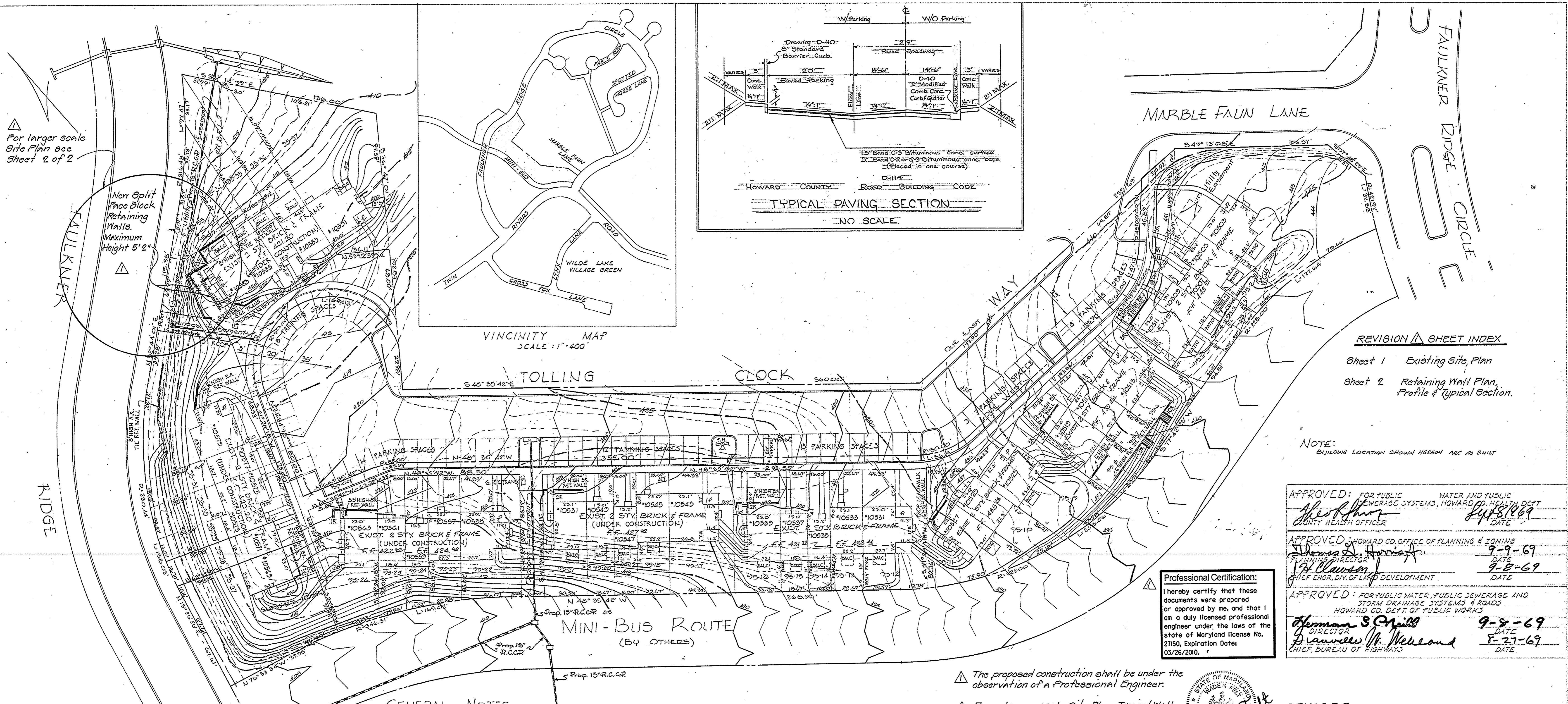
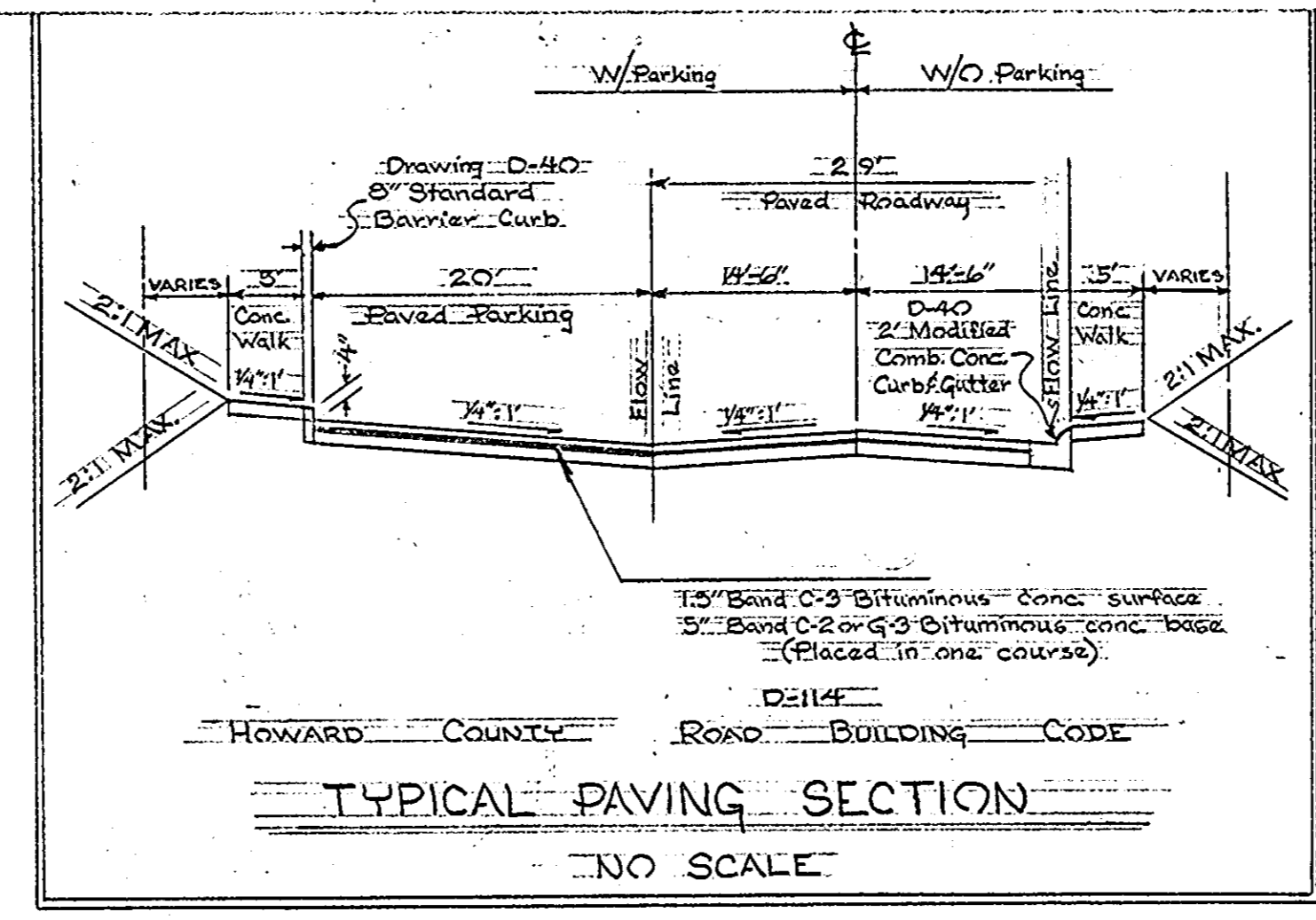
