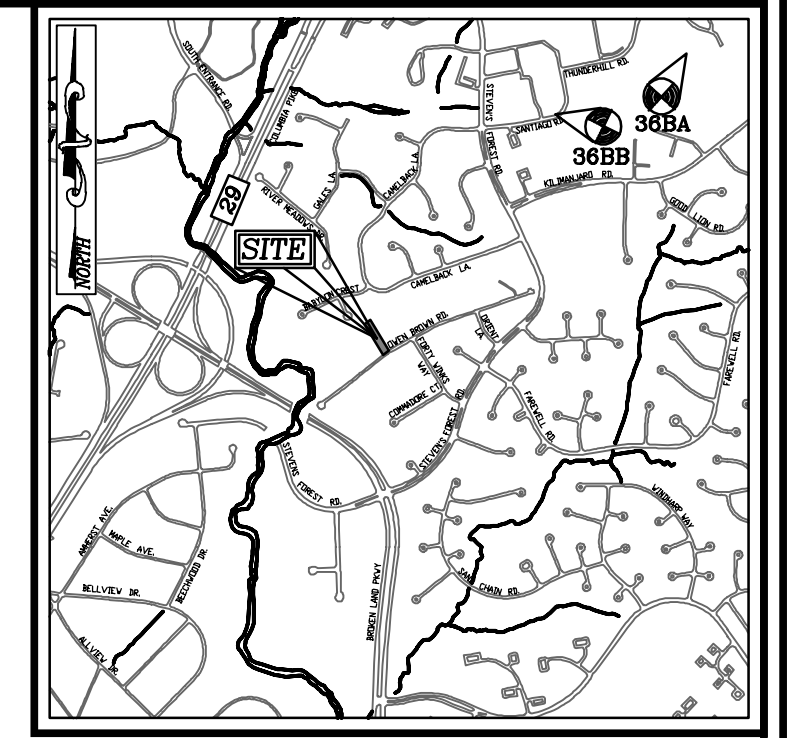


GENERAL NOTES

- 1. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT 410.331-1888 AT LEAST TWO (2) WORKING DAYS PRIOR TO START OF WORK.
2. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
3. ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
4. THE SUBJECT PROPERTY IS ZONED R-20 IN ACCORDANCE WITH THE 10/6/2013 COMPREHENSIVE ZONING PLAN AND IS SUBJECT TO THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS EFFECTIVE 10/7/2007 PER COUNCIL BILLS 47-2007 AND 48-2007. DEVELOPMENT OR CONSTRUCTION ON THIS PROPERTY MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, ALTERNATIVE COMPLIANCE PETITION OR GRADING AND BUILDING PERMIT APPLICATIONS.
5. THE PROJECT BOUNDARY SHOWN HEREON IS BASED ON L21419/F.129 AND A FIELD RUN BOUNDARY PERFORMED BY VOGEL ENGINEERING + TIMMONS GROUP, DATED MAY 2022.
6. THE EXISTING TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD RUN SURVEY PERFORMED BY VOGEL ENGINEERING + TIMMONS GROUP, DATED MAY 2022, AND IS SUPPLEMENTED WITH CURRENT HOWARD COUNTY GIS DATA.
7. THE COORDINATES AND ELEVATIONS SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM, HOWARD COUNTY CONTROL STATIONS 368A AND 368B WERE USED FOR THIS PROJECT.
8. THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
9. STORMWATER MANAGEMENT IS TO BE PROVIDED FOR THIS DEVELOPMENT BY ENVIRONMENTAL SITE DESIGN UTILIZING DRYWELLS (M-5) AND A-2 PERMEABLE PAVEMENT. ALL STORMWATER MANAGEMENT DEVICES SHALL BE PRIVATE AND ARE TO BE LOCATED WITHIN THE PRIVATE LOT. ALL STORMWATER MANAGEMENT DEVICES ARE TO BE OWNED AND MAINTAINED BY THE PROPERTY OWNER.
10. EXISTING UTILITIES ARE LOCATED FROM TOPOGRAPHIC SURVEY, AS-BUILT DRAWINGS AND HOWARD COUNTY GIS DATA. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE.
11. ANY DAMAGE TO THE COUNTY'S RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
12. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING:
1-800-257-1133
BCE (CONSTRUCTION SERVICES) 410-637-8713
BGE (EMERGENCY) 410.685-0123
BUREAU OF UTILITIES 410-313-4900
COLONIAL PIPELINE CO. 410-796-1390
MISS UTILITY 1-800-257-7777
STATE HIGHWAY ADMINISTRATION 410-531-5533
VERIZON 1-800-743-0933
13. THIS PROPERTY IS NOT LOCATED IN A HISTORIC DISTRICT.
14. THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
- WATER SERVICE FOR THIS PROJECT IS TO BE PROVIDED BY SERVICE CONNECTIONS FROM CONTRACT NO. 24-0934-D.
- SEWER SERVICE FOR THIS PROJECT IS TO BE PROVIDED BY SERVICE CONNECTIONS FROM CONTRACT NO. 319-5.
15. WATER AND SEWER SERVICE WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 18.122.B OF THE HOWARD COUNTY CODE. PUBLIC WATER AND SEWER ALLOCATIONS WILL BE GRANTED AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF CAPACITY IS AVAILABLE AT THAT TIME.
16. CHG ELEVATIONS ARE LOCATED AT THE PROPERTY LINE/EDGE OF EASEMENT.
17. ALL WATER HOUSE CONNECTIONS SHALL BE OUTSIDE METER SETTING UNLESS OTHERWISE NOTED ON THE PLANS OR IN SPECIFICATIONS.
18. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
