GENERAL NOTES

- . SUBJECT PROPERTY ZONED R-12 PER 10/06/18 COMPREHENSIVE ZONING PLAN.
- PROPERTY ADDRESS: 6321 GUILFORD ROAD, CLARKSVILLE MD 21029
- PREVIOUS HOWARD COUNTY FILE NUMBERS: ECP-17-038, SP-18-002, F-21-021. THIS PROJECT IS LOCATED IN THE METROPOLITAN DISTRICT AND WILL BE SERVED BY PUBLIC WATER
- THE BOUNDARY SHOWN HEREON IS BASED ON A FIELD RUN BOUNDARY PERFORMED BY SEG LAND SURVEYING, LLC DATED SEPTEMBER 2023. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED ON THE MARYLAND STATE PLANE
- CONTOUR INTERVALS PREPARED BY SEGIAND SURVEYING LLC DATED SEPTEMBER 2023. OFFSITE SHOWN AT TWO-FOOT CONTOUR INTERVALS.
- THE SOILS HAVE BEEN TAKEN FROM THE US DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE, WEB SOIL SURVEY WEBSITE. HOWARD COUNTY SOILS GRID 17, SUB-GRIDS
- 9. THE CONTRACTORS SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES OR AGENCIES AT LEAST

/E (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE PLA	NS:	
STATE HIGHWAY ADMINISTRATION	410.531.5533	
BGE (CONTRACTOR SERVICES)	410.850.4620	
BGE (UNDERGROUND DAMAGE CONTROL)	410.787.9068	
MISS UTILITY	800.257.7777	
COLONIAL PIPELINE COMPANY	410.795.1390	
HOWARD COUNTY, DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES	410.313.4900	
HOWARD COUNTY HEALTH DEPARTMENT	410.313.2640	
AT9T	900 252 1122	

800.743.0033/410.224.9210

- 10. ANY DAMAGE TO THE COUNTY'S PUBLIC RIGHT-OF-WAYS, PAVING OR EXISTING UTILITIES WILL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- 11. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1.800.257.7777 AT LEAST 48 HOURS PRIOR TO ANY
- 12. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING
- 13. THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP, WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
- 14. FLAG AND PIPESTEM LOT, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND ROAD RIGHT-OF-WAY LINE AND NOT
- 15. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY IN ADDITION TO MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- 17. ALL HDPE PIPE SPECIFICATIONS. AND INSTALLATIONS SHALL MEET AASHTO M-252 TYPE S. M-294
- ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER DRIVEWAY PAVING TO BE HOWARD COUNTY STANDARD P-1 PAVING SECTION. GEOTECHNICAL

- NEW DWELLINGS TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING REQUIREMENTS AT THE DEVELOPER'S EXPENSE:
 - 1) WIDTH 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENCE);
 - 2) SURFACE SIX (6") INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP
- 4) STRUCTURES (CULVERTS/BRIDGES) CAPABLE OF SUPPORTING 25 GROSS TONS
- 5) DRAINAGE ELEMENTS CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE. 6) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
- 22. EXISTING UTILITIES ARE LOCATED BY THE USE OF ANY OR ALL OF THE FOLLOWING: ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER PLANS AND OTHER AVAILABLE
- SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE LOT 1 OWNER. THE STORMWATER
- MANAGEMENT PRACTICES SHOWN WERE DESIGNED AND APPROVED UNDER F-21-021. 24. THE FOREST CONSERVATION ACT REQUIREMENTS WERE MET UNDER THE APPROVED F-21-021
- 26. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

(HAD Edmondson

CHIEF, DEVELOPMENT ENGINEERING DIVISION

lynda Eisenberg

CHIEF, DIVISION OF LAND, DEVELOPMENT

- 27. THE PRIVATE VARIABLE WIDTH USE-IN-COMMON ACCESS EASEMENT AND MAINTENANCE AGREEMENT FOR THE USE OF LOT 1 AND NON-BUILDABLE BULK PARCEL 'A' (FUTURE LOTS 2 THRU 5) WAS RECORDED UNDER RECORD PLAT 26221 AND CAN BE FOUND IN THE MARYLAND LAND RECORDS
- 28. SEWER HOUSE CONNECTION ELEVATIONS SHOWN ARE LOCATED AT THE PROPERTY LINE.
- 29. A FEE-IN-LIEU PAYMENT IN THE AMOUNT OF \$4,115.00, FOR PUBLIC SIDEWALK ALONG GUILFORD ROAD, WAS PAID AS PART OF THE DEVELOPER'S AGREEMENT UNDER THE F-21-021 PLAN.
- 30. A TRAFFIC STUDY WAS PREPARED BY MARS GROUP DATED MAY 6, 2016 AND WAS APPROVED BY HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING DEVELOPMENT ENGINEERING DIVISION ON DECEMBER 26, 2018. SEE CHART ON THIS SHEET FOR MORE INFORMATION.

BASED ON THE DATA AND ANALYSIS PRESENTED IN THE TRAFFIC STUDY IT WAS DETERMINED THAT THE PROPOSED DEVELOPMENT CAN BE ADEQUATELY ACCOMMODATED BY THE SURROUNDING AREA ROAD SYSTEM.		
REPORT COMPILED ON	MAY 6, 2016	
PLAN NUMBER THE REPORT WAS SUBMITTED UNDER	SP-18-002	
KEY INTERSECTION IDENTIFIED FOR THE STUDY	MD 108 @ GUILFORD ROAD(1) 2-GUILFORD ROAD @ GREAT STAR DRIVE(2)	
JURISDICTION OVER THE KEY INTERSECTIONS	MDOT-SHA(1) 2-HOWARD COUNTY(2)	
KEY INTERSECTION VOLUME COUNT COLLECTED ON	APRIL 27, 2016(1) APRIL 28, 2016(2)	
KEY INTERSECTION COUNT WERE COLLECTED WHILE	HOWARD COUNTY PUBLIC SCHOOLS 2015-2016 WERE IN SESSION	
DESIGN YEAR LEVEL-OF-SERVICE AT KEY INTERSECTION	AM PEAK HOUR "A"; PM PEAK HOUR "B"(1) AM PEAK HOUR "A"; PM PEAK HOUR "A"(2)	
MITIGATION REQUIREMENT	MITIGATION MEASURES WERE NOT REQUIRED FOR THIS STUDY	

PERMIT INFORMATION CHART						
SUBDIVIS	ION NAME	SECT	SECTION/AREA N/A		PAR	CEL#
PLAT # 26221	GRID # 13	ZONING R-12	TAX MAP # 35	İ	ELECT. DIST. 5TH	CENSUS TRACT