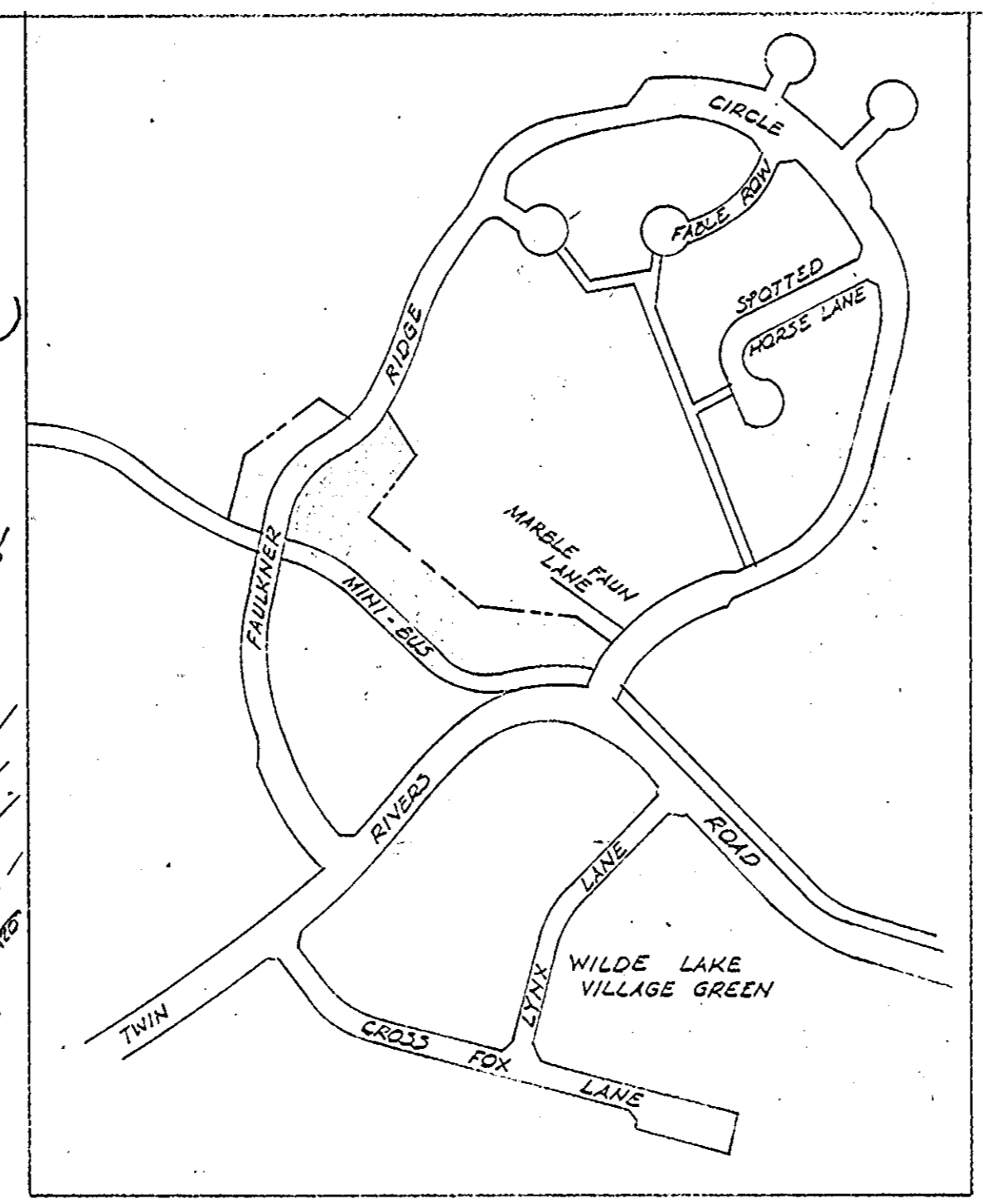


