

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

James G. Harris 3/14/74
COUNTY HEALTH OFFICER DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING

James G. Harris 3-14-74
PLANNING DIRECTOR DATE

J.H. Dawson 3/14/74
CHIEF DIVISION OF LAND DEVELOPMENT AND TRANSPORTATION PLANNING DATE

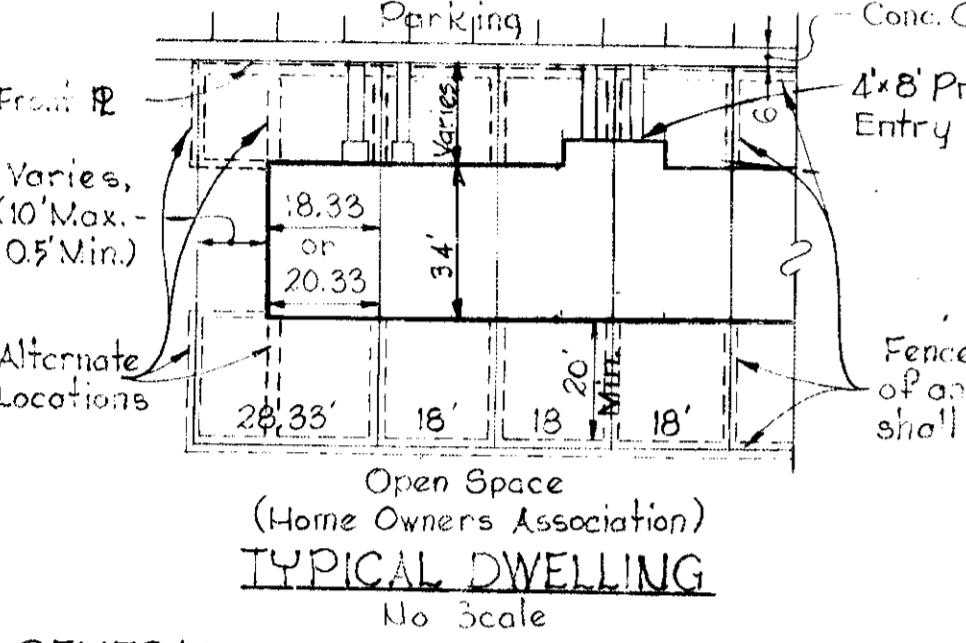
APPROVED FOR PUBLIC WATER AND PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

Wilma A. Altman 3/12/74
L.P. Holland 3/11/74
SUPERVISOR OF HIGHWAYS DATE

This development plan is approved for soil erosion & sediment control by the Howard Soil Conservation Dist.

Reviewed _____ Date _____
Dist. Conservationist

Approved _____ Date _____
Howard Soil Conservation Dist.



GENERAL NOTES:

- All entrance walks to dwellings shall be concrete 3' wide.
- All other sidewalks shall be 4' wide concrete, unless otherwise noted.
- Curb return radii for roadways shall be 35.5' unless otherwise specified.
- Curb return radii for parking areas shall be 10'.
- Dwellings shown hereon are 3 bedroom 2 story group dwellings with or without basements.
- Minimum setback from all public streets shall be 30' unless otherwise approved by Howard County Planning Commission.
- See Architectural plans for building details.

SPECIAL NOTES:

- Topography data from aerial topo prepared by Maps, Inc. and verified by field-run surveys.
- Recording reference for Parcel 'B' is Plot Book 23, Folio 41. Recording reference for Parcel 'C' is Plot Book 23, Folio 31.
- Water and sewer facilities are to be provided.
- Open space lots, which include parking spaces and sidewalks, shall be owned and maintained by a home owners association. Only the 29' travelled way portion of the 30' right of way shall be publicly maintained.
- The minimum gross floor area of each unit including basement shall be 1,050 square feet.

NOTE:

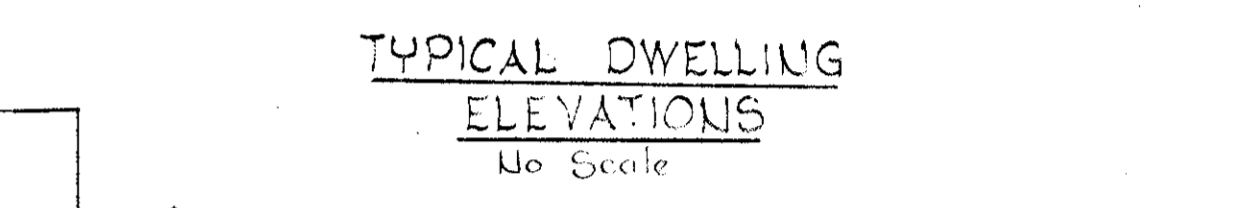
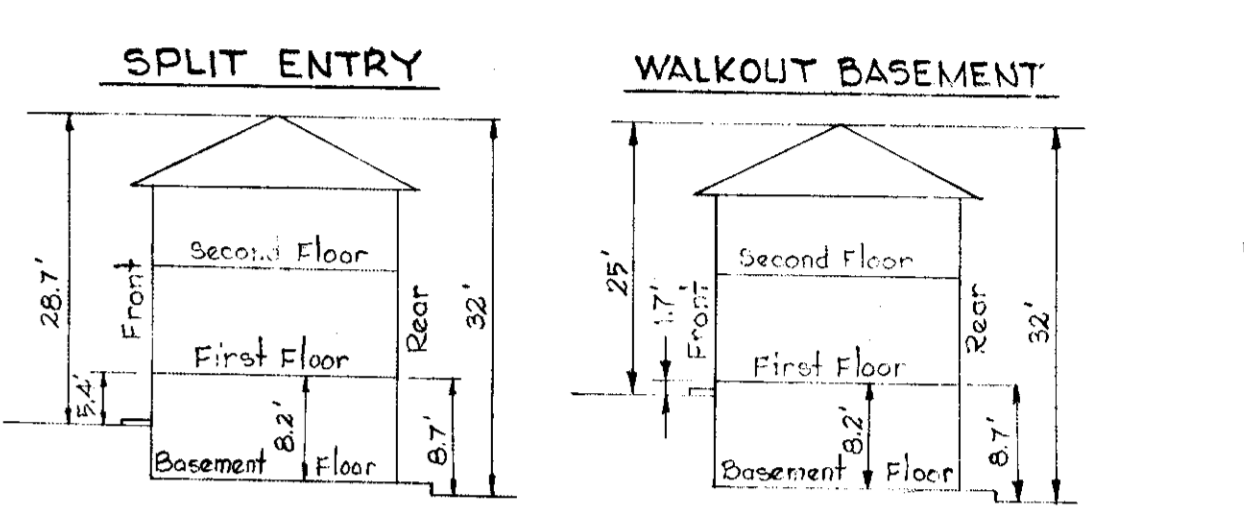
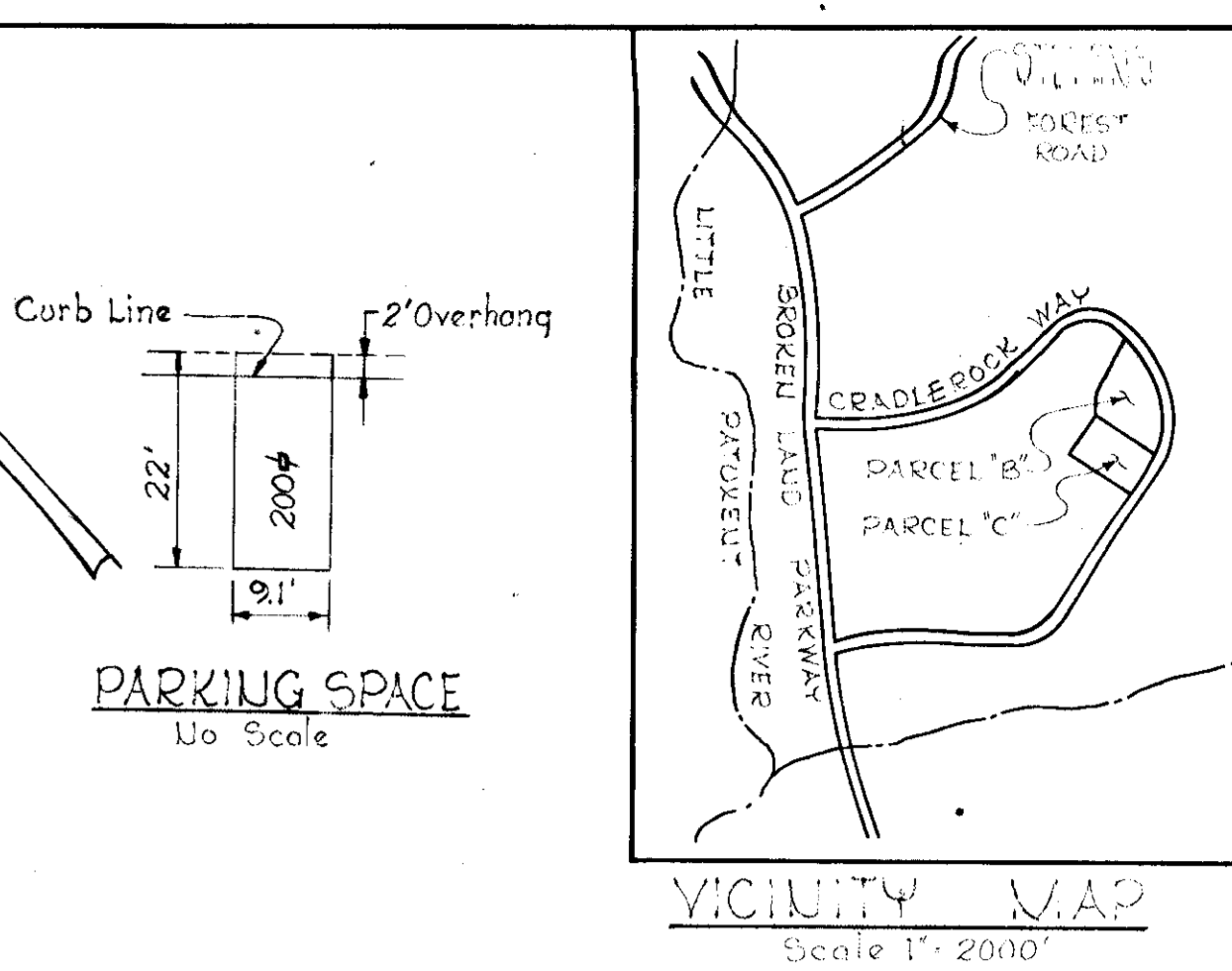
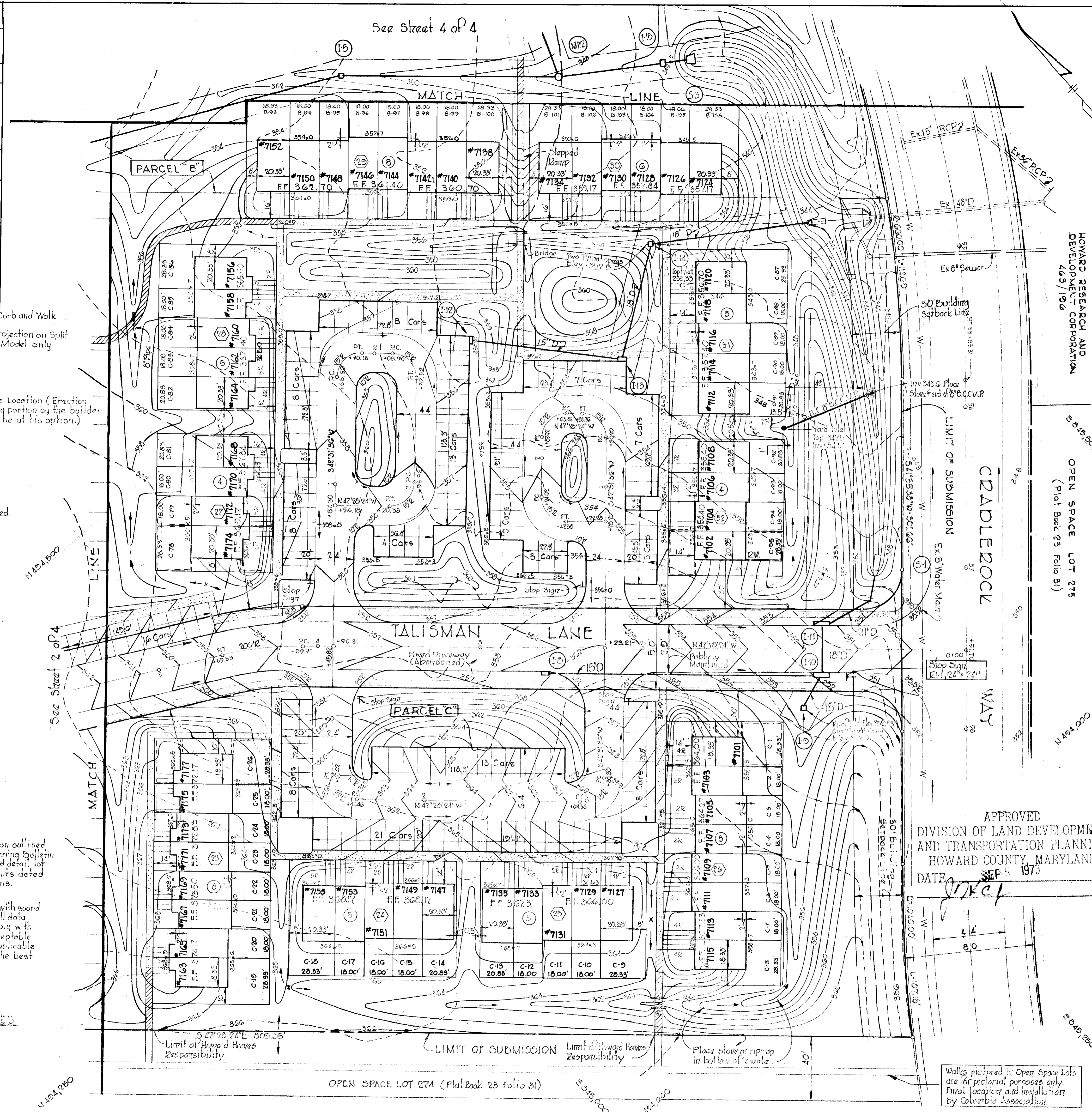
This development plan includes all applicable information outlined in Data Sheet 150, Neighborhood Standards, F.H.A. Land Planning Bulletin No. 3, VA Pamphlet 448, and conforms with lot improvements and detail lot grading of Chapter XII F.H.A. Minimum Property Requirements, dated May 1963, and to all applicable ordinances and regulations.

