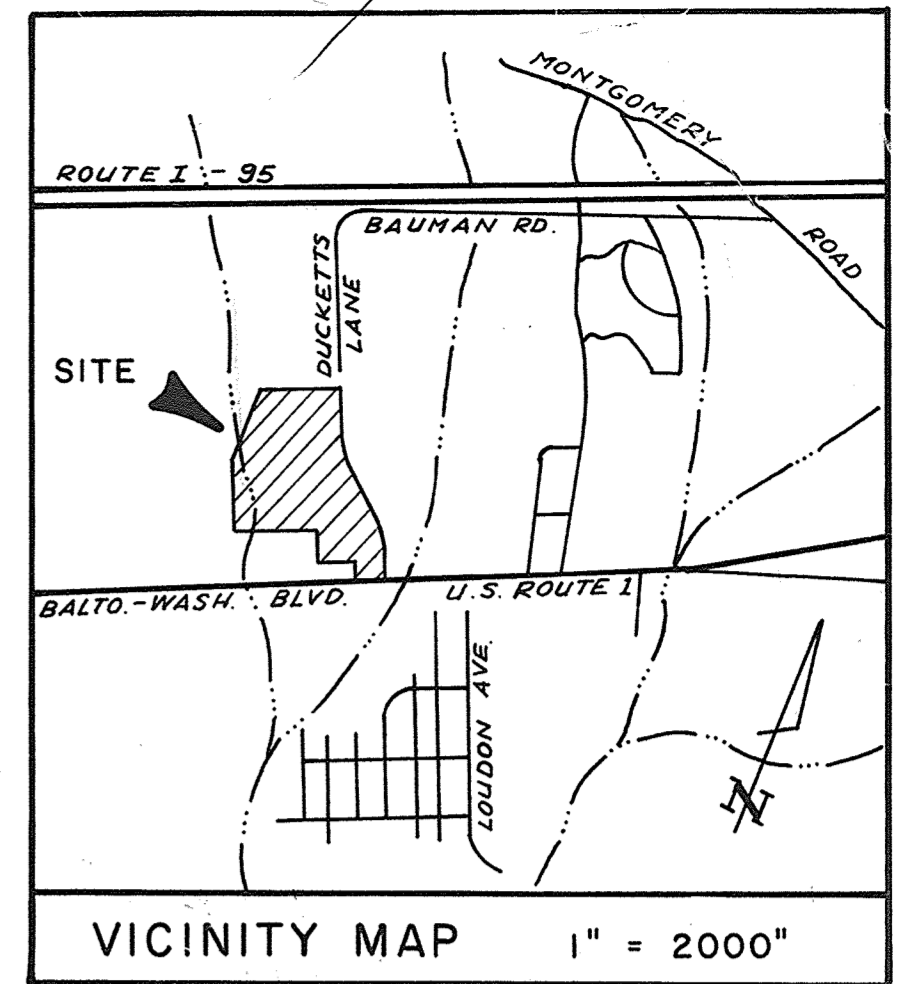


PROPOSED MARBLE HILL DEVELOPMENT PHASE I 199 DWELLING UNITS



	PHASE I	PHASE II (Not Included)	OVERALL DEVELOPMENT
TOTAL AREA	21.52 Ac ±	13.75 ±	35.267 Ac
NUMBER OF UNITS (ALL 3 BEDROOM)	199 Units	151 Units	350 Units
UNIT DENSITY	9.25 D.U./Ac	10.98 D.U./Ac	9.92 D.U./Ac
AREA TO BE VEGETATIVELY STABILIZED	413,645 Sq. Ft. or 9.5%	N/A *	N/A *
BUILDING LOT COVERAGE	11.46%	13.61%	12%
UNDISTURBED AREA	125,000 Sq. Ft. or 28%	N/A *	N/A *
PARKING REQ'D @ 2 SPACES/UNIT	398 SPACES	302 SPACES	700 SPACES
PARKING PROVIDED	404 SPACES	296 MIN.	700 MIN.

* INFORMATION NOT AVAILABLE UNTIL FINAL DESIGN OF PHASE II

TOTAL AREA OF SITE = 35.267 Acres
EXISTING ZONING IS R-A-1 R-A-15
PROPERTY IS RECORDED IN P.B. 3899-3900
HOWARD COUNTY, MARYLAND

GENERAL NOTES

- TOTAL AREA OF SITE IS 35.267 ACRES.
- PHASE I CONSISTS OF 199 CONDOMINIUM DWELLING UNITS.
- PHASE II CONSISTING OF 151 UNITS WILL BE CONSTRUCTED LATER AND DEVELOPMENT PLANS WILL BE PROCESSED ACCORDINGLY.
- ALL UNITS ARE THREE BEDROOM WITH BASEMENTS. UNITS NOTED "W.O." HAVE WALKOUT BASEMENTS. ALL OTHER UNITS HAVE BASEMENTS WITH ACCESS FROM THE INTERIOR ONLY.
- EXISTING SITE IS HEAVILY WOODED, AND EXISTING TREES WILL BE PRESERVED WHEREVER POSSIBLE, SPECIFICALLY IN AREAS SO DESIGNATED ON THE PLANS.
- ALL ROADS WITHIN THE SITE ARE PRIVATELY OWNED. DUCKETT'S LANE IS A PUBLIC ROAD AND WILL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION PLANS.
- PROPERTY OUTLINE IS TAKEN FROM THE RECORD PLAT RECORDED AT THE HOWARD COUNTY COURT HOUSE ON OCTOBER 18, 1977 IN P.B. 3899-3900.
- ALL STORY DRAINS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY.
- REFUSE COLLECTION WILL BE VIA INDIVIDUAL TRASH CANS PLACED AT THE CURB ON DAYS DESIGNATED FOR PICKUP.
- MAIL DELIVERIES WILL BE ACCOMMODATED BY INDIVIDUAL MAIL RECEPTACLES, APPROVED BY THE POST OFFICE, AT EACH UNIT.
- REFER TO LANDSCAPING PLAN FOR DETAILS AND LOCATIONS OF PROPOSED PLANTING.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
- REFER TO WATER AND SEWER PLANS FOR DETAILS AND LOCATIONS OF PUBLIC WATER AND SEWER MAINS. CONTRACT # 768 D-W45.
- EACH UNIT WILL HAVE AN INDIVIDUAL WATER METER INSIDE.
- UNITS WILL BE SOLD AS CONDOMINIUMS, WHEREBY THE PURCHASER WILL OWN THE INDIVIDUAL UNIT FROM PARTY WALL TO PARTY WALL AND FROM FRONT TO REAR, AND ALL OTHER GROUNDS WITHIN THE SITE, BUT OUTSIDE THE UNITS, WILL BE OWNED BY A HOMEOWNER'S ASSOCIATION.
- NO BUILDING PERMIT WILL BE ISSUED UNTIL WATER & SEWER CONTRACT # 768 D-W45 IS COMPLETED.
- WATER AND SEWER HOUSE CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE WATER & SEWER PLANS AS APPROVED BY THE BUREAU OF ENGINEERING, CONTRACT # 768 D-W45.

