

APPROVED FOR PUBLIC WATER AND PUBLIC SEWER.
HOWARD COUNTY DEPARTMENT.

Joyce M. Brylins 5/20/77
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING

Thomas L. Daniels 5-23-77
PLANNING DIRECTOR DATE

John W. Murrell 5-23-77
CHIEF DIVISION OF LAND DEVELOPMENT DATE

APPROVED FOR STORM DRAINAGE, PUBLIC SEWERAGE,
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

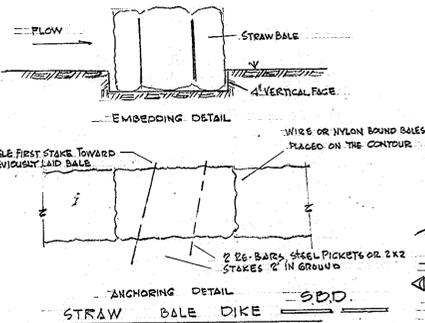
P. J. Ragan 5-18-77
DIRECTOR DATE

Annice W. McElreath 5/16/77
CHIEF, BUREAU OF HIGHWAYS DATE

SITE ANALYSIS
TOTAL AREA OF SITE : 2.52 AC.
DISTURBED AREA : 0.93 AC.
TOTAL AREA PAVED : 0.67 AC.
TOTAL CUT : 11,000 CU YD
TOTAL FILL : 11,000 CU YD.

CONSTRUCTION SEQUENCE
1. INSTALL SEDIMENT CONTROL MEASURES
2. GRADE SITE
3. CONSTRUCT PAVEMENT & STORM DRAINS
4. CONSTRUCT BUILDING

5. FINISH OUT SITE.
ESTIMATED CONSTRUCTION TIME
STEPS 1 THRU 5 ABOVE
BEGIN MAY 15, 1977
FINISH NOV. 15, 1977



ANCHORING DETAIL STRAW BALE DIKE S.D.D.

LIGHTING
E.G.E. 400 WATT POWER
FLOOD MERCURY VAPOR
LAMP - HEIGHT 20 FT.

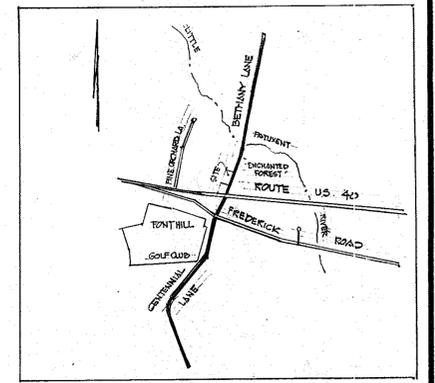
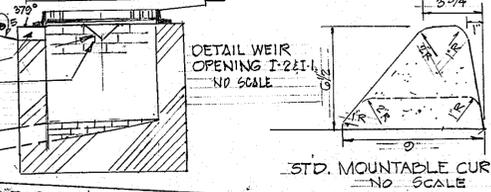
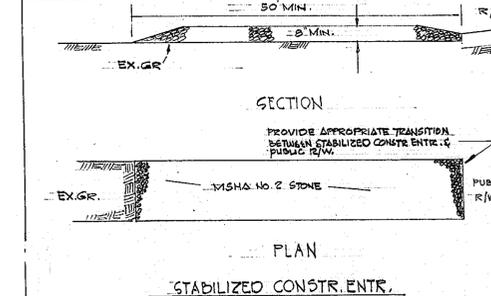
SEDIMENT CONTROL NOTES

- OBTAIN GRADING PERMIT
- THE HO. CO. BUREAU OF LICENSE, INSPECTION & PERMITS WILL BE GIVEN 24 HRS. NOTICE PRIOR TO ANY GRADING.
- ALL SEDIMENT CONTROL MEASURES SHOWN ON THIS PLAN UNLESS OTHERWISE SPECIFIED WILL BE INSTALLED & STABILIZED IN ACCORDANCE WITH NOTE #8
- ALL SLOPES TO BE MAX. 3:1
- FOLLOWING THE STABILIZATION OF ALL AREAS TO BE UPGRADED, THE AREA OF SEDIMENT CONTROL MEASURES MAY BE REMOVED & GRADED TO THE FINAL GRADE SHOWN & STABILIZED IMMEDIATELY.
- IN THE EVENT OF EXCESS MATERIAL, EXCESS WILL BE STOCKPILED WITH A MAX. SLOPE OF 3:1 IN AN AREA WHICH HAS BEEN CLEARED ON SITE. STOCK PILED MATERIAL SHALL BE STABILIZED IN ACCORDANCE WITH NOTE #8.
- SEDIMENT CONTROL MEASURES WILL NOT BE REMOVED UNTIL APPROVAL IS OBTAINED FROM THE HO. COUNTY BUREAU OF LICENSE, INSPECTION & PERMITS.
- TEMPORARY STABILIZATION
APPLY: 2000 LBS. PER AC. OR 11.5 LBS. PER SQ. FT. OF FULVERIZED LIMESTONE, 500 LBS. PER AC. OR 11.5 LBS. PER SQ. FT. OF 5-5-5 FERTILIZER, ELANTO RYE GRASS @ 40 LBS. PER AC., FERTILIZE WITH 5-10-10 & MULCH WITH STRAW @ 1 1/2 TONS PER AC. & ANCHOR PERMANENT STABILIZATION
- PERMANENT STABILIZATION
APPLY 2000 LBS. PER AC. OF FULVERIZED DOLOMITIC LIMESTONE 700 LBS. PER AC. OF 0-20-0 SUPER PHOSPHATE 1000 LBS. PER AC. OF 10-10-10 FERTILIZER SEED: 25 LBS. PER AC. OF KENTUCKY 31 TALL FESCUE.
CONTINUED - SEE ABOVE



OWNER: CHARLES E. MANN
DEED REF. LIBER 236 FOLIO 401
ZONED R-20

25 LBS. PER AC. OF ANNUAL RYE GRASS
NOTE: SEED BETWEEN MAR. 1 - MAY 1, OR AUG. 1 - OCT. 1 ONLY
MULCH: 2 TONS PER AC. OF UNWEATHERED WHEATSTRAW
BE DOWN MULCH WITH 400 GAL. PER AC. OF LIQUID ASPHALT.



SCALE: 1" = 200'
ADC MAP: 4815/GC

GENERAL NOTES
1. PARCEL NO. 992A BLOCK NO. 2 TAX MAP NO. 24
2. AREA OF PARCEL 120,745 SQ. FT. OR 2.7719 AC.
3. ZONING: R-20 - ZONING MAP '74
4. PUBLIC WATER & PUBLIC SEWER
5. OWNER: STANLEY BOARDMAN
6. DEED REF. LIBER 601 FOLIO 450
7. PROPOSED USE: BICYCLE RETAIL & REPAIR
8. NO. OF EMPLOYEES: 15
9. PARKING: 12,383 SF RETAIL SALES, REPAIR & WAREHOUSE
NO. OF SPACES REQUIRED: 25

NO. OF SPACES SHOWN: 25, INCLUDING 2 HO. SPACES
10. BUILDING SIZE EXISTING: 7,100 SF PROPOSED: 12,383 (TOTAL)
FIRST FLOOR: 14,021 SF (RETAIL, REPAIRS, WAREHOUSE)
MEZANINE: 2,362 SF (OFFICE & STORAGE)

STORM WATER MANAGEMENT
INLET I-2: 0.54 AC. REQUIRED STORAGE: 8800 CU FT. STORAGE SHOWN: 9150
MAX. DEPTH: 6 INCHES
DISCHARGE 10% STORM AFTER DEVELOPMENT @ 3.78
DISCHARGE 24% STORM BEFORE DEVELOPMENT @ 0.68 CFS
USE 1/2" NOTCH IN NORTH FACE OF I-2 (CATTERED) 0.5' DEEP X 1' LONG.

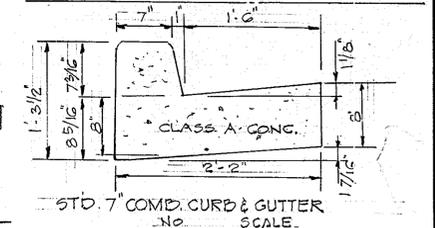
PARKING PER NEEDS ANALYSIS. ANY CHANGE IN USE WILL REQUIRE AN EVALUATION OF PARKING.

