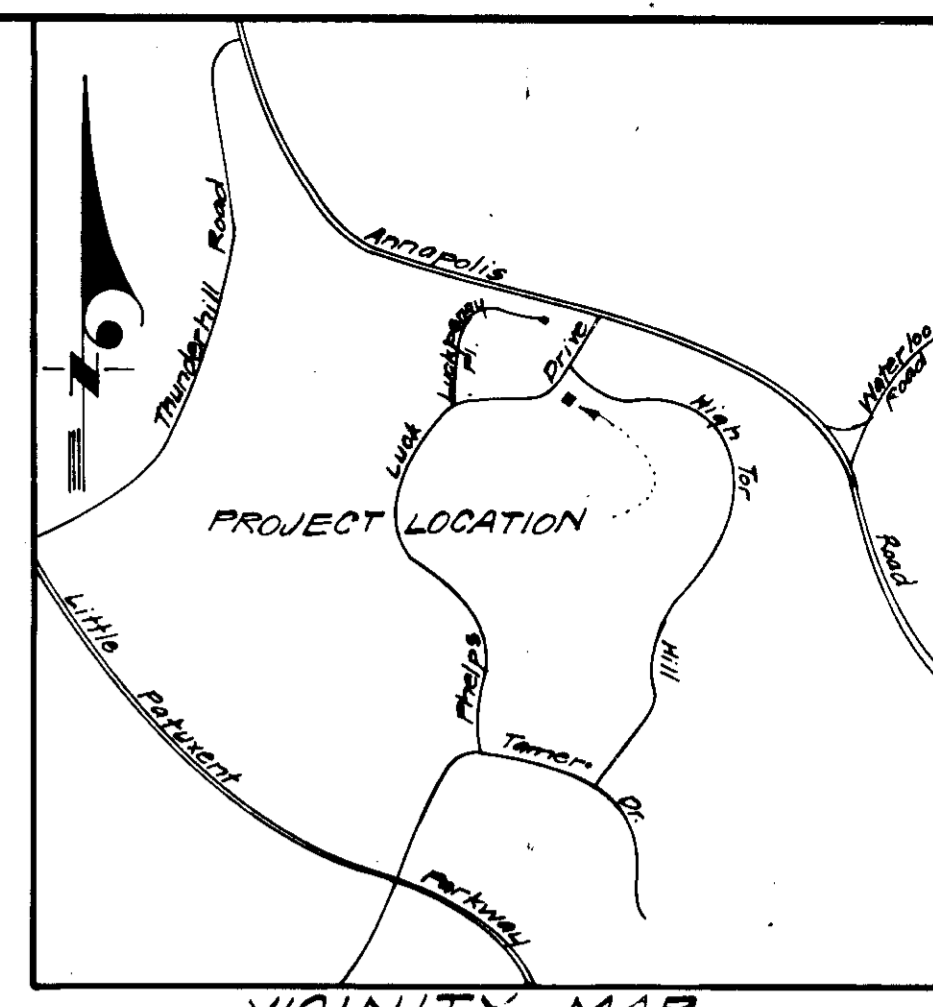
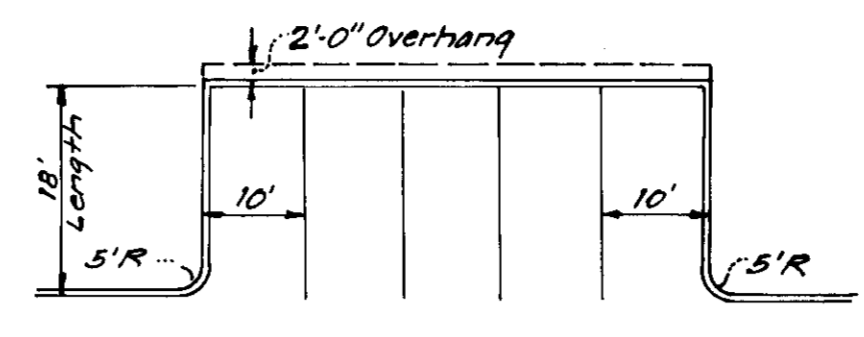


**LEGEND**

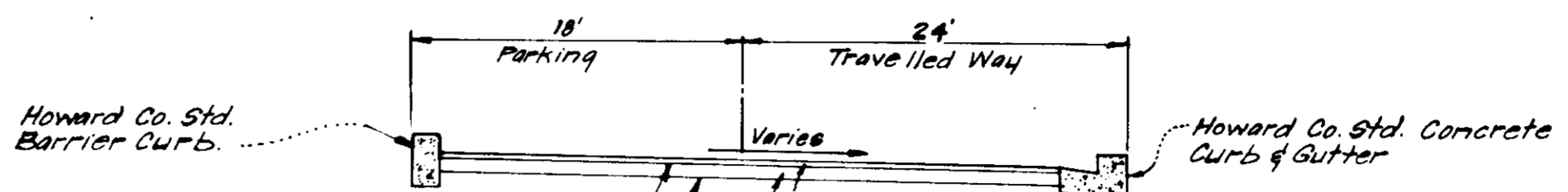
- 1. Contour Interval 2 Ft.
- 2. Existing Contour 4.50
- 3. Proposed Contour 4.50
- 4. Spot Elevation +50E
- 5. Direction of Drainage
- 6. Existing Sanitary Sewer
- 7. Existing Storm Drainage
- 8. Prop. Howard Co. Std. Conc. Curb & Gutter
- 9. Prop. Howard Co. Std. Barrier Curb
- 10. Board Fence
- 11. Timber Retaining Wall
- 12. Exist. Trees to be Relocated