OWNER & DEVELOPER: MARBLE HILL JOINT VENTURE
8300 BELAIR ROAD
BALTIMORE, MARYLAND 21236
(301)-621-1389

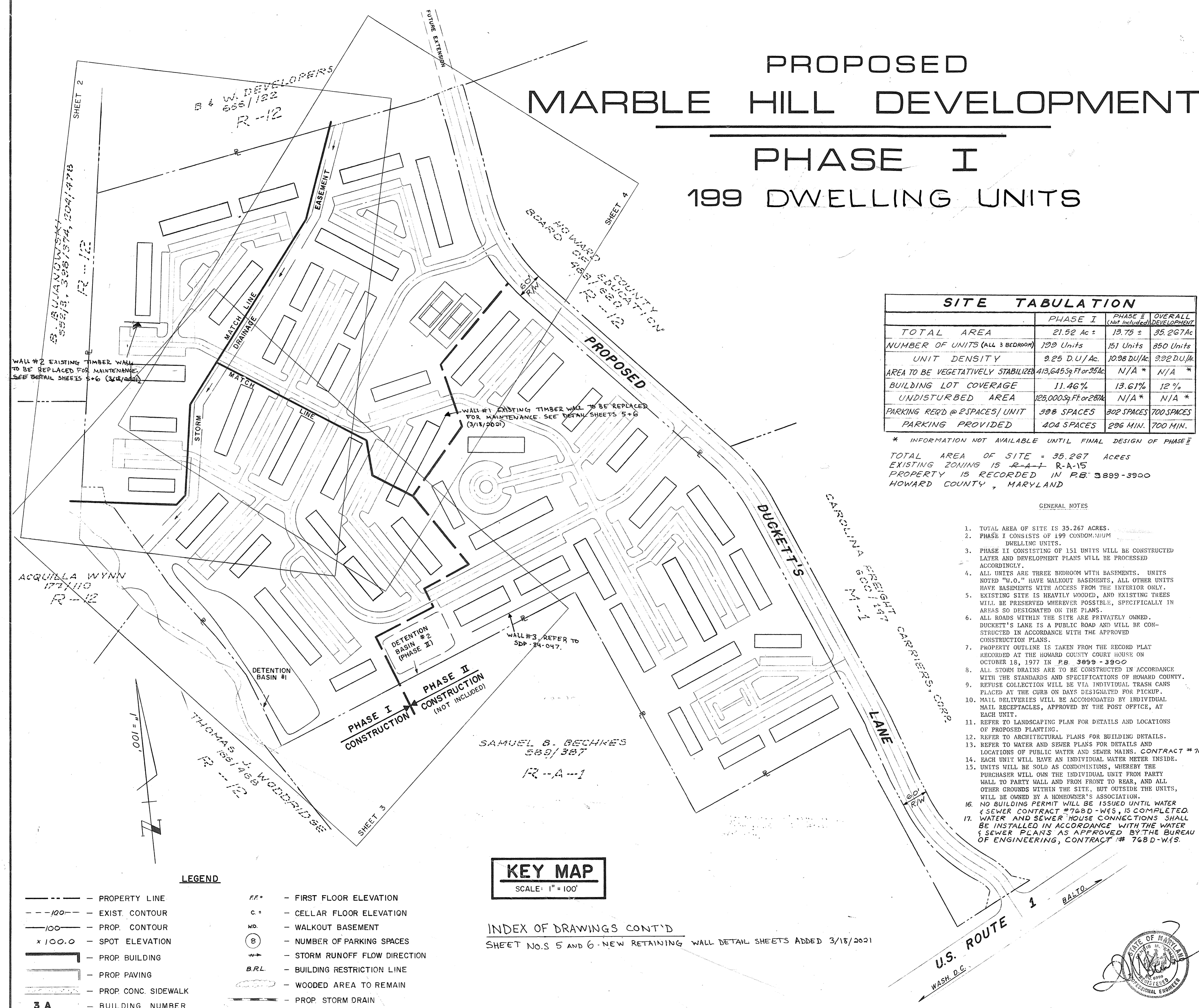
INDEX OF DRAWINGS

SHEET NO.	TITLE
1	INDEX & KEY MAP REVISED 3/18/2021
2	SITE DEVELOPMENT PLAN REVISED 3/18/2021
3	SITE DEVELOPMENT PLAN
4	SITE DEVELOPMENT PLAN REVISED 3/18/2021
5	SITE CONSTRUCTION DETAILS
6	STORM DRAIN PROFILES
7	STORM DRAIN PROFILES
8	DRAINAGE AREA MAP
9	SEDIMENT CONTROL PLAN
10	SEDIMENT CONTROL PLAN
11	SEDIMENT CONTROL PLAN
12	SEDIMENT CONTROL PLAN

NOTE: This Plan is a Revision to approved SDP-78-115. The Revision consists of only of Modification to the Unit Offsets within the Building Groups. The overall Building Envelope has not been modified. All previously approved Setbacks have been retained. No Modifications have been made to any Site Work or Utilities.

APPROVED
DIVISION OF LAND DEVELOPMENT
HOWARD COUNTY, MARYLAND
DATE 4-6-79

APPROVED FOR PUBLIC WATER AND SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
COUNTY HEALTH OFFICER
APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING
PLANNING DIRECTOR
CHIEF DIVISION OF LAND DEVELOPMENT
APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR
CHIEF, BUREAU OF ENGINEERING



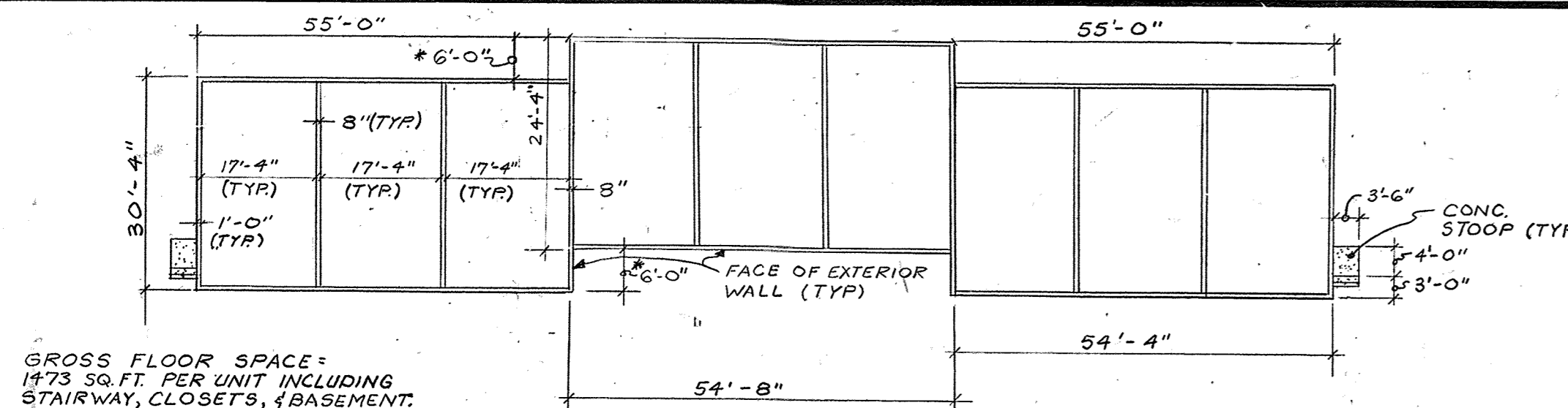
KEY MAP
SCALE: 1" = 100'

INDEX OF DRAWINGS CONT'D
SHEET NO.S 5 AND 6 - NEW RETAINING WALL DETAIL SHEETS ADDED 3/18/2021

LEGEND			
---	PROPERTY LINE	FF*	FIRST FLOOR ELEVATION
- - - 100 - - -	EXIST. CONTOUR	C*	CELLAR FLOOR ELEVATION
- - - 100 - - -	PROP. CONTOUR	WO	WALKOUT BASEMENT
x 100.0	SPOT ELEVATION	(8)	NUMBER OF PARKING SPACES
[Outline]	PROP. BUILDING	→	STORM RUNOFF FLOW DIRECTION
[Hatched]	PROP. PAVING	B.R.L.	BUILDING RESTRICTION LINE
[Dashed]	PROP. CONC. SIDEWALK	[Wavy]	WOODED AREA TO REMAIN
[Number]	BUILDING NUMBER	[Line]	PROP. STORM DRAIN

MARBLE HILL P.B. 3899-3900
 HARWOOD - FIRST ELECTION DISTRICT
 TAX MAP NUMBER 37
 HOWARD COUNTY, MARYLAND
 PARCEL NUMBER 568
 PROJECT CONTROL ENGINEERING J.L.F.
 PROJECT NUMBER 6014
 DATE MAR. 1978
 ILLUSTRATION M.J.G.
 SCALE 1" = 100'
 REVISIONS
 Revised Index Bldg. Offsets for Bldg. #s 6/9, 8, 9, 10, 11, 12, 13, 14 12/16/77, 18, 19, 1-14-81
 Revised for NEW RETAINING WALL 3/18/2021

