

GENERAL NOTES

- ZONING - M2
- TOPOGRAPHY FURNISHED BY OTHERS.
- PUBLIC WATER AND SEWER SYSTEMS ARE TO BE MADE AVAILABLE AND UTILIZED.
- ALL PROPERTY LINES SHOWN ARE TAKEN FROM PROPERTY SURVEY BY G.W. STEVENS, JR. AND ASSOCIATES.
- STANDARD SYMBOLS:

—W—W	EX. WATER LINE	=====	PROPOSED WATER BY OTHERS
—S—S	EX. SEWER LINE	=====	EX. CURB AND GUTTER
—D—D	EX. STORM DRAINS	=====	PROPOSED CURB & GUTTER
=====	STORM DRAINS & INLETS BY OTHERS	=====	PROPOSED UNDERGROUND UTILITIES
- ALL BUILDING RESTRICTION LINES SHALL BE 50 FEET FROM RIGHT-OF-WAY.
- ALL ELEVATIONS SHOWN ARE BASED ON U.S. & G.S. MEAN SEA LEVEL DATUM 1929.
- STORM WATER MANAGEMENT IS TO BE INCORPORATED IN THE DEVELOPMENT OF INDIVIDUAL PARCELS AND WILL BE DESIGNED TO RELEASE STORM WATER RUNOFF FROM A TEN YEAR STORM AT A RATE EQUAL TO A TWO YEAR STORM PRIOR TO DEVELOPMENT.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY ROAD CONSTRUCTION CODE AND STANDARD SPECIFICATIONS.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTION TO PROTECT THESE UTILITIES. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR TO NOTIFY THE HOWARD SOIL CONSERVATION DISTRICT AT LEAST THREE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS. (PHONE 465-3180)

- SITE ANALYSIS**
- TOTAL TRACK AREA = 0.5 AC*
 - AREA TO BE GRADED = 2.0 AC*
 - AREA TO BE PAVED OR ROOFED = 4.4 AC*
 - AREA TO BE STABILIZED BY SEEDING OR SODDING = 2.0 AC.*

- SITE ANALYSIS (PLANNING)**
- AREA 126.34 AC* LIMIT OF SUBMISSION = 10.14 AC*
 - ZONING M2
 - NUMBER OF EMPLOYEES 20
 - FLOOR SPACE 193,500 S.F.
 - DEED REFERENCE LIBER 707 FOLIO 352
 - PARKING REQUIREMENTS 2 PARKING SPACE PER EMPLOYEE

TOTAL REQUIRED	20
TOTAL PROVIDED	41
 - THERE ARE TO BE NO SALES AREAS ON THE SITE.

- SEDIMENT CONTROL NOTES**
- SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ALL OTHER CONSTRUCTION, EXCEPT STORM DRAINS
 - NO TEMPORARY SEDIMENT CONTROL STRUCTURE MAY BE REMOVED OR DESTROYED WITHOUT APPROVAL OF THE HOWARD SOIL CONSERVATION DISTRICT.
 - ALL FILL SLOPES SHALL BE SEEDED ACCORDING TO SEEDING SPECIFICATIONS. SWALES SHALL BE SODDED ACCORDING TO DETAIL
 - EMBANKMENT MATERIALS SHALL BE FREE OF DECOMPOSABLE MATERIAL.
 - ALL INLETS SHALL HAVE SEDIMENT TRAPS EXCAVATED AROUND THEM AS SHOWN ON THE SEDIMENT CONTROL PLAN OR BE BLOCKED WITH PLYWOOD.
 - ON SITE INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL MEASURES WILL BE THE RESPONSIBILITY OF THE DEVELOPER ON A CONTINUING DAY TO DAY BASIS.
 - VEGETATIVE COVER OPTIONS:

FEB 1 TO MAY 1 :	1. SOD
	2. SEED AND MULCH
MAY 1 TO AUG 15 :	1. SOD
	2. SEED AND MULCH
AUG 1 TO NOV 1 :	1. SOD
	2. SEED AND MULCH
NOV 1 TO FEB 1 :	1. SOD - DELAY UNTIL NEXT PERIOD IF GROUND IS FROZEN.
	2. MULCH, ANCHOR TOOL; THEN SEED DURING NEXT SEEDING PERIOD.
 - PROCEDURE - PERMANENT SOD: SURFACE PREPARATION; 4" OF TOPSOIL WITH 2000 IAC. OF GROUND LIMESTONE, DISCED TO 4" DEPTH, COMMERCIAL FERTILIZER (10-10-10), SPREAD @ 1000 IAC.; SOD SHALL BE CULTIVATED BLUE GRASS, KY 31 TALL FESCUE, 2 YEAR OLD PROOF OF CURRENT NURSERY INSPECTION CERTIFICATE SHALL BE FURNISHED
 - PROCEDURE - PERMANENT SEEDING MAXIMUM 3:1 SLOPES: SURFACE PREPARATION; 4" OF TOPSOIL WITH 2000 IAC. OF GROUND LIMESTONE, DISCED TO 4" DEPTH, COMMERCIAL FERTILIZER (10-10-10), SPREAD @ 1000 IAC. SEED WITH KY 31 TALL FESCUE AT A RATE OF 60 LBS. PER ACRE. MULCH AT 1 1/2 T/AC. WITH THOROUGHLY THRASHED WHEAT, RYE OR OAT STRAW. MULCH SHALL BE ANCHORED, SPRAYING WITH LIQUID ASPHALT AT 1 GAL. I.S.Y. OR EMULSIFIED ASPHALT AT .04 GAL. I.S.Y.

- ESTIMATED PHASING OF CONSTRUCTION**
- | | |
|--|-------------------------|
| 1. EMPLACEMENT OF STRAW BALE DIKES AND CONSTRUCTION ROAD | OCT. 18, 1976 |
| 2. a. INSTALLATION OF STORM DRAINS | OCT. 18 - NOV. 1, 1976 |
| b. INSTALLATION OF SEDIMENT TRAPS | OCT. 18 - NOV. 1, 1976 |
| c. STABILIZE STORM WATER MANAGEMENT POND | NOV. 1 - NOV. 1, 1976 |
| 3. a. CONSTRUCTION OF BUILDING SLAB | NOV. 1 - DEC. 1, 1976 |
| b. CONSTRUCTION OF BUILDING SUPERSTRUCTURE | NOV. 15 - FEB. 15, 1977 |
| 4. PAVING OF PARKING LOT AND ACCESS DRIVE | FEB. 15 - MAR. 15, 1977 |
| 5. CONSTRUCT RAIL SIDING | FEB. 15 - MAR. 15, 1977 |
| 6. REMOVAL OF SEDIMENT TRAP NO. 1 AND STRAW BALE DIKES | MAR. 15, 1977 |
| a. STABILIZE SEDIMENT TRAP NO. 1 | MAR. 15, 1977 |
| b. MAINTAIN VEGETATED AREAS FOR MINIMUM 6 WEEK PERIOD AFTER INITIAL STABILIZATION. | MAR. 15, 1977 |
- * WHERE 2:1 SLOPES ARE NECESSARY (SEE SHEET 5 OF 5), PERMANENT SEEDING WILL BE AS FOLLOWS: CROWN VETCH AT A RATE OF 15 LBS. PER ACRE PLUS KY 31 TALL FESCUE AT A RATE OF 40 LBS. PER ACRE. THE CROWN VETCH SEED IS TO BE SCARIFIED AND INOCULATED. SCARIFYING IS TO BE DONE ONLY IF SEEDING IS TO TAKE PLACE AFTER WINTER.

CERTIFICATION BY THE DEVELOPER

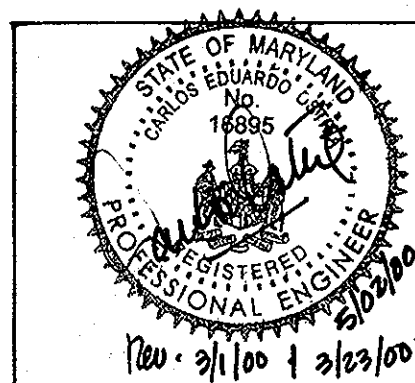
"I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN OF SILT AND SEDIMENT CONTROL AND ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS DEEMED NECESSARY DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT.

David Duppes 11/12/76
SIGNATURE OF DEVELOPER DATE

CERTIFICATION BY THE ENGINEER

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Robert W. Zielon 11/5/76
SIGNATURE DATE



Revised By:
KCI Technologies, Inc.
12400 Greenview Drive
Suite 102
Laurel, MD 20708
410-792-8086

Revisions

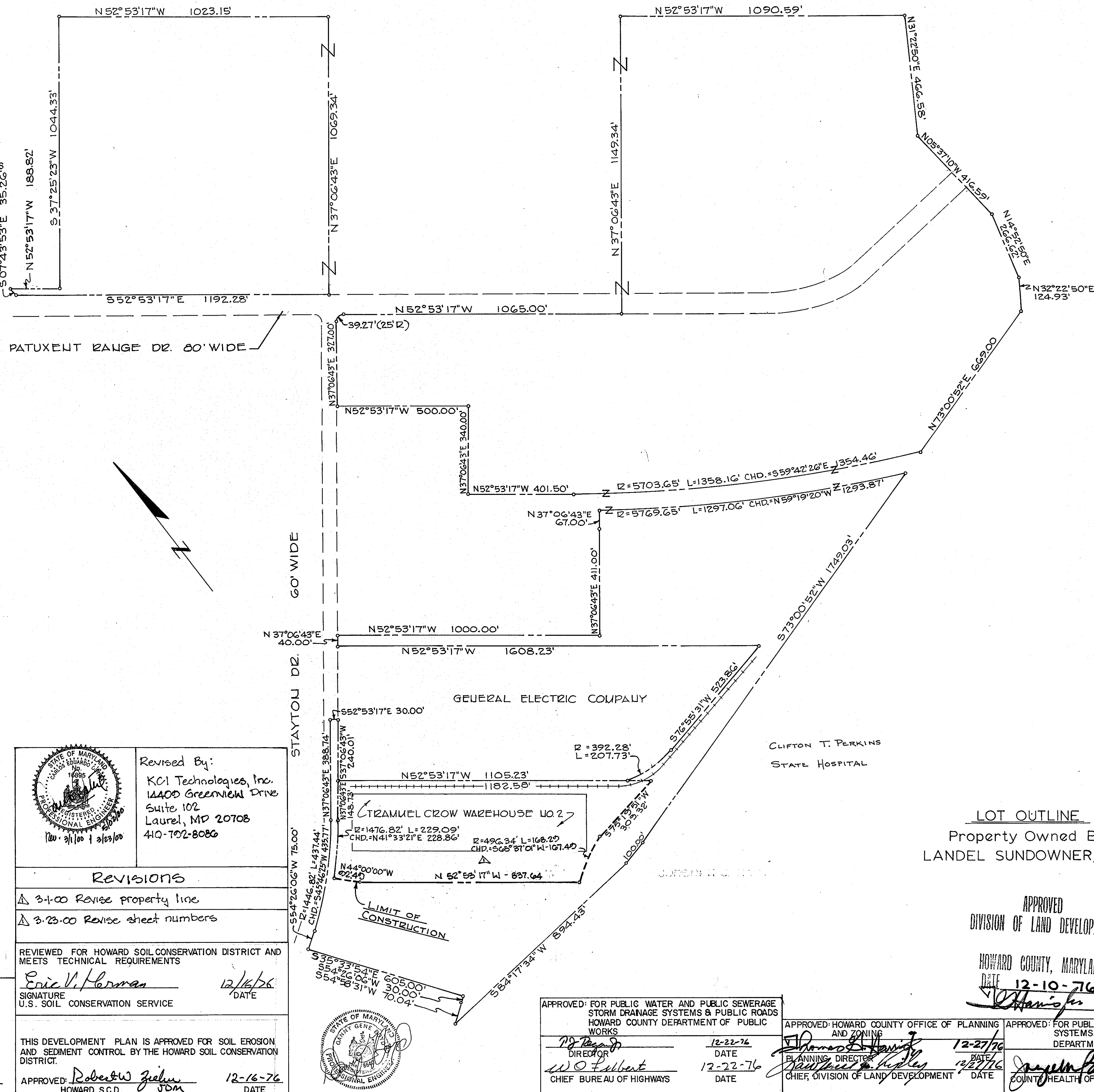
- Δ 3-1-00 Revise property line
- Δ 3-23-00 Revise sheet numbers

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

Eric V. Herman 12/16/76
SIGNATURE DATE
U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *Robert W. Zielon* 12-16-76
HOWARD S.C.D. JDM DATE



LOT OUTLINE
Property Owned By
LANDEL SUNDOWNER, INC.

