

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
 10-25-78 DATE  
 HEALTH OFFICER  
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
 10-21-78 DATE  
 PLANNING DIRECTOR  
 CHIEF DIVISION OF LAND DEVELOPMENT  
 APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND ROADS  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 10/16/78 DATE  
 DIRECTOR  
 CHIEF BUREAU OF ENGINEERING  
 10-17-78 DATE

Reviewed for Howard County S.C.D. and meets Technical Requirements.  
 U.S. Soil Conservation Service  
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT  
 Approved: 10-10-78 DATE  
 MEMBER OF S.C.D.

GICHNER ASSOCIATES, ET AL  
 L. 588 F. 258

CONSTRUCTION SPECIFICATIONS

1. Stone size use M.S.H.A. size No. 2 (2 1/2" to 4") or AASHTO designation M48, size No. 2, CE-1111 use crushed stone.
2. Length-as effective cut not less than fifty feet.
3. Thickness - not less than eight inches.
4. Width - not less than full width of all points of ingress and egress.
5. Washing - when necessary, wheels shall be cleaned to remove sediment prior to entrance onto public right of way.
6. Maintenance - the entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights of way.

SEEDING AND MULCHING

1. Seed Mixture - Birdseed prepol (a) triple inoculated (40lbs/ac) and weeping lovegrass (20lbs/ac)
2. Straw mulch @ 30lbs per 1000 square feet
3. Mulch to be anchored with biodegradable plastic netting.

SITE ANALYSIS

TOTAL AREA 2,000.00 AC.  
 AREA TO BE DISTURBED 0.4734 AC.  
 IMPERVIOUS AREA 1,980.00 AC.  
 REVEGETATED AREA 0.0266 AC.

AREA OF BUILDINGS  
 EXIST. BUILDING 20,500 SF  
 NEW ADDITION 15,950 SF  
 TOTAL 36,450 SF

STONE OUTLET STRUCTURE CONSTRUCTION SPECIFICATIONS

1. The stone shall be crushed stone. Gravel may be added if stone is not available. The stone shall be of size No. 2, M.S.H.A. or AASHTO designation M48, size No. 2, CE-1111 use crushed stone.
2. The cresting stone shall be at least six inches lower than the lowest elevation of the top of the earth dike and shall be level.
3. The stone outlet structure shall be embedded into the soil a minimum of 4 inches.
4. The maximum length in feet of the crest of the stone outlet structure shall be equal to the width in feet of the area of drainage area.
5. The stone outlet structure shall be inspected after each rain, and the stone shall be replaced when the structure ceases to function as intended due to silt accumulation among the stones, wash construction traffic, damage, etc.

General Notes (cont.)

9. Site is zoned CE-CLI per 2004 Comprehensive Zoning Plan.
10. Prop. 4" WHC is subject to execution of an Advanced Deposit Order (ADO).
11. A building permit for the mezzanine level shall be applied for by Aug. 11, 2007.

CONSTRUCTION SEQUENCE

1. Obtain grading permit.
2. Prepare stone outlet structure and stabilize construction entrance.
3. Construct earth base and exterior wall.
4. Excavate and pour footings.
5. Construct walls to first floor elevation and fill inside and exterior footings.
6. Place floor of building.
7. Complete building construction.
8. Construct level apron and seal.
9. Seed and mulch disturbed areas not paved.

GENERAL NOTES

1. Elevations shown herein were established from an assumed datum approx. 89' ft below the Mean Sea Level datum.
  2. Variance petition approved July 15, 1977 for bldg restriction lines along SW side of bldg. (Case No. 212-C).
  3. Number of spaces required (See Parking Tabulation).
  4. There is no Retail Sales Space in the building.
  5. Outside light fixtures to be Marca Mercury Vapor 175 Watt lamps mounted on building and shining on bldg. walls (not into residential area).
  6. Planting on south side of building to be 2 1/2" caliber evergreens planted every 10 feet.
  7. See Sheet 2 for Grading and Storm Drain plan.
  8. Roof storm water to be controlled discharge at 0.24 cfs. Controlled by 2 Jason Model 4514 roof drains calibrated at 58 g.p.m.
- I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