CONSTRUCTION DETAILS

BITUMINOUS CONG. SURFACE BAND C-2	1
BITUMINOUS CONG. BASE BAND C-2 OR C-3	4

CLEARING & GRADING ARTICLE C-1
SUBGRADE ART. C-2
BASE COURSE ART. C-3 OR C-3S
SURFACE ART. C-3
TO BE CONSTRUCTED IN ACCORDANCE WITH THE HO. CO. RD. CONSTRUCTION CODE & SPECS.

TYPICAL PAVING SECTION

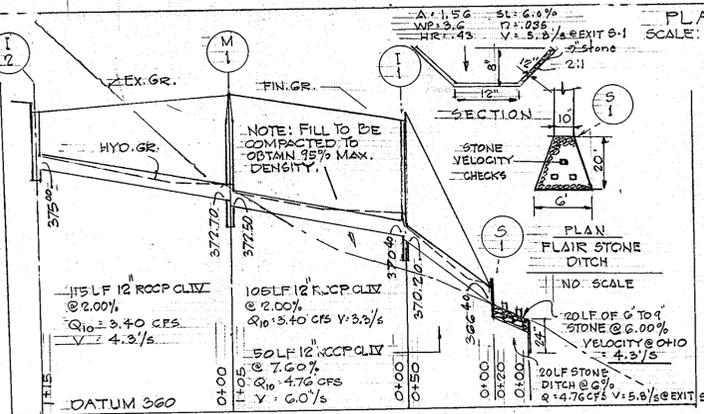
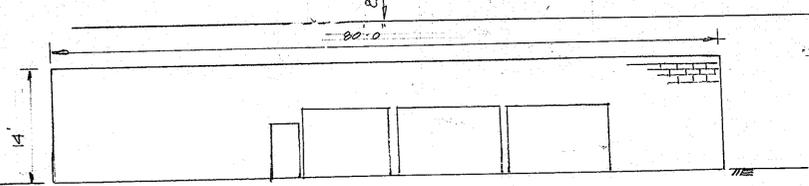
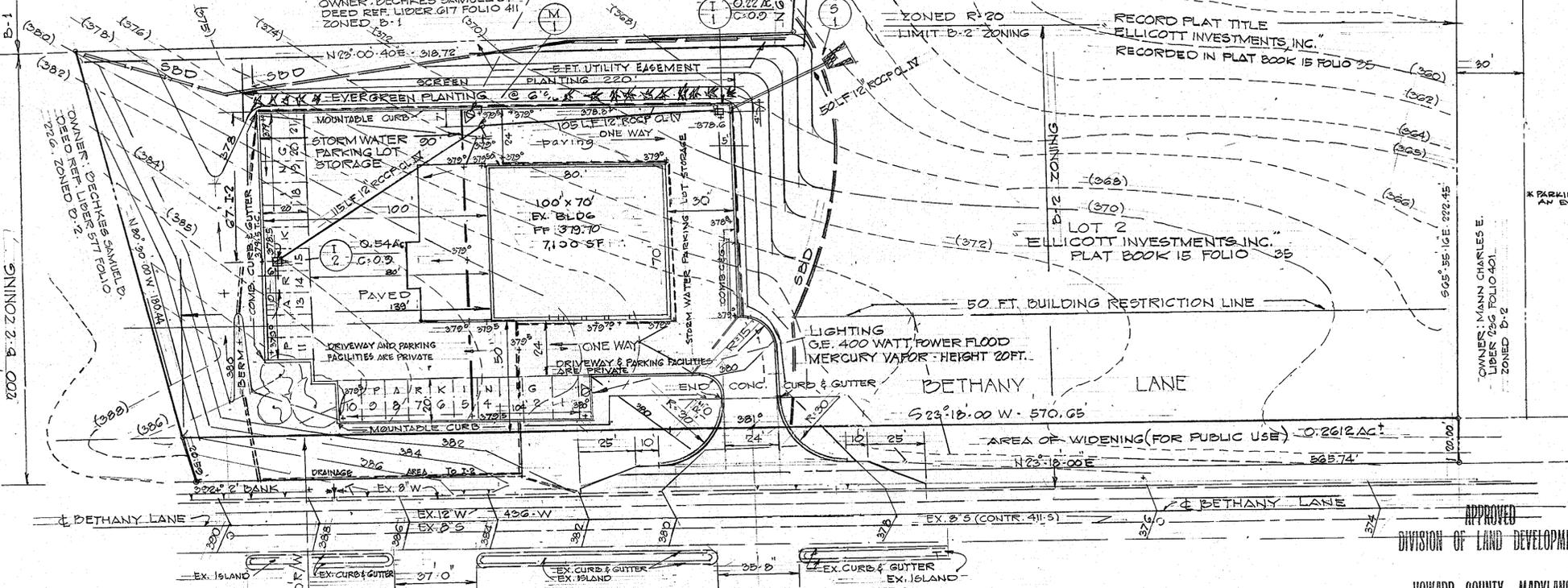


ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL & WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS & THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HO. SOIL CONSERVATION DISTRICT.
John R. Hollander 2/24/77
PROFESSIONAL ENGINEER DATE

DEVELOPER'S CERTIFICATE
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT & PLAN FOR EROSION & SEDIMENT CONTROL. WE AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HO. SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HO. SOIL CONSERVATION DISTRICT.
Kenneth L. Jantz 2-23-77
DATE

REVIEWED FOR HO. SOIL CONSERVATION DISTRICT & MEETS TECHNICAL REQUIREMENTS.
Walter Bonetto 5-13-77
U.S. SOIL CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION & SEDIMENT CONTROL BY THE HO. SOIL CONSERVATION SERVICE.
John D. McEvers 5-13-77
SOIL CONSERVATION DISTRICT DATE



STRUCTURE		SCHEDULE		REMARKS
NO.	TYPE	INV. IN	TOP EL.	
S-1	HO. CO. STD. TYPE C ENDWALL	366.40	367.80	SEE HO. CO. STD. DETAILS DRWG. D-52 PAGE 107
I-1	HO. CO. STD. CLASS 'S' INLET	370.40	371.80	SEE HO. CO. STD. DETAILS DRWG. D-98 PAGE 153
M-1	HO. CO. STD. MANHOLE	372.70	373.90	SEE HO. CO. STD. DETAILS DRWG. D-103 PAGE 158
I-2	HO. CO. STD. CLASS 'S' INLET	375.00	376.40	SEE HO. CO. STD. DETAILS DRWG. D-98 PAGE 153

