

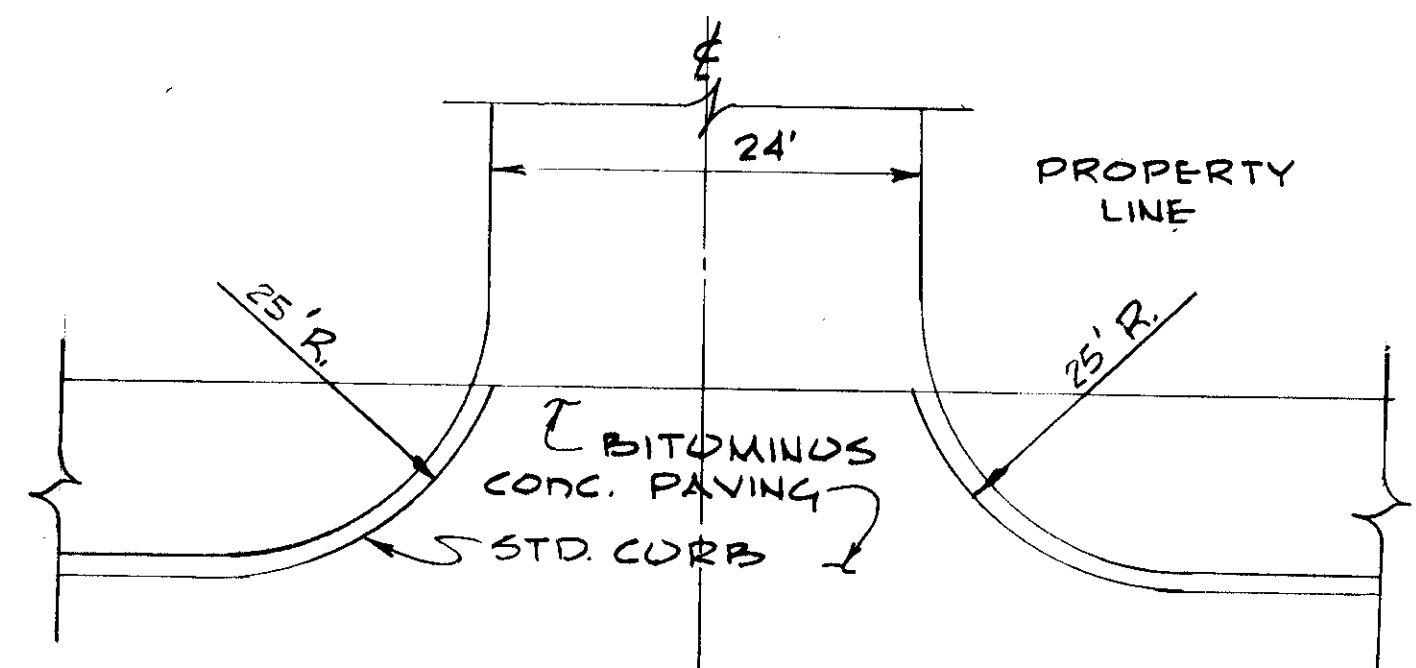
Note:
 Base Will Be Primed In Accordance With Section C-30.3
 As Provided In The Howard County Road Construction
 Code And Standard Specifications.
 Tack Coat Is Required In Accordance With Section C-31.4
 Of The Howard County Road Construction Code And
 Standard Specifications.

BAND C-3	1" BITUMINOUS CONCRETE SURFACE	1"
1 COURSE BAND C-2 or G-3	4" BITUMINOUS CONCRETE BASE	4"

SURFACE COURSE C-3
 BASE COURSE C-2 or G-3

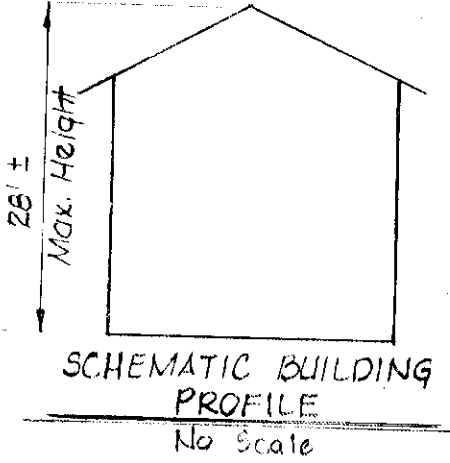
To Be Constructed In Accordance With The Howard County
 Road Construction Code & Specifications

PARKING LOT PAVING DETAIL
 No Scale



ENTRANCE DETAIL
 No Scale

VILLAGE OF HARPERS CHOICE
 SECTION 4, AREA 1
 P.B. 15 FOUND 53



APPROVED: For Public Water And Public Sewerage Systems, Howard County Health Department/County Health Officer
 Date: 10/17/74