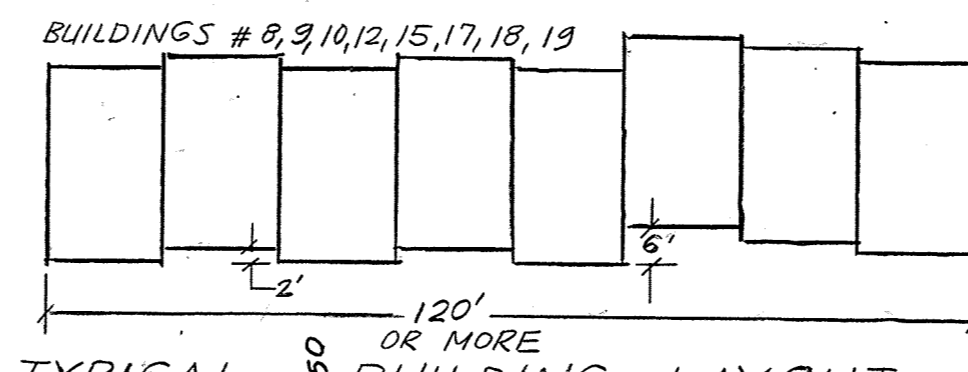
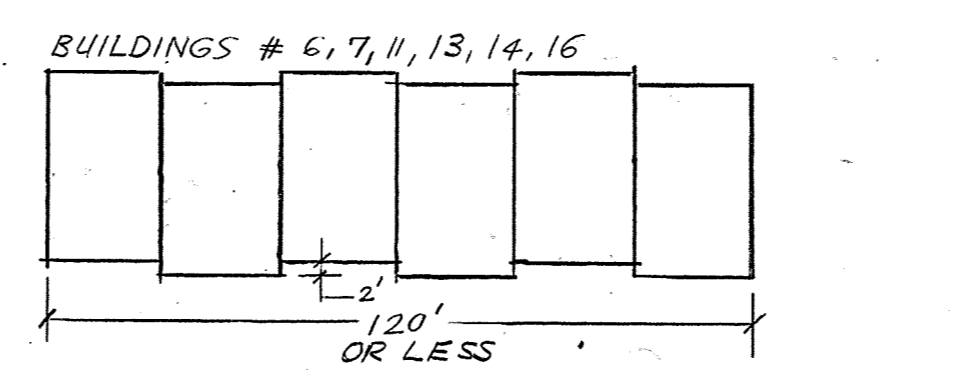
Kemper Engineering
 2301 RESEARCH BOULEVARD
 ROCKVILLE, MARYLAND 20850
 PHONE: (301) 840-1030



GROSS FLOOR SPACE:
1475 SQ. FT. PER UNIT INCLUDING
STAIRWAY, CLOSETS, & BASEMENT.

* 2'-0" FOR BLDG'S # 6, 7, 11, 13, 14, 16, 20, 21, 22, 23.

TYPICAL BUILDING LAYOUT
SCALE: 1" = 20'



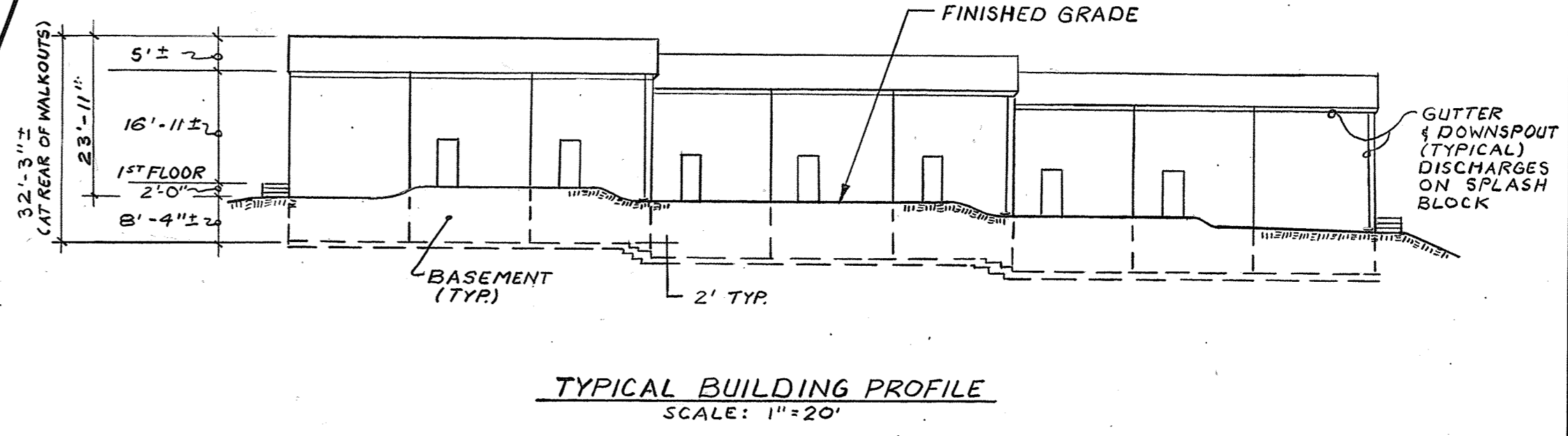
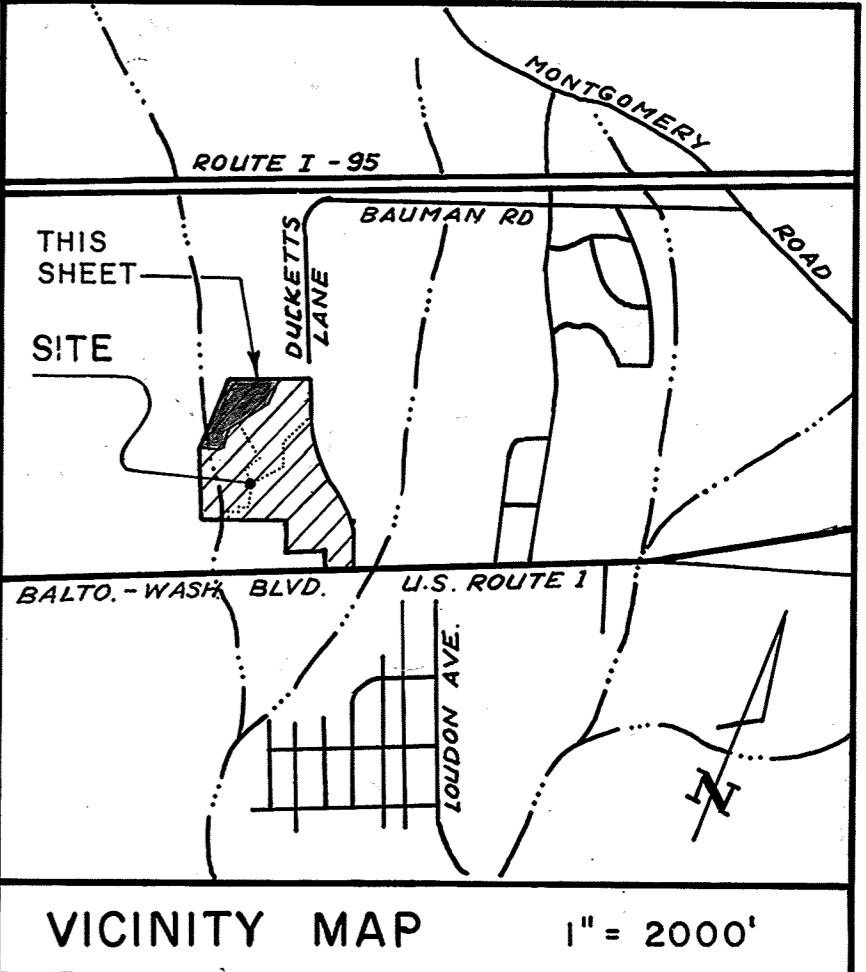
TYPICAL BUILDING LAYOUT
FOR BUILDINGS WITH REVISED OFFSETS
E 871,250 SCALE: 1" = 30'

