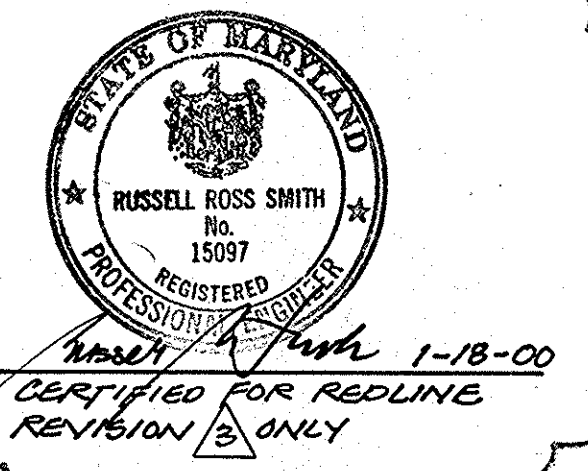


TAPPING: BITUMINOUS CONCRETE BAND C-3
 BASE COURSE: BITUMINOUS CONC. BAND C-2 OR G-3
 PRIME BASE IN ACCORDANCE WITH SPECIFICATION C-30-3
 NOTE: ALL NEW WORK SHALL BE IN ACCORDANCE WITH DISTRICTS OF THE HOWARD COUNTY ROAD CODE

NEW BITUMINOUS PAVING SECTION

CURRENT PROPERTY INFORMATION

- TAX MAP 30, GRID 7, PARCEL 74 OWNED BY: BELL ATLANTIC MARYLAND, INC.
- PROPERTY ZONED B-1 (SOUTH HALF) AND R-12 (NORTH HALF)
- PROPERTY AREA = 1.974 ACRES

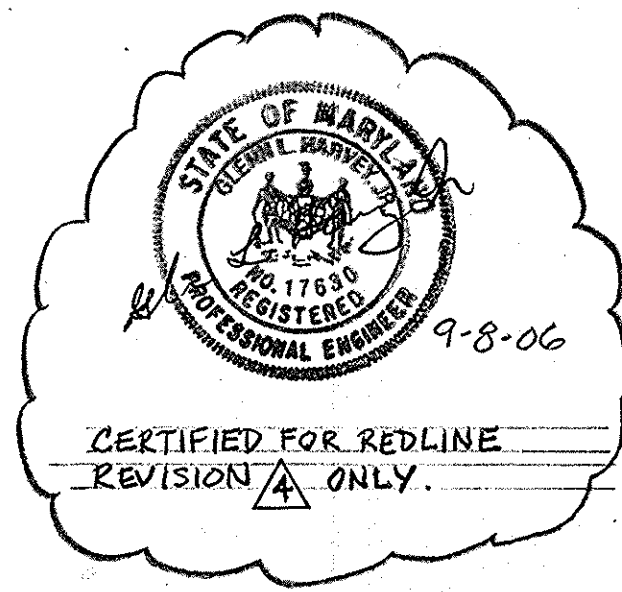


GRAPHIC SYMBOLS

- BRICK
- MASONRY TIES
- CONCRETE BLOCK
- GLAZED STRUCTURAL TILE (OR METAL IN ELEVATION)
- CUT STONE
- CONCRETE
- METAL
- MEMBRANE MATERIAL: METAL, ROOF'G, WATERPROOF'G
- STUD WALL (STL STUD & GYP)
- DETAIL REFERENCE: DETAIL NUMBER, DRAWING NUMBER
- EXIST. CONTOUR TO REMAIN
- NEW CONTOUR
- EXIST. CONTOUR TO CHANGE