APPROVED
DIVISION OF LAND DEVELOPMENT
HOWARD COUNTY, MARYLAND
DATE 5-3-77
JWM

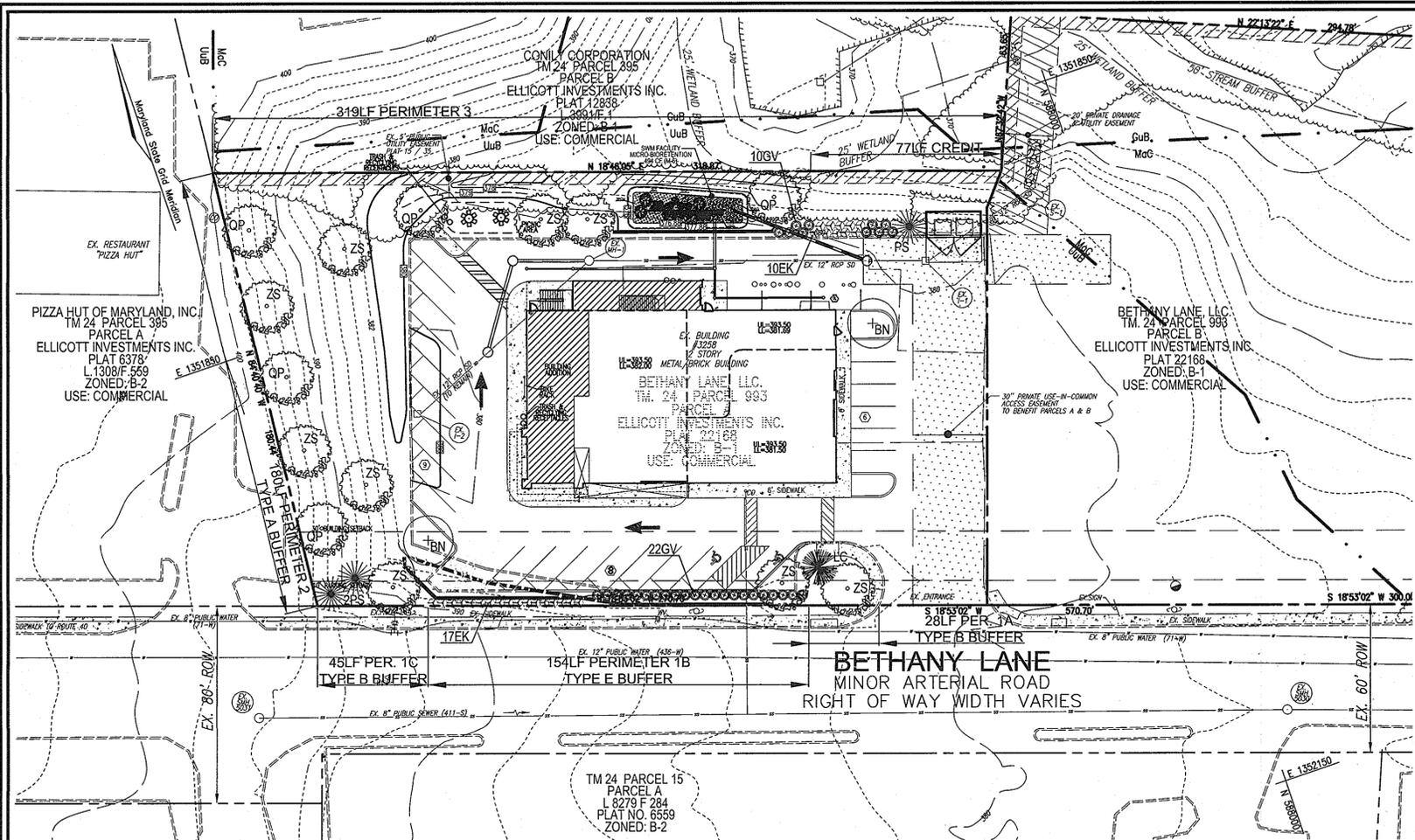
OWNER: STANLEY BOARDMAN
2436 BALTIMORE NAT. PIKE
ELLICOTT CITY MD. 21043

REVISION #1 NOTE: DUE TO THE COMPLEXITY OF DETAILING IMPROVEMENTS FOR THE BUILDING ADDITION ON THIS SHEET ALL EXISTING AND PROPOSED CONDITIONS FOR THE PROPOSED IMPROVEMENTS HAVE BEEN SHOWN ON SHEETS 2-5.

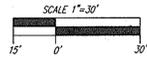
REVISED SITE DEVELOPMENT PLAN
RACE PACE
3258 BETHANY LANE
2ND DISTRICT ZONED: B-1 HO. CO. MD.
SCALE: 1" = 30' L14543/F. 200 FEB. 1977
RETAIL OFFICE

ENGINEERS:
LAND DEVELOPMENT CONSULTANTS
3028 B. TOWN & COUNTRY BLVD.
ELLICOTT CITY MD. 21043
TELEPHONE 465-8518

1	8/21/73	MODIFY EXISTING BUILDING TO ADD BUILDING ADDITION AND TO ADD PARKING	SHEET 1 OF 5
REV	DATE	DESCRIPTION	BY



STORM DRAIN DRAINAGE AREA MAP
SCALE: 1"=30'



LANDSCAPE NOTES

- AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
- THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS OWED, DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD, AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE HOWARD COUNTY LANDSCAPE MANUAL.
- PLANTINGS SHOWN HEREON ARE THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL DURING THE CONSTRUCTION OF THE FINAL PLAN. ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT AAN SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH HRD PLANTING SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

GENERAL NOTES:

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. A FINANCIAL SURETY FOR THE LANDSCAPING IN THE AMOUNT OF \$7,020.00 FOR THE REQUIRED 17 SHADE TREES, 5 EVERGREENS, AND 39 SHRUBS SHALL BE POSTED WITH THE GRADING PERMIT.
- THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, DEVELOPMENT OR CONSTRUCTION OF THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION, OR BUILDING AND GRADING PERMITS.
- THERE ARE NO BURIAL GROUNDS, CEMETERIES, OR HISTORIC STRUCTURES LOCATED ON THIS PROPERTY.
- ANY EXISTING STREET TREES DAMAGED OR DESTROYED DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR.
- LANDSCAPING IS NOT PERMITTED WITHIN 7.5' ON EACH SIDE OF THE FIRE DEPARTMENT CONNECTION. PROVIDE A CLEAR, UNOBSTRUCTED ACCESS PATH TO THE FIRE DEPARTMENT CONNECTION. NFPA-1 13.1.4.

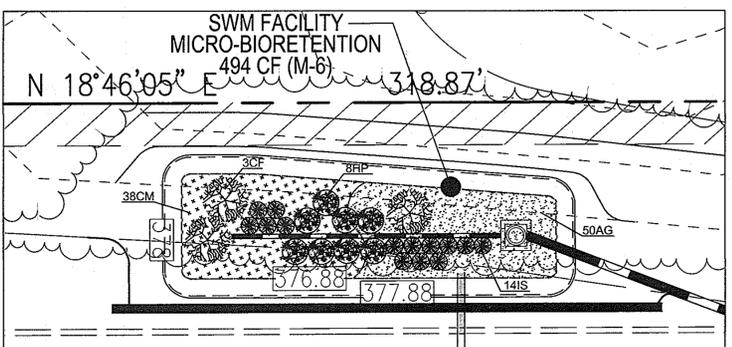
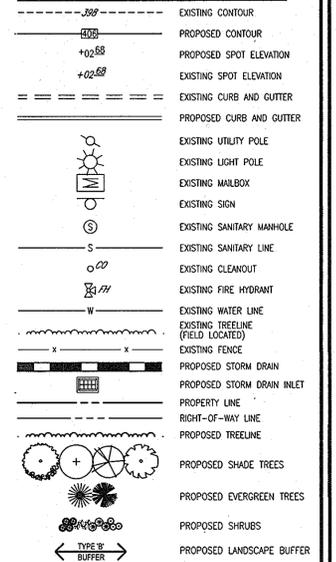
CATEGORY	ADJACENT TO PERIMETER PROPERTIES AND ROADWAYS				ADJACENT TO DRIVEWAY	TOTAL
	1A	1B	1C	2		
PERIMETER/FRONTAGE DESIGNATION	B	E	B	A	C	
LANDSCAPE TYPE						
LINEAR FEET OF ROADWAY - FRONTAGE/PERIMETER	28'	154'	45'	180'	319'	42'
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	YES 77'	YES
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED						
SHADE TREES	1:50	1:40	4	1:50	1:60	3
EVERGREEN TREES	1:40	1:4	39	1:40	2	-
SHRUBS						
NUMBER OF PLANTS PROVIDED	1	1*	1	6*	5	-
SHADE TREES	1	-	2	-	1	9
OTHER TREES (2:1 SUBSTITUTION)	-	-	-	-	-	5
SHRUBS (10:1 SUBSTITUTION)	-	39	-	-	-	20*
DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED						

* 3 SHADE TREES REQUIRED FROM PERIMETER 1B PLANTED IN PERIMETER 2.
** 20 SHRUBS SUBSTITUTED FOR 1 SHADE TREES AND 1 EVERGREEN TREES IN PERIMETER 4.

