIZATION". NO MORE AREA SHALL BE DISTURBED THAN CAN BE STABILIZED BY THE END OF THE WORKDAY. ALL DISTURBED AREAS THAT DO NOT DRAIN TO A SEDIMENT CONTROL DEVICE SHALL BE STABILIZED AT THE END OF THE WORKDAY. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED OVERNIGHT UNLESS THE RUNOFF IS DIRECTED TO AN MDE APPROVED SEDIMENT CONTROL DEVICE.

STABILIZATION SHALL BE AS FOLLOWS:

- FOR AREAS TO BE PAVED: APPLICATION OF STONE SUBBASE
- FOR AREAS TO BE VEGETATIVELY STABILIZED: PERMANENT SEED AND EROSION CONTROL MATTING FOR ALL SWALES/CHANNELS AND PERMANENT SEED AND MULCH FOR ALL OTHER AREAS.

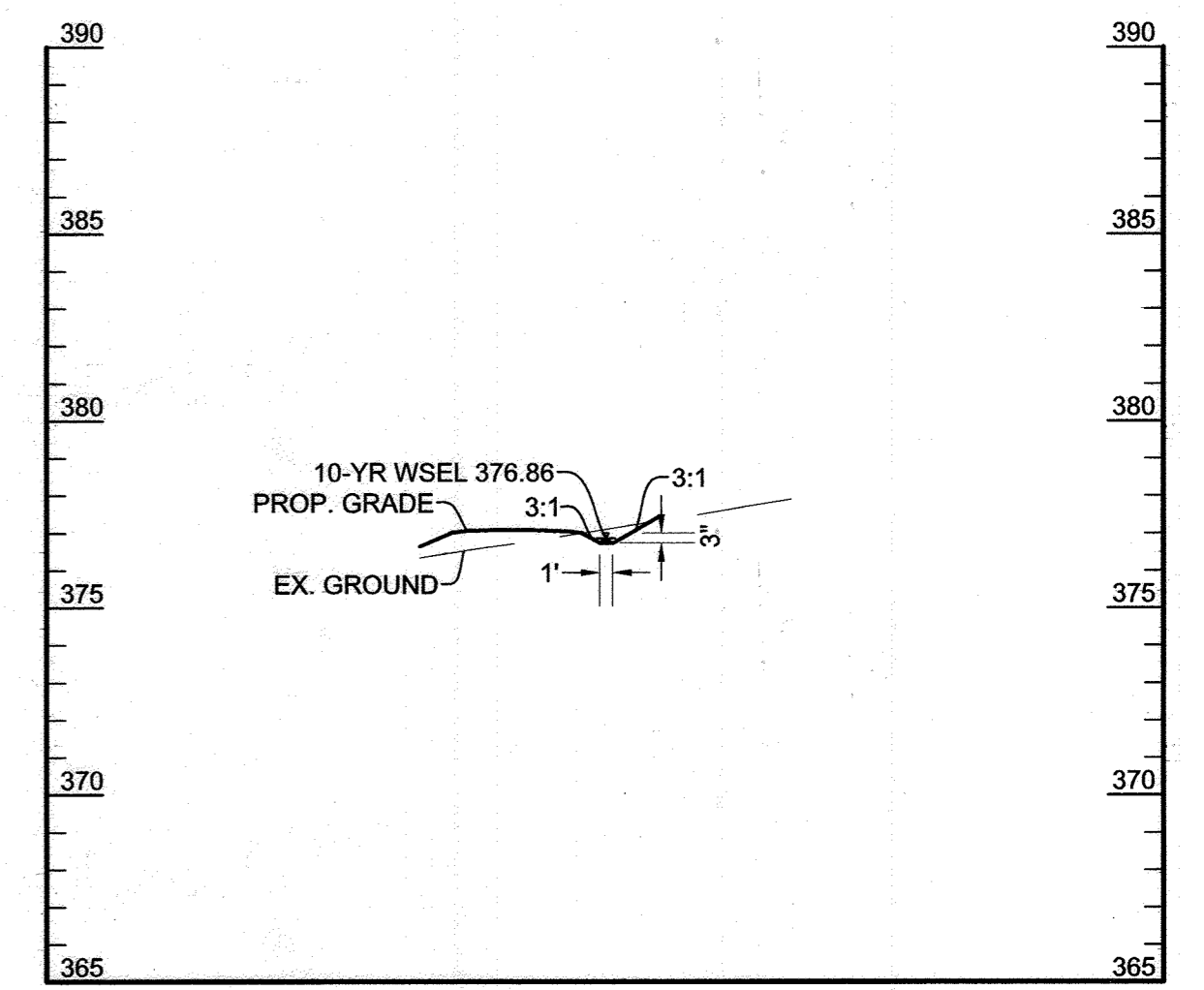
SEQUENCE OF CONSTRUCTION

- ASSURE THAT GRADING PERMIT AND ALL OTHER NECESSARY PERMITS ARE OBTAINED BY OWNER.
- NOTIFY HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS AT LEAST 48 HOURS BEFORE START OF WORK. CONTACT MISS UTILITY AT 1-800-257-7777 AT LEAST THREE DAYS IN ADVANCE OF STARTING WORK SHOWN ON PLANS.
- WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, INSTALL PROPOSED STORM DRAIN FROM DOWNSTREAM TO UPSTREAM AS SHOWN ON C401 VIA SAME DAY STABILIZATION NOTE (THIS SHEET) AND CLEAR AND GRUB AS NECESSARY FOR THE INSTALLATION OF THE EROSION AND SEDIMENT CONTROL MEASURES INCLUDING STABILIZED CONSTRUCTION ENTRANCE (SCE), INLET PROTECTION, SUPER SILT FENCE (SSF), AND DIVERSION FENCE (DF). (2 WEEKS)
- NOTIFY SEDIMENT CONTROL INSPECTOR AND ENGINEER UPON COMPLETION OF THIS INSTALLATION. (1 DAY)
- WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB REMAINDER OF THE SITE. (4 WEEKS)
- BEGIN HIGH GRADING AND INSTALLATION OF UTILITIES. FOR STORM DRAINS, INSTALL INLET PROTECTION (IP) AS SHOWN ON APPROVED EROSION AND SEDIMENT CONTROL PLANS. CONTRACTOR SHALL PRELIMINARY GRADE DEPRESSIONS WHICH ARE TO BECOME SWM FACILITIES SO THAT THE INITIAL GROUND SURFACE IS FLUSH WITH THE RIM ELEVATION OF THE OVERFLOW INLET, EXCEPT FOR STORM DRAIN TRENCH CROSSINGS WHICH ARE LOWER. DO NOT DISTURB ANY UTILITIES TO REMAIN. ANY WALKS, ROADS, CURBS, ETC. OR ANY EXISTING UTILITY OR STRUCTURE DAMAGED DURING CONSTRUCTION, NOT SCHEDULED FOR DEMOLITION, SHALL BE REPAIRED BY THE CONTRACTOR, IN KIND AT THE CONTRACTOR'S EXPENSE. (4 WEEKS)
- FINE GRADE PLAYGROUND AREAS TO SUBGRADE LEVEL; CONSTRUCT PLAYGROUND, FINE GRADE SIDEWALKS TO SUBGRADE LEVEL, CONSTRUCT SIDEWALKS. (4 WEEKS)
- CONSTRUCT SWM FACILITIES. (2 WEEKS)
 - NOTIFY AS-BUILT ENGINEER OF WORK STARTING AT LEAST 3 DAY IN ADVANCE OF SWM FACILITY CONSTRUCTION.
 - DURING A 3-DAY DRY WEATHER FORECAST, EXCAVATE SWM FACILITIES TO SHAPE AND BOTTOM ELEVATION SHOWN ON PLAN.
 - BACKFILL SWM FACILITIES WITH MATERIALS AND TO DIMENSIONS SHOWN ON PLAN, INCLUDING UNDERDRAIN PIPE, OBSERVATION WELL / CLEANOUT.
 - ONCE SOIL IS INSTALLED AND PRIOR TO LANDSCAPING, FLOOD SWM FACILITY WITH CLEAN WATER UNTIL PONDING DEPTH REACHES 6", THEN TIME DRAW-DOWN TO ENSURE DRAW-DOWN IN COMPLETE WITHIN 48 HOURS AND DRAINAGE WITH SWM FACILITY IS FUNCTIONING.
 - INSTALL MULCH LAYER AND LANDSCAPE IN ACCORDANCE WITH PLANS.
- AFTER PERMANENT STABILIZATION OF SITE WITH ESTABLISHED VEGETATION AND WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE EROSION AND SEDIMENT CONTROL MEASURES OR DEVICES, AND STABILIZE THOSE AREAS DISTURBED BY THIS PROCESS. (1 WEEK)
- CONDUCT FINAL AS-BUILT SURVEYS OF THE STORMWATER MANAGEMENT FACILITIES AND SUBMIT AS-BUILT PLANS AND COMPUTATIONS TO HOWARD COUNTY WITHIN 30 DAYS OF COMPLETION.



SECTION A-A

SCALES: HORIZ. 1" = 10'
VERT. 1" = 5'



SECTION B-B

SCALES: HORIZ. 1" = 10'
VERT. 1" = 5'

SOILS TABLE

MAP UNIT SYMBOL	MAP UNIT NAME	HYDROLOGIC SOIL GROUP	"K" VALUE
GhB	GLENELG-URBAN LAND COMPLEX 0 TO 8% SLOPES	B	N/A
GhC	GLENELG-URBAN LAND COMPLEX 8 TO 15% SLOPES	B	.28

EROSION FACTOR, K_w, FOR SOIL SURVEY OF HOWARD COUNTY, MD 2003. COMAR DEFINES HIGHLY ERODIBLE SOILS AS THOSE SOILS WITH SLOPES GREATER THAN 15% OR SOILS WITH A K FACTOR GREATER THAN 0.35 AND WITH SLOPES GREATER THAN 5%.

DESIGN CERTIFICATION
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

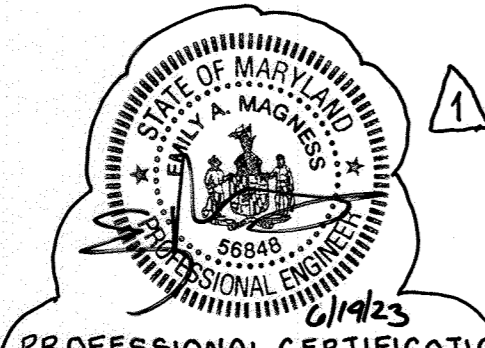
Signature: *Emily Magness* DATE: 6/15/23
 EMILY MAGNESS 56848
 PRINTED NAME P.E. No.

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *Alvin B. Batts* DATE: 06/29/23
 HOWARD SOIL CONSERVATION DISTRICT

OWNER'S / DEVELOPER'S CERTIFICATION
 I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

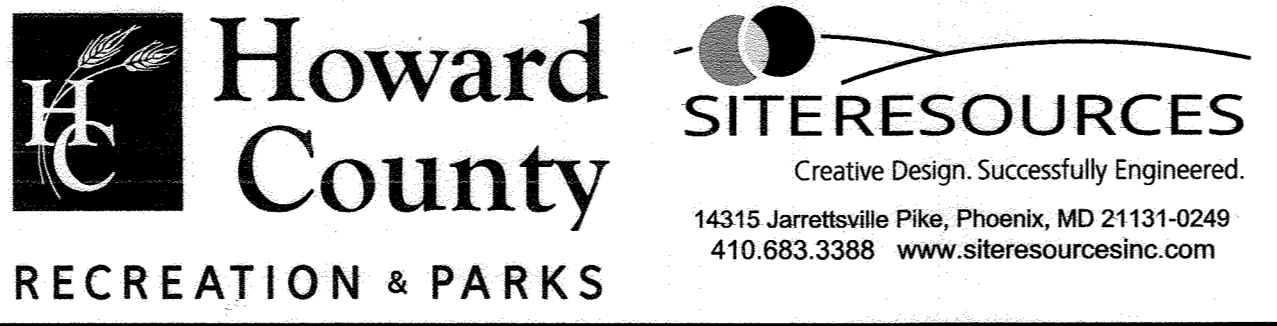
Signature: *Michael Moran* DATE: 6-27-23
 OWNER'S / DEVELOPER'S SIGNATURE
 MICHAEL MORAN
 PRINTED NAME



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 56848, EXPIRATION DATE 12/16/2024

PURPOSE STATEMENT - 06.15.2023
 THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD.