Drainage structures have been designed in accordance with sound engineering practice using recognized formulae and rainfall data currently prescribed by local authorities. These exhibits comply with the F.H.A. objectives. Minimum Property Standards, local, acceptable standards and neighborhood requirements, conform to all applicable local government ordinances and regulations, and represent the best professional judgement of the designer.

HOWARD HOMES, INC.
OWNER AND DEVELOPER
PO BOX 802 COLUMBIA MD 21043

WHITMAN, REQUARDY & ASSOCIATES
ENGINEERS
1304 ST PAUL STREET
BALTIMORE, MARYLAND

Kenneth A. McLeod
Kenneth A. McLeod P.E. 1974



LEGEND

- Existing Contours (2' interval)
- - - Proposed Contours (1' interval)
- ⊙ Building Group Number
- ⊙ Number of Dwellings in Building Group
- A-16 Lot Number
- FF 439.00 Proposed First Floor Elevation
- 312 x 0 Proposed Spot Elevation
- Existing Tree Line
- T.C Top Curb
- 29' Travelled Way (To Be Publicly Maintained)
- Concrete Walk Macadam Walk Wall (By Others)
- #8965 Street Address
- Railroad Tie Wall
- Wood Bridge
- Solid Wood Privacy Fence (5'0" High)
- Retaining Wall

APPROVED
DIVISION OF LAND DEVELOPMENT
AND TRANSPORTATION PLANNING
HOWARD COUNTY, MARYLAND
DATE: SEP 5 1973

No.	DATE	DESCRIPTION
4	1/15/74	FF Elevations and Grading Adjusted
3	11/23/73	F.H.A. Comments dated Nov. 5, 1973
2	11/23/73	H.R.D. & Planning Dept. Comments
1	8/24/73	D.P.W. Comments plus Projections on Split Entry Models
0	DATE	DESCRIPTION

COLUMBIA SITE PLAN
FOR
VILLAGE OF OWEN BROWN

SECTION 1, AREA 1
RESUBDIVISION OF PARCEL "C"

SECTION 1, AREA 2
RESUBDIVISION OF PARCEL "B"

SHEET 1 OF 4
ELECTION DISTRICT No 6, HOWARD COUNTY, MARYLAND
DATE: JULY 17, 1973 SCALE: 1"=30'

SDP-74-09c

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPT.

John W. ... 3/14/74
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING

Thomas A. Hanig 3-14-74
PLANNING DIRECTOR DATE

H. ... 3/14/74
CHIEF DIVISION OF LAND DEVELOPMENT & TRANSPORTATION PLANNING DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

William A. ... 3/12/74
SPECIAL AGENT DATE

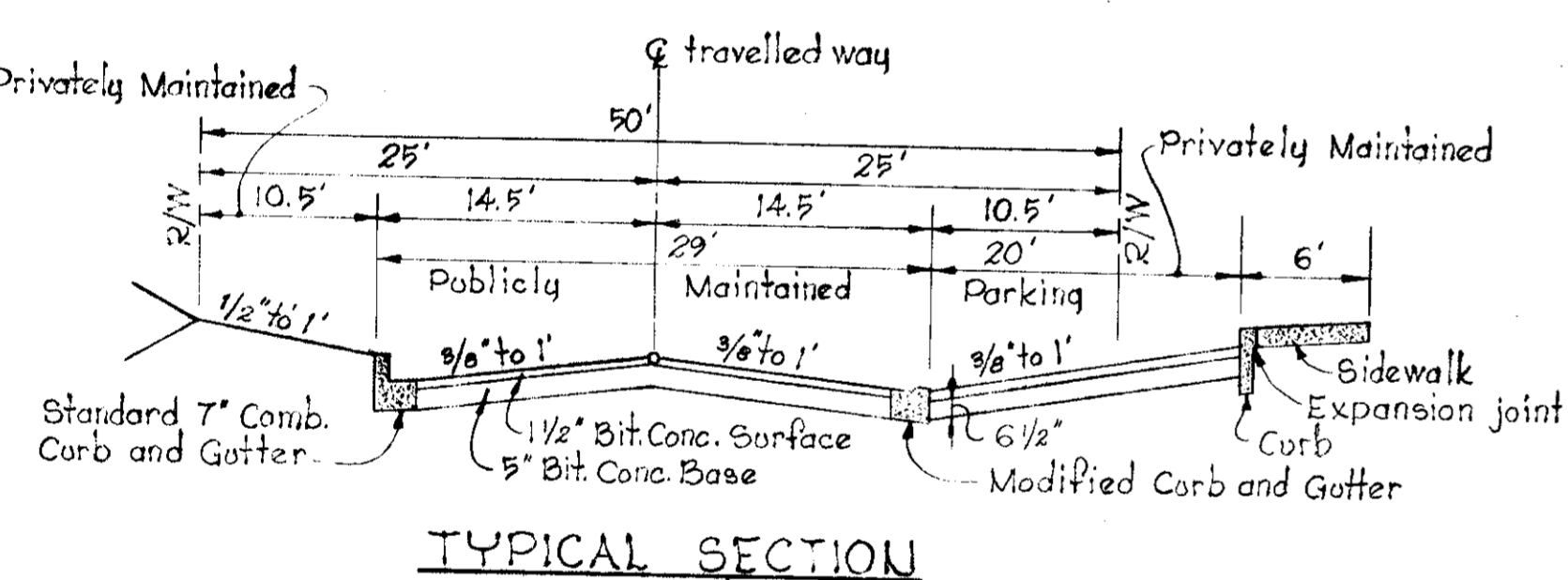
A. H. ... 3/11/74
CHIEF BUREAU OF HIGHWAYS DATE

This development plan is approved for soil erosion & sediment control by the Howard Soil Conservation Dist.