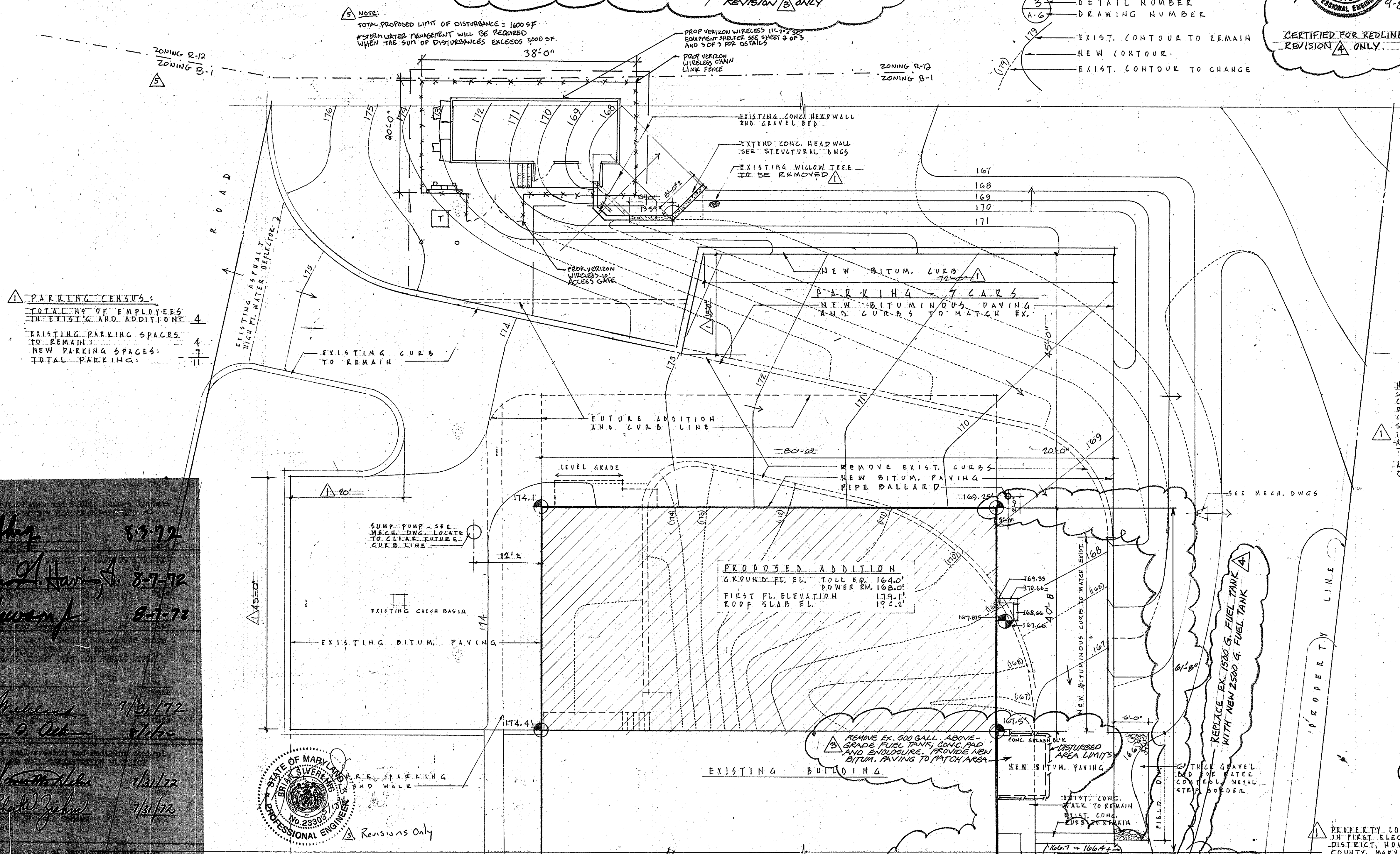
SHEET INDEX CHART

NO	NAME
1	A-1 SDF MAIN SHEET
2	EQUIPMENT COMPOUND SITE
3	EQUIPMENT COMPOUND DETAILS



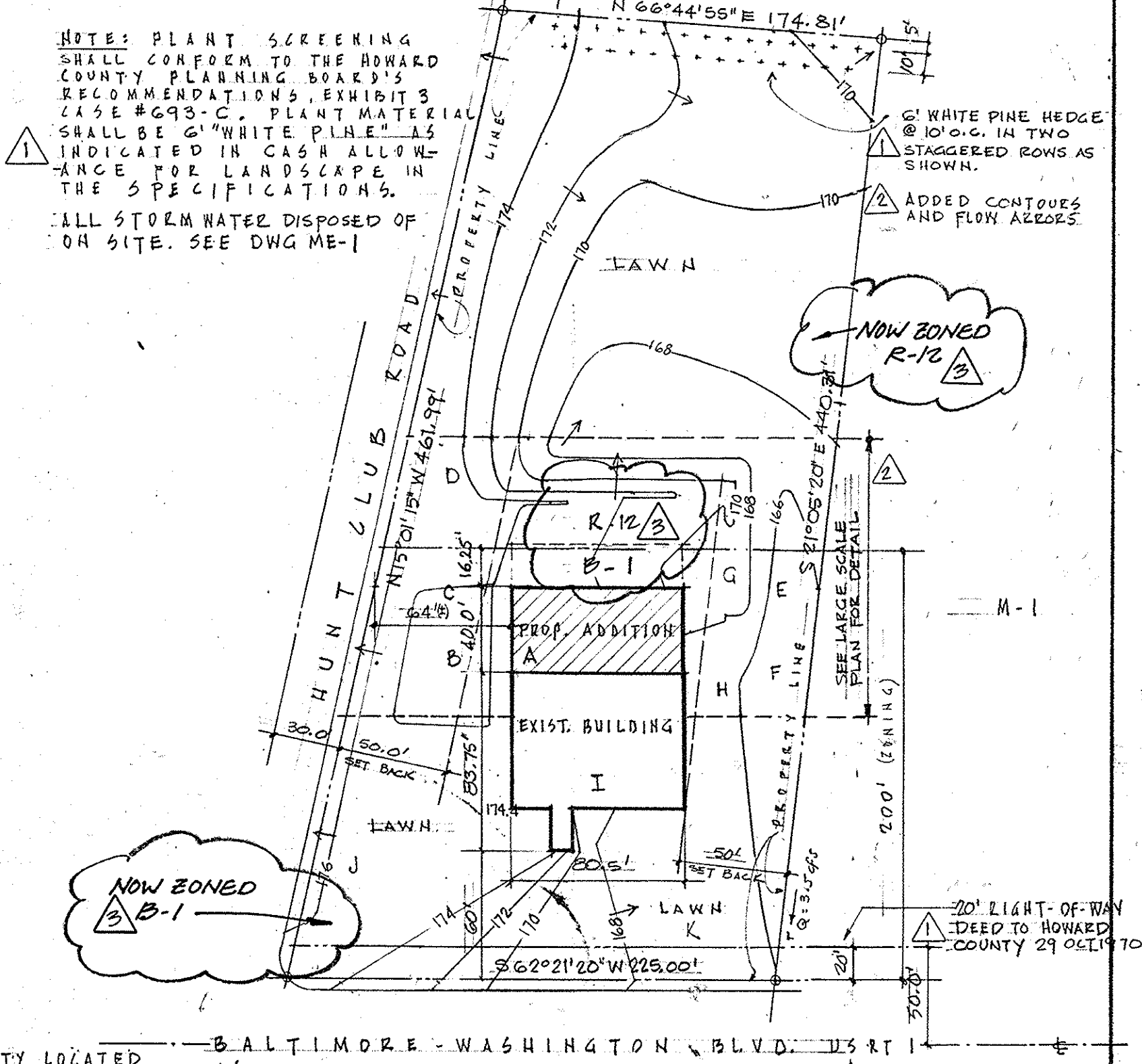
DRAWING SCHEDULE

ARCHITECTURAL AND STRUCTURAL	
A-1	SITE PLAN AND LEGENDS
A-2	BASMENT PLAN CABLE VAULT DET.
A-3	FIRST FLOOR PLAN AND DETAILS
A-4	ROOF PLAN, ELEVATIONS
A-5	BUILDING WALL DETAILS
A-6	MISC. DETAILS AND SCHEDULES
MECHANICAL	
M-1	SITE PLAN AND SCHEDULES
M-2	BASMENT PLAN AND DETAILS
M-3	FIRST FLOOR PLAN
M-4	ROOF PLAN AND DETAILS
ELECTRICAL	
E-1	BASMENT PLAN AND RISERS
E-2	FIRST FLOOR PLAN
E-3	EXISTING BUILDING
E-4	EXISTING BUILDING
E-5	FOUNDATION GROUNDING GRID



PARKING CENSUS

TOTAL NO. OF EMPLOYEES IN EXIST'G AND ADDITIONAL	4
EXISTING PARKING SPACES TO REMAIN	4
NEW PARKING SPACES	11
TOTAL PARKING	15



APPROVED: Public Health and Public Safety Systems Board, County Health Department

Shelley 8-7-72
Ronald A. Harvey 8-7-72
J.H. Claven 8-7-72

APPROVED: Public Health and Public Safety Systems Board, County Health Department

B. B. McLeod 1/31/72
William G. Ock 1/16/72

APPROVED: For all provision and minimum control Howard Soil Conservation District

Jametta Hicks 1/31/72
Robert Zickel 1/31/72

REV	DATE	DESCRIPTION	APPROVED
04/15/16		VERIZON WIRELESS EQUIPMENT SHELTER + FENCED COMPOUND ADDED	

REDLINE NOTES

- PROPOSED DISTURBED AREA = 560 SQ. FT.
- ALL DISTURBED AREAS SHALL EITHER BE REPAVED OR PERMANENTLY STABILIZED WITH 500.

REDLINE REVISIONS

NO.	REVISION	DATE
1	REPLACE EX. 1500 G. ABOVE-GRADE FUEL TANK WITH 2500 G. ABOVE-GRADE FUEL TANK. NEW TANK SHOWN ON EX. CONCRETE PAD.	9-8-06
2	REMOVE EX. 500 GALL. ABOVE-GRADE FUEL TANK AND NEW 1500 GALL. ABOVE-GRADE FUEL TANK	1-18-00

