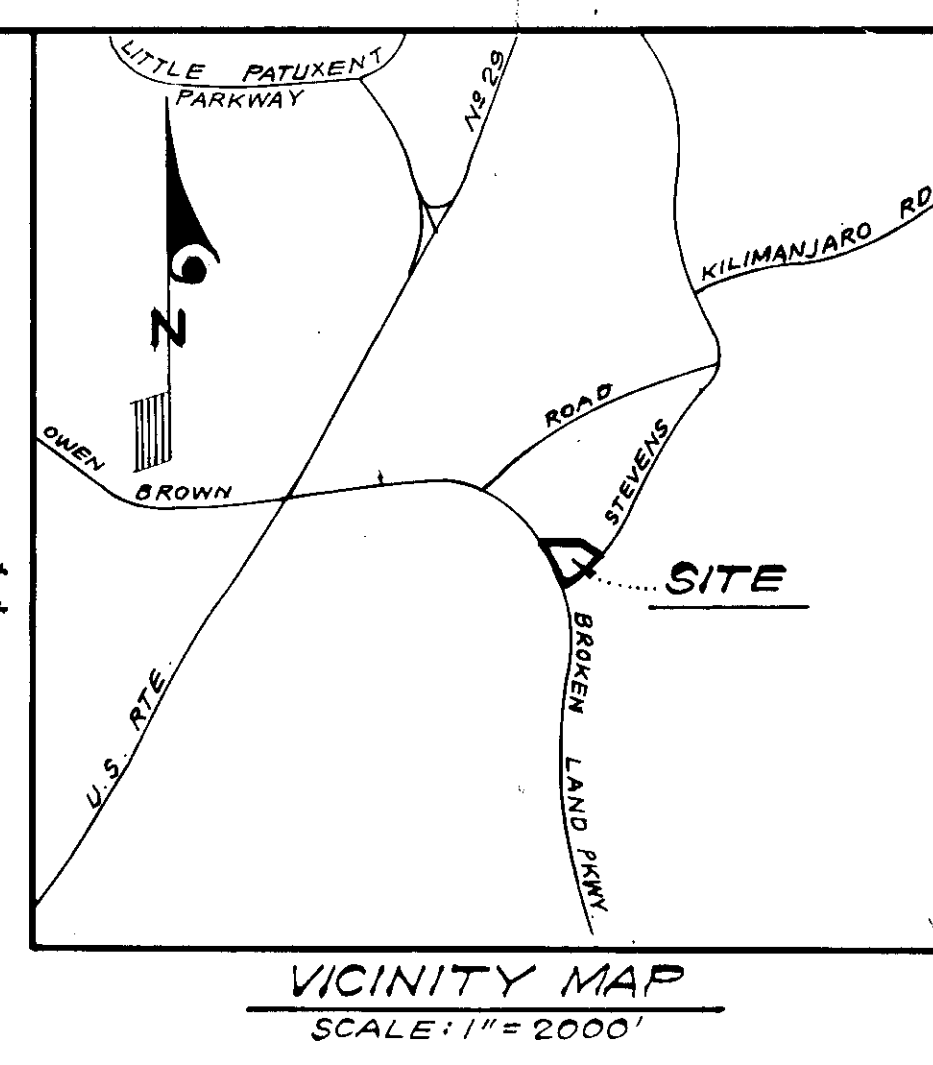


LEGEND

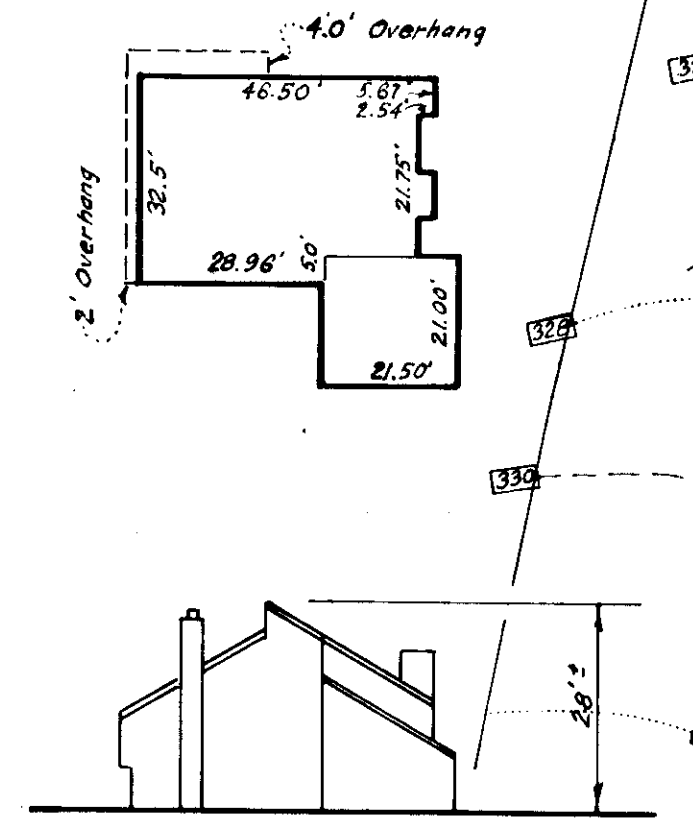
1. Contour Interval 2 Ft.
2. Existing Contour 1/40
3. Proposed Contour 3/40
4. Spot Elevation .408
5. Direction of Drainage
6. Yard Requirements: Front: 20' on 50' Wide Street
30' on 60' Wide Street
Back: 7.5' (Min.)
7. Existing Trees to be Retained
8. Timber Retaining Wall