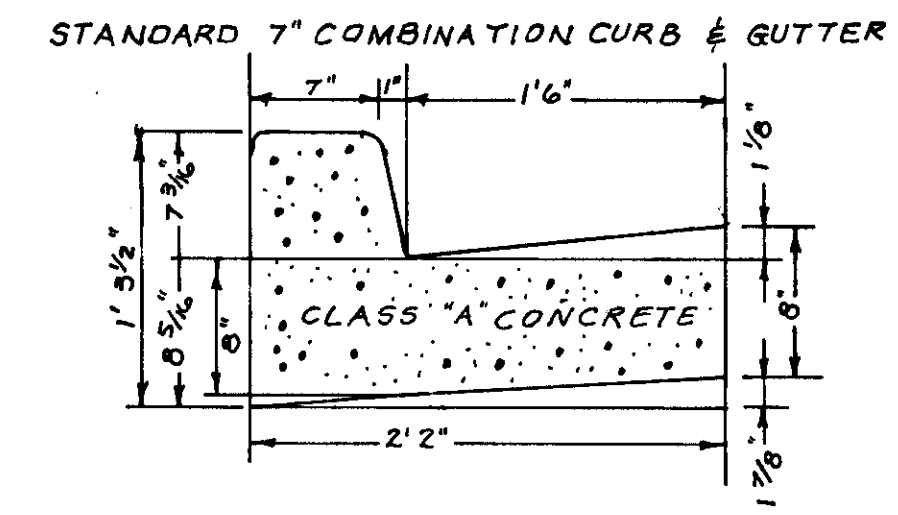
APPROVED: Howard County Office Of Planning And Zoning
 Planning Director
 Date: 10/21/74

APPROVED: For Public Water, Public Sewerage And Storm Drain Systems And Roads
 Howard County Department Of Public Works
 Director
 Date: 10/16/74

SITE ANALYSIS

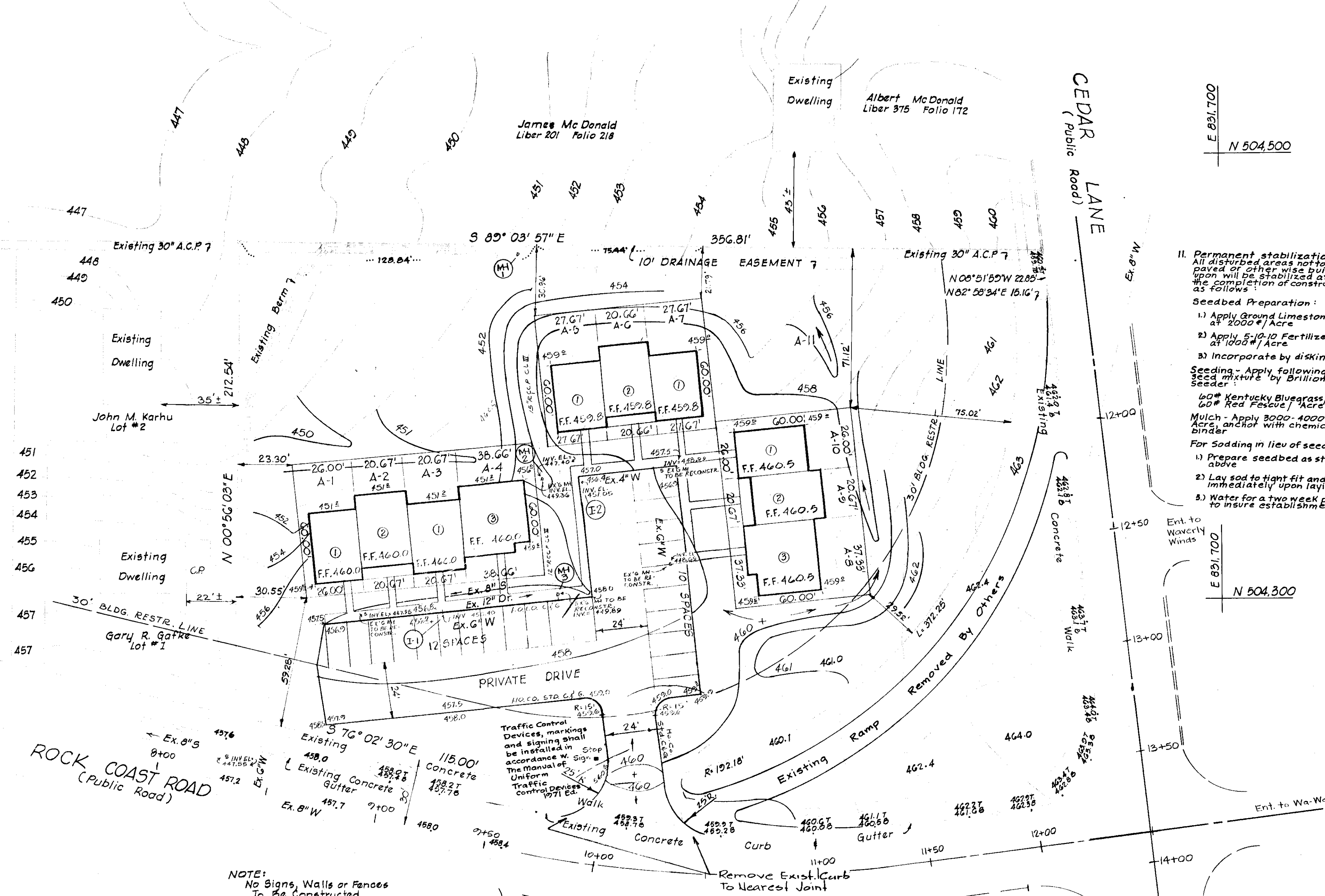
- AREA OF PARCEL: 1.7 AC.
- ZONING: ATTACHED LAND USE
- TOTAL UNITS ALLOWED: 17
- TOTAL UNITS PROVIDED: 10
- SQUARE FEET OF FLOOR AREA:
 - A Unit Type @ 1385 sq.ft.
 - B Unit Type @ 1385 sq.ft.
 - C Unit Type @ 1725 sq.ft.
- PARKING: REQUIRED: 2 SPACE PER UNIT
 NO. OF PARKING SPACES: 21
 PARKING SPACE SIZE: 204.10'
- TOPOGRAPHY COMPILED BY ACTUAL FIELD SURVEY.
- LOT "A-11" COMMON AREA TO BE MAINTAINED BY HOMEOWNERS ASSOCIATION.
- PUBLIC WATER & SEWER TO BE MADE AVAILABLE.
- MINIMUM BUILDING SETBACK RESTRICTIONS FROM PROPERTY LINES & THE RIGHT OF WAY OF ANY PUBLIC ROAD TO BE IN ACCORDANCE WITH THE RECORDED FINAL DEVELOPMENT PLAN CRITERIA 7 & 8.

