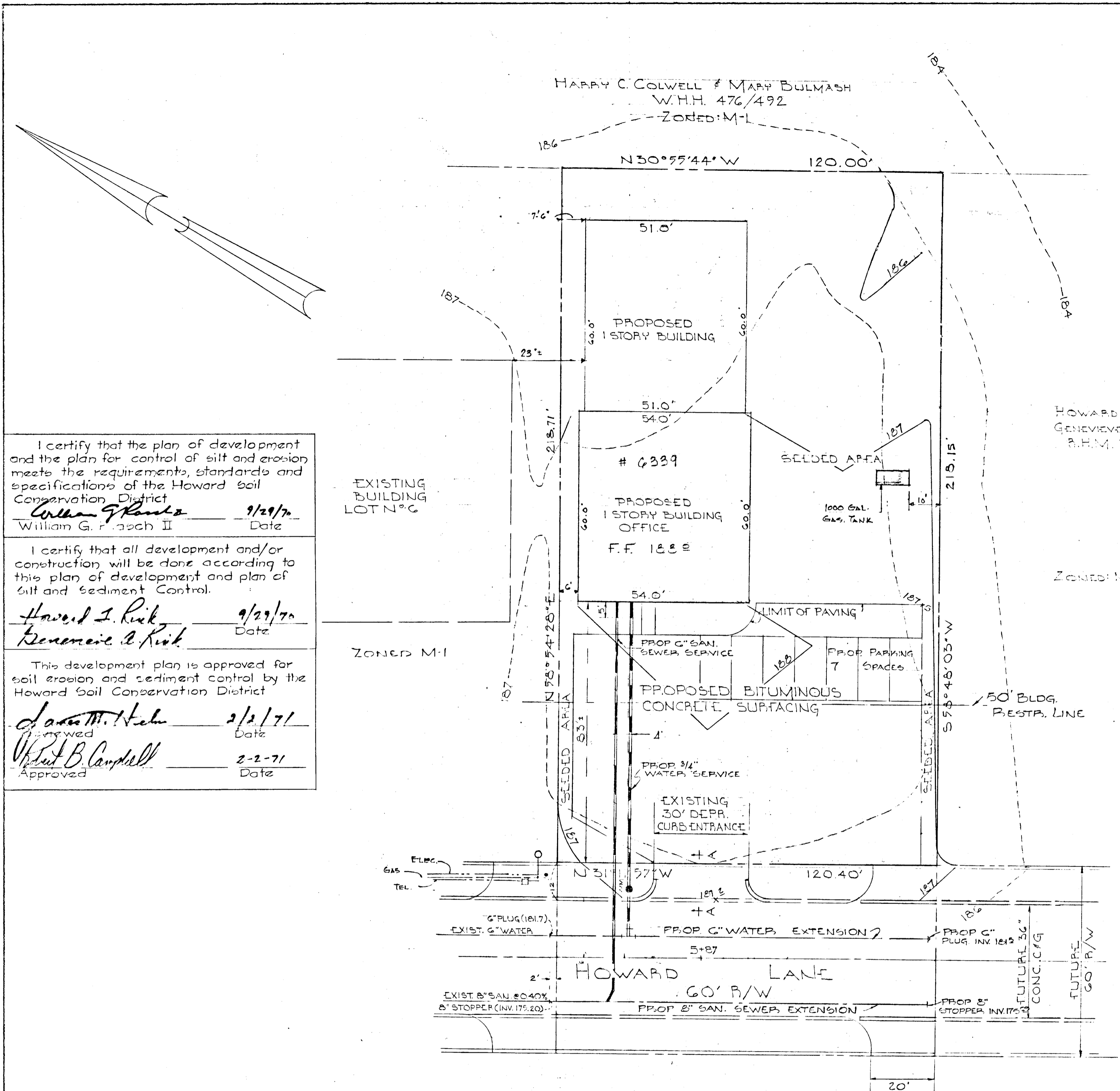


VICINITY MAP
SCALE: 1" = 1200'



- GENERAL NOTES:**
- ALL CONSTRUCTION SHOWN HEREON SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY ROAD CONSTRUCTION CODE AND STANDARD SPECIFICATIONS DATED NOVEMBER 27, 1962 AND REVISED AUGUST 1968 AND THE ZONING REGULATIONS OF HOWARD COUNTY.
 - SITE ANALYSIS:
 - GROSS AREA: 24,200 S.F.
 - PRESENT ZONING: M-1
 - PROPOSED USE: OFFICE AND STORAGE FOR RINK BLDG SYSTEMS
 - PROTECTION OF EROSION AREAS:
 - ALL UNPAVED AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED TO 2" BELOW THE FINISHED GRADE AS SHOWN, THE CONTRACTOR SHALL THEN PLACE 3" TOPSOIL TO FINISHED GRADE.
 - LIME/FERTILIZER:
 - PULVERIZED DOLOMITE LIMESTONE SHALL BE SPREAD ON GRADED AREAS AT THE RATE 2000 LBS./ACRE.
 - FERTILIZER - 600 LBS. OF 10-10-10 PER ACRE WORKED INTO THE SOIL IMMEDIATELY FOLLOWING SPREADING OPERATIONS FOR A DEPTH OF 3 INCHES.
 - THE FOLLOWING MIX SHALL BE USED FOR ALL SEEDED AREAS WHICH SHALL BE SOWN AT A RATE OF NOT LESS THAN 4 LBS. PER 2500 S.F.
 - 50% KENTUCKY BLUEGRASS
 - 40% CREEPING RED FESCUE
 - 10% CHEWING'S FESCUE
 - MULCHING - MULCH UNIFORMLY ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING WITH UNWEATHERED SMALL GRAIN STRAW OR HAY AT THE RATE OF 1.5 TONS PER ACRE, AND SPRAY WITH AN EMULSIFIED ASPHALT (A.S.-1 OR 2) AT 0.24 GAL. PER 50 YD.
 - PUBLIC WATER/SANITARY FACILITIES ARE ADEQUATE AND AVAILABLE.
 - BENCH MARK - ELEVATION 151.40
 - TOP INLET LEFT STA. 2+12 HOWARD LANE.
 - TAX MAP NO. 38
 - LOCATION OF UTILITIES SHOWN HEREON IS APPROXIMATE ONLY AND IS OBTAINED FROM THE BEST INFORMATION AVAILABLE. CONTRACTOR SHALL LOCATE EXISTING UTILITIES TO HIS OWN SATISFACTION BEFORE ANY CONNECTIONS ARE MADE.
 - CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES PRIOR TO STARTING WORK SHOWN HEREON:
 - BELL TELEPHONE SYSTEM - 393-3649
 - LONG DISTANCE, CABLE DIV. - 393-3553 OR 3554
 - BALTIMORE GAS/ELECTRIC CO. - 559-8000 EXT. 671
 - CONTOURS:
 - EXISTING 1' INTERVALS
 - PROPOSED 1' INTERVALS
 - NO WALLS.
 - PARKING DATA:
 - NUMBER OF EMPLOYEES - 14
 - NUMBER OF SPACES REQ'D @ 10 SPACE/2 EMPLOYEES - 7
 - NUMBER OF SPACES PROVIDED - 7
 - LIGHTING: DENOTES DIRECTIONAL FLOODLIGHTS SHIELDED TO PREVENT GLARE.