APPROVED
DIVISION OF LAND DEVELOPMENT
HOWARD COUNTY, MARYLAND
DATE 12-10-76
Thomas J. Perkins

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS & PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

W. O. Felbert 12-22-76
DIRECTOR DATE
CHIEF BUREAU OF HIGHWAYS

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
Thomas J. Perkins 12-21/76
PLANNING DIRECTOR DATE
CHIEF, DIVISION OF LAND DEVELOPMENT

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
Robert W. Zielon 12-23-76
COUNTY HEALTH OFFICER DATE

JOHN E. HARMS, JR & ASSOCIATES, INC.
CONSULTING ENGINEERS
P.O. BOX NO. 5
PASADENA, MARYLAND 21122

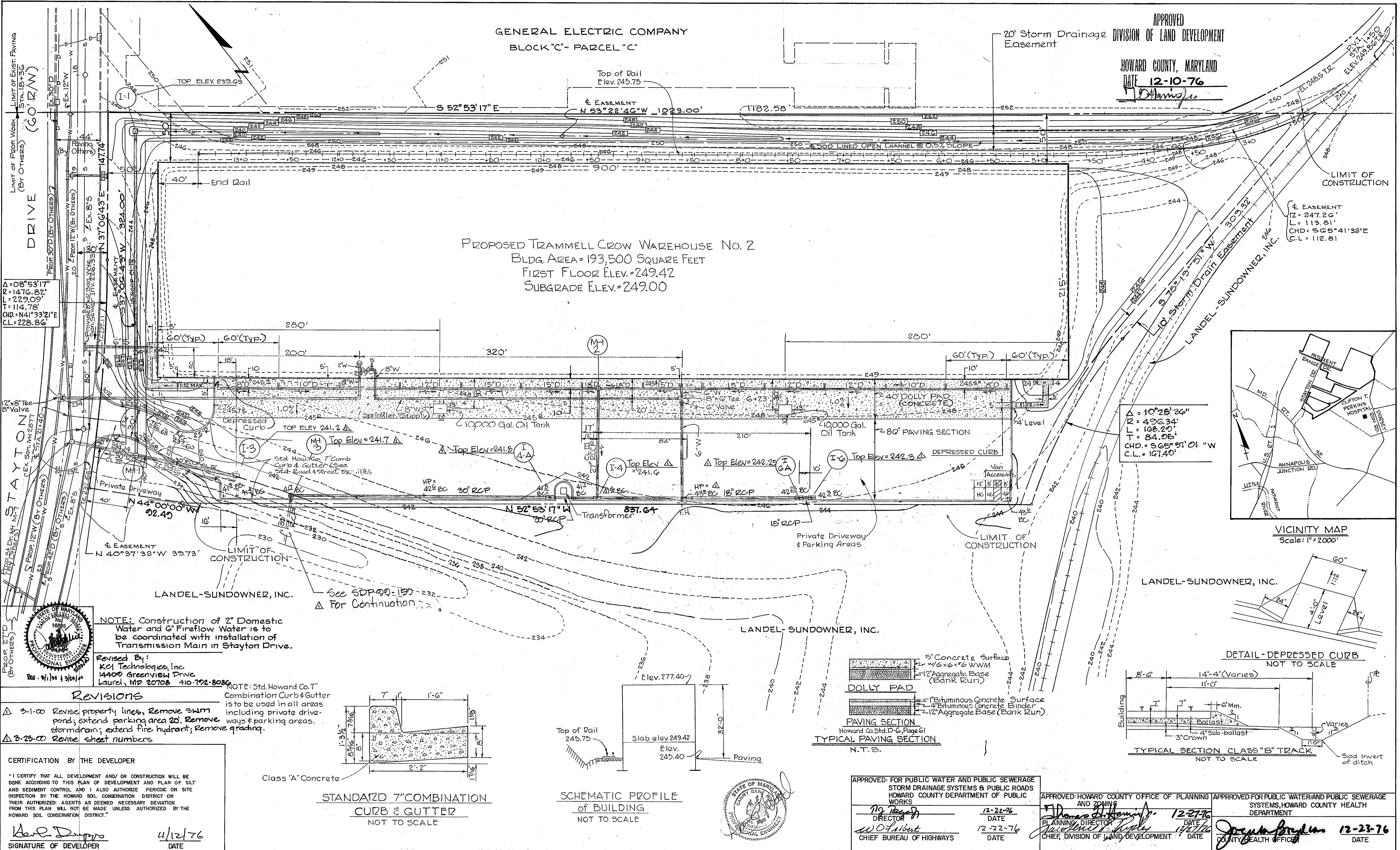
BALTIMORE - WASHINGTON INDUSTRIAL PARK
BLOCK "C", PARCEL "E"
6th ELECTION DISTRICT
HOWARD COUNTY, MD.

OWNER
LANDEL SUNDOWNER, INC.
110 WEST ROAD
BALTIMORE, MARYLAND 21204

DEVELOPER
GLEN ARM DEVELOPMENT
AND CONSTRUCTION CO. INC.
11109 OLD CARRIAGE ROAD
GLEN ARM, MARYLAND
301-661-8945 21057

COVER SHEET
TRAMMEL CROW
WAREHOUSE NO.2

DWG. NO. 48
SHT. 1 OF 6
SCALE: 1"=200'
TAX MAP 48
DATE: OCT. 1976



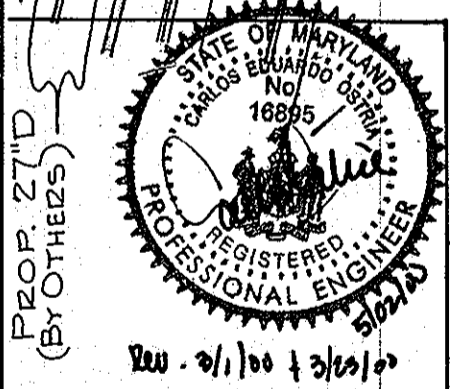
GENERAL ELECTRIC COMPANY
BLOCK "C" - PARCEL "C"

APPROVED
DIVISION OF LAND DEVELOPMENT
HOWARD COUNTY, MARYLAND
DATE 12-10-76

PROPOSED TRAMMELL CROW WAREHOUSE NO. 2
BLDG. AREA = 193,500 SQUARE FEET
FIRST FLOOR ELEV. = 249.42
SUBGRADE ELEV. = 249.00

LIMIT OF PROPOSED WORK (BY OTHERS)
LIMIT OF EXIST. PAVING (BY OTHERS)
DRIVE (60' R/W)

A = 08°53'17"
R = 1476.89'
T = 229.09'
L = 114.78'
CHD = N41°33'21"E
C.L. = 228.86



NOTE: Construction of 2" Domestic Water and 6" Fireflow Water is to be coordinated with installation of Transmission Main in Stayton Drive.

Revised By:
KCI Technologies, Inc.
14400 Greenview Drive
Laurel, MD 20708 410-792-8086

REVISIONS

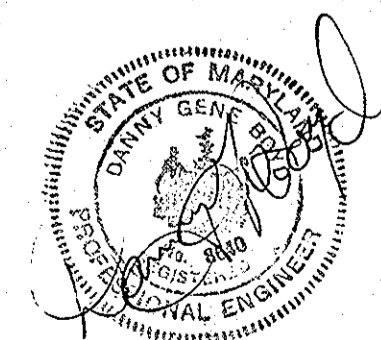
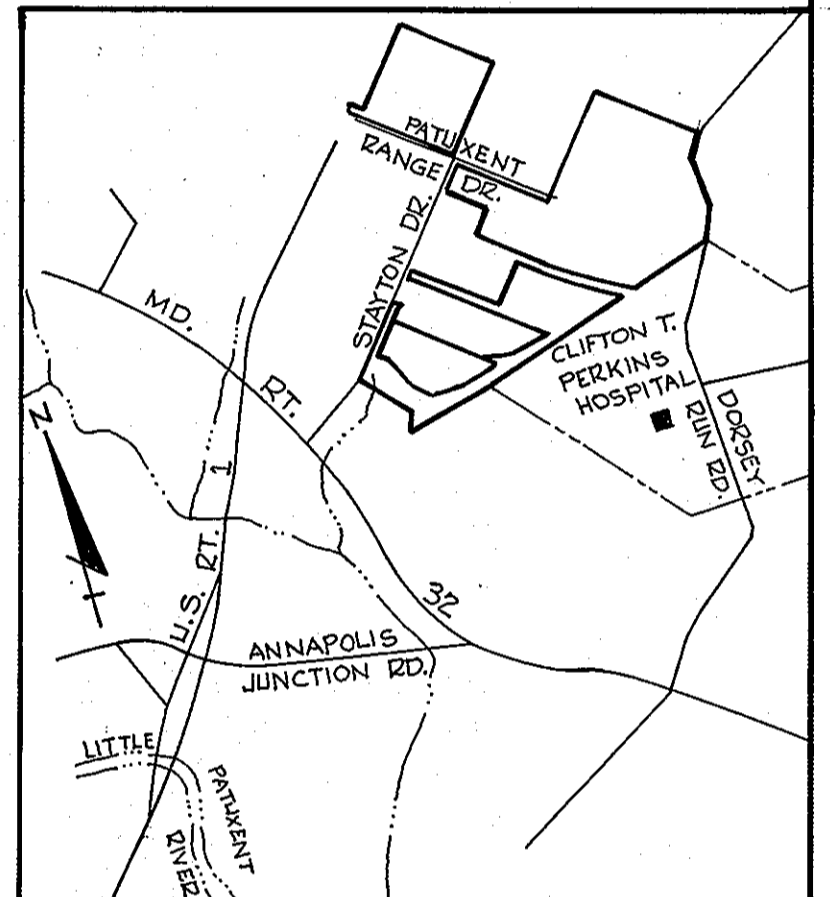
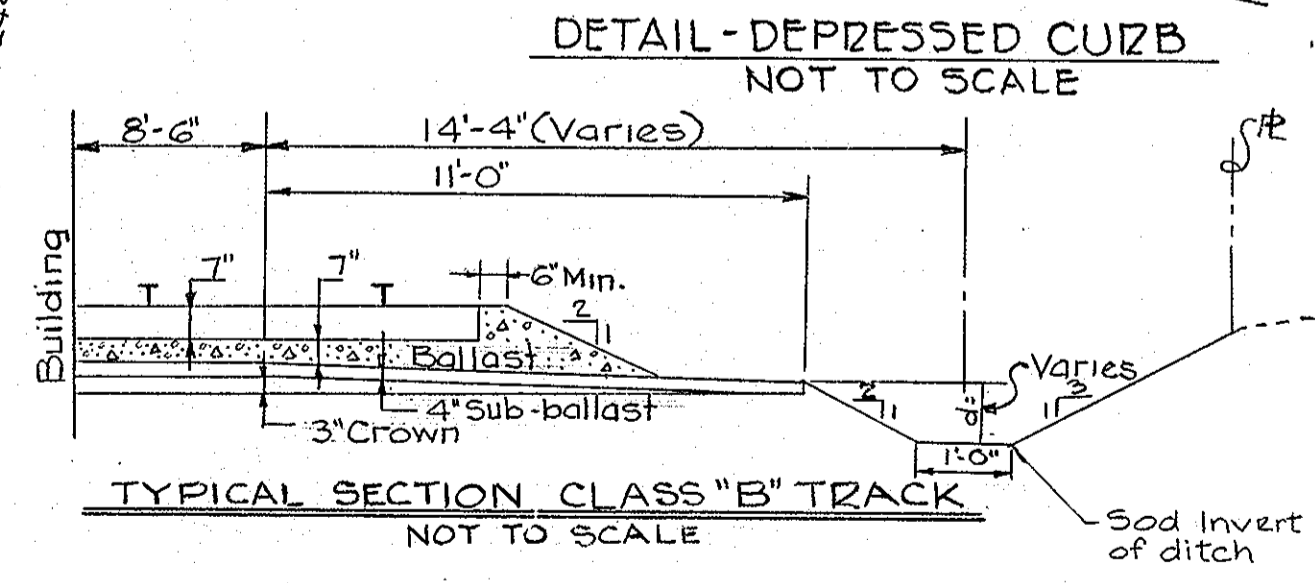
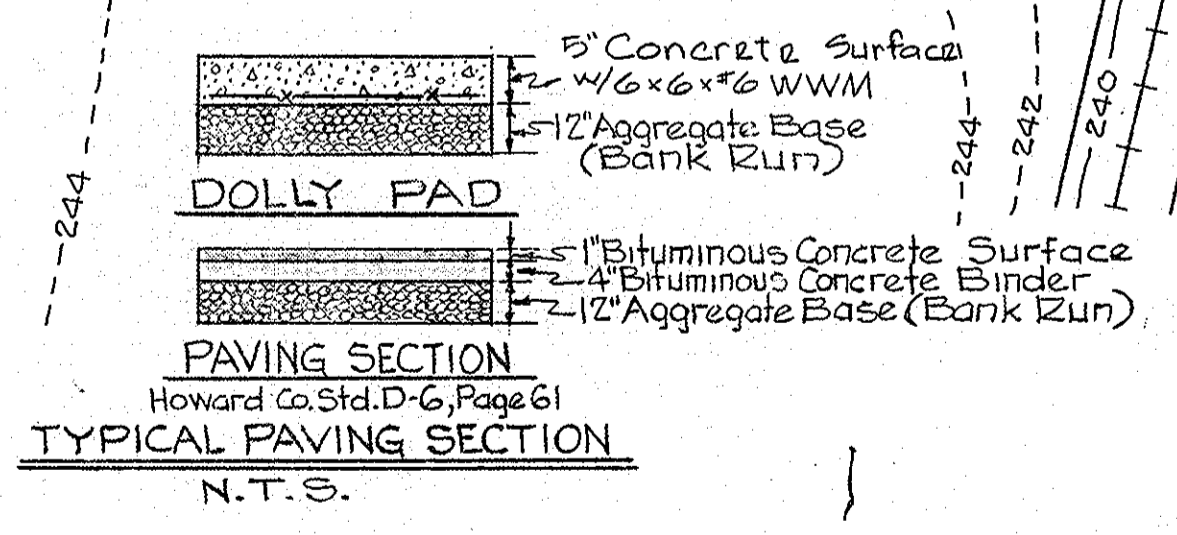
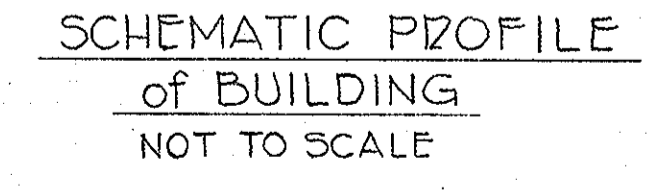
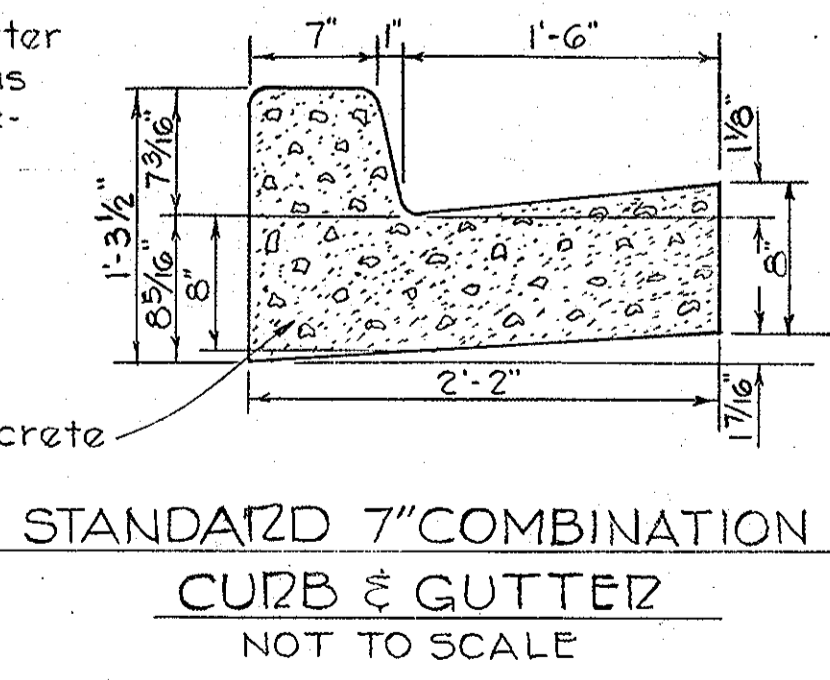
3-1-00 Revise property lines, Remove storm pond; extend parking area 20. Remove storm drain; extend fire hydrant; Remove grading.

3-23-00 Revise sheet numbers

CERTIFICATION BY THE DEVELOPER

"I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN OF SILT AND SEDIMENT CONTROL, AND I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS DEEMED NECESSARY DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT."

Signature: *John E. Harms, Jr.*
DATE: 4/12/76



APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS & PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

Director: *W. O. Albert*
DATE: 12-22-76

Chief Bureau of Highways: *W. O. Albert*
DATE: 12-22-76

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING

Planning Director: *Thomas D. Williams*
DATE: 12-21-76

Chief, Division of Land Development: *Joseph J. ...*
DATE: 12-23-76

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer: *Joseph J. ...*
DATE: 12-23-76

JOHN E. HARMS, JR. & ASSOCIATES, INC.
CONSULTING ENGINEERS
P.O. BOX NO. 5
PASADENA, MARYLAND 21122

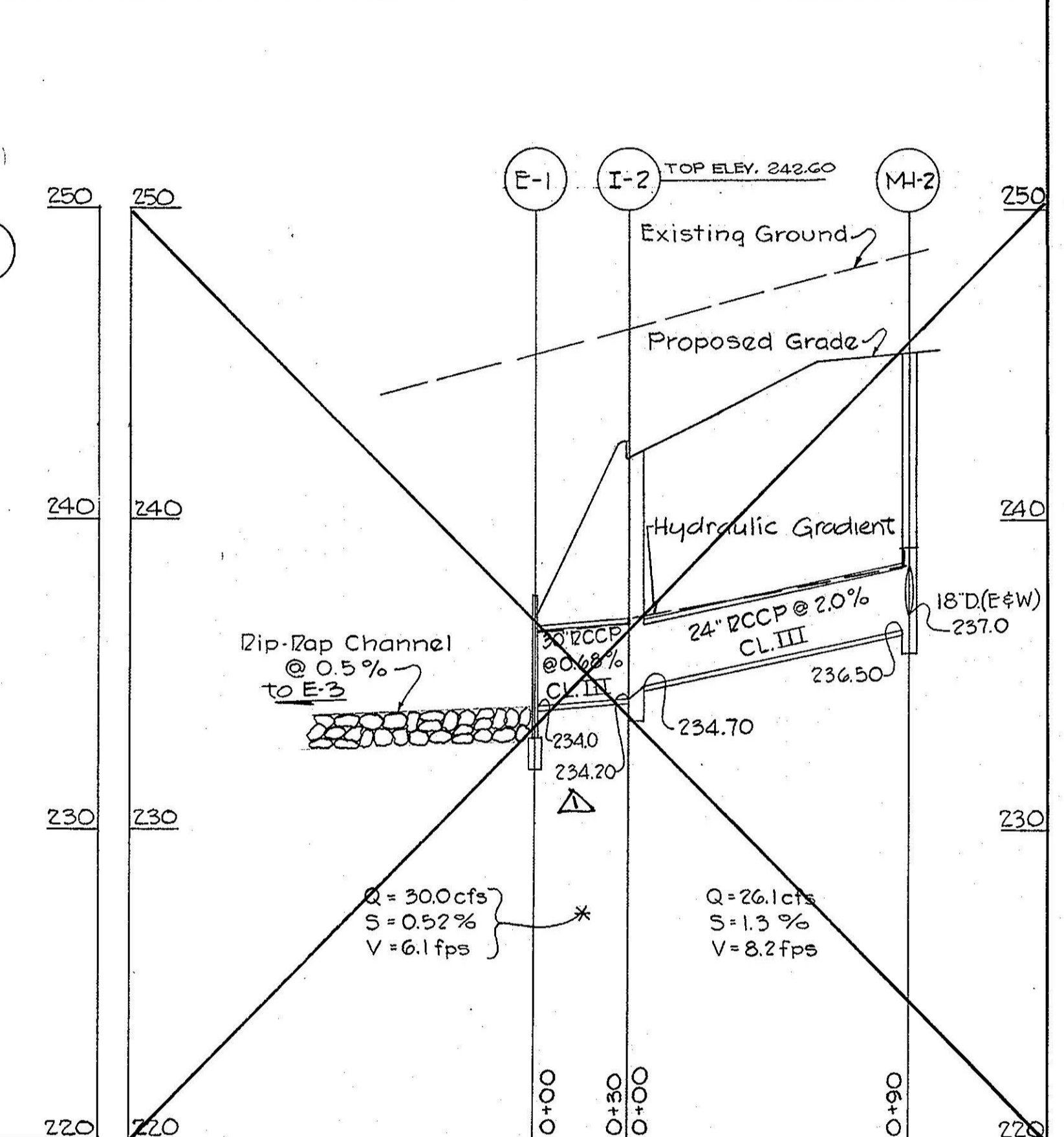
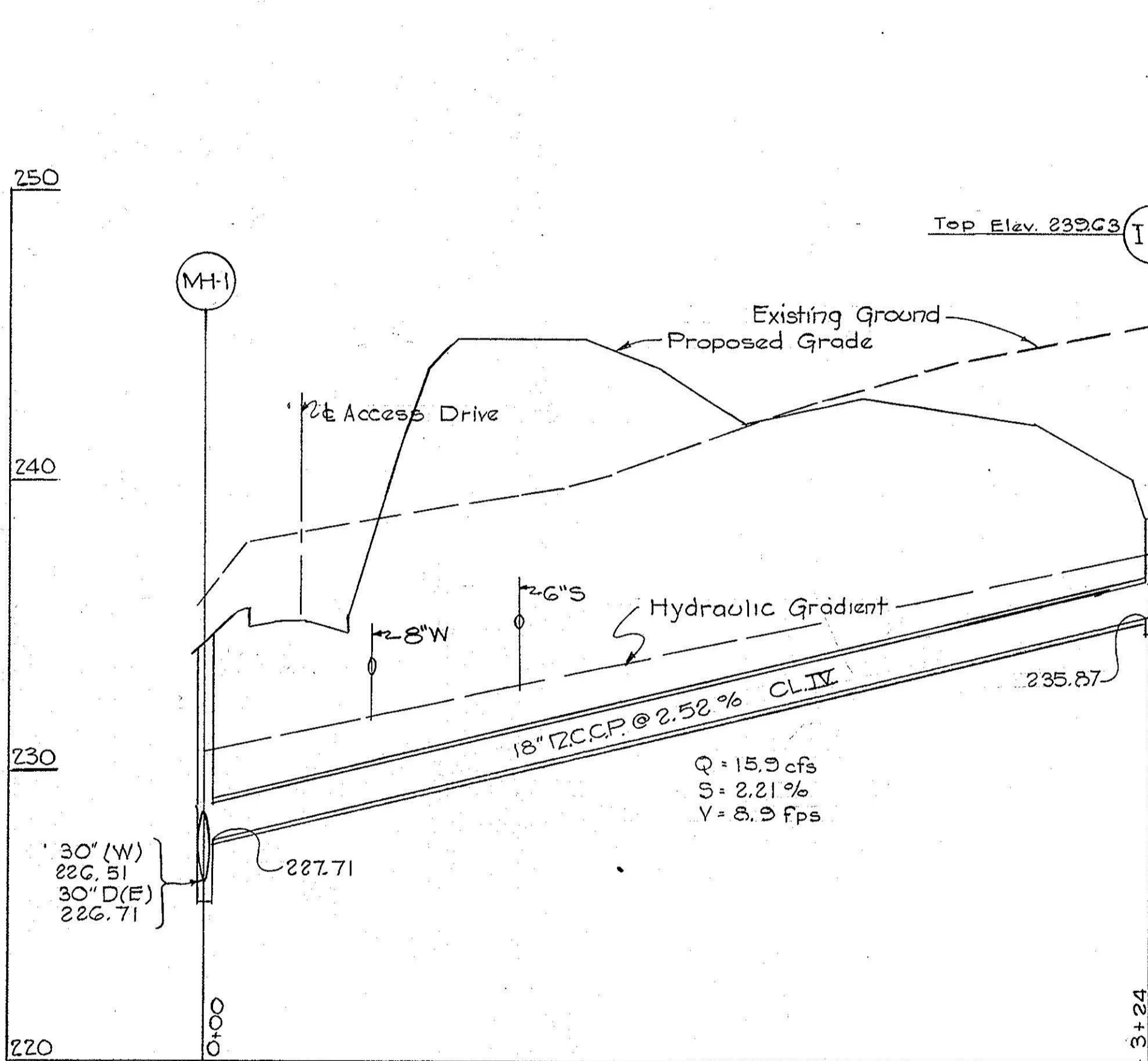
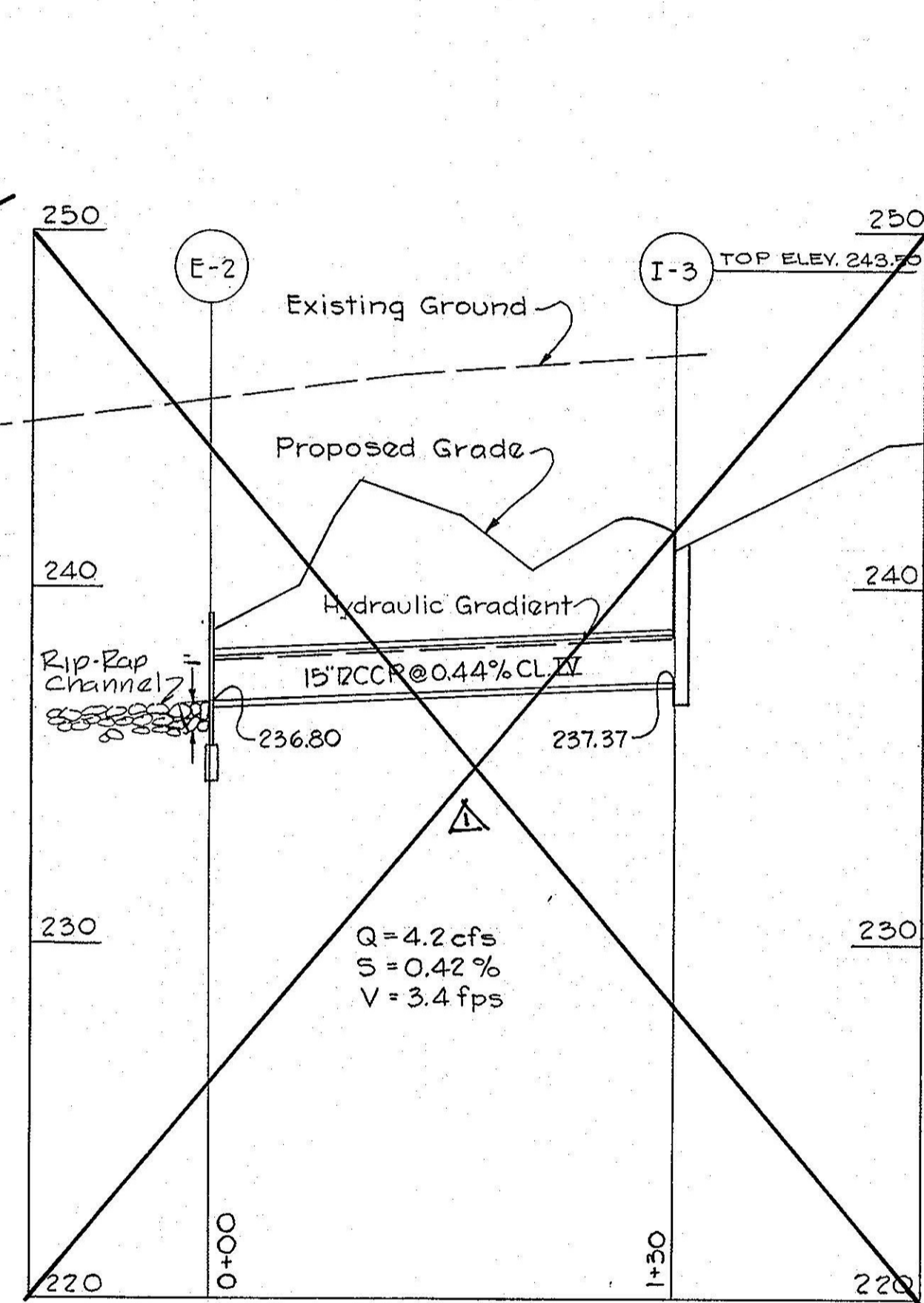
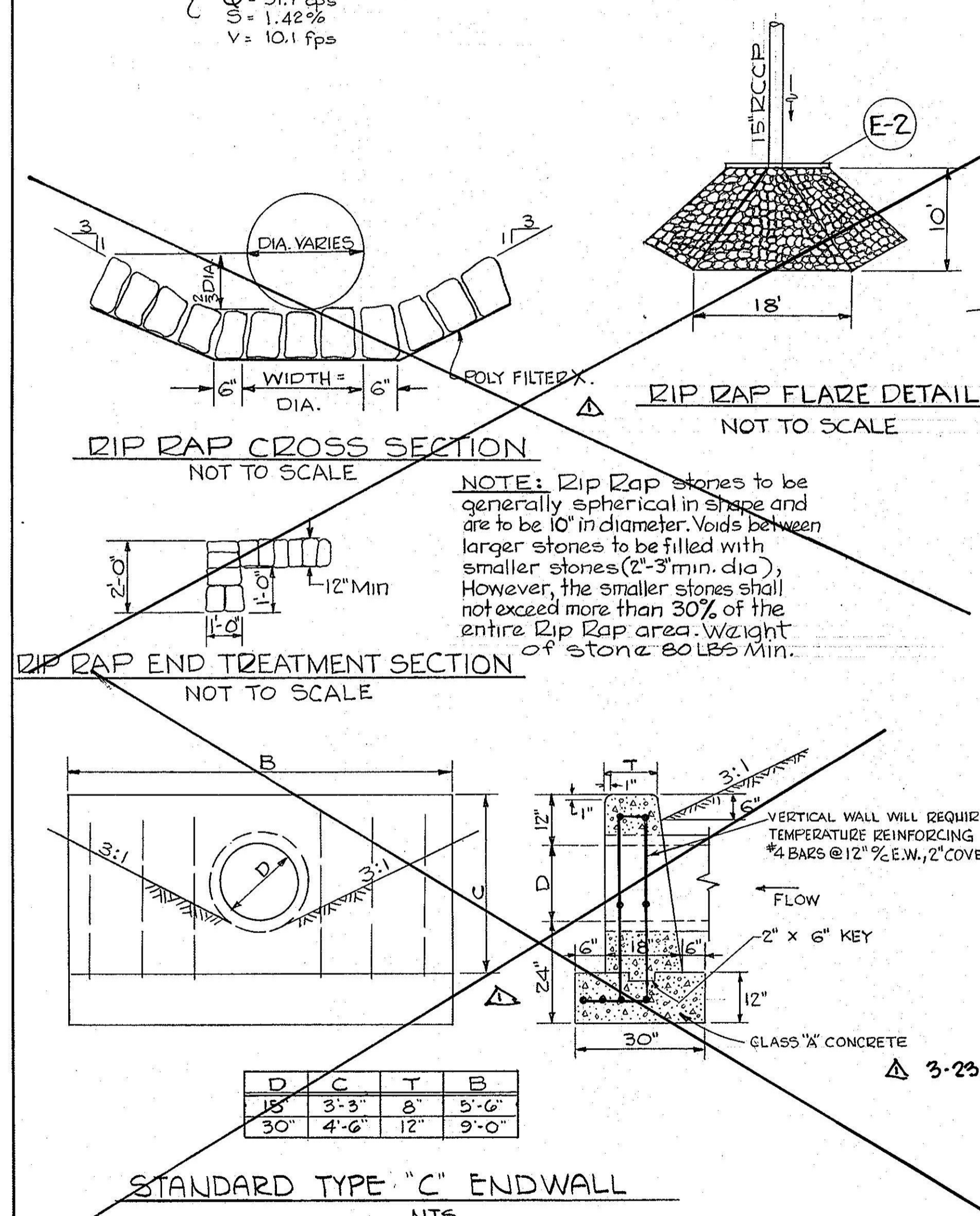
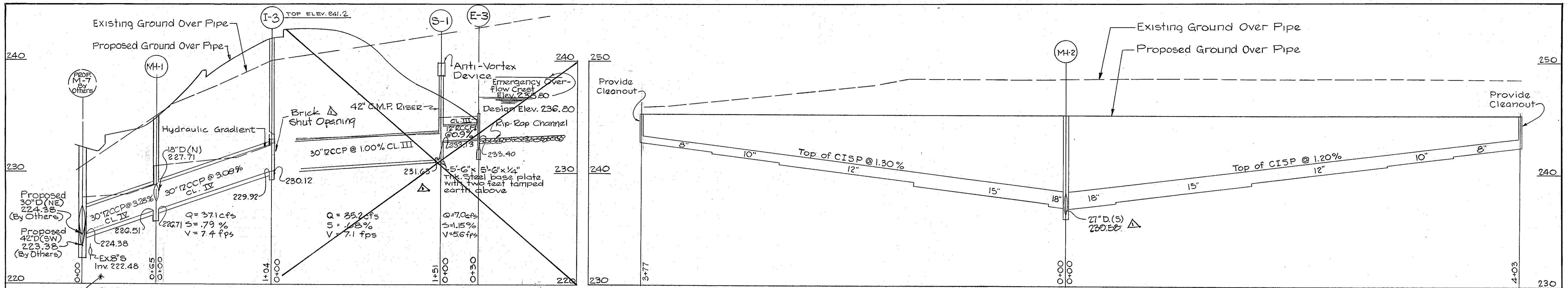
BALTIMORE WASHINGTON INDUSTRIAL PARK
BLOCK "C", PARCEL "E"
6th ELECTION DISTRICT
HOWARD COUNTY, MD.

OWNER
LANDEL SUNDOWNER, INC.
110 WEST ROAD
BALTIMORE, MARYLAND 21204

DEVELOPER
GLEN ARM DEVELOPMENT AND CONSTRUCTION CO. INC.
11109 OLD CARRIAGE ROAD
GLEN ARM, MARYLAND 21057

SITE DEVELOPMENT PLAN
TRAMMELL CROW WAREHOUSE NO. 2

DWG. NO. SH1 NO. 2 OF 26
SCALE: 1" = 40'
TAX MAP 48
DATE: OCT. 1976



REVISIONS

3-23-00 - Cross out swim details; Revise storm drain profile; Cross out structure schedule
Revise sheet numbers

PIZOFILE
SCALE: VERT: 1" = 4'
HORIZ: 1" = 40'

Revised By:
KCI Technologies, Inc.
14400 Greenview Drive
Suite 102
Laurel, MD 20708
410.702.8080

APPROVED
DIVISION OF LAND DEVELOPMENT

HOWARD COUNTY, MARYLAND
DATE 12-10-76
Thomas C. Harns, Jr.

NO.	CLASS	INV. IN	INV. OUT	REMARKS	TOP ELEV.
I-1	C	238.8 (lip)	235.87	HOW. CO. STD. (Pg. 119-C)	239.63
I-2	15" DOUBLE COMB	234.70	234.20	(Pg. 154)	242.60
I-3	15" SINGLE COMB	237.37	237.37	(Pg. 153)	243.50
I-4	15" SINGLE COMB	230.12	229.92	(Pg. 153)	242.60
E-1	see revised sheet 6			(SEE DETAIL SH. 3 of 5)	
E-2	C	236.80	236.80		
E-3	C	233.40	233.40		
S-1	42" CMP RISER	233.13	231.63	SEE DETAIL SH. 3 of 5	
MH-1		227.71	226.51	HOW. CO. STD. (Pg. 158)	
MH-2			236.50		

CERTIFICATION BY THE DEVELOPER

"I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN OF SILT AND SEDIMENT CONTROL AND I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS DEEMED NECESSARY DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT."

Signature: *David Dymms*
DATE: 11/12/76

CERTIFICATION BY THE ENGINEER

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Signature: *Robert W. Zielhuis*
DATE: 10/5/76

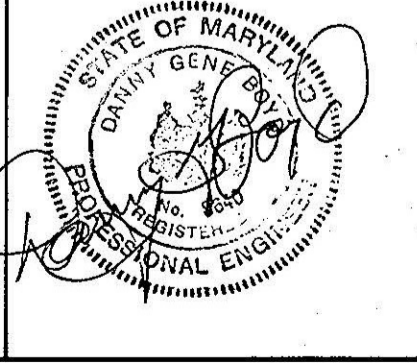
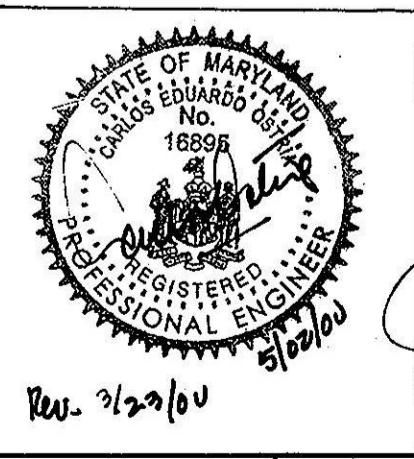
REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

Signature: *Eric H. Herman*
DATE: 12/16/76

SIGNATURE
U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *Robert W. Zielhuis*
HOWARD S.C.D. O.D.M.
DATE: 12-16-76



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS & PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

Signature: *W. O. Falbert*
DATE: 12-22-76
CHIEF BUREAU OF HIGHWAYS

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING

Signature: *Thomas C. Harns, Jr.*
DATE: 12-21-76
PLANNING DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

Signature: *James P. Fryer*
DATE: 12-23-76
HEALTH OFFICER

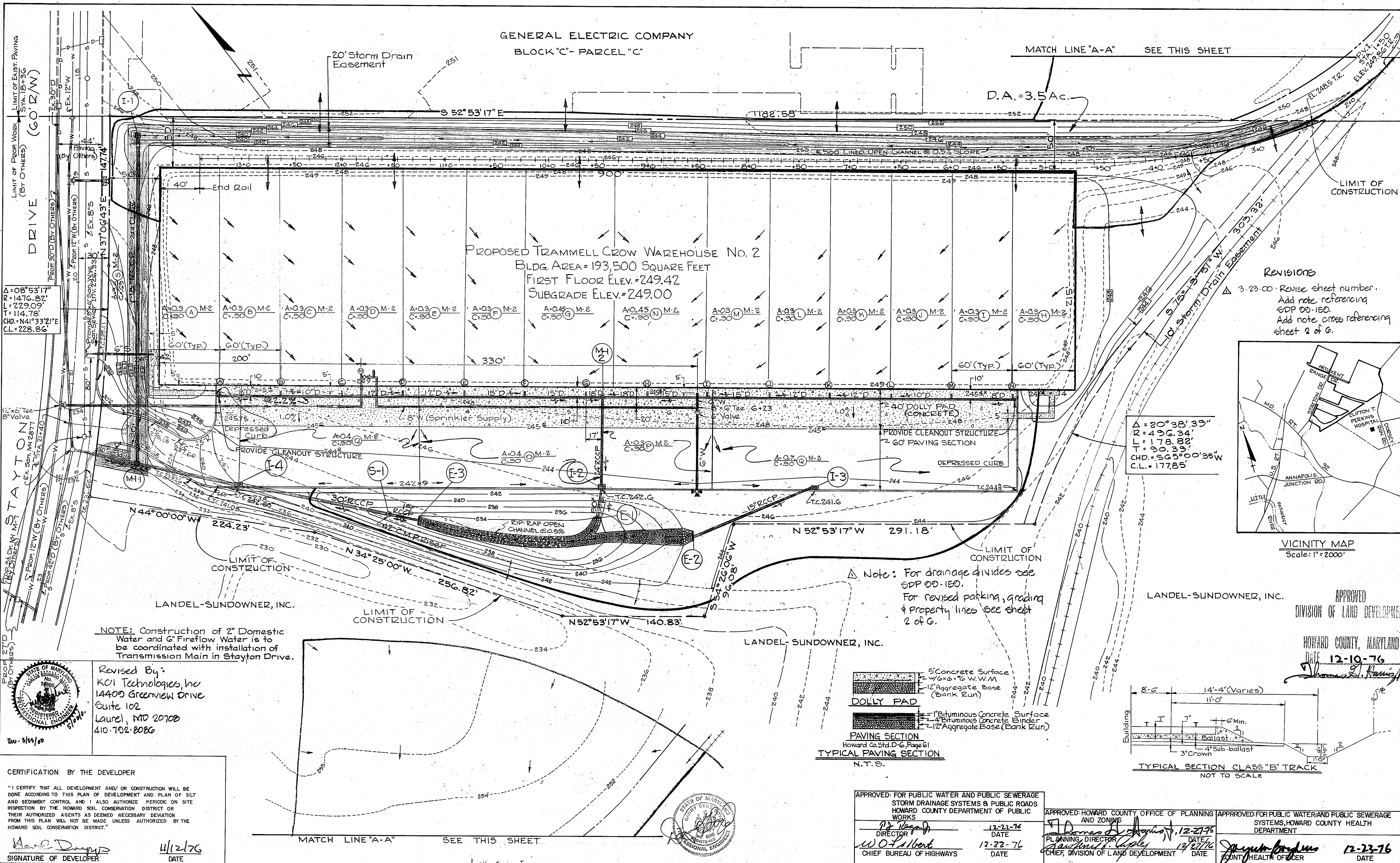
JOHN E. HARMS, JR. & ASSOCIATES, INC.
CONSULTING ENGINEERS
P.O. BOX NO. 5
PASADENA, MARYLAND 21122

BALTIMORE - WASHINGTON INDUSTRIAL PARK
BLOCK "C", PARCEL "E"
6th ELECTION DISTRICT
HOWARD COUNTY, MD.

OWNER
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110 WEST ROAD
BALTIMORE, MARYLAND 21204

DEVELOPER
GLEN ARM DEVELOPMENT AND CONSTRUCTION CO. INC.
1109 OLD CARRIAGE ROAD
GLEN ARM, MARYLAND
301-661-8945 21057

STORM DRAIN PROFILES
TRAMMEL CROW WAREHOUSE NO.2
DWG. NO. 3
SHT. 3 OF 5
SCALE: AS SHOWN
TAX MAP DATE: OCT. 1976



GENERAL ELECTRIC COMPANY
BLOCK "C" - PARCEL "C"

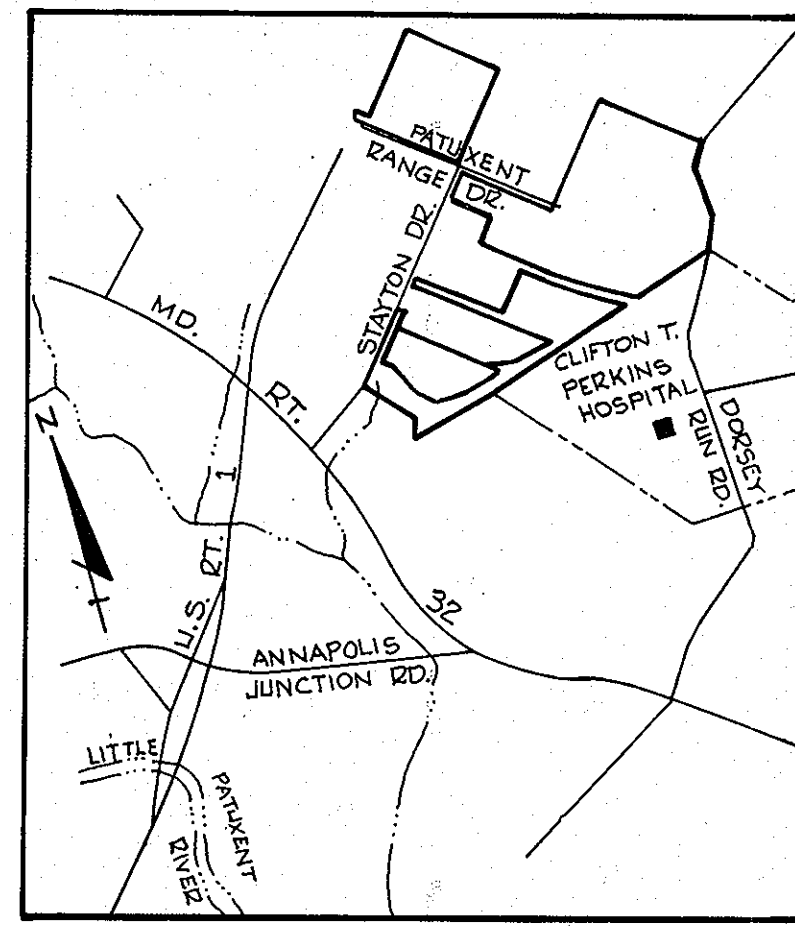
MATCH LINE "A-A" SEE THIS SHEET

DRIVE (60' R/W)
LIMIT OF PROOF WORK (BY OTHERS)
LIMIT OF CONSTRUCTION

$\Delta = 08^{\circ}53'17''$
 $R = 1476.82'$
 $L = 229.09'$
 $T = 114.78'$
 $CHD = N41^{\circ}33'21''E$
 $CL = 228.86'$

PROPOSED TRAMMELL CROW WAREHOUSE NO. 2
BLDG. AREA = 193,500 SQUARE FEET
FIRST FLOOR ELEV. = 249.42
SUBGRADE ELEV. = 249.00

REVISIONS
3-23-00 - Revise sheet number.
Add note referencing SDP 00-150.
Add note cross referencing sheet 2 of 6.

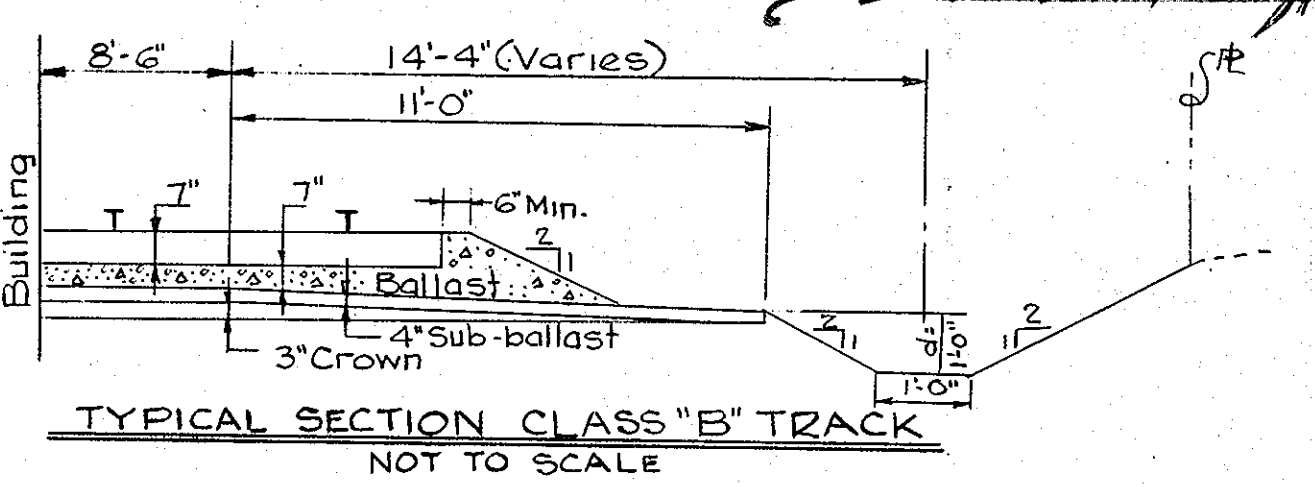
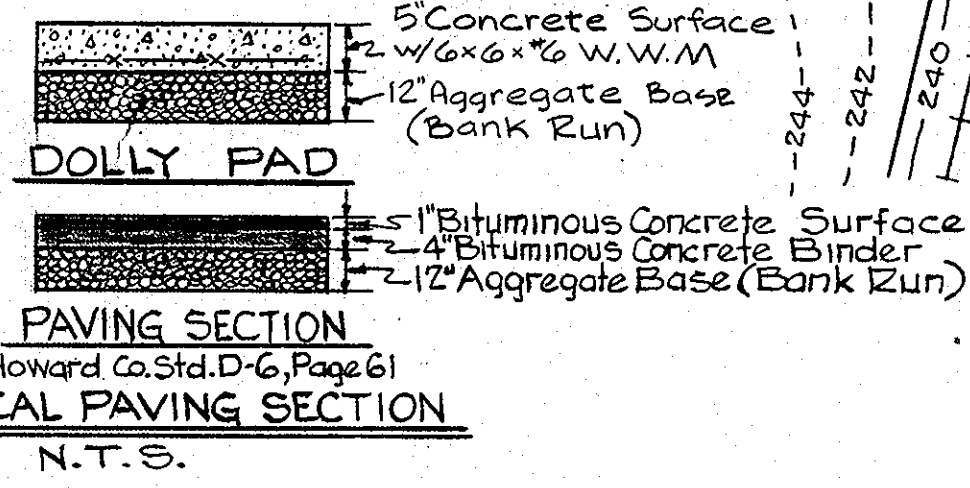
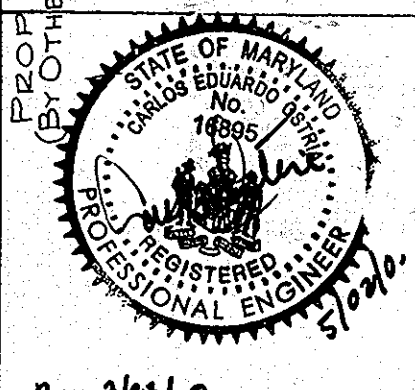


$\Delta = 20^{\circ}38'39''$
 $R = 496.34'$
 $L = 178.82'$
 $T = 90.39'$
 $CHD = S65^{\circ}00'35''W$
 $CL = 177.85'$

Note: For drainage divides see SDP 00-150.
For revised parking, grading & property lines see sheet 2 of 6.

NOTE: Construction of 2" Domestic Water and 6" Fireflow Water is to be coordinated with installation of Transmission Main in Stayton Drive.

Revised By:
KCI Technologies, Inc
14409 Greenview Drive
Suite 102
Laurel, MD 20708
410-792-8086



CERTIFICATION BY THE DEVELOPER
"I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN OF SILT AND SEDIMENT CONTROL AND I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS DEEMED NECESSARY DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT."
Signature of Developer: *John E. Harms, Jr.*
DATE: 11/12/76

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS & PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Director: *W. J. Albert*
DATE: 12-22-76
Chief Bureau of Highways

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
Planning Director: *James D. King*
DATE: 12-21-76
Chief, Division of Land Development

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
County Health Officer: *James D. King*
DATE: 12-23-76

JOHN E. HARMS, JR. & ASSOCIATES, INC.
CONSULTING ENGINEERS
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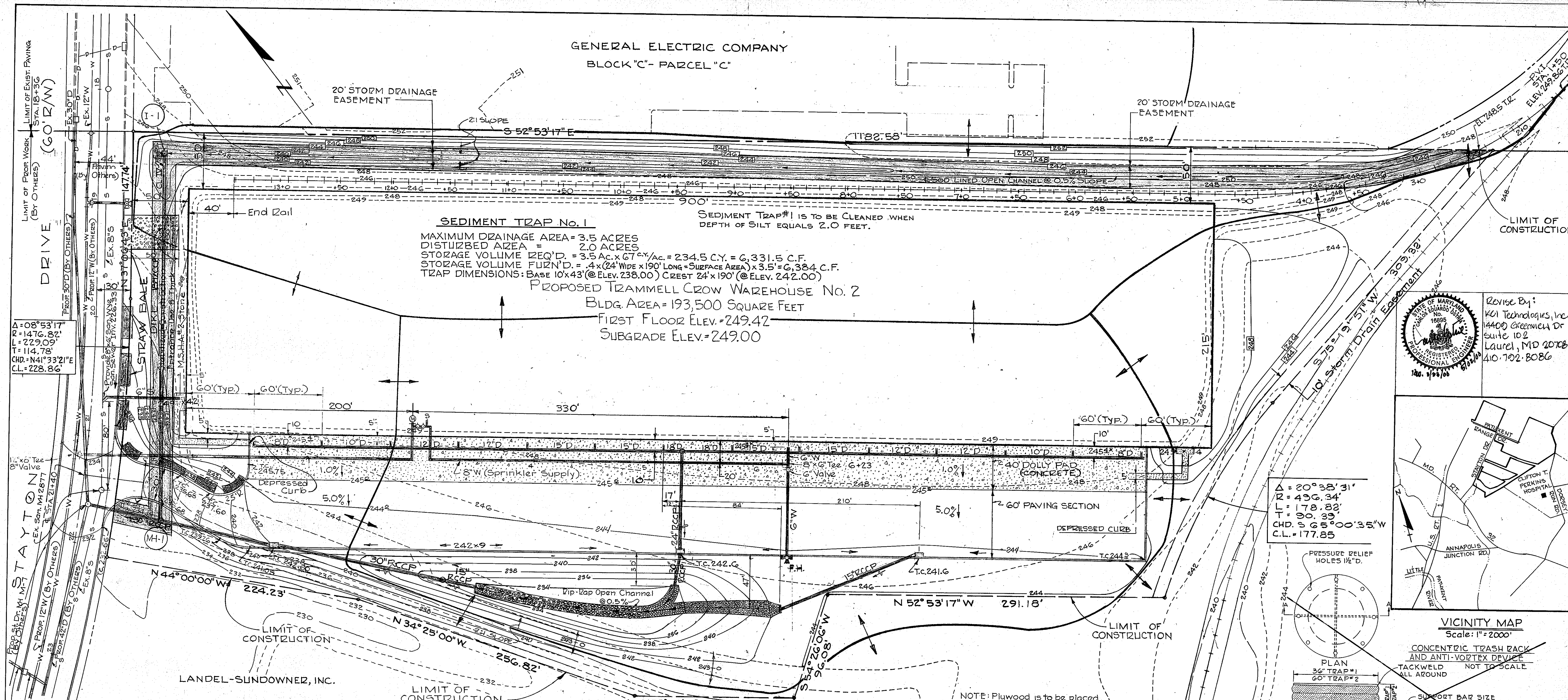
BALTIMORE - WASHINGTON INDUSTRIAL PARK
BLOCK "C", PARCEL "E"
6th ELECTION DISTRICT
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110 WEST ROAD
BALTIMORE, MARYLAND 21204

DEVELOPER
GLEN ARM DEVELOPMENT AND CONSTRUCTION CO. INC.
11109 OLD CARRIAGE ROAD
GLEN ARM, MARYLAND 21057
301-661-8945

STORM DRAIN AREA MAP
TRAMMELL CROW WAREHOUSE NO. 2
DWS. NO. SHT NO. 4 OF 6
SCALE: 1" = 40'
TAX MAP 48
DATE: OCT. 1976

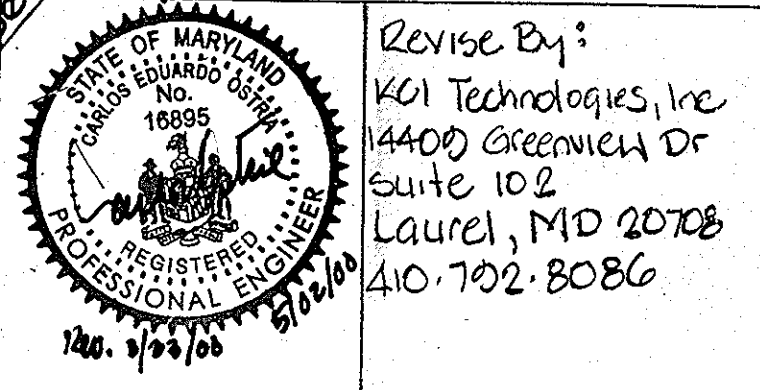
GENERAL ELECTRIC COMPANY
BLOCK "C" - PARCEL "C"



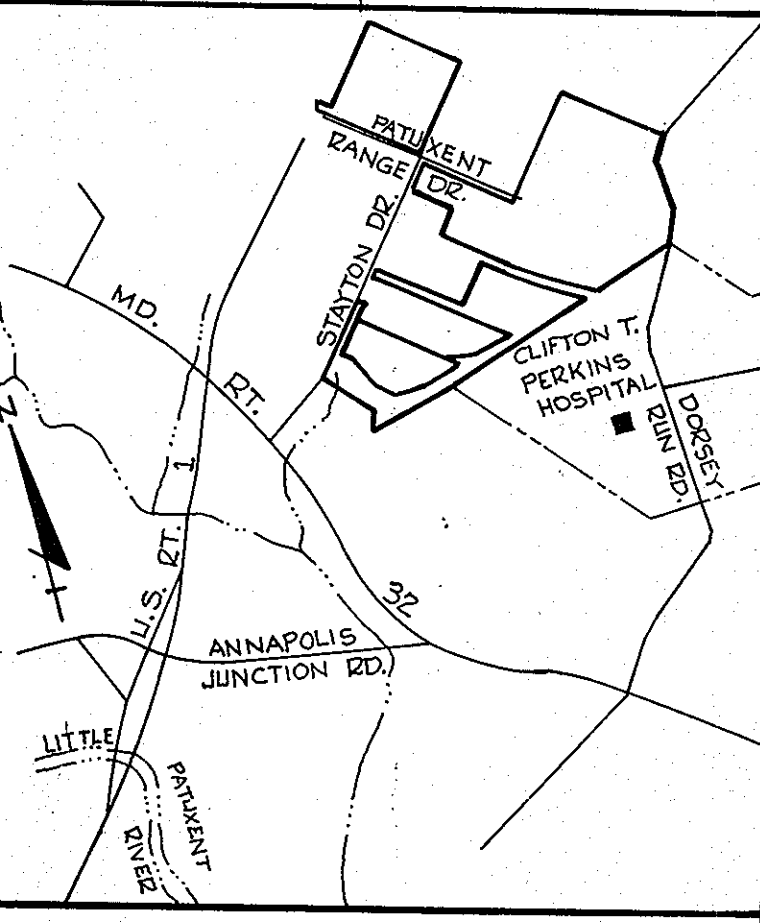
SEDIMENT TRAP No. 1
 MAXIMUM DRAINAGE AREA = 3.5 ACRES
 DISTURBED AREA = 2.0 ACRES
 STORAGE VOLUME REQ'D. = 3.5 AC. x 67 C.F./AC. = 234.5 C.F. = 6,331.5 C.F.
 STORAGE VOLUME FUZN'D. = .4 x (24' Wide x 190' Long x Surface Area) x 3.5' = 6,384 C.F.
 TRAP DIMENSIONS: BASE 10' x 43' @ ELEV. 238.00' CRREST 24' x 190' @ ELEV. 242.00'

PROPOSED TRAMMELL CROW WAREHOUSE NO. 2
 BLDG. AREA = 193,500 SQUARE FEET
 FIRST FLOOR ELEV. = 249.42
 SUBGRADE ELEV. = 249.00

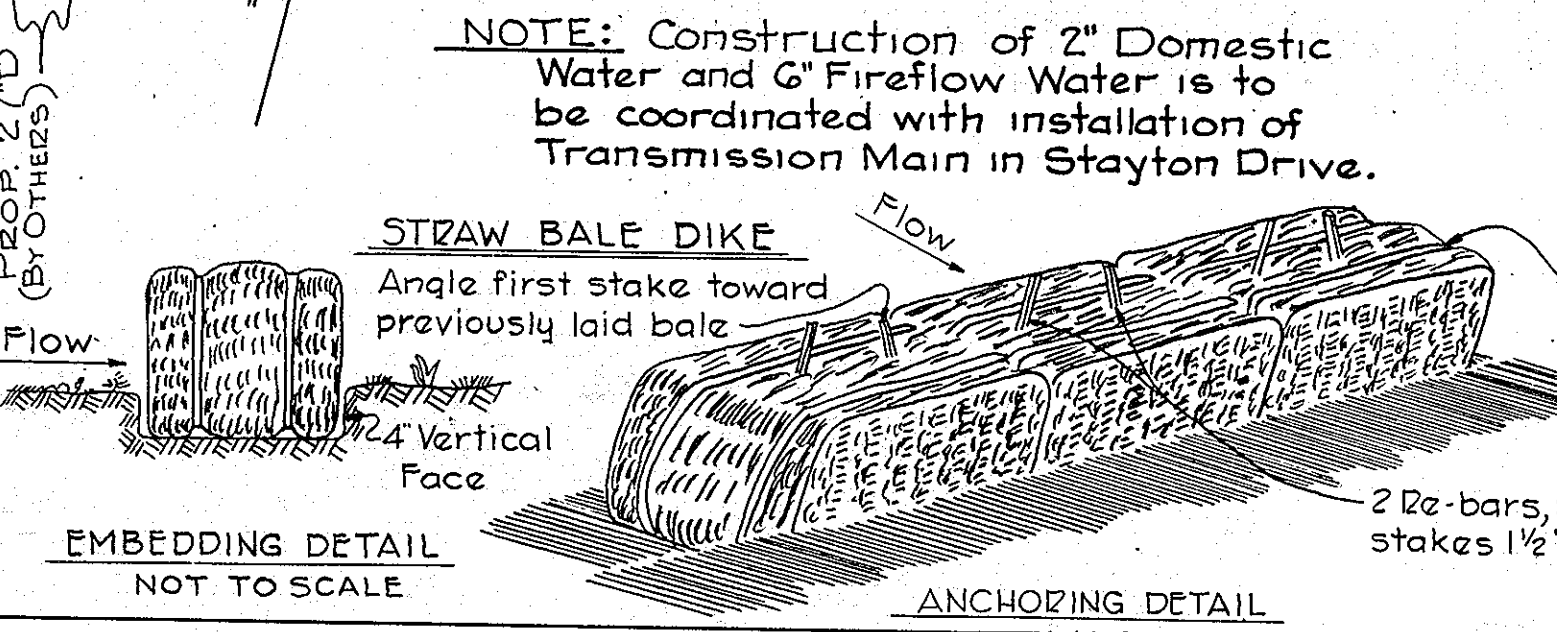
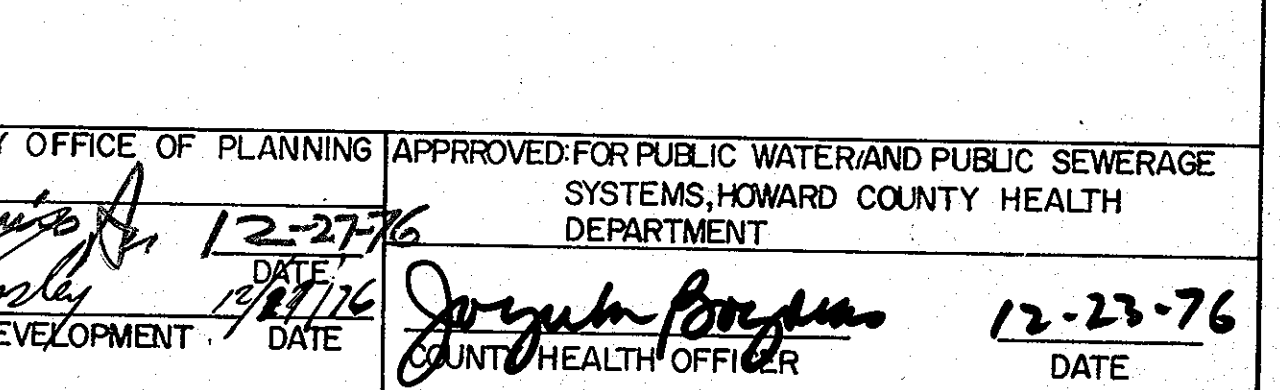
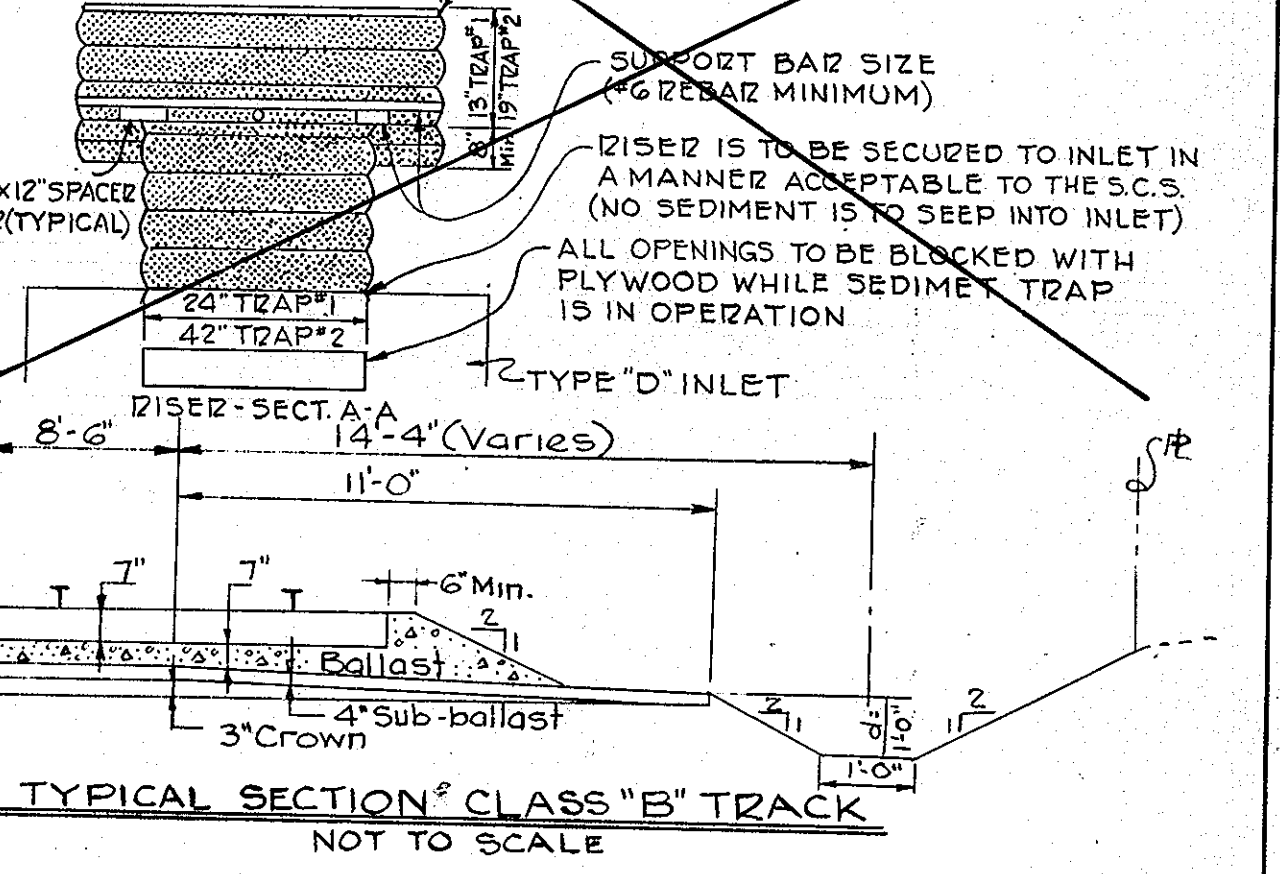
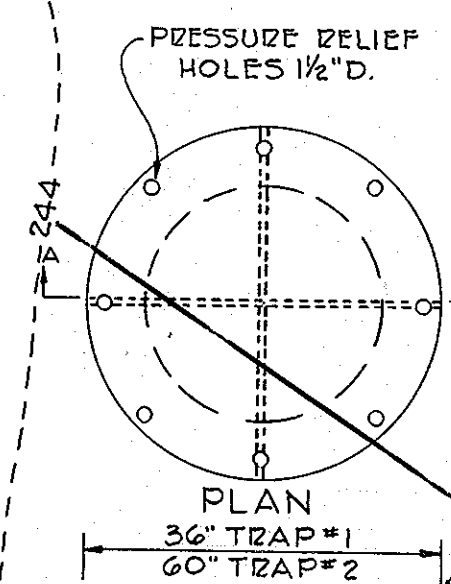
Δ = 08° 53' 17"
 R = 1476.82'
 L = 229.09'
 T = 114.78'
 CHD. = N41° 33' 21" E
 C.L. = 228.86'



Revise By:
 KCI Technologies, Inc.
 14400 Greenview Dr
 Suite 102
 Laurel, MD 20708
 410.702.8086



Δ = 20° 38' 31"
 R = 496.34'
 L = 178.82'
 T = 90.39'
 CHD. = S 65° 00' 35" W
 C.L. = 177.85'



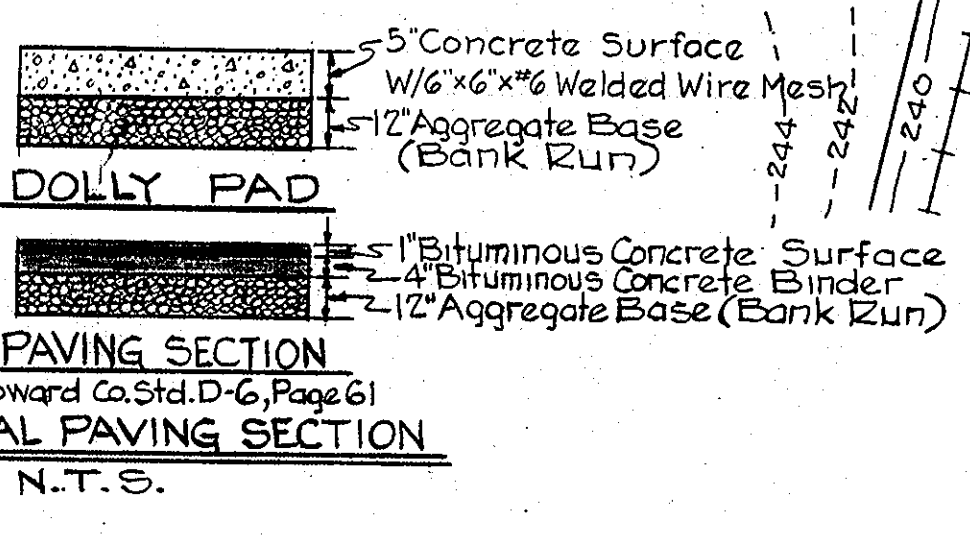
CERTIFICATION BY THE DEVELOPER
 "I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN OF SILT AND SEDIMENT CONTROL AND I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS DEEMED NECESSARY DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT."
 Signature: *John E. Harms, Jr.*
 DATE: 11/12/76

CERTIFICATION BY THE ENGINEER
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
 Signature: *Eric V. Herman*
 DATE: 10/5/76

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS
 Signature: *Eric V. Herman*
 DATE: 12/16/76
 U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 APPROVED: *Robert W. Ziehm*
 DATE: 12-16-76
 HOWARD S.C.D.

NOTE: For sediment control measures see SOP 00-150.
 For grading, paving, storm drain & property line revisions see sheet 2 of 6.



APPROVED
 DIVISION OF LAND DEVELOPMENT
 HOWARD COUNTY, MARYLAND
 DATE: 12-10-76
 Signature: *Thomas E. Harris*

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS & PUBLIC ROADS WORKS
 Signature: *W. O. Pulbert*
 DATE: 12-22-76
 CHIEF BUREAU OF HIGHWAYS

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 Signature: *James L. Davis*
 DATE: 12-27-76
 PLANNING DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 Signature: *Joseph M. Ferguson*
 DATE: 12-23-76
 COUNTY HEALTH OFFICER

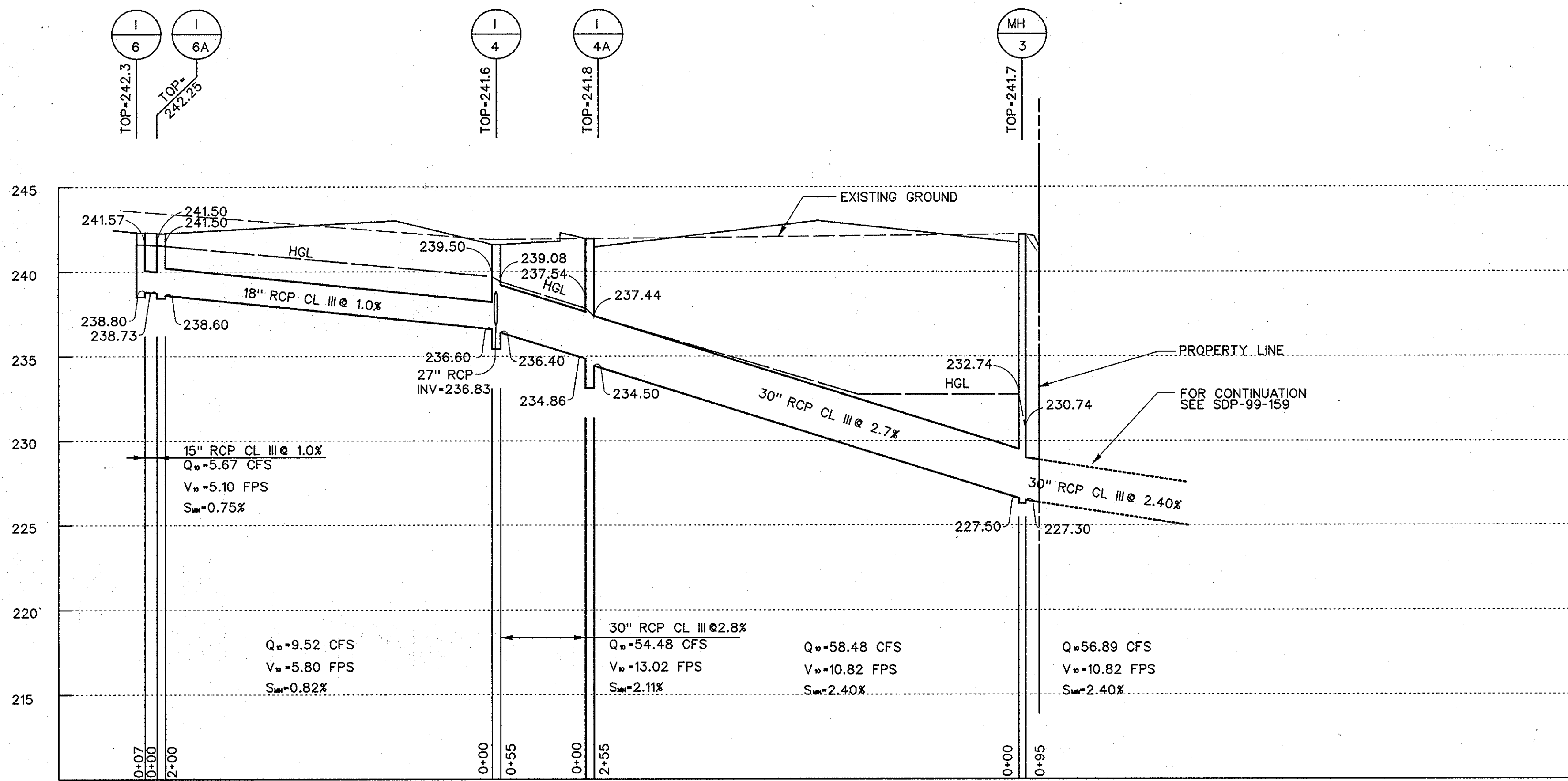
JOHN E. HARMS, JR. & ASSOCIATES, INC.
 CONSULTING ENGINEERS
 P.O. BOX NO. 5
 PASADENA, MARYLAND 21122

BALTIMORE - WASHINGTON INDUSTRIAL PARK
 BLOCK "C", PARCEL "E"
 6th ELECTION DISTRICT
 HOWARD COUNTY, MD.

OWNER
 LANDEL SUNDOWNER, INC.
 110 WEST ROAD
 BALTIMORE, MARYLAND 21204

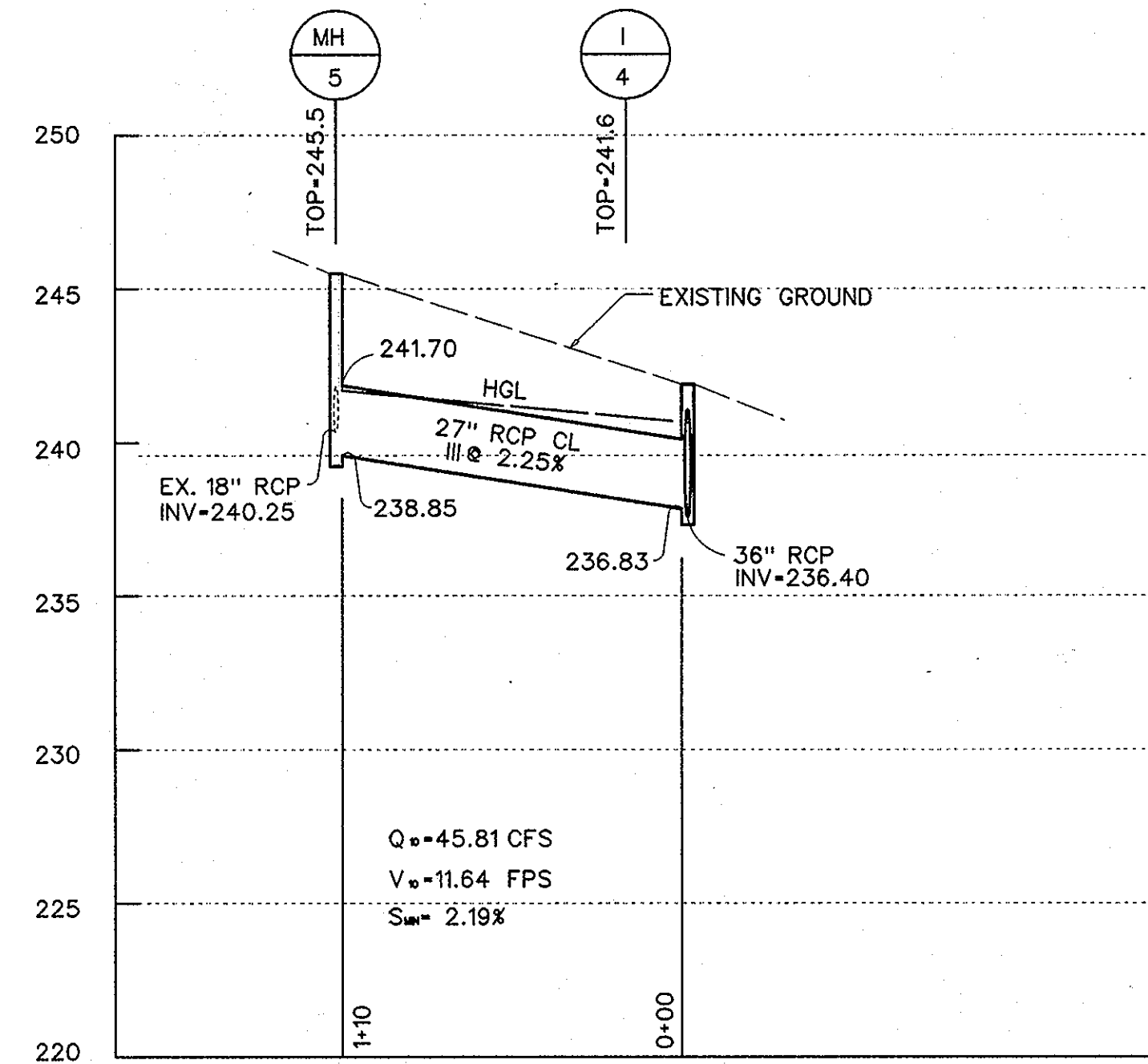
DEVELOPER
 GLEN ARM DEVELOPMENT AND CONSTRUCTION CO. INC.
 11109 OLD CARRIAGE ROAD
 GLEN ARM, MARYLAND 21057

EROSION & SEDIMENT CONTROL
TRAMMELL CROW WAREHOUSE NO. 2
 DWG. NO. Δ
 SHT NO. 5 OF X/G
 SCALE: 1" = 40'
 TAX MAP 48
 DATE: OCT. 1976



PROFILE FROM INLET 6 TO STRUCTURE 1

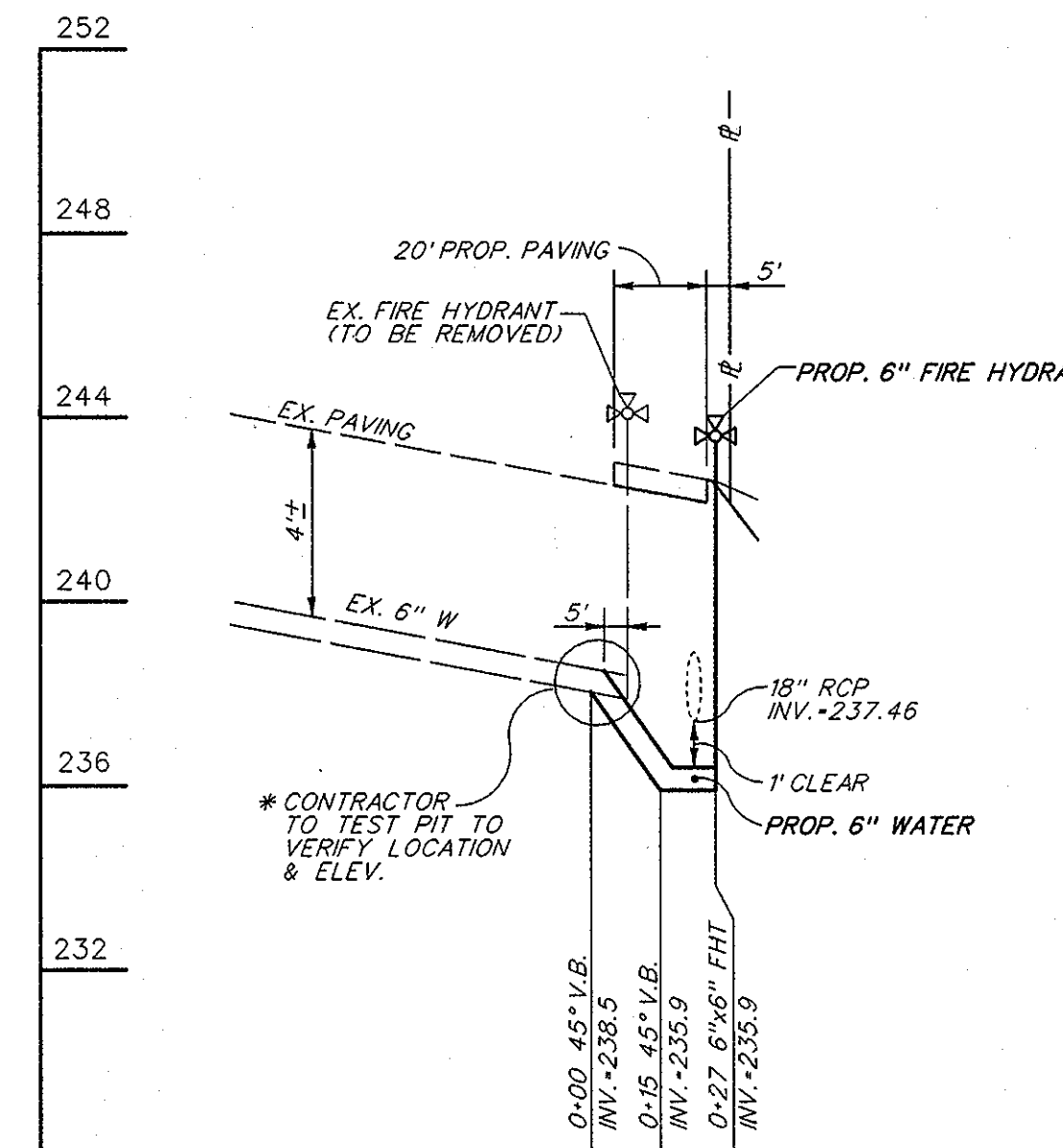
SCALE: 1"=50' HORIZ.
1"=5' VERT.



PROFILE FROM STRUCTURE 5 TO INLET 4

SCALE: 1"=50' HORIZ.
1"=5' VERT.

STRUCTURE SCHEDULE					
NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARK
I-6A	WR-INLET	238.73	238.80	242.25	HO. CO. STD. DETAIL SD4.35
I-6	WR-INLET	238.80	238.80	242.30	MD. SHA. STD. MD-374.04
MH-5	C-MANHOLE	240.25	238.85	245.50	HO. CO. STD. DETAIL G5.12
I-4A	WR-INLET	234.86	234.50	241.80	HO. CO. STD. DETAIL SD4.35
I-4	WR-INLET	238.60	236.40	241.60	HO. CO. STD. DETAIL SD4.35
MH-3	C-MANHOLE	227.50	227.30	241.70	HO. CO. STD. DETAIL G5.12
I-3	"S" DOUBLE COMB.	230.12	229.92	242.6	HO. CO. STD. DETAIL (Pg. 153)
I-1	C	238.8	235.87	239.63	HO. CO. STD. DETAIL (Pg. 119c)
MH-1	C-MANHOLE	227.71	226.51	242.6	HO. CO. STD. DETAIL G5.12



PROPOSED 6" WATER PROFILE

SCALE: HORIZ: 1"= 40'
VERT: 1"= 4'

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS IN CONFORMANCE WITH THE MASTER PLAN OF WATER AND SEWERAGE FOR HOWARD COUNTY.

HOWARD COUNTY HEALTH OFFICER _____ DATE _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

CHIEF, DEVELOPMENT ENGINEERING DIVISION & DATE 5/17/00

CHIEF, DIVISION OF LAND DEVELOPMENT DATE 4/5/00

DIRECTOR DATE 6/4/00

APPROVED: FOR STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, PUBLIC SEWERAGE AND WATER.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

DIRECTOR DATE _____

CHIEF, BUREAU OF ENGINEERING DATE _____

BY THE DEVELOPER:

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

DEVELOPER DATE 4-26-00

BY THE ENGINEER:

I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL, REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

ENGINEER DATE 4-26-00

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

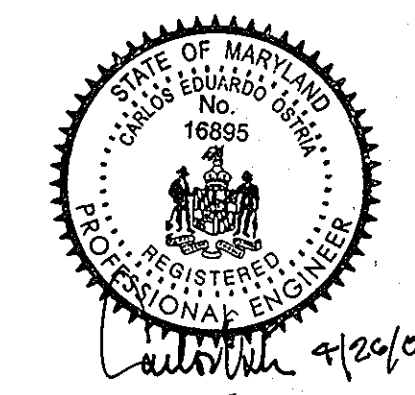
NATURAL RESOURCES CONSERVATION DATE _____

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL, MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE _____

Reason For This Sheet:

Note: Sheet 6 of 6 is added to SDP.77.30 to incorporate changes involving a land swap between the adjoining property owner, Acme Properties G.P. and incorporating revisions to this SDP as shown on SDP.00-159.



BALTIMORE / WASHINGTON INDUSTRIAL PARK

ZONING: 'M-2'
TAX MAP NO. 48 : PARCEL E, BLOCK "C"

SIXTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN
DATE: MARCH 23, 2000
SHEET 6 OF 6

Drafting	DATE	REVISIONS
Check CGW		
Design CGW		
Check CEO		

KCI Technologies, Inc.
14409 Greenview Drive, Suite 102
Laurel, Maryland 20708
(301) 953-1821 (410) 792-8086
fax: (410) 792-7419

PREPARED FOR:
PRIME STAYTON LIMITED PARTNERSHIP
8231 STAYTON DRIVE
SAVAGE, MD 20763

REVISED STORMDRAIN PROFILES