GENERAL NOTES

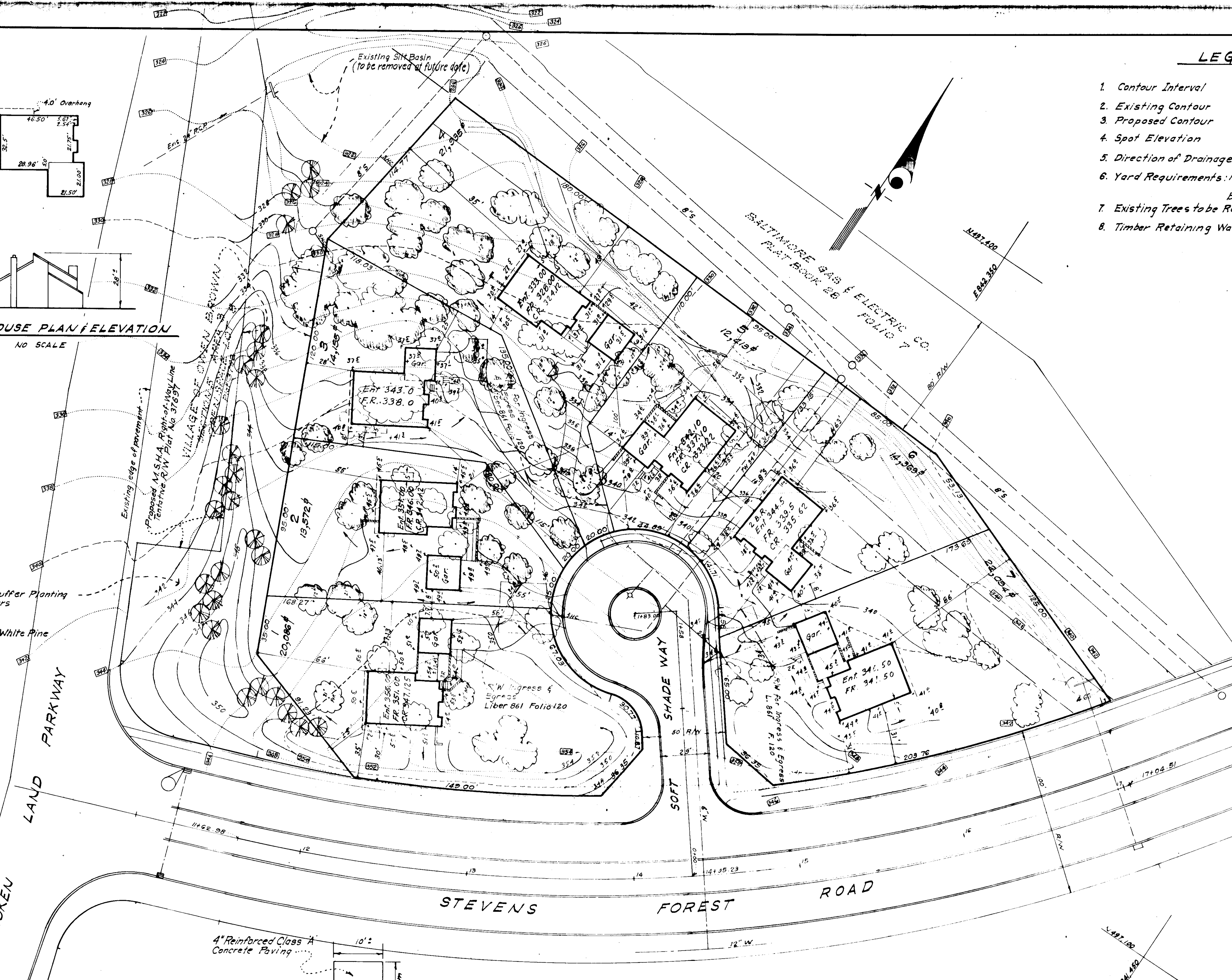
1. The Land Included in this Plan is zoned New Town (S.F.M.D.)
2. The Lots shown on this Plan are covered by Final Development Plan Phase 159 recorded in Plat 3054-00
3. All Coordinates are based on Maryland State Grid System Elevations are based on U.S. Coast and Geodetic Survey Mean Sea Level of 1929.
4. The Area Covered in this submission is located on Tax Map No. 36
5. The total Area included in this Plan is 2.723 Acres.
6. All Roadways are Public and Existing.
7. Any damage to County Owned Right of Ways or Paving shall be corrected at the developer's expense.

TYPICAL HOUSE PLAN / ELEVATION
NO SCALE



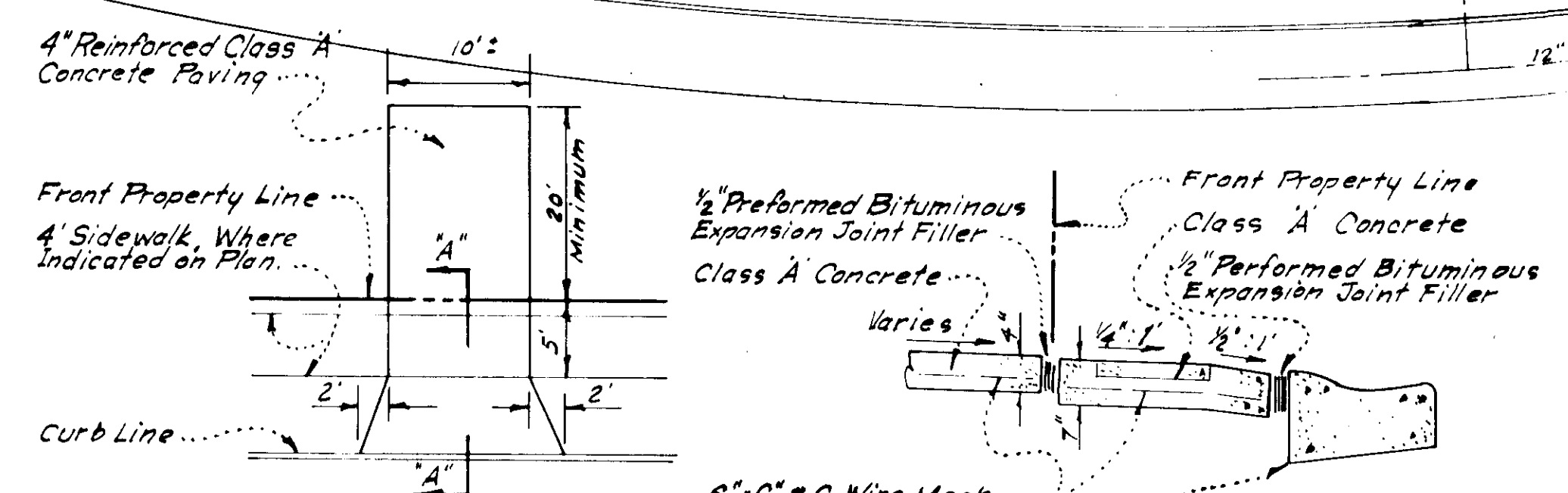
NOTE:
Earth mounding & Buffer Planting to be provided by others