I certify that the plan of development and the plan for control of silt and erosion meets the requirements, standards and specifications of the Howard Soil Conservation District
William G. Rasch II 9/29/70
 Date

I certify that all development and/or construction will be done according to this plan of development and plan of silt and sediment control.
Harold I. Rink 9/29/70
Benjamin B. Rink Date

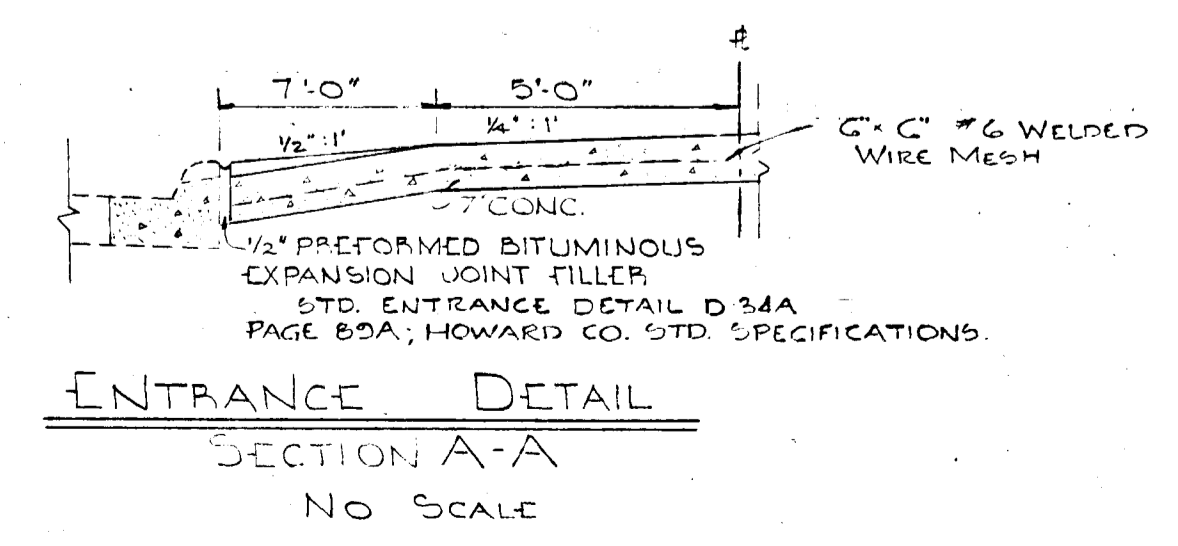
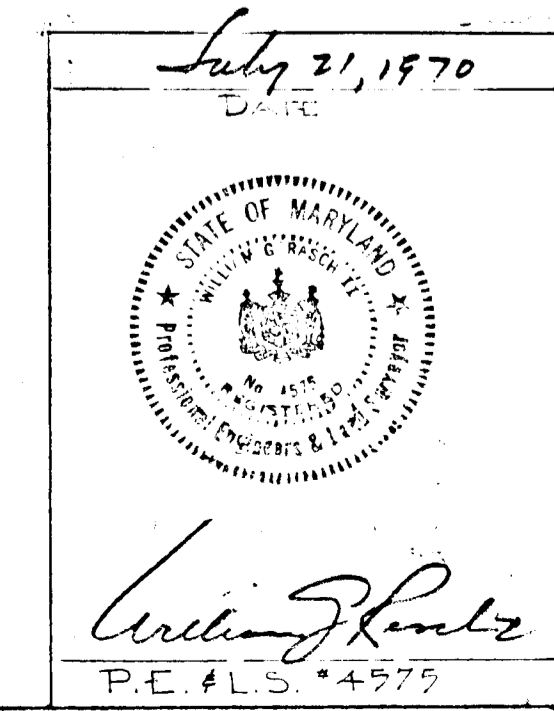
This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District
J. M. Helm 2/2/71
 Approved Date
Robert B. Campbell 2-2-71
 Approved Date

PLAN
SCALE: 1" = 20'

APPROVED
OFFICE OF PLANNING
AND ZONING OF
HOWARD COUNTY
DATE: SEP 28 1970
J. H. Clawson Jr.

OWNER/DEVELOPER:
RINK BUILDING SYSTEMS, INC.
1511 HOWARD LANE
ELKRIDGE, MARYLAND

PURDUM & JESCHKE
ENGINEERS
LAND SURVEYORS
3697 PARK AVENUE
ELICOTT CITY, MARYLAND 21043



SITE PLAN
ELKRIDGE INDUSTRIAL PARK - SECT. 2 - LOT H.
RINK BUILDING SYSTEMS INC.
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
JULY 17, 1970 SCALE: AS SHOWN
REVISIONS:
1. GAS STORAGE TANK LOC. 12-28-70

I certify that the plan of development and the plan for control of silt and erosion meets the requirements, standards and specifications of the Howard Soil Conservation District

William G. Kasch II 9/29/70
Date

I certify that all development and/or construction will be done according to this plan of development and plan of silt and sediment control.

Howard J. Reik 9/29/70
Renemaic A. Reik Date

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District

James M. Hahn 2/2/71
Date

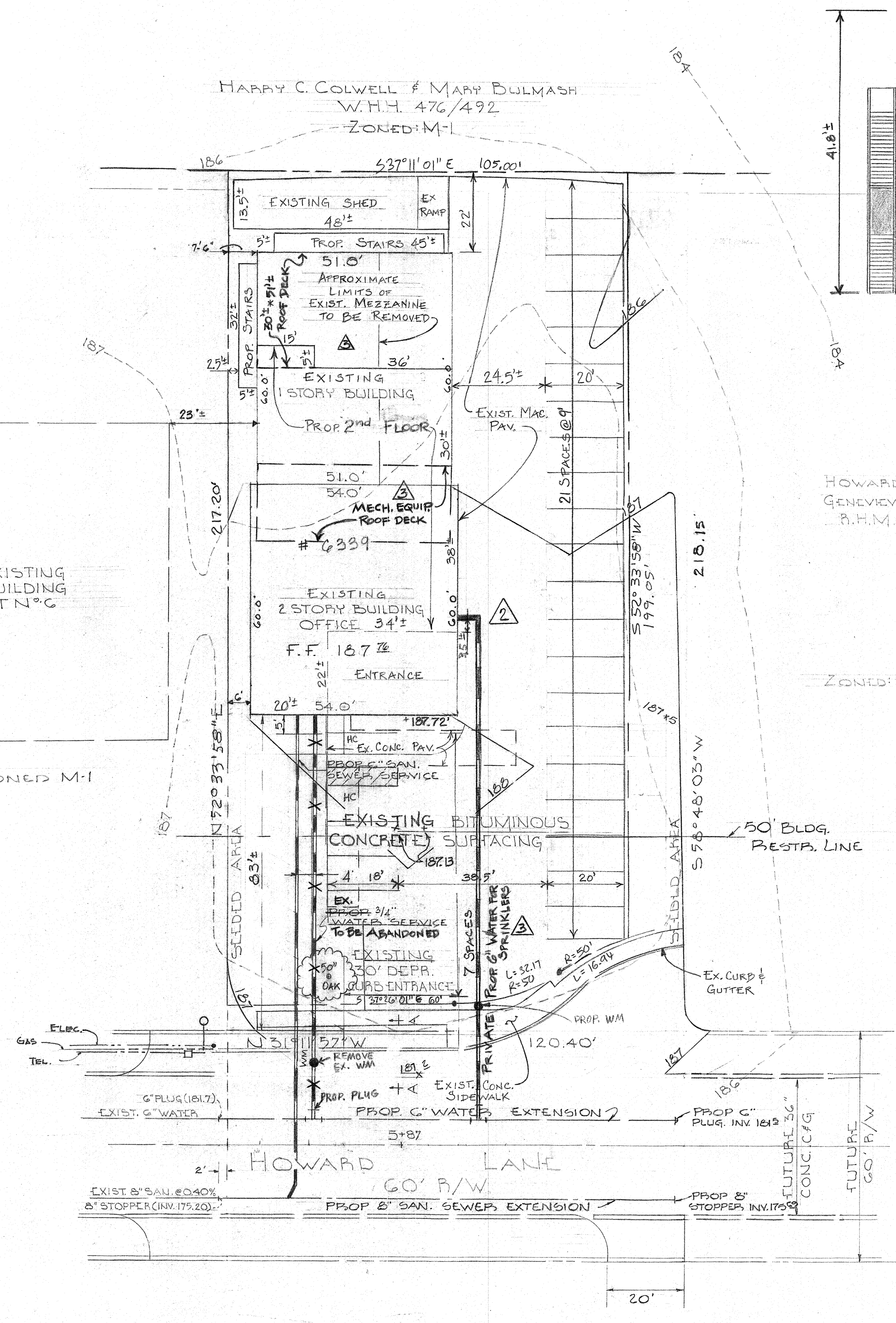
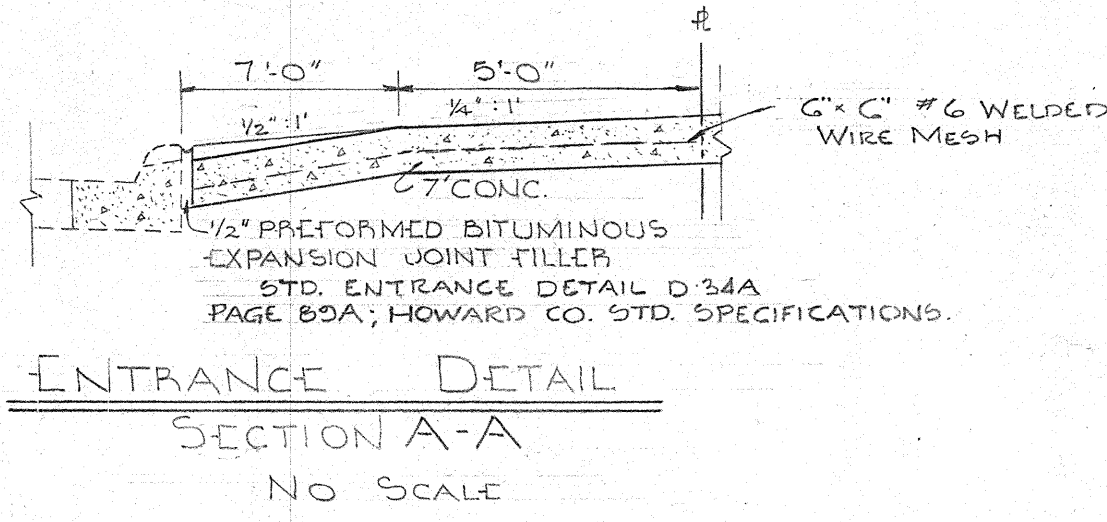
Robert B. Campbell 2-2-71
Date