APPROVED: DEPARTMENT OF PLANNING & ZONING
 Signature: *Cheryl...* DATE: 6/27/23
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 Signature: *...* DATE: 6/29/23
 CHIEF, DIVISION OF LAND DEVELOPMENT
 Signature: *...* DATE: 7/5/23
 DIRECTOR



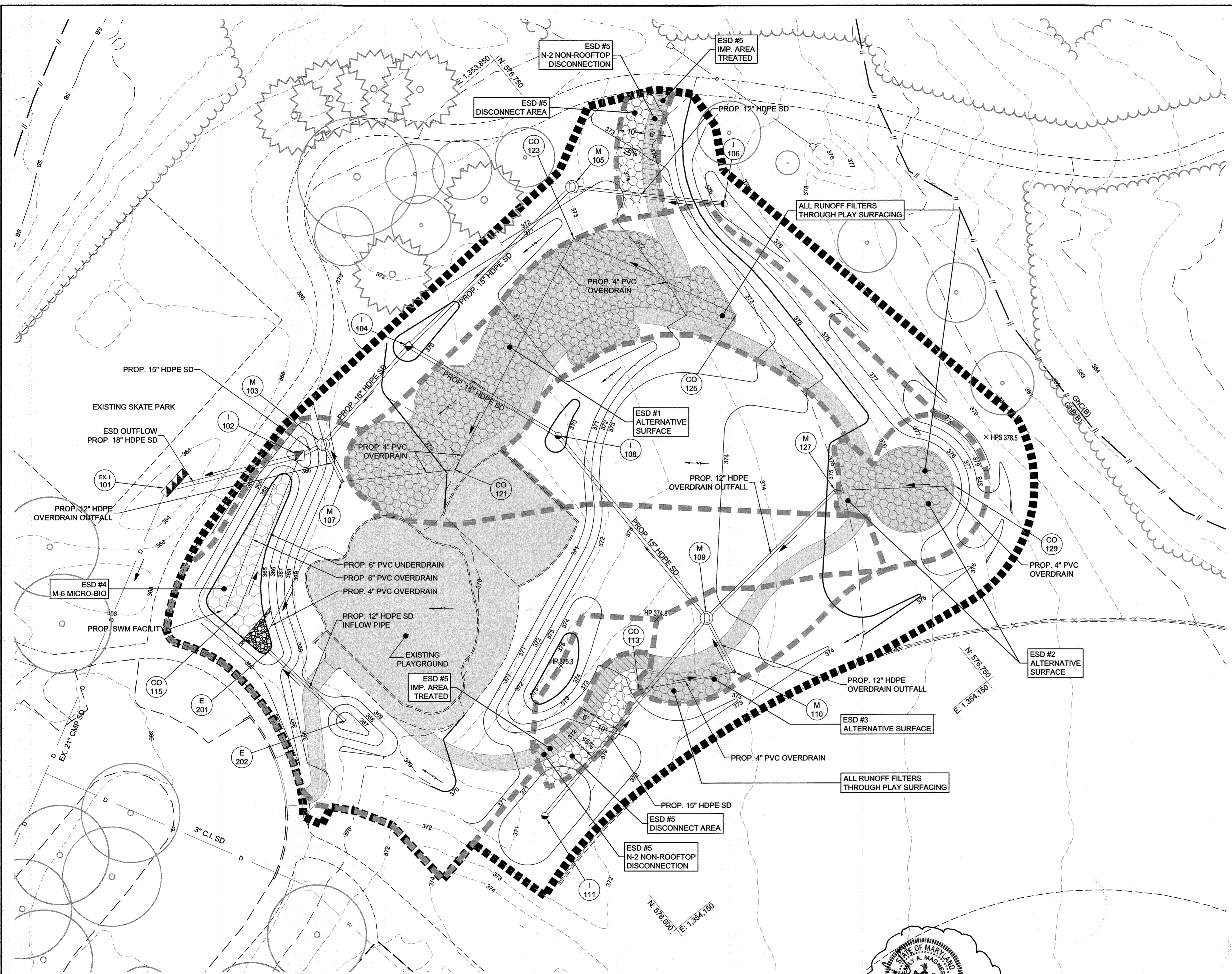
NO.	DATE	DESCRIPTION
1	06.15.2023	REVISED SITE DEVELOPMENT PLAN

ADDRESS CHART	
MAP/GRID/PARCEL	STREET ADDRESS
MAP 0030/GRID 0002 PARCEL 0010	9801 OLD ANNAPOLIS ROAD, ELLICOTT CITY, MD 21042

PERMIT INFORMATION CHART					
PROJECT NAME	SECTION/AREA	LOT/PARCEL NO.	LIBER / FOLIO #	GRID #	ZONING
CENTENNIAL PARK NORTH	N/A	0010	L. 885/ F. 79	2	R-20
TAX MAP NO.	ELECT DISTRICT	CENSUS TRACT	WATER CODE	SEWER CODE	PROPERTY IMPROVEMENT
1402218690	2nd	602304	--	--	NEW PLAYGROUND AREA

44
 ESC NOTES & DETAILS
C423
 SHEET 44 OF 48
 SDP-81-126

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SITE AREA TABULATION

SWM Study Area:	= 1.12 AC ±
Existing Impervious Cover:	= 0.01 AC ± (<40%)
Proposed Impervious Cover:	= 0.37 AC ±
Target PE:	= 1.60 inches
I A R T:	= 0.37 AC
ESD Volume Required:	= 2248 CF

THIS NEW DEVELOPMENT PROJECT IS REQUIRED TO PROVIDE WQ TREATMENT TO A LEVEL EQUIVALENT TO WOODS IN GOOD CONDITION.

IMPERVIOUS AREA REQUIRING TREATMENT = 0.37 AC
 VOLUMETRIC RUNOFF COEFFICIENT (Rv) = 0.35

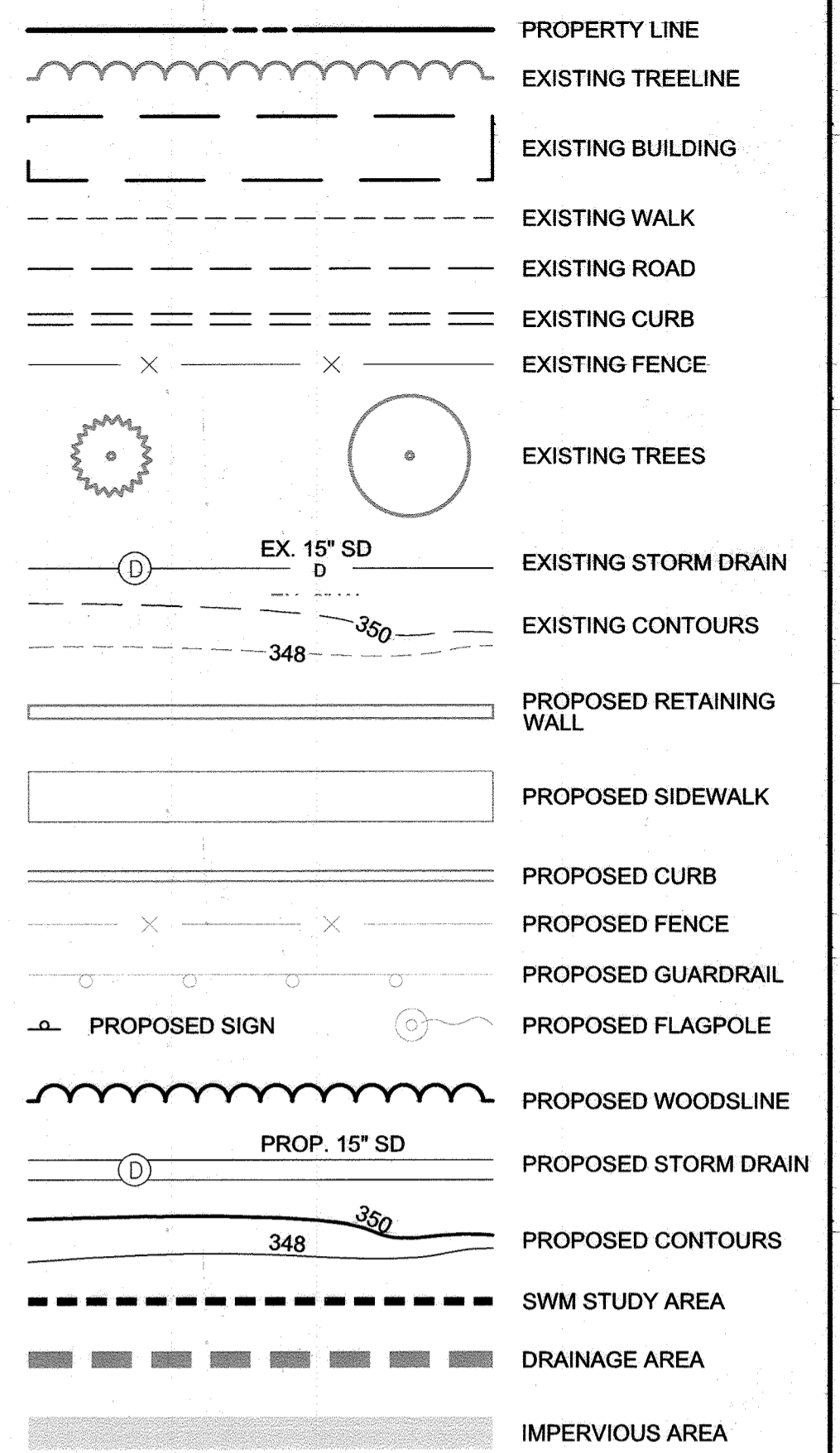
ESDv REQUIRED
 PE X Rv X A = 1.6 X 0.35 X 1.12 X 43560 = 2,248 CF

THREE ALTERNATE SURFACE ESDs, ONE MICRO-BIORETENTION, AND DISCONNECTION OF NON-ROOFTOP RUNOFF PROVIDE THE REQUIRED SWM TREATMENT FOR THIS NEW DEVELOPMENT PROJECT.

PROJECT SITE OUTFALL

SITE DRAINAGE TIES INTO EXISTING STORM DRAIN SYSTEM. THERE ARE NO PROPOSED OUTFALLS. STORMWATER FACILITIES CAN SAFELY PASS THE HIGHER FREQUENCY STORMS WITHOUT OVERFLOW. THE PROPOSED FLOWS DO NOT EXCEED EXISTING FLOW RATES, REFER TO STORMWATER REPORT.

LEGEND



TREATMENT SUMMARY TABLE

FACILITY NUMBER	ESD PRACTICE	DRAINAGE AREA (AC)	PE (IN)	IMP. AREA (AC)	ESD (CF)	RE (CF)
ESD #1	ALTERNATIVE SURFACE	0.23	2.54	0.16	1,472	1,472
ESD #2	ALTERNATIVE SURFACE	0.05	2.14	0.03	205	205
ESD #3	ALTERNATIVE SURFACE	0.05	1.06	0.02	68	68
ESD #4	M-6 MICRO-BIORETENTION	0.43	2.07	0.14	1,134	85
ESD #5	N-2 NON-ROOFTOP DISCONNECT	0.01	1.00	0.01	51	0
TOTAL PROVIDED			2.09	0.37	2,931	1,831
REQUIRED			1.60	0.37	2,248	365

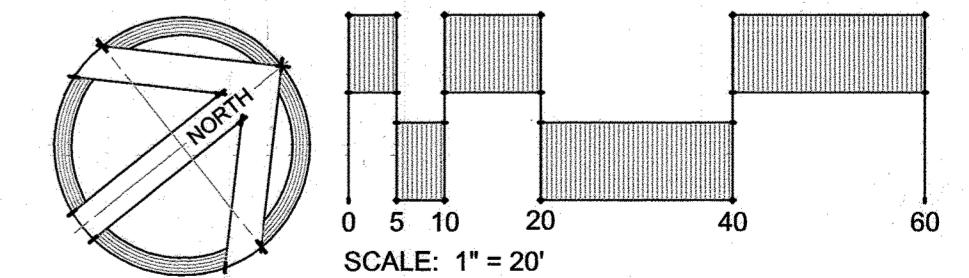
SWM INFORMATION CHART

LOT/PARCEL NUMBER	FACILITY NAME & NUMBER	PRACTICE TYPE (QUANTITY)	PUBLIC	PRIVATE	HOA MAINTAINS	MISC.
0010	ESD #1	ALTERNATIVE SURFACE (3)	YES	NO	NO	
0010	ESD #2	ALTERNATIVE SURFACE (3)	YES	NO	NO	
0010	ESD #3	ALTERNATIVE SURFACE (3)	YES	NO	NO	
0010	ESD #4	MICRO-BIORETENTION (1)	YES	NO	NO	
0010	ESD #5	NON-ROOFTOP DISCONNECT (2)	YES	NO	NO	



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 56848
 EXPIRATION DATE 12/14/2024

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APPROVED: DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