NOTE:
 The lots or parcels shown on this plat (plan) are subject to the supplemental sewer In-Aid of Construction charge created by Section 20.311A of the Howard County Code and to Executive Order No. 72.9.



GENERAL NOTES

- These plans and the Contract Specifications shall be mutually supplementary.
- It shall be the Contractor's responsibility to perform the work in such a manner as to prevent the washing of any topsoil, silt, or debris onto adjacent properties and he shall be held responsible for any damages incurred.
- Top of structures shall not be set until finished grade is completed in order to avoid unnecessary adjustments.
- All finished grading and pouring shall be done in such a manner as to preclude the ponding of water.
- Lengths shown for sewers are measured between centers of structures and are not to be used for horizontal stationing. Upon stakeout, hold the inverts and adjust the percent of grade to reflect any differences between scaled and computed lengths.
- The Permittee shall provide adequate means of cleaning trucks and other equipment of mud prior to entering the right-of-way and it is the Permittee's responsibility to clean street and alley dust, and take whatever measures are necessary to insure that the road is maintained in a clean, mud and dust free condition at all times.
- Elevations shown for tops of curbs (where no centerline profiles are given herein) are taken on tangent grades. The Contractor shall round all vertical breaks with smooth spline curves fitted to such grades.
- The Contractor shall obtain a permit from Howard County Department of Public Works to make the sewer tap to existing manhole.
- Sediment Control as shown on plan shall conform with the Howard County Soils Conservation District.
- The existing water and sewer lines serving buildings to be provided by plumbing contractor. Water lines to be installed by master plumber.



- II. Permanent Stabilization - All disturbed areas not to be paved or otherwise built upon will be stabilized at the completion of construction as follows:
- Seeded Preparation:
- Apply Ground Limestone at 2000#/Acre
 - Apply 50-10 Fertilizer at 1000#/Acre
 - Incorporate by disking
- Seeding - Apply following seed mixture by Broadcast Seeder:
- 60% Kentucky Bluegrass/Acre
 - 40% Red Fescue/Acre
- Mulch - Apply 3000-4000# straw/Acre, and/or with chemical binder
- For Sodding in lieu of seed -
- Prepare seedbed as stated above
 - Lay sod to tight fit and roll immediately upon laying
 - Water for two week period to insure establishment

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS
 Signature: James M. Helms
 Date: 8-30-74
 US SOIL CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT
 Approved: Robert J. Zehner
 Date: 8-30-74
 Howard S.C.D.

NOTE:
 No Signs, Walls or Fences To Be Constructed

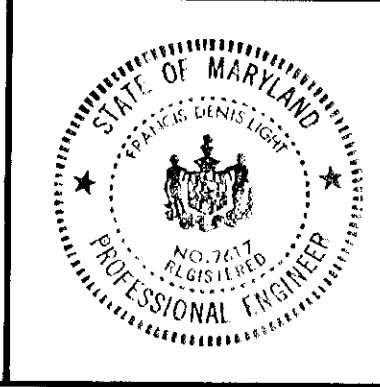
BY THE DEVELOPER:
 I certify that all development and/or construction will be done according to this plan of development and plan for Erosion and Sediment Control, and I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.
 Diversion from this plan will not be made unless authorized by the Howard Soil Conservation District.
 Signature: Albert E. Schweinert
 Date: 7/24/74

BY THE ENGINEER:
 I certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature: F. Denis Light
 Date: 7-24-74

OWNER-DEVELOPER
 HAWYERMALE CONSTRUCTION CO.
 14600 BLD COLUMBIA ROAD
 BURTONSVILLE, MARYLAND

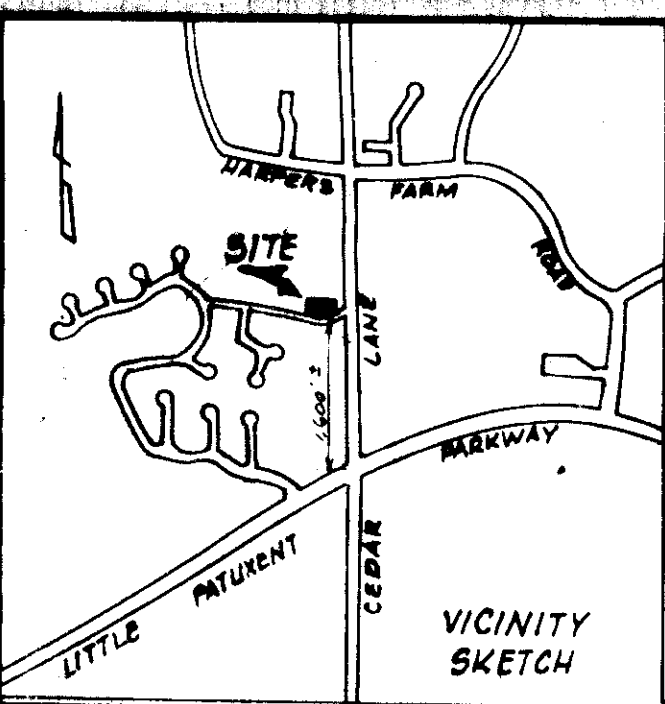
9-15-74	3	show inter. Rock Coast Rd. & Cedar Lane
8-21-74	2	add distances, ramp note as per Co. comments
7-25-74	1	addition of notes as per Co. comments
Rev Date	Rev No.	Revision Description

RICHARD P. BROWNE ASSOCIATES
 ENGINEERS SURVEYORS PLANNERS ARCHITECTS
 PEACHTREE CITY, GEORGIA
 COLUMBIA, MD. WAYNE, N. J.