KEY	QUAN.	BOTANICAL NAME	SIZE	CAT.
ZS	9	ZELKOVA SERBATA 'VILLAGE GREEN'	2 1/2"-3" CAL.	B & B
OP	5	QUERCUS PALUSTRIS	2 1/2"-3" CAL.	B & B
BN	2	BETULA NIGRA 'HERITAGE'	2 1/2"-3" CAL.	B & B
PS	3	PRINUS STROBUS 'EASTERN WHITE PINE'	6'-8' HT.	B & B
LC	1	LEUCODENDRON 'LETYLANDI'	6'-8' HT.	B & B
GV	32	BUXUS MICROPHYLLA 'GREEN VELVET'	2' - 2 1/2' HT.	B & B
EK	27	EUONYMUS KIAMTSCHOWICU 'MANHATTAN'	2' - 2 1/2' - 3' HT.	B & B

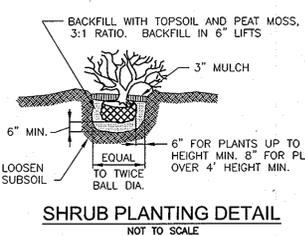
SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PROPOSED PARKING SPACES	25
NUMBER OF TREES REQUIRED (1/20 SPACES)	2
NUMBER OF TREES PROVIDED	2
SHADE TREES	2
OTHER TREES (2:1 SUBSTITUTION)	-

LEGEND:



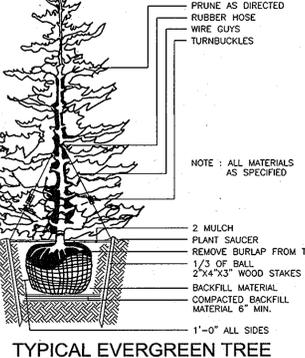
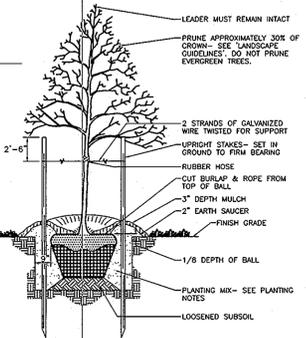
BIORETENTION PLANTING REQUIREMENTS				
MRB	AREA	STEMS REQUIRED	STEMS PROVIDED	
1	494 SF	12	25	

BIORETENTION PLANTING SCHEDULE				
MRB	QTY	BOTANICAL NAME/COMMON NAME	SIZE	REMARKS
92	1	RED BIRCH 'WOODRIF BLUE'	1 GALLON	18" O.C.
53	1	HIBISCUS 'FRANCOIS BLUE EYES'	1 GALLON	30" O.C.
56	1	GRAPES 'MUSCAD' '30 BLUE'	4" HT	STEM QUALITY THROUGH CLIP
20	1	ORNIS 'SERVUS' 'THURNBERG'	4" HT	STEM QUALITY THROUGH CLIP
250	1	CONYLIUM MAJUS 'LILY OF THE VALLEY'	1 QT.	12" O.C.
333	1	ADONIS GRANIBOSUS 'TODD'	1 QT.	12" O.C.



NOTES

- SEE 'LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS' FOR ALL MATERIAL, PRODUCT, AND PROCEDURE SPECIFICATIONS.
- SEE 'LANDSCAPE GUIDELINES' FOR SUPPORTING TREES LARGER THAN 2-1/2" CALIPER.
- PLACE UPRIGHT STAKES PARALLEL TO WALLS & BUILDINGS.
- KEEP MULCH 1" FROM TRUNK.
- SEE ARCHITECTURAL PLANS FOR ADDITIONAL PLANTINGS WHICH EXCEED HOWARD COUNTY MINIMUM REQUIREMENTS.
- TREES ARE NOT TO BE PLANTED OVER PRIVATE SEWAGE EASEMENT.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

OWNER/DEVELOPER
 VELO PROPERTIES ELLICOTT CITY, LLC
 2834 COON CLUB ROAD
 WESTMINSTER, MD 21157

1	REVISE PLAN FOR BUILDING ADDITION	07-19-13
NO.	REVISION	DATE

REVISED SITE DEVELOPMENT PLAN
 STORM DRAIN AND SWM DRAINAGE AREA MAPS; SWM NOTES AND DETAILS
 RACE PACE
 3258 BETHANY LANE
 L14583P-200
 RETAIL/OFFICE

TAX MAP 24 GRID 2
 2ND ELECTION DISTRICT

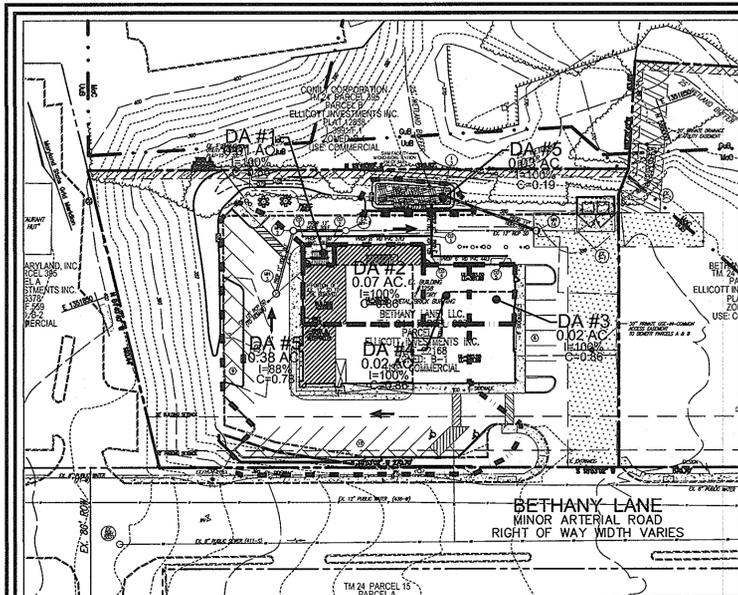
PARCEL 993, PARCEL A
 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961

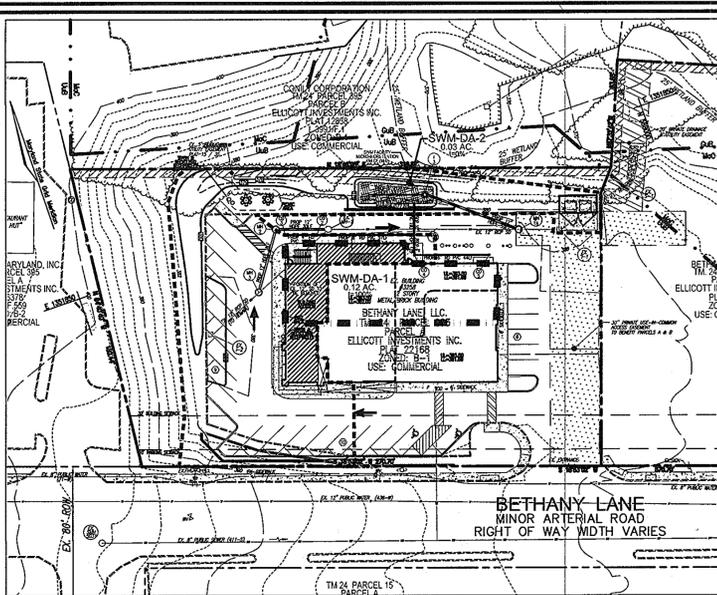
PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 18183
 EXPIRATION DATE: 08-27-2014

DESIGN BY: DZ
 DRAWN BY: DZ
 CHECKED BY: RHV
 DATE: OCTOBER 2013
 SCALE: AS SHOWN
 W.O. NO.: 12-35

5 SHEET OF 5



STORM DRAIN DRAINAGE AREA MAP
SCALE: 1"=50'



SWM DRAINAGE AREA MAP
SCALE: 1"=50'

APPENDIX B.A.C SPECIFICATIONS FOR MICRO-BIOTENTION, RAIN GARDEN, LANDSCAPE INFILTRATION & INFILTRATION BERMS

1. MATERIAL SPECIFICATIONS
THE ALLOWABLE MATERIALS TO BE USED IN THESE PRACTICES ARE DETAILED IN TABLE B.A.1.

2. FILTERING MEDIA OR PLANTING SOIL
THE SOIL SHALL BE A UNIFORM MIX FREE OF STONES, STUMPS, ROOTS OR OTHER SOLID OBJECTS LARGER THAN TWO INCHES. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR PLACED WITH THE MEDIA OR SOIL. THE MEDIA OR SOIL SHALL BE FREE OF BENZENE, CHLORINE, COPPER, LEAD, MERCURY, NICKEL, PESTICIDES, PHOSPHORUS, POTASSIUM, SILVER, ZINC, OR OTHER HAZARDOUS MATERIALS AS SPECIFIED UNDER COMAR 26.03.01. THE MEDIA OR SOIL SHALL BE TESTED AND SHALL MEET THE FOLLOWING CRITERIA:
• SOIL COMPONENT - LOAMY SAND OR SANDY LOAM (SOIL TEXTURE CLASSIFICATION)
• ORGANIC CONTENT - MINIMUM USE OF ONE PART ORGANIC TO 10 PARTS OF MEDIA OR SOIL. THIS CAN BE MET WITH A MIXTURE OF LOAMY SAND (50%-60%) AND COMPOST (50% TO 10%) OR SANDY LOAM (50%) AND COMPOST (50%).
• CLAY CONTENT - SHALL BE BETWEEN 5% - 7.5% AMENDMENTS (E.G. LIME, IRON SULFATE PLUS SULFUR) MAY BE MIXED IN TO THE SOIL TO INCREASE OR DECREASE PH.
• PH RANGE - SHOULD BE BETWEEN 5.5 - 7.0. AMENDMENTS (E.G. LIME, IRON SULFATE PLUS SULFUR) MAY BE MIXED IN TO THE SOIL TO INCREASE OR DECREASE PH.
• THESE SHALL BE AT LEAST ONE SOIL TEST PER PRACTICE. EACH TEST SHALL CONSIST OF BOTH THE STANDARD SOIL TEST FOR PH AND ADDITIONAL TESTS OF ORGANIC MATTER AND SULFUR. A TEXTURAL ANALYSIS IS REQUIRED FROM THE SOIL TO BE USED FOR INFILTRATION. IF TEXTURE IS UNKNOWN, THEN A TEXTURE ANALYSIS SHALL BE PERFORMED FOR EACH LOCATION WHERE THE TOPSOIL WAS EXAMINED.