TABLE OF CURVE DATA

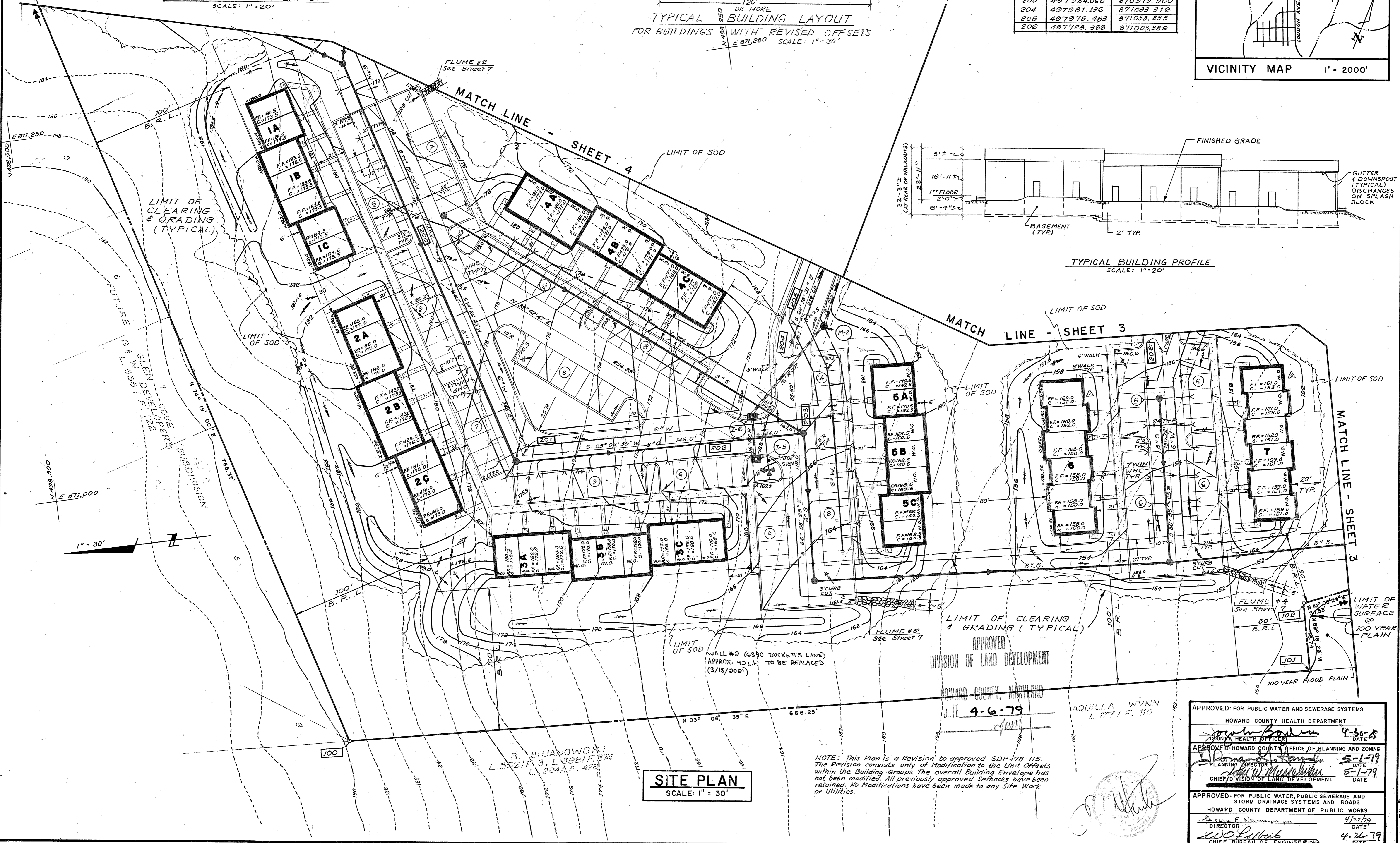
No.	Radius	Delta	Tan.	Arc	Chord	Chord Bearing
1	50.0'	24°34'54"	10.89'	21.46'	21.89'	S 74° 35' 58" E
2	68.85'	24°34'54"	15.0'	29.54'	29.31'	S 74° 35' 58" E

COORDINATE TABLE

POINT NUMBER	NORTH	EAST
100	498 318.834	870 808.409
101	497 658.965	870 772.267
102	497 658.000	870 819.000
200	498 212.830	871 130.038
201	498 173.780	870 989.807
202	498 027.995	870 981.887
203	497 984.060	870 972.500
204	497 981.136	871 033.312
205	497 975.483	871 053.855
206	497 728.388	871 003.382



TYPICAL BUILDING PROFILE
SCALE: 1" = 20'



SITE PLAN
SCALE: 1" = 30'

APPROVED
DIVISION OF LAND DEVELOPMENT
HOWARD COUNTY, MARYLAND
DATE 4-6-79

APPROVED FOR PUBLIC WATER AND SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
DATE 4-30-79

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING
PLANNING DIRECTOR DATE 5-1-79
CHIEF DIVISION OF LAND DEVELOPMENT DATE 5-1-79

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR DATE 4/27/79
CHIEF, BUREAU OF ENGINEERING DATE 4-26-79

NOTE: This Plan is a Revision to approved SDP-78-115. The Revision consists only of Modification to the Unit Offsets within the Building Groups. The overall Building Envelope has not been modified. All previously approved setbacks have been retained. No Modifications have been made to any Site Work or Utilities.

PROJECT CONTROL
ENGINEERING PROJECT NUMBER 6014
ILLUSTRATION DATE MARCH 1978
APPROVAL SCALE 1" = 30'

REVISIONS
REVISED BLDG OFFSETS
REVISED GRADE AT UNIT
REVISED F.F. ELEVATIONS
BLDG'S # 6, 7 (THIS SHEET)
BLDG'S # 8, 9, 10, 12, 15, 17, 18, 19
REVISED F.F. ELEVATIONS
REVISED SETBACKS
REVISED FOR NEW RETAINING WALLS

MARBLE HILL P.B. 9899-3900
HARWOOD-FIRST ELECTION DISTRICT
TAX MAP NUMBER 37
HOWARD COUNTY, MARYLAND
PARCEL NUMBER 568
SITE DEVELOPMENT PLAN

Kamber Engineering
2301 RESEARCH BOULEVARD
ROCKVILLE, MARYLAND 20850
PHONE: (301) 840-1030

APPROVED FOR PUBLIC WATER AND SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
DATE 4-30-79

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING
PLANNING DIRECTOR DATE 5-1-79
CHIEF DIVISION OF LAND DEVELOPMENT DATE 5-1-79

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR DATE 4/27/79
CHIEF, BUREAU OF ENGINEERING DATE 4-26-79

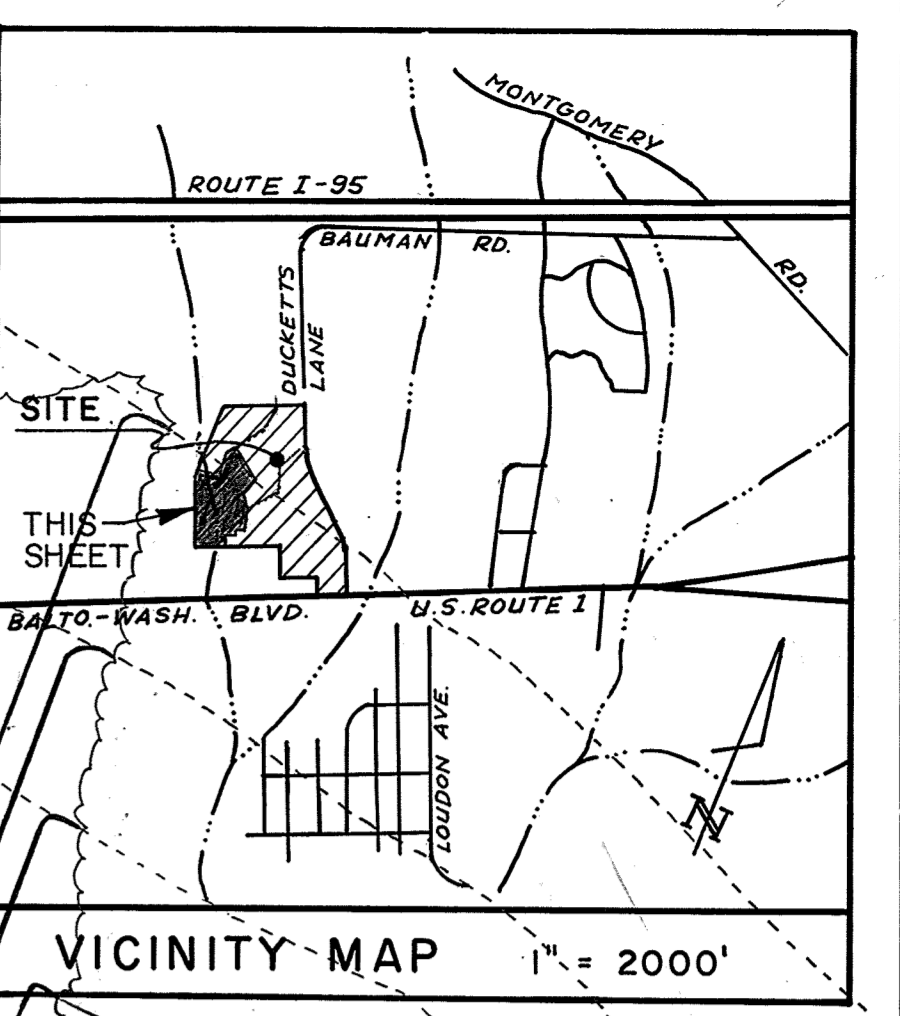
2 TO 46
(3/18/79)

SDP-79-115

NOTE: This Plan is a Revision to approved SDP-78-115. The Revision consists only of Modification to the Unit Offsets within the Building Groups. The overall Building Envelope has not been modified. All previously approved Setbacks have been retained. No Modifications have been made to any Site Work or Utilities.