ELKRIDGE DIAL CENTER ADDITION

FOR THE CHESAPEAKE & POTOMAC TELEPHONE COMPANY OF MARYLAND

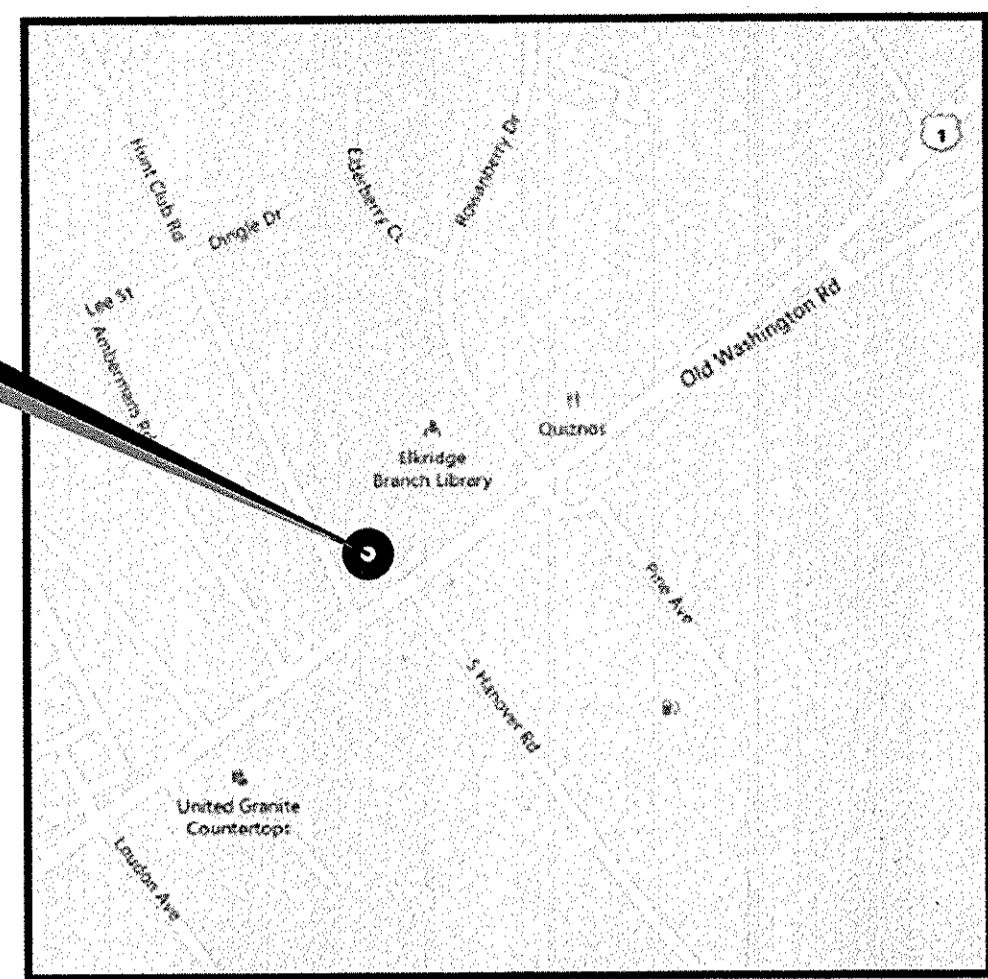
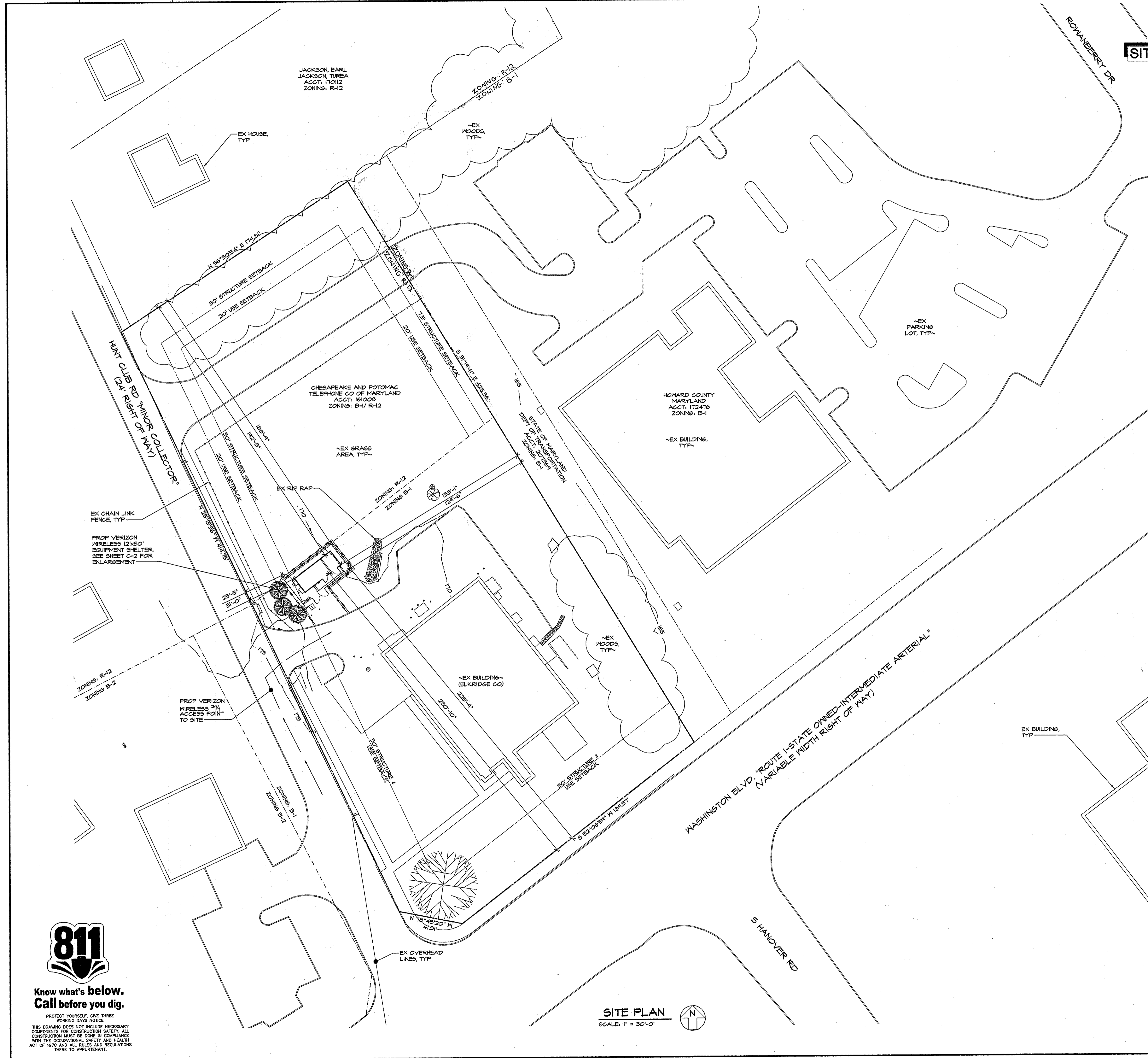
VAN FOSSEN SCHWAB INCORPORATED Architect
 701 Cathedral Street, Baltimore, Maryland

LAMPRECHT CONSULTANTS Structural Engineer
 McNEILL & BALDWIN Mechanical & Electrical Engineers

DATE: DEC. 15, 1971
 DRAWING NO: A-1

SDP-72-94

A B C D E F G H J K L M N P Q R



VICINITY MAP
SCALE: 1" = 300'

SITE NOTES:

1. APPLICANT: VERIZON WIRELESS
1600 MONTPELLIER ROAD, FLOOR 2 SOUTH-WORK
LAUREL, MD 20723
TEL. (301) 512-2000
FAX (301) 512-2186
2. APPLICANT'S ATTORNEY: BARNES & LOHSE LLC
220 BOULEVARD AVENUE
TOWSON, MD 21284
OFFICE (410) 537-4976
CELL (443) 844-7690
EMAIL JAY@BARNESANDLOHSE.COM
3. PROPERTY OWNER: CHESAPEAKE AND POTOMAC
TELEPHONE CO OF MARYLAND
670 BELL ATLANTIC OF MARYLAND INC
PO BOX 152206
IRVING, TX 75015-2206
4. SITE DATA: MAP: 88 GRID, T, PARCEL: 16
DEED BOOK 852, PAGE 221
PARCEL ID: 161008
TRACT AREA: 1.17 ACRES
DISTRICT: C
ADDRESS: 6550 WASHINGTON BOULEVARD
ELKRIDGE, MARYLAND 21075
EXISTING USE: INDUSTRIAL
5. ZONING: THE SUBJECT PROPERTY IS ZONED B-1 AND R-12 IN ACCORDANCE WITH THE OCTOBER 6, 2015 COMPREHENSIVE ZONING REGULATIONS
6. HORIZONTAL AND VERTICAL CONTROL SHOWN HEREON IS BASED ON A GPS LATITUDE BY MORRIS & RITCHIE ASSOCIATES, INC. DATED APRIL 2015.
LATITUDE: N81° 12' 03.4" GROUND ELEVATION: 179' AMSL (AVG.)
LONGITUDE: W76° 44' 14.14" TOP OF PROPOSED ANTENNA: 14' ASL
TOTAL ELEVATION (AMSL): 193' AMSL
7. TOTAL DISTURBED AREA = 1600 SF. STORM WATER MANAGEMENT WILL BE REQUIRED WHEN SUM OF DISTURBANCES EXCEEDS 5000 SF.
8. THE PROPOSED FACILITIES WILL CONSIST OF ONE (1) 30' LONG x 11'-7" WIDE x 10'-5" HIGH UNOCCUPIED COMMUNICATION EQUIPMENT SHELTER WITHIN A PROPOSED 20'x30' FENCED COMPOUND.
9. THE STRUCTURE WILL NOT SUPPORT LIGHTS OR SIGNS UNLESS REQUIRED FOR AIRCRAFT WARNING OR OTHER SAFETY RECORDS.
10. THE APPLICANT WILL PROVIDE A CERTIFICATION FROM A REGISTERED ENGINEER THAT THE STRUCTURE WILL MEET THE APPLICABLE DESIGN STANDARDS FOR WIND LOADS PER THE REQUIREMENTS OF THE TELECOMMUNICATIONS INDUSTRY ASSOCIATION.
11. IF THE ANTENNAS ARE NO LONGER USED FOR TELECOMMUNICATIONS PURPOSES FOR A CONTINUOUS PERIOD OF ONE (1) YEAR, THEY SHALL BE REMOVED BY THE ANTENNA OWNER AT OWNER'S EXPENSE.
12. NO WATER OR SANITARY UTILITIES ARE REQUIRED FOR THE OPERATION OF THIS FACILITY.
13. STORMWATER MANAGEMENT NOTE: NO STORMWATER MANAGEMENT IS REQUIRED FOR THIS SITE.
14. THE EXTERIOR OF THE SHELTER SHALL BE A HACHED STONE FINISH.
15. BOUNDARY SHOWN PER COUNTY RECORDS. EXISTING SITE FEATURES SHOWN PER SURVEY BY MORRIS & RITCHIE ASSOCIATES, INC. DATED APRIL 2015.
16. THIS PLAN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. PLAN IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
17. ALL DETAILS SHOWN ARE 'STANDARD' OR 'TYPICAL' FOR REFERENCE ONLY. FOR ACTUAL DETAILS, SEE ARCHITECTURAL, STRUCTURAL, OR CONSTRUCTION PLANS BY OTHERS.
18. STRUCTURAL ANALYSIS/DESIGN TO BE PERFORMED BY OTHERS AT CLIENT AND/OR OWNER'S DISCRETION PRIOR TO COMMENCEMENT OF ANY WORK.
19. THE COMMUNICATION SHELTER SHALL BE UNMANNED, WITH INFREQUENT VISITS (FOUR OR FEWER PER YEAR) BY MAINTENANCE PERSONNEL, AND WITH ACCESS AND PARKING FOR NO MORE THAN ONE VEHICLE. THE PROPOSED FACILITY IS NOT FOR HUMAN HABITATION AND THEREFORE HANDICAP ACCESS IS NOT REQUIRED.
20. THE PROPOSED COMMUNICATIONS SHELTER, ANTENNAS AND RELATED MOUNTING DEVICES DO NOT EXCEED TWELVE (12) FEET IN TOTAL HEIGHT.
21. BASED ON THE PROPOSED 1600 SQUARE FEET OF DISTURBANCE, THE FOREST CONSERVATION OBLIGATION IS 0. ANY FUTURE DEVELOPMENT ON THIS PARCEL MUST INCLUDE THE 1600 SQUARE FEET OF DISTURBANCE IN THE FOREST CONSERVATION CALCULATIONS.
22. NO SETBACKS ARE REQUIRED FROM THE INTERNAL ZONING DISTRICT BOUNDARY IN ACCORDANCE WITH SECTION 120.0.11 OF THE ZONING REGULATIONS.

GENERAL NOTES

1. CONTRACTOR SHALL NOTIFY "811 UTILITY" (811) 48 HOURS PRIOR TO DOING ANY EXCAVATION IN THIS AREA. CONTRACTOR SHALL CONTACT A SUBSURFACE UTILITY LOCATOR FOR LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL VERIFY EXISTING UTILITY LOCATIONS BY TEST PIT AS NECESSARY. LOCATION OF UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND FOR PLANNING PURPOSES ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. DAMAGE TO UTILITIES OR PROPERTY OF OTHER BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED TO PRECONSTRUCTION CONDITIONS BY THE CONTRACTOR.
2. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL STATE AND LOCAL CODES AND ORDINANCES, THE LATEST EDITION THEREOF.
3. ANY PERMITS WHICH MUST BE OBTAINED SHALL BE THE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THIS PROJECT FROM ALL APPLICABLE GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
4. CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH APPROPRIATE UTILITY OWNERS.
5. THESE PLANS ARE NOT FOR RECORDATION OR CONVEYANCE.
6. EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY CONTRACTOR (WHICH ARE NOT TO BE REMOVED) SHALL BE REPAIRED TO PRECONSTRUCTION CONDITIONS BY THE CONTRACTOR.

APPROVED: THE DEPARTMENT OF PLANNING & ZONING

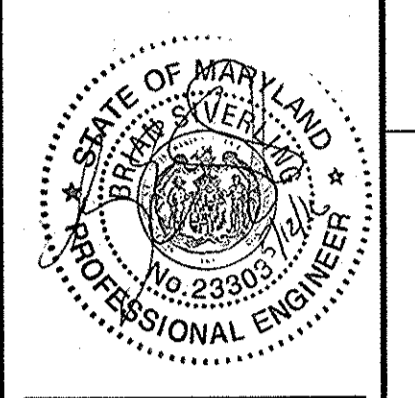
[Signature] 6-6-16
CHIEF, DEVELOPMENT ENGINEERING DIVISION JP DATE

[Signature] 6-7-16
CHIEF, DIVISION OF LAND DEVELOPMENT B DATE

[Signature] 6-8-16
DIRECTOR DATE

SITE PLAN
SCALE: 1" = 30'-0"

MRA
MORRIS & RITCHIE ASSOCIATES, INC.
Civil / Structural Engineers
1220-C East Joppa Road, Suite 605
Towson, Maryland 21288
410-821-1600
410-821-1748 Fax



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 23303, EXPIRATION DATE: 07/07/2016.