6/29/23
 DATE
 7/15/23
 DATE

Howard County
 RECREATION & PARKS

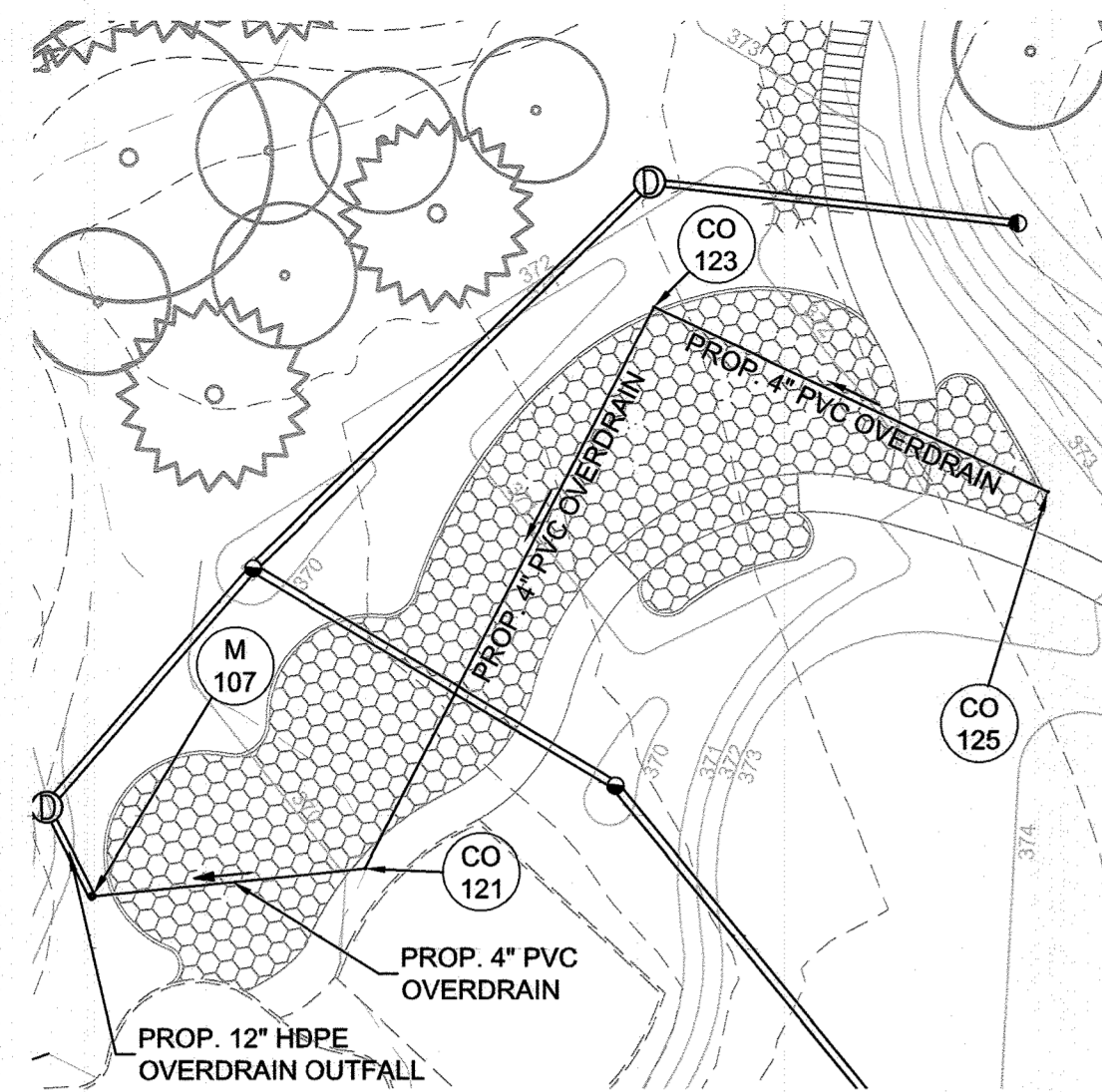
SITERESOURCES
 Creative Design. Successfully Engineered.
 14315 Jarrettsville Pike, Phoenix, MD 21131-0249
 410.683.3388 www.siteresourcesinc.com

NO.	DATE	DESCRIPTION
1	06.15.2023	REVISED SITE DEVELOPMENT PLAN

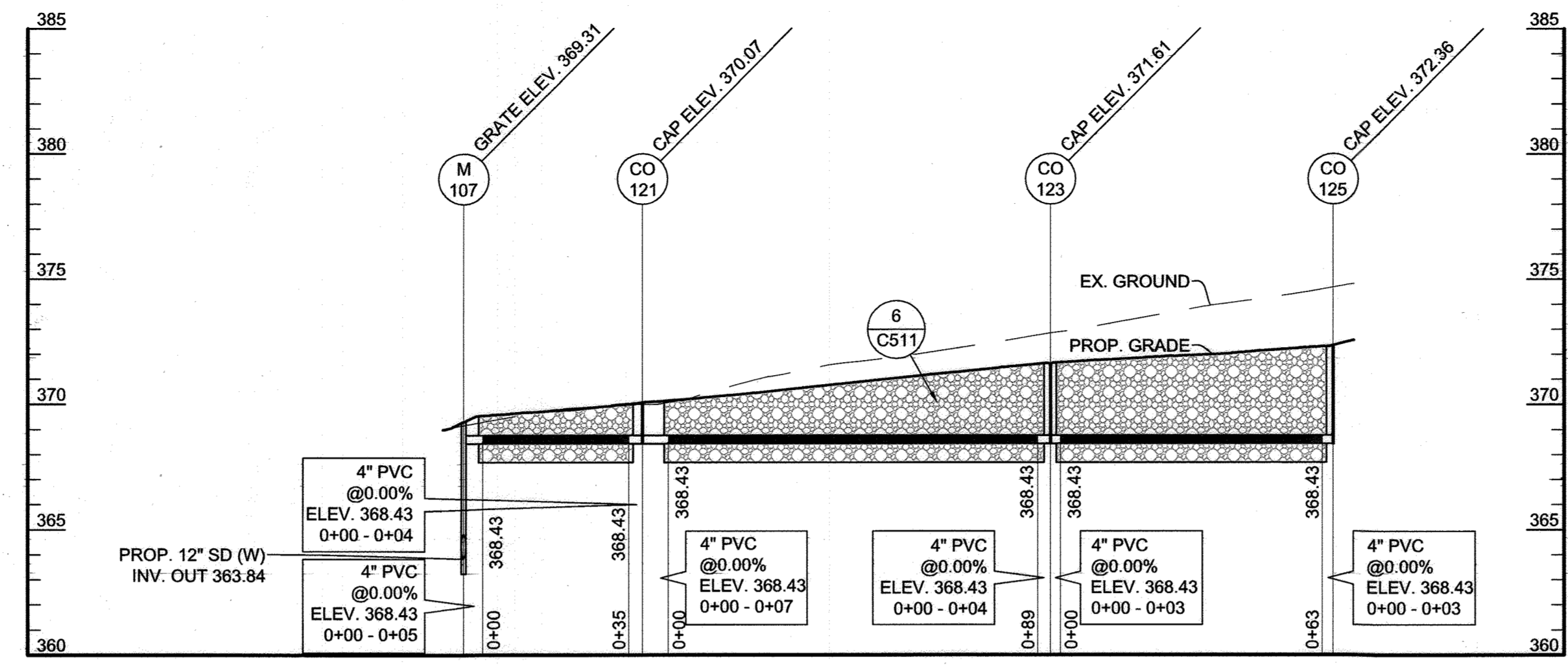
ADDRESS CHART	
MAP/GRID/PARCEL	STREET ADDRESS
MAP 0030/GRID 0002 PARCEL 0010	9801 OLD ANNAPOLIS ROAD, ELLCOTT CITY, MD 21042

PERMIT INFORMATION CHART				
PROJECT NAME	SECTION/AREA	LOT/PARCEL NO.	TAX MAP NO.	ELECT DISTRICT
CENTENNIAL PARK NORTH	N/A	0010	1402218690	2nd
L. 885/ F. 79	GRID # 2	ZONING R-20	PROPERTY IMPROVEMENT	CENSUS TRACT 602304
WATER CODE	SEWER CODE	NEW PLAYGROUND AREA		