UNDER THE SUPERVISION OF
ARTHUR E. MUEGGE, P.E. NO. 8707
THE RIEMER GROUP, INC.
HAS MADE THE FOLLOWING
REVISIONS TO THIS PLAN

REVISION NO.	DESCRIPTION	DATE
1	STORM DRAIN ADDITION FROM M-7 TO E-G	11/16/89



LIMIT OF CLEARING & GRADING (TYPICAL)

POINT NUMBER	NORTH	EAST
103	497610.000	870825.000
104	497609.000	870845.000
105	497433.000	870870.000
106	497315.000	871076.000
107	497232.000	871142.000
108	497071.376	871225.460
207	497180.603	871031.642
208	497667.253	871131.964
209	497634.764	871195.201
210	497622.867	871256.247
211	497535.899	871264.467
212	497520.245	871276.915
213	497499.084	871250.303
214	497440.305	871244.692
215	497393.551	871377.659
216	497369.451	871490.879
217	497396.422	871542.744
218	497391.418	871387.687

No	Radius	Delta	Tan.	Arc	Chord	Chord Bearing
2	68.85'	24°34'54"	15.01'	29.94'	29.31'	S 74°35'58" E
3	80.01'	66°10'56"	52.13'	82.40'	87.36'	S 05°23'54" E
4	35.01'	30°01'00"	35.01'	54.88'	49.51'	S 06°30'33" W
5	91.01'	78°59'2"	75.01'	125.46'	115.76'	S 77°59'00" E

SITE PLAN
SCALE: 1" = 30'

NOTE: DEVELOPER WILL PROVIDE HOWARD COUNTY SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE S.W. BASIN #1, CERTIFIED BY A REGISTERED CIVIL ENGINEER, WITHIN 30 DAYS AFTER COMPLETION.

APPROVED FOR PUBLIC WATER AND SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
DATE: 4-30-79

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING
DATE: 5-1-79

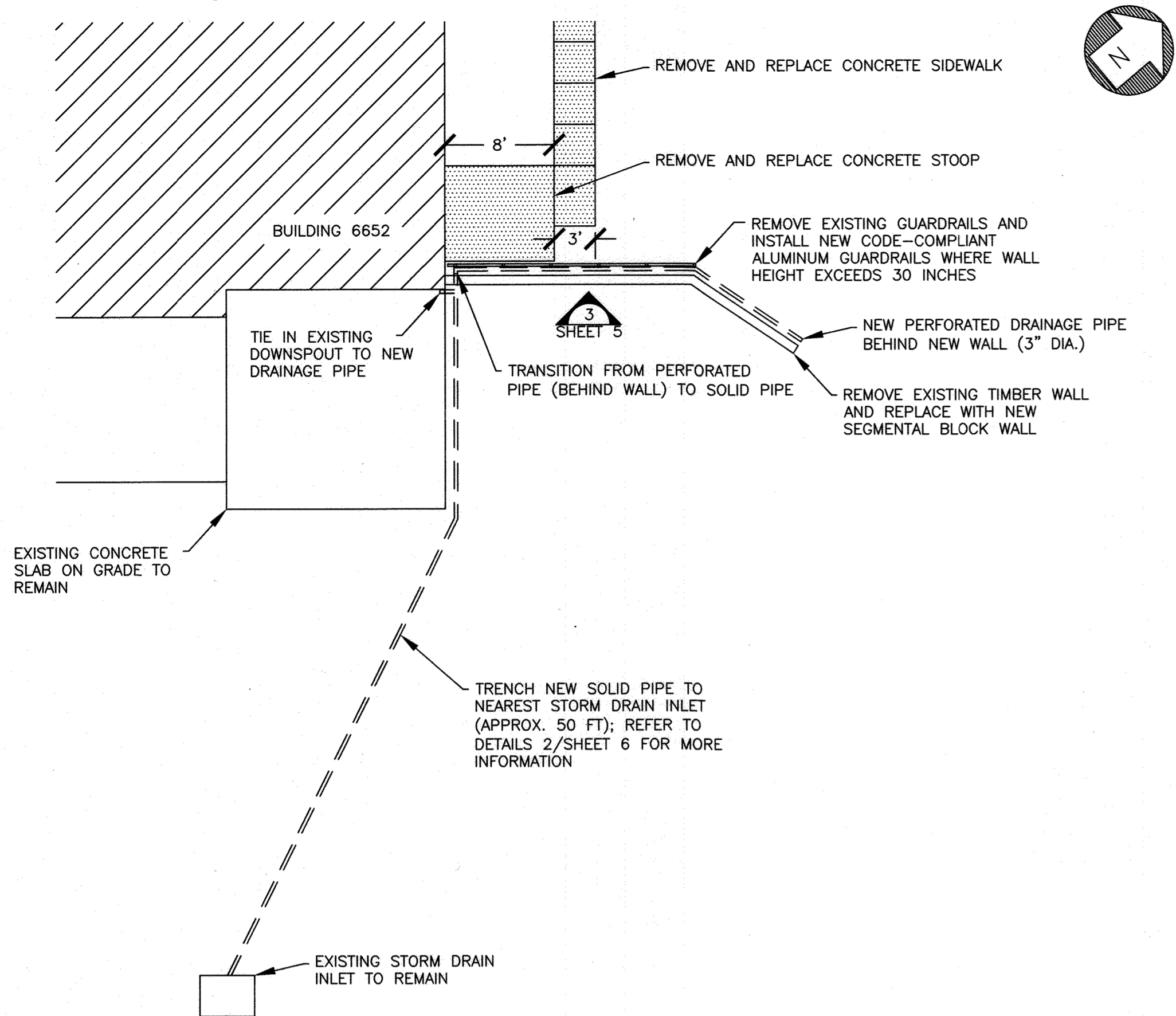
APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE: 4/27/79

MARBLE HILL
HARWOOD-FIRST ELECTION DISTRICT
TAX MAP NUMBER 37
HOWARD COUNTY, MARYLAND

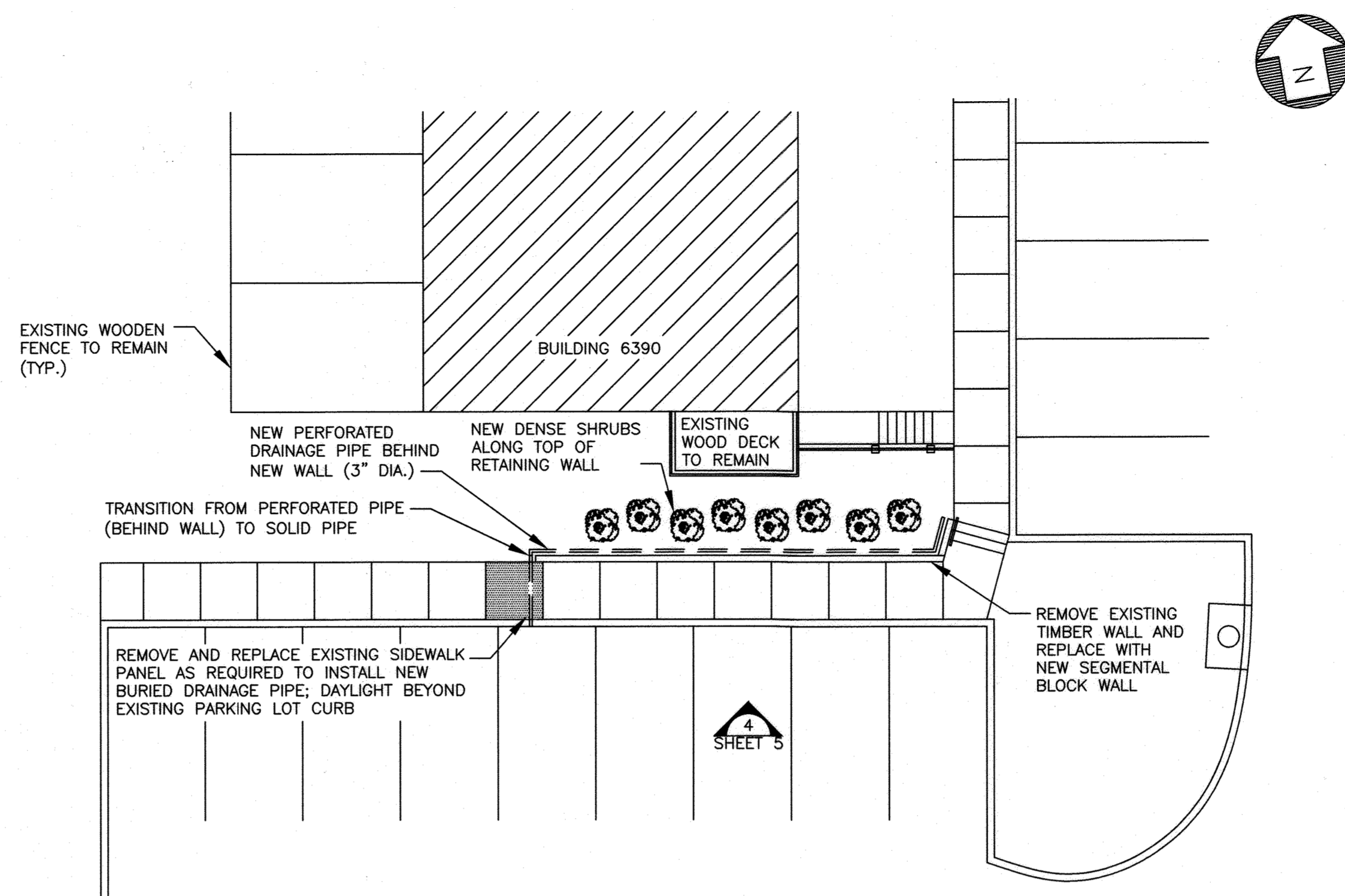
PROJECT CONTROL
ENGINEERING
PROJECT NUMBER
6014
DATE
MARCH 1978
SCALE
1" = 30'