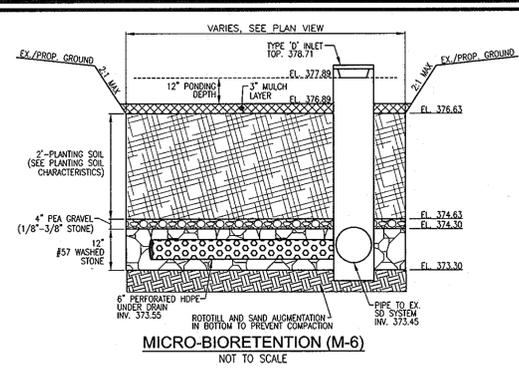
3. COMPACTION
IT IS VERY IMPORTANT TO MANAGE COMPACTION OF BOTH THE BASE OF BIOTENTION PRACTICES AND THE REDUCED BACKFILL. WHEN POSSIBLE, USE DIGGATION HOES TO REMOVE ORIGINAL SOIL. PRACTICES ARE EQUIVALENT USING LOADERS, THE COMPACTOR SHOULD USE WIDE TRACK OR WASH TRACK EQUIPMENT, OR LIGHT EQUIPMENT WITH TUFF TIRE TRUCKS. USE OF EQUIPMENT WITH NARROW TRACKS OR WASH TRACKS, RUBBER TIRES WITH LARGE TRACKS, OR HIGH-PRESSURE TIRES WILL CAUSE EXCESSIVE COMPACTION RESULTING IN REDUCED INFILTRATION RATES AND IS NOT ACCEPTABLE. COMPACTION WILL SIGNIFICANTLY CONTRIBUTE TO DESIGN FAILURE.
COMPACTION CAN BE ALLEVIATED AT THE BASE OF THE BIOTENTION FACILITY BY USING A PRIMARY TILLAGE OPERATION SUCH AS CROSSL PLOW, DISPER, OR SUBSOILER. THESE TILLAGE OPERATIONS ARE TO RESTRUCTURE THE SOIL PROFILE THROUGHOUT THE 12 INCH COMPACTION ZONE. SUBSTITUTE METHODS MUST BE APPROVED BY THE ENGINEER. ROTOTILLERS TYPICALLY DO NOT TILL DEEP ENOUGH TO REMOVE THE EFFECTS OF COMPACTION FROM HEAVY EQUIPMENT. ROTOTILL TO 3 INCHES OF SAND AND THE BASE OF THE BIOTENTION FACILITY BEFORE BACKFILLING THE OPTIMUM SAND LAYER. PUMP AND POSEED WATER BEFORE PREPARING (ROTOTILLING) SOIL.
WHEN BACKFILLING THE TOPSOIL OVER THE SAND LAYER, FIRST PLACE 3 TO 4 INCHES OF TOPSOIL OVER THE SAND, THEN ROTOTILL THE SAND/TOPSOIL TO CREATE A GRADATION ZONE. GRADATION ZONE SHOULD BE 2" TO 12" SLOTTED OR SHIPPED HARDWOOD MULCH IS THE ONLY ACCEPTED MULCH. PINE MULCH AND WOOD CHIPS WILL FLOAT AND MOVE TO THE PERIPHERY OF THE BIOTENTION AREA DURING A STORM EVENT AND ARE NOT ACCEPTABLE. SHIPPED MULCH MUST BE WELL SEED (6 TO 10 MONTHS) FOR ACCEPTANCE.
POSITION OF THE PLANT MATERIAL SHALL BE KEPT MOST DURING TRANSPORT AND ON-SITE STORAGE. THE PLANT SHALL BE PLANTED SO THAT THE PLANT MATERIAL IS ABOVE THE MULCH SURFACE. THE QUARTERS OF THE PLANTING SHALL BE AT LEAST SIX INCHES LARGER THAN THE QUARTERS OF THE PLANTING BALL. THE PLANTING SHALL BE PLANTED DURING THE WETTEST PLANTING PERIOD. THREATENED WILDS SHOULD BE KEPT AWAY FROM BIOTENTION PRACTICES. STAKES SHALL BE BRANDED (50% OF 2" STAKES ONLY AS NECESSARY AND FOR THE FIRST GROWING SEASON ONLY). STAKES ARE TO BE EQUALLY SPACED ON THE OUTSIDE OF THE TREE BALL.

4. PLANT MATERIAL
RECOMMENDED PLANT MATERIAL FOR MICRO-BIOTENTION PRACTICES CAN BE FOUND IN APPENDIX A, SECTION A.2.3.

5. PLANT INSTALLATION
SHOULD BE A BETTER ORGANIC MATERIAL SOURCE, IS LESS LIKELY TO FLOAT, AND SHOULD BE PLACED IN THE INVERT AND OTHER LOW AREAS. MULCH SHOULD BE PLACED IN A UNIFORM THICKNESS OF 2" TO 12" SLOTTED OR SHIPPED HARDWOOD MULCH IS THE ONLY ACCEPTED MULCH. PINE MULCH AND WOOD CHIPS WILL FLOAT AND MOVE TO THE PERIPHERY OF THE BIOTENTION AREA DURING A STORM EVENT AND ARE NOT ACCEPTABLE. SHIPPED MULCH MUST BE WELL SEED (6 TO 10 MONTHS) FOR ACCEPTANCE.
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CONCRETE AND LEADIC SEED SHOULD BE GRILLED INTO THE SOIL TO A DEPTH OF AT LEAST ONE INCH. GRASS AND LEGUME PLANTS SHALL BE PLANTED FOLLOWING THE HIGH-GRADES GROUND COVER PLANTING SPECIFICATIONS.
THE TOPSOIL SPECIFICATIONS PROVIDE ENOUGH ORGANIC MATERIAL TO ADEQUATELY SUPPLY NUTRIENTS FROM NATURAL CYCLING. THE PRIMARY FUNCTION OF THE BIOTENTION STRUCTURE IS TO IMPROVE WATER QUALITY. ADDING FERTILIZERS, HERBICIDES, OR AT A MINIMUM, MARKERS THIS GOAL. ONLY ADD FERTILIZER IF WOOD CHIPS OR MULCH ARE USED TO AMEND THE SOIL. ROTOTILL AREA FERTILIZED AT A RATE OF 2 POUNDS PER 1000 SQUARE FEET.