45
STORMWATER MANAGEMENT PLAN
C501
 SHEET 45 OF 48



1 ESD #1 - (ALTERNATE SURFACE)
 SCALES: HORIZ. 1" = 30'
 VERT. 1" = 5'

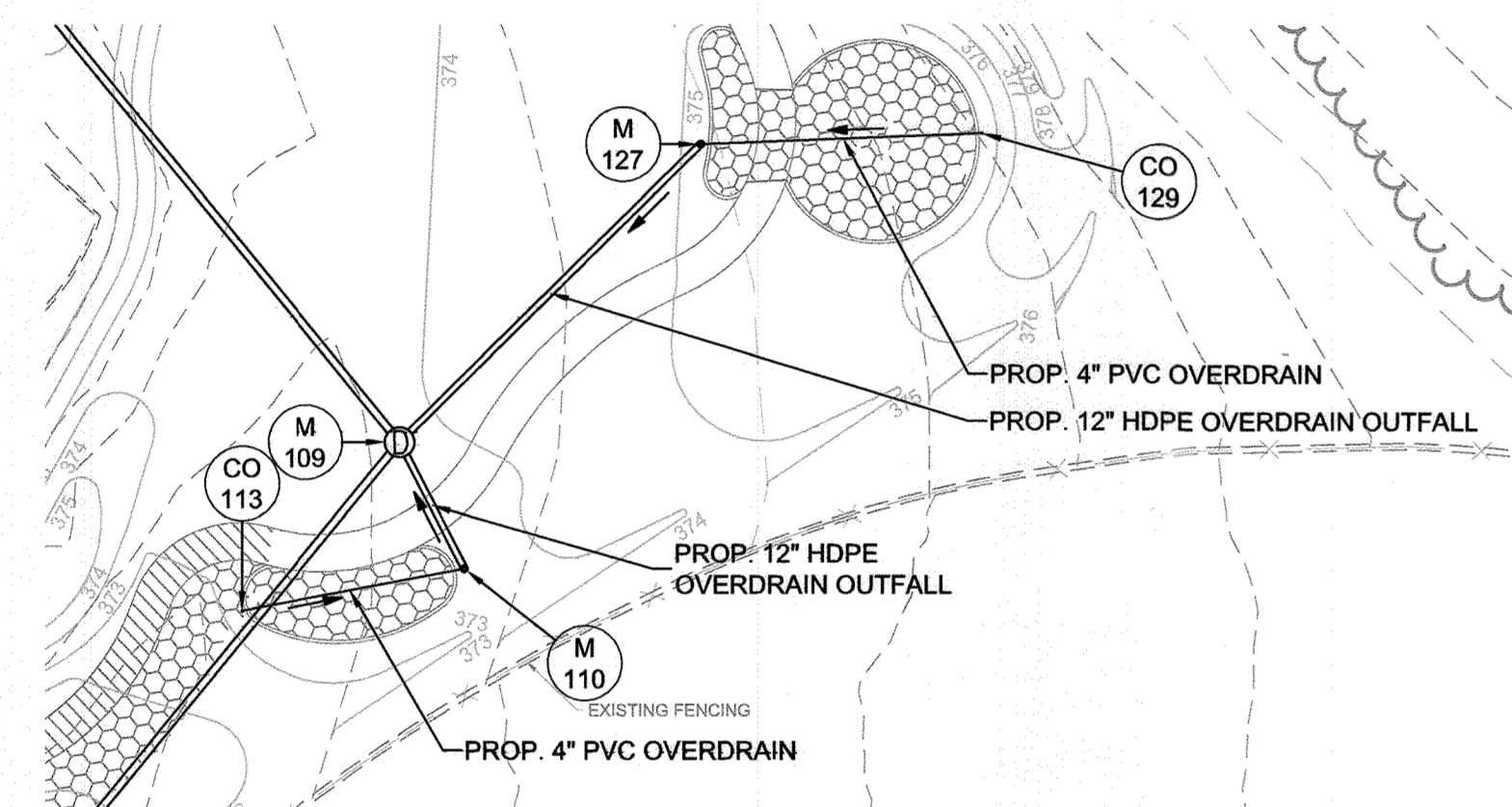


2 PROFILE: CO-125 TO M-107
 SCALES: HORIZ. 1" = 30'
 VERT. 1" = 5'

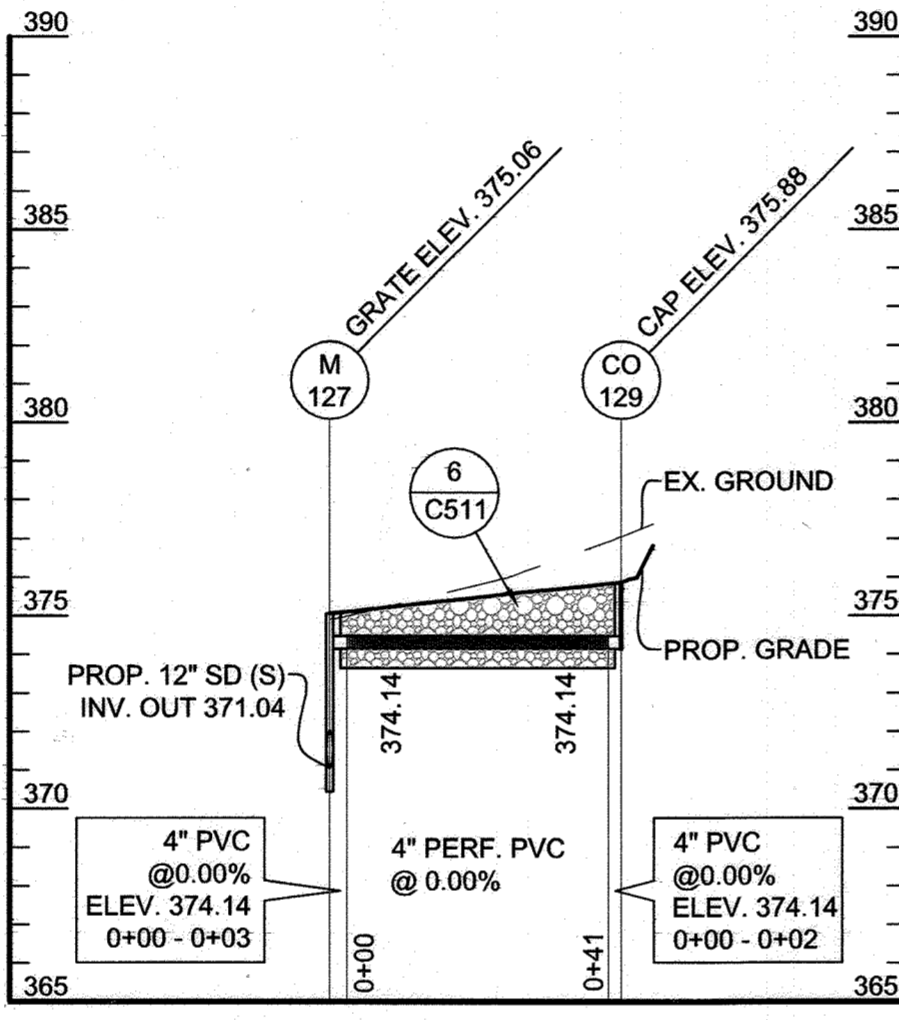
OPERATION AND MAINTENANCE SCHEDULE

- ALTERNATE SURFACE (ESD #1-3)
- INSPECTION SHALL BE PERFORMED DURING WET WEATHER TO DETERMINE IF THE FACILITY IS FUNCTIONING PROPERLY. VISUAL INSPECTION OF ALL COMPONENTS SHALL BE COMPLETED BY THE OWNER. ALL DRAINS AND CLEANOUTS SHALL BE OPENED BY THE OWNER ONCE A YEAR. THE OWNER SHALL KEEP NOTES OF EACH INSPECTION. REQUIRE REPAIR. LOOK FOR GENERAL WEAR-AND-TEAR, PAYING CLOSE ATTENTION TO HIGH IMPACT AREAS. DAMAGED AREAS SHOULD BE PATCHED BY A CERTIFIED INSTALLATION CREW TO THE SAME STANDARDS OF THE ORIGINAL INSTALLATION.
 - REGULARLY REMOVE LOOSE DEBRIS SUCH AS SAND, DIRT, AND SMALL STONES TO HELP REDUCE SLIP HAZARDS.
 - VACUUM AND BLOW SURFACE WITH MECHANICAL EQUIPMENT TO REMOVE FINE PARTICLES THAT ACCUMULATE IN WITHIN THE SURFACE.
 - ALL REQUIRED MAINTENANCE SHALL BE PERFORMED BY THE OWNER OR THE OWNER'S REPRESENTATIVE AT THE OWNER'S EXPENSE.

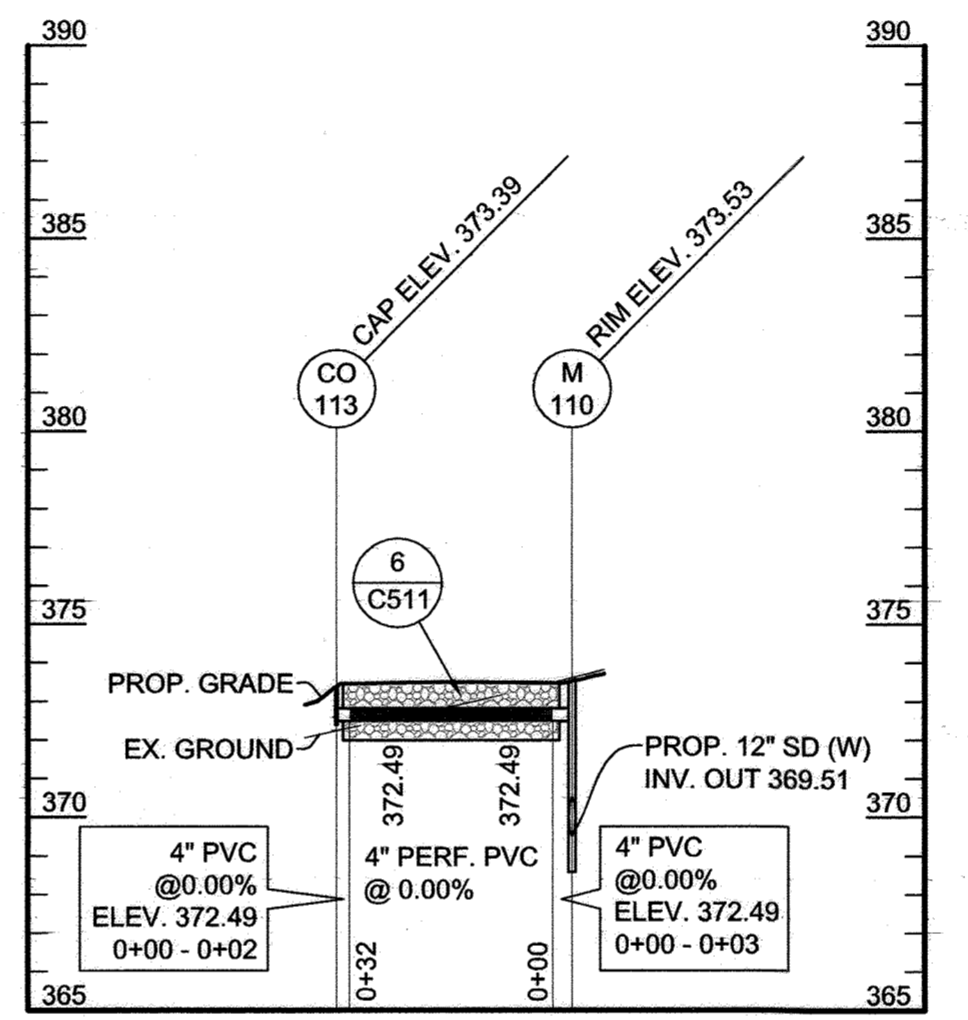
- DISCONNECTION OF NON-ROOFTOP RUNOFF AREAS (N-2) (ESD #5)
- MAINTENANCE OF AREAS RECEIVING DISCONNECTED RUNOFF IS GENERALLY NO DIFFERENT THAN THAT REQUIRED FOR OTHER LAWN OR LANDSCAPED AREAS. THE OWNER SHALL ENSURE THE AREA RECEIVING RUNOFF ARE PROTECTED FROM FUTURE COMPACTION OF DEVELOPMENT OF IMPERVIOUS AREA. IN COMMERCIAL AREAS, FOOT TRAFFIC SHOULD BE DISCOURAGED AS WELL.



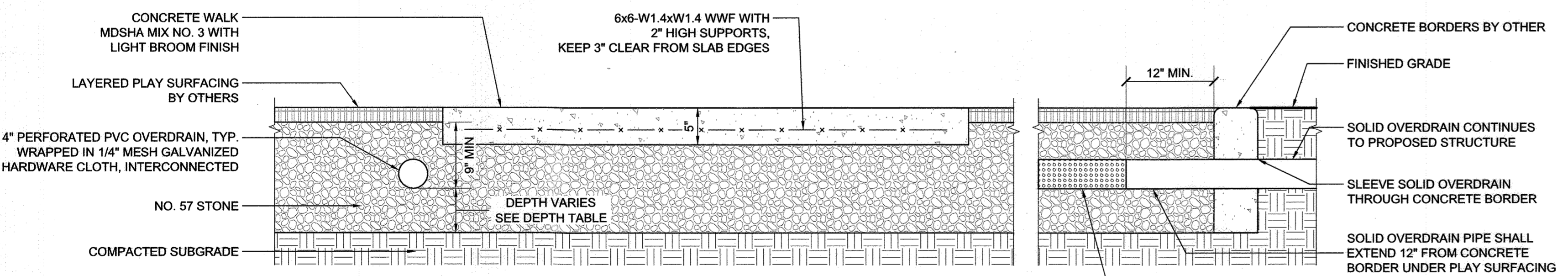
3 ESD #2 & 3 - (ALTERNATE SURFACE)
 SCALES: HORIZ. 1" = 30'
 VERT. 1" = 5'



4 PROFILE: CO-129 TO M-127
 SCALES: HORIZ. 1" = 30'
 VERT. 1" = 5'



5 PROFILE: CO-113 TO M-110
 SCALES: HORIZ. 1" = 30'
 VERT. 1" = 5'



- NOTES:**
- FOR ALL JOINTING REQUIREMENTS SEE CONCRETE WALK DETAIL ON SHEET C201.
 - PROVIDE ISOLATION JOINTS WHERE POUR MEETS CONCRETE BORDERS.
 - SAW-CUT CONTRACTION JOINT MIN. 1/8" WIDE, MIN 1/4" DEPTH OF SLAB.

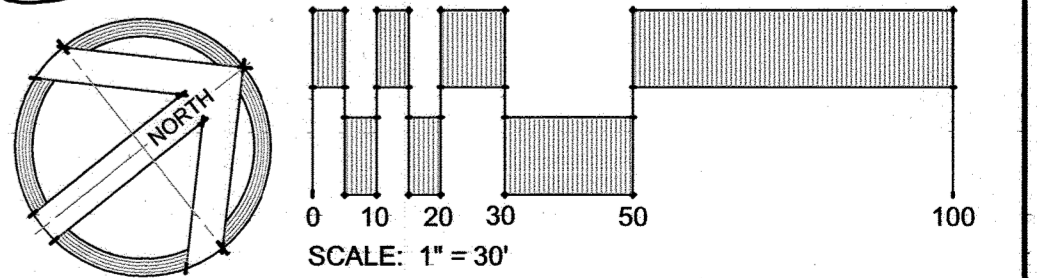
FACILITY NUMBER	ESD# STORAGE
ESD #1	9.0 INCHES
ESD #2	6.0 INCHES
ESD #3	6.0 INCHES

6 ALTERNATIVE SURFACE, TYP. (FOR PLAY SURFACING)
 ESDs #1, 2 & 3
 NOT TO SCALE



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 56846 EXPIRATION DATE 10/16/2024

PURPOSE STATEMENT - 06.15.2023
 THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD.



APPROVED: DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

6/29/23 DATE
 6/12/2023 DATE
 7/5/23 DATE

Howard County
 RECREATION & PARKS

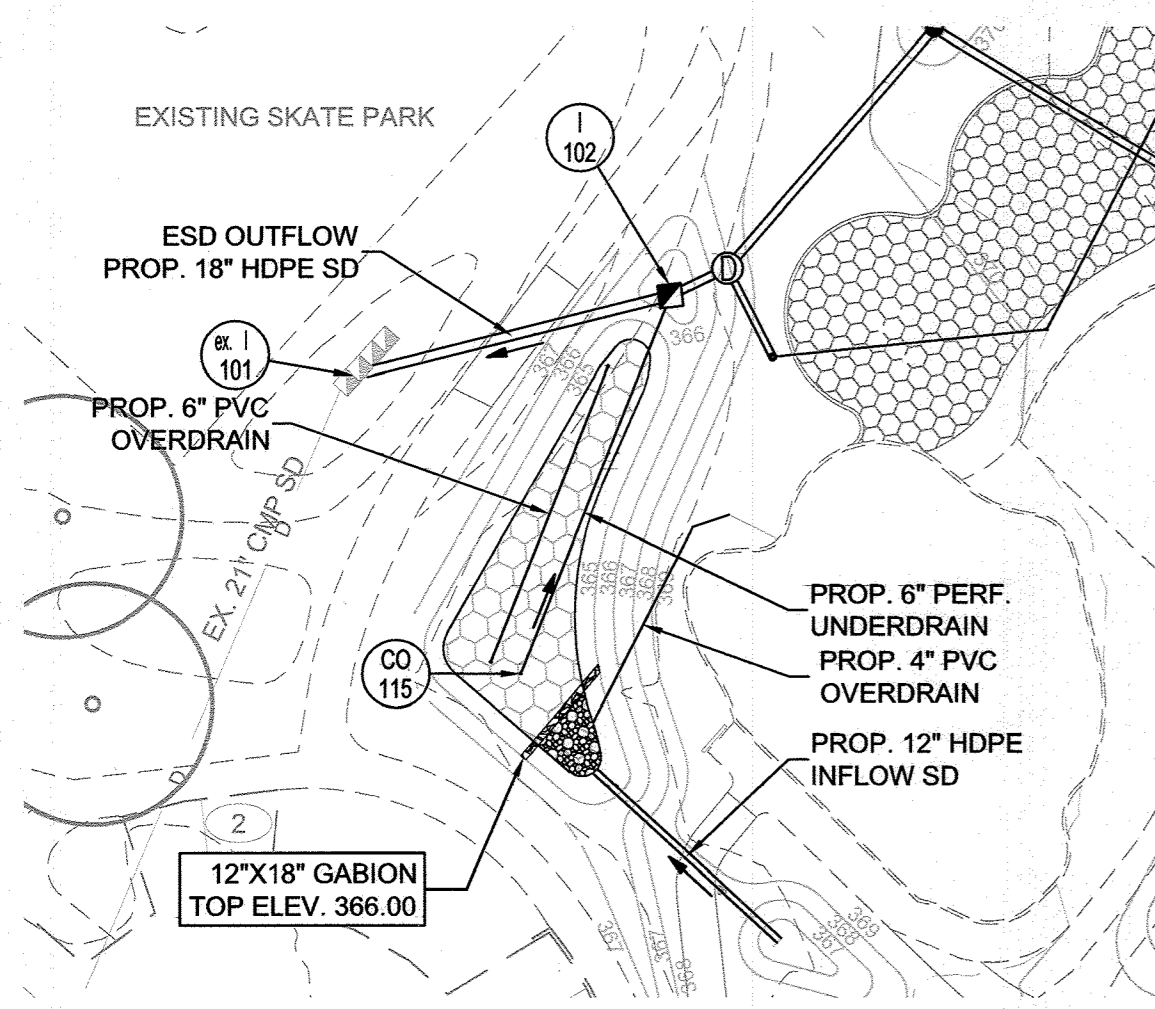
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 410.683.3388 www.siteresourcesinc.com