Kamber Engineering
2301 RESEARCH BOULEVARD
ROCKVILLE, MARYLAND 20850
PHONE: (301) 840-1030

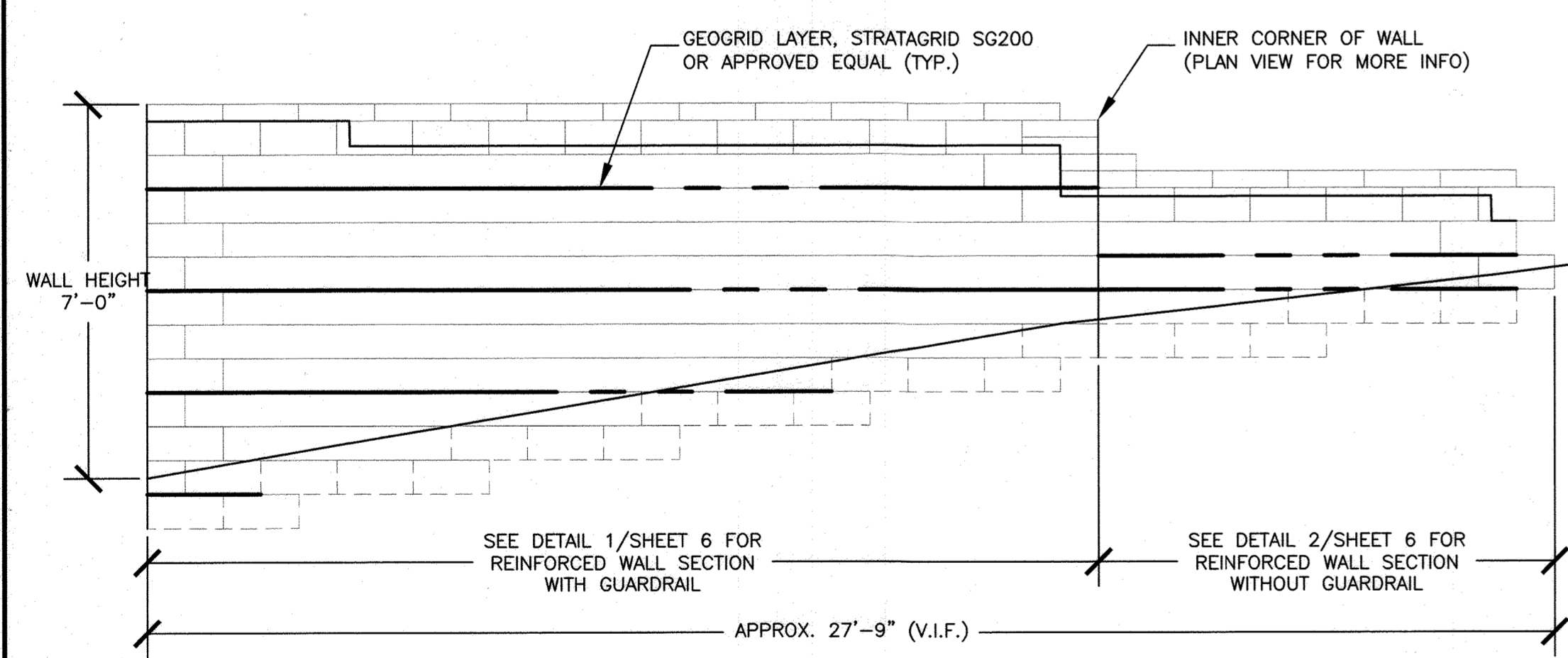
3 TO 46
SDP-79-113



1 PLAN VIEW AT WALL #1 (BLDG. 6652)
SHEET 5 SCALE: 3/8" = 1'-0"

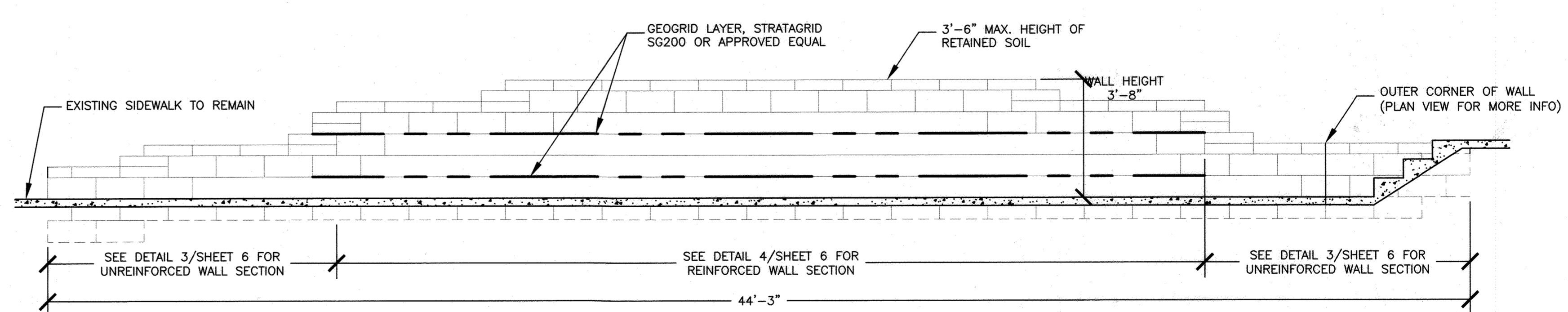


2 PLAN VIEW AT WALL #2 (BLDG. 6390)
SHEET 5 SCALE: 3/8" = 1'-0"



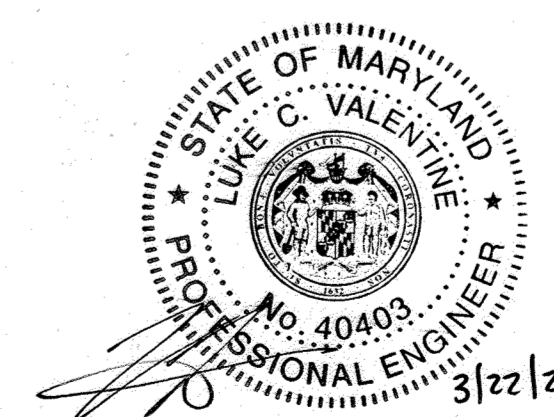
3 RETAINING WALL #1 (BLDG. 6652) ELEVATION
SHEET 5 SCALE: 3/8" = 1'-0"

NOTES:
1. NEW ALUMINUM GUARDRAIL ALONG TOP OF WALL NOT SHOWN FOR CLARITY.



4 RETAINING WALL #2 (BLDG. 6390) ELEVATION
SHEET 5 SCALE: 3/8" = 1'-0"

NOTES:
1. EXISTING BUILDING BEYOND WALL NOT SHOWN.
2. NEW DENSE SHRUBS ALONG TOP OF WALL NOT SHOWN FOR CLARITY.