19. DRIVEWAY ACCESS SHALL BE PROVIDED PRIOR TO ISSUANCE OF AN USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLING TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A) WIDTH - 12' (16' IF SERVING MORE THAN ONE RESIDENCE)
B) SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1"-1.5" MIN.)
C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM 45 FOOT TURNING RADIUS
D) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING)
E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD EVENTS WITH NO MORE THAN 1' DEPTH OVER THE DRIVEWAY SURFACE
F) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE
20. FOR DRIVEWAY ENTRANCE DETAILS, REFER TO THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD DETAIL R-6.06.
21. THERE ARE NO FOREST, WETLANDS, WETLAND BUFFERS, FLOODPLAINS, STREAMS, STREAM BUFFERS OR ANY OTHER NATURAL RESOURCES LOCATED WITHIN THE DEVELOPMENT AREA.
22. NO RARE, THREATENED OR ENDANGERED SPECIES OR THEIR HABITATS WERE OBSERVED ON THE PROPERTY.
23. PUBLIC TRASH AND RECYCLING COLLECTION WILL BE PROVIDED ALONG OWEN BROWN ROAD WITHIN 5' OF THE EDGE OF THE ROADWAY.
24. TO THE BEST OF THE OWNER'S KNOWLEDGE, THERE ARE NO BURIAL GROUNDS, CEMETERIES, OR HISTORIC STRUCTURES LOCATED ON THIS PROPERTY.
25. OWEN BROWN ROAD IS CLASSIFIED AS A LOCAL PUBLIC ROAD. SITE ACCESS SHALL BE VIA A PRIVATE DRIVEWAY OFF OWEN BROWN ROAD.
26. THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS FOR FOREST CONSERVATION IN ACCORDANCE WITH SECTION 16.1202(b)(2)(i) OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION WITH FILING OF A DECLARATION OF INTENT WITH THE OWNER'S BUILDING PERMIT. THERE IS NO FOREST TO BE CLEARED AND THE SITE AREA IS LESS THAN 40,000 SF.
27. IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III, CHAPTER 4, SECTION 4.7(B)(5), A TRAFFIC STUDY IS NOT REQUIRED FOR THIS PROJECT.
28. A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN 200' OF ANY EXISTING, OR PROPOSED, MINOR ARTERIAL RIGHT OF WAY LINE (OR HEIGHT CLASSIFICATION).
29. NO STEEP SLOPES OVER 20,000 SF CONTIGUOUS ARE LOCATED ONSITE.
30. CERTIFIED TEST PITS HAVE BEEN PROVIDED TO VERIFY THE LOCATION OF GROUNDWATER AND/OR ROCK. TWO OPEN TEST PITS WERE OBSERVED BY VOGEL ENGINEERING + TIMMONS GROUP ON JULY 7, 2023. NO ROCK OR GROUNDWATER WAS FOUND.
31. AN ENVIRONMENTAL CONCEPT PLAN (ECP-23-018) WAS APPROVED ON MAY 31, 2023.
32. PUBLIC STREET TREES ARE NOT REQUIRED FOR THIS PROJECT.
33. THE LANDSCAPE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. A FINANCIAL SURETY IN THE AMOUNT OF \$1,500.00 FOR THE REQUIRED 5 SHADE TREES TO BE PROVIDED SHALL BE POSTED WITH THE GRADING PERMIT FOR THIS PLAN.
34. IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III, CHAPTER 2, SECTION 2.9.B, PARKING IS REQUIRED AT TWO (2) SPACES PER UNIT. OFF STREET PARKING TO INCLUDE GARAGE SPACE AND DRIVEWAY. GARAGES COUNT AS A FULL SPACE. THE GARAGE SPACE SHALL NOT BE CONVERTED TO LIVING SPACE AND SHALL ONLY BE UTILIZED FOR VEHICULAR PARKING.
35. THERE IS NO RIGHT-OF-WAY DEDICATION REQUIRED OR PROPOSED FOR THIS PROJECT. THE RIGHT-OF-WAY SHOWN IS ONLY TO BE RESERVED FOR FUTURE CONSIDERATION.