SITE PLAN
 VILLAGE OF HARPERS CHOICE
 SECTION 4, AREA 4 LOTS A-1 THRU A-11
 A RESUBDIVISION OF PARCEL "A"
 TAIL MAP 29 ELECTION DISTRICT 5 HOWARD CO. MD. PARCEL 29C
 Des. By: E. CRAMER Scale: 1"=30' Dwg. No. 1-1
 Drn. By: J. FRIES Date: 5-28-74 Proj. No.
 Chk. By: E. CRAMER Approved

F. Denis Light
 F. DENIS LIGHT MD. PE.# 7617



Note:
 Base Will Be Primed In Accordance With Section C.30.3
 As Provided In The Howard County Road Construction
 Code And Standard Specifications.
 Tack Coat Is Required In Accordance With Section C.31.4
 Of The Howard County Road Construction Code And
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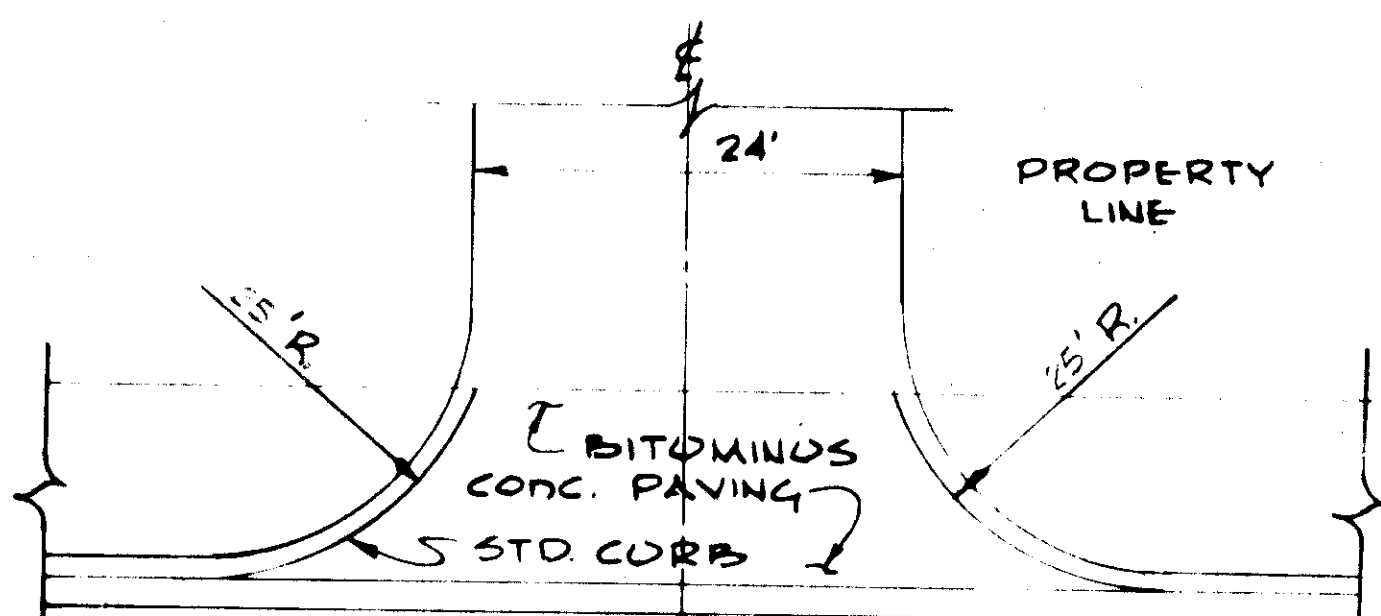
BAND C-3	1" BITUMINOUS CONCRETE SURFACE	1"
1 COURSE BAND C-2 or G-3	4" BITUMINOUS CONCRETE BASE	4"

SURFACE COURSE C-3
 BASE COURSE C-2 or G-3

To Be Constructed In Accordance With The Howard County
 Road Construction Code & Specifications

