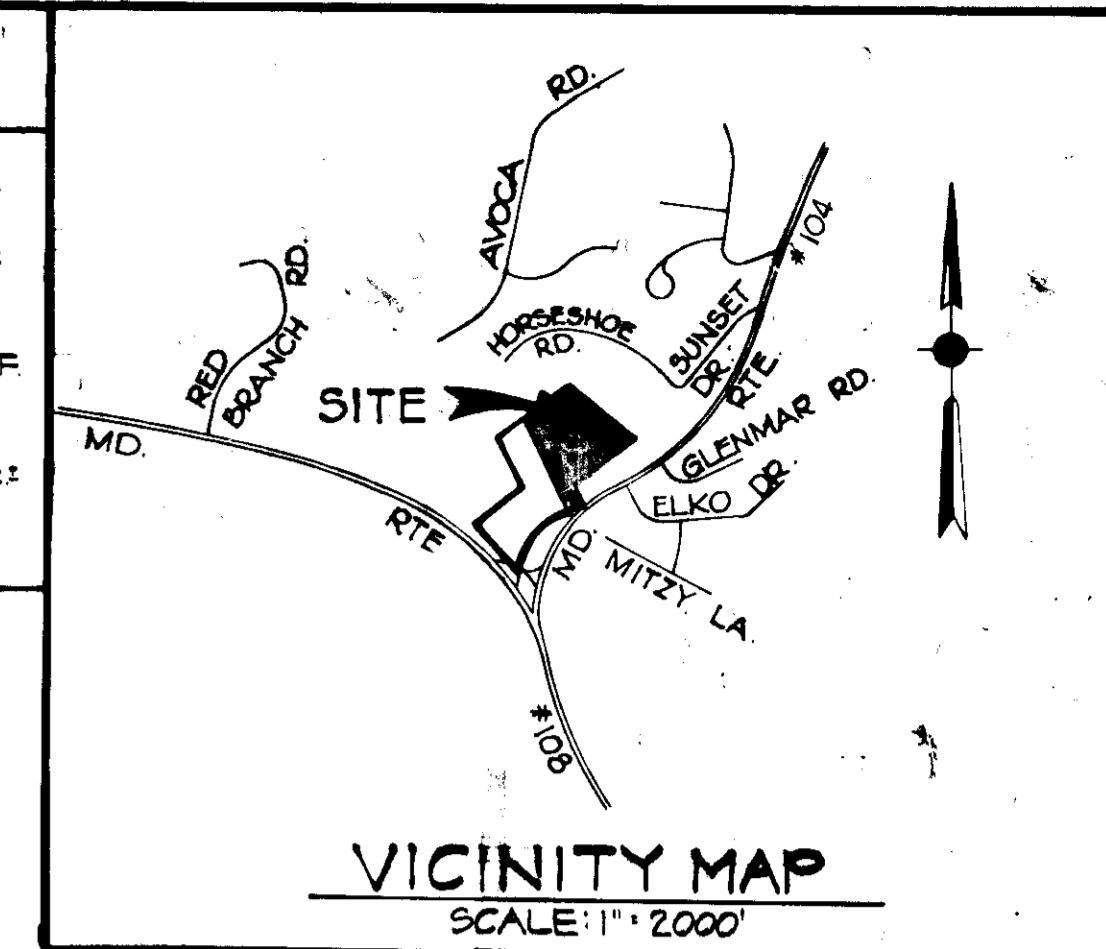


NOTE: PINE RUN COURT AND OAK RUN WAY ARE EXISTING PUBLIC ROADS.

TOTAL SITE ANALYSIS

- Total Area of Parcel = 25.517 Acres ± 1,289,760.50 Sq. Ft.
- Existing Zoning = R5-C
- Floor Space on each level of Units = 700 Sq. Ft.
- Total Number of Units allowed = 118 (Net Density)
- Total Number of Units provided = 108 Units
- Minimum Sq. Ft. Floor area of Units = 2100 Sq. Ft.
- Number of Parking Spaces required = 216 Spaces
- Number of Parking Spaces provided = 216 Spaces
- Total Open Space of Parcels = 7.116 Acres