VICINITY MAP  
Scale: 1"=2000'

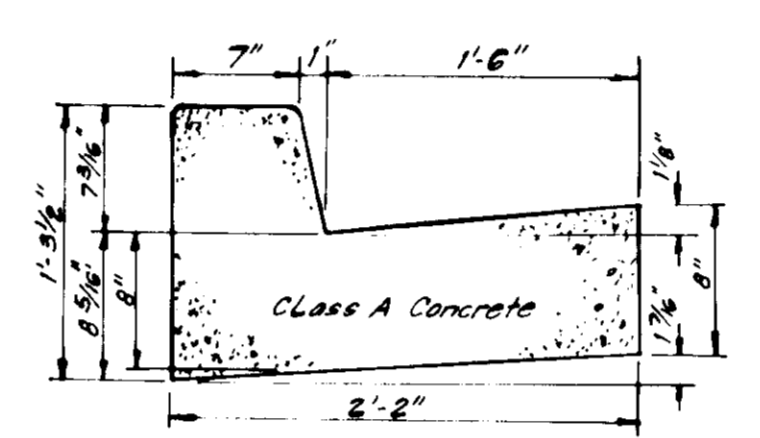


TYPICAL 90° PARKING  
No Scale

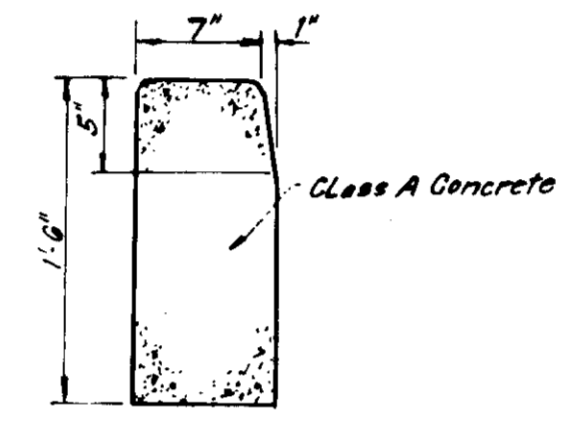


Tack Coat in accordance with Howard Co. Specs. C-31-4.  
Prime Coat in accordance with Howard Co. Std. Specs. C-30-3.  
1" Bituminous Conc. Surface Course.  
4" Bituminous Conc. Base Course.

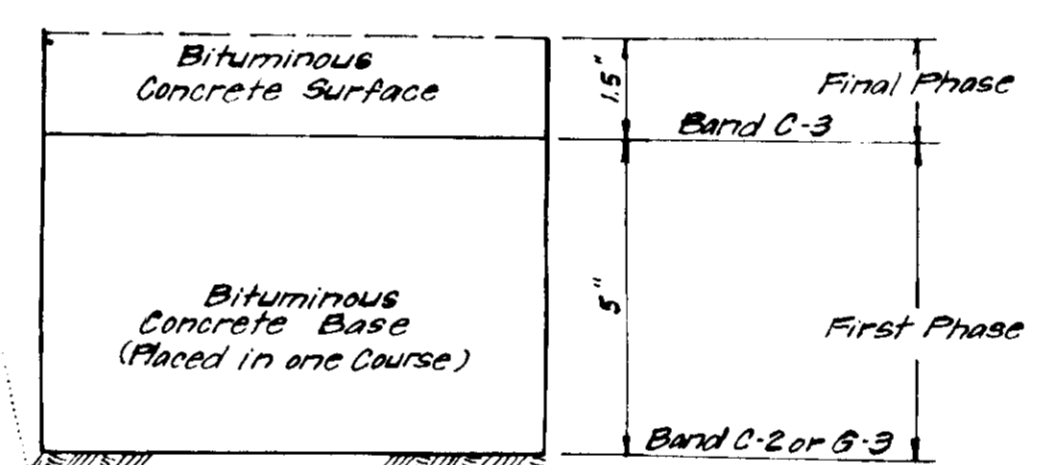
TYPICAL PAVING SECTION PRIVATE DRIVE & PARKING  
No Scale



STD CONC. COMB. CURB & GUTTER  
No Scale

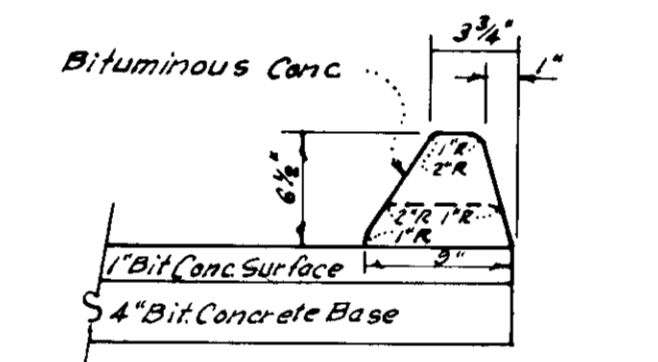


BARRIER CURB  
No Scale



Clearing and Grading Article C-1  
Sub Grade Article C-2  
Base Course Article C-31 or C-33  
Surface Course Article C-31