PARKING LOT PAVING DETAIL

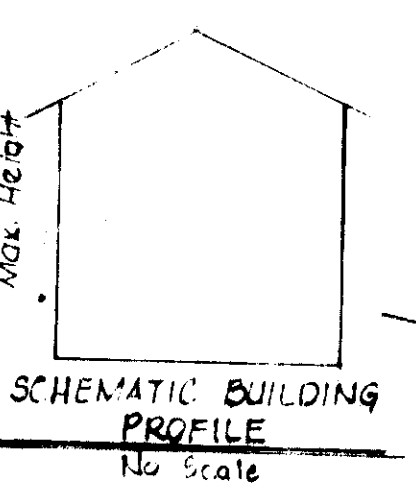
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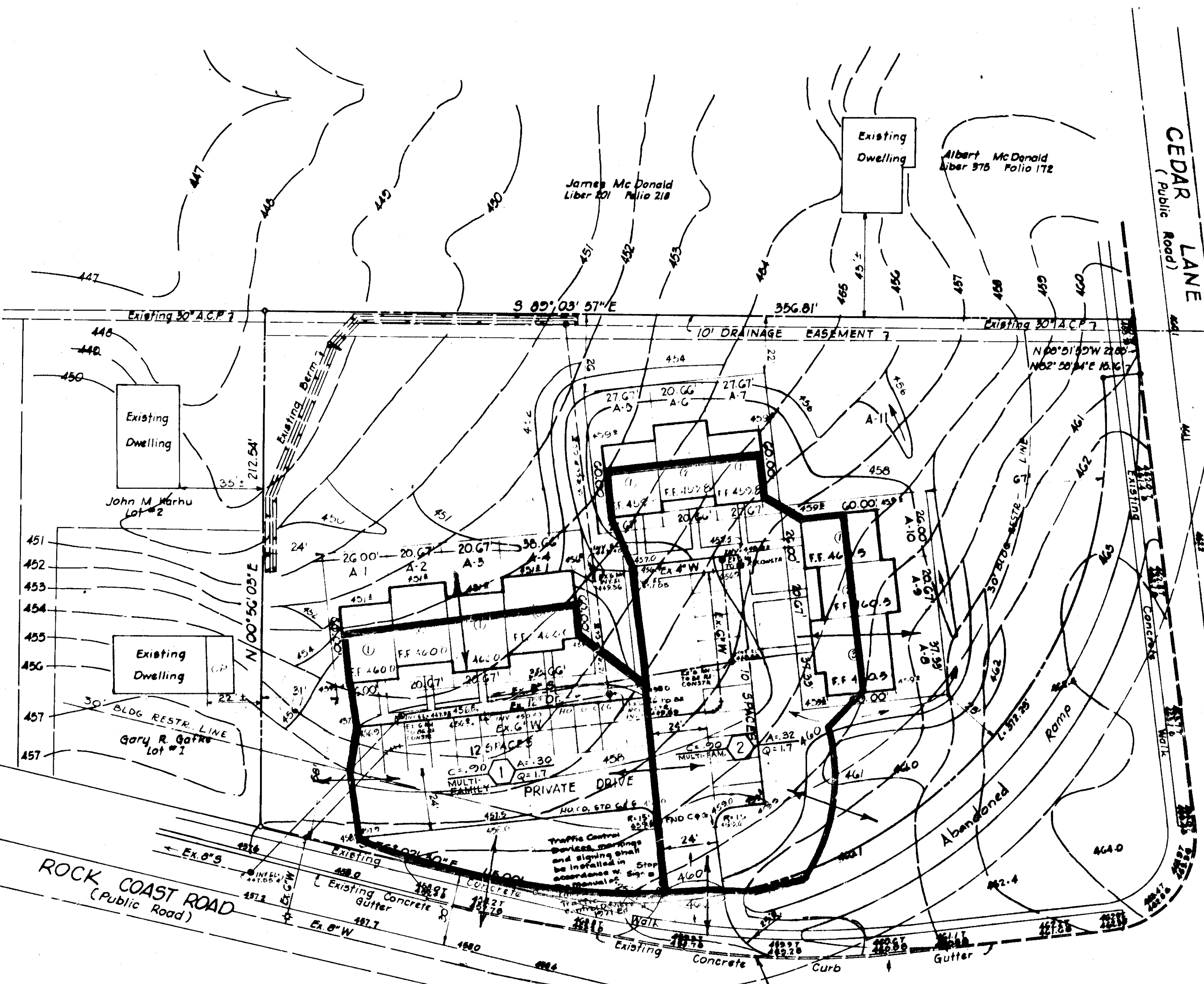
ENTRANCE DETAIL

No Scale

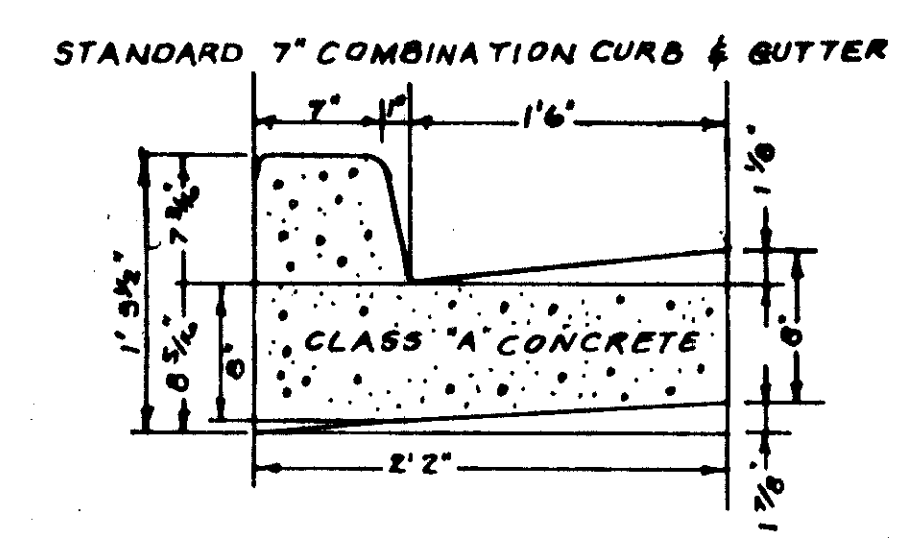
APPROVED: For Public Water And Public Sewerage Systems, Howard County Health Department County Health Officer Date: 10/17/74
APPROVED: Howard County Office Of Planning And Zoning Planning Director Date: 10-21-74
APPROVED: For Public Water, Public Sewerage And Storm Drain Systems And Roads Howard County Department Of Public Works Director Date: 10/16/74