OWNER/DEVELOPER:
PINK BUILDING SYSTEMS, INC.
1811 HOWARD LANE
ELK RIDGE, MARYLAND

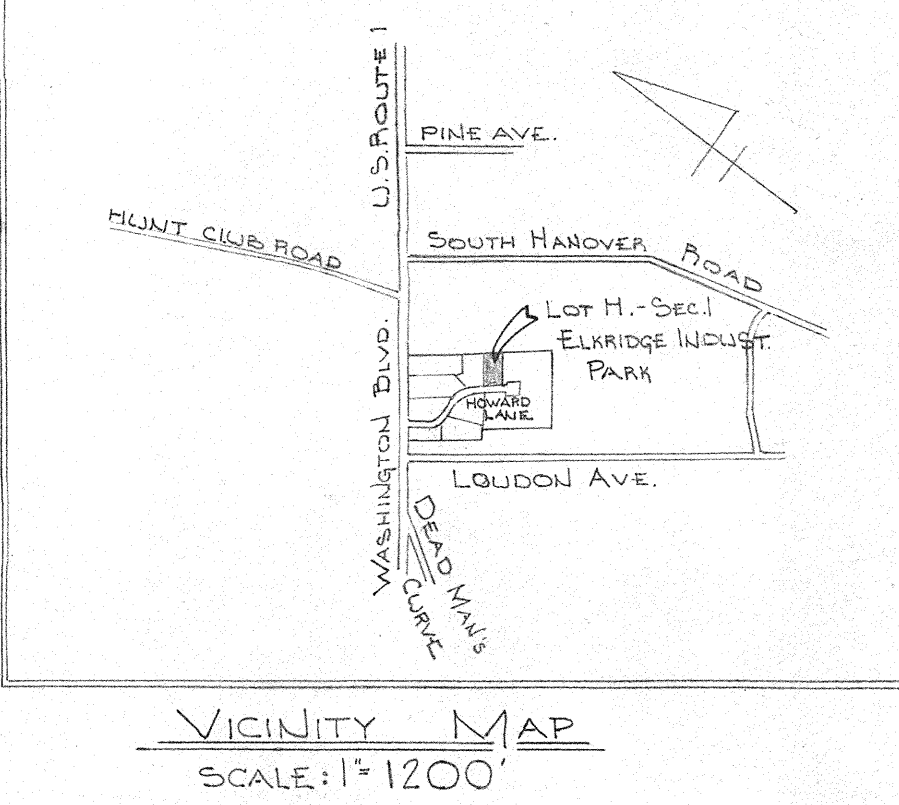
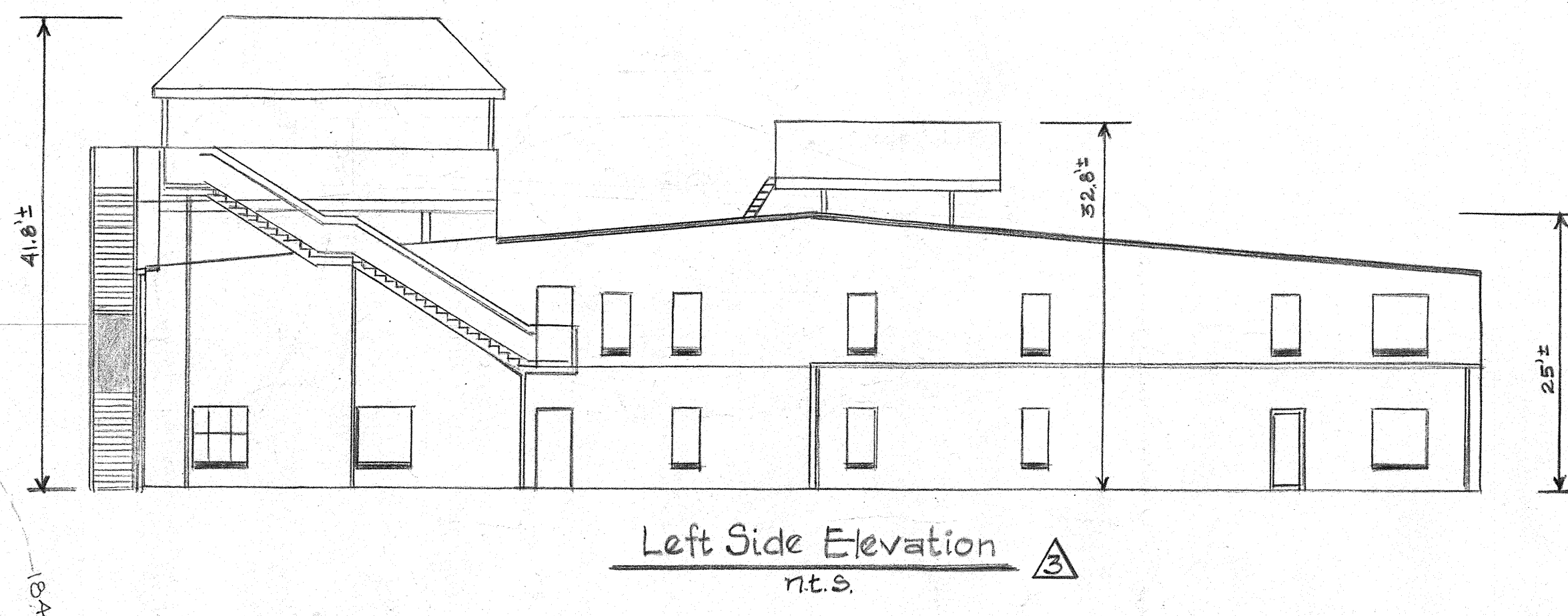
PURDUM & JESCHKE
ENGINEERS
LAND SURVEYORS
3697 PARK AVENUE
ELICOTT CITY, MARYLAND - 21043