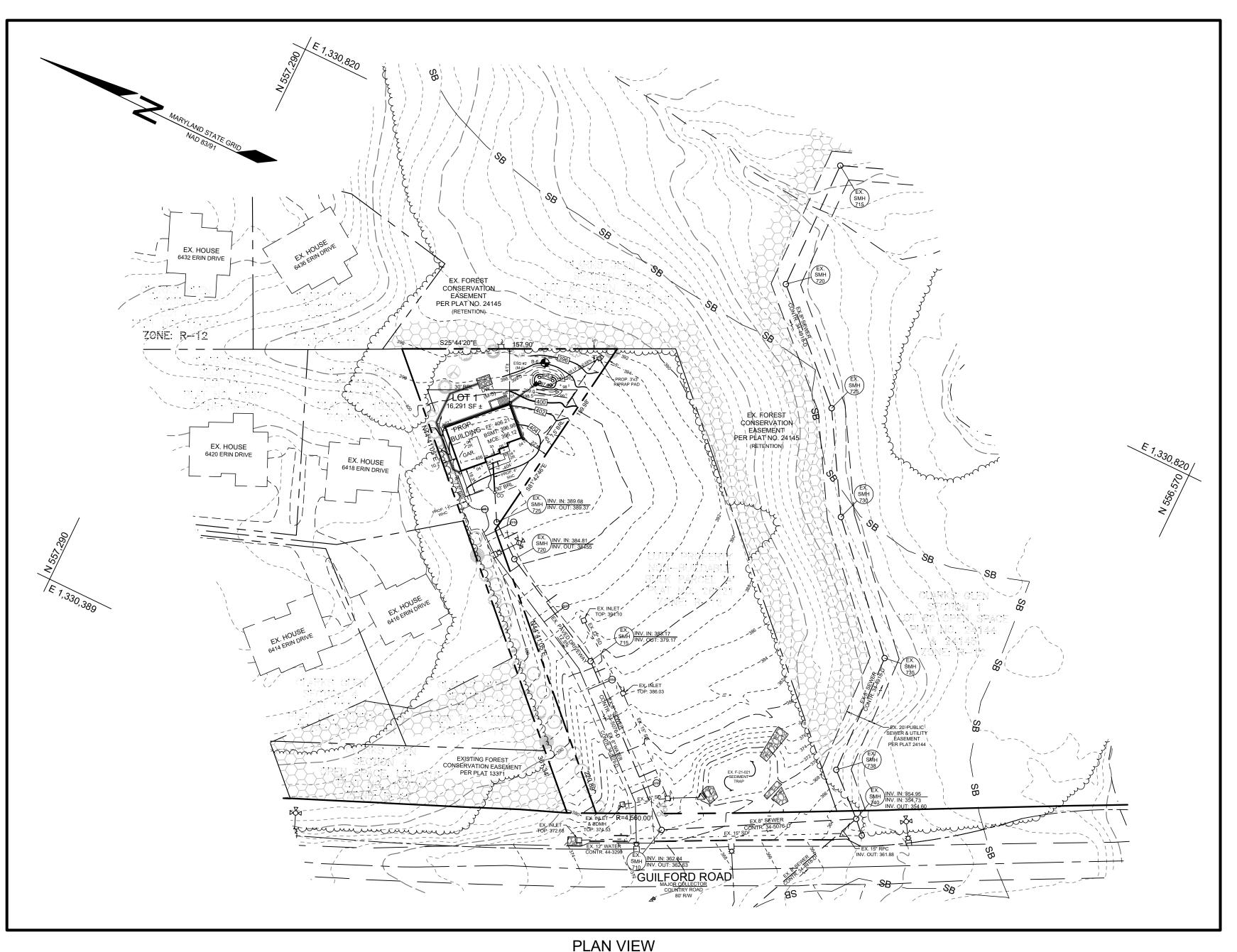
5/6/2024

5/7/2024

5/7/2024

SITE DEVELOPMENT PLAN LUTFI PROPERTY LOT 1

HOWARD COUNTY, MARYLAND

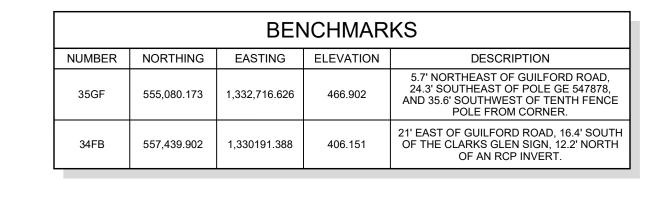


STORMWATER MANAGEMENT PRACTICE CHART

LOT 56, 1 6321 GUILFORD ROAD

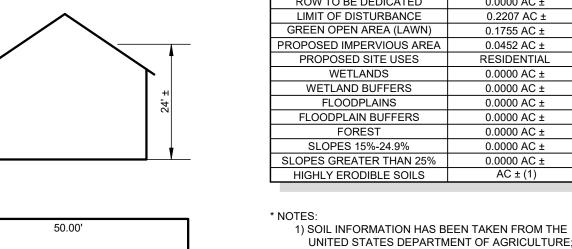
DRYWELL | MICRO-BIORETENTION

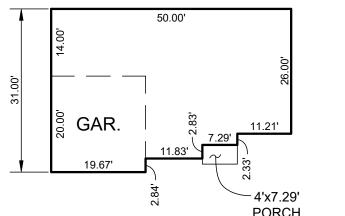
LEGEND **EXISTING CONTOUR GIS** -----382 EXISTING CONTOUR FIELD RUN PROPOSED CONTOUR EXISTING TREELINE EXISTING CENTERLINE **EXISTING PRIVATE DRAINAGE** AND UTILITY EASEMENT **PER PLAT 26221 EXISTING PRIVATE VARIABLE** WIDTH USE-IN-COMMON **EASEMENT PER PLAT 26221** EXISTING VARIABLE WIDTH PUBLIC WATER, SEWER, AND UTILITY EASEMENT **PER PLAT 26221** EXISTING FIRE HYDRANT EXISTING WATER VALVE EXISTING WATER METER EXISTING SEWER CLEANOUT EXISTING MANHOLE HOWARD COUNTY, MARYLAND ADC MAP 14, GRID F9 VICINITY MAP PROPOSED DRYWELL AND ROOFLEADER



ENVIRONMENTAL AREA

TOTAL PROJECT AREA





HOUSE TEMPLATE

GRAPHIC SCALE

(IN FEET)

1 INCH = 50 FEET

OWNER/DEVELOPER

12143 CLARKSVILLE PIKE

CLARKSVILLE, MARYLAND 21029

C/O RON BAQUOL

RLBDEVLLC2@GMAIL.COM

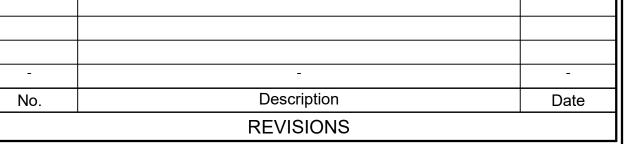
443-250-7272

WEB SOIL SURVEY. 2) HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR 'K' GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

SITE ANALYSIS DATA SHEET

LOT 1 IS SUBJECT TO THE MODERATE INCOME HOUSING UNIT FEE-IN-LIEU REQUIREMENT WHICH IS TO BE CALCULATED AND PAID TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT THE TIME OF BUILDING ISSUANCE BY THE PERMIT APPLICANT.

SHEET INDEX		
SHEET NO.	DESCRIPTION	
1	COVER SHEET	
2	GRADING PLAN	
3	SEDIMENT AND EROSION CONTROL PLAN	
4	SEDIMENT AND EROSION CONTROL NOTES AND DETAILS	
5	STORMWATER MANAGEMENT PLAN, DRAINAGE AREA MAP, NOTES, DETAIL AND BORING LOG	
6	STORMWATER MANAGEMENT PLAN, NOTES & DETAILS	



COVER SHEET

LUTFI PROPERTY - LOT 1

6321 GUILFORD ROAD

ZONE: R-12 TAX MAP 35 GRID 13 **5TH ELECTION DISTRICT**



- Engineering GROUP, LLC

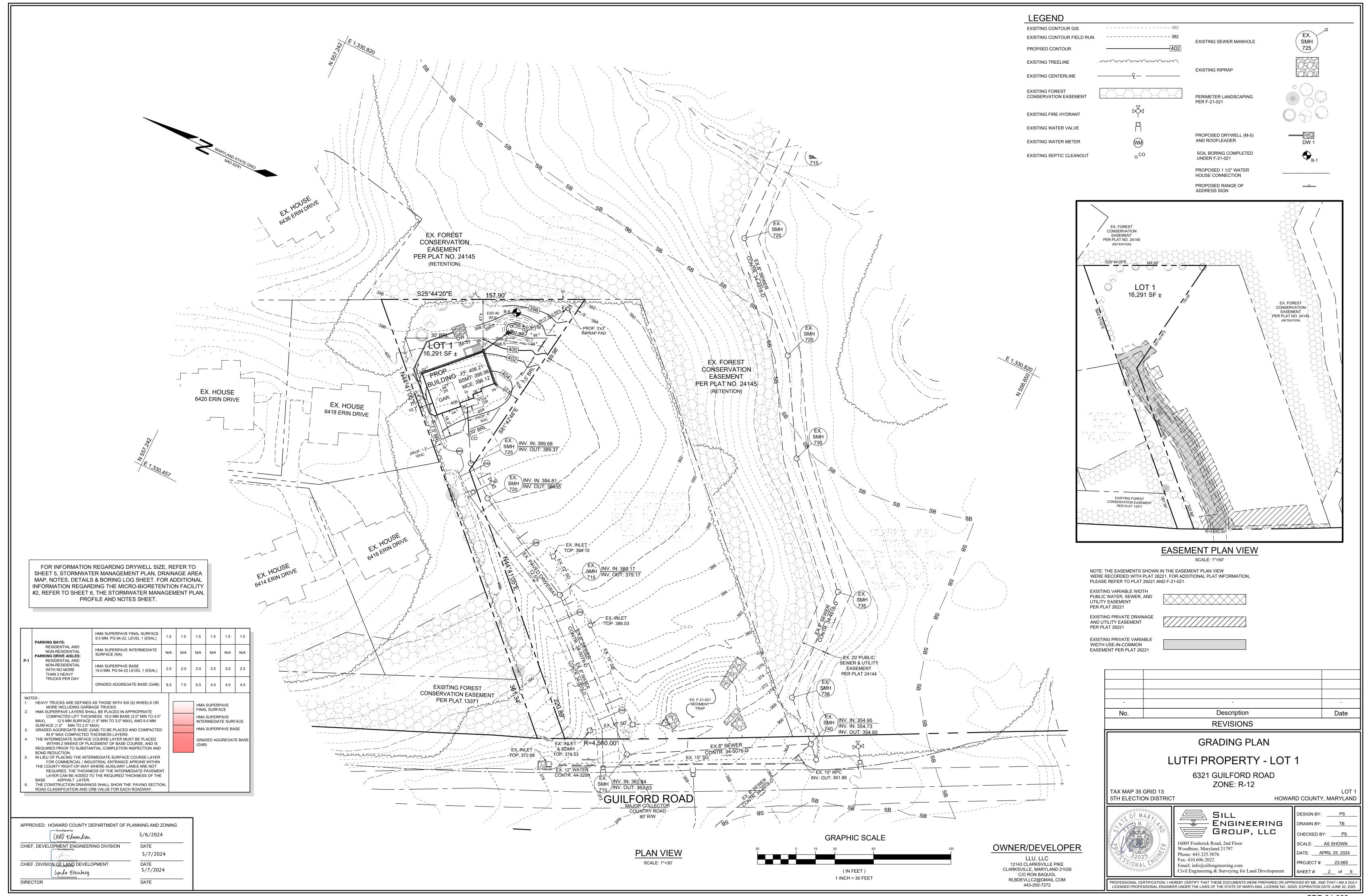
DRAWN BY: CHECKED BY: PS SCALE: AS SHOWN DATE: APRIL 25, 2024 PROJECT #: 23-065 SHEET #: 1 of 6 PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 32025, EXPIRATION DATE JUNE 20, 2025

HOWARD COUNTY, MARYLAND

SCALE: 1"=50'

SOILS LEGEND			
SYMBOL	NAME / DESCRIPTION	GROUP	'K' FACTOR
GbB	GLADSTONE LOAM, 3 TO 8 PERCENT SLOPES A 0.28		0.28
GmB GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES C/D 0.37			
MaD	MANOR LOAM 15 TO 25 PERCENT SLOPES	В	0.28

- 1) SOIL INFORMATION HAS BEEN TAKEN FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE: NATURAL RESOURCES CONSERVATION SERVICE; WEB SOIL SURVEY.
- 2) HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH
- A SOIL ERODIBILITY FACTOR 'K' GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.