NO.	DATE	DESCRIPTION
1	06.15.2023	REVISED SITE DEVELOPMENT PLAN

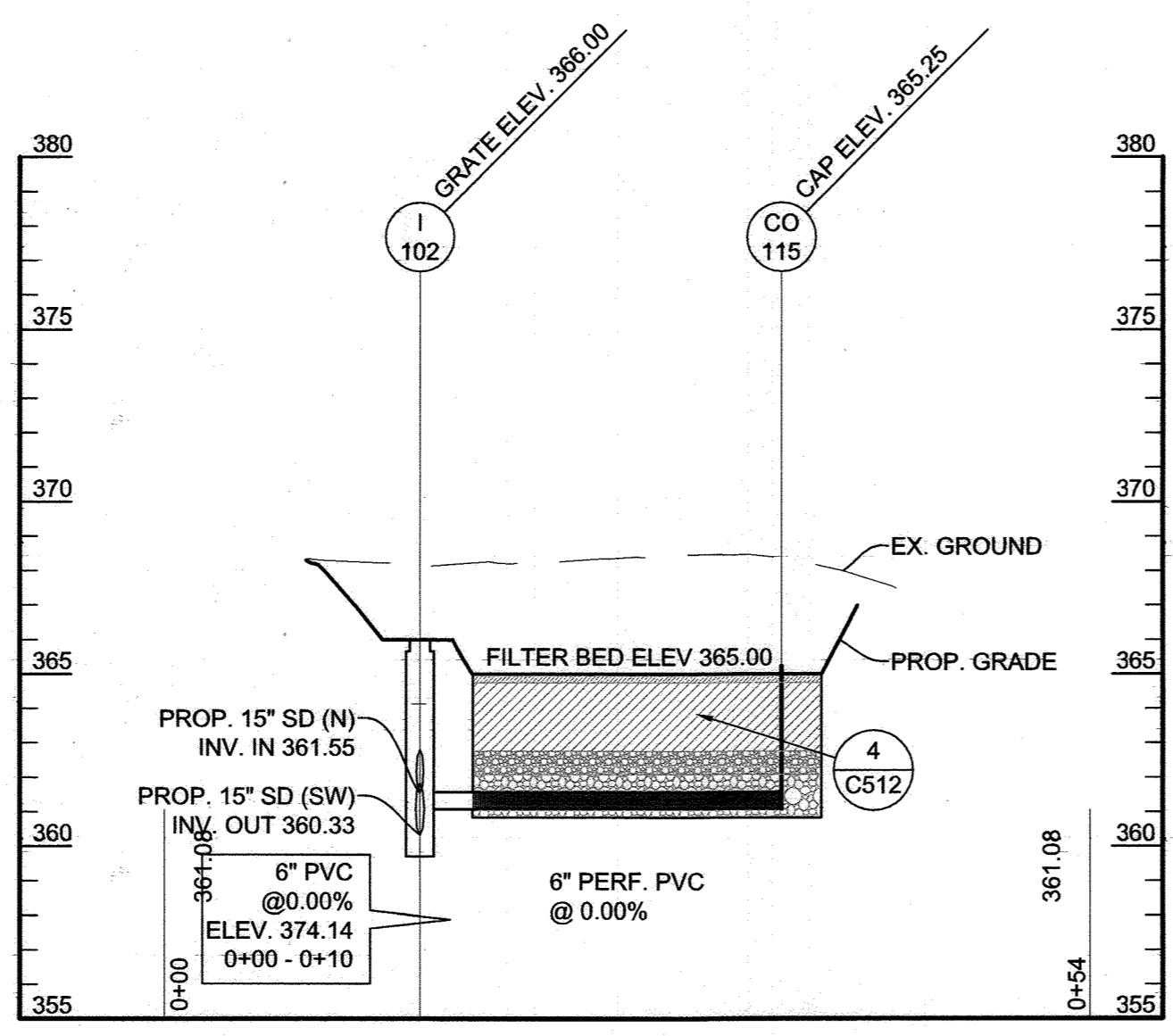
ADDRESS CHART	
MAP/GRID/PARCEL	STREET ADDRESS
MAP 0030/GRID 0002 PARCEL 0010	9801 OLD ANNAPOLIS ROAD, ELLICOTT CITY, MD 21042

PERMIT INFORMATION CHART					
PROJECT NAME	SECTION/AREA	LOT/PARCEL NO.	TAX MAP NO.	ELECT DISTRICT	CENSUS TRACT
CENTENNIAL PARK NORTH	N/A	0010	1402218690	2nd	602304
LIBER / FOLIO #	GRID #	ZONING	PROPERTY IMPROVEMENT	NEW PLAYGROUND AREA	
L. 885/ F. 79	2	R-20			

46
STORMWATER MANAGEMENT
DETAILS AND NOTES I
C511
 SHEET 46 OF 48
 SDP-81-126



1 MICRO-BIORETENTION PLAN (M-6)
SCALE: 1" = 30'

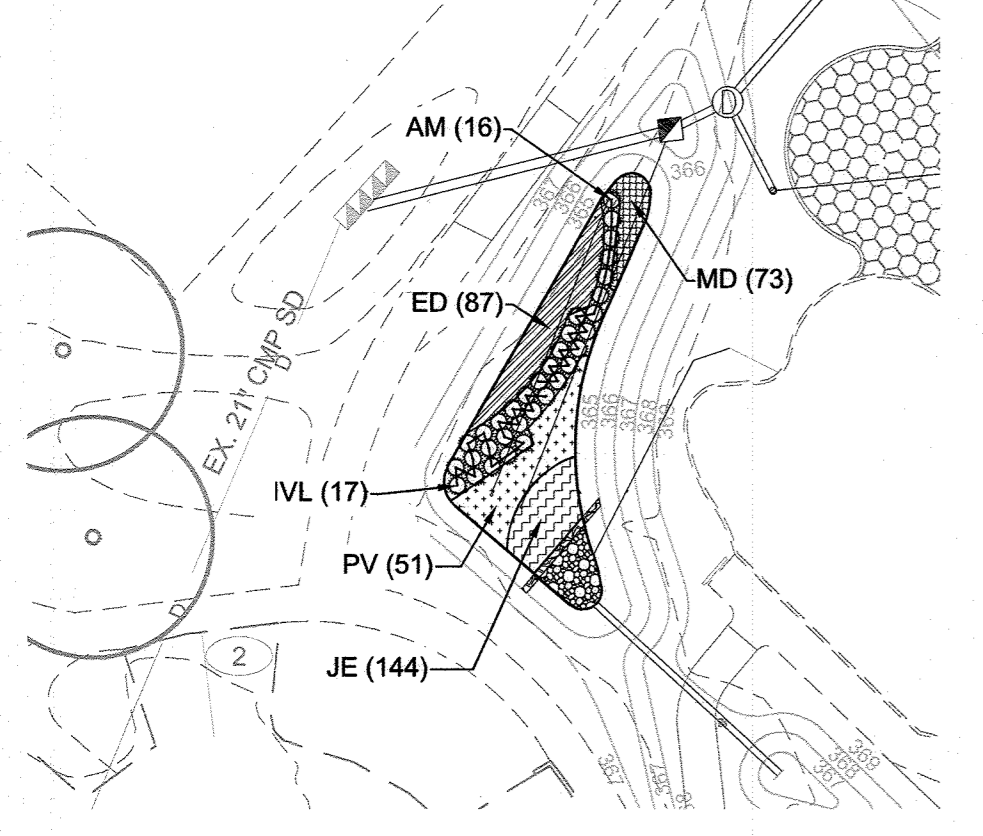


2 PROFILE: CO-115 TO I-102
SCALES: HORIZ. 1" = 30'
VERT. 1" = 5'

PLANTING SCHEDULE FOR MICRO-BIORETENTION

QTY	KEY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE
SHRUBS					
16	AM	ARONIA MELANOCARPA 'LOW SCAPE MOUND'	LOW SCAPE MOUND ARONIA	36" O.C.	3 GALLON
17	IVL	ITEA VIRGINICA 'LITTLE HENRY'	LITTLE HENRY SWEETSPIRE	36" O.C.	3 GALLON
PERENNIALS/ ORNAMENTAL GRASSES					
87	ED	EUTROCHIIUM DUBIUM 'LITTLE JOE'	LITTLE JOE PYE WEED	18" O.C.	#1 CONT.
116	JE	JUNCUS EFFUSUS	COMMON RUSH	12" O.C.	#1 CONT.
73	MD	MONARDA BRADBURIANA	EASTERN BEE BALM	12" O.C.	#1 CONT.
51	PV	PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCHGRASS	24" O.C.	#3 CONT.

GENERAL PLANT COMMENT: ALL PLANTS SHALL BE FULLY ROOTED IN THE CONTAINER, AND SIZE OF PLANT SHALL BE FULL AND HEAVY WITH A CONSIST FORM



3 MICRO-BIORETENTION PLANTING PLAN
SCALE: 1" = 30'

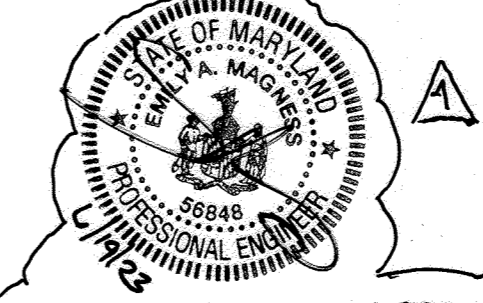
OPERATION AND MAINTENANCE SCHEDULE

1. INSPECTION SHALL BE PERFORMED DURING WET WEATHER TO DETERMINE IF THE FACILITY IS FUNCTIONING PROPERLY. VISUAL INSPECTION OF ALL COMPONENTS SHALL BE COMPLETED BY THE OWNER. ALL DRAINS SHALL BE OPENED BY THE OWNER ONCE A YEAR. THE OWNER SHALL KEEP NOTES OF EACH INSPECTION.
2. ANNUAL MAINTENANCE OF PLANT MATERIAL, MULCH LAYER AND SOIL LAYER IS REQUIRED. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING.
3. DEBRIS AND LITTER SHALL BE REMOVED AS A REGULAR OPERATION AND AS NEEDED. ALL APPURTENANCES SHALL BE KEPT FREE OF TRASH.
4. SCHEDULE OF PLANT INSPECTION WILL BE TWICE A YEAR IN SPRING AND FALL. THIS INSPECTION WILL INCLUDE REMOVAL OF DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, TREATMENT OF ALL DISEASED TREES AND SHRUBS AND REPLACEMENT OF ALL DEFICIENT STAKES AND WIRES. WATERING OF PLANT MATERIAL MAY BE REQUIRED DURING PROLONGED DRY PERIODS.
5. MULCH SHALL BE INSPECTED EACH SPRING. REPLACE MULCH ANNUALLY WHERE PRACTICE TREATS AREAS WITH HIGH CONCENTRATIONS OF HEAVY METALS. OTHERWISE, REPLACE TOP 2-3 INCHES OF MULCH AS NECESSARY.
6. SOIL EROSION TO BE ADDRESSED ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER HEAVY STORM EVENTS.
7. REMOVE ACCUMULATED SEDIMENT FROM THE SURFACE OF THE FILTER BED WHEN ACCUMULATION EXCEEDS ONE INCH.
8. WHEN WATER PONDS FOR MORE THAN 48 HOURS, THE TOP FEW INCHES OF FILTER MEDIA SHOULD BE REMOVED AND REPLACED.
9. ALL REQUIRED MAINTENANCE SHALL BE PERFORMED BY THE OWNER OR THE OWNER'S REPRESENTATIVE AT THE OWNER'S EXPENSE.