SCHEMATIC BUILDING PROFILE
 No Scale



NOTE:
 No Signs, Walls or Fences
 To Be Constructed



GENERAL NOTES

- These plans and the Contract Specifications shall be mutually supplementary.
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- The permittee shall provide adequate means of cleaning trucks and other equipment of mud prior to entering the right-of-way and it is the permittee's responsibility to clean street and alley dust, and take whatever measures are necessary to insure that the road is maintained in a clean, mud and dust free condition at all times.
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- Sediment Control as shown on plan shall conform with the Howard County Soils Conservation District.
- The existing water and sewer lines serving buildings to be provided by plumbing contractor. Water lines to be installed by master plumber.

REVIEWED FOR HOWARD COUNTY S.C.D. AND MEETS TECHNICAL REQUIREMENTS.

Signature: [Signature]
 Date: 8/30/74
 U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT

Approved: [Signature]
 Date: 8/30/74
 Howard S.C.D.

SITE ANALYSIS

- AREA OF PARCEL: 1.7 AC.
- ZONING: ATTACHED LAND USE
- TOTAL UNITS ALLOWED: 17
- TOTAL UNITS PROVIDED: 10
- SQUARE FEET OF FLOOR AREA:
 A. Unit Type ① 1585 sq. ft.
 B. Unit Type ② 1505 sq. ft.
 C. Unit Type ③ 1795 sq. ft.
- PARKING: REQUIRED: 2 SPACE PER UNIT
 NO. OF PARKING SPACES: 21
 PARKING SPACE SIZE: 20x10'
- TOPOGRAPHY COMPILED BY ACTUAL FIELD SURVEY.
- LOT "A-11" COMMON AREA TO BE MAINTAINED BY HOMEOWNERS ASSOCIATION.
- PUBLIC WATER & SEWER TO BE MADE AVAILABLE.
- MINIMUM BUILDING SETBACK RESTRICTIONS FROM PROPERTY LINES & THE RIGHT OF WAY OF ANY PUBLIC ROAD TO BE IN ACCORDANCE WITH THE RECORDED FINAL DEVELOPMENT PLAN CRITERIA 7 & 8.

OWNER-DEVELOPER
 HANVERMALE CONSTRUCTION COMPANY
 14600 OLD COLUMBIA ROAD
 BURTONSVILLE, MARYLAND



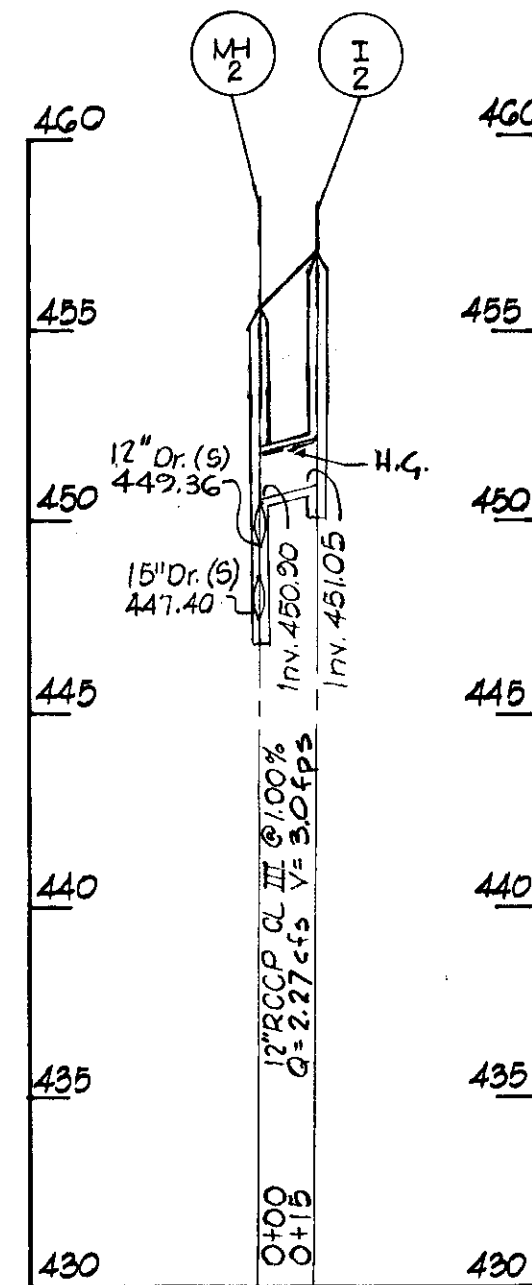
F. Denis Light
 F. DENIS LIGHT MD. REG. #7617