B-4-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION. TOPSOILING, AND SOIL AMENDMENTS

HE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.

<u>PURPOSE</u> TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. CONDITIONS WHERE PRACTICE APPLIES WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

SOIL PH BETWEEN 6.0 AND 7.0.

RESULTS OF A SOIL TEST.

LIEU OF NATURAL TOPSOIL.

- A. SOIL PREPARATION 1. TEMPORARY STABILIZATION
 - a. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOWS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENED, IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED. CONDITION. SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE.
 - APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.
 - PERMANENT STABILIZATION a. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE:
 - II. SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM). III. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN EXCEPTION: IF LOVEGRASS WILL BE PLANTED. THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD BE ACCEPTABLE IV. SOIL CONTAINS 1.5 PÈRCENT MINIMUM ORGANIC MATTER BY WEIGHT
 - V. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION. APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE CONDITIONS
 - . GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE
 - e. MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS, RAKE LAWN AREAS TO SMOOTH THE SURFACE, REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES. AND READY THE AREA FOR SEED APPLICATION, LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE WHERI SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION. TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE, LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRIABLE. SEEDBED LOOSENING MAY BE UNNECESSARY ON NEWLY DISTURBED
- B. TOPSOILING TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT. LOW NUTRIENT LEVELS, LOW PH. MATERIALS TOXIC TO PLANTS AND/OR LINACCEPTABLE SOIL GRADATION
- TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-NRCS.
- 3 TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE: a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE
- VEGETATIVE GROWTH. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
- THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE. 4. AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN. TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA: TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. TOPSOIL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY
- VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH OR OTHER MATERIALS LARGER THAN 1½ INCHES IN DIAMETER. TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACK GRASS, JOHNSON GRASS, NUT SEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED. TOPSOIL SUBSTITUTES OR AMENDMENTS. AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN
- TOPSOIL APPLICATION . EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL. UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM HICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER
- TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION. C. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)
- . SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOII SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSES. 2. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE

APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH

- PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME. TRADE NAME OR TRADEMARK AND WARRANTY OF THE PRODUCER. 3. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE), LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAS
- 50 PERCENT WILL PASS THROUGH A #100 MESH SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH A #20 MESH SIEVE. 4. LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5
- INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.

APPLICATION | SEEDING | SEEDING

DATES

8/15 - 11/15

PERMANENT SEEDING SUMMARY

5/6/2024

05/05/2024

DATE

05/06/2024

5/6/2024

5/7/2024

5/7/2024

MD REGISTRATION NO.

DATE

DEPTHS

0.5 IN.

FERTILIZER RATE

(10-20-20)

1.0 LB/ 2.0 LB/ 2.0 LB/

1000 SF | 1000 SF | 1000 SF

5. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO

SEED MIXTURE (HARDINESS ZONE 7A AND 6B)

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT

OWNER/DEVELOPER'S CERTIFICATE

SEDIMENT CONTROL PLAN. INCLUDING INSPECTING AND MAINTAINING CONTROLS

OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL

ON EROSION AND SEDIMENT PRIOR TO THE BEGINNING THE PROJECT. I CERTIFY

RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE

DESIGN CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH

CURRENT EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS

THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL

KNOWLEDGE OF THE SITE AND THAT IS WAS PREPARED IN ACCORDANCE WITH THE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

"I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR

DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND

AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT

CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

Olexander Bratchie

HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."

REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT

(Hal) Edmondson

CHIEF, DEVELOPMENT ENGINEERING DIVISION

lynda Eisenberg

CHIEF, DIVISION OF LAND, DEVELOPMENT

SIGNATURE OF DEVELOPER

DESIGNER'S SIGNATURE

PAUL M. SILI

DIRECTOR

PRINTED NAME

HOWARD SCD

RATE (LB/AC)

SPECIES

TALL FESCUE

KENTUCKY BLUE GRASS

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

<u>JEFINITION</u> THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

<u>PURPOSE</u>

TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION. ONDITIONS WHERE PRACTICE APPLIES
OF THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE

1. SPECIFICATIONS

- a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REFER TO TABLE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE. b. MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WHEN THE GROUND
- C. INOCUI ANTS: THE INOCUI ANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED, TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA AND MAKE
- d. SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS 2. APPLICATION
- a. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS. I. INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.1. PERMANENT SEEDING TABLE B.3. OR SITE-SPECIFIC SEEDING SUMMARIES. II. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDED AREA WITH A WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT. b. DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL.
- I. CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED MUST BE FIRM AFTER PLANTING II. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. c. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND
- I. IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN. 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN: P2O5 (PHOSPHOROUS), 200 POUNDS PER ACRE; K2O (POTASSIUM), 200 POUNDS PER ACRE. II. LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE MAY BE APPLIED BYHYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING III. MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT INTERRUPTION. IV. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.
- 1. MULCH MATERIALS (IN ORDER OF PREFERENCE) a. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED, DECAYED, OR EXCESSIVELY DUSTY. NOTE: USE ONLY
- STERILE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED. b. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE. I. WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN
- APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNIFORMLY SPREAD SLURRY II WCFM INCLUDING DYF MUST CONTAIN NO GERMINATION OR GROWTH INHIBITING FACTORS III. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED, FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SI URRY THE MUI CH MATERIAL MUST FORM A BI OTTER-I IKE GROUND COVER ON APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST OVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF
- IV. WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE PHYTO-TOXIC V. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH OF PROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, PH RANGE OF 4.0
- TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER HOLDING CAPACITY OF 90 PERCENT MINIMUM. 2. APPLICATION a. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER
- DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE : WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.

ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES, APPLY MULCH TO ACHIEVE A UNIFORM

- a. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE). DEPENDING UPON THE SIZE OF THE AREA AND EROSION HAZARD: I. A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND. THIS PRACTICE SHOULD FOLLOW THE CONTOUR II. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER. III. SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-70, PETROSET, TERRA TAX II. TERRA TACK AR OR OTHER APPROVED EQUAL MAY BE USED. FOLLOW APPLICATION RATES AS
- OF ASPHALT BINDERS IS STRICTLY PROHIBITED IV. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4 TO 15 FEET

SPECIFIED BY THE MANUFACTURER. APPLICATION OF LIQUID BINDERS NEEDS TO BE HEAVIER AT

STANDARD STABILIZATION NOTE

FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:

- THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER
- DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED
- AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING. DURING GRADING AND AFTER EACH RAINFALL, CONTRACTOR WILL INSPECT AND PROVIDE NECESSARY MAINTENANCE TO THE SEDIMENT CONTROL MEASURES ON THIS PLAN.

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

- <u>IEFINITION</u>
 O STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.
- <u>PURPOSE</u>
 TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.
- CONDITIONS WHERE PRACTICE APPLIES: EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.
- 1. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED,
- THEN TABLE B.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN. FOR SITES HAVING SOIL TESTS PERFORMED. USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY, SOIL
- TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING. WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

SEQUENCE OF CONSTRUCTION

RATE

90 LB/

1000SF

- OBTAIN GRADING PERMIT NOTIFY HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT (410) 313-1880
- AT LEAST 24 HOURS BEFORE STARTING ANY WORK. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND PROPOSED SUPER SILT FENCE. REPAIR EXISTING
- SUPER SILT FENCE AND DIVERSION FENCE AS NEEDED. (1 WEEK) ROUGH GRADE LOT. (3 DAYS
- 5. BEGIN HOUSE CONSTRUCTION AND BASE PAVE DRIVEWAY. (6 MONTHS) FINAL GRADE AND STABILIZE LOT. (1 WEEK)
- WITH THE DRAINAGE AREAS STABILIZED AND WITH APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, INSTALL DIVERSION FENCE PRIOR TO CONSTRUCTION OF MICRO-BIORETENTION FACILITY
- 1 AND DRYWELL 1, ENSURING NO SEDIMENT LADEN RUNOFF ENTERS THEM. (2 WEEKS) 8 COMPLETE HOUSE AND FINAL PAVE DRIVEWAY (2 WEEKS) UPON STABILIZATION OF ALL DISTURBED AREAS AND WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL MEASURES AND STABILIZE ANY REMAINING
- NOTE: S.O.S.T #1 AND DIVERSION FENCE SHALL REMAIN IN PLACE UNTIL THE FUTURE HOUSE CONSTRUCTION FOR LOT 1 AND FUTURE LOTS 2 THROUGH 4 ARE COMPLETED AND STABILIZED. UPON COMPLETION AND PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, S.O.S.T #1 CAN BE CONVERTED TO BIO-RETENTION FACILITY #1. SEE F-21-021 FOR ADDITIONAL INFORMATION

Description No. Date REVISIONS

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

<u>'EFINITION'</u> 'O STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

<u>PURPOSE</u> TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON

<u>CONDITIONS WHERE PRACTICE APPLIES</u> EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE

- I. GENERAL USE A. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN B. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE
- FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 CRITICAL AREA PLANTING. C. FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY. D. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 ½ POUNDS
- PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY
- TURFGRASS MIXTURES A. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND

WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.