J. E. Clark  
 Engineer

Building Tabulation

9381-A	Office/Warehouse	9,340 sq ft office (A), 8865 sq ft warehouse (B)
9381-D	Office/Warehouse	500 sq ft office, 2,780 sq ft warehouse
9381-E	Office/Warehouse	500 sq ft office, 3,420 sq ft warehouse
9375-E	Auto Service	5,100 sq ft, 1 service bay
9375-F	Auto Service	5,100 sq ft, 2 service bays

(A) Includes 4,000 sq ft of mezzanine. (B) Includes 1,175 sq ft of mezzanine.

I certify that all development and/or construction will be done according to this plan of development and plan for Erosion and Sediment Control, and I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents as are deemed necessary.

Developer: Dennis W. Schraf  
 Date: 9/17/77

Owner/Developer: Dennis W. Schraf  
 9381-A Davis Avenue  
 9/17/77 DATE



APPROVED  
 DIVISION OF LAND DEVELOPMENT  
 HOWARD COUNTY  
 DATE: 9-20-78

PAVING STANDARDS

Notes: Base will be placed in accordance with Section C-20-3 and Top Coat is required in accordance with Section C-31-4 as provided in the Howard County Road Construction Code and Standard Specifications.  
 All material and construction methods shall be in accordance with the Howard County Construction Code.

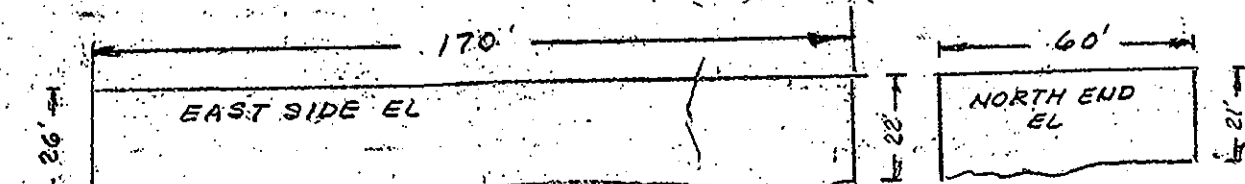
Parking Tabulation

10,340 sq ft Office x 23 sp/1,000 sq ft = 24.1  
 15,065 sq ft Warehouse x 0.5 sp/1,000 sq ft = 7.5  
 2 Service Bays @ 3 + 3/bay = 9.0  
 1 Service Bay @ 3 + 3/bay = 6.0

56.6 = 57 sp. required

Number of spaces provided = 59 (A)(B)  
 (A) Includes 8 angle-in spaces existing along Davis Avenue, which is a private road.  
 (B) Includes 4 HC spaces.