SITE DEVELOPMENT PLAN
SAMES PROPERTY
9792 OWEN BROWN ROAD
COLUMBIA, MARYLAND 21045

BENCHMARKS
HOWARD COUNTY BENCHMARK - 368A
N 562135.54 E 1357571.67 ELEV. 416.77
HOWARD COUNTY BENCHMARK - 368B
N 561504.23 E 1356203.72 ELEV. 409.25



VICINITY MAP
SCALE: 1"=2000'
ADC MAP COORDINATE: 33-B2

LEGEND

- EXISTING MAILBOX
EXISTING VERIZON
EXISTING SANITARY MANHOLE
EXISTING FIRE HYDRANT
EXISTING BOLLARD
EXISTING WATER METER
EXISTING WATER LINE
EXISTING SEWER LINE
PROPERTY LINE
FUTURE RIGHT-OF-WAY LINE
EXISTING TREELINE
BOUNDARY RESTRICTION LINE
EXISTING TREES

SHEET INDEX table with columns: DESCRIPTION, SHEET NO.
COVER SHEET AND ARCHITECTURAL DETAILS 1 OF 6
SITE LAYOUT AND LANDSCAPE PLAN NOTES AND DETAILS 2 OF 6
SOILS MAP, GRADING, SOIL EROSION AND SEDIMENT CONTROL 3 OF 6
STORMWATER MANAGEMENT AND DRAINAGE AREA MAP 4 OF 6
SITE DETAILS, ESDV AND STORMWATER MANAGEMENT NOTES AND DETAILS 5 OF 6
GRADING, SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS 6 OF 6