For larger scale Site Plan see Sheet 2 of 2

New Split Face Block Retaining Walls. Maximum Height 5'-2"

OWNER & DEVELOPER
THE JAMES F. RYAN CO.
10221 WINCOFIN CIRCLE
COLUMBIA, MARYLAND

PURDUM & JESCHKE
ENGINEERS & LAND SURVEYORS
3697 PARK AVENUE
ELLCOTT CITY, MARYLAND



REVISION SHEET INDEX

- Sheet 1 Existing Site Plan
- Sheet 2 Retaining Wall Plan, Profile & Typical Section.

NOTE:
BUILDING LOCATION SHOWN HEREIN ARE AS BUILT

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD CO. HEALTH DEPT.
Thomas D. Harris 9-9-69
COUNTY HEALTH OFFICER DATE

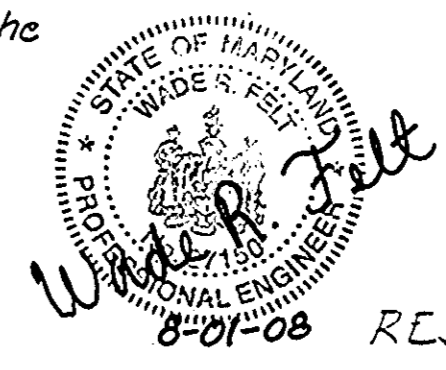
APPROVED: HOWARD CO. OFFICE OF PLANNING & ZONING
Thomas D. Harris 9-9-69
PLANNING DIRECTOR DATE

APPROVED: HOWARD CO. OFFICE OF PLANNING & ZONING
Ed Clauson 9-8-69
CHIEF ENGR. DIV. OF LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS & ROADS, HOWARD CO. DEPT. OF PUBLIC WORKS
Herman S. Smith 9-8-69
DIRECTOR DATE

Lawrence W. Welland 8-27-69
CHIEF, BUREAU OF HIGHWAYS DATE

Professional Certification:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland license No. 2150, Expiration Date: 03/26/2010.



- The proposed construction shall be under the observation of a Professional Engineer.
- For a larger scale Site Plan, Typical Wall Section and Profile, please see attached sheet 2 of 2.
- New Split Face Block Retaining Wall shall replace Existing Timber Retaining Walls at a maximum height of 5'-2".

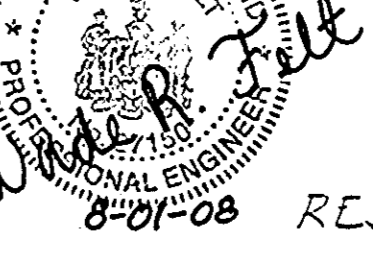
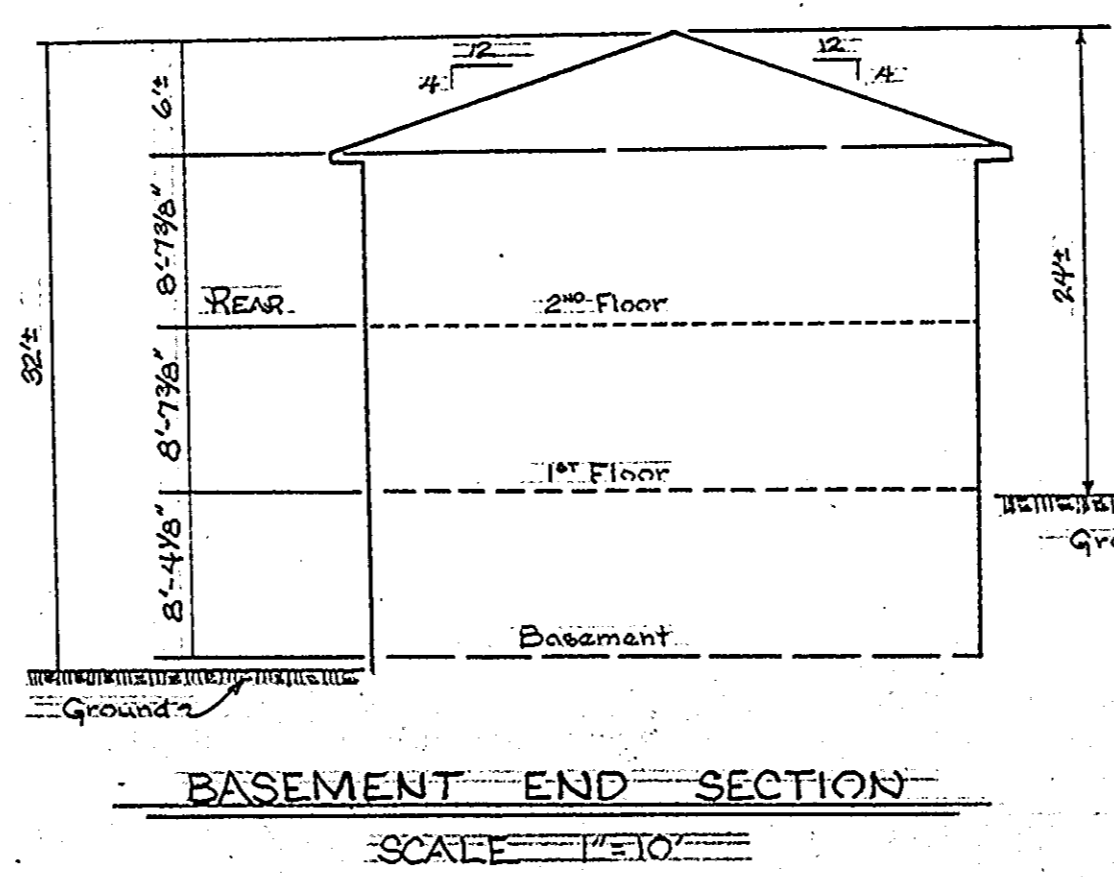
GENERAL NOTES

- Rear yard fencing details to be shown on construction plans.
- All slopes to be seeded to prevent soil erosion.
- All sidewalks not adjacent to paved areas to be 4' wide.
- All filllets 5/2 unless noted.
- All load walls 3' precast conc. slabs unless otherwise noted.
- Banner curb adjacent to sidewalks only, rolled curb otherwise.

SITE ANALYSIS

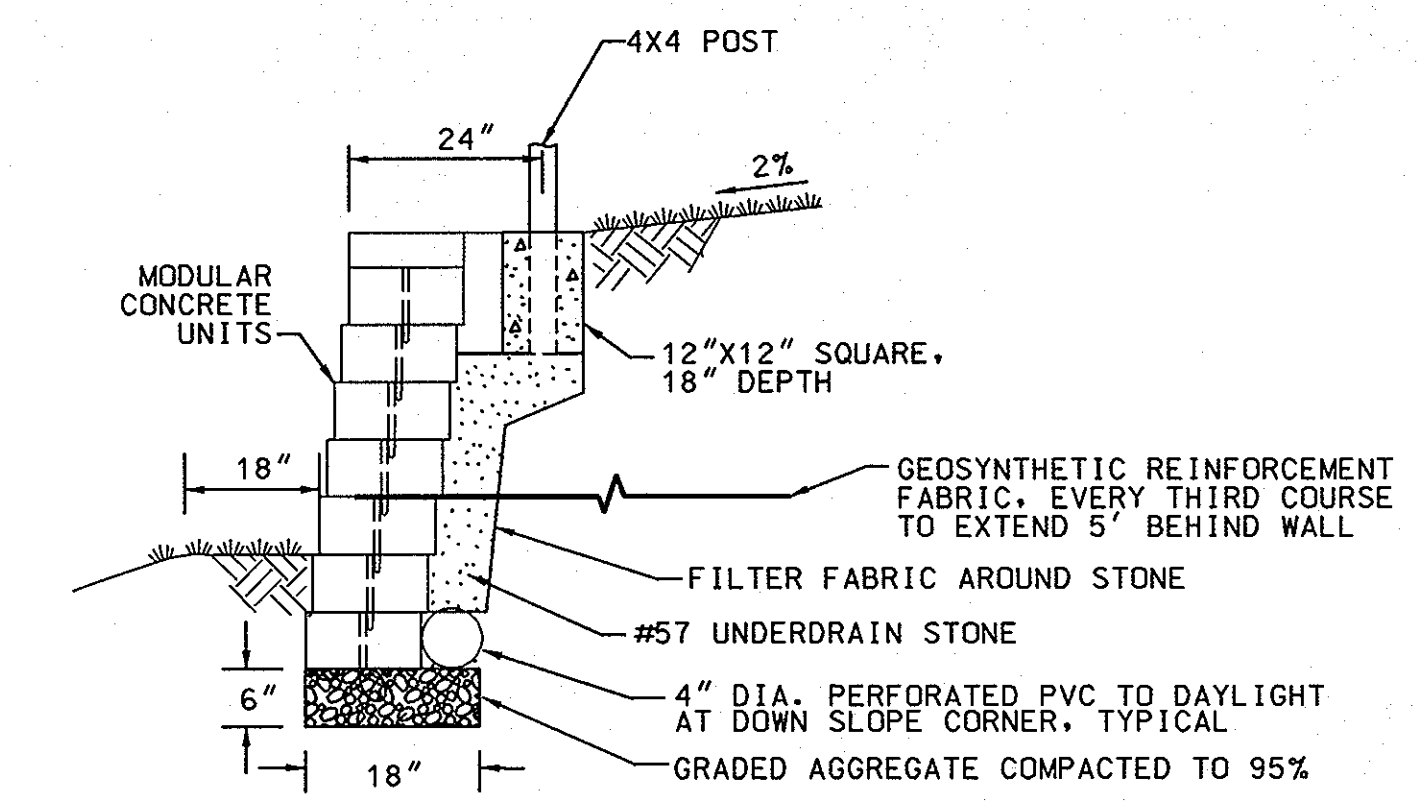
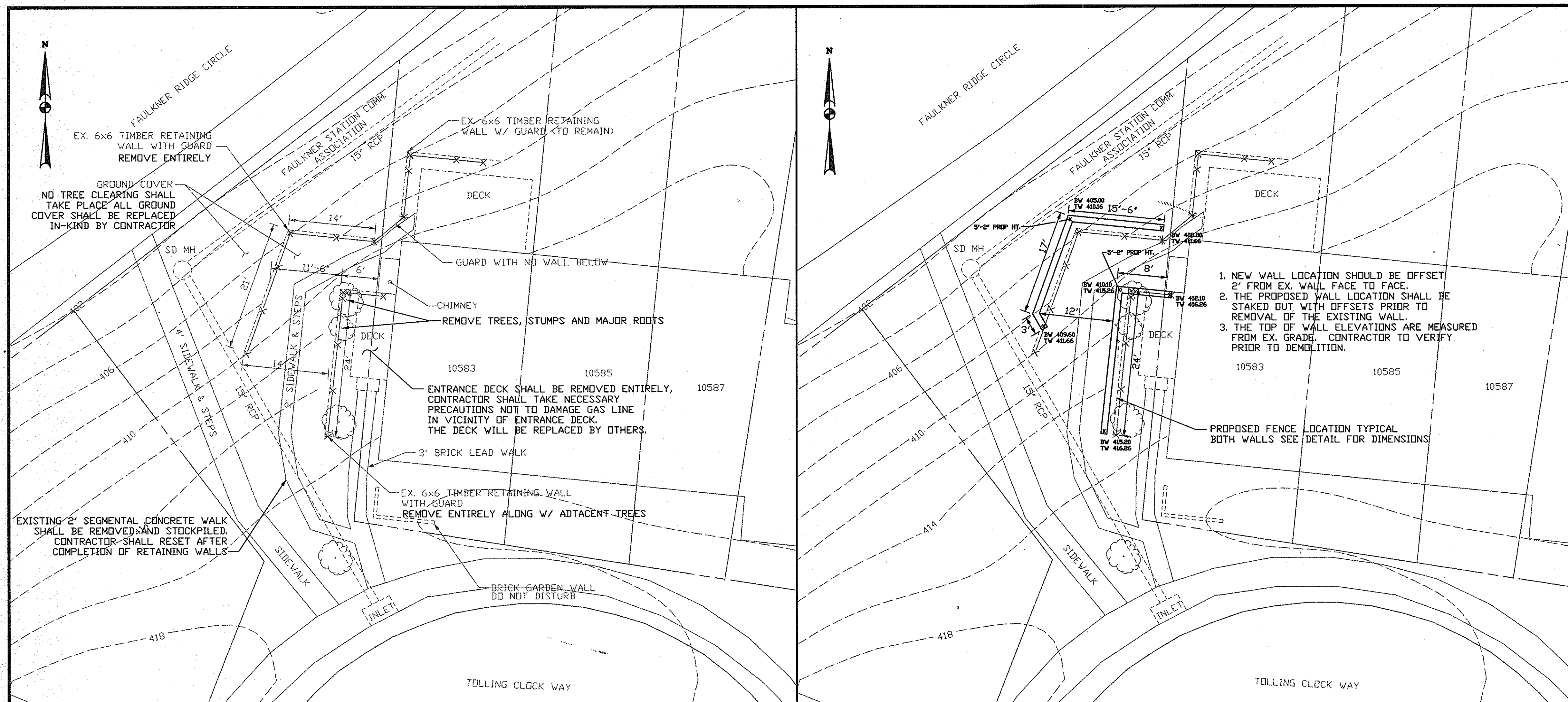
- Area of site (Net) - 3.629 Ac.; 160,693 sq. ft.
- Unit Count
 - Allowable - 37
 - Provided - 37
 - N# 2 Bedroom Units - 6
 - Fl. Area of smallest 2 Br. - 1100 sq. ft.
 - N# 3 Bedroom Units - 15
 - Fl. Area of smallest 3 Br. - 1200 sq. ft.
 - N# 4 Bedroom Units - 16
 - Fl. Area of smallest 4 Br. - 1520 sq. ft.
- Parking
 - Required @ 2 DU. - 74
 - Provided - 74
- Zone - Single Family Attached
- Total Parking Space Area (10'x20' Typical) - 14,800 sq. ft.

Contours
Existing - 120
Proposed - 120



REVISED SITE PLAN
RESUBDIVISION OF LOT NO. 35
SECTION NO. 5 FAULKNER RIDGE
"VILLAGE OF WILDE LAKE"
FIFTH ELECTION DISTRICT - HOWARD CO., MD.
JUNE 26, 1962 SCALE: 1"=30'

PROPERTY OWNER:
Faulkner Station
Community Association
9108 Red Branch Road
Columbia, MD. 21045
(410) 884-0434

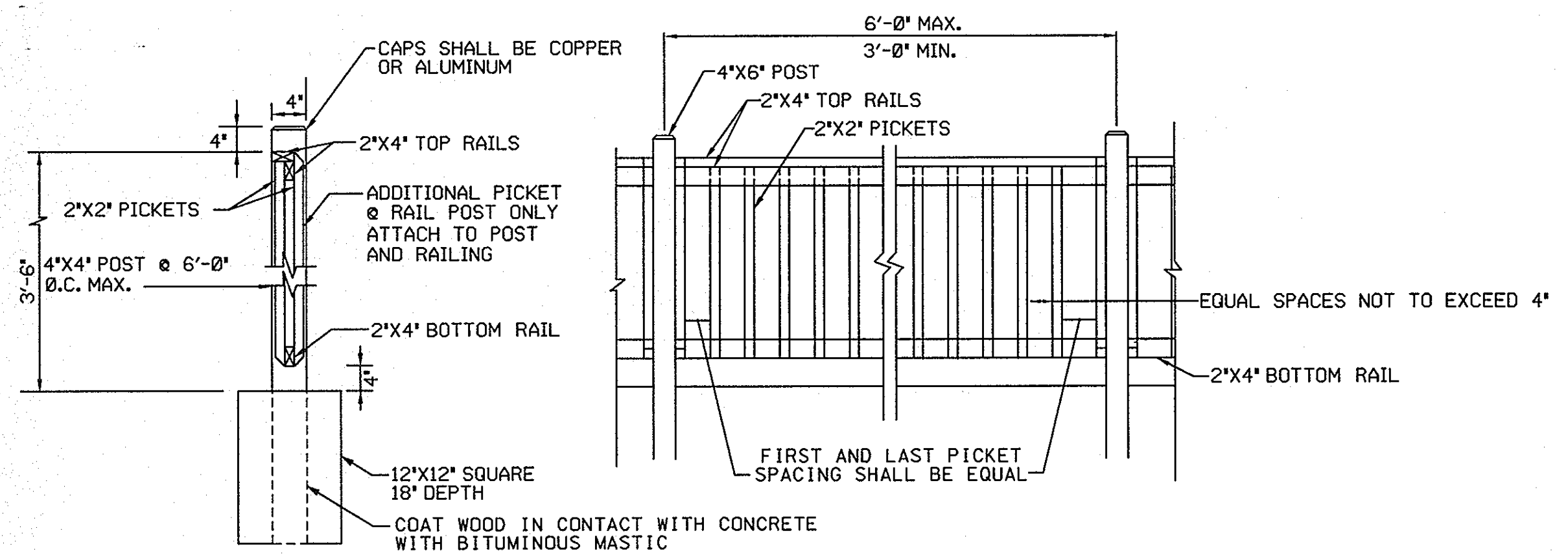


REINFORCED RETAINING WALL TYPICAL SECTION
SCALE: N.T.S.