July 21, 1970
DATE

STATE OF MARYLAND
Professional Engineer & Land Surveyor
No. 4578
William G. Kasch II
P.E. # L.S. # 4578



PLAN
SCALE: 1" = 20'

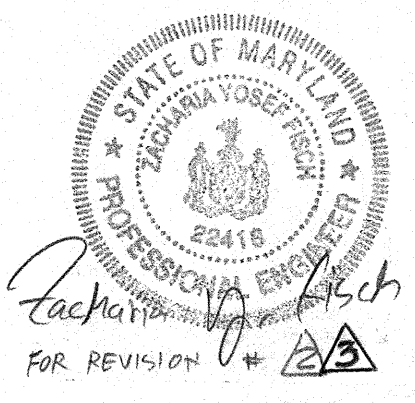


- GENERAL NOTES:
- ALL CONSTRUCTION SHOWN HEREON SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY ROAD CONSTRUCTION CODE AND STANDARD SPECIFICATIONS DATED NOVEMBER 27, 1962 AND REVISED AUGUST 1968 AND THE ZONING REGULATIONS OF HOWARD COUNTY.
 - SITE ANALYSIS:
 - A) GROSS AREA: 22,914 sq. ft.
 - B) PRESENT ZONING: CE-CL1
 - C) PROPOSED USE: OFFICE AND STORAGE
 - PROTECTION OF EROSION AREAS:
 - A) ALL UNPAVED AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED TO 3" BELOW THE FINISHED GRADE AS SHOWN, THE CONTRACTOR SHALL THEN PLACE 3" TOPSOIL TO FINISHED GRADE.
 - B) LIME & FERTILIZER:
 - 1) PULVERIZED DOLOMITE LIMESTONE SHALL BE SPREAD ON GRADED AREAS AT THE RATE 2000 LBS./ACRE.
 - 2) FERTILIZER - 600 LBS. OF 10-10-10 PER ACRE WORKED INTO THE SOIL IMMEDIATELY FOLLOWING SPREADING OPERATIONS FOR A DEPTH OF 3 INCHES.
 - 3) THE FOLLOWING MIX SHALL BE USED FOR ALL SEEDED AREAS WHICH SHALL BE SOWN AT A RATE OF NOT LESS THAN 4 LBS. PER 2500 sq. ft.
 - 50% KENTUCKY BLUEGRASS
 - 40% CREEPING RED FESCUE
 - 10% CHEWINGS FESCUE
 - 4) MULCHING - MULCH UNIFORMLY ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING WITH UNWEATHERED SMALL GRAIN STRAW OR HAY AT THE RATE OF 1.9 TONS PER ACRE, AND SPRAY WITH AN EMULSIFIED ASPHALT (R.S.-1 OR 2) AT 0.24 GAL. PLS. SQ. YD.
 - PUBLIC WATER / SANITARY FACILITIES ARE ADEQUATE AND AVAILABLE.
 - BENCH MARK - ELEVATION 181.40
± TOP INLET LEFT STA. 2+12 HOWARD LANE
 - TAX MAP N° 38
 - LOCATION OF UTILITIES SHOWN HEREON IS APPROXIMATE ONLY AND IS OBTAINED FROM THE BEST INFORMATION AVAILABLE. CONTRACTOR SHALL LOCATE EXISTING UTILITIES TO HIS OWN SATISFACTION BEFORE ANY CONNECTIONS ARE MADE.
CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES PRIOR TO STARTING WORK SHOWN HEREON:
 - A) BELL TELEPHONE SYSTEM - 393-3649
 - B) LONG DISTANCE, CABLE DIV. - 393-3553 OR 3554
 - C) BALTIMORE GAS & ELECTRIC CO. - 539-8000 EXT. 671
 - CONTOURS:
 - A) EXISTING 1' INTERVALS
 - B) PROPOSED 1' INTERVALS
 - NO WALLS.
 - PARKING DATA:
 - A) AREA OF OFFICE SPACE = 10,300 sq. ft.
 - B) NUMBER OF SPACES REQ'D 233 SPACES / 1000 sq. ft. = 34
 - C) NUMBER OF SPACES PROVIDED - 28
 - LIGHTING: → DENOTES DIRECTIONAL FLOODLIGHTS SHIELDED TO PREVENT GLARE.

* NOTE: THE 28 PARKING SPACES PROVIDED ON SITE HAVE BEEN DETERMINED TO BE ADEQUATE BY THE DPZ/DLD FOR THE PROPOSED PROFESSIONAL OFFICE SPACE USE IN ACCORDANCE WITH A SITE SPECIFIC PARKING NEEDS ANALYSIS DATED 6/22/05 FOR THIS PROJECT. ANY CHANGE IN USE OR EXPANSION OF THE FLOOR AREA OF THE BUILDING SHALL REQUIRE COMPLIANCE WITH THE APPLICABLE PARKING SPACE REQUIREMENTS OF ZONING SECTION 133.

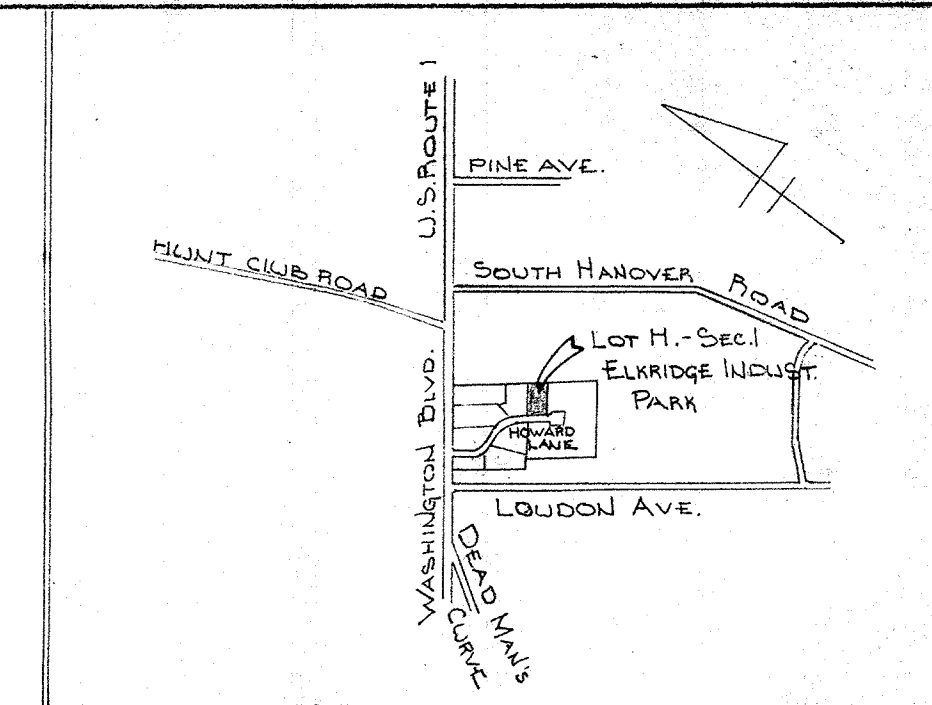
APPROVED
OFFICE OF PLANNING
AND ZONING OF
HOWARD COUNTY
DATE: SEP 24 1970
J. H. Clewson

ELK RIDGE INDUSTRIAL PARK - SECT. 3 - LOT H-2
PINK BUILDING SYSTEMS INC.
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
JULY 17, 1970 SCALE: AS SHOWN



- REVISIONS:
- 1. SEE STORAGE TANK LOG - 12-28-70
 - 2. REFLECT EXISTING BOUNDARY & PAVING, MODIFY SECOND FLOOR MEZZANINE, PARKING REQUIREMENT AND TWO EXTERNAL STAIRWAYS.
 - 3. REMOVE GAS STORAGE TANK
 - 4. ADD LEFT-SIDE ELEVATION, LABEL 2nd FLOOR AND ROOF DECKS, ADD G' WATER
- FOR REVISION # 2/3

