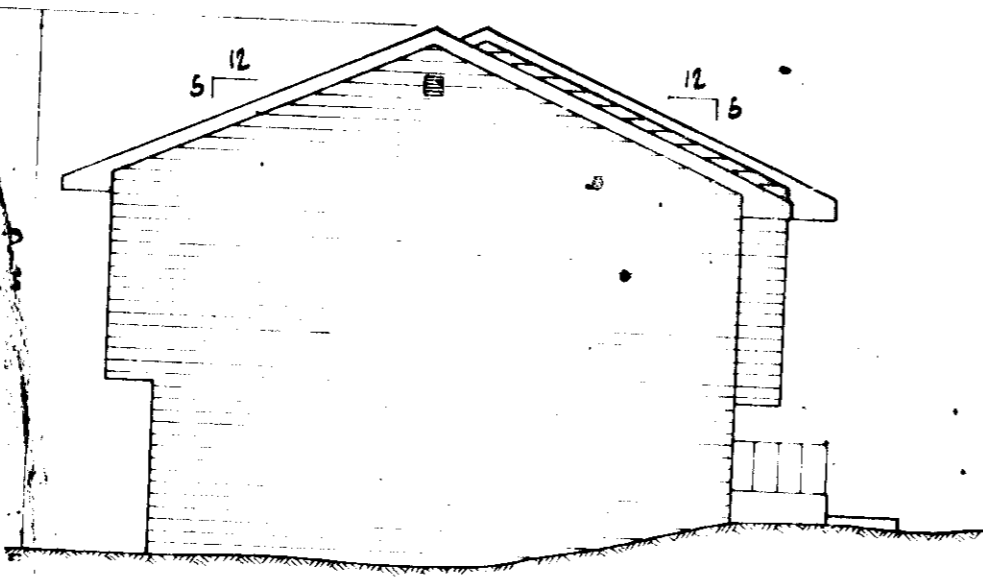


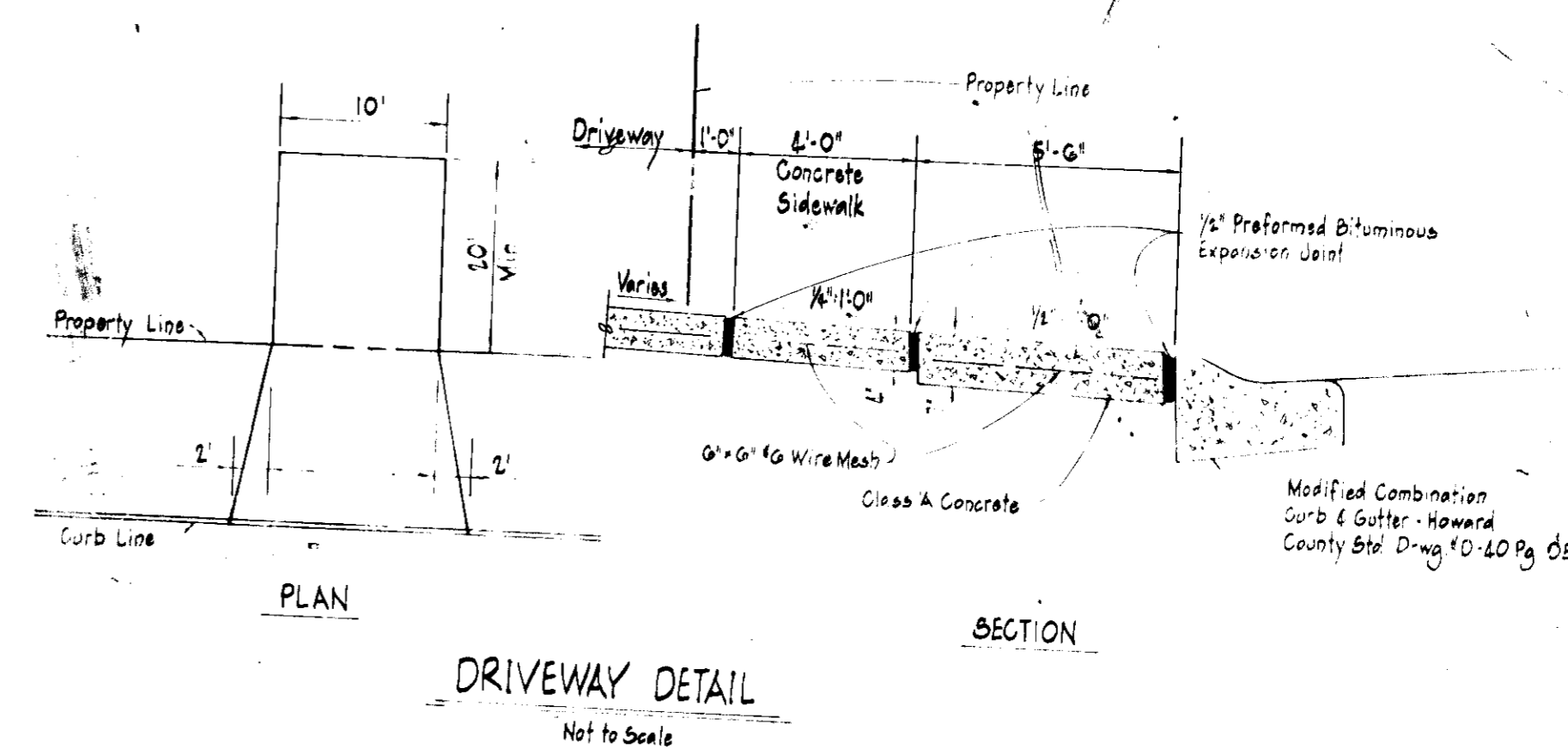
TWO STORY



SPLIT FOYER

**SCHEMATIC BUILDING PROFILES**

Scale: 1/8" = 1'-0"

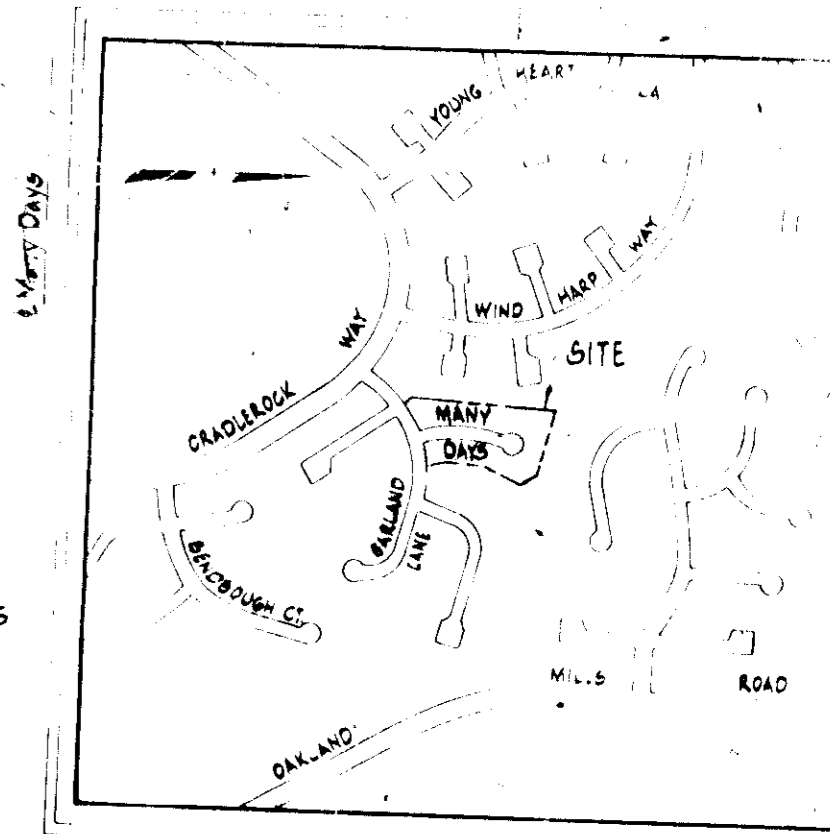


PLAN

SECTION

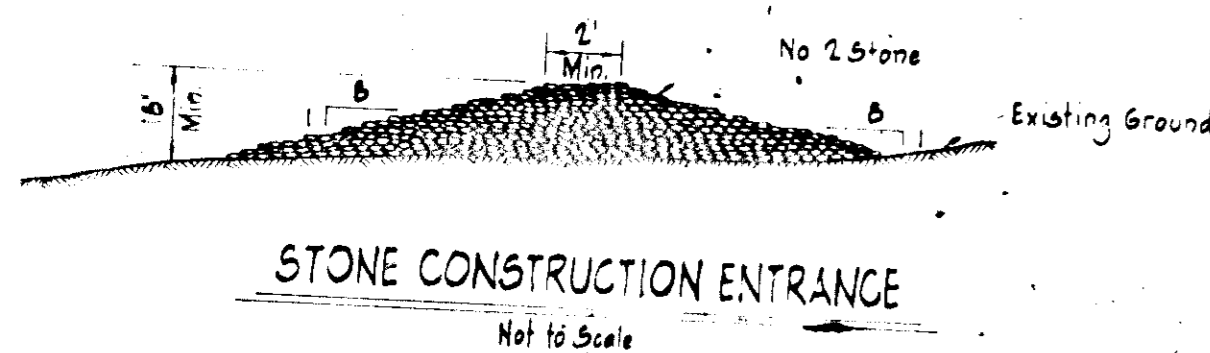
**DRIVEWAY DETAIL**

Not to Scale



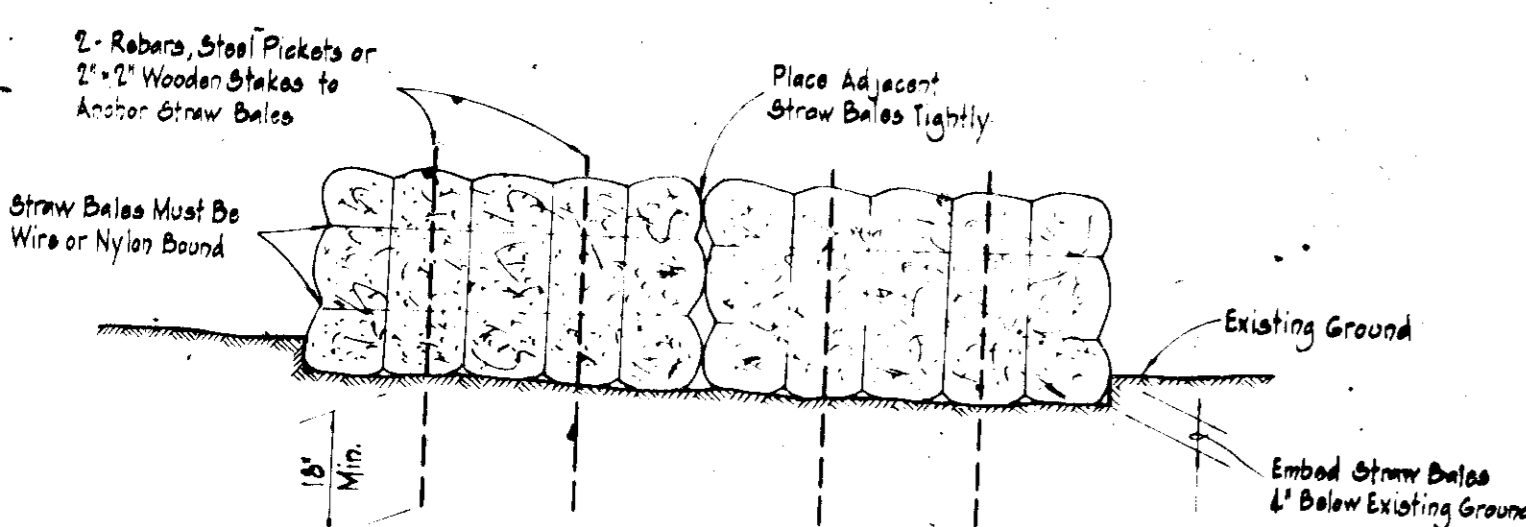
**VICINITY MAP**

Scale: 1" = 100'



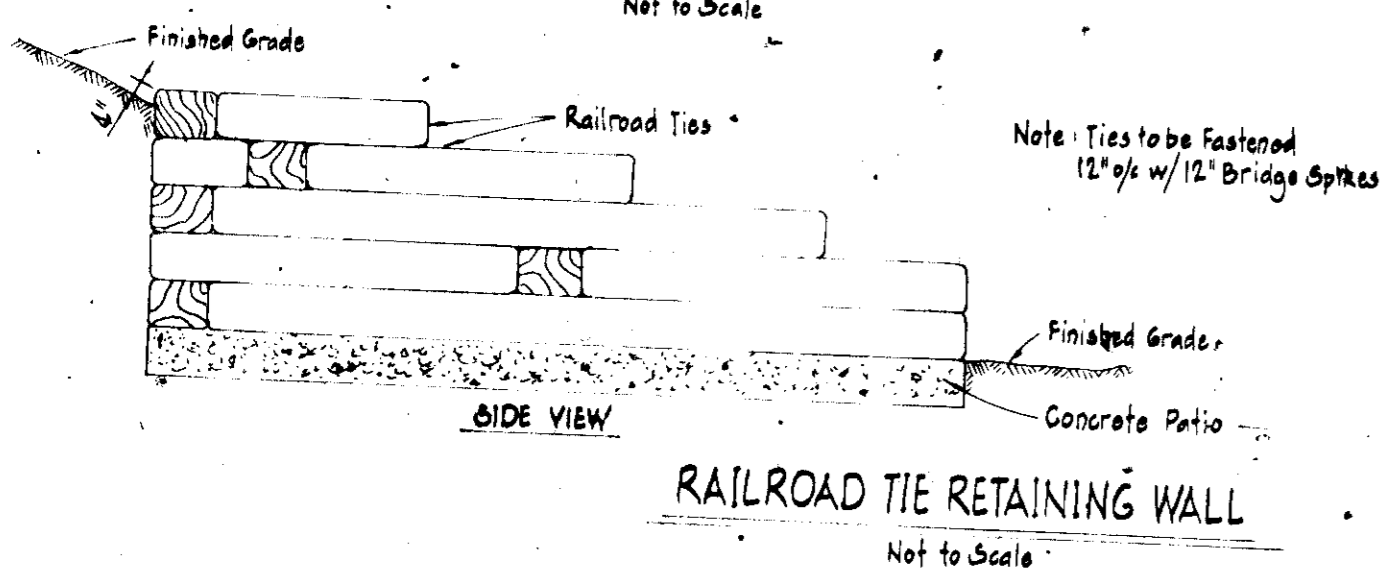
**STONE CONSTRUCTION ENTRANCE**

Not to Scale



**STRAW BALE DIKE**

Not to Scale



**RAILROAD TIE RETAINING WALL**

Not to Scale

**SITE ANALYSIS**

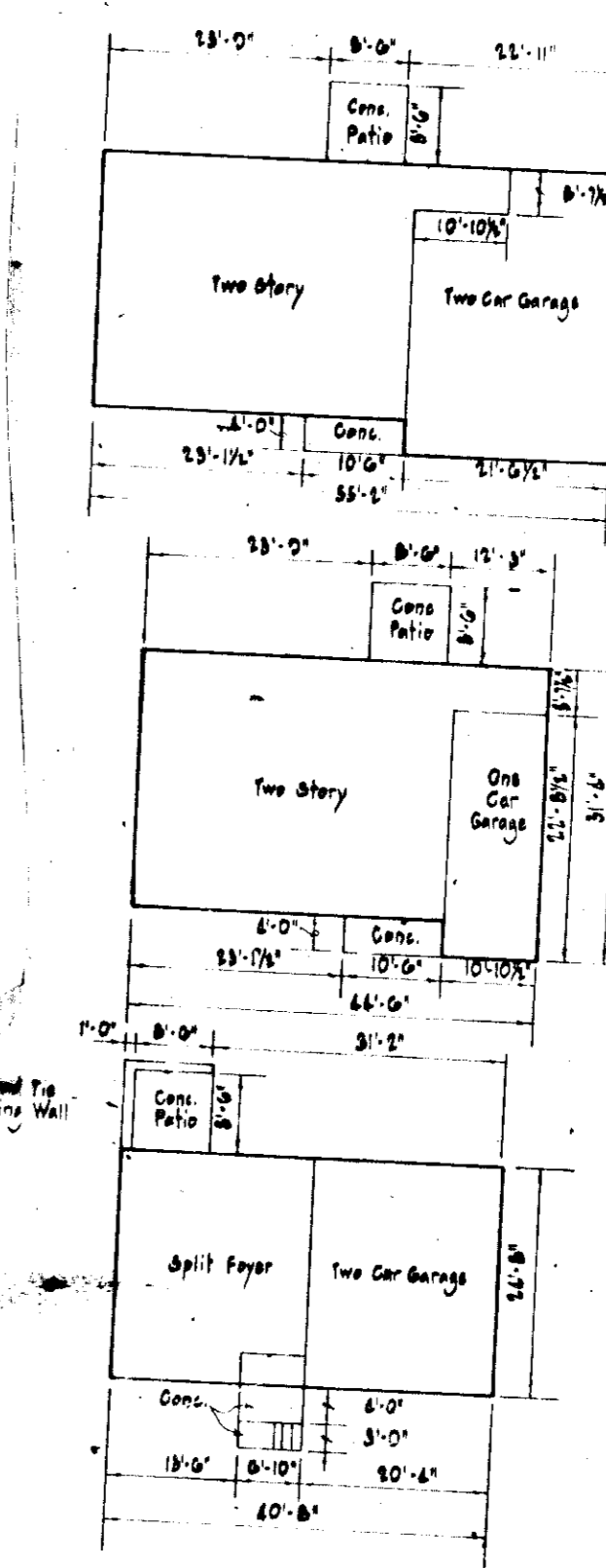
- Total area 2.4 Ac. ±
- Area to be graded 2.4 Ac. ±
- Area to be paved or made impervious .7 Ac. ±
- Area to be revegetated 1.7 Ac. ±
- Undisturbed area 0.0 Ac. ±
- FDP 146-A
- Present Zoning: Single family low and/or medium density

**CONSTRUCTION SEQUENCE**

- Box out driveways.
- Construct temporary stone construction entrances.
- Place straw bales around perimeter of lots as shown on plan.
- Excavate for foundation and slab of dwelling.
- Install utilities (water and sewer).
- Install and repair reaches of straw bale dike around perimeter disturbed during installation of utilities.
- Complete exterior of dwelling.
- Final grading to within 3" of finished grade.
- Stabilize in accordance with Sediment Control Note No. 3.
- All construction vehicles shall limit access to dwelling via driveway from this point of construction.
- Maintenance.

**GENERAL NOTES**

- All construction will be in accordance with the Howard County Road Construction Code & Standard Specifications.
- This plan is subject to the supplemental sewer in-aid-of-construction charge created by Executive Order No. 72-9.
- Many Days and Garland Lane are public roads owned by Howard County. Any damage to right-of-ways or paving must be corrected at developer's cost.



**TYPICAL BUILDING PLANS**

Scale: 1/4" = 1'-0"

**SEDIMENT CONTROL NOTES**

- The contractor shall notify the Howard Soil Conservation District and the Bureau of Inspection, License and Permits at least 24 hours prior to beginning construction shown hereon.
- Sediment control measures must be installed and stabilized in accordance with this plan prior to any grading operations.
- All areas disturbed by grading or Contractor's operations, not being paved shall be seeded, mulched and matted in accordance with the following:
  - Place 3" compacted layer of topsoil to finished grade.
  - Spread pulverized dolomitic limestone at the rate of 46 lbs./1000 sq. ft.
  - Spread 5-10-10 commercial grade fertilizer at the rate of 25 lbs./1000 sq. ft. and immediately disc into topsoil to a depth of 3".
  - Seed prepared areas at the rate of 3 lbs./1000 sq. ft. using seed mixture specified below:
    - 45% Certified Creeping Red Fescue
    - 45% Certified Kentucky Blue Grass
    - 10% Annual Rye Grass
  - Mulch all areas immediately after seeding with un-rotted small grain straw or hay at the rate of 1.5 tons/acre; spray mulch with emulsified asphalt at the rate of 0.4 gal./sq. yd.
- Sediment control measures shown on plan are not to be removed except with permission of Howard Soil Conservation District. (465-5000 Ext. 328)
- No slopes steeper than 3:1 shall be created.
- Periodic inspection and required maintenance must be provided by the Contractor or his representative on a daily basis to ensure proper functioning of all sediment control structures and devices.
- If any more than two contiguous lots are to be developed at any one time the contractor shall notify the Howard Soil Conservation District and a new plan of Sediment and Erosion Control will be submitted for approval prior to beginning any construction or grading operation.



Cay G. Wainor, Jr.  
Reg. No. 5182  
5/31/75  
Date

APPROVED  
DIVISION OF LAND DEVELOPMENT  
(AND TRANSPORTATION PLANNING)  
HOWARD COUNTY, MARYLAND  
DATE: 8/26/75  
JWC

<p>DEVELOPER</p> <p>I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OF THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT.</p> <p>Signature: <i>John L. Harrison</i> DATE: 8/15/75</p>	<p>APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS. HOWARD COUNTY HEALTH DEPARTMENT.</p> <p>Signature: <i>[Signature]</i> COUNTY HEALTH OFFICER / DATE: 8/15/75</p>	<p>APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND ROADS. HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS</p> <p>Signature: <i>[Signature]</i> DIRECTOR / DATE: 8/15/75</p>
<p>PROFESSIONAL ENGINEER</p> <p>I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.</p> <p>Signature: <i>Cay G. Wainor, Jr.</i> DATE: 8/31/75</p>	<p>HOWARD SOIL CONSERVATION DISTRICT</p> <p>REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND METS TECHNICAL REQUIREMENTS</p> <p>Signature: <i>[Signature]</i> DATE: 9/15/75</p> <p>THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.</p> <p>APPROVED: <i>[Signature]</i> HOWARD SOIL CONSERVATION DISTRICT / DATE: 8/15/75</p>	<p>APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.</p> <p>Signature: <i>[Signature]</i> PLANNING DIRECTOR / DATE: 8/15/75</p> <p>Signature: <i>[Signature]</i> CHIEF, DIV. OF LAND DEVELOPMENT AND TRANSPORTATION PLANNING / DATE: 8/15/75</p>

GRADING PLAN  
LOT 263 TO LOT 265

**VILLAGE OF OWEN BROWN**

SECTION 4  
6TH ELECTION DISTRICT  
AREA 1  
HOWARD COUNTY, MARYLAND

**PURDUM & JESCHKE**  
CONSULTING ENGINEERS  
LAND SURVEYORS

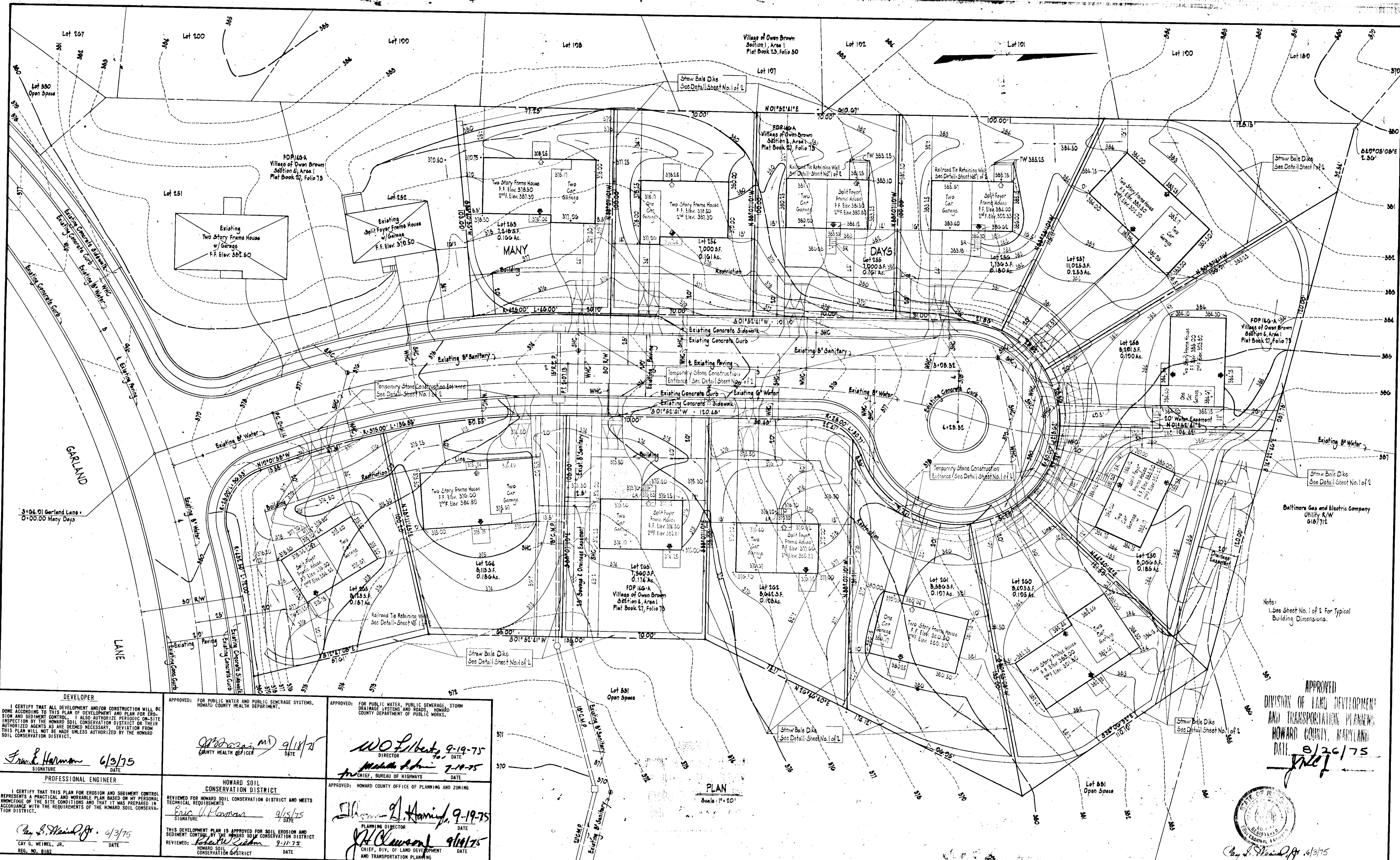
1023 North Calvert Street  
Baltimore, Maryland 21202  
301/837-0194

NO.	DATE	BY	DESCRIPTION
1	Aug. 7, 1975	D.D.B.	As per Howard County comments dated Aug. 15, 1975
2	Sept. 2, 1975	D.D.B.	As per Howard County comments dated Aug. 27, 1975

<p>OWNER &amp; DEVELOPER</p> <p>ERANK HARRISON 400 HONORS BLDG 6730 HUNTERS HILL RD BALTIMORE, MARYLAND 21227 301 296 1084</p>	<p>SHEET NO. 1 OF 2</p>
--	-----------------------------

JWP-75-112





**DEVELOPER**  
 I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 Signature: *Frank E. Harmon*  
 Date: 6/3/75

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.  
 Signature: *[Signature]*  
 Date: 9/18/75  
 COUNTY HEALTH OFFICER

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.  
 Signature: *W. O. Liberty*  
 Date: 9-19-75  
 DIRECTOR  
 Signature: *Mark S. [Signature]*  
 Date: 7-10-75  
 CHIEF, BUREAU OF HIGHWAYS

**PROFESSIONAL ENGINEER**  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
 Signature: *Ray S. Weinel, Jr.*  
 Date: 4/3/75  
 CAT. G. WEINEL, JR.  
 REG. NO. 8182

**HOWARD SOIL CONSERVATION DISTRICT**  
 REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS  
 Signature: *Eric W. Harmon*  
 Date: 9/15/75  
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 Signature: *[Signature]*  
 Date: 9-17-75  
 REVIEWED: HOWARD SOIL CONSERVATION DISTRICT

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
 Signature: *Sharon L. Harving*  
 Date: 9-19-75  
 PLANNING DIRECTOR  
 Signature: *John Clewland*  
 Date: 9/11/75  
 CHIEF, DIV. OF LAND DEVELOPMENT AND TRANSPORTATION PLANNING

APPROVED  
 DIVISION OF LAND DEVELOPMENT AND TRANSPORTATION PLANNING  
 HOWARD COUNTY, MARYLAND  
 DATE: 8/26/75  
 Signature: *[Signature]*  
 Signature: *Ray S. Weinel, Jr.*  
 Date: 4/3/75  
 REG. NO. 8182

GRADING PLAN  
 LOT 253 TO LOT 265  
**VILLAGE OF OWEN BROWN**  
 SECTION 4  
 6th ELECTION DISTRICT  
 AREA 1  
 HOWARD COUNTY, MARYLAND

**PURDUM & JESCHKE**  
**CONSULTING ENGINEERS**  
**LAND SURVEYORS**  
 1023 North Calvert Street  
 Baltimore, Maryland 21202 301/837-0194

REVISIONS			
NO.	DATE	BY	DESCRIPTION
1	Aug 1, 1975	B.D.B.	As per Howard County comments dated Aug. 5, 1975
2	Sept 2, 1975	B.D.B.	As per Howard County comments dated Aug. 27, 1975

DESIGNED: E.D. BURTON  
 DRAWN: B.D. BURTON  
 CHECKED: R.B. CARTER  
 SCALE: 1" = 20'  
 DATE: JUNE 18, 1975

**OWNER & DEVELOPER**  
 FRANK HARMON  
 NU-HOMES, INC.  
 6730 MONTGOMERY RD.  
 BALTIMORE, MARYLAND 21227  
 301/796-1024  
 SHEET NO.  
 2 OF 2

DRAWING 44-132 2342