- B. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS ORPURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENTSEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN I. KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT, IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT II. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS
- WHERE B.22 RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT F THE TOTAL MIXTURE BY WEIGH SITE ANALYSIS III. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE

AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM

- SHADE. RECOMMENDED MIXTURE INCLUDES; CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED. IV. KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA. MIXTURE INCLUDES; CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATE: 11/2 TO 3 POUNDS PER
- 1000 SQUARE FEET NOTES: SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND" CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE
- C. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES: WESTERN MD: MARCH 15 TO JUNE 1. AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES: 5B. 6A) CENTRAL MD: MARCH 1 TO MAY 15. AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: 6B) SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS
- D. TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED, REMOVE STONES AND DEBRIS OVER 1½ INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT
- FUTURE MOWING OF GRASSES WILLPOSE NO DIFFICULTY. E. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY STABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE SITES.
- B. SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER) I. GENERAL SPECIFICATIONS
 - A. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR. B SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF % INCH. PLUS OR MINUS % INCH. AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH.
- BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. C. STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF
- D. SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL. E. SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT
- NSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION. 2. SOD INSTALLATION A. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY
- IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD. B. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH
- ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS :. WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH AGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES, ENSURE
- SOLID CONTACT EXISTS BETWEEN SOD ROOTS AND THE UNDERLYING SOIL SURFACE. . WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN EIGHT HOURS. 3. SOD MAINTENANCE A. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND
- SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING B. AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE

TABLE B.1: TEMPORARY SEEDING FOR SITE STABILIZATION

FERTILIZER RATE (10-20-20): 436 LB/AC (10LB/1000SF) LIME RATE: 2 TONS/AC (90LB/1000SF)

*THIS SITE LIES WITHIN U.S.D.A. PLANT HARDINESS ZONE 6B.

COOL-SEASON GRASSES

BARLEY (HORDEUM VULGAR

NHEAT (TRITICUM AESTIVUM)

ARM-SEASON GRASSES

CEREAL RYE (SECALE CEREALE)

HE BOUNDARIES OF THE ZONE.

TYPE OF PLANT MATERIAL

SEEDS- COOL-SEASON GRASSES

THE PERMANENT SEEDING MIX

DROUGHTY SITES.

SOD - COOL-SEASON

NCLUDES MIXES WITH FORBS AND/OR LEGUMES

SEEDS- WARM-SEASON/ COOL-SEASON GRASS MIXES

INROOTED WOODY MATERIALS; BARE-ROOT PLANT

ONTAINERIZED STOCK; BALLED-AND-BURLAPPED STOCK

NURSE CROP, AS NOTED ABOVE, IF PLANTING DURING THIS PERIOD.

LIUM PERENNE SSP. MULTIFLORU

ANNUAL RYEGRASS

OATS (AVENA SATIVA)

SEEDING RATE

DEPTH

 OXTAIL MILLET (SETARIA ITALICA)
 30
 0.7
 0.5
 JUN 1 TO JUL 31
 MAY 16 TO JUL 31

 EARL MILLET (PENNISETUM GLAUCUM)
 20
 0.5
 0.5
 JUN 1 TO JUL 31
 MAY 16 TO JUL 31

TABLE B.5: RECOMMENDED PLANTING DATES FOR PERMANENT COVER IN MARYLAND

BARE-ROOT GRASSES ARE THE EXCEPTION—THEY MAY BE SUPPLIED AS GROWING (NON-DORMANT) PLANTS.

* ADDITIONAL PLANTING DATES DURING WHICH SUPPLEMENTAL WATERING MAY BE NEEDED TO ENSURE PLANT ESTABLISHMEN

SEEDING RATES FOR THE WARM-SEASON GRASSES ARE IN POUNDS OF PURE LIVE SEED (PLS). ACTUAL PLANTING RATES SHALL BE ADJUSTED TO

SEED MIXES, USE 1/3 OF THE SEEDING RATE LISTED ABOVE FOR BARLEY, DATS, AND WHEAT. FOR SMALLER-SEEDED GRASSES (ANNUAL RYEGRASS, PEARL MILLET, FOXTAIL MILLET), DO NOT EXCEED MORE THAN 5% (BY WEIGHT) OF THE OVERALL PERMANENT SEEDING MIX. CEREAL RYE

GENERALLY SHOULD NOT BE USED AS A NURSE CROP, UNLESS PLANTING WILL OCCUR IN VERY LATE FALL BEYOND THE SEEDING DATES FOR OTHER

BE USED AS A NURSE CROP, SEED AT 1/3 OF THE RATE LISTED ABOVE. OATS ARE THE RECOMMENDED NURSE CROP FOR WARM-SEASON GRASSES. FOR SANDY SOILS, PLANT SEEDS AT TWICE THE DEPTH LISTED ABOVE. THE PLANTING DATES LISTED ARE AVERAGES FOR EACH ZONE AND MAY REQUIRE ADJUSTMENT TO REFLECT LOCAL CONDITIONS. ESPECIALLY NEAR

EMPORARY SEEDINGS. CEREAL RYE HAS ALLELOPATHIC PROPERTIES THAT INHIBIT THE GERMINATION AND GROWTH OF OTHER PLANTS. IF IT MUST

REFLECT PERCENT SEED GERMINATION AND PURITY, AS TESTED. ADJUSTMENTS ARE USUALLY NOT NEEDED FOR THE COOL-SEASON GRASSES

SEEDING RATES LISTED ABOVE ARE FOR TEMPORARY SEEDINGS, WHEN PLANTED ALONE, WHEN PLANTED AS A NURSE CROP WITH PERMANENT

5b & 6a

AUG 1 TO SEP 30

AUG 1 TO SEP 30

MAR 15 TO MAY 31

AUG 1 TO SEP 3

JUN 1 TO JUN 15'

MAR 15 TO MAY 3

IUN 1 TO AUG 31

SEP 1 TO NOV 1*

JUN 1 TO JUN 30°

JUN 1 TO JUN 30*

MAR 15 TO MAY 3

1. THE PLANTING DATES LISTED ARE AVERAGES FOR EACH ZONE, THESE DATES MAY REQUIRE ADJUSTMENT TO REFLECT LOCAL CONDITIONS, ESPECIALLY

NEAR THE BOUNDARIES OF THE ZONES. WHEN SEEDING TOWARD THE END OF THE LISTED PLANTING DATES, OR WHEN CONDITIONS ARE EXPECTED TO BE

2. WHEN PLANTED DURING THE GROWING SEASON, MOST OF THESE MATERIALS MUST BE PURCHASED AND KEPT IN A DORMANT CONDITION UNTIL PLANTING.

◆ ADDITIONAL PLANTING DATES FOR THE LOWER COASTAL PLAIN, DEPENDENT ON ANNUAL RAINFALL AND TEMPERATURE TRENDS. RECOMMEND ADDING A

♦♦ WARM-SEASON GRASSES NEED A SOIL TEMPERATURE OF AT LEAST 50 DEGREES F IN ORDER TO GERMINATE. IF SOIL TEMPERATURES ARE COLDER THAN 50

DEGREES, OR MOISTURE IS NOT ADEQUATE, THE SEEDS WILL REMAIN DORMANT UNTIL CONDITIONS ARE FAVORABLE. IN GENERAL, PLANTING DURING THE

LATTER PORTION OF THIS PERIOD ALLOWS MORE TIME FOR WEED EMERGENCE AND WEED CONTROL PRIOR TO PLANTING. WHEN SELECTING A PLANTING

BALLED-AND-BURLAPPED STOCK MAY BE PLANTED INTO THE WINTER MONTHS AS LONG AS THE GROUND IS NOT FROZEN AND SOIL MOISTURE IS ADEQUATE

DATE, CONSIDER THE NEED FOR WEED CONTROL VS. THE LIKELIHOOD OF HAVING SUFFICIENT MOISTURE FOR LATER PLANTINGS, ESPECIALLY ON

FREQUENT FREEZING AND THAWING OF WET SOILS MAY RESULT IN FROST-HEAVING OF MATERIALS PLANTED IN LATE FALL, IF PLANTS HAVE NOT