HARRY C. COLWELL & MARY BULMASH
W.H.H. 476/492
ZONED: M-1

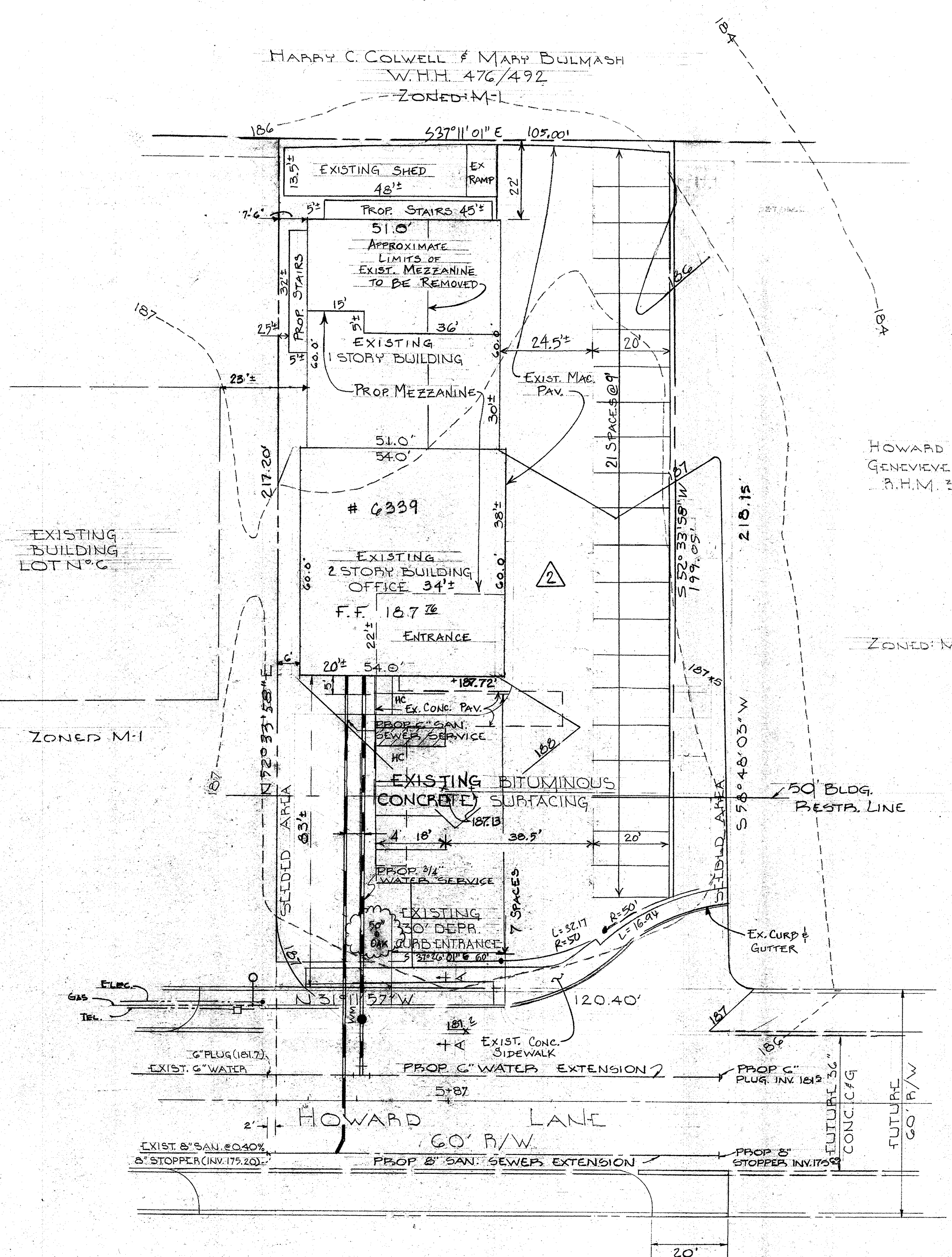


VICINITY MAP
SCALE: 1" = 1200'

I certify that the plan of development and the plan for control of silt and erosion meets the requirements, standards and specifications of the Howard Soil Conservation District
William G. Rasch II
Date: 9/29/70

I certify that all development and/or construction will be done according to this plan of development and plan of silt and sediment control.
Howard J. Rink
Genevieve A. Rink
Date: 9/29/70

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District
James H. Hahn
Date: 2/2/71
Robert B. Campbell
Date: 2-2-71



HOWARD J. RINK
GENEVIEVE A. RINK
R.H.M. 315/262

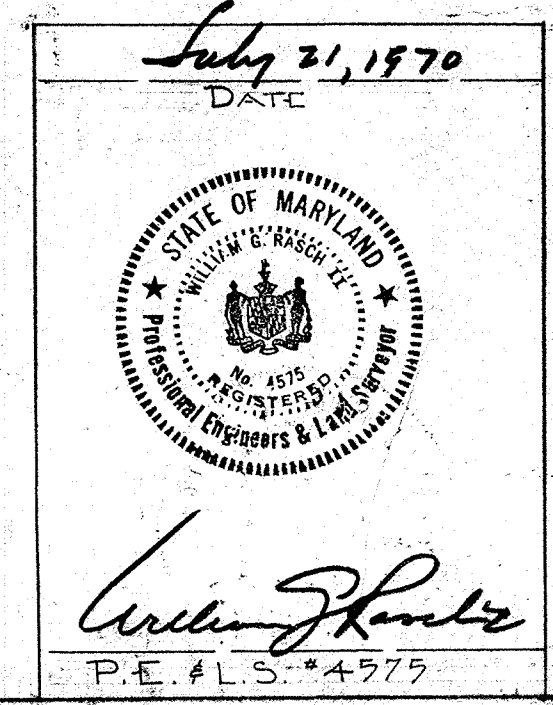
- GENERAL NOTES:**
- ALL CONSTRUCTION SHOWN HEREON SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY ROAD CONSTRUCTION CODE AND STANDARD SPECIFICATIONS DATED NOVEMBER 27, 1962 AND REVISED AUGUST 1968 AND THE ZONING REGULATIONS OF HOWARD COUNTY.
 - SITE ANALYSIS:
 - A) GROSS AREA: 22,914 SF.
 - B) PRESENT ZONING: CE-CL1
 - C) PROPOSED USE: OFFICE AND STORAGE
 - PROTECTION OF EROSION AREAS:
 - A) ALL UNPAVED AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED TO 3" BELOW THE FINISHED GRADE AS SHOWN, THE CONTRACTOR SHALL THEN PLACE 3" TOPSOIL TO FINISHED GRADE.
 - B) LIME & FERTILIZER:
 - 1) PULVERIZED DOLOMITE LIMESTONE SHALL BE SPREAD ON GRADED AREAS AT THE RATE 2000 LBS./ACRE.
 - 2) FERTILIZER - 600 LBS. OF 10-10-10 PER ACRE WORKED INTO THE SOIL IMMEDIATELY FOLLOWING SPREADING OPERATIONS FOR A DEPTH OF 3 INCHES.
 - 3) THE FOLLOWING MIX SHALL BE USED FOR ALL SEEDED AREAS WHICH SHALL BE SOWN AT A RATE OF NOT LESS THAN 4 LBS. PER 2500 SF.
 - 50% KENTUCKY BLUEGRASS
 - 40% CREEPING RED FESCUE
 - 10% CHEWING FESCUE
 - D) MULCHING - MULCH UNIFORMLY ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING WITH UNWEATHERED SMALL GRAIN STRAW OR HAY AT THE RATE OF 1.5 TONS PER ACRE AND SPRAY WITH AN EMULSIFIED ASPHALT (R.S. 1 OR 2) AT 0.24 GAL. PER SQ. YD.
 - PUBLIC WATER & SANITARY FACILITIES ARE ADEQUATE AND AVAILABLE.
 - BENCH MARK - ELEVATION 181.40
 - TOP INLET LEFT STA. 2+12 HOWARD LANE
 - TAX MAP N-38
 - LOCATION OF UTILITIES SHOWN HEREON IS APPROXIMATE ONLY AND IS OBTAINED FROM THE BEST INFORMATION AVAILABLE. CONTRACTOR SHALL LOCATE EXISTING UTILITIES TO HIS OWN SATISFACTION BEFORE ANY CONNECTIONS ARE MADE.
 - CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES PRIOR TO STARTING WORK SHOWN HEREON:
 - A) BELL TELEPHONE SYSTEM - 393-3649
 - B) LONG DISTANCE, CABLE DIV. - 393-3553 OR 3554
 - C) BALTIMORE GAS & ELECTRIC CO. - 539-8000 EXT. 691
 - CONTOURS:
 - A) EXISTING 1' INTERVALS
 - B) PROPOSED 1' INTERVALS
 - NO WALLS.
 - PARKING DATA:
 - A) AREA OF OFFICE SPACE = 10,300 sq. ft.
 - B) NUMBER OF SPACES REQ'D @ 33 SPACES/1,000 sq. ft. = 34
 - C) NUMBER OF SPACES PROVIDED - 28
 - LIGHTING: DENOTES DIRECTIONAL FLOODLIGHTS SHIELDED TO PREVENT GLARE.