Rev Date	Rev No.	Revision Description

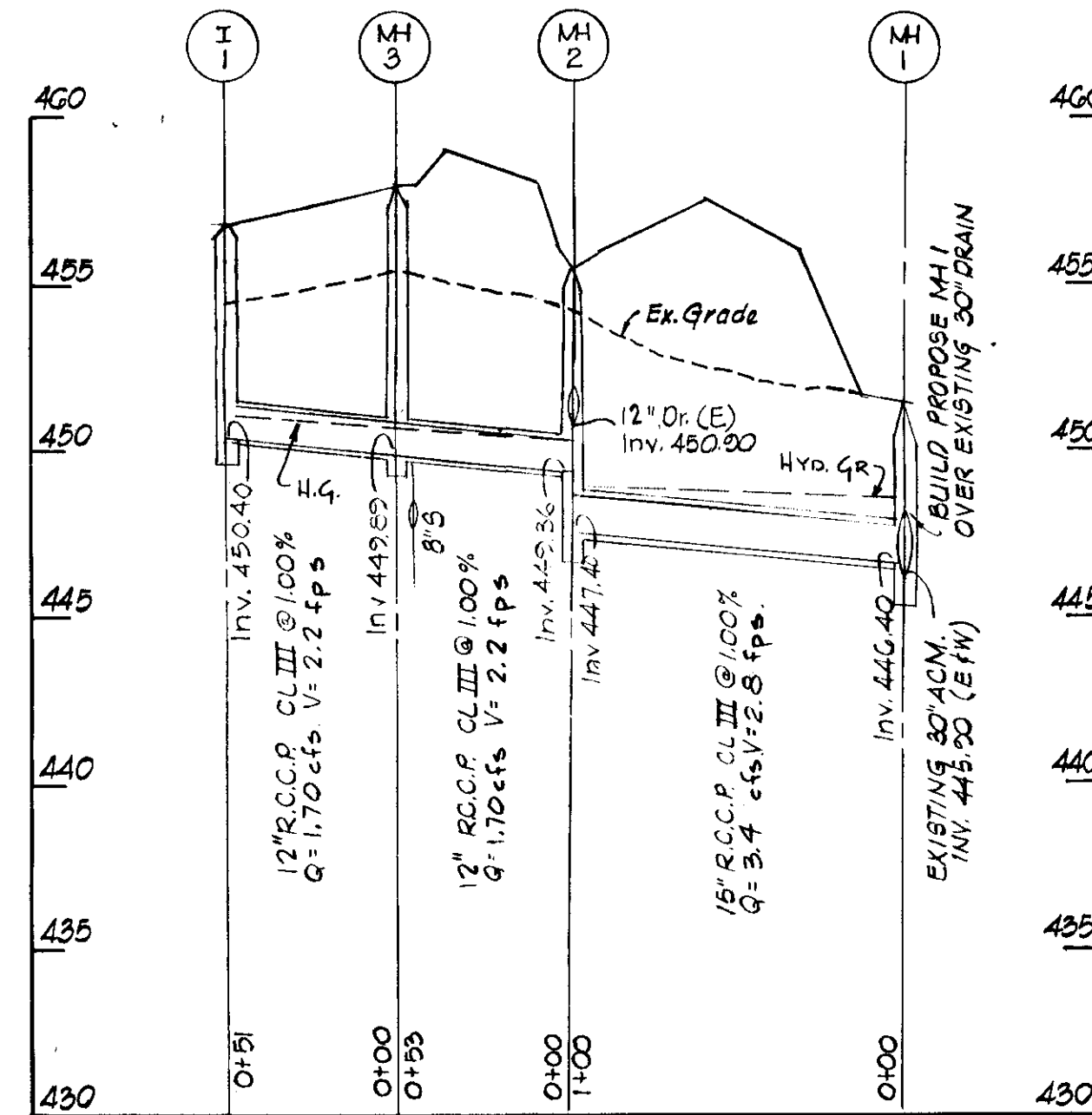
RICHARD P. BROWNE ASSOCIATES
 ENGINEERS SURVEYORS PLANNERS ARCHITECTS
 PEACHTREE CITY, GEORGIA
 WAYNE, N. J.

DRAINAGE AREA MAP
 VILLAGE OF HARPERS CHOICE
 SECTION 4, AREA A LOTS A-1 THRU A-11
 A RESUBDIVISION OF PARCEL A
 ELECTION DISTRICT #5 HOWARD COUNTY, MARYLAND