OWNER/DEVELOPER

DAVID L. SAMES
11637 SUN CIRCLE WAY - UNIT 221
COLUMBIA, MD 21044
443-707-0389

SITE ANALYSIS DATA

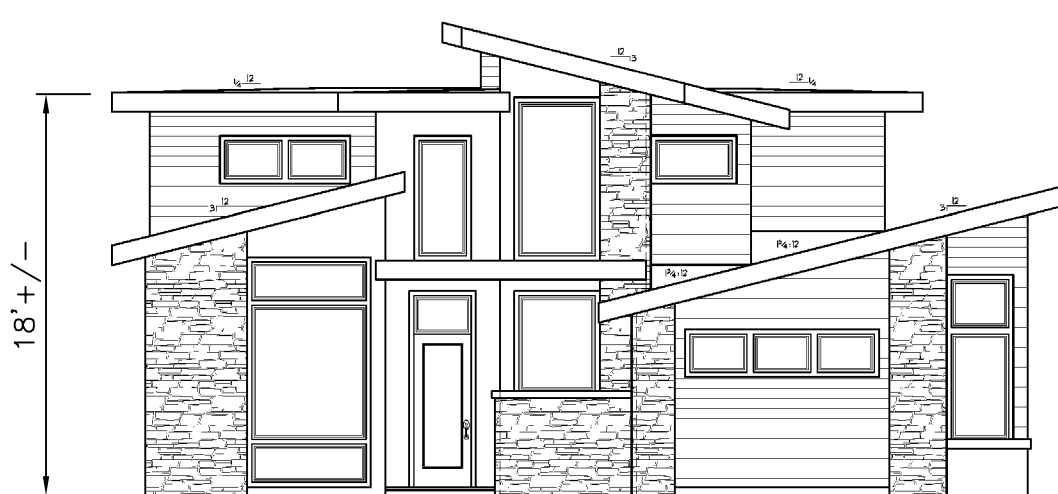
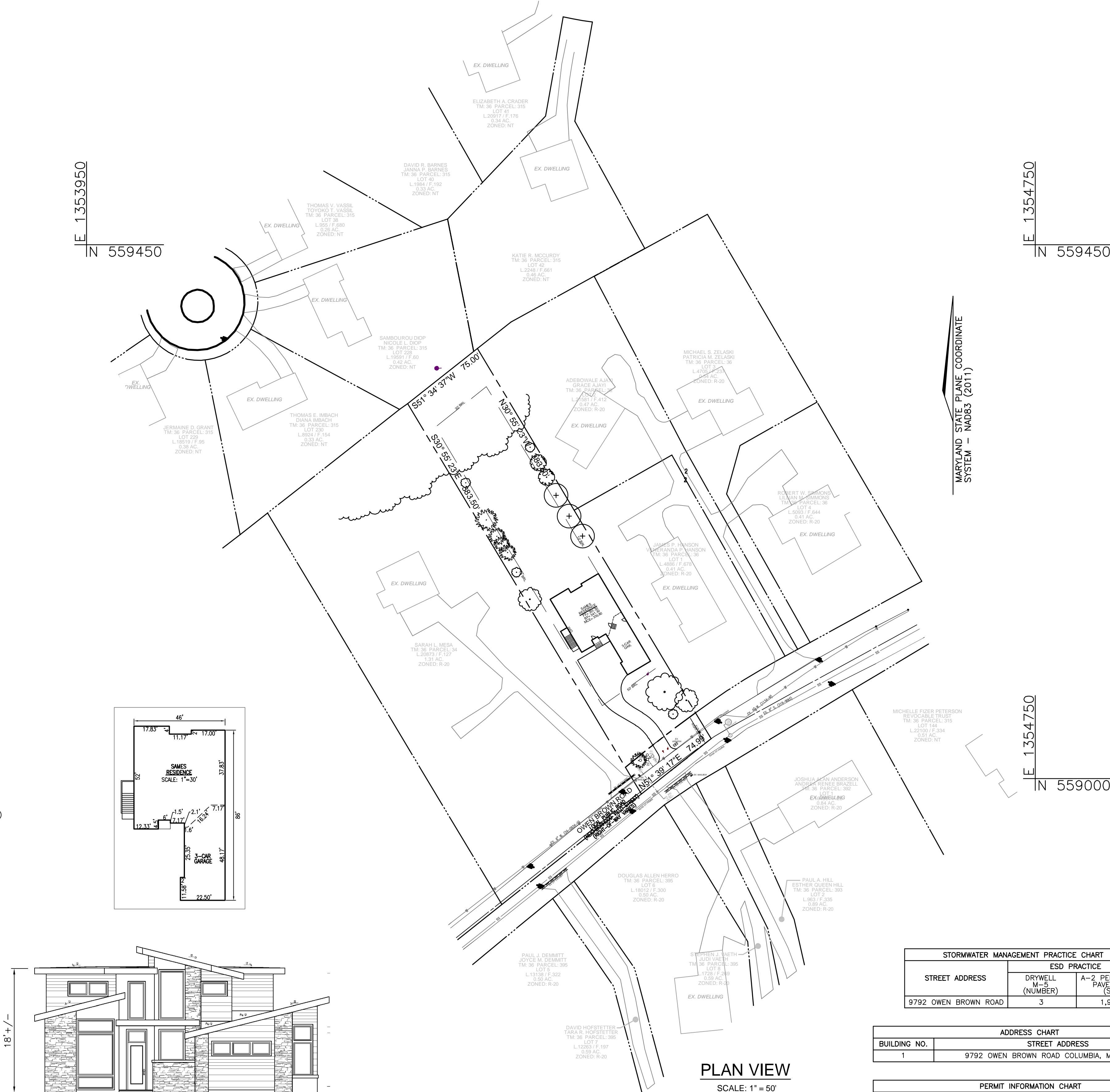
- A. TOTAL PROJECT AREA: 0.65 AC.
B. AREA OF PLAN SUBMISSION: 0.65 AC.
C. LIMIT OF DISTURBANCE: 0.31 AC.
D. PRESENT ZONING DESIGNATION: R-20 RESIDENTIAL
E. PROPOSED USES FOR SITE AND STRUCTURES: RESIDENTIAL SINGLE-FAMILY DETACHED (SFD)
F. FLOOR SPACE ON EACH LEVEL OF BUILDING (PER USE): N/A
G. TOTAL NUMBER OF UNITS ALLOWED: 1 SFD
H. TOTAL NUMBER OF UNITS PROPOSED: 1 SFD
I. MAXIMUM NUMBER OF EMPLOYEES/TEENANTS ON SITE, PER USE: N/A
J. NUMBER OF PARKING SPACES REQUIRED: 2.5
K. NUMBER OF PARKING SPACES PROVIDED: 3
L. OPEN SPACE ON SITE: N/A
M. AREA OF RECREATIONAL OPEN SPACE REQUIRED: N/A
N. BUILDING COVERAGE OF SITE: 0.069 AC. (10.61%)
O. DPZ FILE REFERENCES: ECP-23-018
P. FLOOR AREA RATIO: N/A