* NOTE: THE 28 PARKING SPACES PROVIDED ON SITE HAVE BEEN DETERMINED TO BE ADEQUATE BY THE DPZ/DLD FOR THE PROPOSED PROFESSIONAL OFFICE SPACE USE IN ACCORDANCE WITH A SITE SPECIFIC PARKING NEEDS ANALYSIS DATED 6/22/05 FOR THIS PROJECT. ANY CHANGE IN USE OR EXPANSION OF THE FLOOR AREA OF THE BUILDING SHALL REQUIRE COMPLIANCE WITH THE APPLICABLE PARKING SPACE REQUIREMENTS OF ZONING SECTION 153.

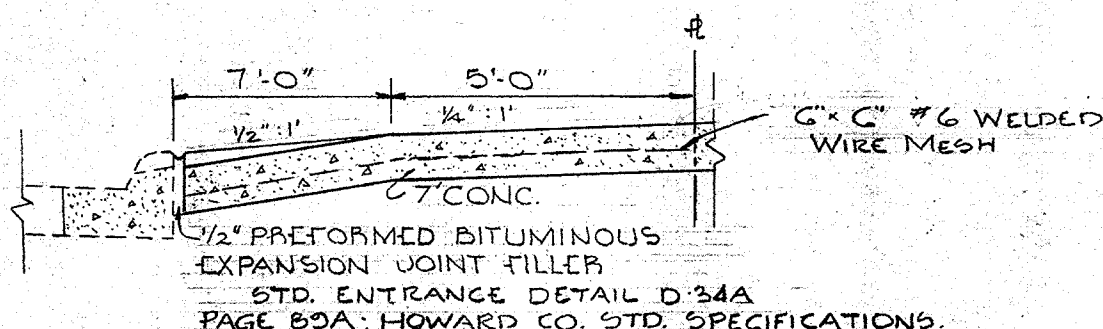
APPROVED
OFFICE OF PLANNING AND ZONING OF HOWARD COUNTY
DATE: SEP 24 1970
J.H. Clewson

OWNER/DEVELOPER
RINK BUILDING SYSTEMS, INC.
1811 HOWARD LANE
ELKRIDGE, MARYLAND

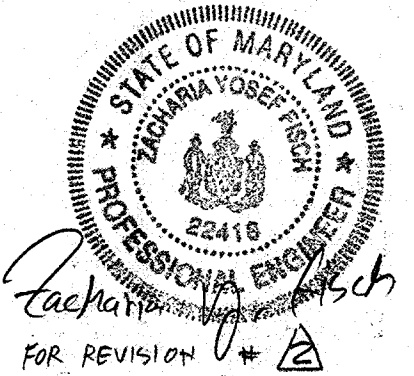
PURDUM & UESCHKE
ENGINEERS
LAND SURVEYORS
3697 PARK AVENUE
ELLCOTT CITY, MARYLAND - 21043



PLAN
SCALE: 1" = 20'

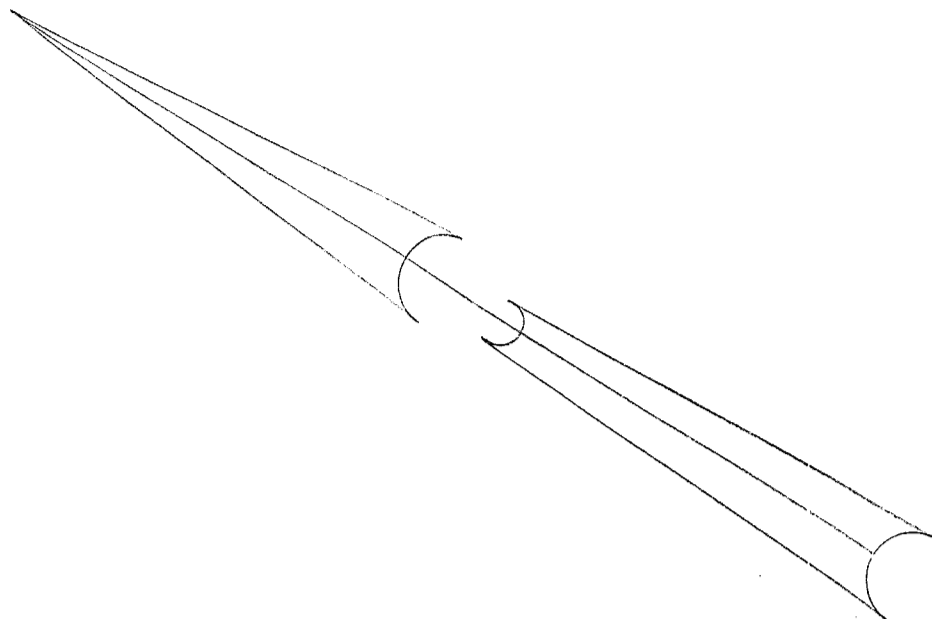


ENTRANCE DETAIL
SECTION A-A
NO SCALE

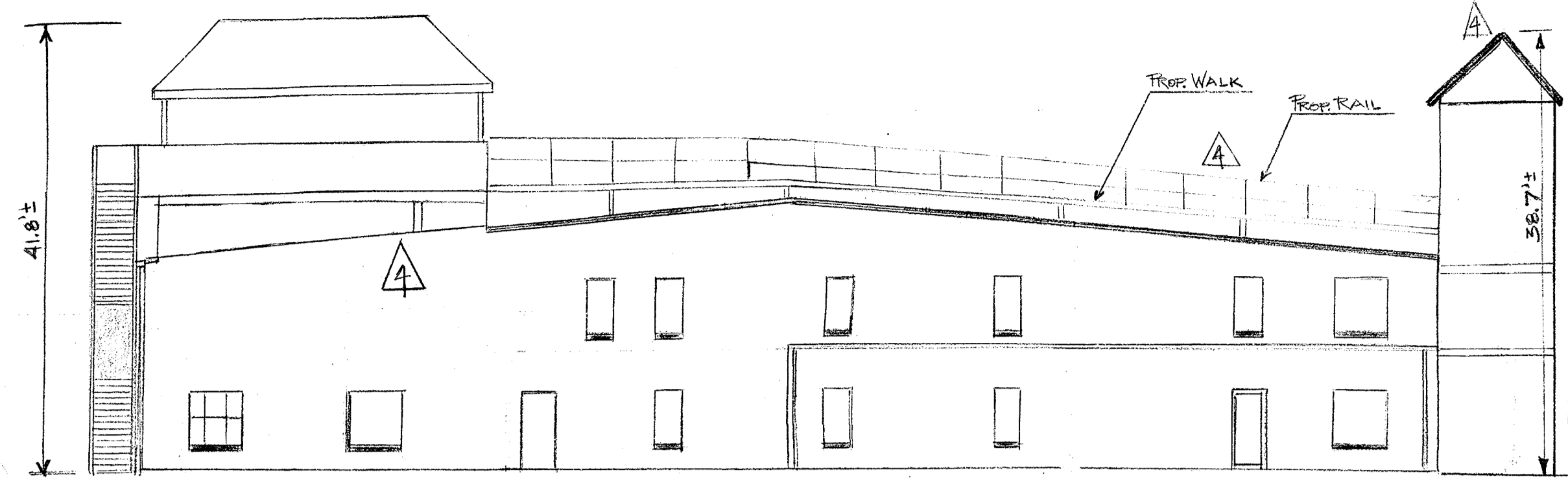


SITE PLAN
ELKRIDGE INDUSTRIAL PARK - SECT. 3 - LOT H-2
RINK BUILDING SYSTEMS INC.
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
JULY 17, 1970 SCALE: AS SHOWN