PAVEMENT REPLACEMENT FOR ENTRANCES INTO PUBLIC ROADS  
No Scale



BITUMINOUS CURB DETAIL  
No Scale

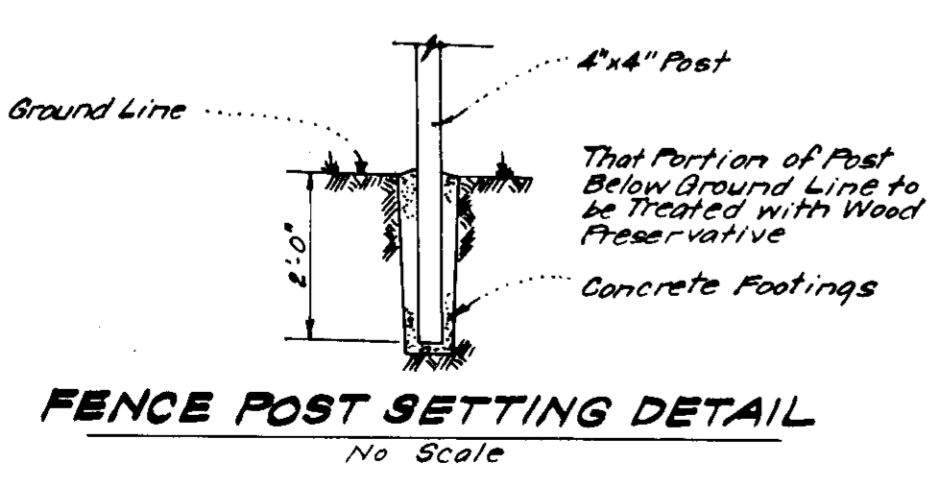
**GENERAL NOTES**

1. The Land included in this plan is zoned New Town Commercial.
2. The Lots shown on this plan are covered by Final Development Plan Phase 77 recorded in Plat Book 19, Folios 50 to 72.
3. All coordinates are based on Maryland State Grid System. Elevations are based on U.S. Coast and Geodetic Survey Mean Sea Level of 1929.
4. The Area covered in this submission is located on Tax Map No. 30.
5. The total area included in this plan is 0.500 Acres.
6. Installation of all Traffic Control Devices shall be in accordance with the latest edition of the Manual of Uniform Traffic Control Devices.
7. Recording Reference: Recorded in Plat No. 18, Folio 47.
8. All Driveways & Parking Areas are Privately Owned & Maintained.
9. All Storm Drainage and Paving shall be constructed in accordance with the latest Details and Specifications of Howard County.
10. Call "MISS UTILITY" 24 hrs. in advance of construction (Ph. 552-0100).

11. Parking Requirements:  
Total Retail Space: 2000 sq ft  
Min. Required Parking: 10  
Total Parking Shown: 15

TYPICAL BUILDING ELEVATION  
No Scale

TYPICAL FENCE DETAIL  
No Scale



FENCE POST SETTING DETAIL  
No Scale

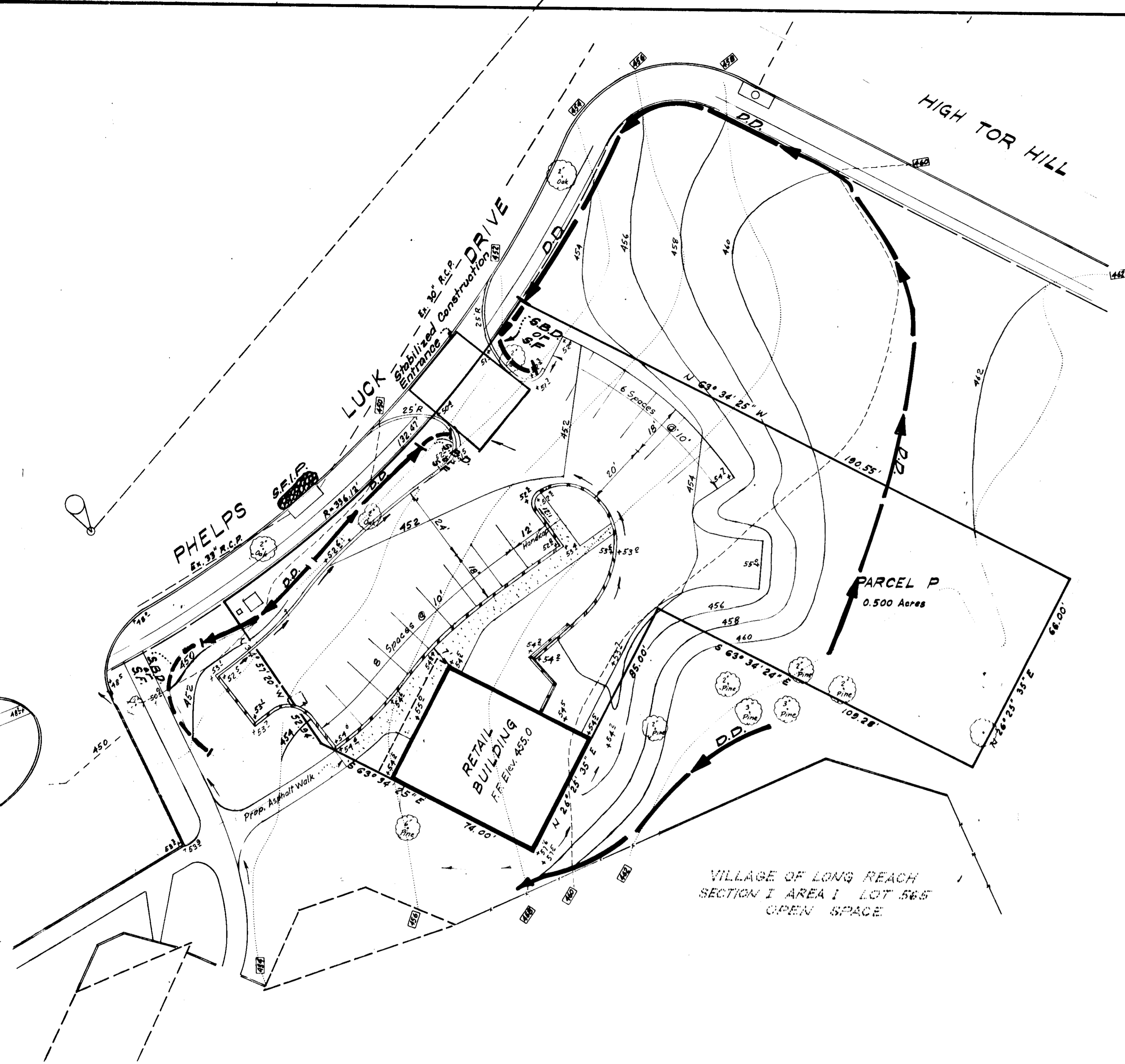
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
11-8-77  
APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING  
PLANNING DIRECTOR DATE  
CHIEF DIVISION OF LAND DEVELOPMENT DATE  
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
11/3/77  
DIRECTOR DATE  
CHIEF BUREAU OF HIGHWAYS DATE