PROJECT NAME: BGE HOWARD SERVICE CENTER		
AS-BUILT DATA FOR MICRO-BIORETENTION (ESD #4) *TO BE COMPLETED BY THE CONTRACTOR'S CERTIFYING ENGINEER		
TYPE OF FACILITY:	DESIGN	ESD ID: M-6
FEATURE	DESIGN	*AS-BUILT
FILTER BED DIMENSIONS & AREA	15' X 60' (854 SF)	
GRATE ELEVATION	366.0	
FINISHED GRADE SURFACE ELEVATION	365.0	
TOP ELEVATION FILTER MEDIA	364.8	
TOP ELEVATION #6 STONE	362.8	
TOP ELEVATION #57 STONE	362.1	
UNDERDRAIN INVERT	361.08	
#2 STONE BOTTOM ELEVATION	360.8	

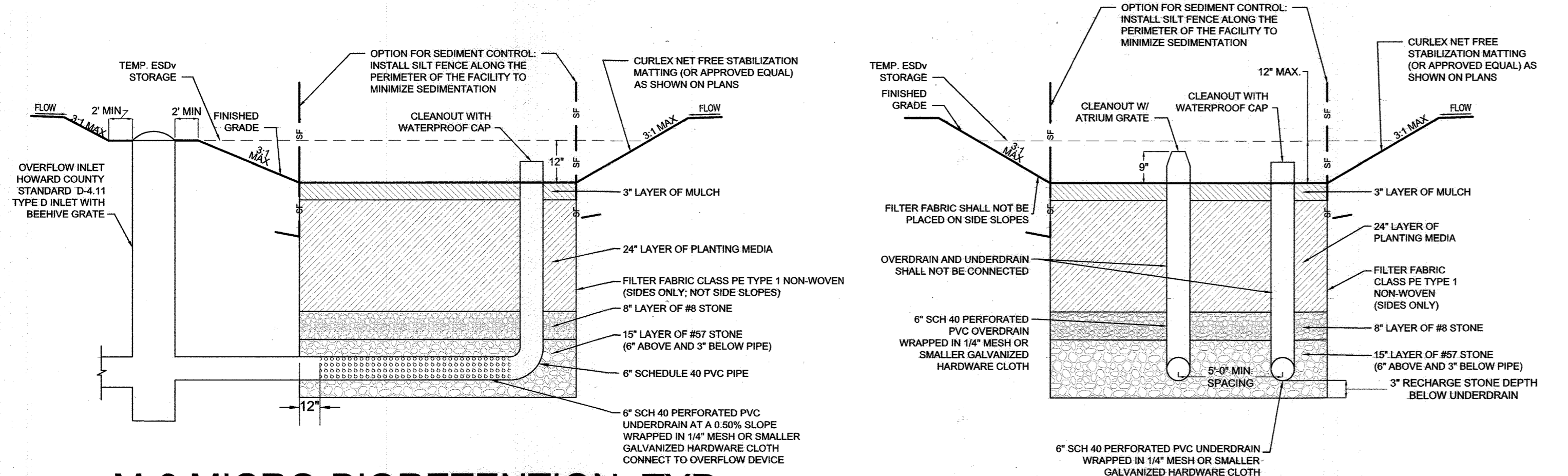
NOTE:
AS-BUILT PLANS AND CERTIFICATION ARE REQUIRED FOR THIS STORMWATER MANAGEMENT FACILITIES. THESE MUST BE PREPARED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER, HOWARD COUNTY WILL NOT PERFORM THE INSPECTION OR PREPARE THE AS-BUILT PLANS OR CERTIFICATION. THE STORMWATER MANAGEMENT PERMIT SECURITY WILL NOT BE RELEASED UNTIL THE AS-BUILT PLAN AND CERTIFICATION ARE APPROVED BY HOWARD COUNTY.

IT IS THE CONTRACTOR'S RESPONSIBILITY, ON BEHALF OF THE OWNER, TO ENGAGE A LICENSED PROFESSIONAL ENGINEER TO CERTIFY THE STORMWATER MANAGEMENT FACILITY AND TO PREPARE AND SUBMIT AS-BUILT DRAWINGS. "CERTIFY" MEANS TO STATE OR DECLARE A PROFESSIONAL OPINION BASED ON SUFFICIENT AND APPROPRIATE ONSITE OBSERVATIONS AND/OR INSPECTIONS AT CRUCIAL MILESTONES DURING CONSTRUCTION OF THE FACILITY, MATERIAL TESTS CONDUCTED DURING CONSTRUCTION, AND POST-CONSTRUCTION SURVEYING AND VERIFICATION.

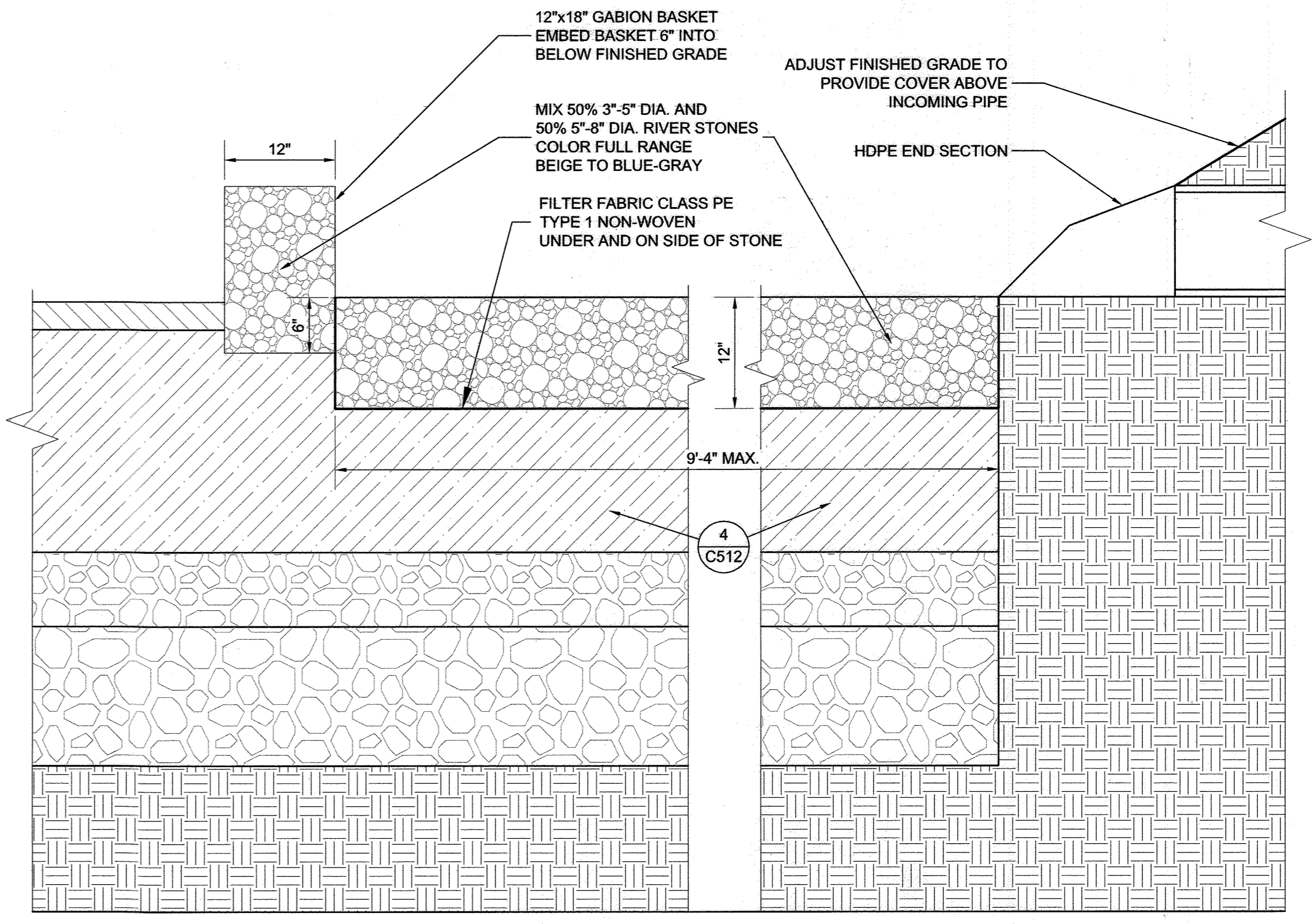


PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 56848
EXPIRATION DATE 12/16/2024

PURPOSE STATEMENT - 06.15.2023
THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD



4 M-6 MICRO-BIORETENTION, TYP.
ESD #4
NOT TO SCALE



5 INFLOW PROTECTION
NOT TO SCALE

APPROVED: DEPARTMENT OF PLANNING & ZONING
 [Signature] 6/29/23
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 6/29/23
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 7/5/23
 DIRECTOR

Howard County
RECREATION & PARKS

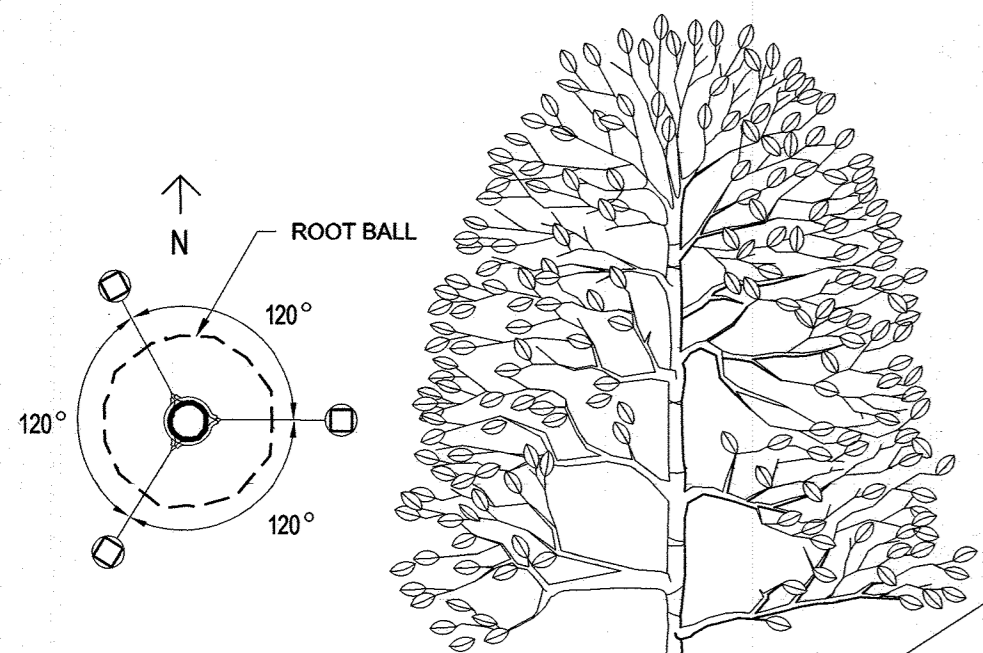
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NO.	DATE	DESCRIPTION
1	06.15.2023	REVISED SITE DEVELOPMENT PLAN

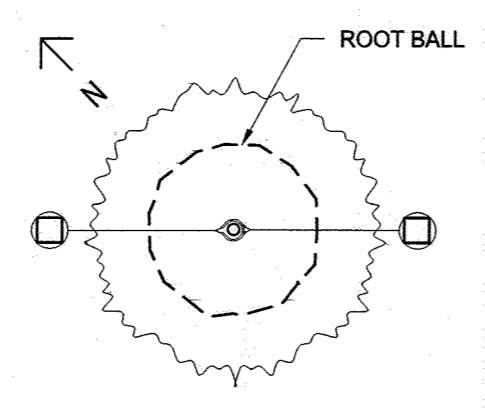
ADDRESS CHART		PERMIT INFORMATION CHART			
MAP/GRID/PARCEL	STREET ADDRESS	PROJECT NAME	SECTION/AREA	LOT/PARCEL NO.	
MAP 0030/GRID 0002 PARCEL 0010	9801 OLD ANNAPOLIS ROAD, ELLCOTT CITY, MD 21042	CENTENNIAL PARK NORTH	N/A	0010	
		LIBER / FOLIO # L. 885/ F. 79	GRID # 2	ZONING R-20	TAX MAP NO 1402218690
		WATER CODE	SEWER CODE	PROPERTY IMPROVEMENT	ELECT DISTRICT 2nd
				NEW PLAYGROUND AREA	CENSUS TRACT 602304

47
STORMWATER
MANAGEMENT
DETAILS AND NOTES II
C512
SHEET 47 OF 48
SDP-81-126

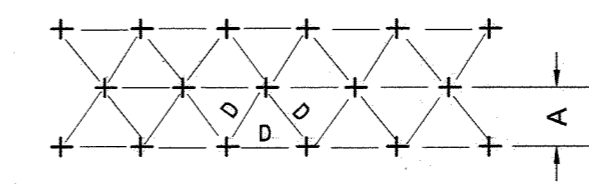
© SITE RESOURCES, INC. 2/22/2023-2026-HWCO Centennial Park N Playground Redline 04-DWG(C511 SMM Details and Notes.dwg-C512 Jun 20, 2023 09:29am zjr



NOTES:
 1. THE CENTRAL LEADER SHALL NOT BE CUT.
 2. CONTRACTOR SHALL LOOSEN ROOTS OF ALL CONTAINER GROWN MATERIAL TO ENCOURAGE LATERAL GROWTH OF ROOTS.
 3. CONTRACTOR SHALL SCARIFY SIDES OF TREE PIT TO ELIMINATE SPADE GLAZING.