Plant Schedule:
27 - Pinus Strobus - White Pine
6-8' ht. BtB



APPROVED
DIVISION OF LAND DEVELOPMENT
HOWARD COUNTY, MARYLAND
DATE: 12-6-77
John

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
James H. ... 1-17-78 DATE
1-17-78 DATE
PLANNING DIRECTOR
1-23-78 DATE
CHIEF DIVISION OF LAND DEVELOPMENT
1-23-78 DATE
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
1-23-78 DATE
1-23-78 DATE
CHIEF DIVISION OF HIGHWAYS

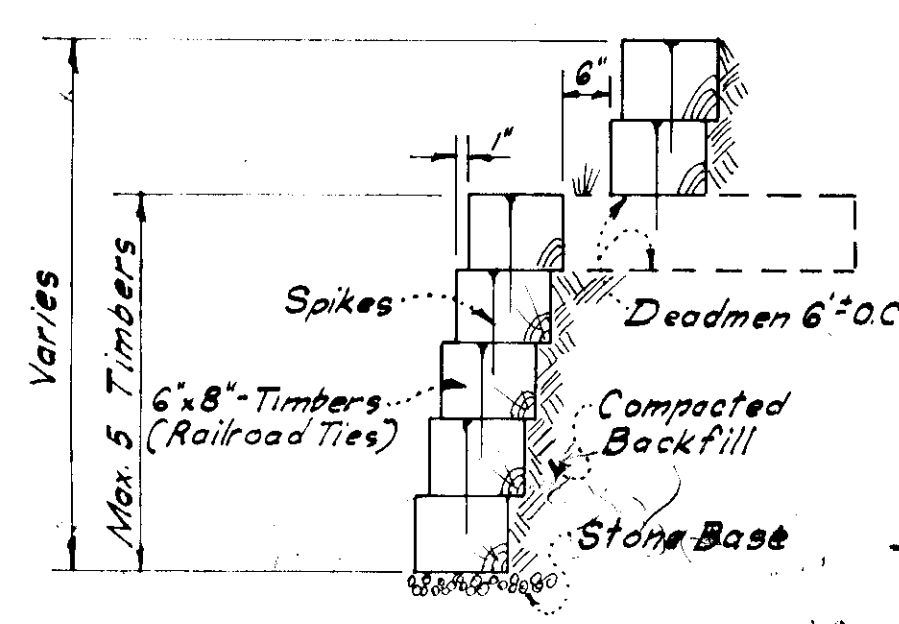


NOTE: Use Residential Driveway Entrance Howard Co. Std. Dwg. D-34 pg. 89, except where driveway abuts Modified Comb. Curb & Gutter

NOTE: Materials and Construction shall be in accordance w. Howard Co. Road Constr. Code.

PLAN
DRIVEWAY ABUTTING MODIFIED COMB. CURB & GUTTER
NO SCALE

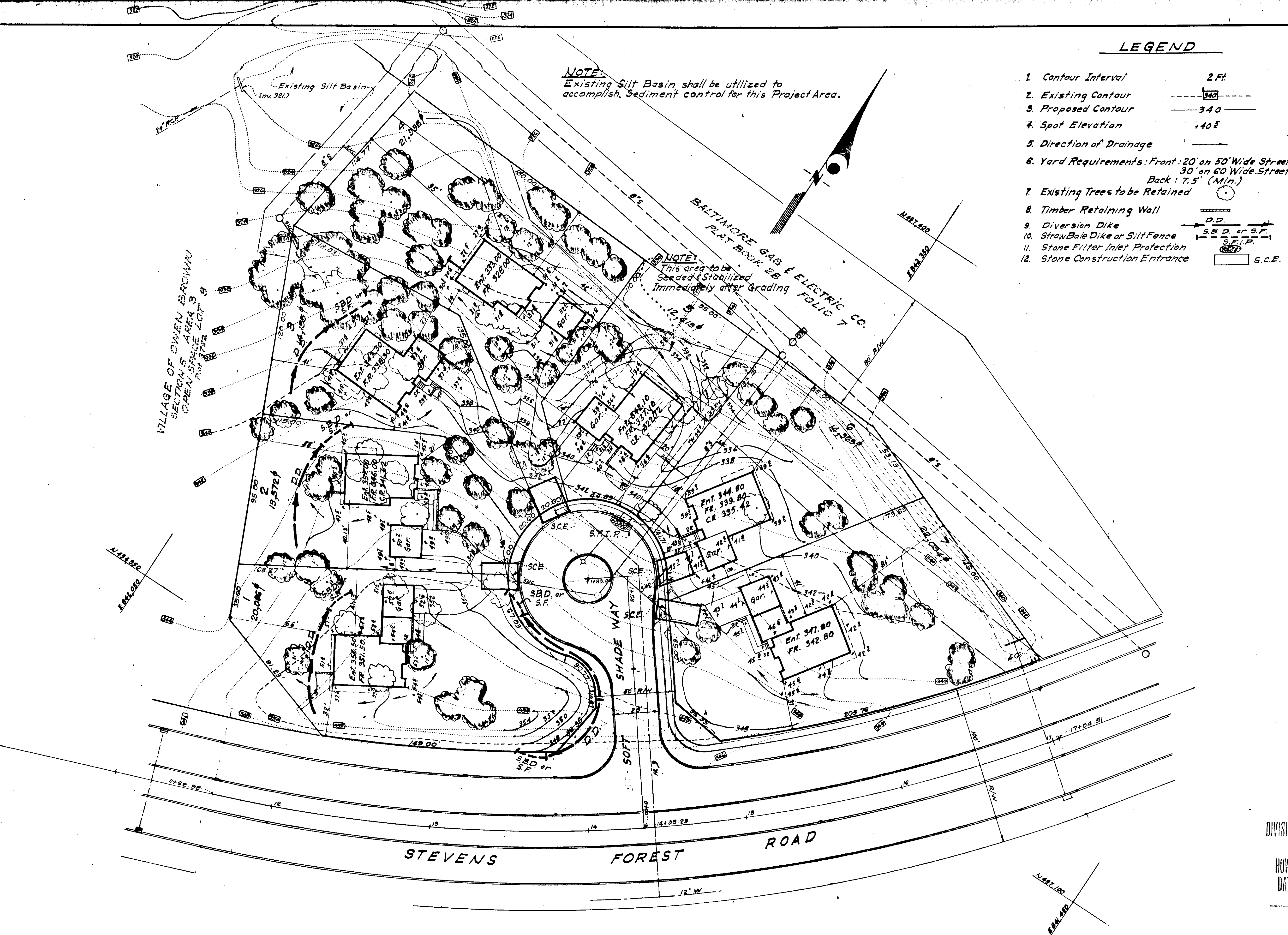
SECTION A-A



TIMBER RETAINING WALL
NO SCALE

NOTE: For Bearings and Distances of Individual Lot Lines See Record Plat recorded as Plat 3762