G. N. C. Clark  
10-24-77

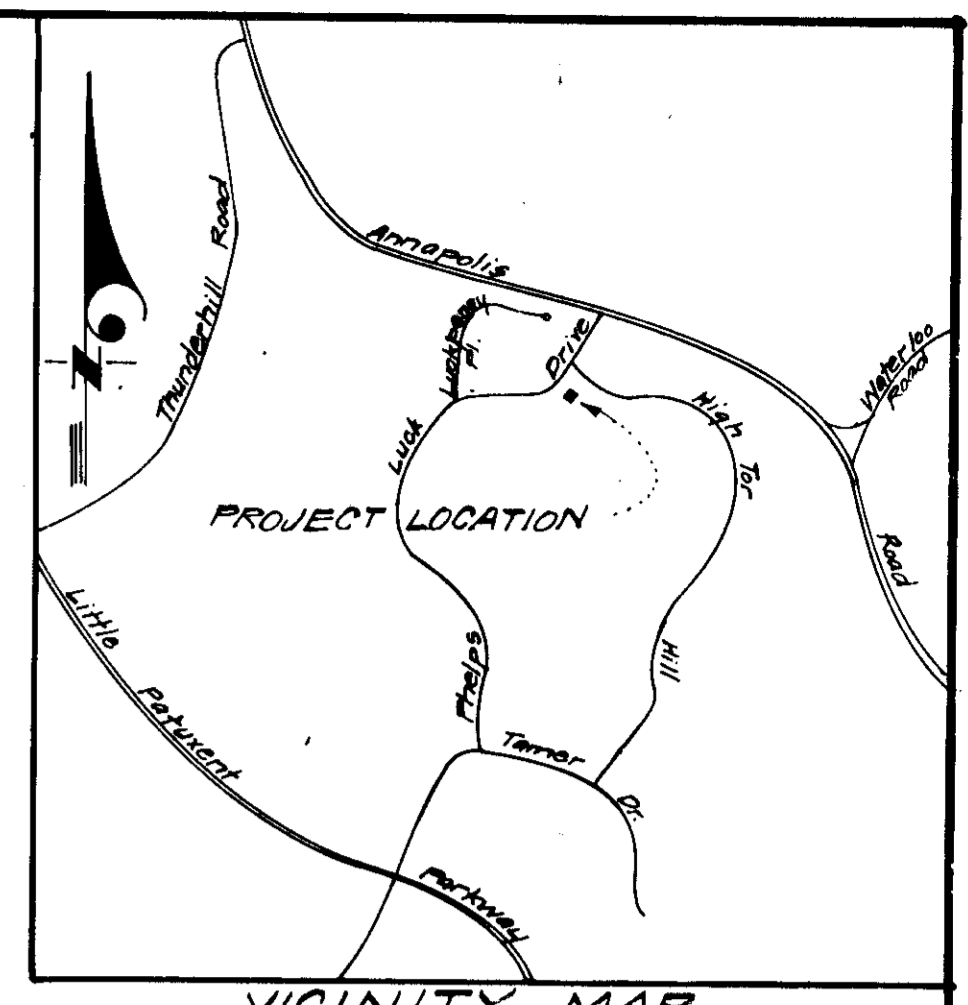
APPROVED  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 9-14-77

<b>CLARK • FINEFROCK &amp; SACKETT</b> ENGINEERS • PLANNERS • SURVEYORS 1111 LUCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593-3400		
DESIGNED W.H.T.	<b>SITE DEVELOPMENT PLAN</b> <b>PARCEL "P"</b> <b>COLUMBIA</b> VILLAGE OF LONG REACH SECTION I AREA I 8 <sup>TH</sup> ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1"=20'
DRAWN W.H.T.		DRAWING 1 of 3
CHECKED D.B.S.	<b>OWNER:</b> Howard Research & Development Corp. The Rouse Company Building Columbia, Maryland, 21044	JOB NO.
DATE July 1977		<b>FOR:</b> GLEN J. KOEPEWICK, INC. P.O. Box 1339 Rockville, Maryland 20850