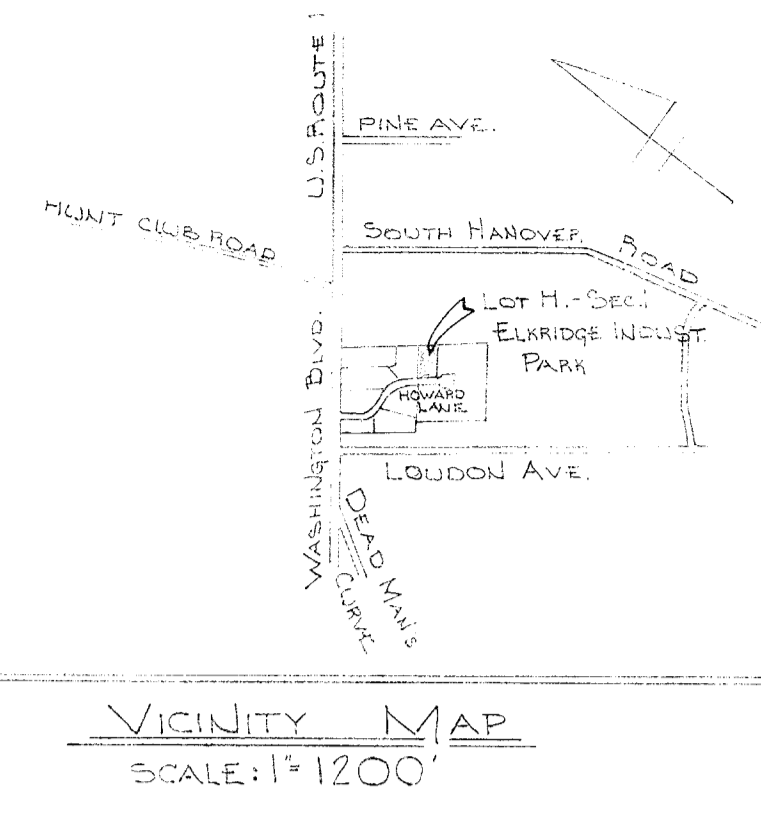
REVISIONS:
1. GAS STORAGE TANK LOC. - 12-28-70
2. REFLECT EXISTING BOUNDARY & PAVING;
MODIFY SECOND FLOOR/MEZZANINE, PARKING REQUIREMENT
ADD TWO EXTERNAL STAIRWAYS.
REMOVE GAS STORAGE TANK.



HARRY C. COLWELL & MARY BULMASH
W.H.H. 476/492
ZONED: M-1



Left Side Elevation
n.t.s.

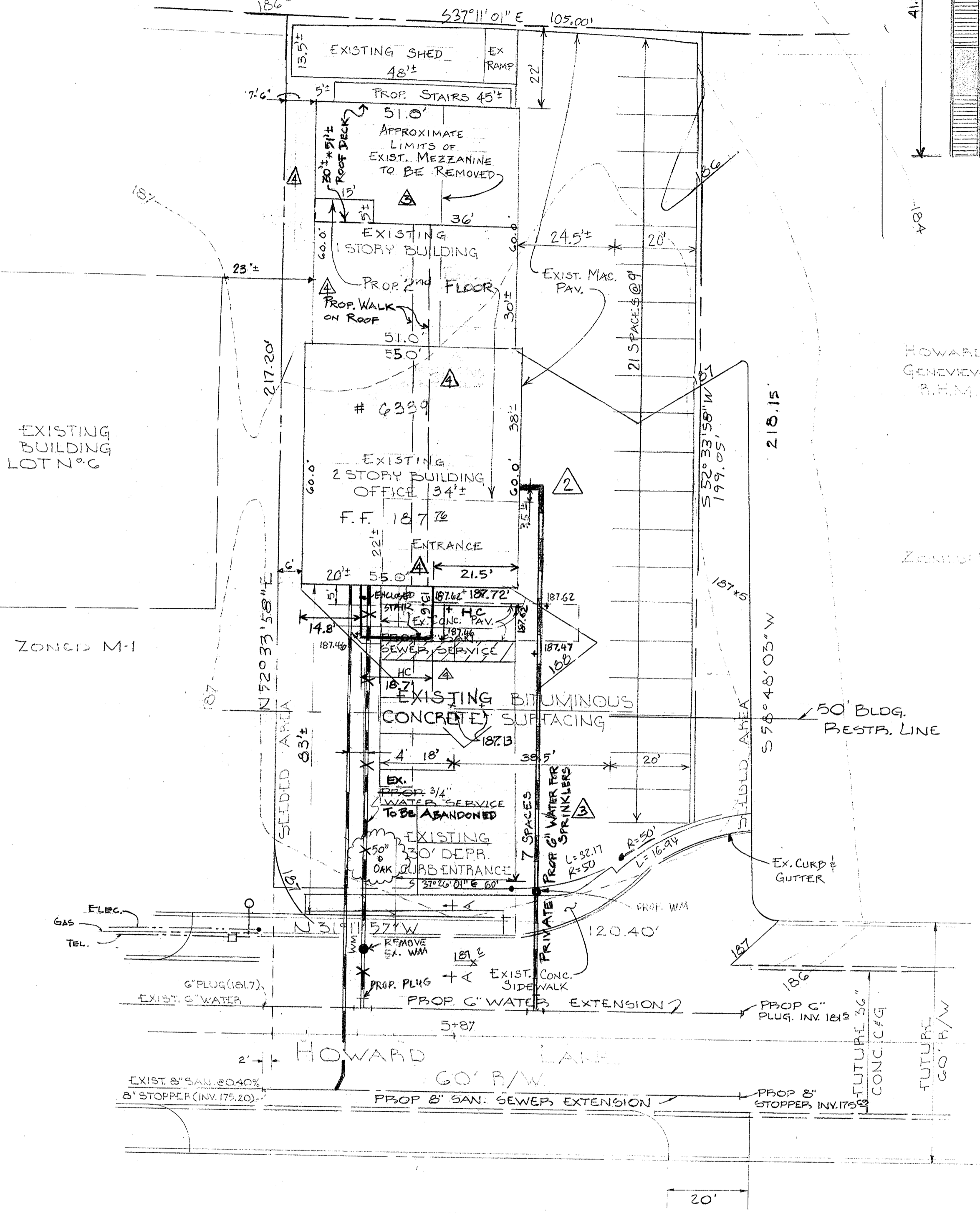


I certify that the plan of development and the plan for control of silt and erosion meets the requirements, standards and specifications of the Howard Soil Conservation District
William G. Rasch II 9/29/70
 Date