SUFFICIENTLY ROOTED IN PLACE. SOD USUALLY NEEDS 4 TO 6 WEEKS TO BECOME SUFFICIENTLY ROOTED. LARGE CONTAINERIZED AND

LESS THAN OPTIMAL, SELECT AN APPROPRIATE NURSE CROP FROM TABLE B.1 TEMPORARY SEEDING FOR SITE STABILIZATION AND PLANT TOGETHER WITH

MOISTURE CONTENT C. DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN $rac{1}{3}$ OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

SEEDING RECOMMENDED SEEDING DATES BY PLANT HARDINESS ZONE

MARCH 15 TO MAY 31; MARCH 1 TO MAY 15;

6b

MARCH 1 TO MAY 15

MARCH 1 TO MAY 15 AUG 1 TO OCT 15

MARCH 1 TO MAY 15:

PLANT HARDINESS ZONES

MAR 1 TO MAY 15

AUG 1 TO OCT 15

MAR 1 TO MAY 15++

MAR 1 TO MAY 15

MAY 16 TO SEP 14'

MAY 16 TO JUN 30*

MAR 1 TO MAY 15

MAY 16 TO JUN 30*

AUG 15 TO NOV 3

FEB 15 TO APR 30

FEB 15 TO APR 30

AUG 15 TO OCT

NOV 1 TO NOV 30

FEB 15 TO APR 30

FEB 15 TO APR 3

MAY 1 TO SEP 30

OCT 1 TO DEC 1

FB 15 TO APR 30

MAY 1 TO JUN 30

FEB 15 TO APR 30

MAY 1 TO JUN 30

MUST BE GIVEN AT THE FOLLOWING STAGES: A. PRIOR TO THE START OF EARTH DISTURBANCE

SEDIMENT CONTROL NOTES

WITH THIS PLAN

- 1. A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER THE FUTURE LOD AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MINIMUM OF 48 HOUR NOTICE TO CID
- B. UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS BUT BEFORE PROCEEDING WITH ANY OTHER FARTH DISTURBANCE OR GRADING.
- C. PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF ANOTHER GRADING UNIT
- D. PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL PRACTICES, OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE. OTHER RELATED STATE AND FEDERAL PERMITS SHALL BE REFERENCED. TO ENSURE COORDINATION AND TO AVOID CONFLICTS
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS **THERETO**
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE GRADING. 4. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR TOPSOIL (SEC. B-4-2), PERMANENT SEEDING (SEC. B-4-5), TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES IF THE GROUND IS FROZEN. NCREMENTAL STABILIZATION (SEC. B-4-1) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH >15'
- SOIL STABILIZATION MATTING (SEC. B-4-6). ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE

OF CUT AND/OR FILL. STOCKPILES (SEC. B-4-8) IN EXCESS OF 20 FT. MUST BE BENCHED WITH STABLE

OUTLET. ALL CONCENTRATED FLOW, STEEP SLOPE, AND HIGHLY ERODIBLE AREAS SHALL RECEIVE

•	
TOTAL AREA:	0.3740 ACRES
AREA DISTURBED:	0.2207 ACRES
AREA TO BE ROOFED OR PAVED:	0.0452 ACRES
AREA TO BE VEGETATIVELY STABILIZED:	0.1755 ACRES
TOTAL CUT:	335 CY
TOTAL FILL:	46 CY
OFFSITE WASTE/BORROW AREA LOCATION:	**

- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF LITH ITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED. IF DEFMED NECESSARY BY THE CID. THE
- SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY: AND THE NEXT DAY AFTER EACH RAIN EVENT. A WRITTEN REPORT BY THE CONTRACTOR, MADE AVAILABLE UPON REQUEST, IS PART OF EVERY INSPECTION AND SHOULD INCLUDE
- INSPECTION DATE INSPECTION TYPE (ROUTINE, PRE-STORM EVENT, DURING RAIN EVENT)
- NAME AND TITLE OF INSPECTOR WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST ECORDED PRECIPITATION)
- BRIEF DESCRIPTION OF PROJECT'S STATUS (E.G., PERCENT COMPLETE) AND/OR CURRENT EVIDENCE OF SEDIMENT DISCHARGES
- DENTIFICATION OF PLAN DEFICIENCIES IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS
- COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTRUCTION AND STABILIZATION
- MONITORING/SAMPLING MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED OTHER INSPECTION ITEMS AS REQUIRED BY THE GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES (NPDES, MDE). TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT
- WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER. ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE HSCD PRIOR TO PROCEEDING WITH CONSTRUCTION. MINOR
- REVISIONS MAY ALLOWED BY THE CID PER THE LIST OF HSCD-APPROVED FIELD CHANGES. DISTURBANCE SHALL NOT OCCUR OUTSIDE THE L.O.D. A PROJECT IS TO BE SEQUENCED SO THA GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME, WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50. PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE CID. UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE CID, NO MORE THAN
- 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME. WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT STRUCTURE TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDISTRIBUTION ONTO FINAL
- 14. ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON-THE-CONTOUR, AND BE IMBRICATED AT 25' MINIMUM INTERVALS, WITH LOWER ENDS CURLED UPHILL BY 2' IN ELEVATION. 15. STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS
- USE I AND IP MARCH 1 JUNE 15 USE IV MARCH 1 - MAY 31
- 16. A COPY OF THIS PLAN, THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND ASSOCIATED PERMITS SHALL BE ON-SITE AND AVAILABLE WHEN THE

* EARTHWORK QUANTITIES ARE SOLELY FOR THE PURPOSE OF CALCULATING FEES. CONTRACTOR TO VERIFY ALL QUANTITIES PRIOR TO THE START OF CONSTRUCTION. ** TO BE DETERMINED BY CONTRACTOR, WITH PRE-APPROVAL OF THE SEDIMENT CONTROL INSPECTOR WITH AN APPROVED AND ACTIVE GRADING PERMIT

STANDARD SYMBOL DETAIL B-1 STABILIZED CONSTRUCTION SCE ENTRANCE - EXISTING PAVEMENT GROUND -AGGREGATE OVER LENGTH AND WIDTH OF ENTRANCE <u>PROFILE</u> 50 FT MIN. LENGTH PLAN VIEW CONSTRUCTION SPECIFICATIONS

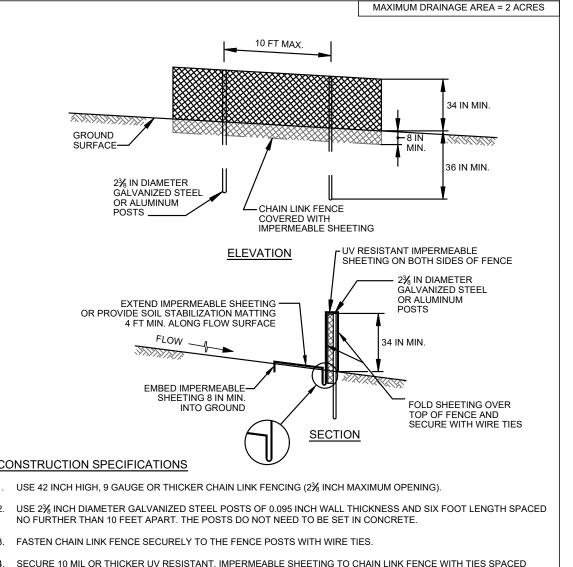
- PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (*30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE O CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT
- PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS. . PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
- MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE MARYLAND DEPARTMENT OF ENVIRONMENT

WATER MANAGEMENT ADMINISTRATION

B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

- A MOUND OR PILE OF SOIL PROTECTED BY APPROPRIATELY DESIGNED EROSION AND SEDIMENT CONTROL
- TO PROVIDE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION, AND CHANGES TO DRAINAGE PATTERNS
- STOCKPILE AREAS ARE UTILIZED WHEN IT IS NECESSARY TO SALVAGE AND STORE SOIL FOR LATER USE.
- THE STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE CLEARLY INDICATED ON IE EROSION AND SEDIMENT CONTROL PLAN. THE FOOTPRINT OF THE STOCKPILE MUST BE SIZED TO ACCOMMODATE THE ANTICIPATED VOLUME OF MATERIAL
- AND BASED ON A SIDE SLOPE RATIO NO STEEPER THAN 2:1, BENCHING MUST BE PROVIDED IN ACCORDANCE WITH RUNOFF FROM THE STOCKPILE AREA MUST DRAIN TO A SUITABLE SEDIMENT CONTROL PRACTICE.
- ACCESS THE STOCKPILE AREA FROM THE UPGRADE SIDE. CLEAR WATER RUNOFF INTO THE STOCKPILE AREA MUST BE MINIMIZED BY USE OF A DIVERSION DEVICE SUCH AS AN EARTH DIKE, TEMPORARY SWALE OR DIVERSION FENCE. PROVISIONS MUST BE MADE FOR DISCHARGIN
- CONCENTRATED FLOW IN A NON-EROSIVE MANNER. WHERE RUNOFF CONCENTRATES ALONG THE TOE OF THE STOCKPILE FILL, AN APPROPRIATE EROSION/SEDIMENT CONTROL PRACTICE MUST BE USED TO INTERCEPT THE DISCHARGE. STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 3/7 DAY STABILIZATION REQUIREMENT AS WELL AS
- STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION. IF THE STOCKPILE IS LOCATED ON AN IMPERVIOUS SURFACE, A LINER SHOULD BE PROVIDED BELOW THE STOCKPILE TO FACILITATE CLEANUP. STOCKPILES CONTAINING CONTAMINATED MATERIAL MUST BE COVERED WITH IMPERMEABLE SHEETING. MAINTENANCE
- THE STOCKPILE AREA MUST CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION. SIDE SLOPES MUST BE MAINTAINED AT NO STEEPER THAN A 2:1 RATIO. THE STOCKPILE AREA MUST BE KEPT FREE OF EROSION. IF THE VERTICAL HEIGHT OF A STOCKPILE EXCEEDS 20 FEET FOR 2:1 SLOPES, 30 FEET FOR 3:1 SLOPES, OR 40 FEET FOR 4:1 SLOPES, BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADING



STANDARD SYMBOL

— DF ——

FASTEN CHAIN LINK FENCE SECURELY TO THE FENCE POSTS WITH WIRE TIES. . SECURE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING TO CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT TOP, MID SECTION, AND BELOW GROUND SURFACE.

DETAIL C-9 DIVERSION FENCE

EXTEND SHEETING A MINIMUM OF 4 FEET ALONG FLOW SURFACE AND EMBED END A MINIMUM OF 8 INCHES INTO GROUND. SOIL STABILIZATION MATTING MAY BE USED IN LIEU OF IMPERMEABLE SHEETING ALONG

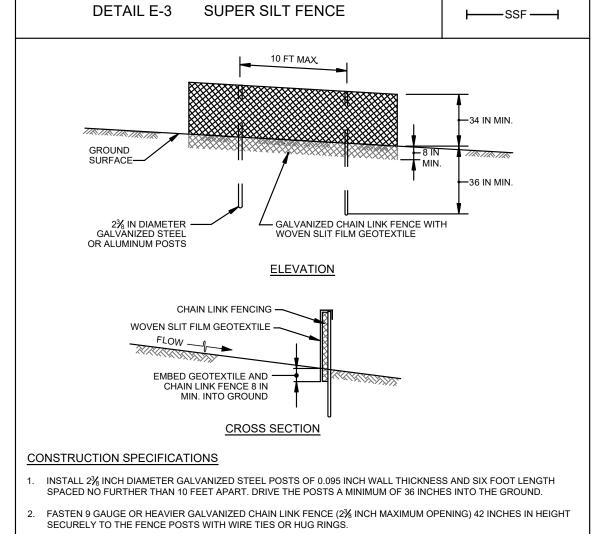
WHEN TWO SECTIONS OF SHEETING ADJOIN EACH OTHER, OVERLAP BY 6 INCHES AND FOLD WITH SEAM FACING

KEEP FLOW SURFACE ALONG DIVERSION FENCE AND POINT OF DISCHARGE FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. MAINTAIN POSITIVE DRAINAGE. REPLACE IMPERMEABLE SHEETING IF TORN, IF UNDERMINING OCCURS, REINSTALL FENCE

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL U.S. DEPARTMENT OF AGRICULTURE MARYLAND DEPARTMENT OF ENVIRONMEN

STANDARD SYMBOL

WATER MANAGEMENT ADMINISTRATION



ATURAL RESOURCES CONSERVATION SERVICE

- FASTEN WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND.
- WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS. EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE
- SUPER SILT FENCE PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS

REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE

OWNER/DEVELOPER

12143 CLARKSVILLE PIKE

443-250-7272

CLARKSVILLE MARYLAND 21029

C/O RON BAQUOL RLBDEVLLC2@GMAIL.COM

SEDIMENT AND EROSION NOTES AND DETAILS **LUTFI PROPERTY - LOT 1** 6321 GUILFORD ROAD ZONE: R-12 TAX MAP 35 GRID 13

MARYLAND DEPARTMENT OF ENVIRONMENT

5TH ELECTION DISTRICT

- Engineering GROUP, LLC 16005 Frederick Road, 2nd Floor Woodbine, Maryland 21797 Phone: 443,325,5076 Fax: 410.696.2022

Email: info@sillengineering.com

CHECKED BY: PS SCALE: AS SHOWN DATE: APRIL 25, 2024 PROJECT #: 23-065 Civil Engineering & Surveying for Land Development SHEET #: 4 of 6 PROFESSIONAL CERTIFICATION: LHERERY CERTIFY THAT THESE DOCLIMENTS WERE PREPARED OR APPROVED BY ME, AND THAT LAM A DUI

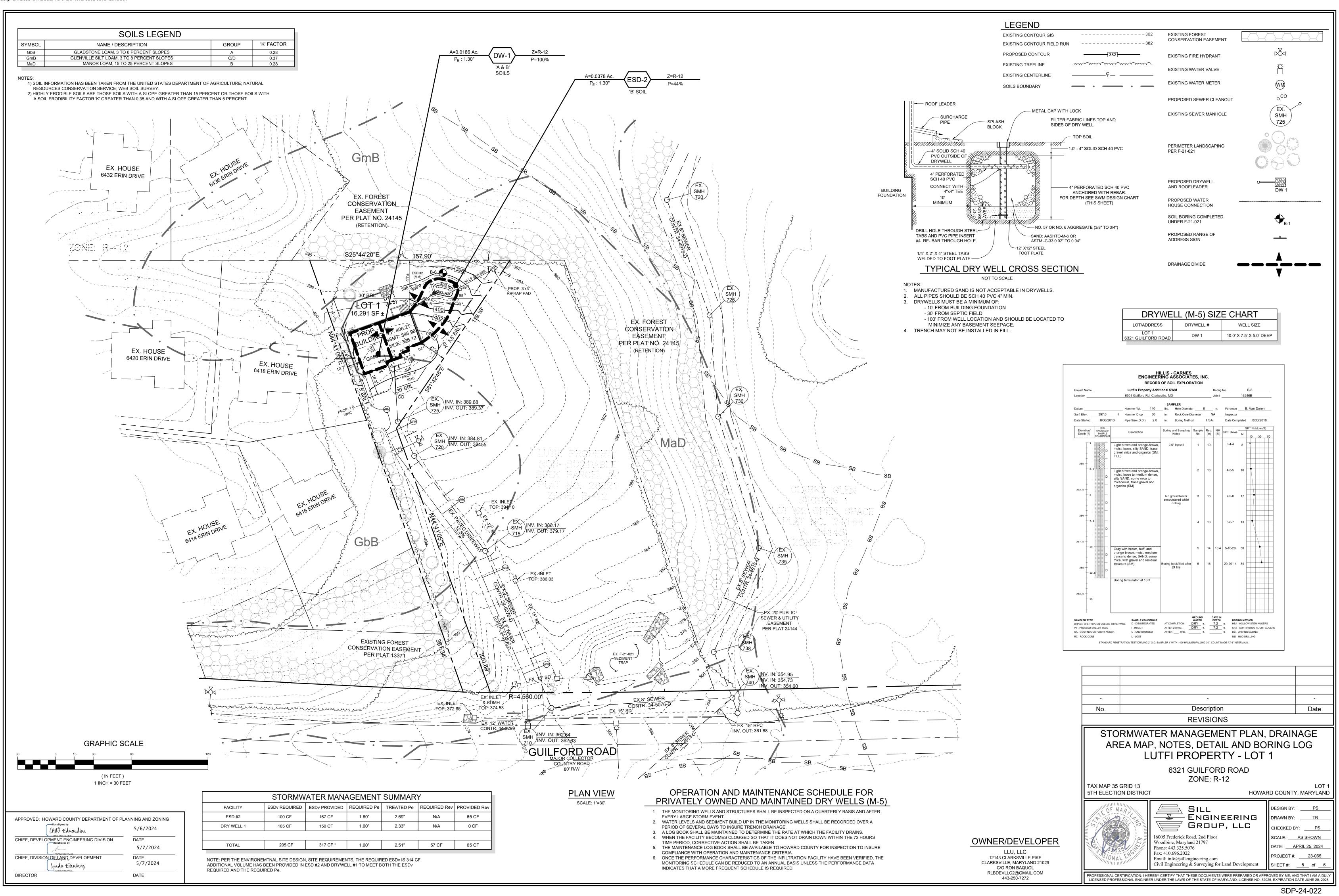
HOWARD COUNTY, MARYLAND

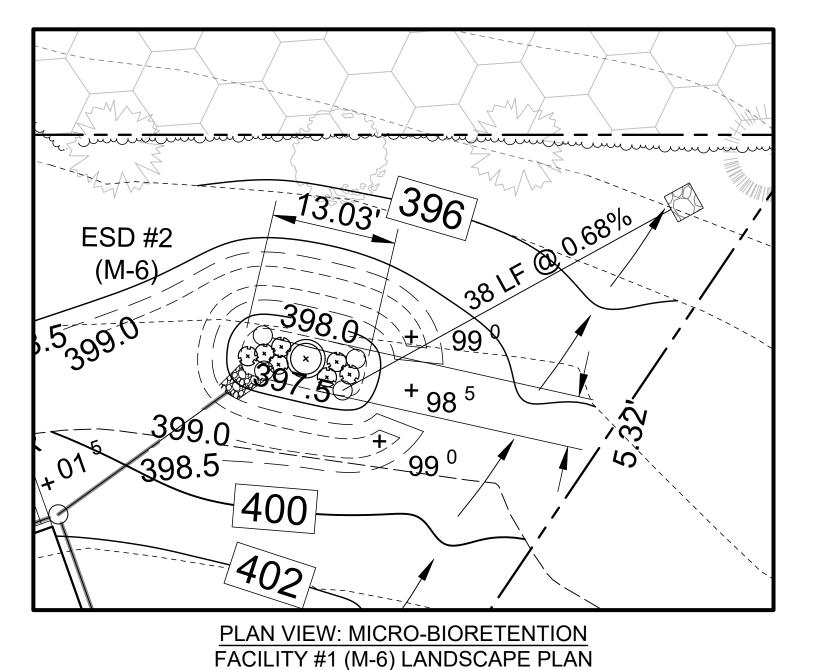
DESIGN BY:

DRAWN BY:

LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 32025, EXPIRATION DATE JUNE 20, 2025

SDP-24-022





SCALE: 1"=10'

BIORETENTION PLANT LIST						
			SHRUE	BS		
LEGEND	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	REMARKS	QTY. BIO 1
*	ILEX GLABRA	INK BERRY	AS SHOWN* (MIN. 4' O.C.)	24"- 36" HT.	l	1
(*)	RUDBECKIA	BLACK-EYED SUSAN	AS SHOWN* (MIN. 2' O.C.)	1 GALLON		7

NOTE: PLANT MATERIAL MUST COVER 50% OF THE MULCH AREA AT MATURE GROWTH. *INTERSPERSE PLANTINGS THROUGHOUT BIORETENTION FILTER AREA

 $\frac{ {\sf BIO~1-BIORETENTION~AREA=64.79~S.F.~OR~0.0015~AC.} {\sf PROVIDED:~1~SHRUBS~AND~7~HERBACEOUS~SPECIES}$

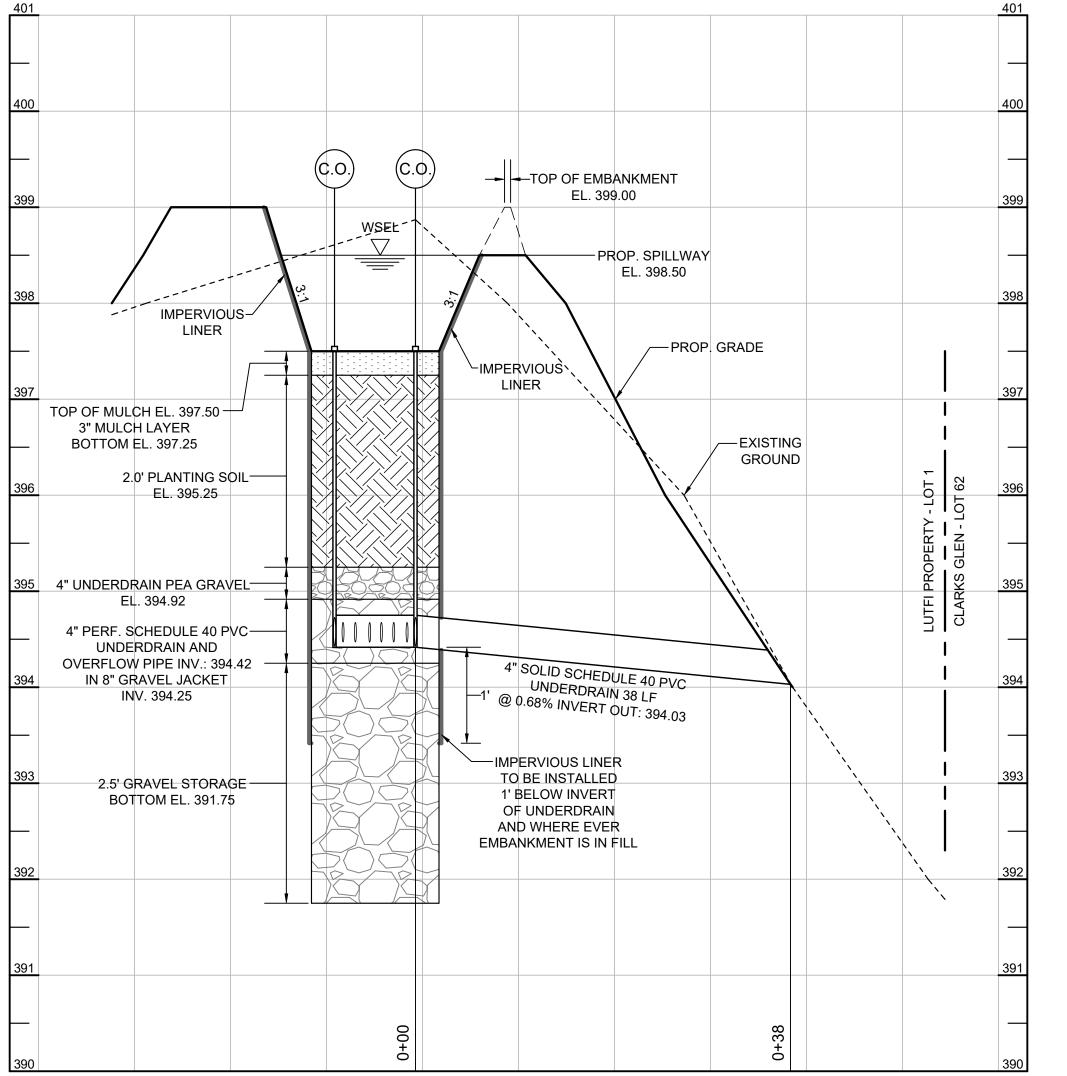
4" PERF. OVERFLOW -----(M-6)PROP. 3'x3' RIPRAP PAD UNDERDRAIN PLAN VIEW: MICRO-BIORETENTION

GRAPHIC SCALE OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED MICRO-BIORETENTION FACILITIES (M-6) (IN FEET)

FACILITY #1 (M-6)

SCALE: 1"=10'

- 1. THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL, VOLUME II, TABLE A.4.1 AND 2. THE OWNER SHALL PERFORM A PLANT INSPECTION IN THE SPRING AND IN THE FALL OF EACH YEAR.
- DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD OR DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES. THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO
- TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS 4. THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER
- MONTH AND AFTER EACH HEAVY STORM.

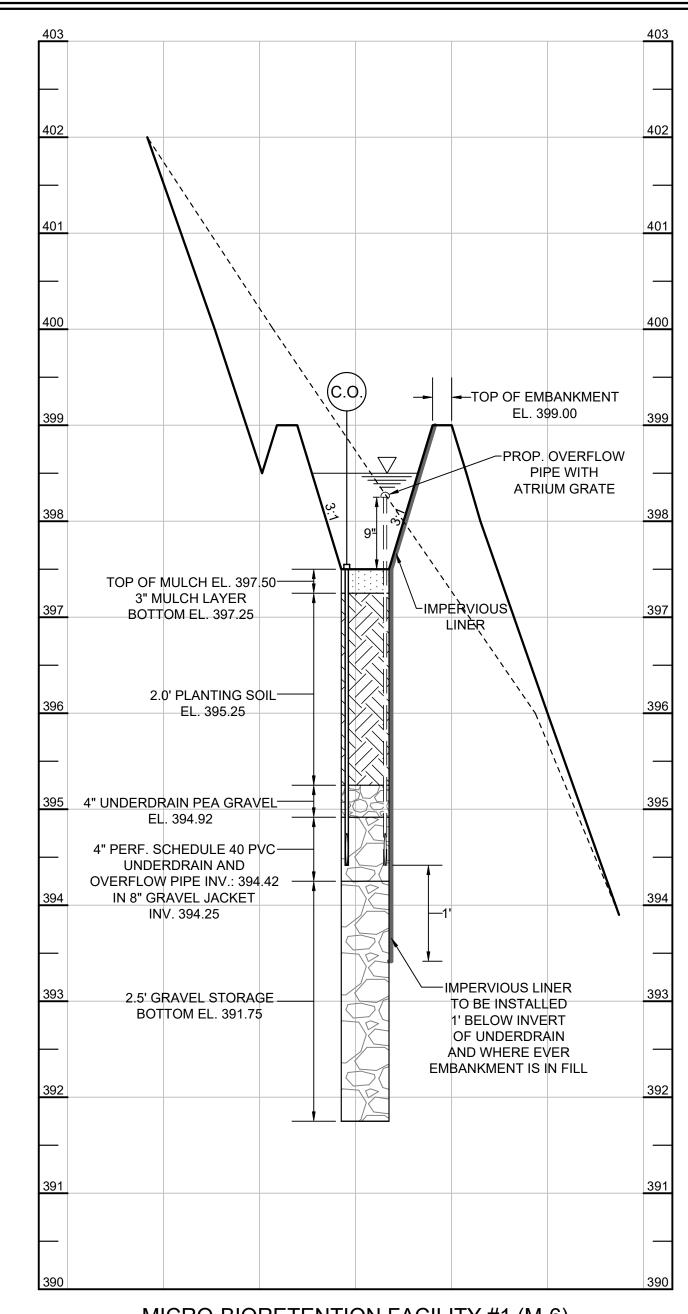


MICRO-BIORETENTION FACILITY #1 (M-6) PROFILE (A-A)