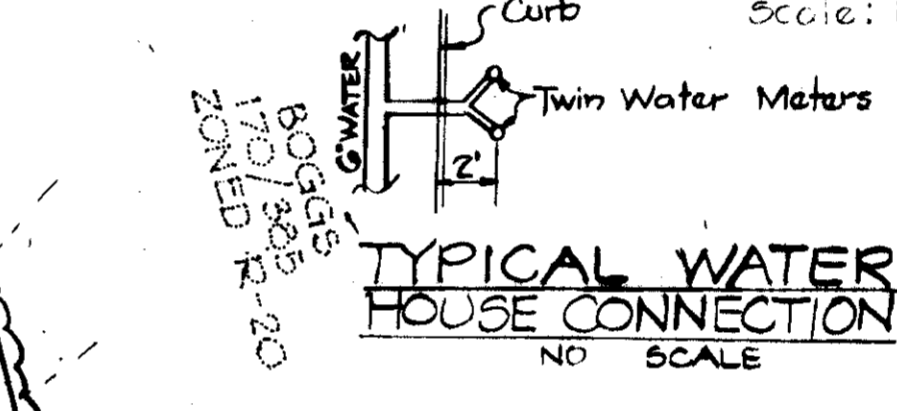
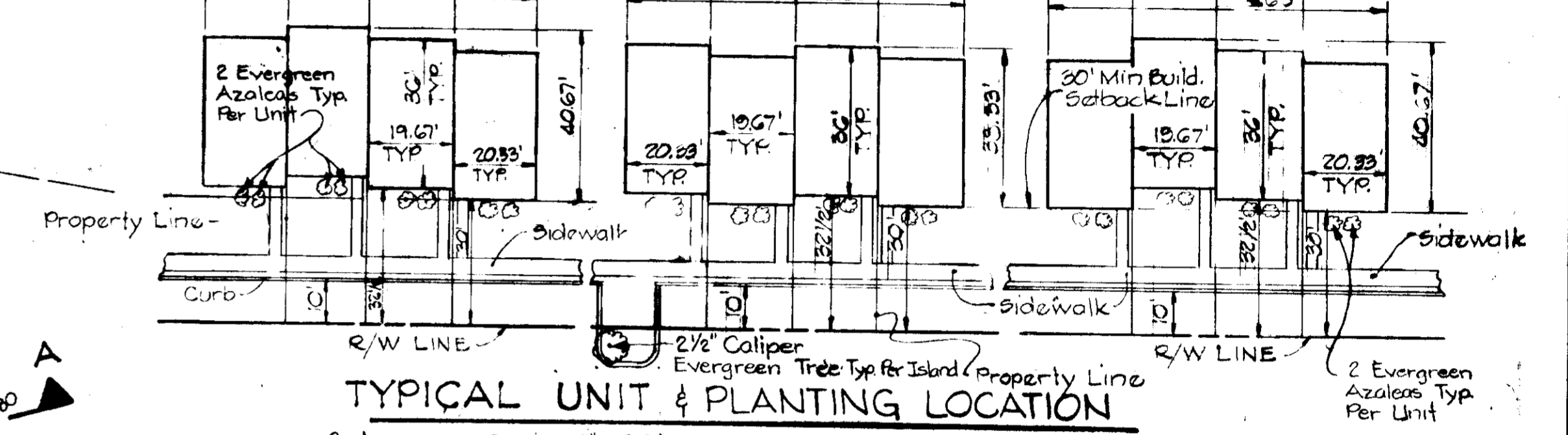
AREA ONE	7.3 Ac
R5-C	700 SF
	29
	4.4
	2,100 SF
	88
	88
	174.2 Ac