6. UNDERDRAINS
UNDERDRAINS SHOULD MEET THE FOLLOWING CRITERIA:
• PIPE - SHOULD BE 4" TO 6" DIAMETER, SLOTTED OR PERFORATED RIBBED PLASTIC PIPE (ASTM 750, TYPE 28, OR ANSITTO-M-28) IN A GRAVEL LAYER. THE PERFORATED MATERIAL IS SLOTTED, 4" RIGID PIPE (PVC OR HDPE).
• PERFORATIONS - IF PERFORATED PIPE IS USED, PERFORATIONS SHOULD BE 1/8" DIAMETER LOCATED 6" ON CENTER WITH A MAXIMUM OF FOUR HOLES PER ROW. PIPE SHALL BE SHIPPED WITH A 4" OR 4.5" HALL CHANNELS THROUGH DRAIN.
• GRAVEL - THE GRAVEL LAYER (NO. 57 STONE PREFERRED) SHALL BE AT LEAST 3" THICK ABOVE AND BELOW THE UNDERDRAIN.
• THE MAIN COLLECTOR PIPE SHALL BE AT A MINIMUM 4% SLOPE.
• A 3" RIGID, NON-PERFORATED OBSERVATION WELL MUST BE PROVIDED (ONE PER EVERY 1000 SQUARE FEET) TO PROVIDE A CLEAN-OUT PORT AND MONITOR PERFORMANCE OF THE PIPE.
• A 4" LAYER OF PEA GRAVEL (1/8" TO 3/8" STONES) SHALL BE LOCATED BETWEEN THE FILTER MEDIA AND UNDERDRAIN TO PREVENT MIXTURE OF FINES IN TO THE UNDERDRAIN. THIS LAYER AND THE PERFORATED RIBBED PLASTIC PIPE SHOULD BE 12" ABOVE THE UNDERDRAIN.
THIS MAIN COLLECTOR PIPE FOR UNDERDRAIN SYSTEMS SHALL BE CONSTRUCTED AT A MINIMUM SLOPE OF 0.5% OBSERVATION WELLS AND/OR CLEAN-OUT PIPES MUST BE PROVIDED (ONE PER EVERY 1000 SQUARE FEET OF SURFACE AREA).

7. MISCELLANEOUS
THESE PRACTICES MAY NOT BE CONSTRUCTED UNTIL ALL CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.



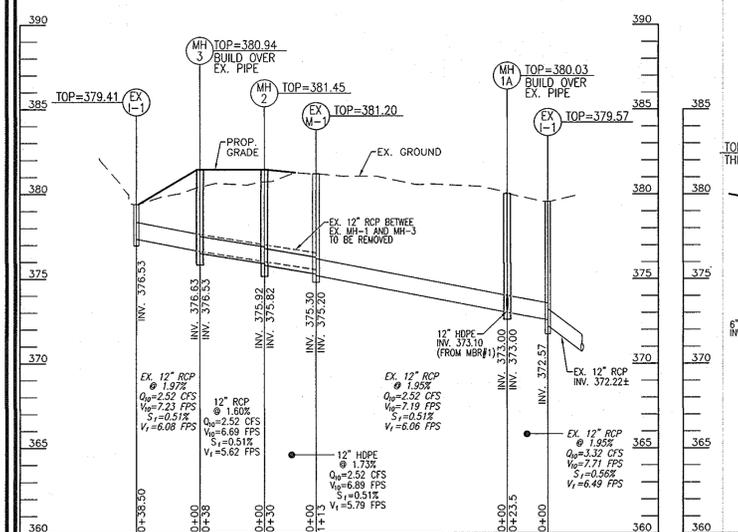
MICRO-BIOTENTION (M-6)
NOT TO SCALE

Appendix B.A. Construction Specifications for Environmental Site Design Practices

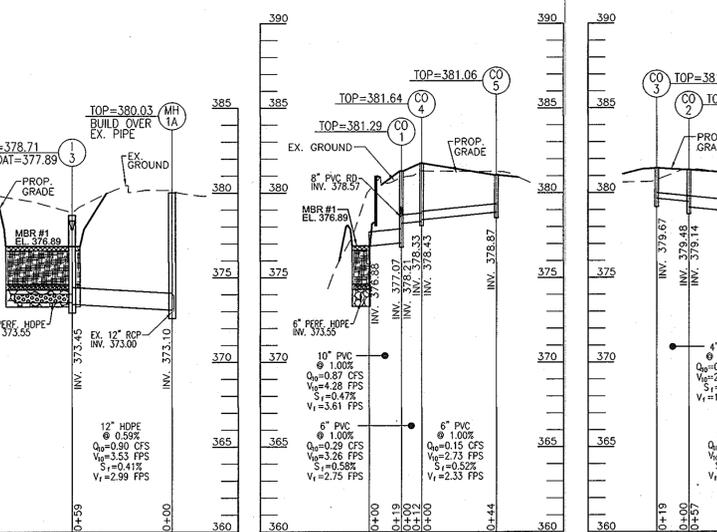
Material	Specification	Notes
Plantings	see Appendix A, Table A.4	plantings are site-specific
Flaming soil	loamy sand (60-65%) & compost (35-40%)	USDA soil types loamy sand or sandy loam; clay content < 5%
Pea gravel	ASTM D-448	NO. 8 OR NO. 9 (1/8" TO 3/8")
Gravel	ASTM D-448	NO. 57 OR NO. 4
Underdrain piping	F 758, Type 28 or ANSITTO M-28	4" to 6" rigid subsurface PVC or HDPE
Underdrain filter	1/8" to 3/8" stone	3/4" to 1" rigid subsurface PVC or HDPE
Observation well	4" to 6" rigid subsurface PVC or HDPE	3/4" to 1" rigid subsurface PVC or HDPE
Gravel underdrains and infiltration berms	ASTM D-448	NO. 57 OR NO. 4
Underdrain piping	F 758, Type 28 or ANSITTO M-28	4" to 6" rigid subsurface PVC or HDPE
Found in place concrete (if required)	MSHA Mix No. 3, F _c = 3500 psi @ 28 days, normal weight, air-entrained, reinforcing per ASTM A615-60	on-site testing of poured-in-place concrete required; 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved clear or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 308.8R9; vertical loading (10 to 100 psi) allowable horizontal loading (based on soil pressure); and analysis of potential cracking.
Sand	ASTM C-33	0.075" to 0.04"

LEGEND:

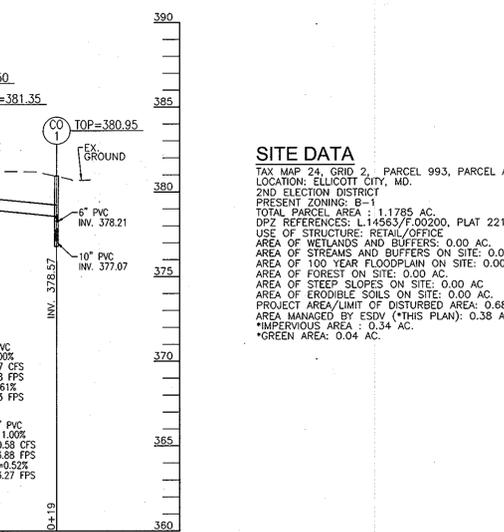
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- SOILS BOUNDARY
- PROPOSED SIDEWALK



STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

OPERATION AND MAINTENANCE SCHEDULE FOR LANDSCAPE INFILTRATION (M-3), MICRO-BIOTENTION (M-6), RAIN GARDENS (M-7), BIOTENTION SWALE (M-8), AND ENHANCED FILTERS (M-9)

- THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL, VOLUME II, TABLE A.4.1 AND 2.
- THE OWNER SHALL PERFORM A PLANT IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT. REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL. TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES.
- THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
- THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.

OWNER/DEVELOPER
VELO PROPERTIES ELLICOTT CITY, LLC
2834 COON CLUB ROAD
WESTMINSTER, MD 21157

PIPE SCHEDULE

SIZE	TYPE	LENGTH
4"	PVC (SD)	19 LF
4"	PVC (SD)	56 LF
6"	PVC (SD)	57 LF
8"	PVC (SD)	19 LF
10"	PVC (SD)	19 LF
12"	HDPE (SD)	127 LF
6"	PERF. HDPE (SWM)	33 LF

STRUCTURE SCHEDULE

NO.	TYPE	LOCATION	TOP EL	THROAT	IN/IN	INV/OUT	COMMENTS
1-3	TYPE 'D' INLET	N 587862.64 E 1351858.41	378.71	377.89	373.55	373.45	HO. CO. STD D-4-10
MH-1A	4'-0" STANDARD PRECAST MANHOLE	N 587868.17 E 1351895.67	380.03	378.19	373.60	373.60	HO. CO. STD G-5-11
MH-2	4'-0" STANDARD PRECAST MANHOLE	N 587712.76 E 1351849.11	381.45	375.92	376.82	376.82	HO. CO. STD G-5-11
MH-3	4'-0" STANDARD PRECAST MANHOLE	N 587751.16 E 1351880.82	380.94	379.32	376.39	376.39	HO. CO. STD G-5-11
CO-1	CLEAN OUT	N 587848.90 E 1351878.50	381.29	378.57	377.07	377.07	HO. CO. STD S-2-22
CO-2	CLEAN OUT	N 587794.64 E 1351860.00	381.35	379.48	379.14	379.14	HO. CO. STD S-2-22
CO-3	CLEAN OUT	N 587776.97 E 1351853.98	381.50	-	379.67	379.67	HO. CO. STD S-2-22
CO-4	CLEAN OUT	N 587845.03 E 1351889.86	381.64	378.43	378.33	378.33	HO. CO. STD S-2-22
CO-5	CLEAN OUT	N 587866.68 E 1351904.09	381.06	-	378.67	378.67	HO. CO. STD S-2-22

NOTE: 1. TOP ELEVATIONS ARE AT TOP MANHOLE COVER FOR ALL TYPE 'D' INLETS AND MANHOLES.
2. FOR TOP SLAB SLOPES SEE GRADING PLAN.