For revision #5 changes only: 12/12/06

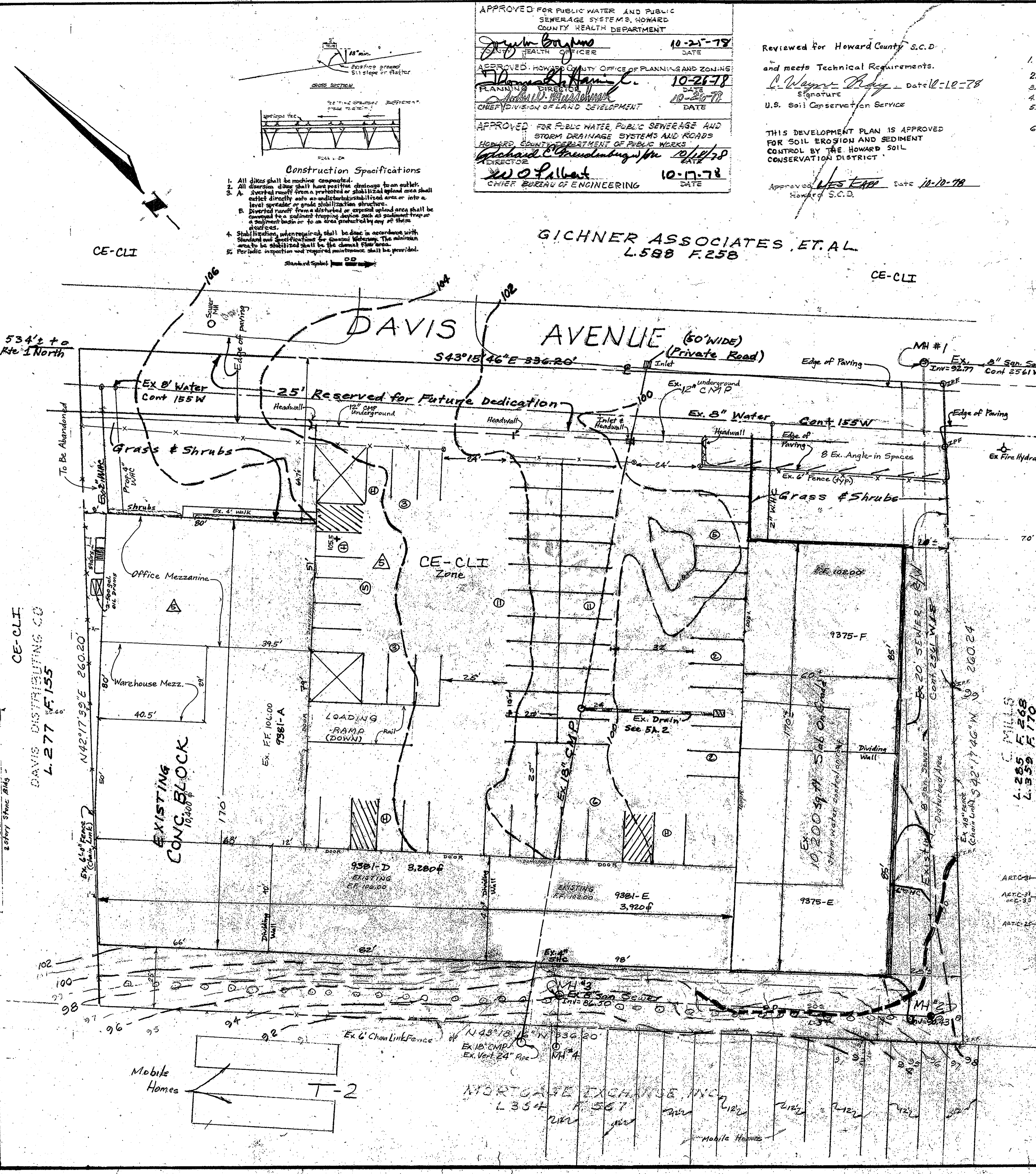


9375 - 9381 Davis Avenue  
 Tax Map 50, Parcel 422  
 Sixth Election Dist., Howard County  
 "S & H Carpeting Inc", Dec. 1976

REVISIONS

Jan. 10, 1977	
Dec. 5, 1977	
June 30, 1978	
Aug. 11, 1978	Bldg Addition 9375 E-F
Aug. 11, 2006	Modify mezzanine area for 9381-A, revise parking tabulation and layout near 9381-A, update notes and labels, show ex. angle-in spaces on Davis Ave, add Building Tabulation.

PREPARED BY  
 THE J. E. CLARK CO.  
 938 Nichols Dr  
 Laurel, Md. 20810  
 Sheet 1 of 2  
 SDP-78-38



Construction Specifications  
 1. All dikes shall be machine constructed.  
 2. All dikes shall have positive drainage to an outlet.  
 3. A. Dike crest shall be from a prepared or stabilized upland area shall extend directly into an erodible or stabilized area or into a level spreader or grade stabilization structure.  
 B. Dike crest shall be from a prepared or stabilized upland area shall be covered by a sediment trapping device such as sediment trap or a sediment basin or to an area protected by any of these devices.  
 4. Stable dikes, when required, shall be done in accordance with standard soil stabilization for erosion control. The minimum area to be stabilized shall be the dike crest.  
 5. Periodic inspection and required maintenance shall be provided.