- NOTES:
1. TOP THREE COURSES TO BE ADHERED WITH BLOCK MANUFACTURER'S RECOMMENDED CONCRETE ADHESIVE.
 2. ALL EXPOSED SURFACES SHALL EXHIBIT SIMILAR APPEARANCE.

EXISTING CONDITIONS DEMOLITION PLAN
10583 TOLLING CLOCK WAY

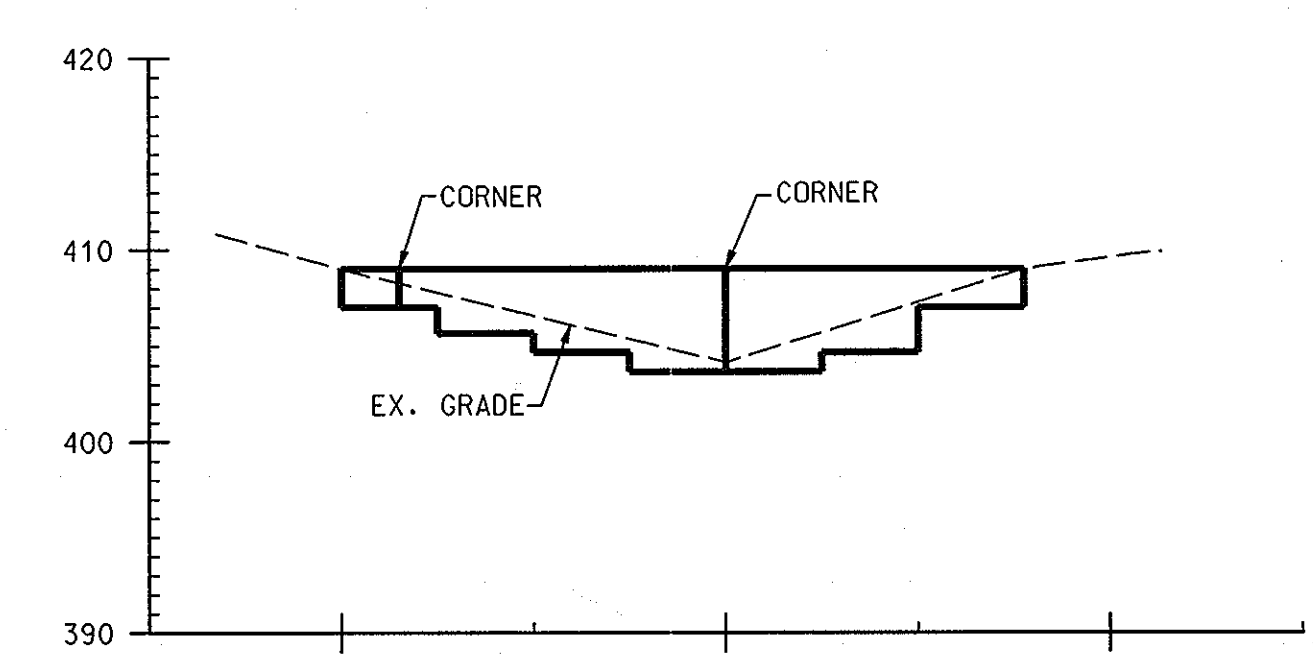
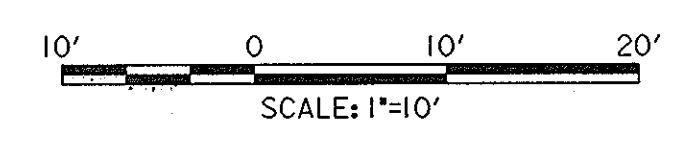
PROPOSED RETAINING WALL
10583 TOLLING CLOCK WAY