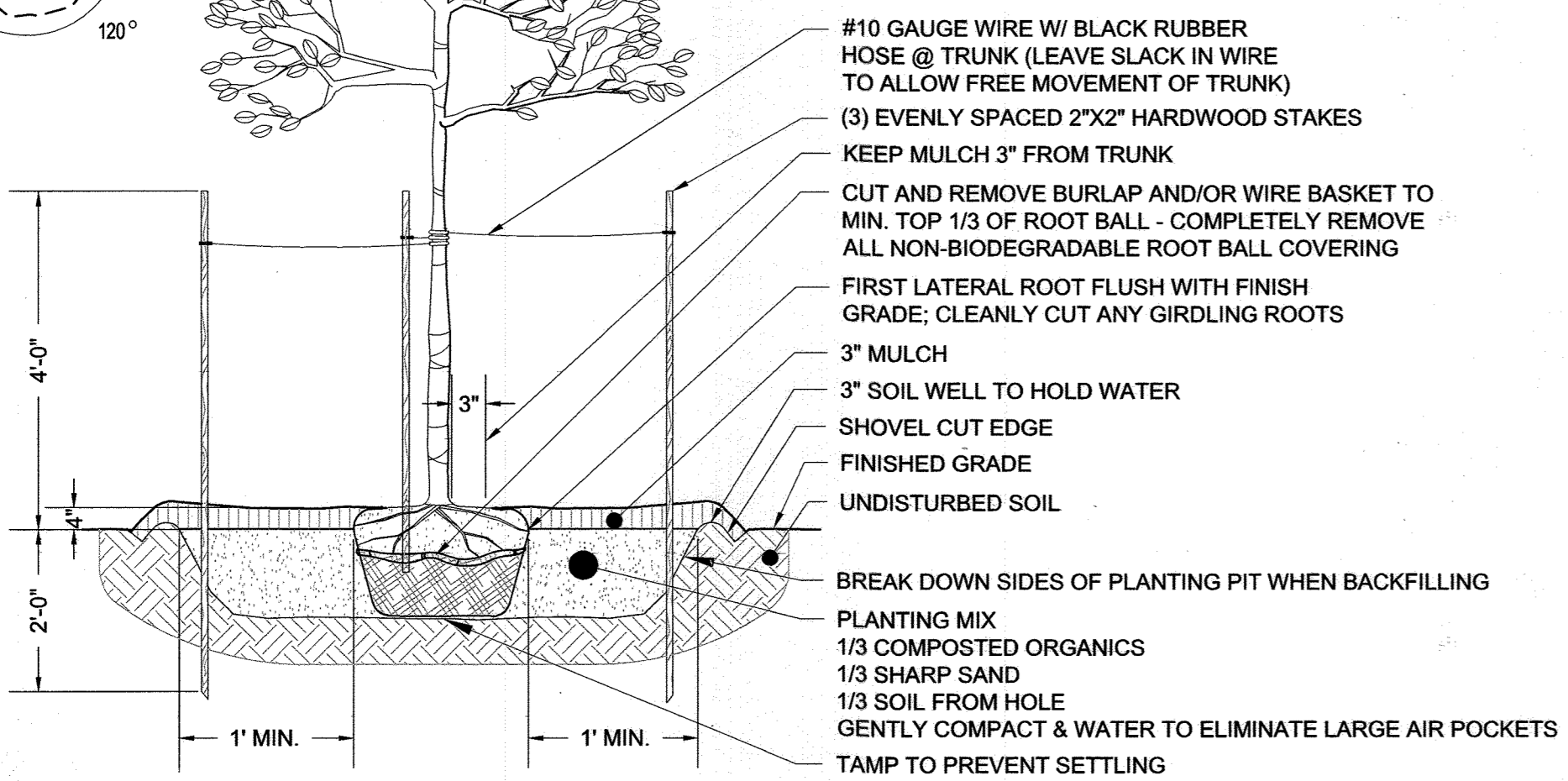
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 3. CONTRACTOR SHALL SCARIFY SIDES OF TREE PIT TO ELIMINATE SPADE GLAZING.



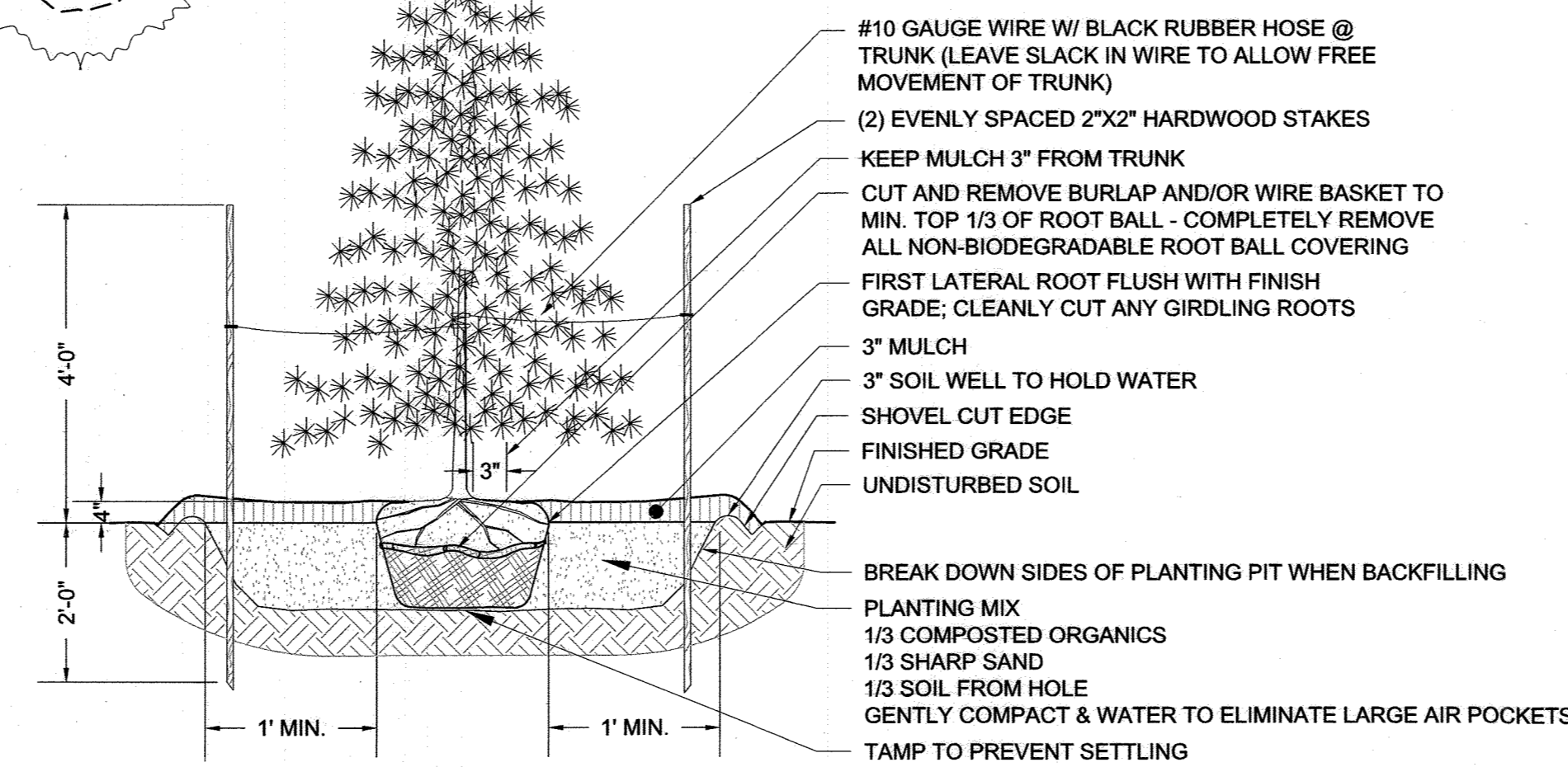
NOTE:
 FOR USE ONLY WHEN PLANTS ARE SPACED EQUIDISTANT FROM EACH OTHER AS SHOWN, AND SPECIFIED IN THE PLANT LIST.

SPACING "D"	ROW "A"	PLANTS / S.F.
6" O.C.	5.20'	4.61
8" O.C.	6.93'	2.60
10" O.C.	8.66'	1.66
12" O.C.	10.40'	1.15
15" O.C.	13.00'	0.78
18" O.C.	15.60'	0.51
24" O.C.	20.80'	0.29
30" O.C.	26.00'	0.18
36" O.C.	30.00'	0.12

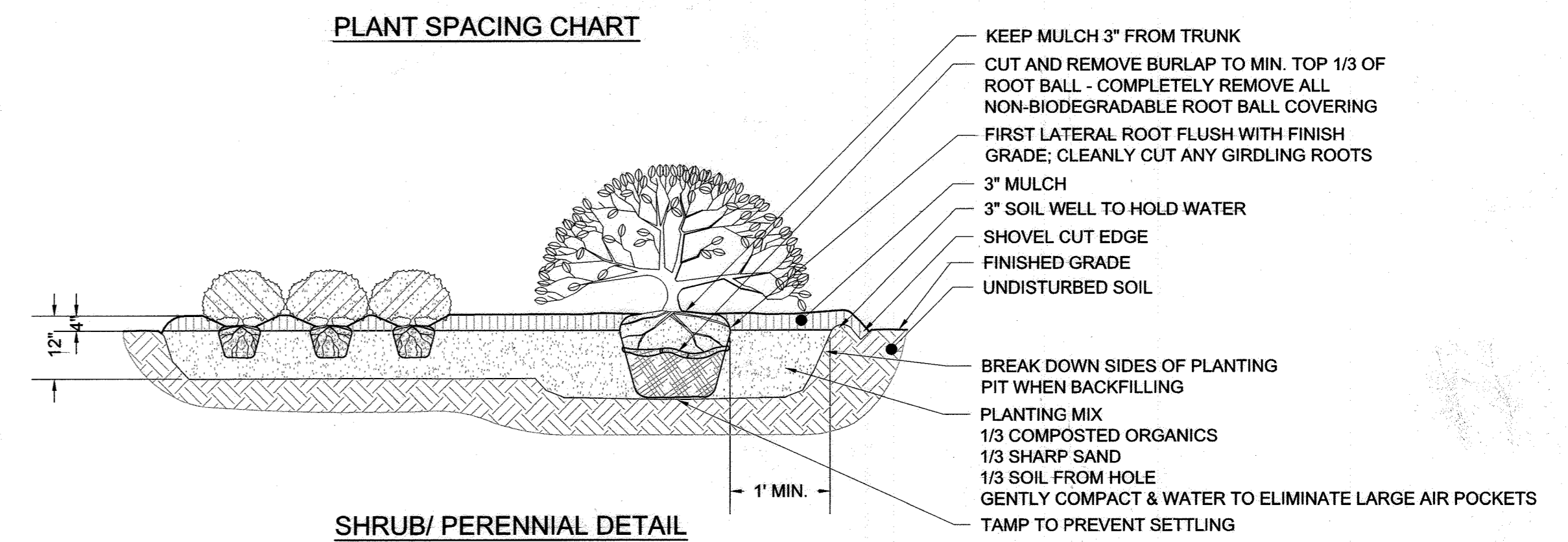
NOTES:
 1. CONTRACTOR SHALL LOOSEN ROOTS OF ALL CONTAINER GROWN MATERIAL TO ENCOURAGE LATERAL GROWTH OF ROOTS.
 2. CONTRACTOR SHALL SCARIFY SIDES OF SHRUB PIT TO ELIMINATE SPADE GLAZING.
 3. PERENNIALS SHALL BE PLANTED IN 12" DEPTH