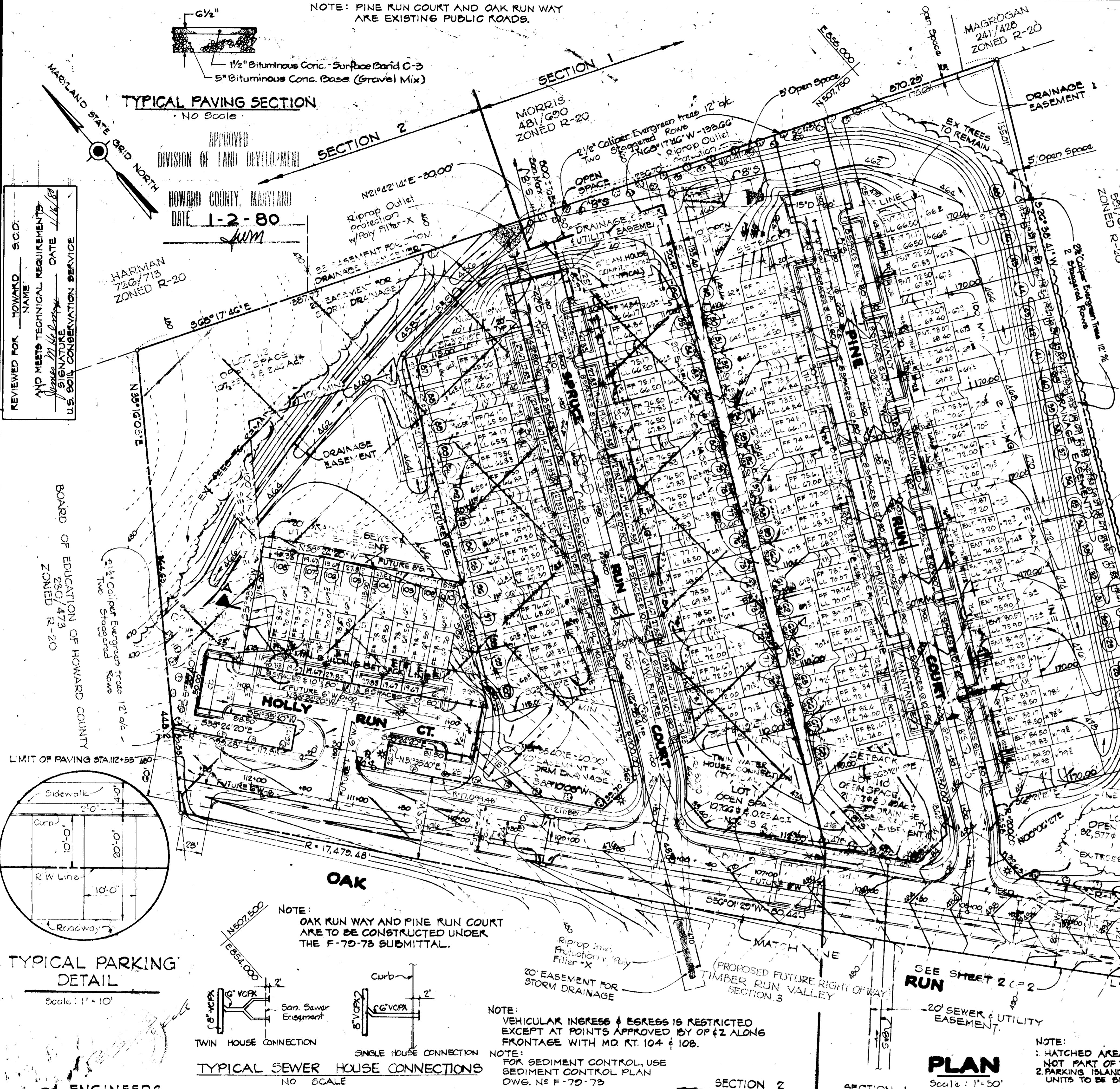
PLAT NO. 4432 - RECORDED IN THE PLAT RECORDS OF HOWARD CO.

NOTES:

- All Proposed Roads are (PUBLIC)
- For Section A-A Schematic Profile, See Sheet 2 of 2
- All Proposed Utilities to be (PUBLIC)
- Number of Units shown on this Plan - Section 1 Area 1 - 44
- For Roads & Storm Drain Plans & Profiles, See Road Plan Sheets 1 thru 3
- For Location of Sewer Mains, Plans & Profiles, See Sewer Plans, Sheets 1 thru 3
- For Location of Water Mains, Plans & Profiles, See Water Plans, Sheets 1, 2 of 2
- XX Denotes Street Lights, 78.68'