verizon
ELKRIDGE CO (ELKRIDGE DIAL CENTER-EQUIP SHELTER/ COMPOUND)
6550 WASHINGTON BLVD
ELKRIDGE, MD 21075 (HOWARD COUNTY)

REVISIONS:

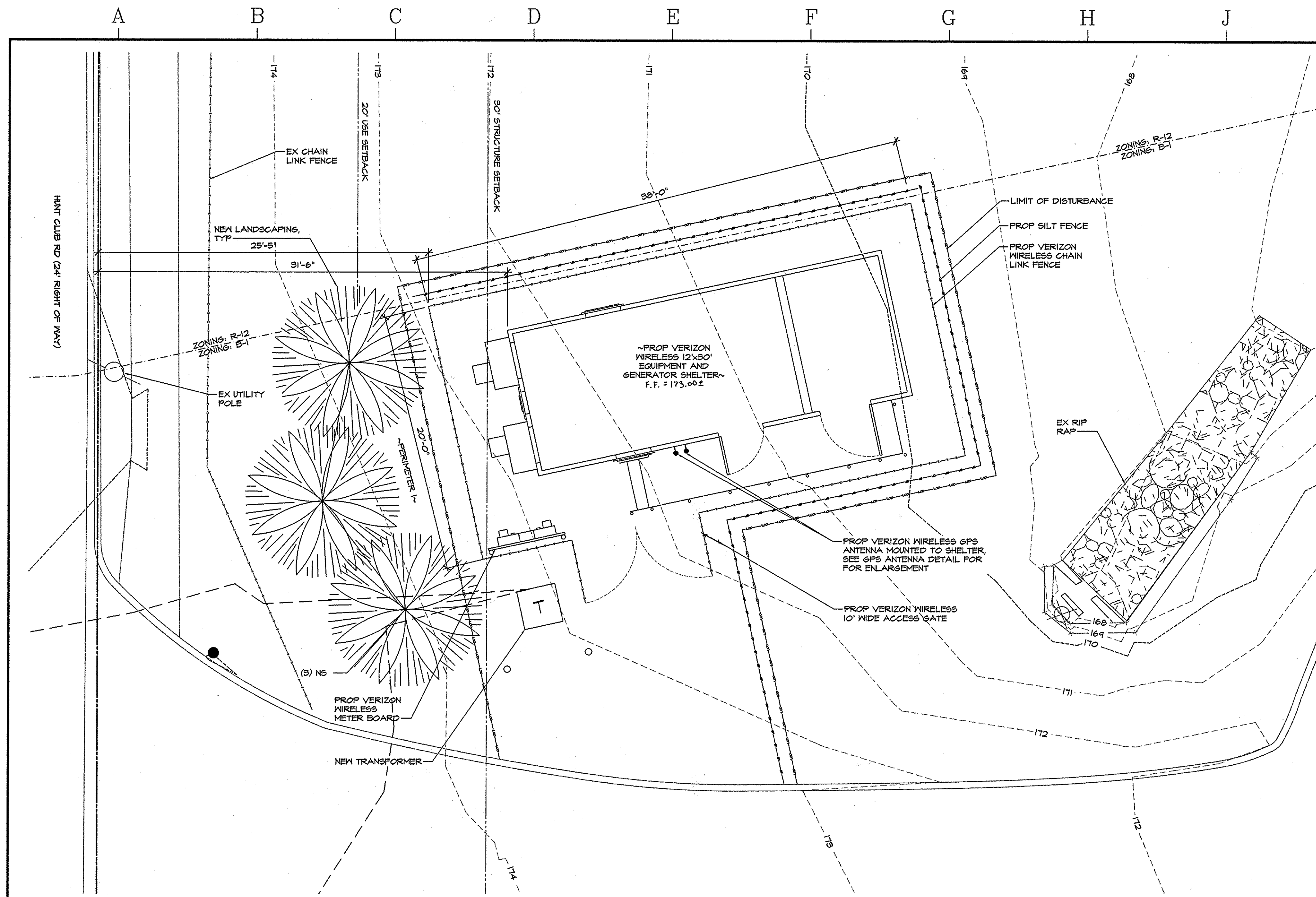
NO.	DESCRIPTION	DATE
1	SDP SUBMITTAL	04/13/16