CE-CLI

CE-CLI

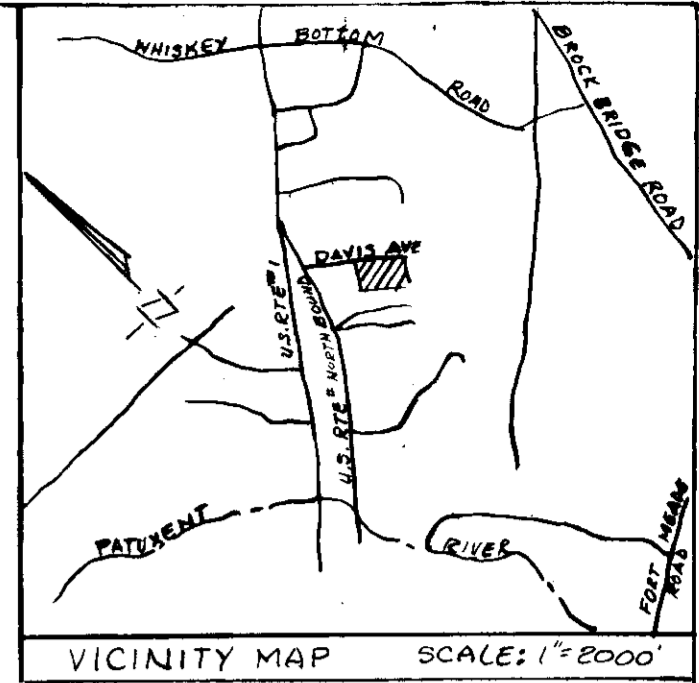
CE-CLI  
 DAVIS DISTRIBUTING CO  
 L. 277 F. 155

C. MILLS  
 L. 255 F. 258  
 L. 559 F. 170  
 CE-CLI

Mobile Homes

MORTGAGE EXCHANGE INC  
 L. 354 F. 567

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
 COUNTY HEALTH OFFICER *John Brogans* DATE 10-25-78  
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
 PLANNING DIRECTOR *Thomas H. Hannon* DATE 10-26-78  
 CHIEF DIVISION OF LAND DEVELOPMENT *Richard H. Hannon* DATE 10-26-78  
 APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND ROADS  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR *Richard H. Hannon* DATE 10/26/78  
 W.O.P. *W.O.P.* DATE 10-17-78  
 CHIEF BUREAU OF ENGINEERING