DECIDUOUS TREE DETAIL

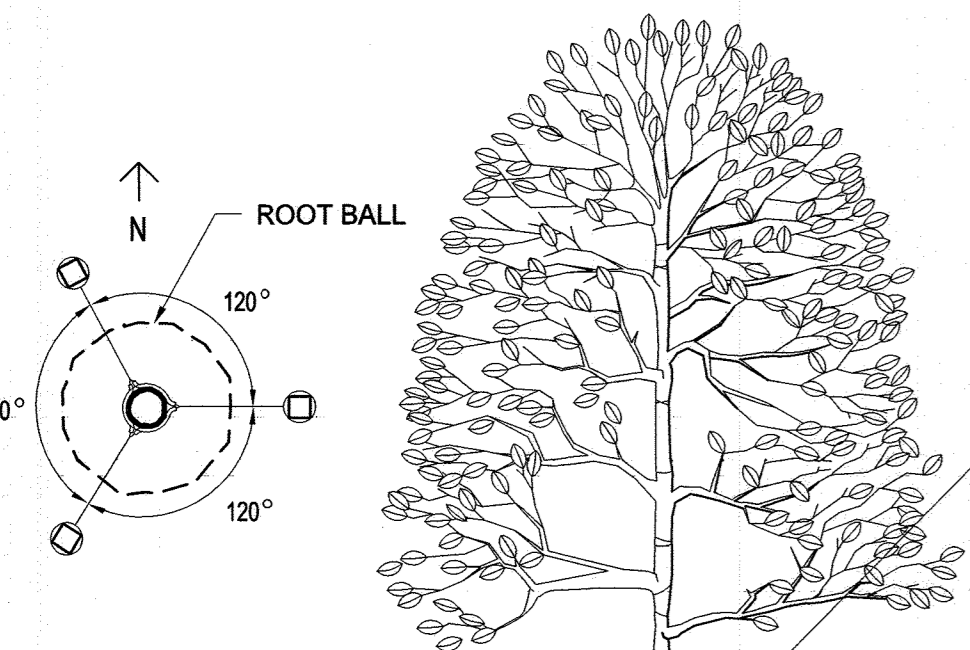


EVERGREEN TREE DETAIL

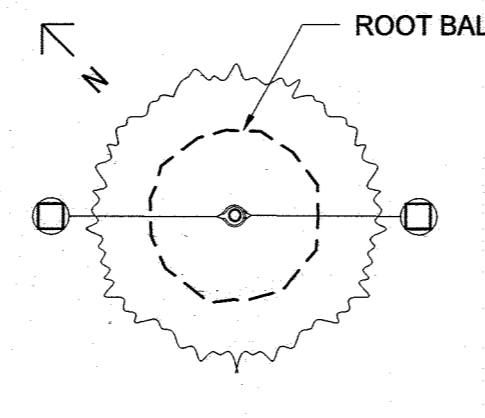


PLANT SPACING CHART

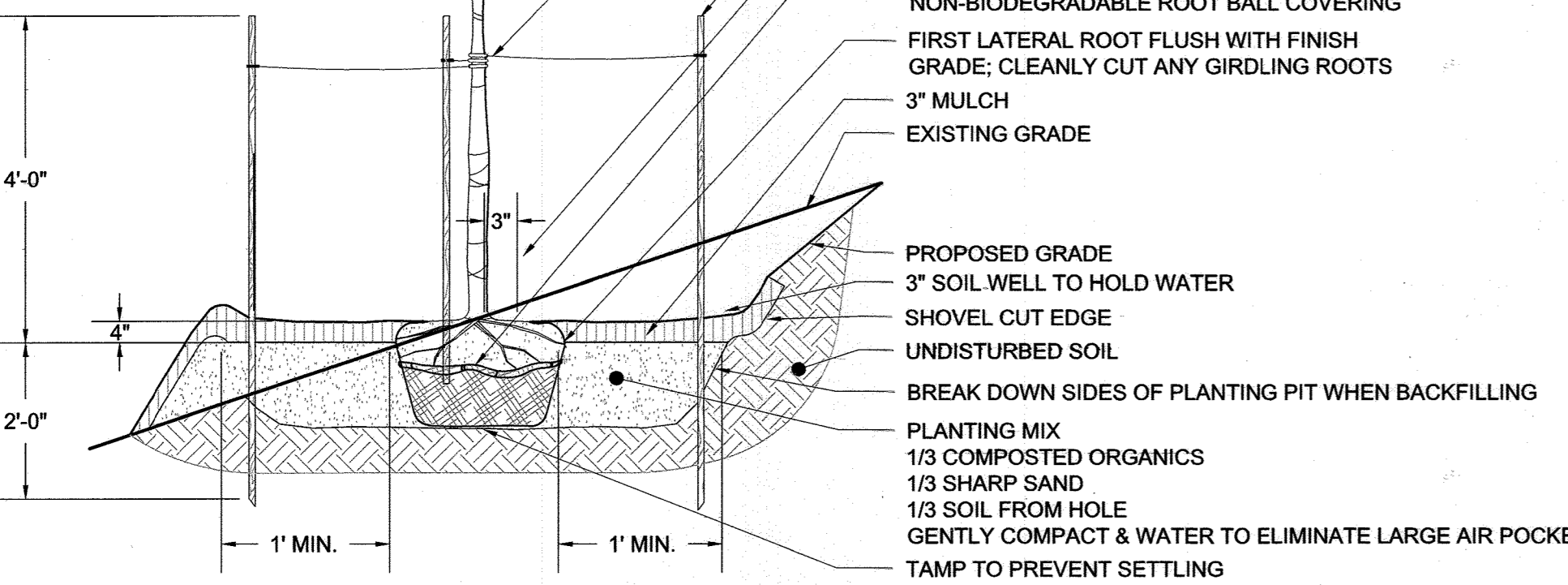
SHRUB/ PERENNIAL DETAIL



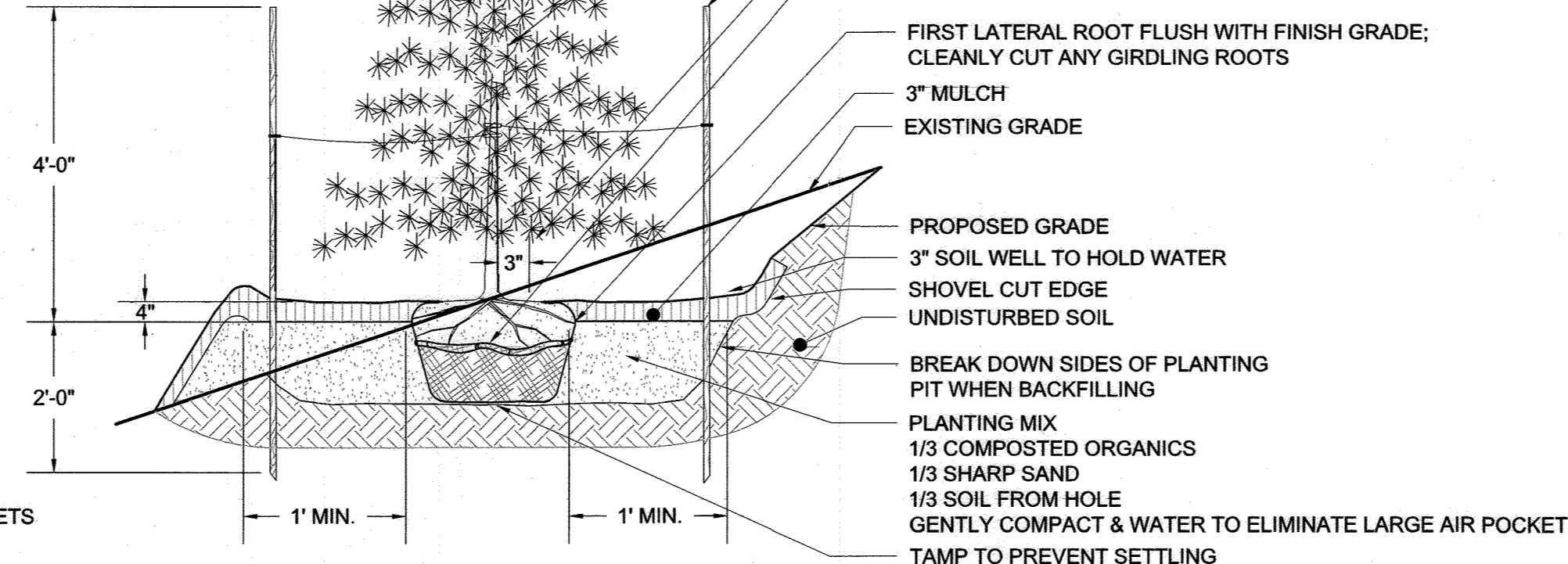
NOTES:
 1. THE CENTRAL LEADER SHALL NOT BE CUT.
 2. CONTRACTOR SHALL LOOSEN ROOTS OF ALL CONTAINER GROWN MATERIAL TO ENCOURAGE LATERAL GROWTH OF ROOTS.
 3. CONTRACTOR SHALL SCARIFY SIDES OF TREE PIT TO ELIMINATE SPADE GLAZING.



NOTES:
 1. THE CENTRAL LEADER SHALL NOT BE CUT.
 2. CONTRACTOR SHALL LOOSEN ROOTS OF ALL CONTAINER GROWN MATERIAL TO ENCOURAGE LATERAL GROWTH OF ROOTS.
 3. CONTRACTOR SHALL SCARIFY SIDES OF TREE PIT TO ELIMINATE SPADE GLAZING.



DECIDUOUS TREE ON SLOPE DETAIL



EVERGREEN TREE ON SLOPE DETAIL

LANDSCAPE NOTES

- (THESE NOTES APPLY TO ALL PLANTING IN THIS CONTRACT)
- QUANTITIES SHOWN ON THE PLANT LIST ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. SYMBOLS ON THE PLAN SHALL TAKE PRECEDENCE. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES TO HIS OWN SATISFACTION.
 - PLANT MATERIAL SUBSTITUTIONS ARE SUBJECT TO APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT.
 - PLANT MATERIAL SHALL BE TAGGED AT THE SOURCE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE UNLESS THE REQUIREMENT IS SPECIFICALLY WAIVED.
 - LOCATIONS OF ALL PLANT MATERIAL SHALL BE STAKED FOR APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT.
 - ALL SHRUB AND GROUND COVER AREAS SHALL BE PLANTED IN CONTINUOUS PREPARED BEDS MULCHED WITH COMPOSTED HARDWOOD MULCH AS DETAILED AND SPECIFIED.
 - PLANTING BEDS SHALL HAVE POSITIVE DRAINAGE WITH A MINIMUM 2% SLOPE.
 - CONTRACTOR SHALL VERIFY ACCURACY OF BASE INFORMATION AND EXISTING CONDITIONS AND UTILITIES IN THE FIELD TO HIS OWN SATISFACTION. UTILITIES BID SHALL BE BASED ON ACTUAL SITE CONDITIONS. NO EXTRA PAYMENT SHALL BE MADE FOR WORK ARISING FROM SITE CONDITIONS DIFFERING FROM THOSE INDICATED ON DRAWINGS AND SPECIFICATIONS.
 - THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 A MINIMUM OF TWO WORKING DAYS PRIOR TO BEGINNING PLANTING AND CONSTRUCTION.
 - DAMAGE TO EXISTING CONDITIONS AND UTILITIES SHALL BE REPAIRED AND RESTORED AT THE EXPENSE OF THE CONTRACTOR.
 - ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO AMERICAN NURSERY & LANDSCAPE ASSOCIATION'S AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1.

MINIMUM LANDSCAPE MAINTENANCE REQUIREMENTS

- LAWN AREAS SHALL BE MOWED TO A HEIGHT OF 2 TO 3 INCHES AND NOT ALLOWED TO REACH A HEIGHT OF 4 INCHES BEFORE MOWING.
- ALL CURBS AND WALKS SHALL BE EDGED AS NEEDED.
- ALL LAWN AREAS ADJACENT TO BUILDING FACES OR STRUCTURES SHALL BE TRIMMED.
- A SLOW RELEASE NITROGEN BALANCED FERTILIZER WITH A 2-1-1 RATIO SHALL BE APPLIED AT A RATE OF 2 POUNDS OF NITROGEN PER 1000 SQUARE FEET IN SEPTEMBER, OCTOBER, AND FEBRUARY.
- LIME SHALL BE APPLIED AT THE RATE DETERMINED BY A SOILS REPORT.
- IT IS RECOMMENDED THAT LAWN AREAS BE TREATED IN MID-MARCH TO EARLY APRIL WITH PRE-EMERGENT HERBICIDE (BETASAN) OR EQUAL APPLIED AT THE MANUFACTURER'S RECOMMENDED RATE.
- A POST-EMERGENT HERBICIDE (TRIMEC) OR EQUAL IS RECOMMENDED TO BE SPRAYED ON LAWN AREAS IN THE LATE SPRING OR THE EARLY FALL. FOLLOW MANUFACTURER'S RATES AND RECOMMENDATIONS.
- INSECTICIDES AND FUNGICIDES ARE RECOMMENDED FOR INSECT AND DISEASE CONTROL.
- RESEED BARE AREAS OF LAWN AS NECESSARY. YEARLY AERATION IS RECOMMENDED.
- ALL TRASH, LITTER, AND DEBRIS SHALL BE REMOVED FROM LAWN AREAS, PARKING LOTS, AND SHRUB BEDS AS NEEDED.
- MULCH ALL SHRUB AND GROUND COVER BEDS YEARLY WITH 3 INCHES OF SHREDED HARDWOOD BARK.
- PERMIT SHRUBS AND TREES TO GROW AND ENLARGE TO THEIR DESIGN SIZE. CONSULT PROJECT LANDSCAPE ARCHITECT FOR DETAILS.
- PRUNE TREES IN ACCORDANCE WITH LANDSCAPE CONTRACTORS ASSOCIATION GUIDELINES.

PURPOSE STATEMENT - 04/26/2023
 THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD

PURPOSE STATEMENT - 06.18.2023
 THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE PROPOSED PLAYGROUND AREA AND ASSOCIATED SITE IMPROVEMENTS IN PLACE OF EXISTING WEST BASEBALL FIELD

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT ONLY CHANGES ASSOCIATED WITH REVISION 1 WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 4184, EXPIRATION DATE: 01/07/2025.

APPROVED: DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

6/21/23
 6/21/23
 7/15/23

Howard County
 RECREATION & PARKS

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NO.	DATE	DESCRIPTION	ADDRESS CHART	PERMIT INFORMATION CHART	48
1	06.15.2023	REVISED SITE DEVELOPMENT PLAN	MAP/GRID/PARCEL MAP 0030/GRID 0002 PARCEL 0010	STREET ADDRESS 9801 OLD ANNAPOLIS ROAD, ELLCOTT CITY, MD 21042	PROJECT NAME CENTENNIAL PARK NORTH
					SECTION/AREA N/A
					LOT/PARCEL NO. 0010
					LIBER / FOLIO # L 885/ F. 79
					GRID # 2
					ZONING R-20
					TAX MAP NO. 1402218690
					ELECT DISTRICT 2nd
					CENSUS TRACT 602304
					PROPERTY IMPROVEMENT NEW PLAYGROUND AREA

PLANTING DETAILS AND NOTES
L201
 SHEET 48 OF 48