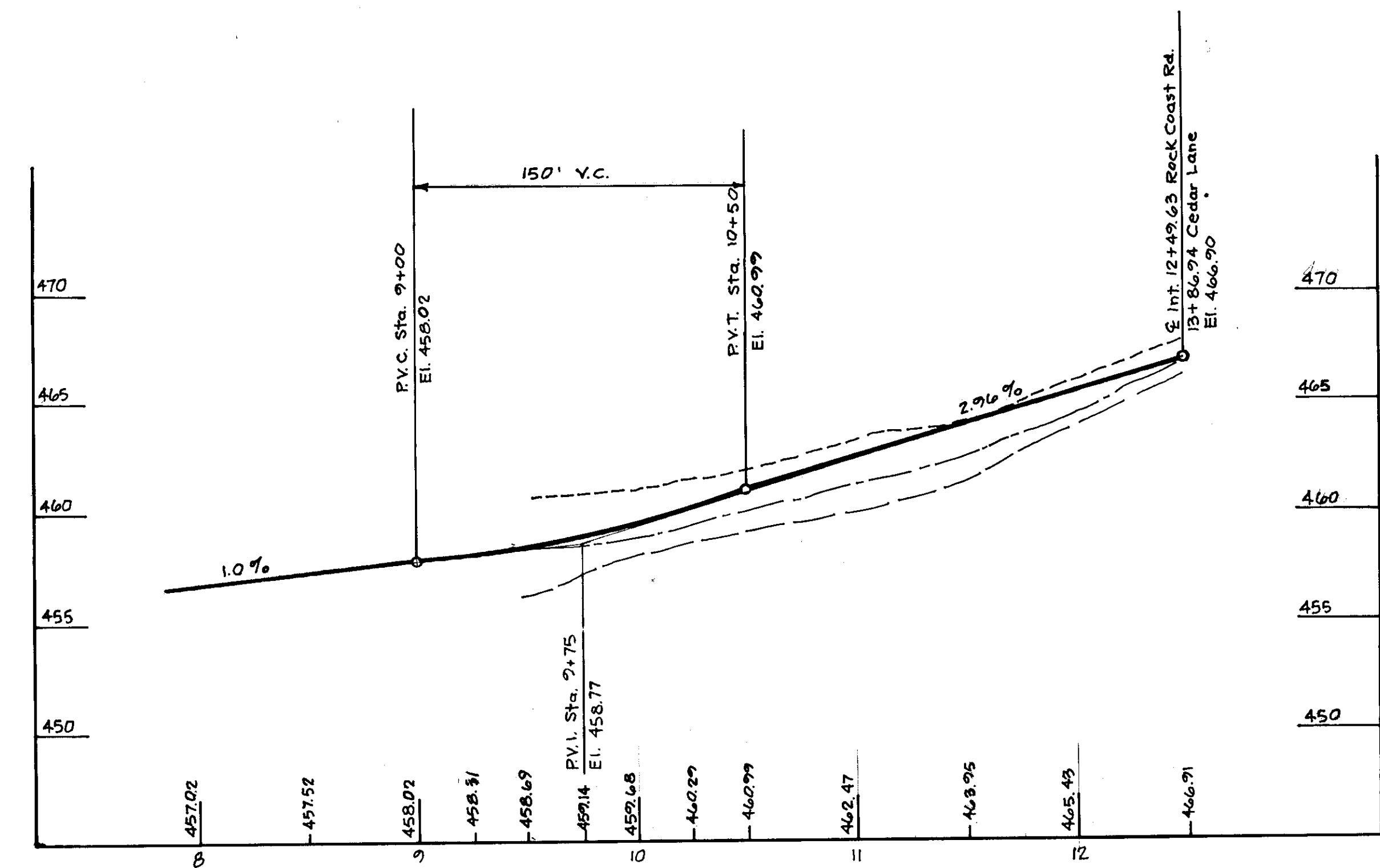
Des. By: E. CRAMER Scale: 1"=50' Dwg. No. 2 of 3
 Drn. By: J. FRIES Date: 5-28-74 Proj. No.
 Chk. By: E. CRAMER Approved



PROFILES



PROFILES



ROCK COAST ROAD - PROFILE

Scale: Horiz. 1" = 50'
Vert. 1" = 5'

STORM DRAIN STRUCTURE SCHEDULE						
NO.	TYPE	LOCATION	INV. IN	INV. OUT	T.C.P. ELEV.	REMARKS
MH-1	HO. CO. "DROP MH"	SEE PLAN	446.40	445.50	N/A	HO. CO. STD. DRWG. D-104 PAGE 159
MH-2	HO. CO. "DROP MH"	SEE PLAN	449.36	447.40	N/A	HO. CO. STD. DRWG. D-104 PAGE 159
MH-3	STD. HO. CO. MH	SEE PLAN		449.36	N/A	HO. CO. STD. DRWG. D-105 PAGE 158
I-1	STD. '8' COMB.	SEE PLAN		450.40	456.8	HO. CO. STD. DRWG. D-101 PAGE 156
I-2	STD. '8' COMB.	SEE PLAN		451.05	457.0	HO. CO. STD. DRWG. D-101 PAGE 156

APPROVED: For Public Water and Public Sewerage Systems, Howard County Health Department
 County Health Officer W.D. [Signature] Date 10/17/74

APPROVED: Howard County Office of Planning & Zoning
 Planning Director [Signature] Date 10-21-74

Chief, Division of Land Development [Signature] Date 10/21/74

APPROVED: For Public Water and Public Sewerage and Storm Drain Systems and Road, Howard County Department of Public Works
 Director William A. Altman Date 10/16/74
 Chief, Bureau of Highways [Signature] Date 10/16/74

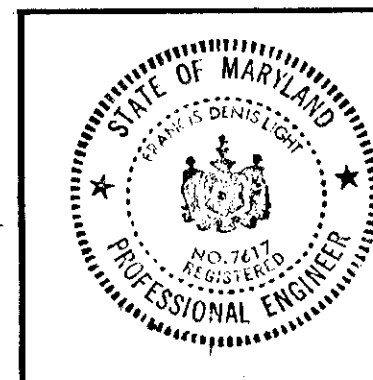
Richard P. Browne
 RICHARD P. BROWNE PE & LS
 LIC. NO. 5238 STATE, MD.

10-7-74	2	show Profile Rock Coast Rd.
9-15-74	1	add signature block
Rev Date	Rev No.	Revision Description

RICHARD P. BROWNE ASSOCIATES
 ENGINEERS SURVEYORS PLANNERS ARCHITECTS
 PEACHTREE CITY, GEORGIA
 COLUMBIA, MD. WAYNE, N. J.

STORM DRAIN PROFILES & ROCK COAST ROAD PROFILE
 VILLAGE OF HARPERS CHOICE
 SEC. 4 AREA 4 LOTS A-1 THRU A-11
 A Resubdivision of Parcel A
 5th Election District Howard Co., Md.

Des. By E. CRAMER Scale Hor 1"=50, Vert 1"=5' Dwg. No. 2 of 3
 Dwn. By J. FRIES Date 5-28-74 Proj. No.
 Chk. By E. CRAMER Approved



F. Denis Light
 F. DENIS LIGHT MD. PE. No. 7617