PARKING TABULATION

- TOTAL NUMBER OF DWELLING UNITS PROPOSED: 1 SFD
OFF-STREET PARKING SPACES REQUIRED: 2 (2 SPACES PER SFD UNIT)
OVERFLOW/GUEST PARKING SPACES REQUIRED: 0.5 (0.5 SPACES PER SFD UNIT)
TOTAL PARKING SPACES REQUIRED: 2.5 PARKING SPACES
TOTAL PARKING SPACES PROVIDED: 3 OFF-STREET SPACES (IN GARAGE)

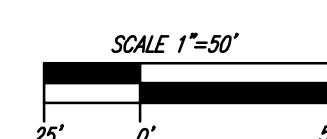
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Approved by: Chad Edmondson 4/4/2024
Chief, Development Engineering Division
Approved by: Lynda Eschenberg 4/5/2024
Chief, Division of Land Development
Director



PLAN VIEW

SCALE: 1" = 50'



STORMWATER MANAGEMENT PRACTICE CHART table with columns: STREET ADDRESS, DRYWELL (NUMBER), A-2 PERMEABLE PAVEMENT (SF)
9792 OWEN BROWN ROAD, 3, 1,915

ADDRESS CHART table with columns: BUILDING NO., STREET ADDRESS
1, 9792 OWEN BROWN ROAD COLUMBIA, MD 21045

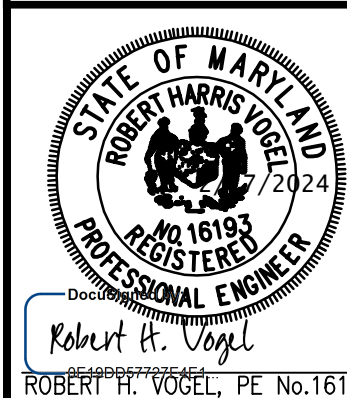
PERMIT INFORMATION CHART table with columns: SUBDIVISION NAME, SECTION/AREA, LOT/PARCEL #, PLAT # OR L/F GRID NO., ZONING, TAX MAP, ELECT. DIST., CENSUS TR.
N/A, N/A, 526, L21419/F.129, 9, R-20, 36, 6TH, 606603

REVISION table with columns: NO., REVISION, DATE

SITE DEVELOPMENT PLAN
COVER SHEET AND ARCHITECTURAL DETAILS
SAMES PROPERTY
9792 OWEN BROWN ROAD
COLUMBIA, MD 21045

TAX MAP: 36 GRID: 9 ZONED: R-20 PARCEL: 526
6TH ELECTION DISTRICT L.21419 / F.129 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 WWW.TIMMONS.COM



DESIGN BY: RHV
DRAWN BY: MDA
CHECKED BY: RHV
DATE: JANUARY 2024
SCALE: AS SHOWN
W.O. NO.: 53185

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16183, EXPIRATION DATE: 08-27-2024

1 SHEET OF 6

LANDSCAPE NOTES:

- AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
- THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS GIVEN, DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD, AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE HOWARD COUNTY LANDSCAPE MANUAL.
- PLANTINGS SHOWN HEREON ARE THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL DURING THE CONSTRUCTION OF THE FINAL PLAN.
- SURETY FOR THE PROPOSED LANDSCAPING SHALL BE BASED ON THE NUMBER OF PLANTINGS PROVIDED.

LANDSCAPE SCHEDULE NOTES:

- ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT AN SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH HD PLANTING SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLANTING DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

LANDSCAPE SURETY NOTE:

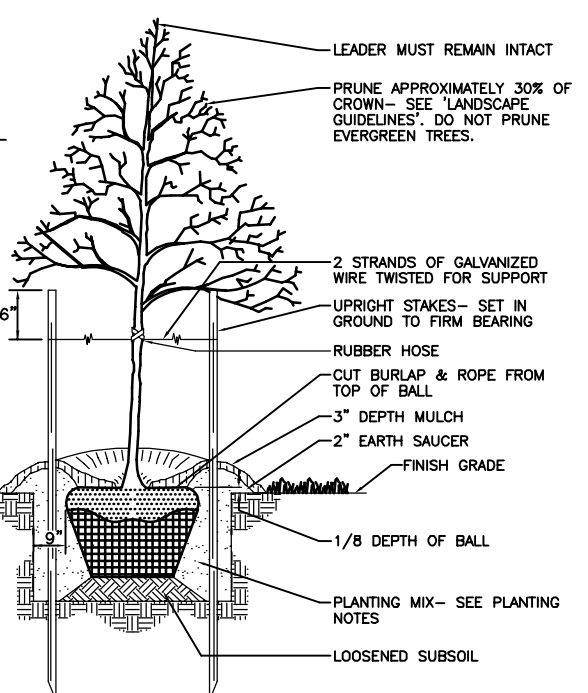
- THIS LANDSCAPE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. A FINANCIAL SURETY IN THE AMOUNT OF \$1,500.00 FOR THE REQUIRED 5 SHADE TREES TO BE PROVIDED SHALL BE POSTED WITH THE GRADING PERMIT FOR THIS PLAN.