CLARK • FINEFROCK & SACKETT ENGINEERS • PLANNERS • SURVEYORS 11335 LEXWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593-3400		
DESIGNED WHT	SITE DEVELOPMENT PLAN LOTS 1 THRU 7 COLUMBIA THE VILLAGE OF OWEN BROWN SECTION 5 AREA 3 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN WHT		DRAWING 1 of 3
CHECKED WHT		JOB NO.
DATE Oct. '77		FILE NO. 1296-X
OWNER: HOWARD RESEARCH & DEVELOPMENT The Rouse Company Building Columbia, Maryland, 21044		For: CONTEMPO HOMES INC. Suite 447 One Mall North Columbia, Md. 21044 997-8385

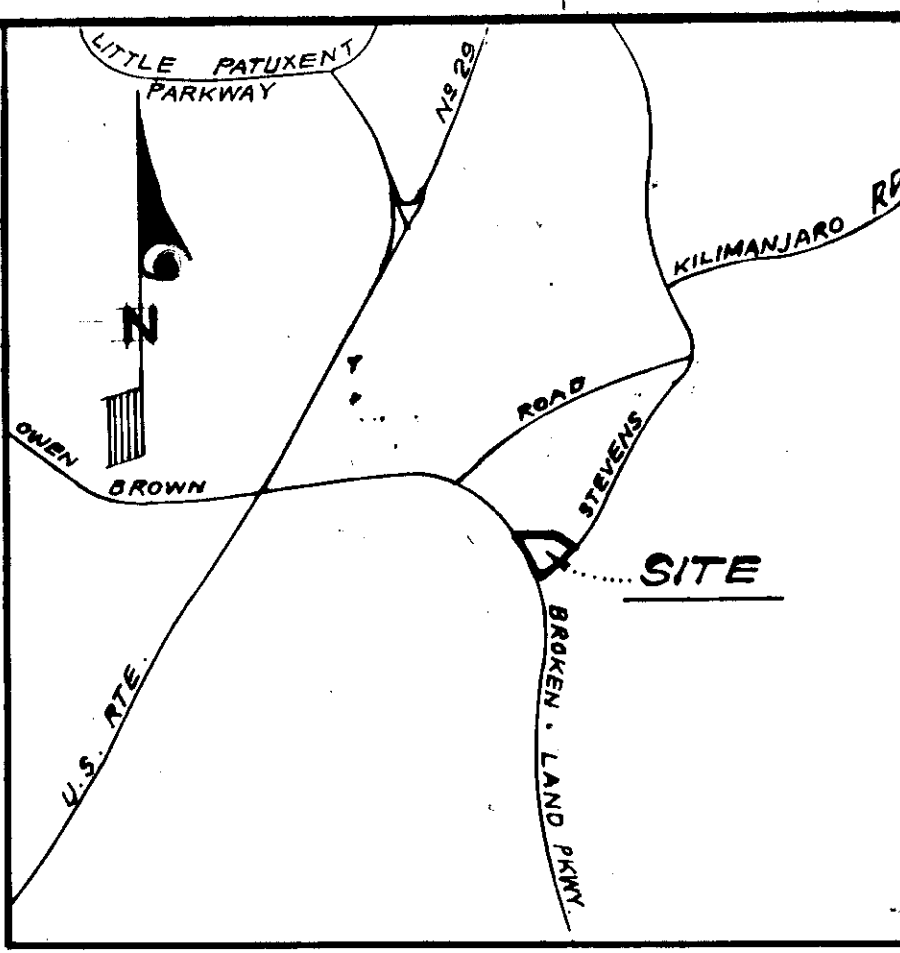


NOTE:
Existing Silt Basin shall be utilized to accomplish Sediment control for this Project Area.

NOTE:
This area to be Seeded & Stabilized Immediately after Grading

LEGEND

1. Contour Interval 2 Ft
2. Existing Contour
3. Proposed Contour
4. Spot Elevation 1.408
5. Direction of Drainage
6. Yard Requirements: Front: 20' on 50' Wide Street
30' on 60' Wide Street
Back: 7.5' (Min.)
7. Existing Trees to be Retained
8. Timber Retaining Wall
9. Diversion Dike
10. Straw Bale Dike or Silt Fence
11. Stone Filter Inlet Protection
12. Stone Construction Entrance



APPROVED
DIVISION OF LAND DEVELOPMENT
HOWARD COUNTY, MARYLAND
DATE 12-6-77

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
[Signature] 1-17-78
HEALTH OFFICER
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, SEWERAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
[Signature] 1-10-78
DIRECTOR
CITY & COUNTY BUREAU OF HIGHWAYS

Reviewed for HOWARD COUNTY S.C.D. Name and meets Technical Requirements
[Signature] 12/27/77
Signature Date
U.S. Soil Conservation Service

DEVELOPER'S CERTIFICATE
I certify that all development and/or construction will be done according to this plan of development and plan for erosion and sediment control and that all laws, ordinances, rules and regulations of the Howard County Department of Public Works and the U.S. Soil Conservation District are being followed. Deviation from this plan will not be made unless authorized by the Howard County Department of Public Works and the U.S. Soil Conservation District.

ENGINEER'S CERTIFICATE
I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard County Department of Public Works and the U.S. Soil Conservation District.

[Signature] 12/29/77
Approver Date

[Signature] 10/14/77
Signature Date

[Signature] 10-18-77
G. Nelson Clark Date

NOTE: For Bearings and Distances of Individual Lot Lines See Record Plat recorded as Plat 3762

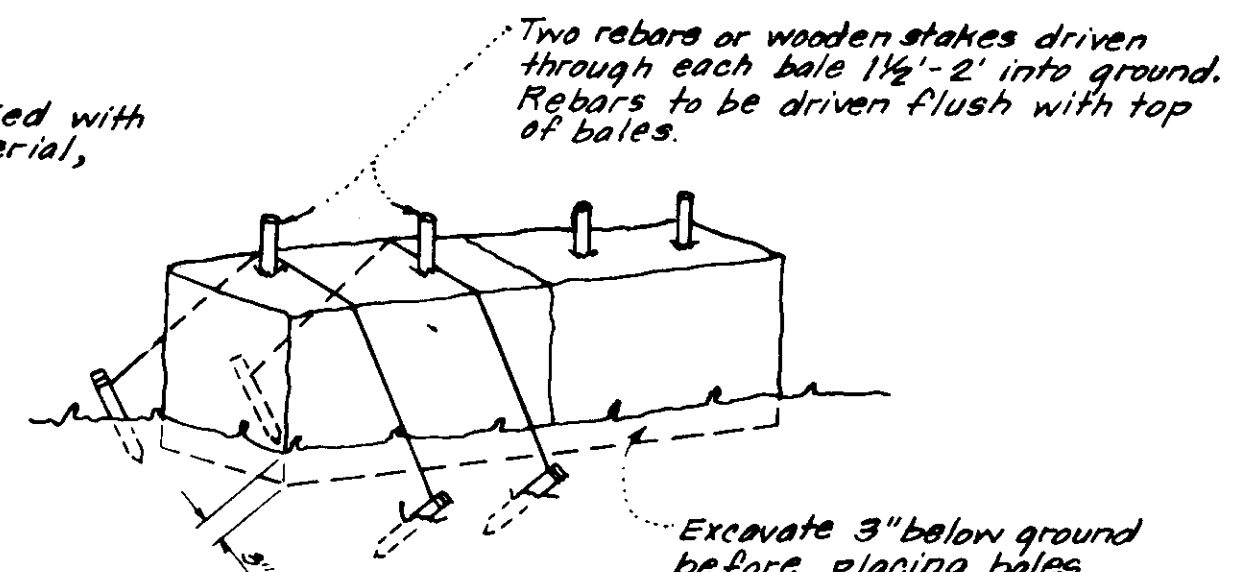
CLARK • FINEFROCK & SACKETT ENGINEERS • PLANNERS • SURVEYORS 11415 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593-3400		
DESIGNED WHT	SITE DEVELOPMENT PLAN SEDIMENT & EROSION CONTROL PLAN LOTS 1 THRU 5	SCALE 1" = 30'
DRAWN WHT	COLUMBIA THE VILLAGE OF OWEN BROWN SECTION 5 AREA 3 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	DRAWING 2 of 3
CHECKED D.A.B.		JOB NO.
DATE Oct '77	For: COU TEMPO HOMES INC. Suite 407 One Mall North Columbia, Md. 21044	FILE NO. 397-6363 SE-1268
SDP-78-49c		

GENERAL NOTES

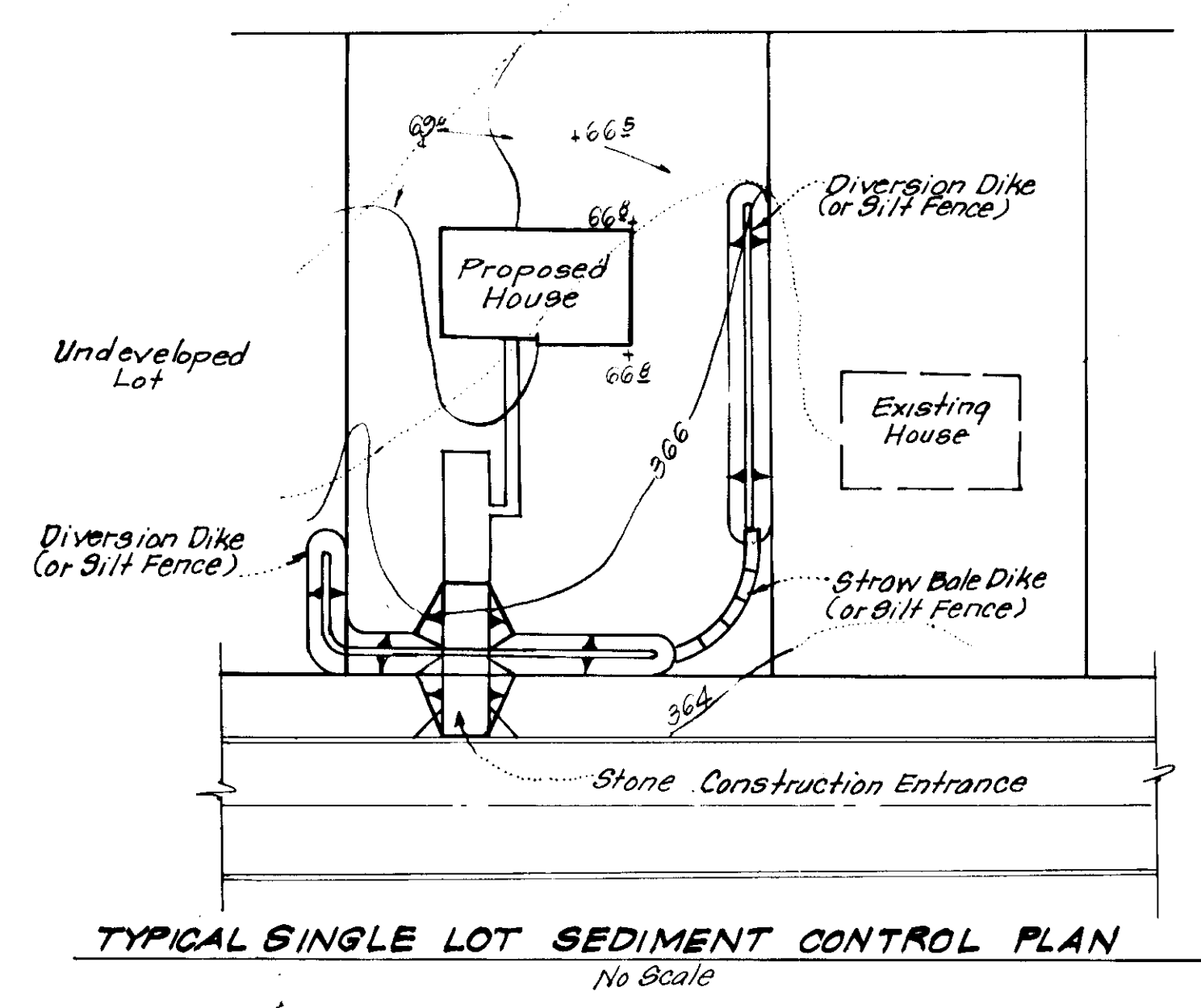
- All Sediment and Erosion Control Measures will be installed and stabilized according to this plan prior to any other grading, clearing, or disturbance of the existing surface of the site. See Note #5 for stabilization except that the seed mixture will be annual rye applied at the rate of 1.4 lbs / 1000 sq. ft.
- Notify the Bureau of Inspections and Permits at least 24 hrs before starting any work.
- All Sediment Control Practices to conform to the Standards and Specifications for Soil Erosion and Sediment Control in Developing Areas and shall be adjusted to meet actual field conditions.
- Stabilization of disturbed ground to be done as soon after construction as possible.
- All grading shall be treated in accordance with the following Specifications:
 - Seed - certified 85% germination applied at the rate of 3lbs/1000 sq. ft. mixture - 40% Kentucky Blue, 20% Chewy Fescue, 20% Kentucky 31, and 20% Annual Rye.
 - Fertilizer - 10-10-10 applied at the rate of 23lbs/1000 sq. ft. Ground agricultural lime or dolomitic lime applied at the rate of 46 lbs / 1000 sq. ft.
 - Mulch - Weed free grain straw applied at the rate of 70lbs / 1000 sq. ft. Mulch shall be secured to the ground by any approved method, i.e. asphalt, tacks, chemical binder, weed chips, etc.
- All Structural Sediment Control Measures are to remain in place until permission for their removal has been obtained from the Bureau of Inspections and Permits.
- On site inspection and maintenance of all sediment control measures including cleanup of sediment traps and dikes, and proper establishment of all planned vegetative measures will be the responsibility of the Developer or his representative on the site, on a continuing day to day basis.
- Protection of stabilized area from sediment runoff shall be provided by the use of an approved sediment control device, i.e. straw bales, diversion dikes, etc.
- Site Analysis:

Total Area:	2.723 Ac.
Area to be Roofed:	0.281 Ac.
Area to be Paved:	0.104 Ac.
Area to be Seeded:	1.030 Ac.
Area Undisturbed:	1.689 Ac.
- The Contractor shall keep all public roads free of sediment deposits left from traffic leaving construction site.
- Stabilized Construction Entrances shall be constructed at all construction entrances.
- CONSTRUCTION SEQUENCE:
 - Install Sediment and Erosion Control Devices and stabilize Diversion Dikes.
 - Excavate for foundations and rough grade.
 - Erect Structures, drive ways and sidewalks.
 - Final grade and stabilize in accordance with General Note #5.
- If Houses are to be constructed on an "As-Sold" basis at random, Single Lot Sediment Control, as shown on this sheet shall be implemented.
- It will be the Developer's responsibility, to provide additional Sediment and Erosion Control Devices to protect stabilized areas during construction.
- Total Amount of Straw Bales or Silt Fence = 90 L.F.

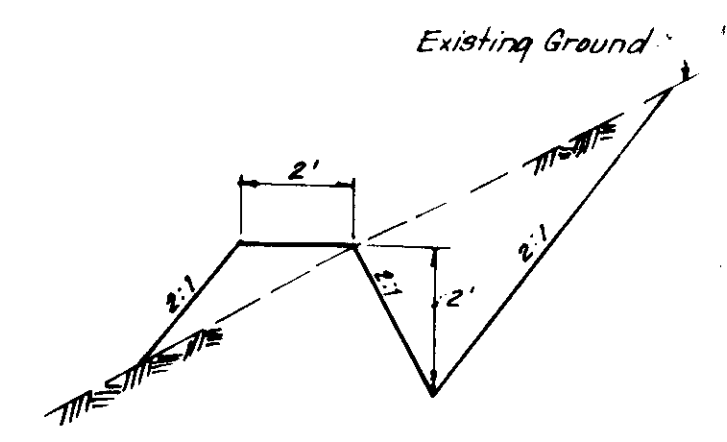
All bales shall be tied with non-weathering material, i.e. wire, nylon.



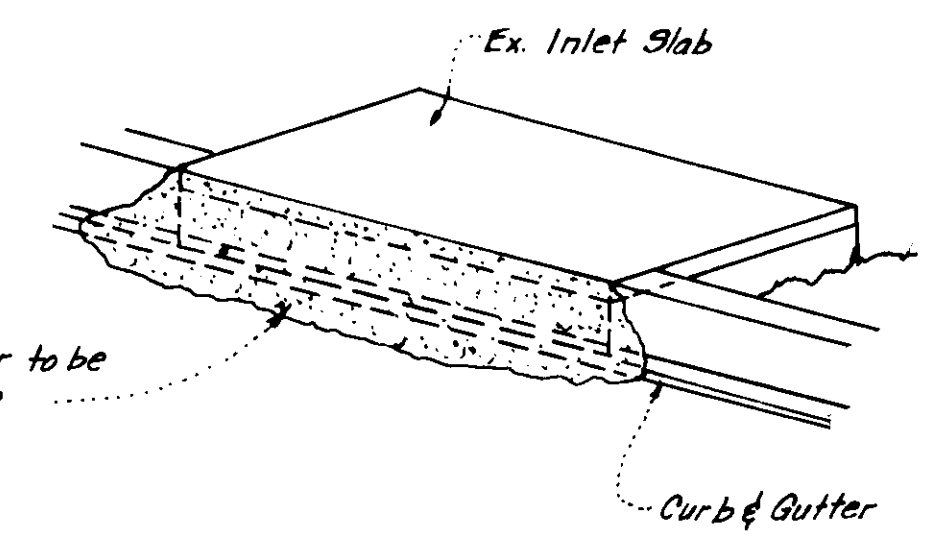
Note: In lieu of the use of rebars each straw bale may be fastened to ground with pegs (4 per bale and wire or nylon as shown above).
TYPICAL STRAW BALE DETAIL (S.B.D.)
 No Scale