Reviewed: _____ Date: _____
Dist. Conservationist

Approved: _____ Date: _____
Howard Soil Conservation Dist.

- LEGEND**
- 400--- Existing Contours (2' interval)
 - 400- Proposed Contours
 - (2) Building Group Number
 - (7) Number of Dwellings in Building Group
 - A-16 Lot Number
 - FF 439.00 Proposed First Floor Elevation
 - 312.00 Proposed Spot Elevation
 - Existing Tree Line
 - T.C. Top Curb
 - 29' Travelled Way (To Be Publicly Maintained)
 - Concrete Walk Macadam Walk Walk (By Others)
 - Street Address
 - Railroad Tie Wall
 - Wood Bridge
 - Solid Wood Privacy Fence (5'5" High)
 - Retaining Wall



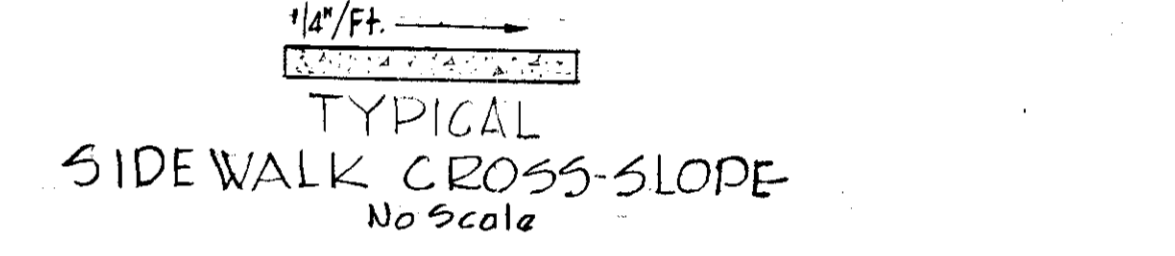
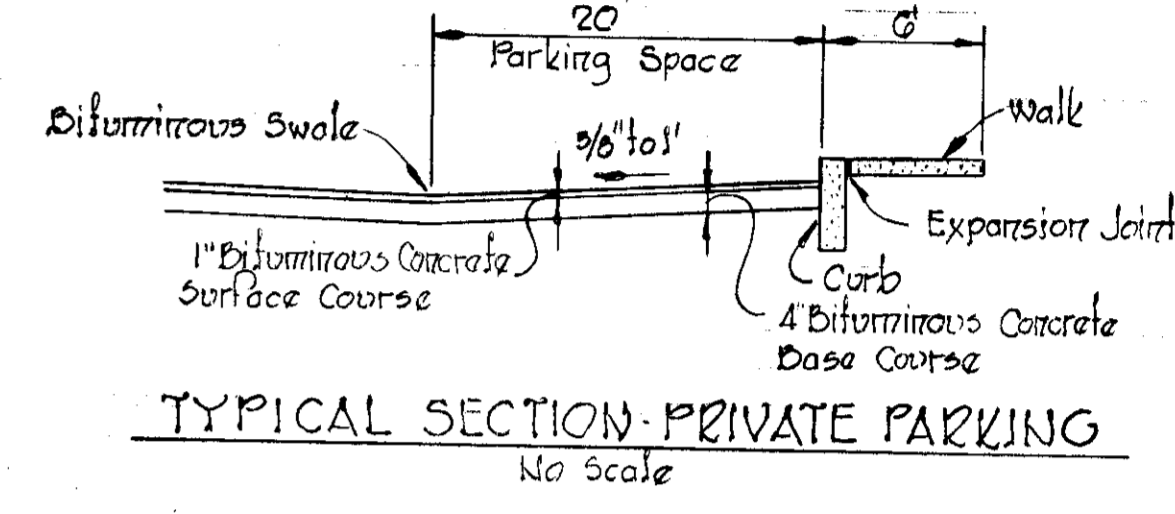
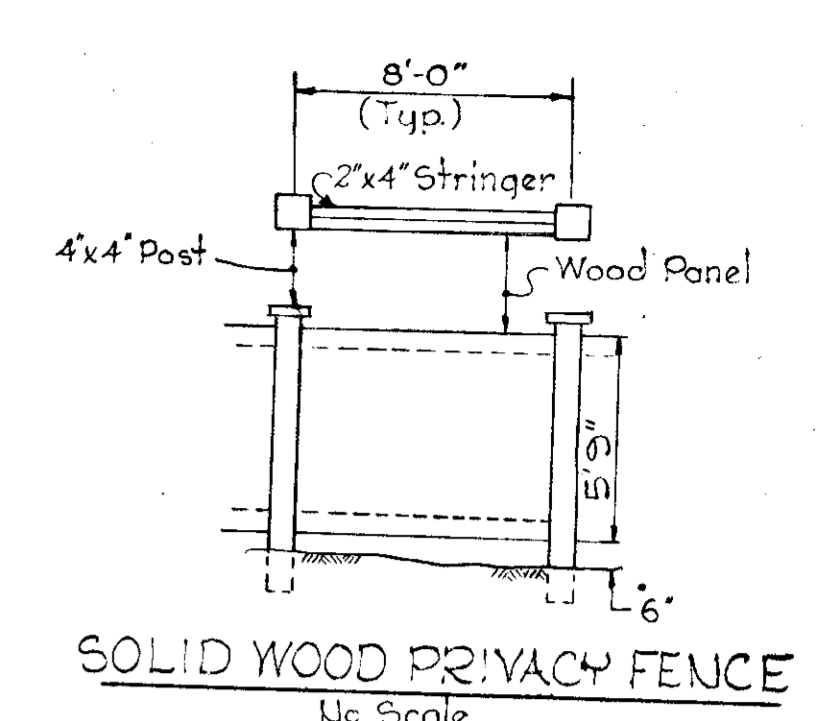
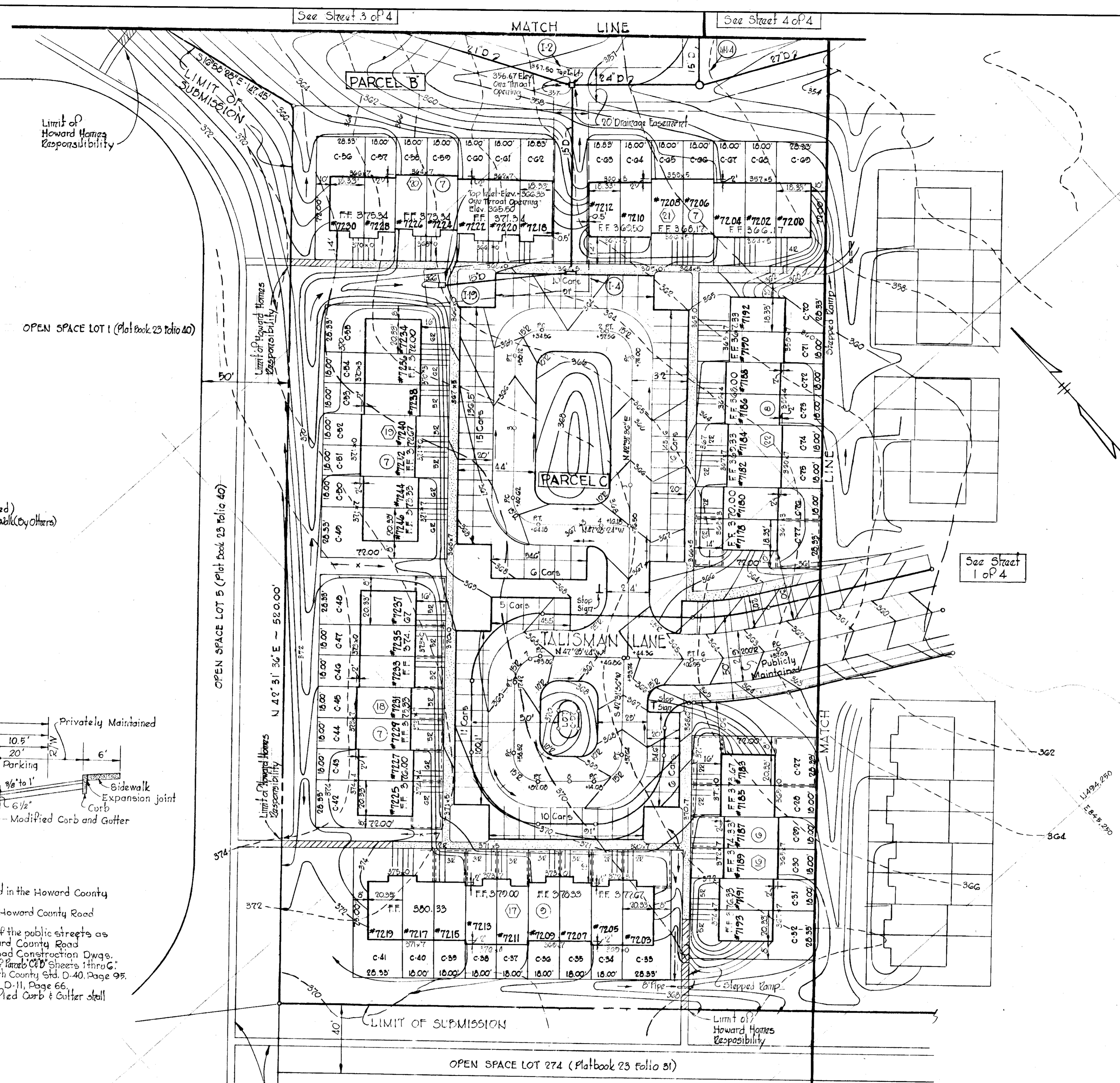
- NOTES**
1. Base will be primed in accordance with C-30-3 as provided in the Howard County Road Construction Code and Standard Specifications.
 2. Task Coat is required in accordance with section C-31-4 of the Howard County Road Construction Code and Standard Specifications.
 3. All the materials and work required for the construction of the public streets as shown in Parcel C shall be in accordance with the Howard County Road Construction Code & Standard Specifications. See Road Construction Dwg. "Village of Owen Brown Section 1 Areas 1 & 2 Resubdivision of Parcel C (C-1) Sheets thru G."
 4. Standard 7" Comb. Curb & Gutter shall be in accordance with County Std. D-40, Page 9F.
 5. Paving (6 1/2") shall be in accordance with County Standard, D-11, Page 66.
 6. Transition from Standard 7" Comb. Curb & Gutter to Modified Curb & Gutter shall be in accordance with detail shown on Drawing 3 of 4.

HOWARD HOMES, INC.
OWNER AND DEVELOPER
PO BOX 802 COLUMBIA, MD. 21043
WHITMAN, REQUARDT & ASSOCIATES
ENGINEERS
1304 ST. PAUL STREET
BALTIMORE, MARYLAND

Kenneth A. McCord
Kenneth A. McCord P.E. 1974

THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION
463/156

IRVIN DASHER
399/460
467/501



APPROVED
DIVISION OF LAND DEVELOPMENT AND TRANSPORTATION PLANNING
HOWARD COUNTY, MARYLAND
DATE: SEP 5 1974

4	11/15/74	Proposed Grades Adjusted
3	11/29/73	F.H.A. Comments dated Nov. 5, 1973
2	10/11/73	H.R.D. & Planning Dept. Comments
1	8/22/73	DPW Comments plus Projections on Split Entry Models
0	DATE	DESIGNATION OF REVIEWER

COLUMBIA SITE PLAN
FOR
VILLAGE OF OWEN BROWN
SECTION 1, AREA 1
RESUBDIVISION OF PARCEL "C"
SECTION 1, AREA 2
RESUBDIVISION OF PARCEL "B"
SHEET 2 OF 4
ELECTION DISTRICT No. 6, HOWARD COUNTY MARYLAND
DATE: JULY 17, 1973 SCALE: 1" = 30'

SDP-74-09c

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

J. H. Clouston 3/14/74
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING

Thomas G. Harms 3-14-74
PLANNING DIRECTOR DATE

J. H. Clouston 3/14/74
CHIEF DIVISION OF LAND DEVELOPMENT & TRANSPORTATION PLANNING DATE

APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

William A. Allen 3/12/74
DATE

John H. Holsland 3/11/74
CHIEF BUREAU OF HIGHWAYS DATE

This development plan is approved for soil erosion & sediment control by the Howard Soil Conservation Dist.

Reviewed _____ Date _____
Dist. Conservationist

Approved _____ Date _____
Howard Soil Conservation Dist.

- LEGEND**
- 400--- Existing Contours (2' interval)
 - 400--- Proposed Contours
 - (12) Building Group Number
 - (1) Number of Dwellings in Building Group
 - A-16 Lot Number
 - F.F. 439.00 Proposed First Floor Elevation
 - 312' x 0 Proposed Spot Elevation
 - Existing Tree Line
 - T.C. Top Curb
 - 29' Traveled Way (To Be Publicly Maintained)
 - Concrete Walk Macadam Walk Walk (By Others)
 - 0965 Street Address
 - Solid Wood Privacy Fence (5'9" High)
 - Retaining Wall
 - Railroad Tie Wall
 - Wood Bridge

Walks pictured in Open Space Lots are for pictorial purposes only. Final location and installation by Columbia Association.



SEE REVISED PLAT IN FILE FOR REVISED BLDG. SIZE ON THIS LOT ONLY-7/14/75

OPEN SPACE LOT 2 (Plat Book 23, Folio 40)

OPEN SPACE LOT 5 (Plat Book 23, Folio 40)

APPROVED
DIVISION OF LAND DEVELOPMENT AND TRANSPORTATION PLANNING
HOWARD COUNTY, MARYLAND
DATE SEP 5 1974

No.	DESCRIPTION OF REVISION
4	11/15/74 F.F. Elevations and Grades Adjusted
3	11/23/73 F.H.A. Comments dated Nov 2, 1973
2	10/17/73 H.E.D. & Planning Dept. Comments
1	8/28/73 D.P.W. Comments plus Projections on Split Entry Models

COLUMBIA SITE PLAN
FOR
VILLAGE OF OWEN BROWN
SECTION 1, AREA 1
RESUBDIVISION OF PARCEL "C"
SECTION 1, AREA 2
RESUBDIVISION OF PARCEL "B"
SHEET 3 OF 4
ELECTION DISTRICT No. 6, HOWARD COUNTY, MARYLAND
DATE: JULY 17, 1973 SCALE: 1" = 30'

HOWARD HOMES, INC.
OWNER AND DEVELOPER
PO. BOX 802 COLUMBIA MD 21043
WHITMAN, REQUARDI & ASSOCIATES
ENGINEERS
1804 ST. PAUL STREET
BALTIMORE, MARYLAND
Kenneth A. McCord
Kenneth A. McCord P.E. 1974

SDP 74-09c

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

Thomas M. O'Keefe 3/14/74
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING

Thomas G. Haris 3-14-74
PLANNING DIRECTOR DATE

J. H. Lawson 3/14/74
CHIEF DIVISION OF LAND DEVELOPMENT & TRANSPORTATION PLANNING DATE

APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

William A. Altman 3/14/74
DIRECTOR DATE

J. H. Belland 3/11/74
CHIEF BUREAU OF HIGHWAYS DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation Dist.

Reviewed _____ Date _____
Dist. Conservationist

Approved _____ Date _____
Howard Soil Conservation Dist.



- LEGEND**
- 400 --- Existing Contours (2' interval)
 - 400 - Proposed Contours
 - (10) Building Group Number
 - (1) Number of Dwellings in Building Group
 - A-16 Lot Number
 - F.F. 439.00 Proposed First Floor Elevation
 - 312 x 0 Proposed Spot Elevation
 - Existing Tree Line
 - T.C. Top Corb
 - 29' Travelled Way (To Be Publicly Maintained)
 - Concrete Walk Macadam Walk Walk (By Others)
 - *8965 Street Address
 - ==== Solid Wood Privacy Fence (5'3" High)
 - R.W. Retaining Wall
 - Railroad Tie Wall
 - Wood Bridge

APPROVED
DIVISION OF LAND DEVELOPMENT
AND TRANSPORTATION PLANNING
HOWARD COUNTY, MARYLAND
DATE SEP 5 1973

No.	DATE	DESCRIPTION OF REVISION
5	11/30/74	Op. B F.F. Elevations & Grading changed; addresses shown
4	1/15/74	F.F. Elevations Adjusted
3	11/29/73	F.H.A. Comments dated Nov. 5, 1973
2	10/11/73	H.C.D. & Planning Dept. Comments
1	8/26/73	DPW Comments plus Projections on Split Entry Models

**COLUMBIA
SITE PLAN
FOR
VILLAGE OF OWEN BROWN**

SECTION 1, AREA 1
RESUBDIVISION OF PARCEL "C"

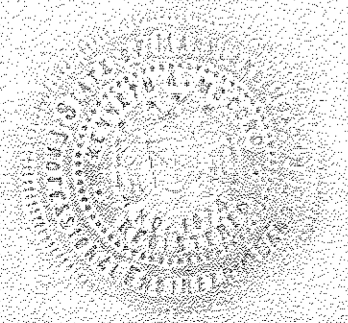
SECTION 1, AREA 2
RESUBDIVISION OF PARCEL "B"

SHEET 4 OF 4
ELECTION DISTRICT No. 6, HOWARD COUNTY MARYLAND
DATE: JULY 17, 1973 SCALE: 1" = 30'

HOWARD HOMES, INC.
OWNER AND DEVELOPER
P.O. BOX 802 COLUMBIA MD 21043

WHITMAN, REQUARDT AND ASSOCIATES
ENGINEERS
1304 ST. PAUL STREET
BALTIMORE, MARYLAND

Kenneth A. McCord
Kenneth A. McCord P.E. 1974



SDP-74-09c

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER _____ DATE _____

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING

PLANNING DIRECTOR _____ DATE _____

CHIEF DIVISION OF LAND DEVELOPMENT & TRANSPORTATION PLANNING _____ DATE _____

APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

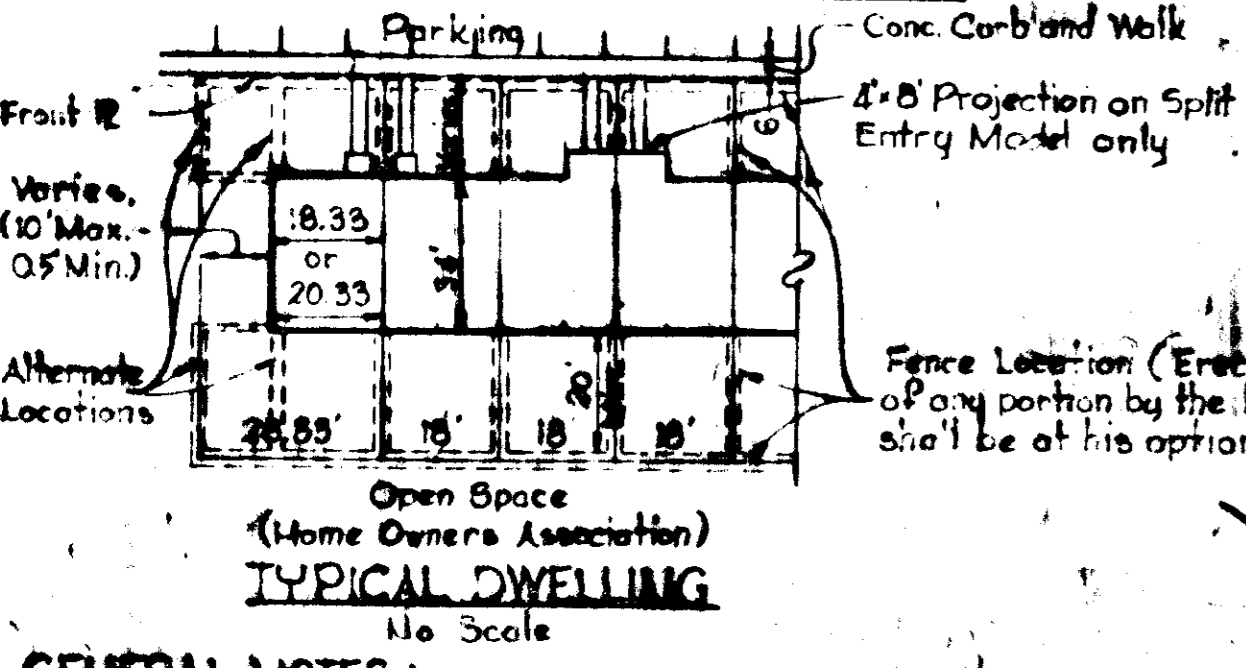
DIRECTOR _____ DATE _____

CHIEF BUREAU OF HIGHWAYS _____ DATE _____

This development plan is approved for soil erosion & sediment control by the Howard Soil Conservation Dist.

Reviewed: _____ Date _____
Dist. Conservationist

Approved: _____ Date _____
Howard Soil Conservation Dist.



- GENERAL NOTES:**
- All entrance walks to dwellings shall be concrete 8" wide.
 - All other sidewalks shall be 4" wide concrete, unless otherwise noted.
 - Curb return radii for roadways shall be 35' unless otherwise specified.
 - Curb return radii for parking areas shall be 10'.
 - Dwellings shown hereon are 2 bedroom 2 story group dwellings with or without basements.
 - Minimum setback from all public streets shall be 20' unless otherwise approved by Howard County Planning Commission.
 - See Architectural plans for building details.

- SPECIAL NOTES:**
- Topography taken from aerial topo prepared by Maps, Inc. and verified by field-run surveys.
 - Recording reference for Parcel B is Plot Book 23, Folio 31. Recording reference for Parcel C is Plot Book 23, Folio 31.
 - Water and sewer facilities are to be provided.
 - Open space lots, which include parking spaces and sidewalks shall be owned and maintained by a home owners association. Only the 25' traveled way portion of the 50' right-of-way shall be publicly maintained.
 - The minimum gross floor area of each unit including basement shall be 1,050 square feet.

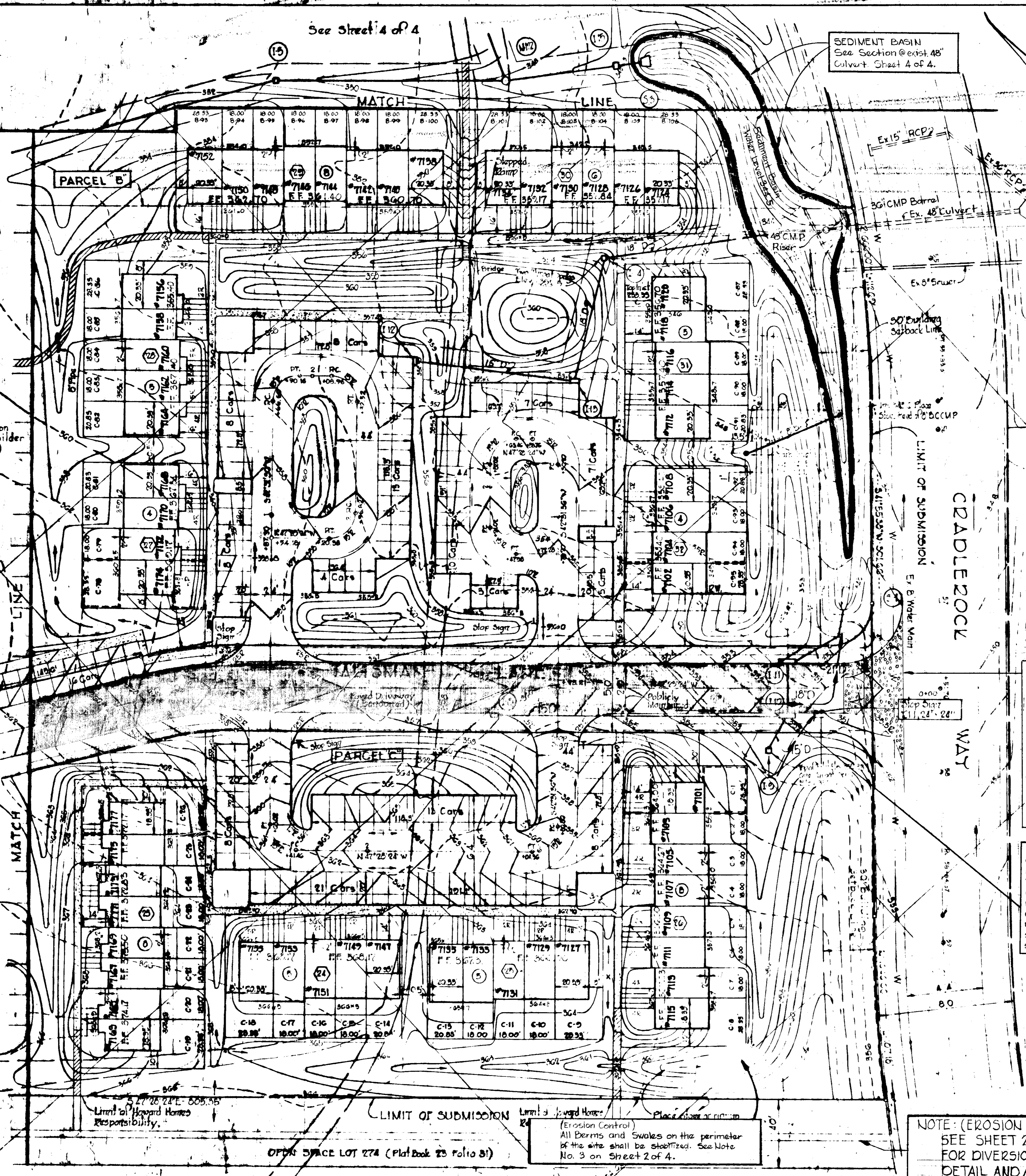
NOTE:
This development plan includes all applicable information contained in Data Sheet 150, Neighborhood Standards, F.H.A. Land Planning Bulletin No. 3, NA Pamphlet 4.8, and conforms with all improvements and details for grading of Chapter 211 F.H.A. Minimum Property Requirements, dated May 1969, and to all applicable ordinances and regulations.

Drainage structures have been designed in accordance with sound engineering practices using recognized formulas and rainfall data currently prescribed by local authorities. These exhibits comply with the F.H.A. objectives, Minimum Property Standards, local acceptable standards and neighborhood requirements, conform to all applicable local government ordinances and regulations, and represent the best professional judgment of the designer.

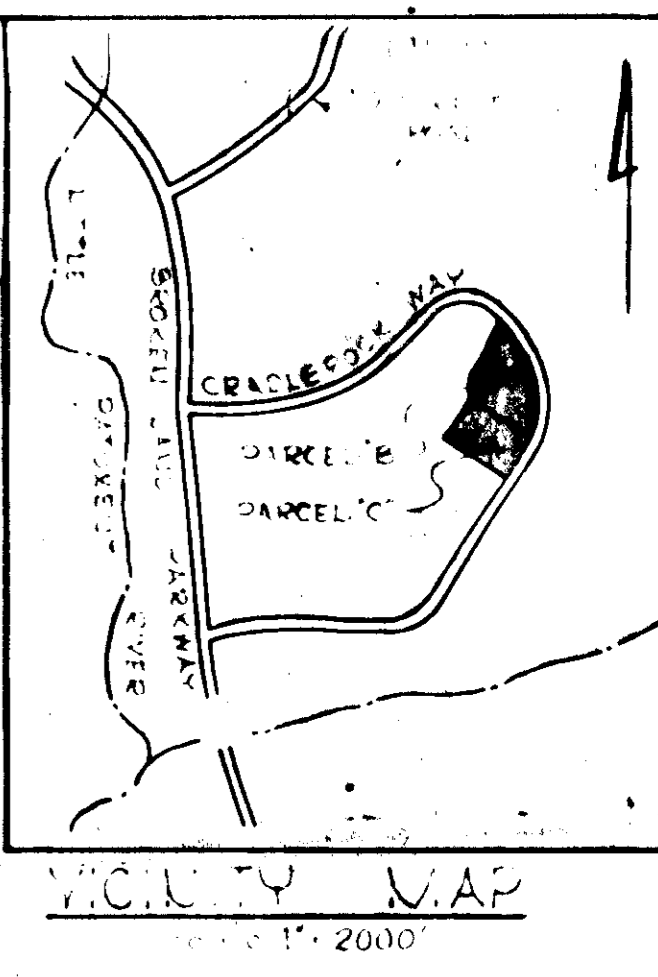
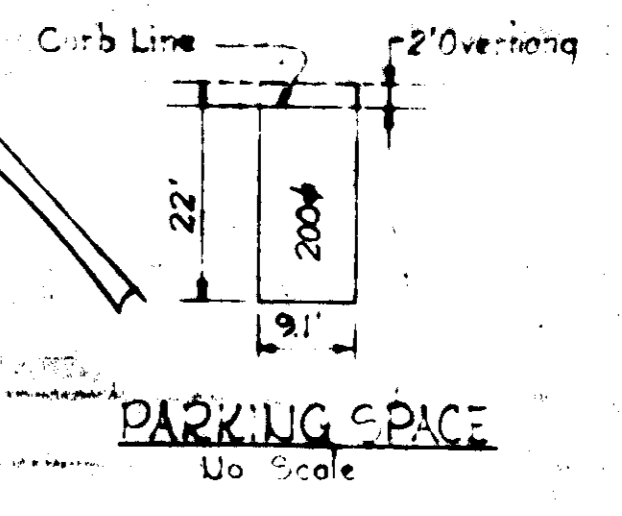
HOWARD HOMES, INC.
OWNER AND DEVELOPER
PO BOX 802 COLUMBIA MD 21048

WHITMAN, REQUERT & ASSOCIATES
ENGINEERS
1304 ST PAUL STREET
BALTIMORE, MARYLAND

Harold H. Melard
Consulting Engineer
Columbia, Md. 21048 RE 1974



SEDIMENT BASIN
See Section @ exist. 48"
Culvert Sheet 4 of 4.



HOWARD RESEARCH AND DEVELOPMENT CORPORATION
469/196

CERTIFICATION BY THE ENGINEER

I certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Harold H. Melard 3-1-74
Signature of Engineer Date

CERTIFICATION BY THE DEVELOPER

I certify that all development and/or construction will be done according to this plan of development and plan for Erosion and Sediment Control, and I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as deemed necessary. Deviation from this plan will not be made unless authorized by the Howard Soil Conservation District.

Robert W. Johns 3/13/74
Signature of Developer Date

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Approved *Robert W. Johns* Date 3-13-74
HOWARD S.C.D.

Reviewed for Howard S.C.D.
Name
and meets Technical Requirements
Robert W. Johns Date 3-13-74
Signature
Upa Soil Conservation Service

4	11/15/74	EE Elevations with Grading Adjusted
3	11/27/73	FHA Comments dated Nov. 5, 1973
2	11/15/73	FHA Comments dated Nov. 5, 1973
1	8/28/73	D.P.W. Comments plus Projections on Split Entry Models

COLUMBIA SEDIMENT CONTROL PLAN FOR VILLAGE OF OWEN BROWN

SECTION 1, AREA 1
RESUBDIVISION OF PARCEL "C"

SECTION 1, AREA 2
RESUBDIVISION OF PARCEL "D"

SHEET 1 OF 4
ELECTION DISTRICT No. 6, HOWARD COUNTY, MARYLAND

DATE: JUN 17, 1973 SCALE: 1"=50'

NOTE: (EROSION CONTROL)
SEE SHEET 2 OF 4 FOR DIVERSION BERM DETAIL AND ADDITIONAL EROSION CONTROL NOTES



APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPT.

COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING

PLANNING DIRECTOR DATE

CHIEF DIVISION OF LAND DEVELOPMENT & TRANSPORTATION PLANNING DATE

APPROVED FOR PUBLIC WATER PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

DIRECTOR DATE

CHIEF BUREAU OF HIGHWAYS DATE

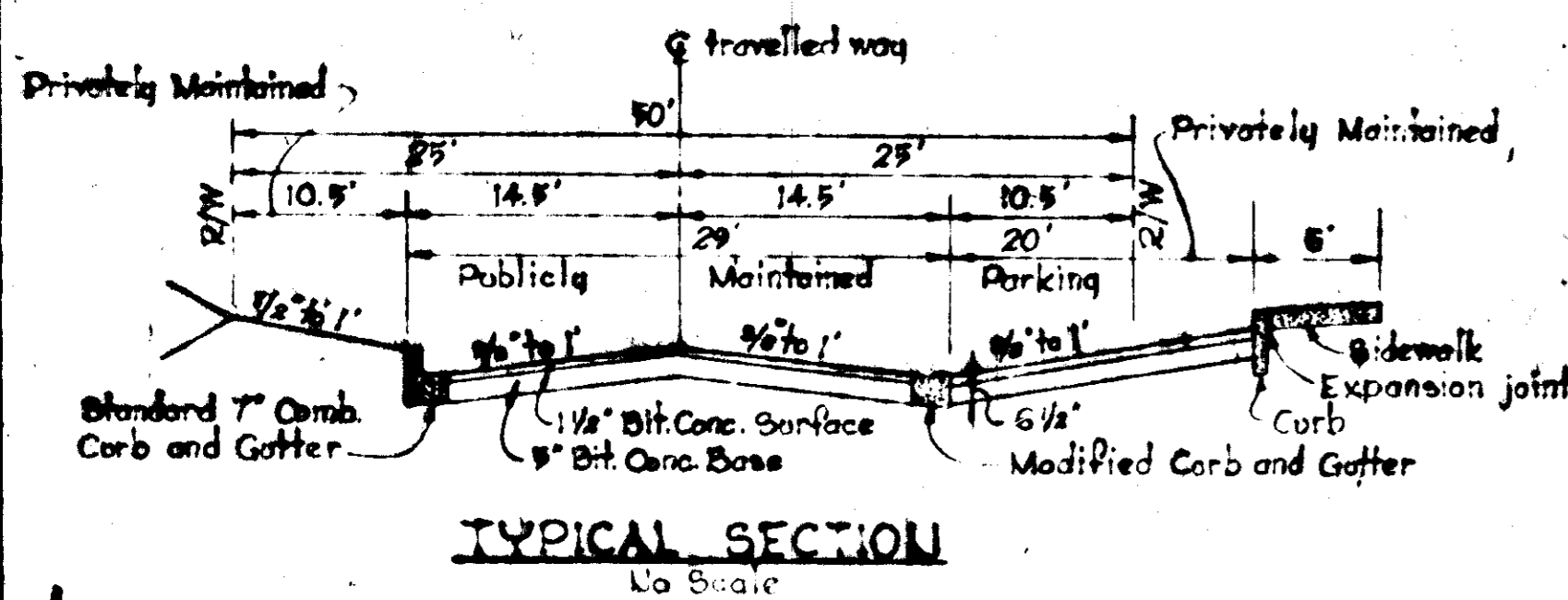
This development plan is approved for soil erosion & sediment control by the Howard Soil Conservation Dist.

Reviewed Dist. Conservationist Date

Approved Howard Soil Conservation Dist. Date

LEGEND

- 400--- Existing Contours (2' interval)
- 400--- Proposed Contours
- (2) Building Group Number
- (7) Number of Dwellings in Building Group
- A-16 Lot Number
- FF 438.00 Proposed First Floor Elevation
- 812.0 Proposed Spot Elevation
- Existing Tree Line
- TC Top Curb
- 29' Travelled Way (To Be Publicly Maintained)
- Concrete Walk Macadam Walk Walk (By Others)
- Street Address
- Railroad Tie Wall
- Wood Bridge
- Solid Wood Privacy Fence (5'5" High)
- Retaining Wall



NOTES

- 1 Base will be primed in accordance with C-30.5 as provided in the Howard County Road Construction Code and Standard Specifications.
- 2 Top Coat is required in accordance with section C-31.4 of the Howard County Road Construction Code and Standard Specifications.
- 3 All the materials and work required for the construction of the public streets as shown in Plans C-1 & D-1 shall be in accordance with the Howard County Road Construction Code & Standard Specifications. See Road Construction Div. Village of Owen Brown Section 142 Resubdivision of Parcel C-1 & D-1 thru C-2.
- 4 Standard 7" Comb. Curb & Gutter shall be in accordance with County Std. D-40, Page 99.
- 5 Paving (6 1/2") shall be in accordance with County Standard D-11, Page 66.
- 6 Transition from Standard 7" Comb. Curb & Gutter to Modified Curb & Gutter shall be in accordance with detail shown on Drawing 3 of C.

HOWARD HOMES, INC.

OWNER AND DEVELOPER
PO BOX 802 COLUMBIA, MD 21048
WHITMAN, REQUARDT & ASSOCIATES
ENGINEERS
1304 ST PAUL STREET
BALTIMORE, MARYLAND



Kenneth A. McCord
No. 1974

THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION
663/196

Walks pictured in Open Space Lots are of optional purposes only. Final location and installation by Columbia Association.

IRVIN DASHER
277/400
482/501

Note: (Sediment Control)
All Berms and Swales on the perimeter of the site shall be stabilized. See Note No. 3 on this sheet.

Reviewed for Howard S.C.D. Plans and note Technical Requirements
Signature: [Signature] Date: 3-12-74
Use Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
Approved: [Signature] Date: 3-13-74
HOWARD S.C.D.

CERTIFICATION BY THE DEVELOPER
"I certify that all development and/or construction will be done according to this plan of development and plan for Erosion and Sediment Control, and I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as deemed necessary. Deviation from this plan will not be made unless authorized by the Howard Soil Conservation District."
Signature of Developer: [Signature] Date: 3/6/74

CERTIFICATION BY THE ENGINEER
"I certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
Signature of Engineer: [Signature] Date: 3-1-74

4	1/15/74 Proposed Grades Adjusted
3	11/23/73 PHA Comments dated Nov 5, 1973
2	10/17/73 HED Planning Dept Comments
1	5/25/73 HED Comments plus Projections on Split Entry Models
Use	

COLUMBIA
SEDIMENT CONTROL PLAN
FOR
VILLAGE OF OWEN BROWN

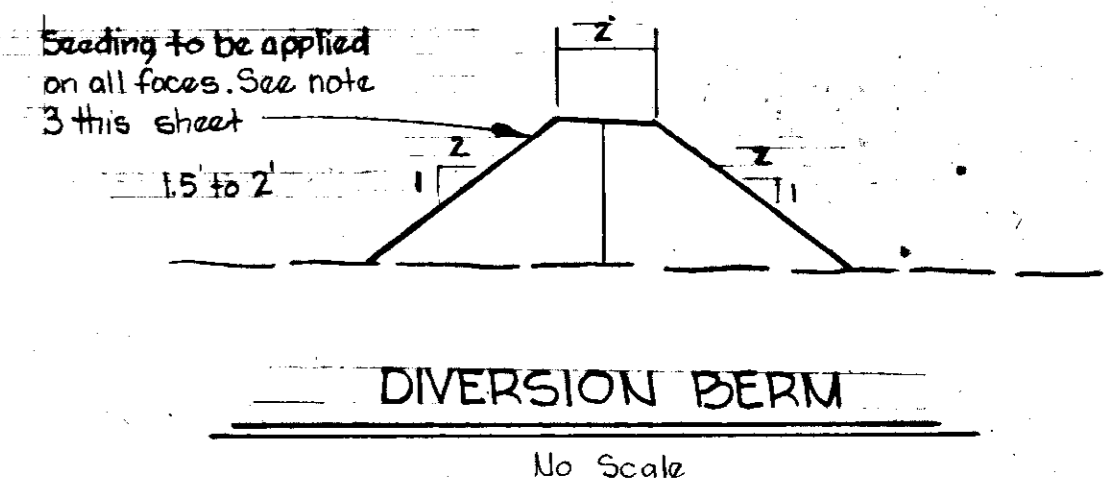
SECTION 1, AREA 1
RESUBDIVISION OF PARCEL 'C'

SECTION 1, AREA 2
RESUBDIVISION OF PARCEL 'B'

SHEET 2 OF 4
ELECTION DISTRICT NO. 6, HOWARD COUNTY, MARYLAND

DATE: JULY 17, 1973 SCALE: 1"=40'

Note: (Sediment Control)
All Storm Drain Inlets are to be capped and remain capped until their respective water sheds are stabilized.



- Note: (Sediment Control)
- 1 All sediment controls must be constructed prior to any grading.
 - 2 No temporary sediment control structure may be removed or destroyed without approval of the Howard Soil Conservation District.
 - 3 All Areas to be seeded shall receive the following mixture: annual rye grass (20%), Kentucky Blue grass (20%) and Kentucky 31 fescue (60%) at the rate of 200#/Ac. Sow with mechanical spreader, minimum of two (2) passes with "York Rake", tower and compact with cultipacker. Surface preparations to include ground limestone over top soil surface at the rate of 1 1/4 T/A (60%/1000#) commercial fertilizer (5-10-10) at the rate of 3/4 T/A (35%/1000#) and superphosphate at the rate of 600#/A (15%/1000#). Mulch areas with straw at the rate of 75%/1000# or 15 T/A. Archal with asphalt at the rate of 450 gallons/Acre.
 - 4 Provide plywood at opening of Inlets.

See Street 1 of 4

See Street 3 of 4

See Street 4 of 4

MATCH LINE

PARCEL B

PARCEL C

JALISMAR LANE

OPEN SPACE LOT 274 (Platbook 23 folio 51)

OPEN SPACE LOT 1 (Platbook 23 folio 40)

OPEN SPACE LOT 9 (Platbook 23 folio 40)

Limit of Howard Homes Responsibility

Limit of Howard Homes Responsibility

Limit of Howard Homes Responsibility

Limit of Howard Homes Responsibility

LIMIT OF SUBMISSION
DIVERSION BERM

SDP 74-09

APPROVED FOR PUBLIC WATER AND SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER _____ DATE _____

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING _____ DATE _____

PLANNING DIRECTOR _____ DATE _____

CHIEF DIVISION OF LAND DEVELOPMENT (ZONING INFORMATION PLANNING) _____ DATE _____

APPROVED FOR PUBLIC WATER PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADWAY DESIGN HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS _____ DATE _____

DIRECTOR _____ DATE _____

CHIEF BUREAU OF HIGHWAYS _____ DATE _____

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District

Reviewed _____ Date _____

Approved _____ Date _____

LEGEND

- 400--- Existing Contours (4' Interval)
- 400--- Proposed Contours
- (12) Building Group Number
- (12) Number of Units in Building Group
- A-16 Lot Number
- FF 439.00 Proposed First Floor Elevation
- FF 439.00 Proposed First Elevation
- --- Existing Tree Line
- Top Curb
- Top of Slope (to be stabilized)
- Mark (by Others)

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Approved *Richard Johnson* Date **3-18-74**
HOWARD S.C.D.

Reviewed for Howard S.C.D.
Hess
and to the Technical Requirements
James M. DeLo Date **3-18-74**
L.S. 1000
Soil Conservation Service

CERTIFICATION BY THE DEVELOPER

I certify that all development and/or construction will be done according to this plan of development and plan for Erosion and Sediment Control, and I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as deemed necessary. Deviation from this plan will not be made unless authorized by the Howard Soil Conservation District.

James M. DeLo 3/18/74
Signature of Developer Date

CERTIFICATION BY THE ENGINEER

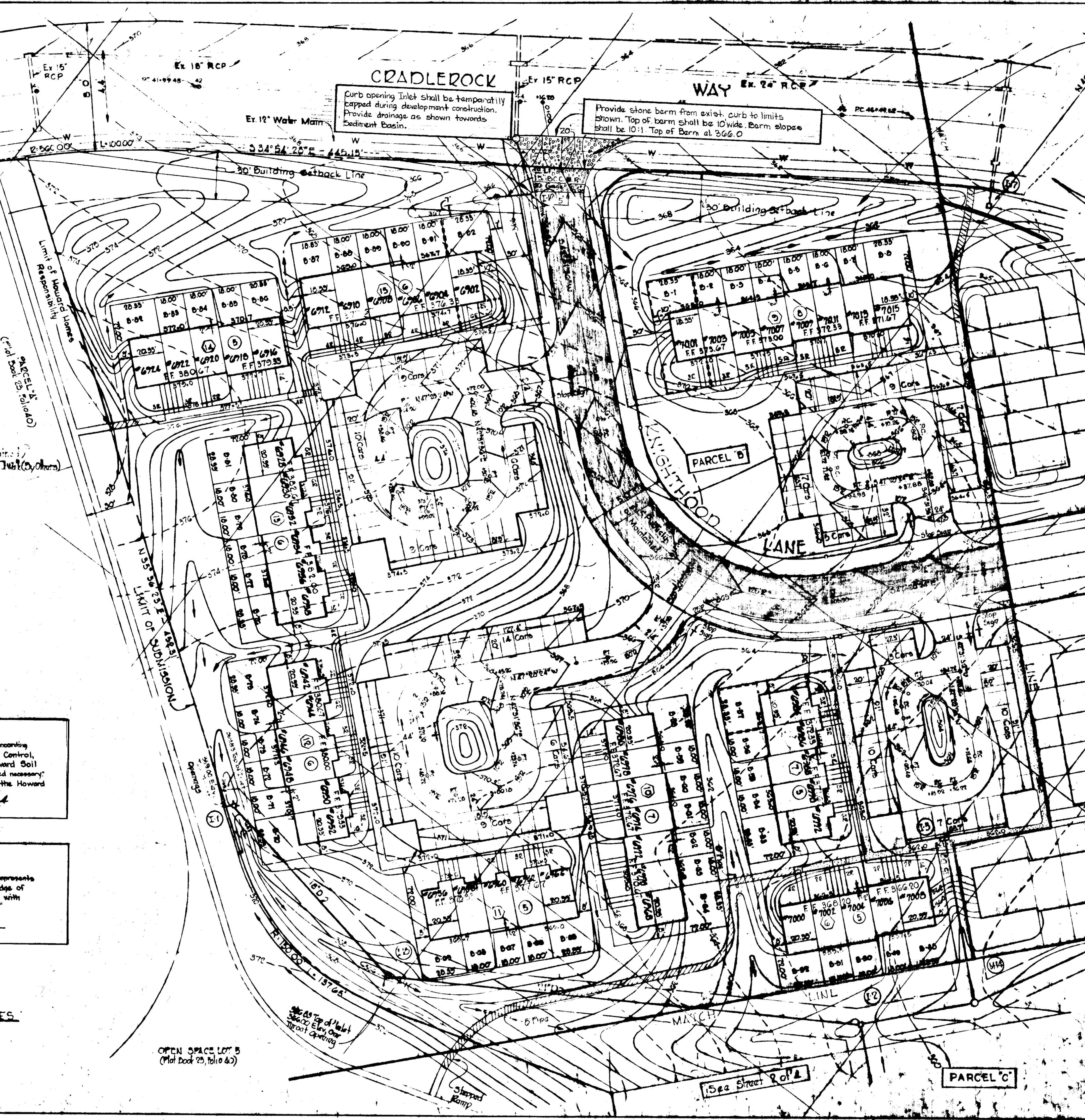
I certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