**LEGEND**

- 1. Contour Interval 2 Ft.
- 2. Existing Contour - - - - -
- 3. Proposed Contour - - - - -
- 4. Spot Elevation +50E
- 5. Direction of Drainage - - - - -
- 6. Existing Sanitary Sewer - - - - -
- 7. Existing Storm Drainage - - - - -
- 8. Prop. Howard Co. Std. Conc. Curb & Gutter - - - - -
- 9. Prop. Howard Co. Std. Barrier Curb - - - - -
- 10. Board Fence - - - - -
- 11. Timber Retaining Wall - - - - -
- 12. Diversion Dike - - - - -
- 13. Straw Bale Dike or Silt Fence - - - - -
- 14. Stone Filter Inlet Protection - - - - -
- 15. Stabilized Construction Entrance - - - - -



VICINITY MAP  
Scale: 1"=2000'

VILLAGE OF LONG REACH  
SECTION I AREA I LOT 56.8'  
OPEN SPACE

Reviewed for Howard S.C.D.  
Name  
and meets Technical Requirements  
W. Wayne Rouse 12/21/77  
Signature Date  
U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED  
FOR SOIL EROSION AND SEDIMENT  
CONTROL BY THE HOWARD SOIL  
CONSERVATION DISTRICT.

**DEVELOPER'S CERTIFICATE**

I certify that all development and/or construction will be done according to this plan of development and plan for Erosion and Sediment Control, and I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents as are deemed necessary. Deviation from this plan will not be made unless authorized by the Howard Soil Conservation District.

John D. Myers 10-27-77  
Approved Date

Blair Koepnick 7/1/77  
Signature Date

**ENGINEER'S CERTIFICATE**

I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

G. Nelson Clark 7-5-77  
Signature Date



**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE: 9-14-77

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT	
<u>Jocelyn M. Friedman</u> 11-8-77 PLANNING DIRECTOR	DATE
APPROVED FOR HOWARD COUNTY OFFICE OF PLANNING & ZONING	
PLANNING DIRECTOR	DATE
CHIEF DIVISION OF LAND DEVELOPMENT	DATE
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS	
DIRECTOR	DATE
CHIEF BUREAU OF HIGHWAYS	DATE

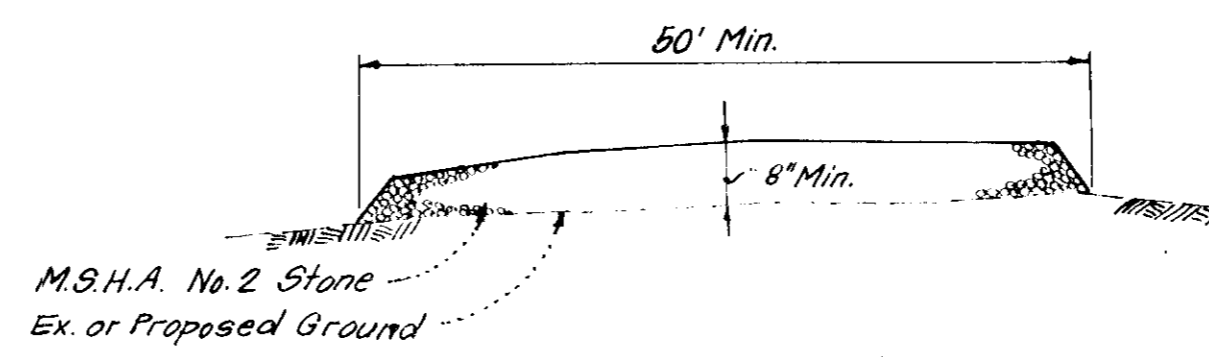
<b>CLARK • FINEFROCK &amp; SACKETT</b> ENGINEERS • PLANNERS • SURVEYORS 11115 LUKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 583-3400		
DESIGNED D.A.B.	<b>SITE DEVELOPMENT PLAN / SEDIMENT &amp; EROSION CONTROL PLAN</b> PARCEL "P"	SCALE 1"=20'
DRAWN K.I.W.	<b>COLUMBIA</b> VILLAGE OF LONG REACH SECTION I AREA I 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	DRAWING 2 of 3
CHECKED G.N.C.		JOB NO.
DATE July, 1977	FOR: <b>GLEN J. KOEPNICK, INC.</b> P.O. Box 1339 Rockville, Maryland 20850	FILE NO. 1252-SE