DESIGNED BY: BE5
DRAWN BY: CJS
PROJECT NO: 18790.010
DATE: 09/01/2015
SCALE: AS NOTED

TITLE:
Equipment Compound Plan

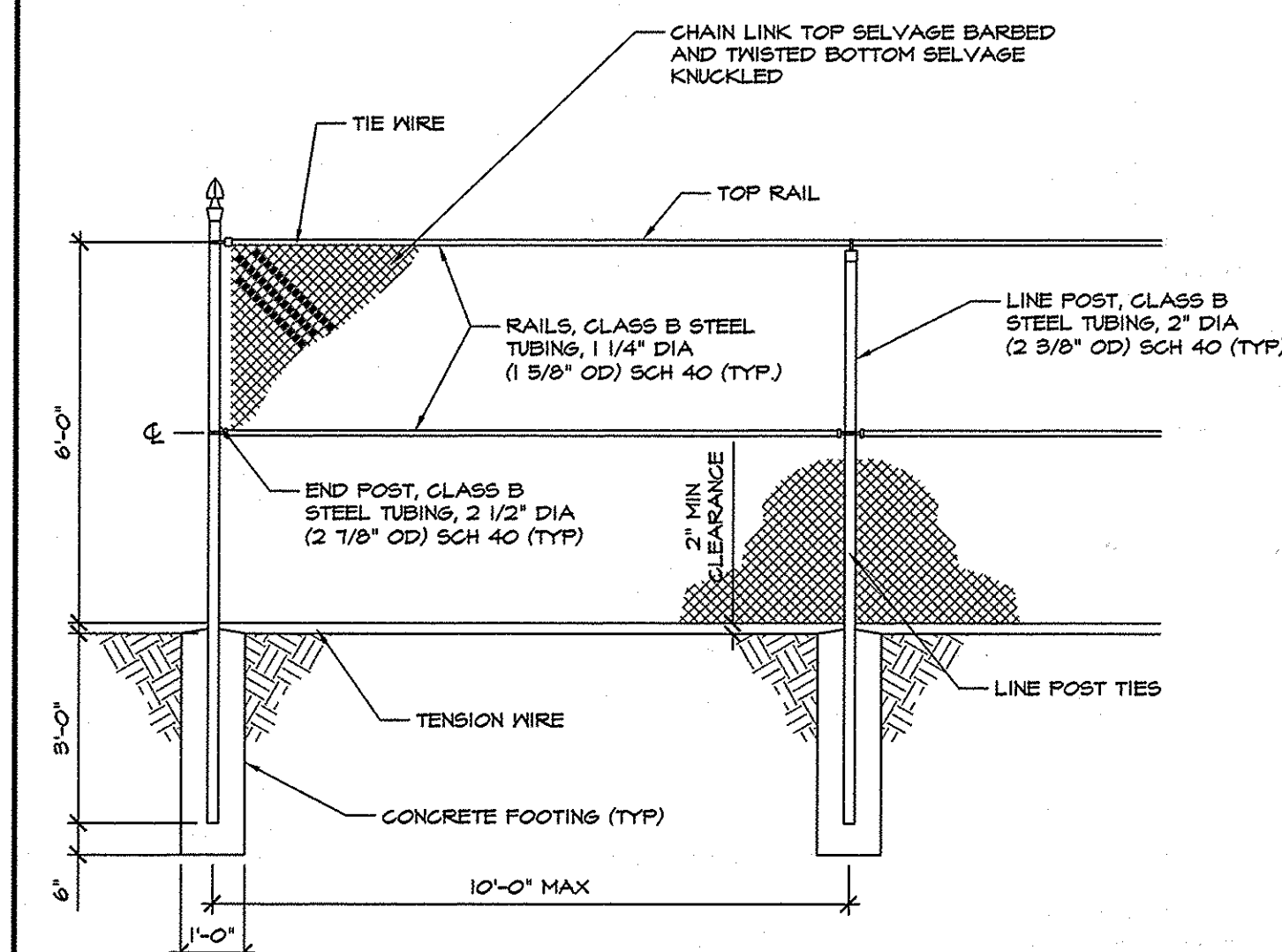
SHEET:
C-1

811
Know what's below.
Call before you dig.
PROTECT YOURSELF, GIVE THREE
WARNING DAYS NOTICE
THIS DRAWING DOES NOT INCLUDE NECESSARY
COMPONENTS FOR CONSTRUCTION SAFETY. ALL
CONSTRUCTION MUST BE DONE IN COMPLIANCE
WITH THE OCCUPATIONAL SAFETY AND HEALTH
ACT OF 1970 AND ALL RULES AND REGULATIONS
THERE TO APPURTENANT.



ENLARGED COMPOUND LAYOUT

SCALE: 3/16" = 1'-0"

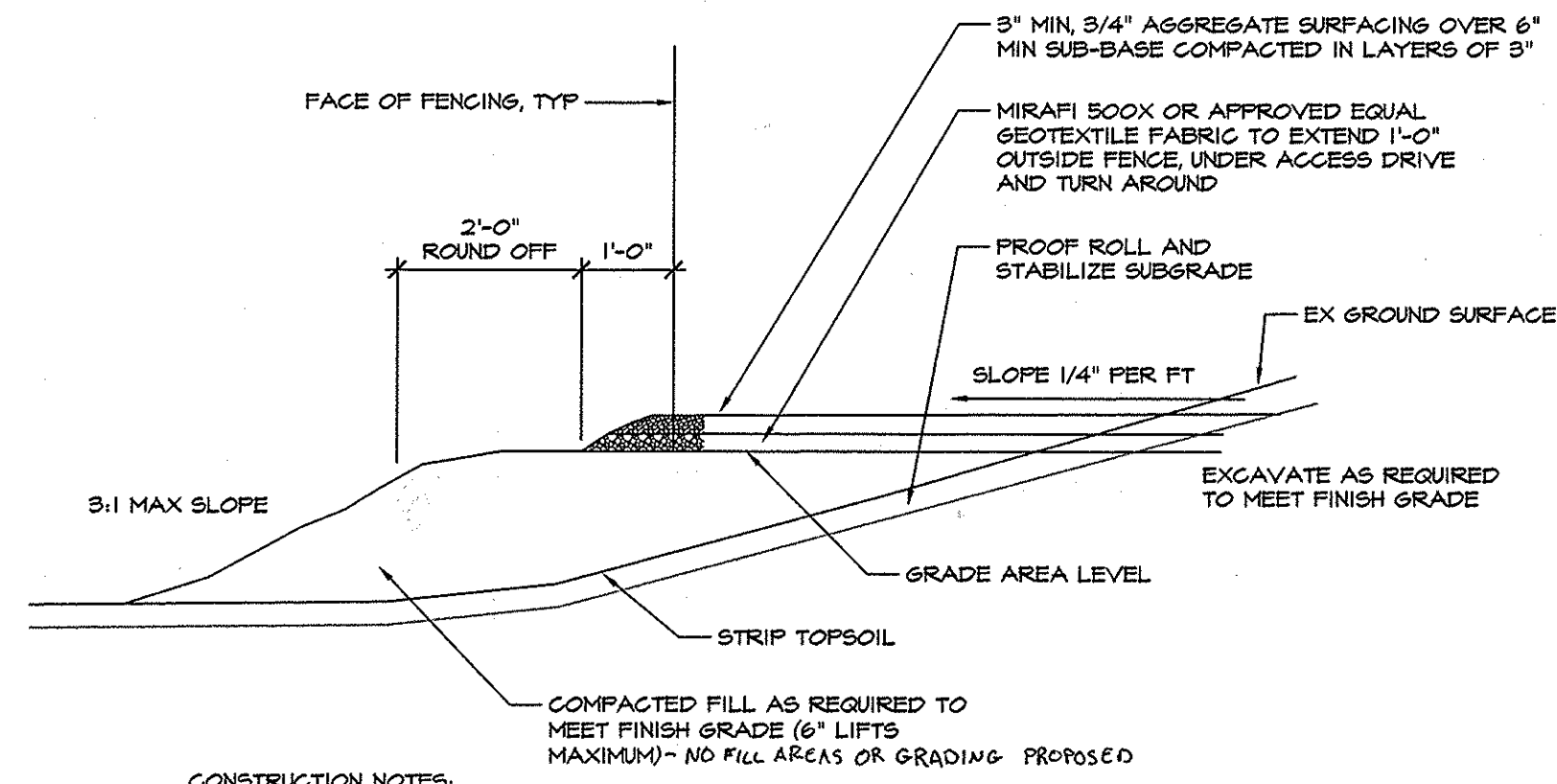


CHAIN LINK FENCE DETAIL

SCALE: 3/8" = 1'-0"

TYPICAL WOVEN WIRE FENCE NOTES

- GATE POST, CORNER, TERMINAL OR FULL POST 2 1/2" DIA (2 1/8" OD) SCHEDULE 40 PIPE PER ASTM-F1009.
- LINE POST, 2" DIA (2 5/8" OD) SCHEDULE 40 PIPE PER ASTM-F1009.
- GATE FRAME, 1 1/4" DIA (1 5/8" OD) SCHEDULE 40 PIPE PER ASTM-F1009.
- TOP RAIL & BRACE RAIL, 1 1/4" DIA (1 5/8" OD) SCHEDULE 40 PIPE PER ASTM-F1009.
- FABRIC, 4 GA CORE WIRE SIZE, 2" MESH CONFORMING TO ASTM-A942.
- TIE WIRE, MINIMUM 11 GA GALVANIZED STEEL AT POSTS AND RAILS, A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOOP RINGS SPACED MAX 24" INTERVALS.
- TENSION WIRE, 7 GA GALVANIZED STEEL.
- BARBED WIRE, DOUBLE STRAND 12-2 1/2" TWISTED WIRE TO MATCH WITH FABRIC, 14 GA, 4 FT BARS SPACED ON APPROXIMATELY 4" CENTERS.
- GATE LATCH, 1-3/8" OD PLUNGER ROD WITH MUSHROOM TYPE CATCH AND LOCK, KEYED ALIKE FOR ALL SITES IN A GIVEN MTA.
- LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED WITH, IF REQUIRED.