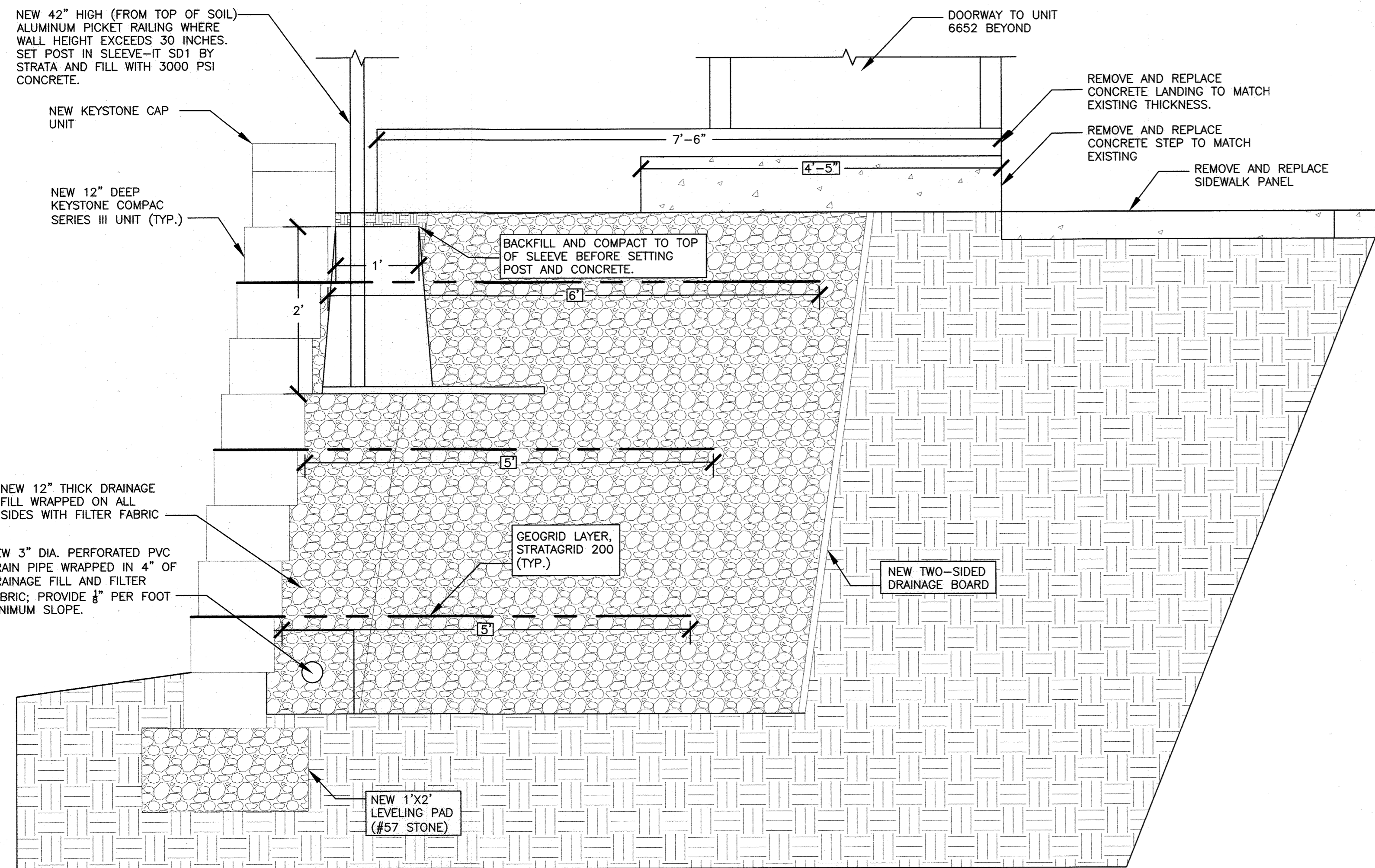
MARBLE HILL CONDOMINIUM
DUCKETTS LANE
ELKCRIDGE, MARYLAND 21075

SDP 79-113

REV	DATE	NOTES
1	3-29-21	
2		
3	4/7/21	
4	4-7/21	
5		

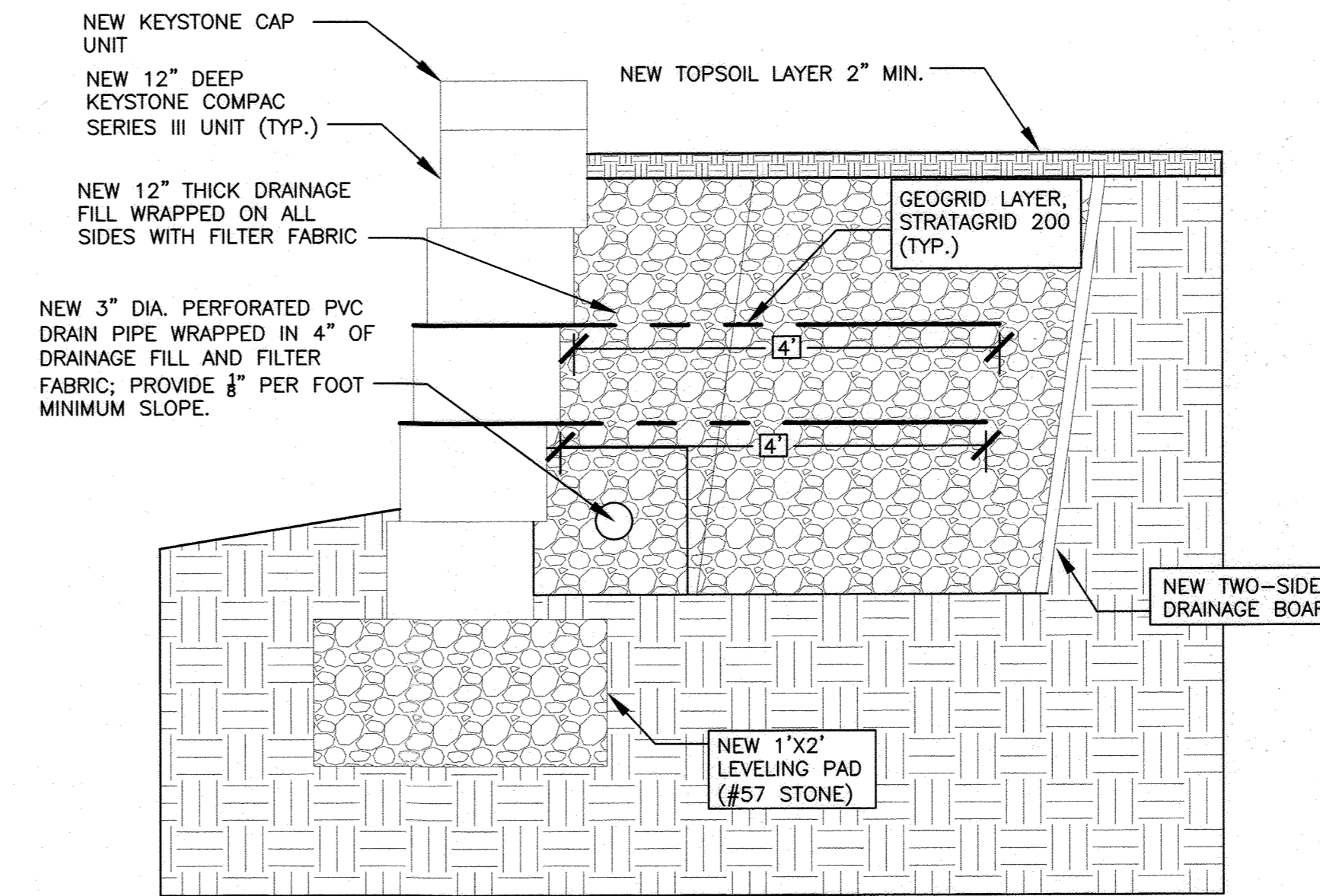


SCALE: AS NOTED PROJECT NO: M9-3923 DATE: 2/2/2021
APPROVED BY: LUKE C. VALENTINE, P.E. DRAWING NUMBER SHEET 5 OF 6
DRAWN BY: SLP