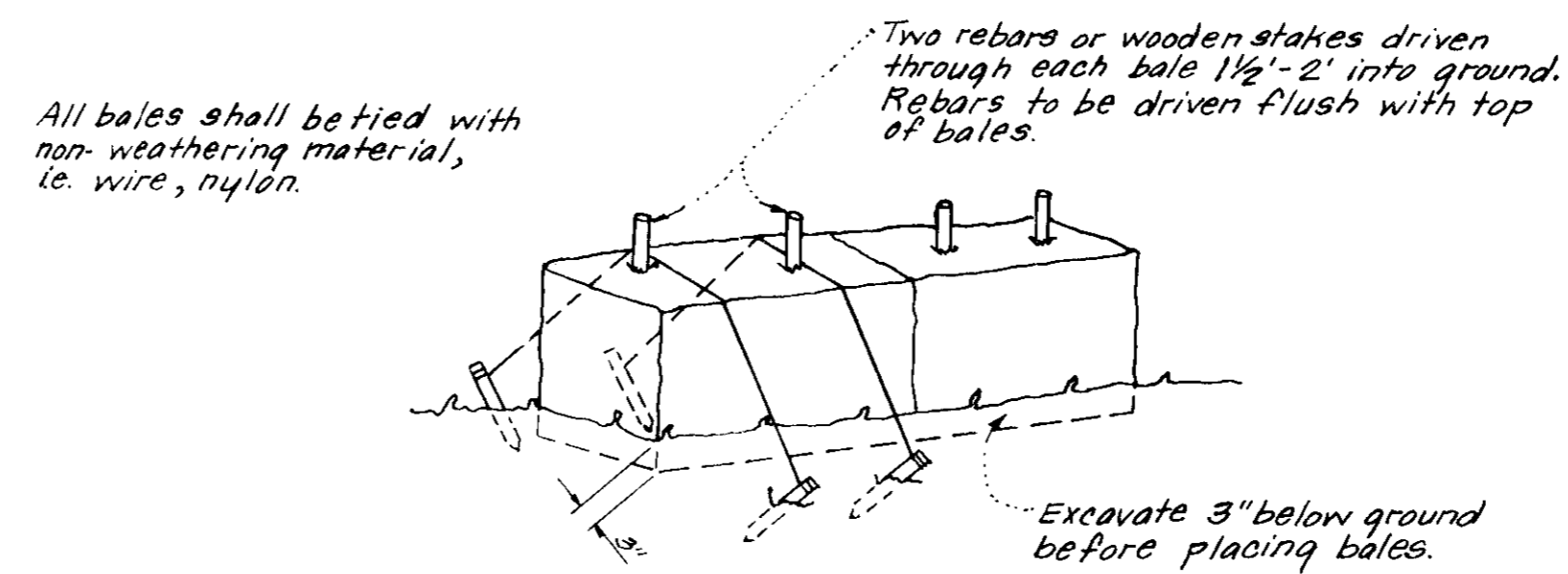
**GENERAL NOTES**

- All Sediment and Erosion Control Measures will be installed and stabilized according to this plan prior to any other grading, clearing, or disturbance of the existing surface of the site. See Note #3 for stabilization except that the seed mixture will be annual rye applied at the rate of 1.4 lbs/1000 sq.ft.
- Notify the Bureau of Inspections and Permits at least 24 hrs before starting any work.
- All Sediment Control Practices to conform to the Standards and Specifications for Soil Erosion and Sediment Control in Developing Areas and shall be adjusted to meet actual field conditions.
- Stabilization of disturbed ground to be done as soon after construction as possible.
- All grading shall be treated in accordance with the following Specifications:
  - Seed - certified 85% germination applied at the rate of 3lbs/1000 sq.ft. mixture - 40% Kentucky Blue, 20% Chewing Fescue, 20% Kentucky 31, and 20% Annual Rye.
  - Fertilizer - 10-10-10 applied at the rate of 23lbs/1000 sq.ft. Ground agricultural lime or dolomitic lime applied at the rate of 46 lbs/1000 sq.ft.
  - Mulch - Weed free grain straw applied at the rate of 70lbs/1000sq.ft. Mulch shall be secured to the ground by any approved method, i.e. asphalt tacks, chemical binder, wood chips, etc.
- All Structural Sediment Control Measures are to remain in place until permission for their removal has been obtained from the Bureau of Inspections and Permits.
- On site inspection and maintenance of all sediment control measures including cleanup of sediment traps and dikes, and proper establishment of all planned vegetative measures will be the responsibility of the Developer or his representative on the site, on a continuing day to day basis.
- Protection of stabilized area from sediment runoff shall be provided by the use of an approved sediment control device, i.e. straw bales, diversion dikes, etc.
- Site Analysis:
 

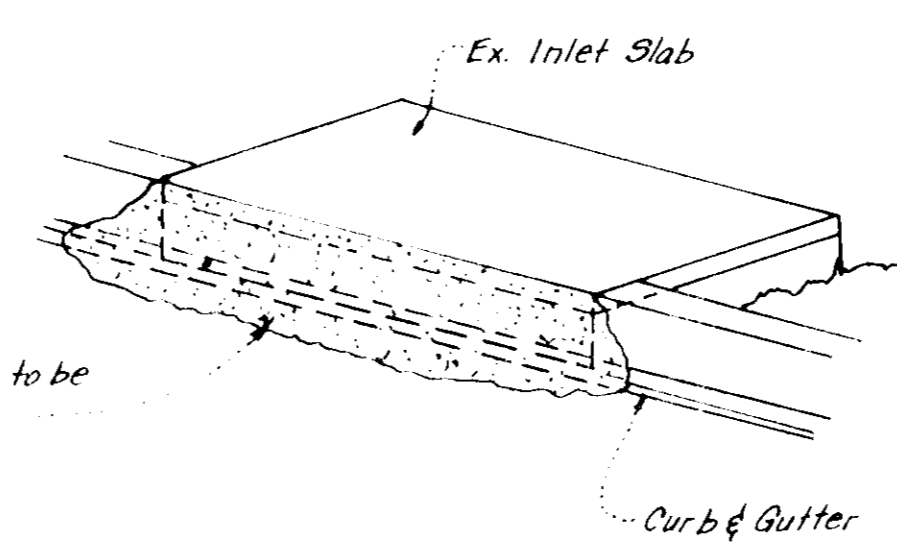
Total Area:	0.500 Acres
Area to be Roofed:	0.046 Acres
Area to be Paved:	0.181 Acres
Area to be Seeded:	0.167 Acres
Area Undisturbed:	0.106 Acres
- The Contractor shall keep all public roads free of sediment deposits left from traffic leaving construction site.
- Stabilized Construction Entrances shall be constructed at all construction entrances.
- CONSTRUCTION SEQUENCE:
  - Install Sediment and Erosion Control Devices and stabilize Diversion Dikes.
  - Excavate for foundations and rough grade.
  - Erect Structures, driveways and sidewalks.
  - Final grade and stabilize in accordance with General Note #5.
- If Houses are to be constructed on an "As-Sold" basis of random, Single Lot Sediment Control, as shown on this sheet shall be implemented.
- It will be the Developer's responsibility, to provide additional Sediment and Erosion Control Devices to protect stabilized areas during construction.
- Total Amount of Straw Bales or Silt Fence = 50 L.F.