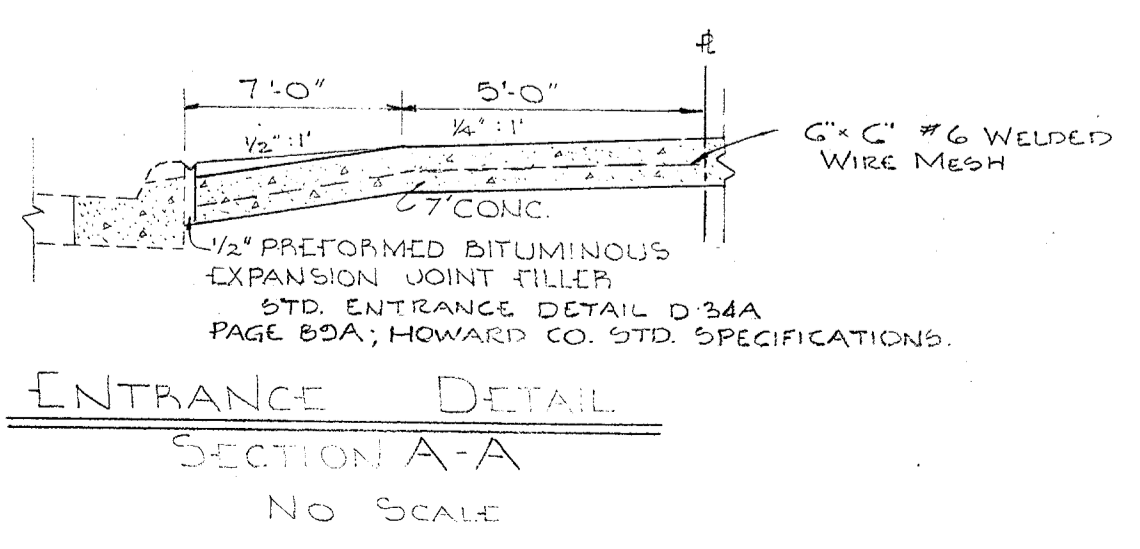
I certify that all development and/or construction will be done according to this plan of development and plan of silt and sediment control.
Howard F. Pink 9/29/70
Genevieve A. Pink Date

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District
Jane M. Hahn 2/2/71
 Date

Robert B. Campbell 2-2-71
 Date



PLAN
SCALE: 1" = 20'



ENTRANCE DETAIL
SECTION A-A
NO SCALE

- GENERAL NOTES:**
- ALL CONSTRUCTION SHOWN HEREON SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY ROAD CONSTRUCTION CODE AND STANDARD SPECIFICATIONS DATED NOVEMBER 27, 1962 AND REVISED AUGUST 1968 AND THE ZONING REGULATIONS OF HOWARD COUNTY.
 - SITE ANALYSIS:
 - GROSS AREA: 22,914 sq. ft.
 - PRESENT ZONING: M-1
 - PROPOSED USE: OFFICE AND STORAGE
 - PROTECTION OF EROSION AREAS:
 - ALL UNPAVED AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED TO BE BELOW THE FINISHED GRADE AS SHOWN, THE CONTRACTOR SHALL THEN PLANT TO TOPSOIL TO FINISHED GRADE.
 - LIME/FERTILIZER:
 - PULVERIZED DOLOMITE LIMESTONE SHALL BE SPREAD ON GRADED AREAS AT THE RATE 2000 LBS./ACRE.
 - FERTILIZER - 600 LBS. OF 10-10-10 PER ACRE. WORKED INTO THE SOIL IMMEDIATELY FOLLOWING SPREADING OPERATIONS FOR A DEPTH OF 2 INCHES.
 - THE FOLLOWING MIX SHALL BE USED FOR ALL SEEDED AREAS WHICH SHALL BE SOWN AT A RATE OF NOT LESS THAN 4 LBS. PER 2500 SQ. FT.
 - 50% KENTUCKY BLUEGRASS
 - 40% CREEPING RED FESCUE
 - 10% CHOWING FESCUE
 - MULCHING - MULCH UNIFORMLY ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING WITH UNWEATHERED SMALL GRAIN STRAW OR HAY AT THE RATE OF 1.5 TONS PER ACRE AND SPRAY WITH AN EMULSIFIED ASPHALT (R.S.-1 OR 2) AT 0.25 GAL. PER 50 YD.
 - PUBLIC WATER / SANITARY FACILITIES ARE ADEQUATE AND AVAILABLE.
 - BENCH MARK - ELEVATION 181.40
 - TAX MAP NO. 38
 - LOCATION OF UTILITIES SHOWN HEREON IS APPROXIMATE ONLY AND IS OBTAINED FROM THE BEST INFORMATION AVAILABLE. CONTRACTOR SHALL LOCATE EXISTING UTILITIES TO HIS OWN SATISFACTION BEFORE ANY CONNECTIONS ARE MADE.
 - CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES PRIOR TO STARTING WORK ON THIS PROJECT:
 - BELL TELEPHONE SYSTEM - 393-2649
 - LONG DISTANCE CABLE CO. - 393-3552 OR 1154
 - BALTIMORE GAZ. ELECTRIC CO. - 389-8000 EXT. 501
 - CONTOURS:
 - EXISTING
 - PROPOSED
 - INTERVALS
 - NO WALLS.
 - PARKING DATA:
 - AREA OF OFFICE STACKS - 10,000 sq. ft.
 - NUMBER OF SPACES PER 1,000 sq. ft. - 34
 - NUMBER OF SPACES PROVIDED - 28
 - LIGHTING:
 - NOTES DIRECTIONAL FLOODLIGHTS SHOWN TO PREVENT GLARE.

* NOTE: THE 28 PARKING SPACES PROVIDED ON SITE HAVE BEEN DETERMINED TO BE ADEQUATE BY THE DPZ/DLD FOR THE PROPOSED PROFESSIONAL OFFICE SPACE USE IN ACCORDANCE WITH A SITE SPECIFIC PARKING NEEDS ANALYSIS DATED 6/22/05 FOR THIS PROJECT. ANY CHANGE IN USE OR EXPANSION OF THE FLOOR AREA OF THE BUILDING SHALL REQUIRE COMPLIANCE WITH THE APPLICABLE PARKING SPACE REQUIREMENTS OF ZONING SECTION 132.

APPROVED
 OFFICE OF PLANNING
 AND ZONING OF
 HOWARD COUNTY
 DATE: **SEP 24 1970**
J.H. Clawson

SITE PLAN
 ELKBRIDGE INDUSTRIAL PARK - SECT. 3 - LOT H-2
 RINK BUILDING SYSTEMS INC.
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 JULY 17, 1970
 SCALE: AS SHOWN
 REVISIONS:
 1. GAS STORAGE TANK LOC. 12-28-70
 2. REFLECT EXISTING BOUNDARY & PAVING
 3. MOVE SECOND FLOOR/MEZZANINE, PARKING & REPAIRMENT
 4. ADD TWO EXTERNAL STAIRWAYS.
 5. REMOVE GAS STORAGE TANK
 6. ADD LEFT-SIDE ELEVATION LABEL 2ND FLOOR AND ROOF DECKS. ADD 6" WATER
 7. REMOVE PROP STAIRS ALONG THE SIDE OF THE BUILDING.
 8. REMOVE MECHANICAL ROOF DECK.
 9. ADD SHLOBBE STAIRS IN THE FRONT OF THE BUILDING.
 10. ADD WALK OFFERS FROM ROOF DECK AND STAIRS
 11. SHIFT LOCATION OF ONE H.C. PARKING SPACE.
 SHEET 1 OF 1

OWNER/DEVELOPER:
 PINK BUILDING SYSTEMS, INC.
 1511 HOWARD LANE
 ELKBRIDGE, MARYLAND

PURDUM & WESCHKE
 ENGINEERS
 LAND SURVEYORS
 3637 PARK AVENUE
 ELICOTT CITY, MARYLAND 21043

July 21, 1970
 DATE

William G. Rasch II
 P.E. # L.S. # 4577

William G. Rasch II
 FOR REVISION # 1