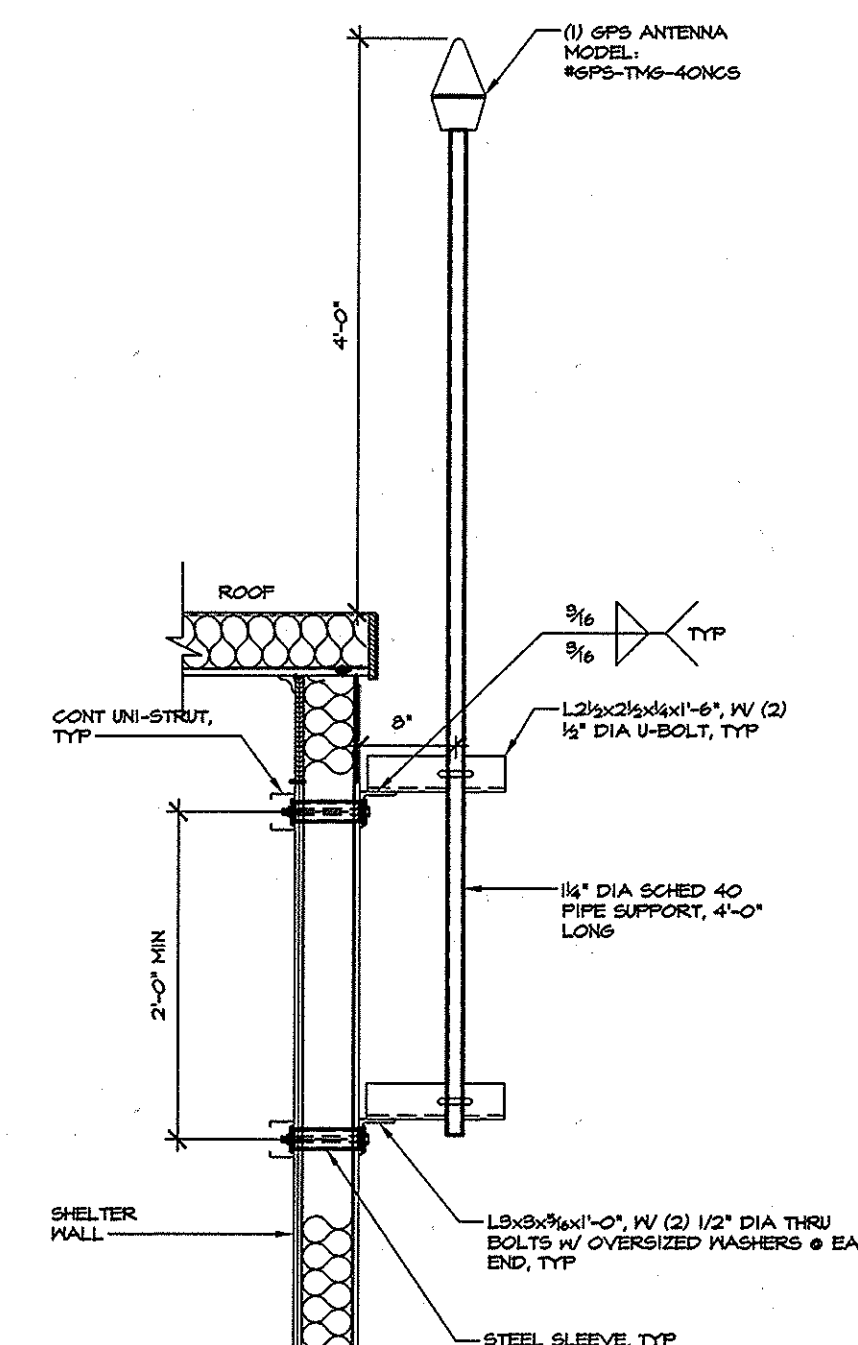


LEASE AREA, ACCESS DRIVE & TURN AROUND AREA SURFACING

SCALE: 1/2" = 1'-0"

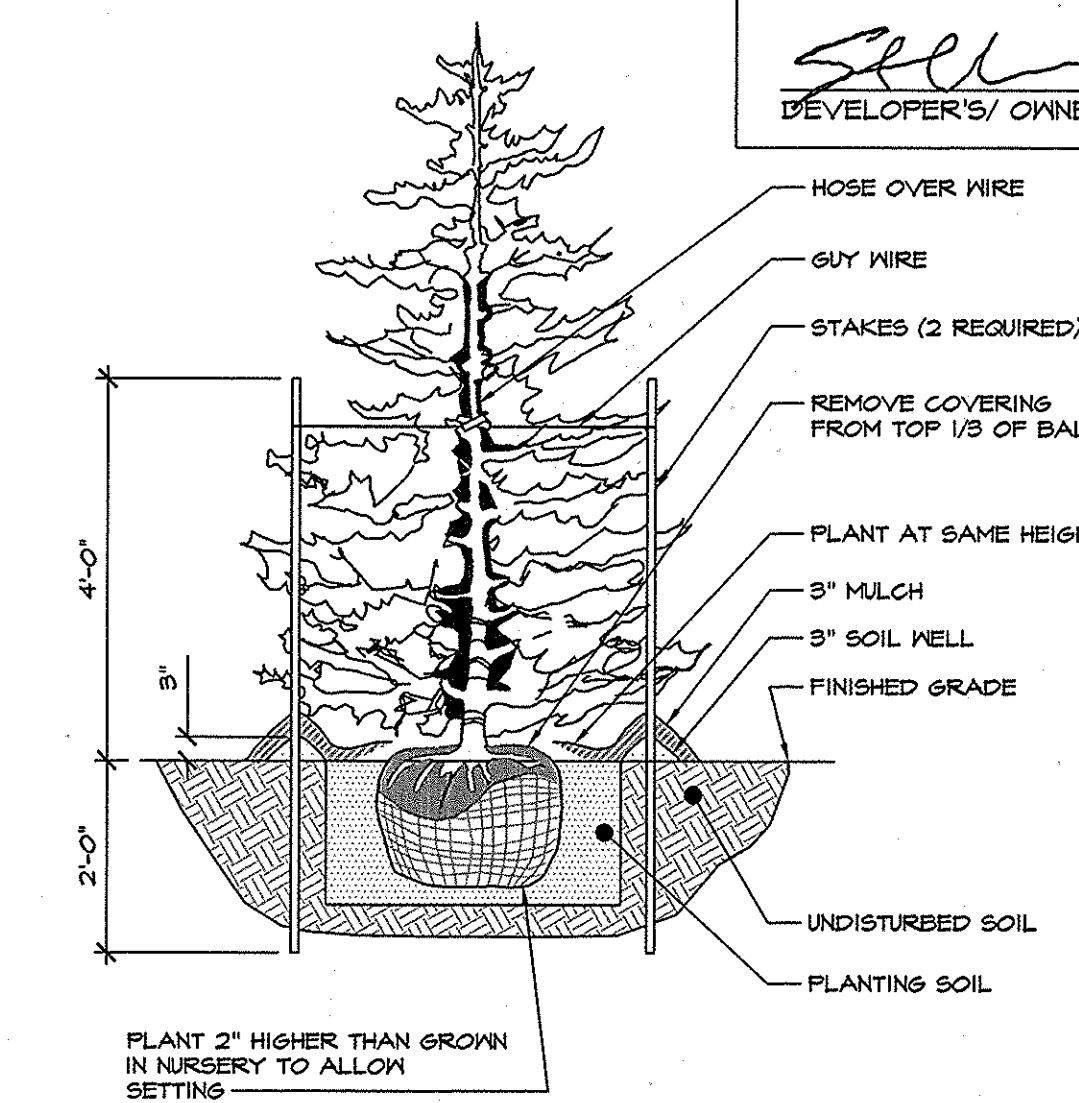
CONSTRUCTION NOTES

- CLEAR AND GRUB THE LAND ALONG THE ACCESS DRIVE.
- REMOVE ALL EXISTING ORGANIC MATERIAL TO SUITABLE SUBGRADE.
- PLACE GEOTEXTILE FABRIC OVER SUBGRADE AND THEN PLACE AGGREGATE BASE.
- GRAVEL SUBBASE SPECIFICATION: MARYLAND DOT, SECTION 304 GRADED AGGREGATE BASE COURSE VIRGINIA DHT, SECTION 210 AGGREGATE BASE COURSE.
- DETAIL PROVIDES GENERAL CRITERIA, ALL GRADING SHOULD FOLLOW FINISH GRADES SHOWN ON SITE PLAN.