TYPICAL SINGLE LOT SEDIMENT CONTROL PLAN
 No Scale

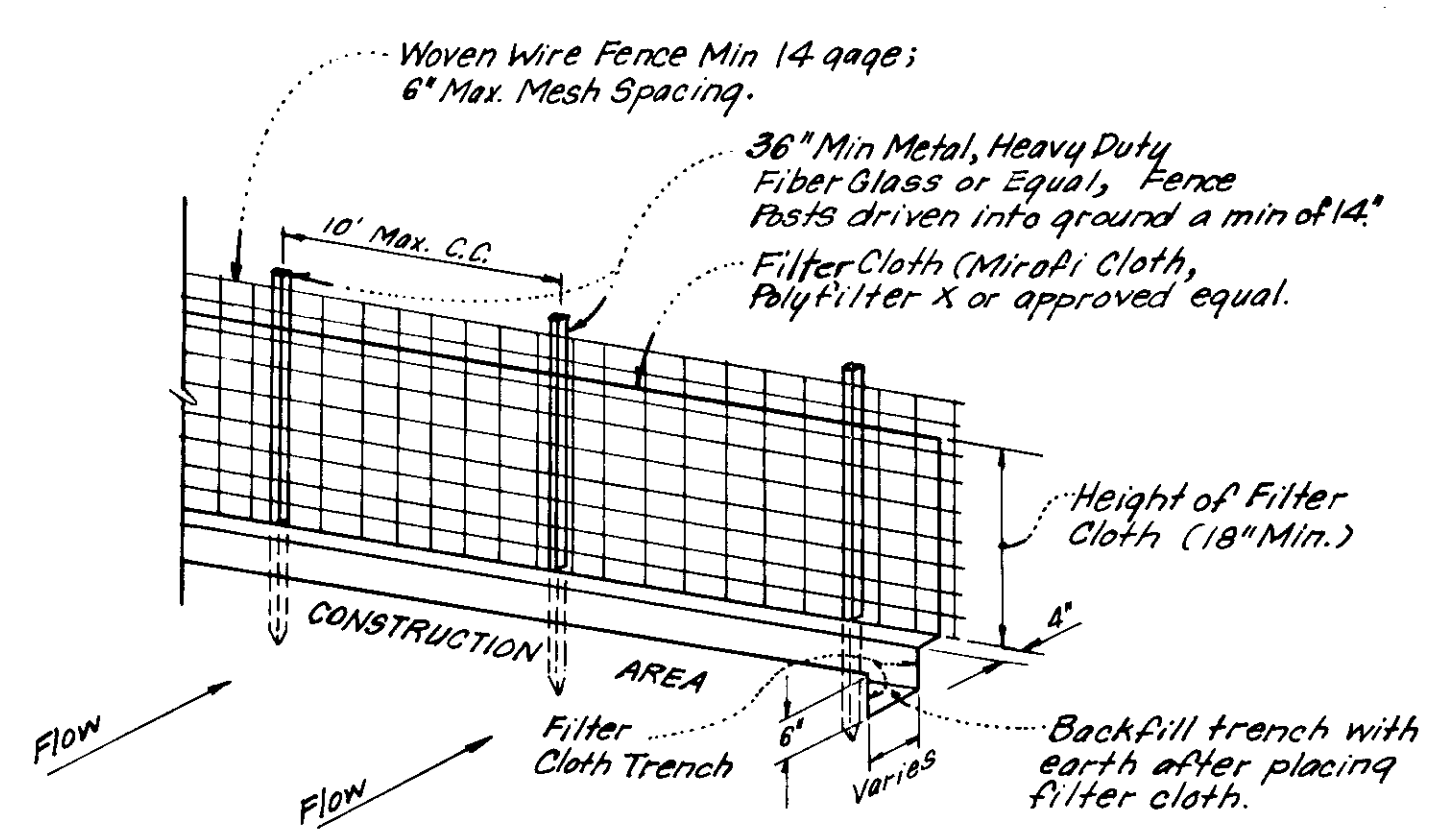


CUT DIVERSION DIKE
 No Scale



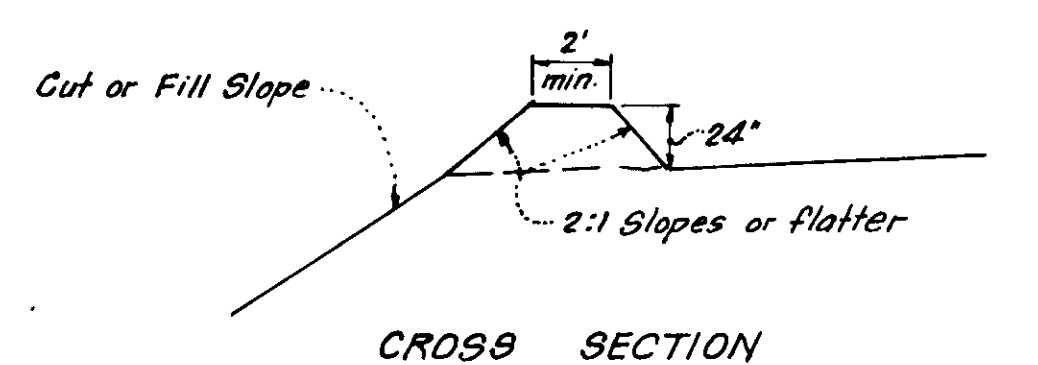
Gravel Filter to be No. 2 Stone

ISOMETRIC VIEW

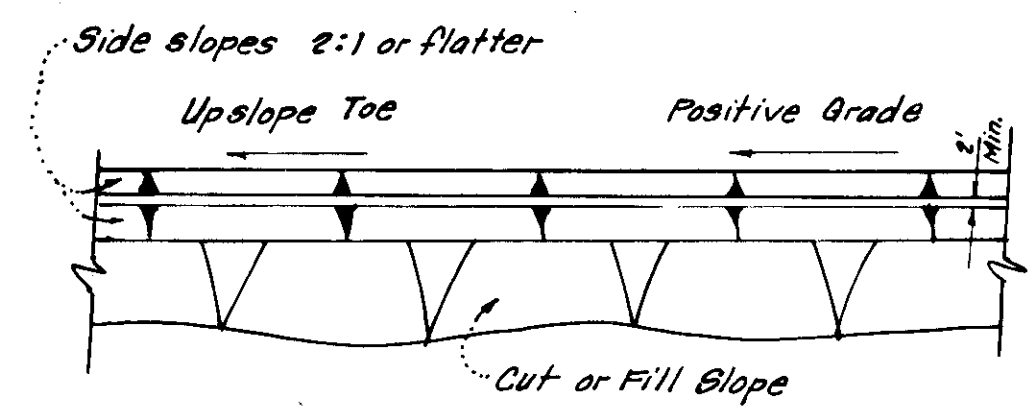


- NOTES:
- Woven Wire fence to be fastened securely to fence posts by use of wire ties.
 - Filter Cloth to be fastened securely to woven wire fence by use of wire ties spaced every 24" x 24".

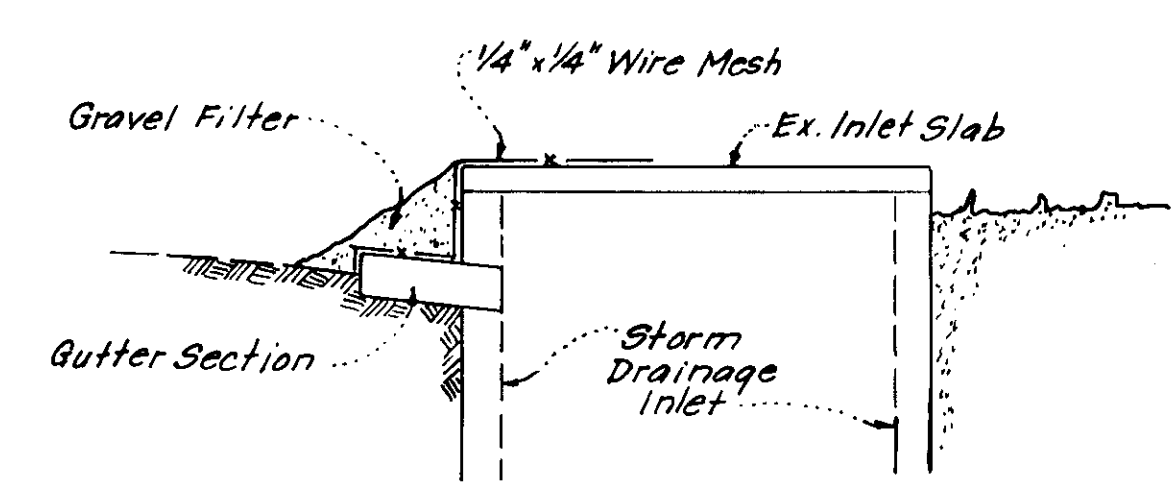
SILT FENCE DETAIL S.F.
 NO SCALE



CROSS SECTION

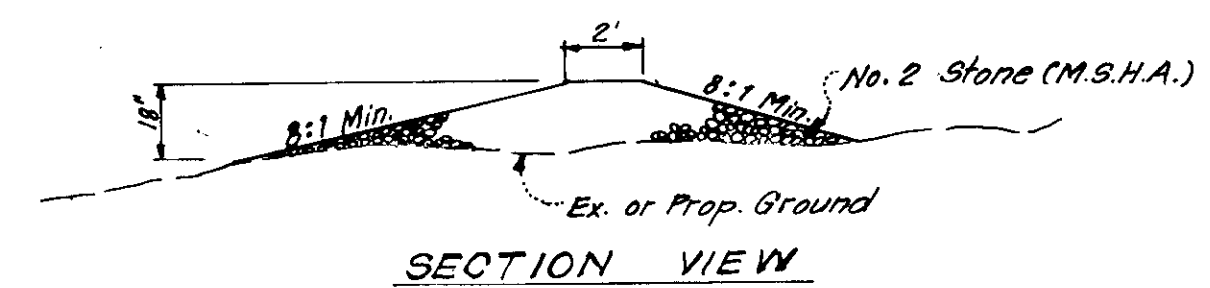


PLAN VIEW DIVERSION DIKE (DD)
 No Scale



SECTION VIEW

STONE FILTER INLET PROTECTION DETAIL (S.F.I.P.)
 No Scale



SECTION VIEW

STONE CONSTRUCTION ENTRANCE DETAIL (S.C.E.)
 NO SCALE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.
 [Signature] 1-12-78
 COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
 [Signature] 1-23-78
 PLANNING DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS & PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 [Signature] 1-27-78
 DIRECTOR

APPROVED: [Signature] 1-27-78
 CHIEF, BUREAU OF HIGHWAYS

Reviewed for HOWARD S.C.D.