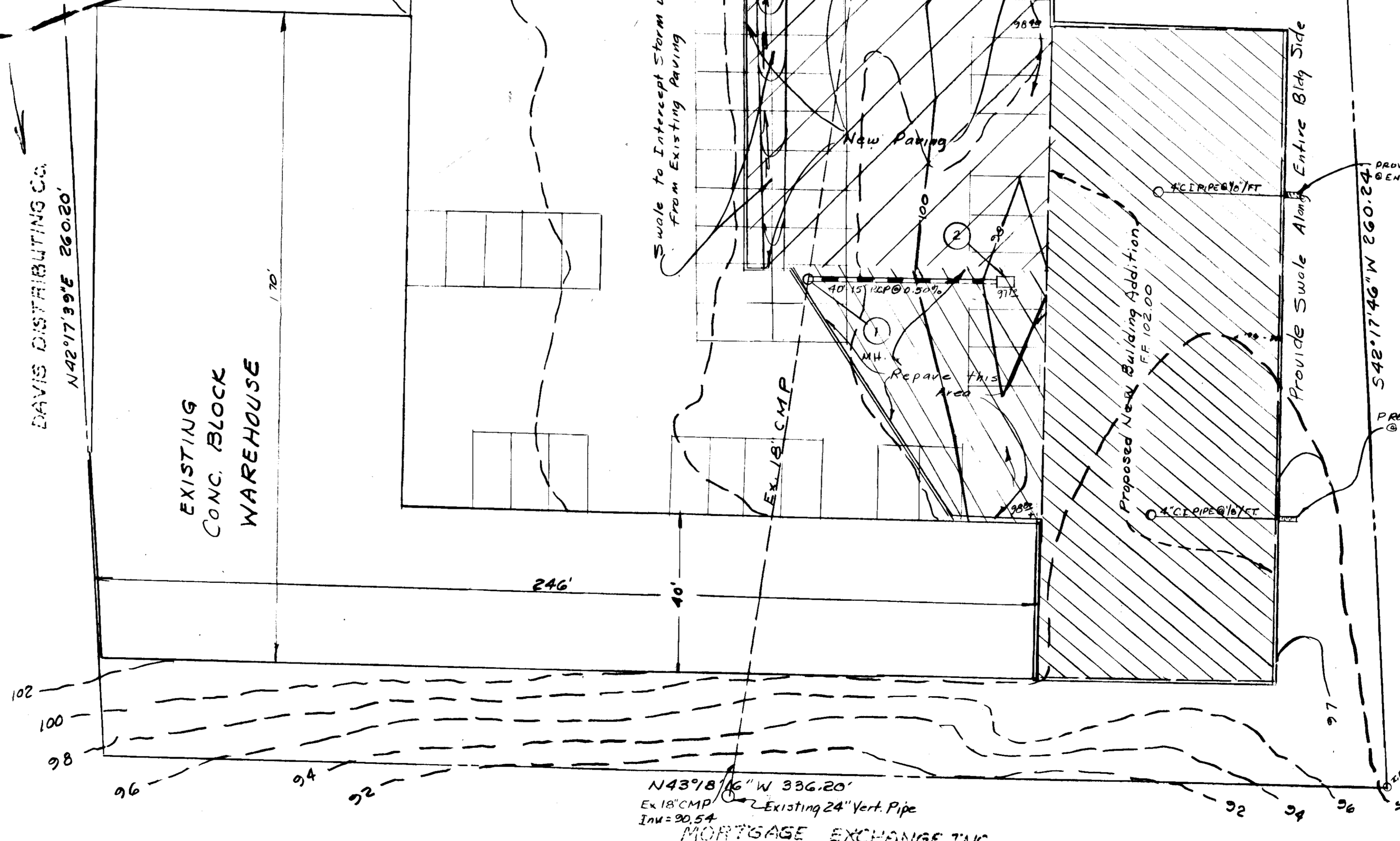
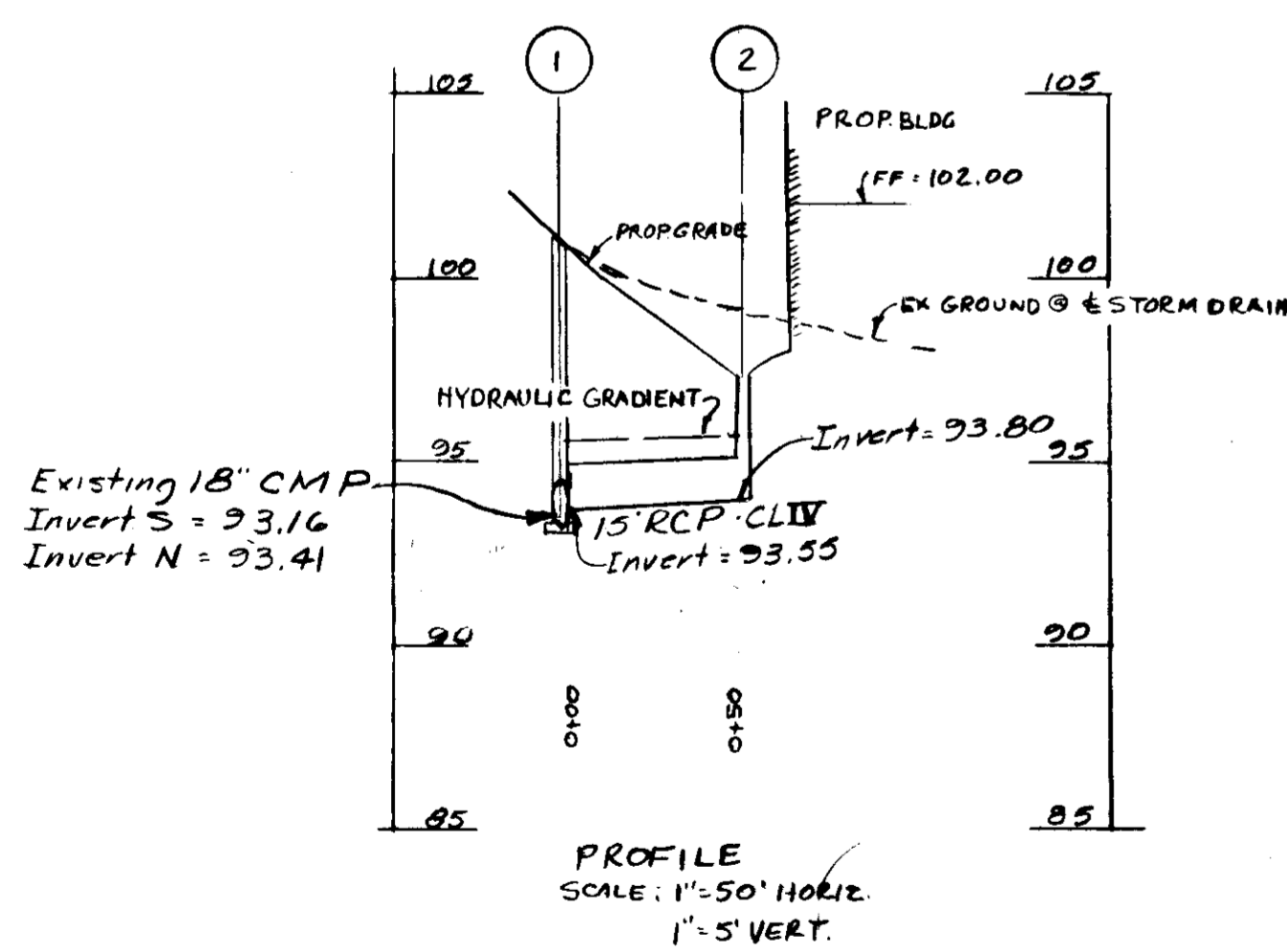