GPS ANTENNA

SCALE: 3/4" = 1'-0"



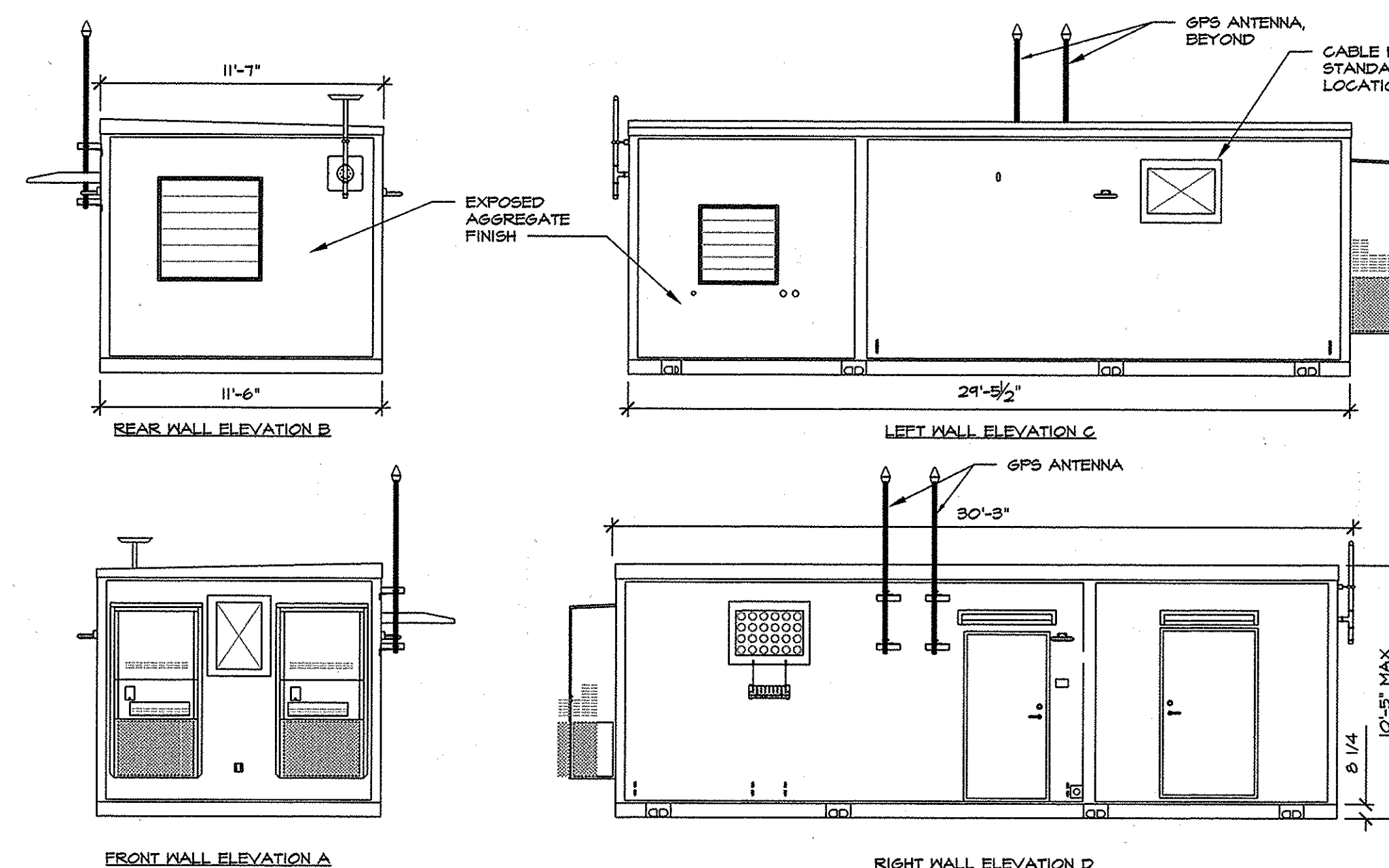
TREE DETAIL

SCALE: 1/2" = 1'-0"

SYM.	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	SYMBOL
NS	3	ILEX X NELLIE R. STEVENS'	NELLIE R. STEVENS' HOLLY	6'-0"	B&B 6'-8" OC MAX SPACING STAGGERED	

PLANTING SCHEDULE

SCALE: 1/2" = 1'-0"



TYP VERIZON WIRELESS MIRRORING SHELTER ELEVATIONS

DIMENSIONS SHOWN ARE FOR REFERENCE ONLY

APPROVED: THE DEPARTMENT OF PLANNING & ZONING

[Signature] 6-6-16
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 6-7-16
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 6-8-16
 DIRECTOR DATE

LANDSCAPING SCHEDULE A

CATEGORY	PERIMETER-1: ADJACENT TO ROADWAY
LANDSCAPE TYPE	TYPE B
LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	20 FEET
CREDIT FOR EXISTING VEGETATION	NO
CREDIT FOR WALL FENCE OR BERN	NO
NUMBER OF PLANTS REQUIRED	
SHADE TREES	1:50 = 1
EVERGREEN TREES	1:40 = 1
SHRUBS	0
NUMBER OF PLANTS PROVIDED	
SHADE TREES	0
EVERGREEN TREES	3 (2 EVERGREEN SUBSTITUTED FOR 1 SHADE TREE)
OTHER TREES (2:1 SUBSTITUTION)	0
SHRUBS (10:1 SUBSTITUTION)	0

DEVELOPER'S/ OWNER'S LANDSCAPE CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

[Signature] 5/23/16
 DEVELOPER'S/ OWNER'S NAME DATE

MRA
MORRIS & RITCHIE ASSOCIATES, INC.
 Civil/Structural Engineers
 1320-C East Joppa Road, Suite 605
 Towson, Maryland 21286
 410-821-1600
 410-821-1748 Fax

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 No. 23398
 EXPIRES 12/31/2016

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 23398 EXPIRATION DATE: 12/31/2016.

verizon
 ELKRIDGE CO (ELKRIDGE DIAL CENTER-EQUIP SHELTER/ COMPOUND)
 6350 WASHINGTON BLVD
 ELKRIDGE, MD 21075 (HOWARD COUNTY)

REVISIONS:

NO.	DESCRIPTION	DATE
SDP	SUBMITTAL	04/19/16

DESIGNED BY: BES
 DRAWN BY: GJS
 PROJECT NO: 18790.010
 DATE: 09/01/2015
 SCALE: AS NOTED

Equipment Compound Details

SHEET: C-2



Know what's below. Call before you dig.

PROTECT YOURSELF. GIVE THREE WORKING DAYS NOTICE. THIS DRAWING DOES NOT INCLUDE NECESSARY CONSIDERATIONS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPURTAINANT.