

DEVELOPER'S CERTIFICATE

We certify that all development and/or construction will be done according to this plan of development and plan for Erosion and Sediment Control, and we also authorize periodic on site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary. Deviation from this plan will not be made unless authorized by the Howard Soil Conservation District.

Name: Andrew-Marc Co.
 ANDREW - MARC CO. Date: _____

ENGINEER'S CERTIFICATE

I certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

William G. Rasch, II
 William G. Rasch, II Date: 4/18/74

Reviewed for Howard Soil Conservation District and meets Technical Requirements.
James M. Helms
 U.S. Soil Conservation Service Date: 5-23-74

This development plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.
Howard Soil Conservation District
 Date: 5-1-74

GENERAL NOTES

- Site Analysis
 - Area of parcel: 6.497 Ac.±
 - Present zoning: M-1
 - Total number of employees: 5 now, 10 add'l proposed
 - Floor space:
 - Existing: 14,600±
 - Add'l: 4,140±
 - Total: 18,740±
- Parking
 - Required: 8
 - Provided: 21
 - All spaces 10'x20' with 24' back up and 24' driveway.
- All construction materials and details shall be in accordance with the latest revisions of the Howard County Road Construction Code and Standard Specifications.
- Proposed grade contours represent finished grades. Contractor shall make allowances to subgrade for topsoil, paving and other surface finishes as required.
- Location of existing utilities is approximate only. Contractor shall notify all utility companies involved and locate all existing utilities to his own satisfaction before any connections are made.
- Tax map #8, parcel 42.
- Only construction of two building additions to be made under this plan. No additional parking or other paved areas to be made.
- Septic system existing in rear of building.
- Well existing in front of building.

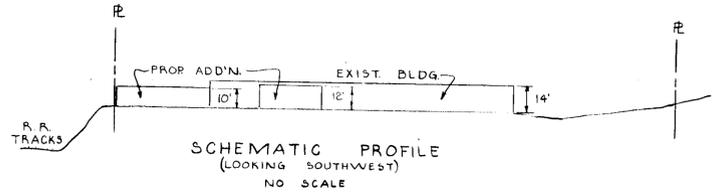
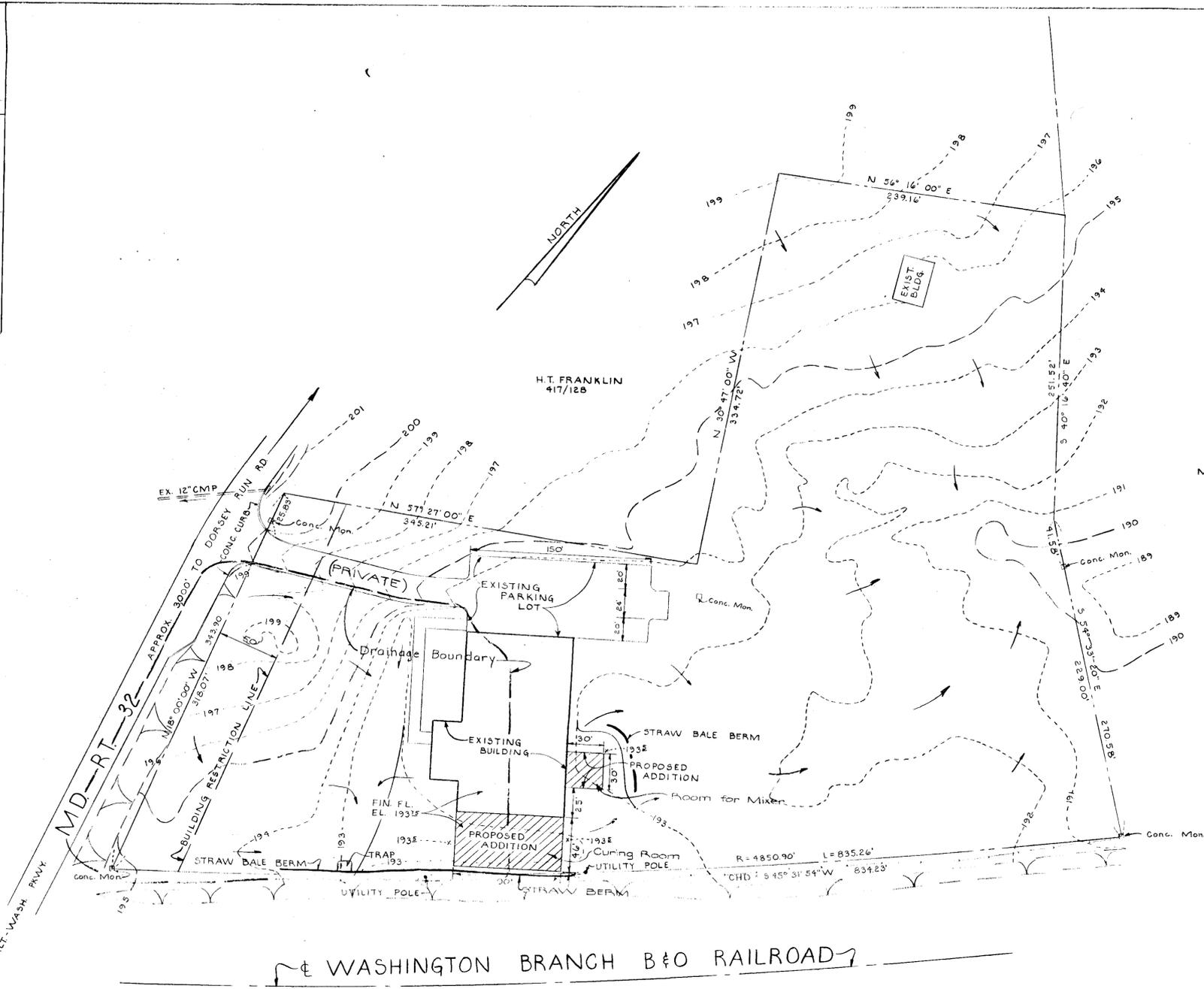
SEDIMENT CONTROL NOTES