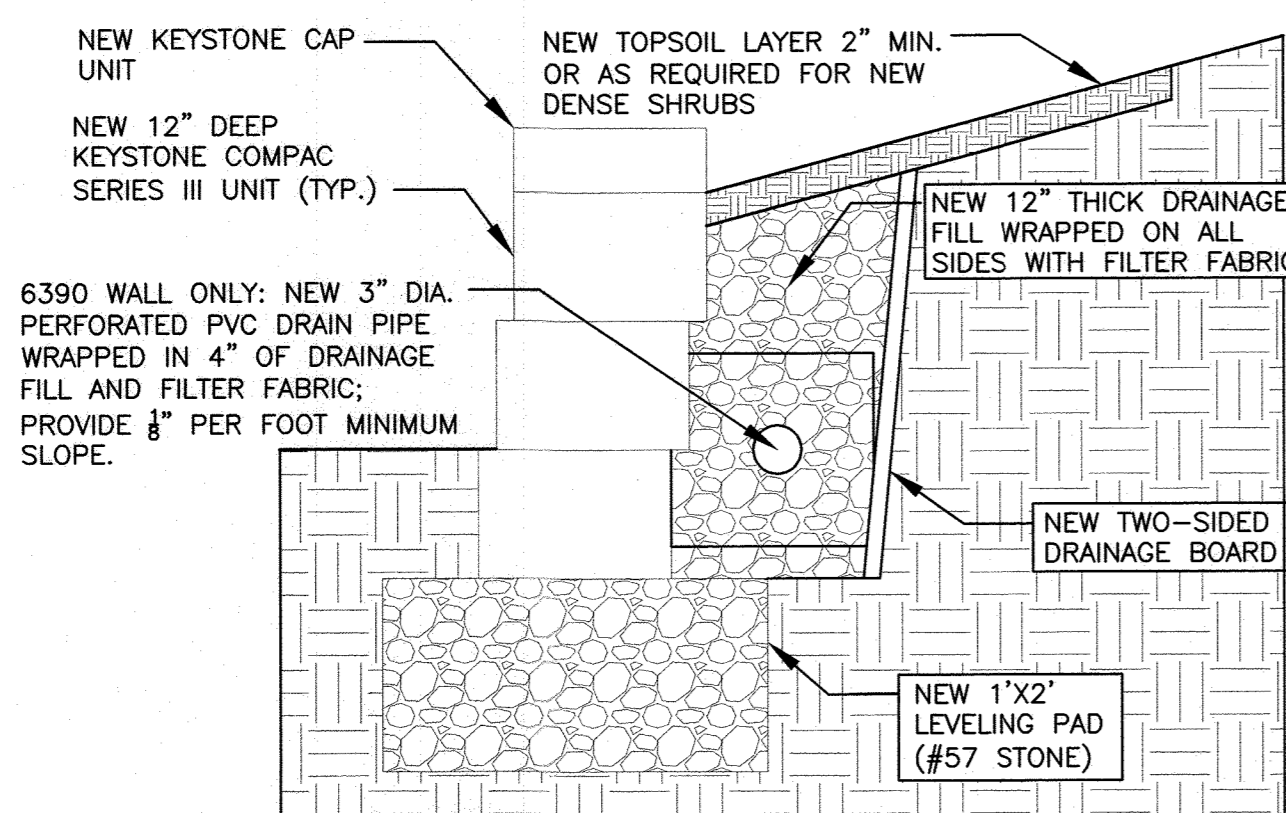
1 PARTIAL REINFORCED WALL SECTION AT WALL #1 (BLDG. 6652)
SHEET 6 SCALE: 1" = 1'-0"

NOTES:
1. EXISTING TREES NOT SHOWN FOR CLARITY.
2. REINFORCEMENT LAYERS SHOWN ARE NOT REPRESENTATIVE OF ENTIRE LENGTH OF WALL. SEE ELEVATIONS FOR LOCATIONS OF REINFORCEMENT LAYERS ALONG WALL.



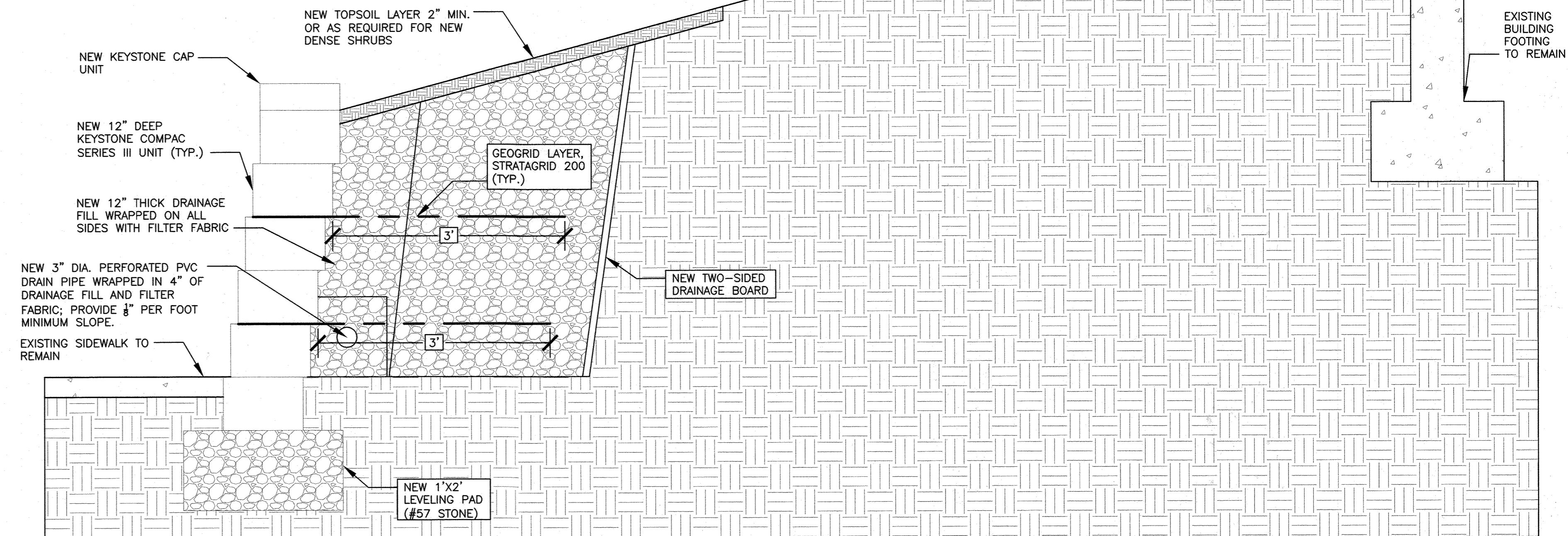
2 PARTIAL REINFORCED WALL SECTION AT WALL #1 (BLDG. 6652)
SHEET 6 SCALE: 1" = 1'-0"

NOTES:
1. EXISTING TREES NOT SHOWN FOR CLARITY.
2. REINFORCEMENT LAYERS SHOWN ARE NOT REPRESENTATIVE OF ENTIRE LENGTH OF WALL. SEE ELEVATIONS FOR LOCATIONS OF REINFORCEMENT LAYERS ALONG WALL.



3 TYPICAL UNREINFORCED WALL SECTION AT WALL #2 (BLDG. 6390)
SHEET 6 SCALE: 1" = 1'-0"

NOTES:
1. HEIGHT OF EXCAVATION NOT TO EXCEED 5'-0" AT ANY TIME.
2. NEW DENSE SHRUBS ALONG TOP OF WALL NOT SHOWN FOR CLARITY.
3. EXISTING SIDEWALK ALONG BASE OF WALL (NOT SHOWN) TO REMAIN WHERE PRESENT.



4 TYPICAL REINFORCED WALL SECTION AT WALL #2 (BLDG. 6390)
SHEET 6 SCALE: 1" = 1'-0"

NOTES:
1. HEIGHT OF EXCAVATION NOT TO EXCEED 5'-0" AT ANY TIME.
2. NEW DENSE SHRUBS ALONG TOP OF WALL NOT SHOWN FOR CLARITY.



APPROVED HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF LAND DEVELOPMENT
DIRECTOR

REV	DATE	NOTES
1	3-29-21	
2	4-7-21	
3	4-7-21	
4	4-7-21	
5		



MARBLE HILL CONDOMINIUM
DUCKETTS LANE
ELKRIDGE, MARYLAND 21075

SDP 79-113

SCALE: AS NOTED PROJECT NO: M9-3923 DATE: 2/2/2021
APPROVED BY: LUKE C. VALENTINE, P.E. DRAWING NUMBER SHEET 6 OF 6
DRAWN BY: SLP