 Name
 and meets Technical Requirements
 [Signature] 12/29/77
 Signature Date
 U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 12/29/77
 Approved Date

DEVELOPER'S CERTIFICATE
 I certify that all design and construction will be done according to the approved plan and plan for Erosion and Sediment Control and site control.
 [Signature] 10/14/77
 Signature Date

ENGINEER'S CERTIFICATE
 I hereby certify that this plan for erosion and Sediment Control represents a true and correct plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

[Signature] 10-18-77
 G. Nelson Clark Date



APPROVED
 DIVISION OF LAND DEVELOPMENT
 HOWARD COUNTY, MARYLAND
 DATE 12-6-77

CLARK • FINEROCK & SACKETT ENGINEERS • PLANNERS • SURVEYORS 11315 LOCKWOOD DRIVE • SILVER SPRING, MARYLAND 20904 • (301) 993-3400		
DESIGNED	SITE DEVELOPMENT PLAN SEDIMENT & EROSION CONTROL PLAN LOTS 1 THRU 7 COLUMBIA THE VILLAGE OF OWEN BROWN SECTION 5 AREA 3 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE As Shown
DRAWN		DRAWING 3 of 3
CHECKED		JOB NO.
DATE	For: CONTEMPO HOMES INC. Suite 407 One Mall North Columbia, Md. 21044	397-8383 FILE NO. SE-1266
Oct '77		