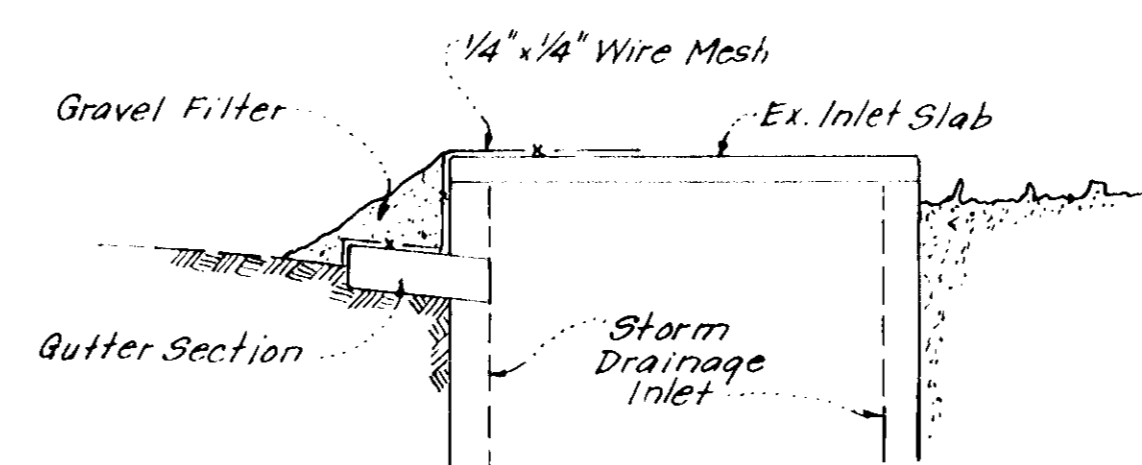
**STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
No Scale



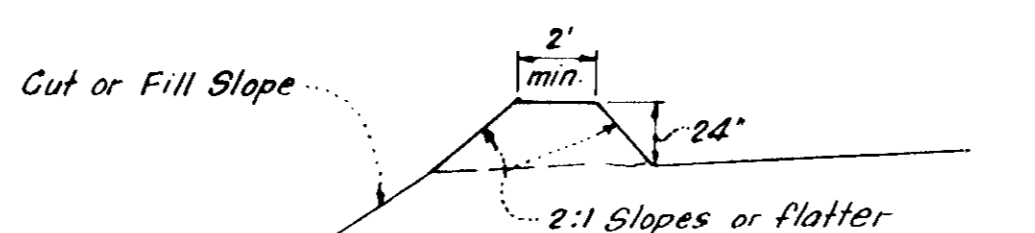
**TYPICAL STRAW BALE DETAIL (S.B.D.)**  
No Scale