James M. DeLo 3-1-74
Signature of Engineer Date

HOWARD HOMES, INC.
OWNER-DEVELOPER
PO BOX 402, COLLETSVILLE, MD 21043

WHITMAN, REWARD & ASSOCIATES
ENGINEERS
1804 C. PAUL STREET
BALTIMORE, MARYLAND

James M. DeLo
March 1, 1974



Note (Erosion Control)
All Berms and Swales on the perimeter of the site shall be stabilized. See note No. 3 on Sheet 2 of 4.

Note (Erosion Control)
All Storm Drain Inlets are to be capped and remain capped until their respective watersheds are stabilized.

No.	DATE	DESCRIPTION OF REVISION
4	11/15/74	FF Elevations and Grades Adjusted
3	11/29/73	E.H.A. Comments dated Nov 5 1973
2	10/11/73	H.P.D. Planning Dept. Comments
1	6/28/73	DRW. Comments plus Projections on Split Entry Models

COLUMBIA
SEDIMENT CONTROL PLAN
FOR
VILLAGE OF OWEN BROWN

SECTION 1, AREA 1
RESUBDIVISION OF PARCEL "C"

SECTION 1, AREA 2
RESUBDIVISION OF PARCEL "B"

SHEET 3 OF 4
ELECTION DISTRICT No. 6, HOWARD COUNTY, MARYLAND

DATE: JULY 17, 1973 SCALE: 1" = 50'

S.D.P. 74-09

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING

PLANNING DIRECTOR DATE

CHIEF DIVISION OF LAND DEVELOPMENT & TRANSPORTATION PLANNING DATE

APPROVED FOR PUBLIC WATER, PUBLIC SEWER AND STORM DRAINAGE SYSTEMS AND ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

DIRECTOR DATE

CHIEF BUREAU OF HIGHWAYS DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation Dist

Reviewed Dist Conservatist Date

Approved Howard Soil Conservation Dist Date

Note: (Sediment Control)
All Storm Drain Inlets are to be capped and remain capped until their respective watersheds are stabilized.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Approved *Robert Johnson* Date 3-13-74
HOWARD S.C.D.

Reviewed for *Howard* S.C.D. Name

and meets Technical Requirements
Thomas W. Wilson Date 3-13-74
Signature
US Soil Conservation Service

CERTIFICATION BY THE ENGINEER

"I certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District"

Kenneth A. McCord 3-1-74
Signature of Engineer Date

CERTIFICATION BY THE DEVELOPER

"I certify that all development and/or construction will be done according to this plan of development and plan for Erosion and Sediment Control, and I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as deemed necessary. Deviation from this plan will not be made, unless authorized by the Howard Soil Conservation District."

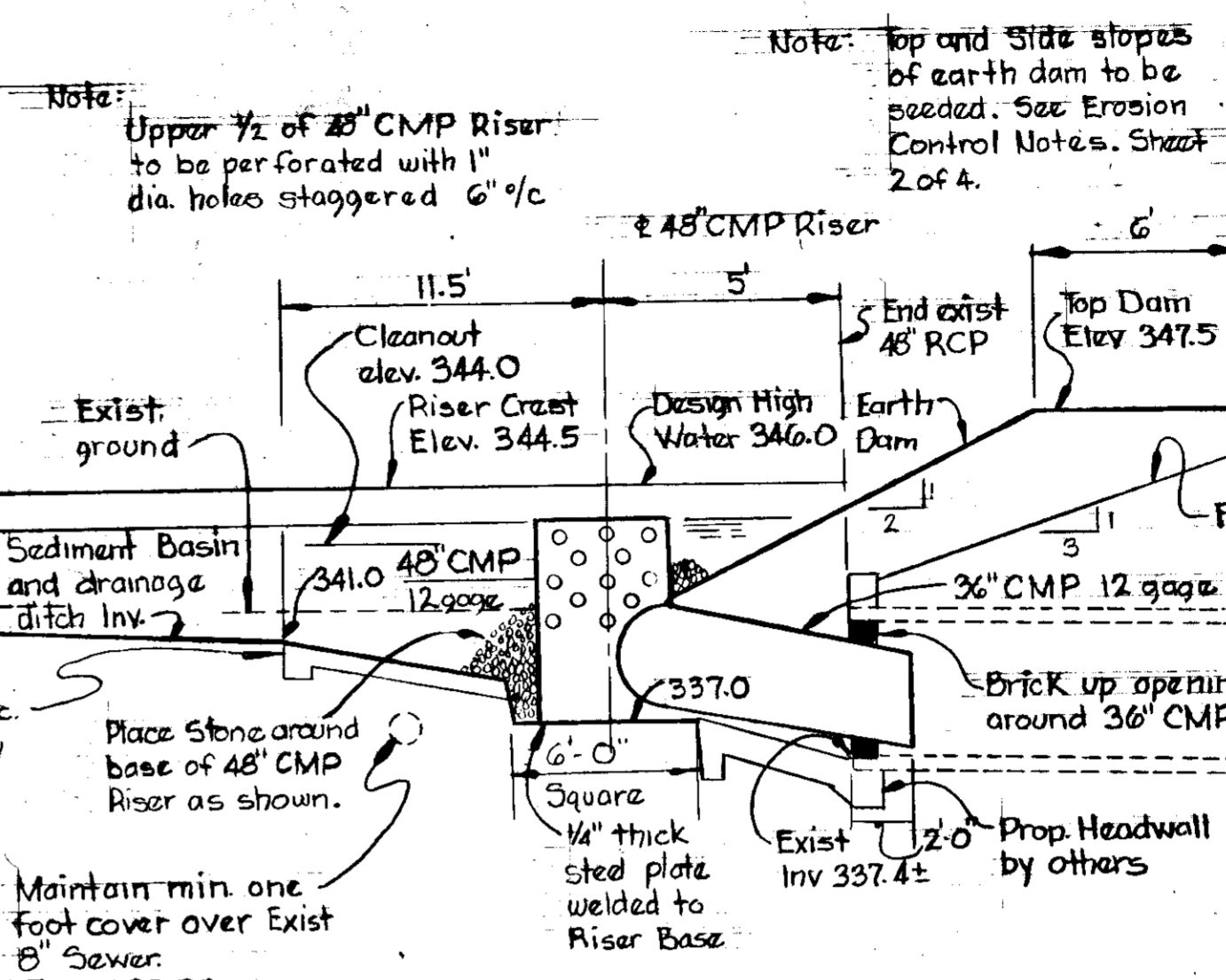
Thomas W. Wilson 3/1/74
Signature of Developer Date

HOWARD HOMES, INC.
OWNER AND DEVELOPER
PO BOX 802 COLUMBIA MD 21045
WHITMAN, REQUART AND ASSOCIATES
ENGINEERS
1304 ST PAUL STREET
BALTIMORE MARYLAND



Kenneth A. McCord
Kenneth A. McCord PE 1974

Note: (Erosion Control)
Program Cleanout once every 45 days.



SECTION - SEDIMENT BASIN
No Scale

Note: (Erosion Control)
All Berms and Swales on the perimeter of the site shall be stabilized. See Note No. 3 on Sheet 2 of 4.

- LEGEND
- Existing Contours (2' Interval)
 - - - Proposed Contours
 - ⊙ Existing Group Number
 - ⊙ Number of Dwelling in Building Group
 - ⊙ Lot Number
 - FF 430.00 Proposed First Floor Elevation
 - 3.2+0 Proposed Spot Elevation
 - Existing Tree Line
 - ⊙ Top Contour
 - 29' Traveled Way (To Be Publicly Maintained)
 - Concrete Wall
 - Masonry Wall
 - Wall (By Others)
 - Street Light
 - Solid Wood Fencing (5'0" High)
 - Retaining Wall
 - Railroad Tie Wall
 - Wood Bridge

5	1/30/74	Op. B FF Elevations & Grading changed, addresses shown
4	11/15/74	FF Elevations Adjusted
3	11/29/73	E.P.A. Comments dated Nov 5, 1973
2	10/11/73	H.C.D. & Planning Dept Comments
1	8/16/73	D.P.W. Comments plus Projections on Split Entry Models

COLUMBIA
SEDIMENT CONTROL PLAN
FOR
VILLAGE OF OWEN BROWN

SECTION I, AREA 1
RESUBDIVISION OF PARCEL "C"

SECTION I, AREA 2
RESUBDIVISION OF PARCEL "B"

SHEET 4 OF 4
ELECTION DISTRICT N. 6, HOWARD COUNTY MARYLAND

DATE: JULY 17, 1974 SCALE: 1"=50'

SDP 7409