M-2 C=0.90 A-2 A=0.82 Ac

EXISTING HEADWALL  
 DAVIS (50' WIDE) AVENUE INV=95.98  
 (PRIVATE ROAD) 543°18'46"E 336.20'  
 EXISTING CATCH BASIN INV=95.00

M-2 C=0.75 A-1 A=0.2500

STRUCTURE SCHEDULE					
NO.	TYPE	TOP	INV IN	INV OUT	REMARKS
1	MANHOLE	100.00	93.41	93.16	DWG. D 103 PG 158
2	E INLET	97.10	-	93.60	DWG. D 67 PG 122



Existing Storm Drain — Es 18" CMP  
 Proposed Storm Drain — ———  
 Existing Grade ——— 102  
 Proposed Grade ——— 100  
 Proposed Manhole ○  
 Proposed Catch Basin □  
 Limits of Drainage Area ———

Site Analysis  
 Total Area = 2.0002 ac.  
 Area to be Disturbed = 0.4734 ac.  
 ImperVIOUS Area = 1.5800 ac.

APPROVED  
 DIVISION OF LAND DEVELOPMENT  
 HOWARD COUNTY, MARYLAND  
 DATE 9-20-78  
 JULY

GRADING & STORM DRAIN PLAN  
 FOR  
 BUILDING ADDITION  
 S & H CARPETING INC.  
 DAVIS AVENUE  
 Sixth Election Dist.  
 LAUREL  
 HOWARD COUNTY, MD.  
 SCALE: 1"=20' JULY, 1978  
 TAX MAP 50 PARCEL No. 422  
 Total Area = 2.0002 ac.

*Jack E. Clark*  
 RLS No. 4519  
 PREPARED BY  
 THE J.E. CLARK Co.  
 938 Nichols Dr.  
 Laurel, Md. 20810