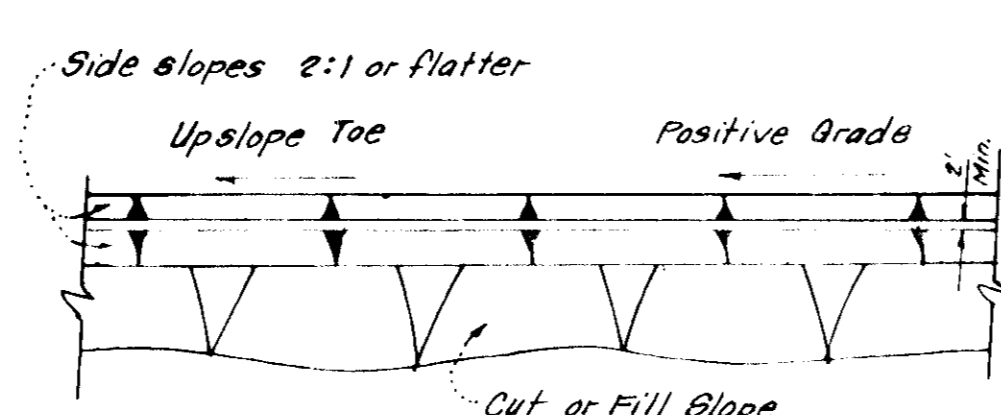
**ISOMETRIC VIEW**



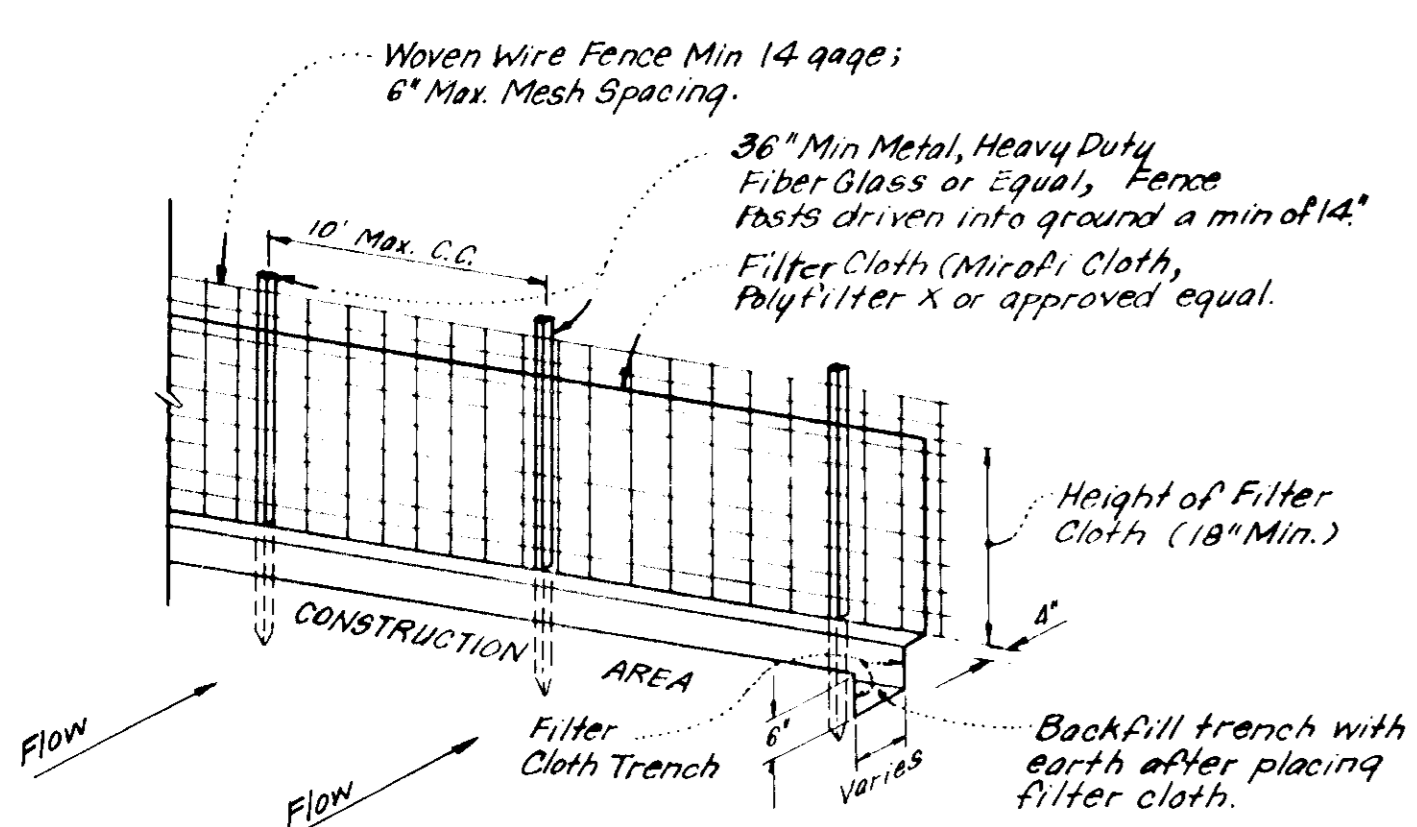
**SECTION VIEW**  
**STONE FILTER INLET PROTECTION DETAIL (S.F.I.P.)**  
No Scale



**CROSS SECTION**



**PLAN VIEW**  
**DIVERSION DIKE (DD)**  
No Scale



- NOTES:**
- Woven Wire Fence to be fastened securely to fence posts by use of wire ties.
  - Filter Cloth to be fastened securely to woven wire fence by use of wire ties spaced every 24" x 24".

**SILT FENCE DETAIL (S.F.)**  
NO SCALE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.  
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 11-8-77  
 APPROVED BY HOWARD COUNTY OFFICE OF PLANNING & ZONING  
 PLANNING DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE: \_\_\_\_\_  
 APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS & PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR: \_\_\_\_\_ DATE: 11/11/77  
 CHIEF, DIVISION OF HIGHWAYS DATE: \_\_\_\_\_

Reviewed for HOWARD S.C.D. Name: \_\_\_\_\_ and meets Technical Requirements  
 Signature: *[Signature]* Date: 10/27/77  
 U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Approved: *[Signature]* Date: 10-27-77

DEVELOPER'S CERTIFICATE  
 I certify that all development and/or construction was in accordance with the plan of development and meets all applicable laws, codes, and ordinances and that I am providing the necessary information to the Howard Soil Conservation District or their authorized agents as are deemed necessary. Deviation from this plan will not be made unless authorized by the Howard Soil Conservation District.

Signature: *[Signature]* Date: 7/1/77

ENGINEER'S CERTIFICATE  
 I hereby certify that the plan for this project conforms to all applicable laws, codes, and ordinances and that I am providing the necessary information to the Howard Soil Conservation District.

Signature: *[Signature]* Date: 7-5-77



APPROVED  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE: 9-14-77

CLARK • FINEFROCK & SACKETT ENGINEERS • PLANNERS • SURVEYORS 11315 LOCKWOOD DRIVE • SILVER SPRING, MARYLAND 20904 • (301) 993-3400		
DESIGNED D.A.B.	SITE DEVELOPMENT PLAN SEDIMENT & EROSION CONTROL PLAN PARCEL 1P <b>COLUMBIA</b> VILLAGE OF LONGREACH SECTION 4, AREA 1 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND FOR: GLEN J. KOEPEINICK, INC. P.O. Box 1339 Rockville, Md. 20850	SCALE As Shown
DRAWN K.I.W.		3 of 3
CHECKED G.N.C.		JOB NO.
DATE July, 1977		1252-SE