	SPECIFICATION	SIZE	NOTES
PLANTINGS	SEE PLANT LIST THIS SHEET	N/A	PLANTINGS ARE SITE-SPECIFIC, SEE PLANT LIST THIS SHEET
PLANTING SOIL [2'-4' TO 4' DEEP]	LOAMY SAND (60% - 65%) & COMPOST (35%-40%) OR SANDY LOAM (30%), COARSE SAND (30%) & COMPOST (40%)	N/A	USDA SOIL TYPES LOAMY SAND OR SANDY LOAM; CLAY CONTENT < 5%
ORGANIC CONTENT	MIN. 10% BY DRY WEIGHT (ASTM-D-2974)		
	SHREDDED HARDWOOD		AGED 6 MONTHS, MINIMUM; NO PINE OR WOOD CHIPS
PEA GRAVEL DIAPHRAGM	PEA GRAVEL: ASTM-D-448	NO. 8 OR NO. 9 (1/8" TO 3/8")	
CURTAIN DRAIN (IF REQUIRED)	ORNAMENTAL STONE: WASHED COBBLES	STONE: 2" TO 5"	
GEOTEXTILE		N/A	PE TYPE 1 NONWOVEN
UNDERDRAIN GRAVEL	AASHTO M-43	NO. 57 OR NO. 6 AGGREGATE (3/8" TO 3/4")	
UNDERDRAIN PIPING	F 758, TYPE PS 28 OR AASHTO M-278	4" TO 6" RIGID SCHEDULE 40 PVC OR SDR35	SLOTTED OR PERFORATED PIPE, 3/8" PERF. @ 6" ON CENTER, 4 HOLES PER ROW; MINIMUM OF 3" OF GRAVE OVER PIPES; NOT NECESSARY UNDERNEATH PIPES. PERFORATED PIPE SHALL BE WRAPPED WITH 1/4" GALVANIZED HARDWARE CLOTH.
POURED IN PLACE CONCRETE (IF REQUIRED)	MSHA MX NO.3; F'c= 3500 PSI @ 28 DAYS, NORMAL WEIGHT, AIR-ENTRAINED; REINFORCING TO MEET ASTM-615-60	N/A	ON-SITE TESTING OF POURED-IN-PLACE CONCRETE REQUIRED: 28 DAY STRENGTH AND SLUMP TEST; ALL CONCRETE DESIGN (CAST-IN-PLACE OR PRE-CAST) NOT USING PREVOUSLY APPROVED STATE OR LOCAL STANDARDS REQUIRES DESIGN DRAWINGS SEALED AND APPROVED BY A PROFESSIONAL STRUCTURAL ENGINEER LICENSED IN THE STATE OF MARYLAND-DESIGN TO INCLUDE MEETING ACI CODE 350.R/89; VERTICAL LOADING [H-10 OR H-20]; ALLOWABLE HORIZONTAL LOADING (BASED ON SOIL PRESSURES); AND ANALYSIS OF POTENTIAL CRACKING.
SAND	AASHTO-M-6 OR ASTM-C-33	0.02" TO 0.04"	SAND SUBSTITUTIONS SUCH AS DIABASE AND GRAYSTONE (AASHTO) #10 ARE NOT ACCEPTABLE. NO CALCIUM CARBONATED OR DOLOMITIC SAND SUBSTITUTIONS ARE ACCEPTABLE. NO "ROCK DUST" CAN BE USED FOR SAND.

OWNER/DEVELOPER

LLU, LLC 12143 CLARKSVILLE PIKE CLARKSVILLE, MARYLAND 21029 C/O RON BAQUOL RLBDEVLLC2@GMAIL.COM 443-250-7272



MICRO-BIORETENTION FACILITY #1 (M-6) PROFILE (B-B)

SCALE: 1"=10'

Description Date No. **REVISIONS**

STORMWATER MANAGEMENT PLAN, PROFILE AND NOTES LUTFI PROPERTY - LOT 1

6321 GUILFORD ROAD ZONE: R-12 TAX MAP 35 GRID 13

Fax: 410.696.2022 Email: info@sillengineering.com

5TH ELECTION DISTRICT

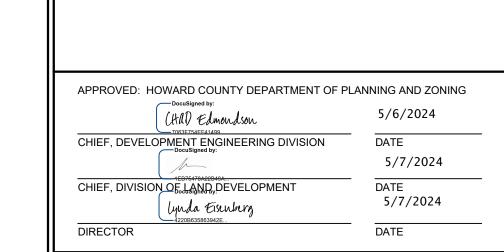
ENGINEERING GROUP, LLC 16005 Frederick Road, 2nd Floor Woodbine, Maryland 21797 Phone: 443.325.5076

Civil Engineering & Surveying for Land Development

DRAWN BY: TB CHECKED BY: PS SCALE: AS SHOWN DATE: APRIL 25, 2024 PROJECT #: 23-065 SHEET #: __6__ of __6_

HOWARD COUNTY, MARYLAND

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 32025, EXPIRATION DATE JUNE 20, 2025 SDP-24-022



1 INCH = 10 FEET

Certificate Of Completion

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Signer Events

Alexander Bratchie

abratchie@howardcountymd.gov

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Signature

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Anthony Cataldo

acataldo@howardcountymd.gov

Division Chief

Howard County Government

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CHAD Edmondson

cedmondson@howardcountymd.gov

Security Level: Email, Account Authentication

(None)

(HdD) Edmondson

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Lynda Eisenberg

leisenberg@howardcountymd.gov

Security Level: Email, Account Authentication

(None)

lynda Eisenberg

Signature Adoption: Pre-selected Style Using IP Address: 167.102.191.18

Sent: 5/7/2024 1:08:13 PM Viewed: 5/7/2024 1:09:21 PM Signed: 5/7/2024 1:09:31 PM

Electronic Record and Signature Disclosure:

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In Person Signer Events

Signature

Timestamp

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4:02:57 PM
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AM
PM
PM

Security Checked

Status

Completed

Payment Events

Electronic Record and Signature Disclosure

5/7/2024 1:09:34 PM

Timestamps

CONSUMER DISCLOSURE

From time to time, Howard County Government (we, us or Company) may be required by law to provide to you certain written notices or disclosures. Described below are the terms and conditions for providing to you such notices and disclosures electronically through the DocuSign, Inc. (DocuSign) electronic signing system. Please read the information below carefully and thoroughly, and if you can access this information electronically to your satisfaction and agree to these terms and conditions, please confirm your agreement by clicking the 'I agree' button at the bottom of this document.

Getting paper copies

At any time, you may request from us a paper copy of any record provided or made available electronically to you by us. You will have the ability to download and print documents we send to you through the DocuSign system during and immediately after signing session and, if you elect to create a DocuSign signer account, you may access them for a limited period of time (usually 30 days) after such documents are first sent to you. After such time, if you wish for us to send you paper copies of any such documents from our office to you, you will be charged a \$0.00 per-page fee. You may request delivery of such paper copies from us by following the procedure described below.

Withdrawing your consent

If you decide to receive notices and disclosures from us electronically, you may at any time change your mind and tell us that thereafter you want to receive required notices and disclosures only in paper format. How you must inform us of your decision to receive future notices and disclosure in paper format and withdraw your consent to receive notices and disclosures electronically is described below.

Consequences of changing your mind

If you elect to receive required notices and disclosures only in paper format, it will slow the speed at which we can complete certain steps in transactions with you and delivering services to you because we will need first to send the required notices or disclosures to you in paper format, and then wait until we receive back from you your acknowledgment of your receipt of such paper notices or disclosures. To indicate to us that you are changing your mind, you must withdraw your consent using the DocuSign 'Withdraw Consent' form on the signing page of a DocuSign envelope instead of signing it. This will indicate to us that you have withdrawn your consent to receive required notices and disclosures electronically from us and you will no longer be able to use the DocuSign system to receive required notices and consents electronically from us or to sign electronically documents from us.

All notices and disclosures will be sent to you electronically

Unless you tell us otherwise in accordance with the procedures described herein, we will provide electronically to you through the DocuSign system all required notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to you during the course of our relationship with you. To reduce the chance of you inadvertently not receiving any notice or disclosure, we prefer to provide all of the required notices and disclosures to you by the same method and to the same address that you have given us. Thus, you can receive all the disclosures and notices electronically or in paper format through the paper mail delivery system. If you do not agree with this process, please let us know as described below. Please also see the paragraph immediately above that describes the consequences of your electing not to receive delivery of the notices and disclosures

electronically from us.

How to contact Howard County Government:

You may contact us to let us know of your changes as to how we may contact you electronically, to request paper copies of certain information from us, and to withdraw your prior consent to receive notices and disclosures electronically as follows:

To contact us by email send messages to: glovelace@howardcountymd.gov

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Operating Systems:	Windows® 2000, Windows® XP, Windows
	Vista®; Mac OS® X
Browsers:	Final release versions of Internet Explorer® 6.0
	or above (Windows only); Mozilla Firefox 2.0
	or above (Windows and Mac); Safari [™] 3.0 or
	above (Mac only)
PDF Reader:	Acrobat® or similar software may be required
	to view and print PDF files
Screen Resolution:	800 x 600 minimum
Enabled Security Settings:	Allow per session cookies

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