Rate Pace

ESDv=PerRevA/12
Rv=0.05+0.02RH
V min=1.07 rai/fall (1.0r/RevA)/12
Vmax=1.07 rai/fall (2.0r/RevA)/12

DA	% IMPERV	Rv	DA	ESDv	MINIMUM	MAXIMUM	VOLUME PROVIDED
18.2	69	0.67	0.15	586	364	947	494

TOTAL ESDv BY SUBAREA: 586 494

* Provided Volume is less than ESDv Require because Bio-retention utilized in each subarea at the rate of 75%.

CONTRACTOR TO TEST PIT ALL EXISTING UTILITY CROSSINGS AND TIE-INS PRIOR TO CONSTRUCTION

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Howard County 11/12/13
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Kevin DeLoach 11-19-13
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

David M. ... 11/19/13
DIRECTOR DATE

ENVIRONMENTAL SITE DESIGN PRACTICE

DRAINAGE AREA #	AREA TREATED	FACILITY NUMBER	PERMEABLE PAVEMENT	ADD UNDER INFLTRATION	LANDSCAPE SOD/WALK	BIOTENTION SWALE	TRASH TRAP	MICRO BIO	X	ESDv VOLUME
1	6515	0	0	0	0	0	0	484	0	484
SUBTOTAL 1										484

TOTAL ESDv PROVIDED: 484

REVISED SITE DEVELOPMENT PLAN
STORM DRAIN AND SWM DRAINAGE AREA MAPS; SWM NOTES AND DETAILS

RACE PACE
3258 BETHANY LANE

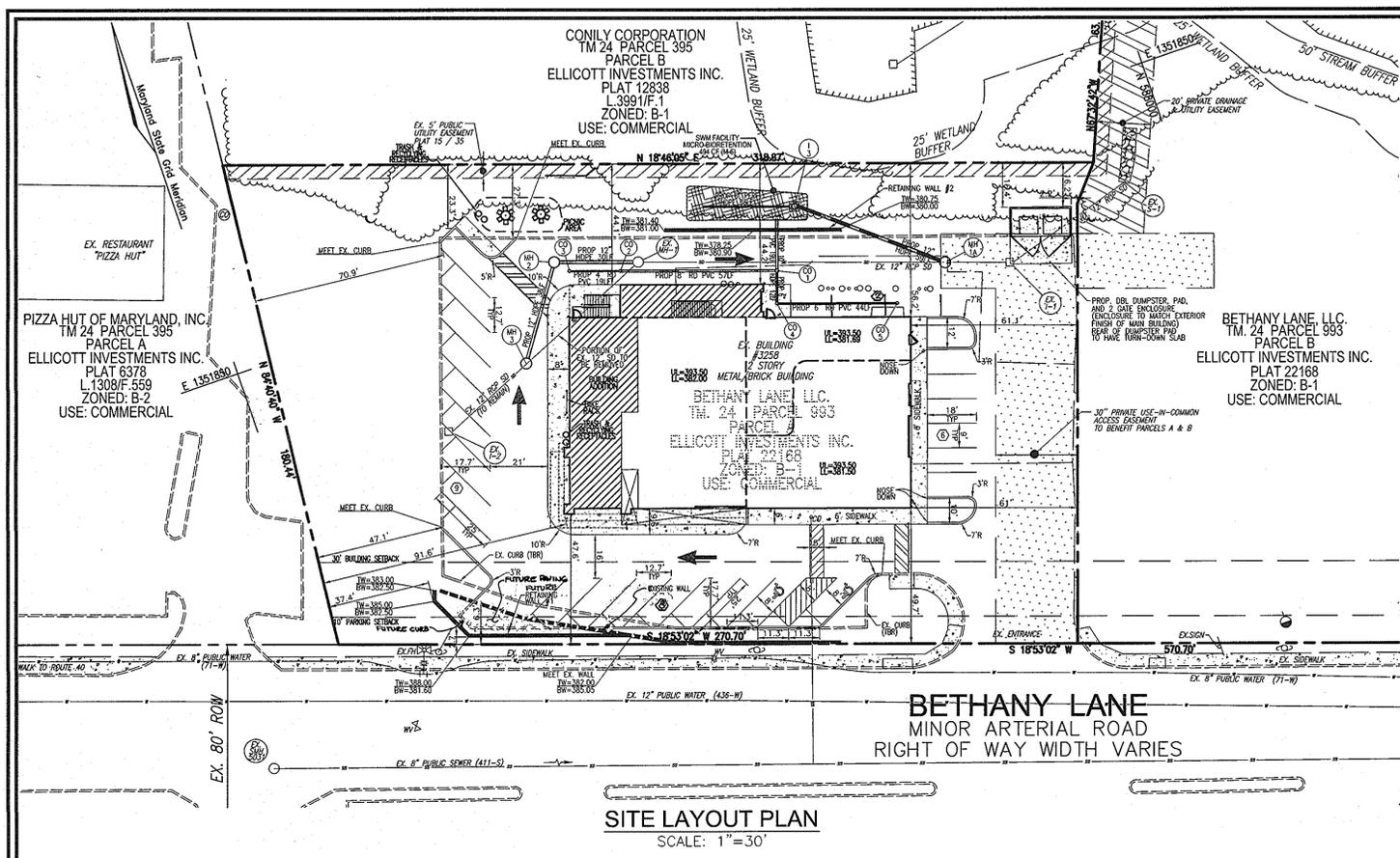
TAX MAP 24, GRID 2, 2ND ELECTION DISTRICT
PARCEL 993, PARCEL A
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELLICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 11843, EXPIRATION DATE: 09-27-2014.

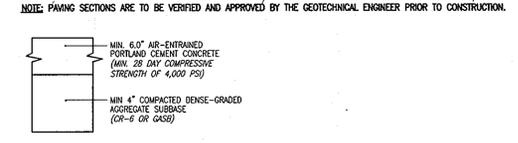
DESIGN BY: DZ
DRAWN BY: DZ
CHECKED BY: RHV
DATE: OCTOBER 2013
SCALE: AS SHOWN
W.O. NO.: 12-35

4 SHEET OF 5

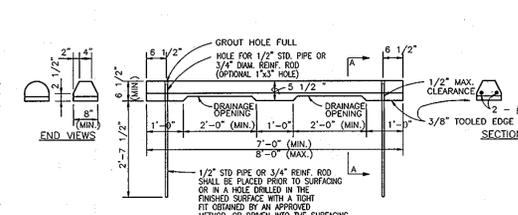


SITE LAYOUT PLAN
SCALE: 1"=30'

SECTION NUMBER	ROAD AND STREET DIMENSIONS	CALIFORNIA ROADWAY BOND (CRB)	3 TO 4.5 TO 4.7	2.7	3 TO 4.5 TO 4.7	2.7
P-1	1.5' MIN. SIDEWALK	1.5' MIN. SIDEWALK	1.5' MIN. SIDEWALK	1.5' MIN. SIDEWALK	1.5' MIN. SIDEWALK	1.5' MIN. SIDEWALK
P-2	1.5' MIN. SIDEWALK	1.5' MIN. SIDEWALK	1.5' MIN. SIDEWALK	1.5' MIN. SIDEWALK	1.5' MIN. SIDEWALK	1.5' MIN. SIDEWALK
P-3	1.5' MIN. SIDEWALK	1.5' MIN. SIDEWALK	1.5' MIN. SIDEWALK	1.5' MIN. SIDEWALK	1.5' MIN. SIDEWALK	1.5' MIN. SIDEWALK
P-4	1.5' MIN. SIDEWALK	1.5' MIN. SIDEWALK	1.5' MIN. SIDEWALK	1.5' MIN. SIDEWALK	1.5' MIN. SIDEWALK	1.5' MIN. SIDEWALK



DUMPSTER PAD PAVING SECTION
(GEOTECHNICAL ENGINEER TO CONFIRM PAVING SECTION PRIOR TO CONSTRUCTION)

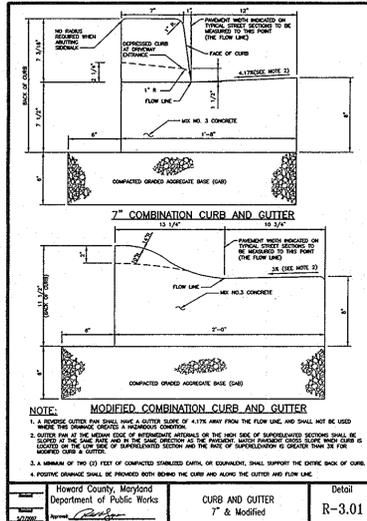


PRECAST CONCRETE WHEEL STOP DETAILS
NOT TO SCALE

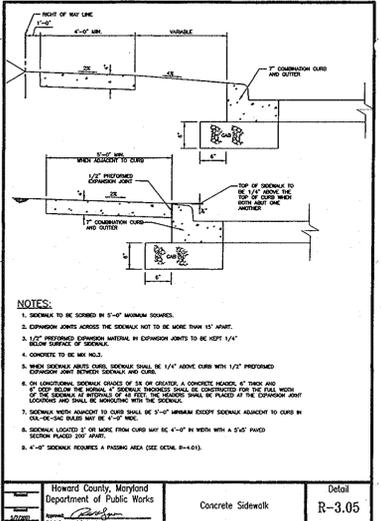
NOTES:
1. BOUNDARY AND TOPOGRAPHIC SURVEY SHOWN HEREON PREPARED BY ROBERT H. VOGEL ENGINEERING INC. DATED JUNE 28, 2012.
2. PUBLIC WATER AND SEWER PROVIDED TO SITE.
3. THERE ARE NO ENVIRONMENTAL FEATURES: FLOODPLAIN, WETLANDS, STREAMS, STEEP SLOPES OR FOREST THAT EXISTS ON THIS PROPERTY OR WITHIN THE DEVELOPED AREA.

LEGEND:

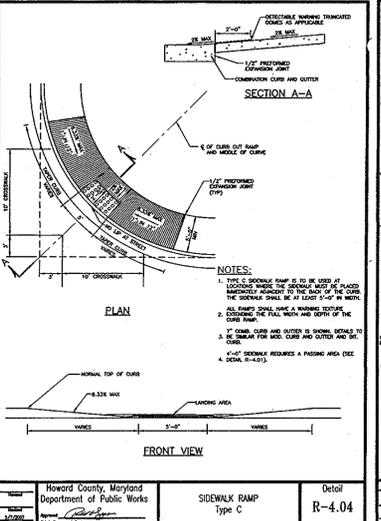
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
+	PROPOSED SPOT ELEVATION
+	EXISTING SPOT ELEVATION
---	EXISTING CURB AND GUTTER
---	PROPOSED CURB AND GUTTER
⊙	EXISTING UTILITY POLE
⊙	EXISTING LIGHT POLE
⊙	EXISTING MAILBOX
⊙	EXISTING SIGN
⊙	EXISTING SANITARY MANHOLE
---	EXISTING SANITARY LINE
---	EXISTING CLEANOUT
---	EXISTING FIRE HYDRANT
---	EXISTING WATER LINE
---	EXISTING TREETRUNK (FIELD LOCATED)
---	EXISTING FENCE
---	PROPOSED STORM DRAIN
---	PROPOSED STORM DRAIN INLET
---	PROPERTY LINE
---	RIGHT-OF-WAY LINE



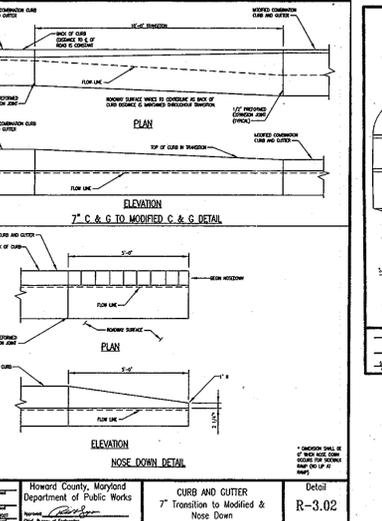
7" COMBINATION CURB AND GUTTER
7" Modified
R-3.01



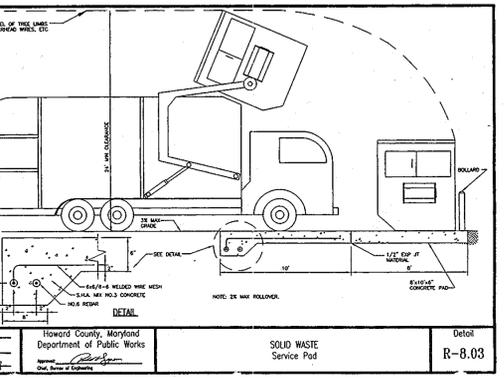
Concrete Sidewalk
R-3.05



SIDEWALK RAMP
Type C
R-4.04



CURB AND GUTTER
7" Transition to Modified & Nose Down
R-3.02



SOLID WASTE Service Pad
R-8.03

CONTRACTOR TO TEST PIT ALL EXISTING UTILITY CROSSINGS AND TIE-INS PRIOR TO CONSTRUCTION

OWNER/DEVELOPER
VELO PROPERTIES ELLICOTT CITY, LLC
2834 COON GLUE ROAD
WESTMINSTER, MD 21157

NO.	REVISION	DATE
1	REVISE PLAN FOR BUILDING ADDITION	07-19-13
	REVISION	DATE

REVISED SITE DEVELOPMENT PLAN
SITE LAYOUT PLAN AND SITE DETAILS

RACE PACE
3258 BETHANY LANE
ZONED: B-1
L14563/P200
RETAIL/OFFICE

TAX MAP 24, GRID 2, 2ND ELECTION DISTRICT

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET TEL: 410.461.7666
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PROFESSIONAL CERTIFICATE

DESIGN BY: DZ
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CHECKED BY: RHV
DATE: OCTOBER 2013
SCALE: AS SHOWN
W.O. NO.: 12-35

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. EXPIRES: 09-27-2014

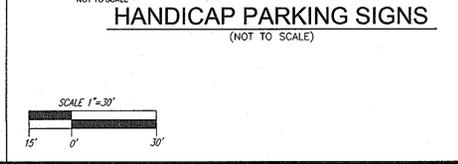
2 SHEET OF 5

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

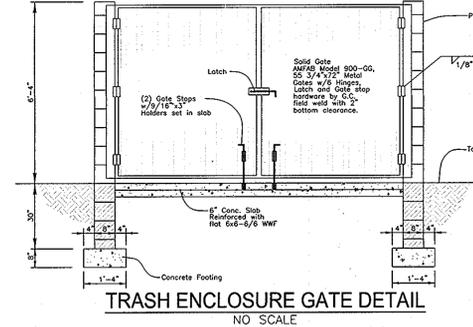
Chad Edwards 11-12-13
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Vette Jones 11-19-13
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

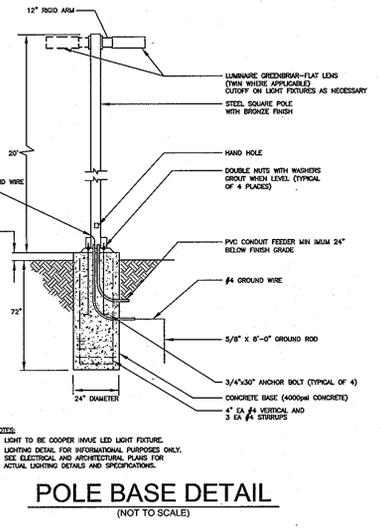
Martha S. M. Lytle 11/19/13
DIRECTOR DATE



HANDICAP PARKING SIGNS
(NOT TO SCALE)
SCALE 1"=30'



TRASH ENCLOSURE GATE DETAIL
NO SCALE



POLE BASE DETAIL
(NOT TO SCALE)