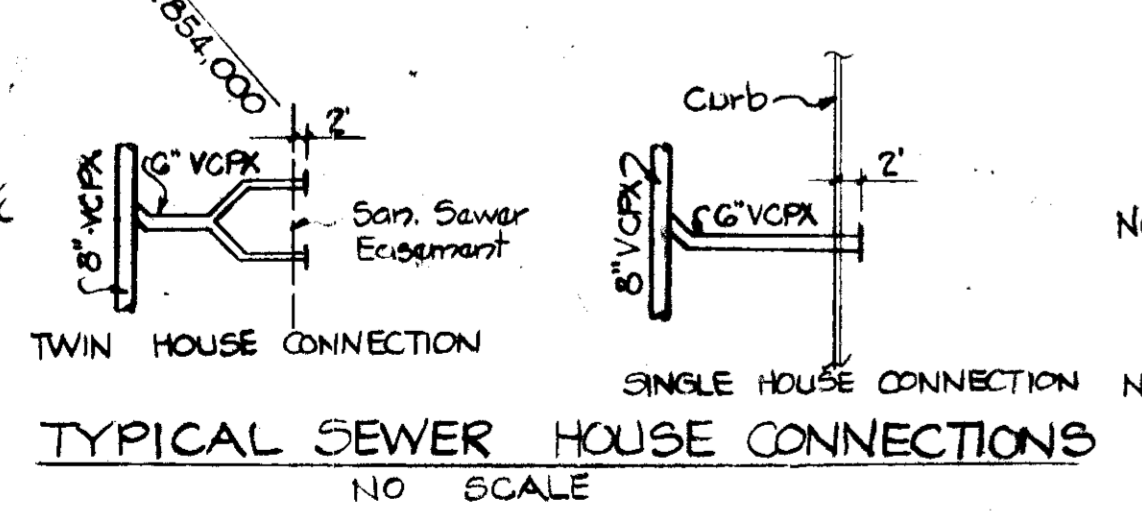
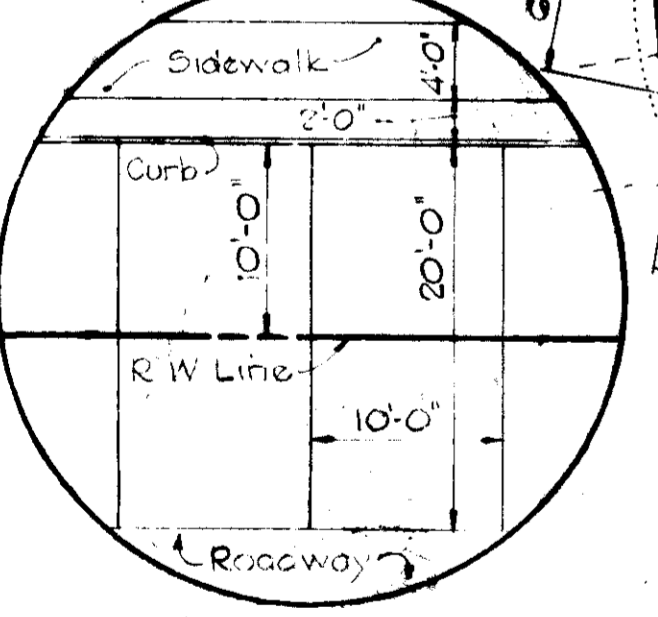


	Section 1	Section 2	Section 3	Total
A. Total area of each section	7.3 Ac	7.7 Ac	14.5 Ac	29.5 Ac
B. Area of public right-of-way	1.9 Ac	2.1 Ac	8.2 Ac	12.2 Ac
C. Area of flood plain	N/A	N/A	N/A	N/A
D. Area of 25% or greater slopes	N/A	N/A	N/A	N/A
E. Area of each section minus items b, c, d	5.4 Ac	5.6 Ac	6.3 Ac	17.3 Ac
F. Number of units per section - shown	44	40	24	108
G. Building coverage per section	0.73 Ac	0.66 Ac	0.40 Ac	1.79 Ac



REVIEWED FOR HOWARD S.C.D. NAME: _____ DATE: 1-16-80
AND MEETS TECHNICAL REQUIREMENTS: _____
SIGNATURE: _____
U.S. SOIL CONSERVATION SERVICE

BOARD OF EDUCATION OF HOWARD COUNTY
ZONED R-20



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
APPROVED: William J. Rouse DATE: 1-16-80
HOWARD S.C.D.

ENGINEER'S CERTIFICATION
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
DAVID B. THALER DATE: 1-16-80

DEVELOPER'S CERTIFICATION
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION & SEDIMENT CONTROL, AND I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.
DAVID B. THALER DATE: 1-16-80

OWNER AND DEVELOPER:
THE ARDWIN COMPANY
2221 MARYLAND AVENUE
BALTIMORE, MARYLAND 21218

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR DATE: 1-24-80
CHIEF BUREAU OF ENGINEERING DATE: 1-28-80
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
COUNTY HEALTH OFFICE DATE: 1-24-80
APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
PLANNING DIRECTOR DATE: 1-28-80
CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 1-28-80

SITE DEVELOPMENT PLAN
SECTION 1, AREA 1, LOTS 25-68, 109, 110
TIMBER RUN VALLEY
2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'
OCTOBER 9, 1978
TAX MAP 31 PARCEL 302
LIBER 794 FOLIO 671
SHEET 1 OF 1