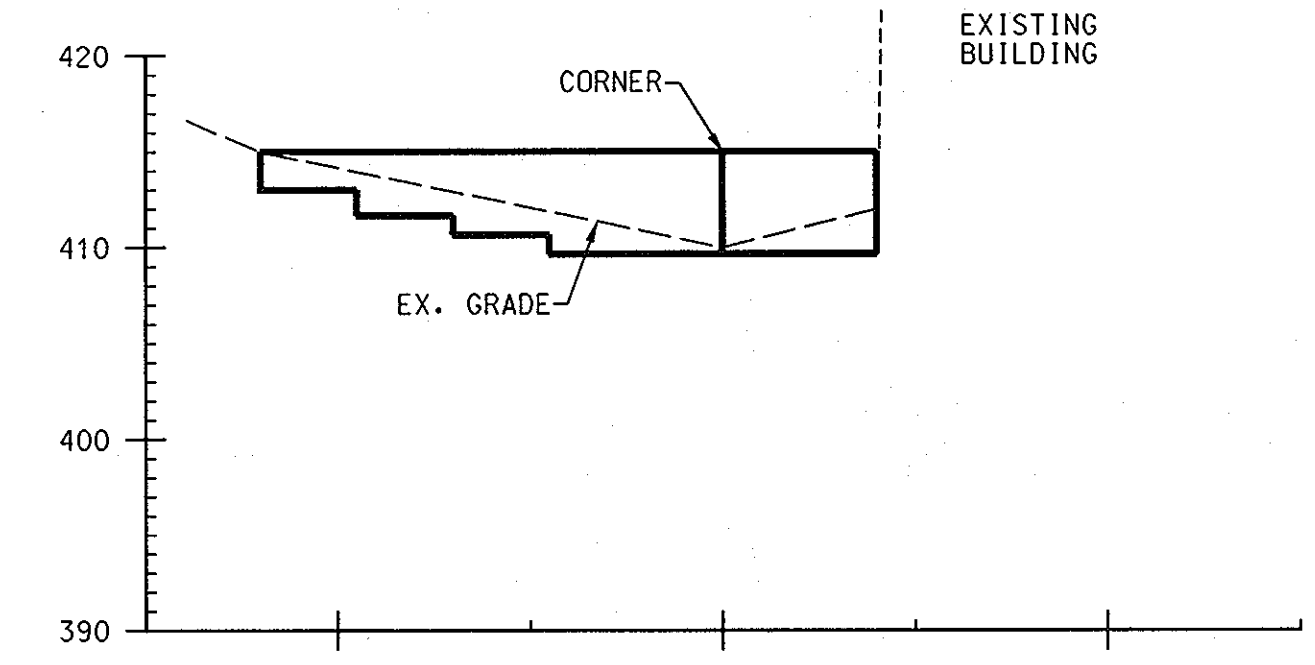
NOTE:
ALL PICKETS TO BE ATTACHED WITH 2 1/2" CERAMIC COATED, BUGLE HEAD WOOD SCREWS MINIMUM OF 4 PER PICKET. PILOT HOLES EQUAL TO MAJOR SCREW DIAMETER SHALL BE DRILLED THROUGH PICKETS.

SECTION
ELEVATION
TYPICAL RAILPOST CONNECTION
SCALE: N.T.S.

- NOTES:
1. ADJUST PICKET LOCATIONS FOR CENTER TO CENTER DISTANCES LESS THAN 6'-0". IN NO CASE SHALL THE OPEN SPACE BETWEEN PICKETS EXCEED 4".
 2. PICKETS SHALL BE STRAIGHT, SOUND AND FREE FROM LARGE KNOTS. 2x4 RAILS SHALL BE #2 OR BETTER.
 3. ALL WOOD SHALL BE PRESSURE TREATED WITH ACQ FOR GROUND CONTACT OR CA-B



LOWER WALL PROFILE



UPPER WALL PROFILE

SCALE
1"=10' HORIZ.
1"=1' VERT.

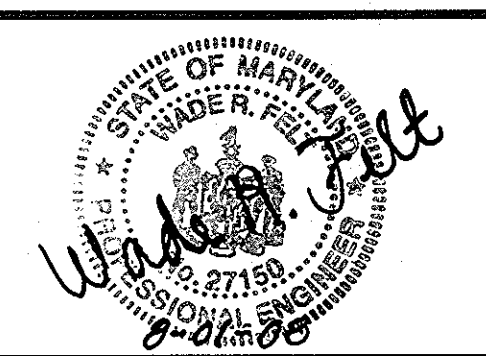
SITE DEVELOPMENT PLANS

APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i>	9/15/08
Chief, Development Engineering Division	Date
<i>[Signature]</i>	9/17/08
Chief, Division of Land Development	Date
<i>[Signature]</i>	9/24/08
Director	Date

PROPERTY OWNER:
FAULKNER STATION
COMMUNITY ASSOCIATION
9198 RED BRANCH ROAD
COLUMBIA, MD 21045
PHONE: (410) 884-0434

WRF Engineering
807 KELLOGG ROAD, LUTHERVILLE, MARYLAND, 21093
PHONE: (443) 797-9796
FAX: (410) 853-7827
WEBSITE: www.wrfengineering.com
EMAIL: wade@wrf.com

Professional Certification:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland license No. 27150, Expiration Date: 03/26/2010.



DES:	BY	NO	REVISION	DATE
W.R.F.	WRF	1	REMOVE AND REPLACE EX. RETAINING WALLS	8/1/08
DRN:	W.R.F.			
CHK:	W.R.F.			
DATE:	AUG. 1, 2008			

**TOLLING CLOCK WAY
RETAINING WALL PROJECT
PLAN, PROFILE AND
TYPICAL SECTIONS**

VILLAGE OF WILDE LAKE
SECTION 5, LOT 95
FAULKNER RIDGE

SCALE AS SHOWN
SHEET 2 OF 2