- The developer shall notify the Howard Soil Conservation District at least 24 hours prior to beginning any construction shown hereon (465-3180).
- Sediment Control Construction Sequence
 - Install straw bale berm.
 - Construct additions to building.
 - Grade property as required by site plan.
 - Sod disturbed areas according to the following procedure:
 - Harrow or disc in areas proposed to be sodded the following materials at the specified rates to a depth of 3":
 - Fulvurized burnt limestone at 1/2 ton/acre
 - Commercial fertilizer 5-10-10 at 1/2 ton/acre
 - Super phosphate at 600 lbs. per acre.
 - Lay sod to tight fit.
 - Roll sod upon placement.
 - After placement of sod water thoroughly during first two weeks.
 - All roof drains are to be directed away from the railroad slope.

PURDUM & JESCHKE
 ENGINEERS AND
 LAND SURVEYORS
 3697 PARK AVE
 ELLICOTT CITY, MD



Wm. G. Rasch, II Date: _____
 Reg. No. 4575



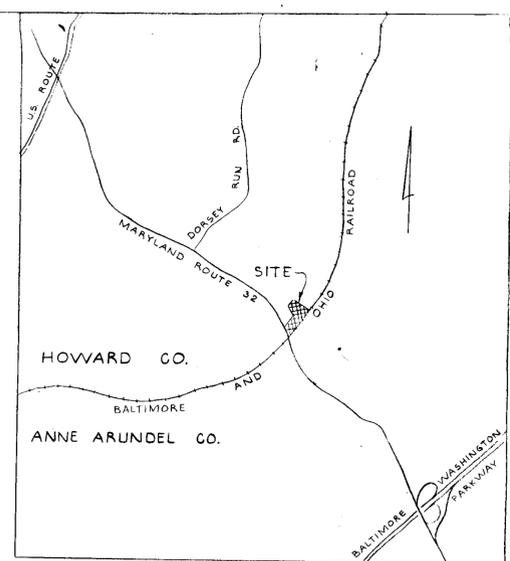
APPROVED: For Private Water and Private Sewerage Systems, Howard County Health Department.

 County Health Officer Date: _____

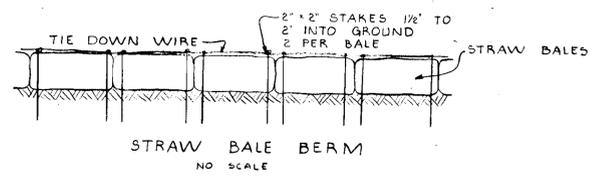
APPROVED: Howard County Office of Planning and Zoning.
William G. Rasch, II 6/11/74
 Planning Director Date: _____

APPROVED: For Storm Drainage Systems and Roads, Howard County Department of Public Works.
William G. Rasch, II 6/6/74
 Director Date: _____

OWNER - DEVELOPER
 ANDREW - MARC CO.
 11071 ANNAPOLIS JUNCTION RD
 ANNAPOLIS JUNCTION, MD
 301/776-7765



MD. DEPT. OF CORRECTION
 346/516



Disturbed area = 0.12 Ac. Allow for 64 cu. yd. of silt per disturbed acre, so Trap Volume = 0.12 (64) = 7.7 cu. yd. Use Trap 10' x 7' x 3' = 7.8 cu. yd.

MAY 6, 1974
J.H. Dawson, Jr. P.R.

SITE PLAN
 ADDITION TO PROPERTY OF
 ANDREW - MARC CO.
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 MARCH 13, 1974 REV. 5-13-74 SCALE 1" = 50'

DR-74-05