LANDSCAPING PLANT LIST				
SYMBOL	KEY	QUAN.	BOTANICAL NAME	SIZE
	AC	3	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE	2.5"-3" CAL.
	CM	2	LAGERSTROMIA INDICA CRAPEMYRTLE	6'-8" HGT.

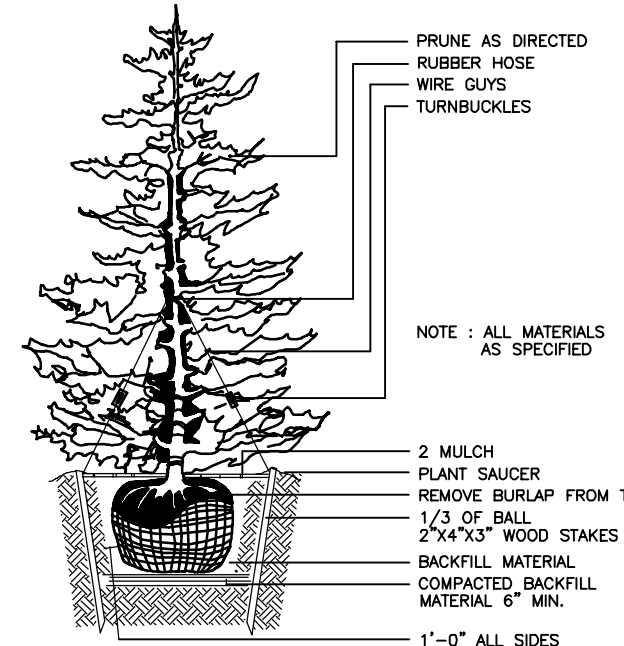
SCHEDULE A: PERIMETER LANDSCAPE EDGE					
CATEGORY	ADJACENT TO PERIMETER PROPERTIES AND ROADWAYS				TOTAL
PERIMETER/FRONTAGE DESIGNATION	1	2	3	4	
LANDSCAPE TYPE	A	A	A	A	
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	75'	384'	75'	384'	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	YES*	YES*	YES*	YES*	
	70'	70'	75'	77'	
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	
NUMBER OF PLANTS REQUIRED (IF REMAINING)	75'	314'	--	307'	
SHADE TREES	1:60	1:60	5	1:60	11
EVERGREEN TREES	--	--	--	--	--
SHRUBS	--	--	--	--	--
NUMBER OF PLANTS PROVIDED	1	1	--	4	6
SHADE TREES	--	5	--	--	5
EVERGREEN TREES	--	2	--	--	2
OTHER (3:1 SUBSTITUTION)	1*	8*	--	2*	*11
SHRUBS (10:1 SUBSTITUTION)					
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)					
*EXISTING TREES TO REMAIN FOR CREDIT					

NOTES:

- SEE LANDSCAPE SPECIFICATION GUIDELINES FOR BALANCING, MINORITARIAN METROPOLITAN AREAS FOR ALL MATERIALS, PRODUCTS, AND PROCEDURE SPECIFICATIONS.
- SEE LANDSCAPE GUIDELINES FOR SUPPORTING TREES LARGER THAN 2-1/2" CALIPER.
- PLACE UPRIGHT STAKES PARALLEL TO MAINS & BALDINGS.
- KEEP MULCH 1" FROM TRUNK.
- SEE ARCHITECTURAL PLANS FOR ADDITIONAL PLANTINGS WHICH EXCEED HOWARD COUNTY MINIMUM REQUIREMENTS.
- TREES ARE NOT TO BE PLANTED OVER PRIVATE SEWER EASEMENT.



TREE PLANTING AND STAKING
DECIDUOUS TREES UP TO 2-1/2" CALIPER NOT TO SCALE



TYPICAL EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Declassified by: Chad Edmondson 4/4/2024
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

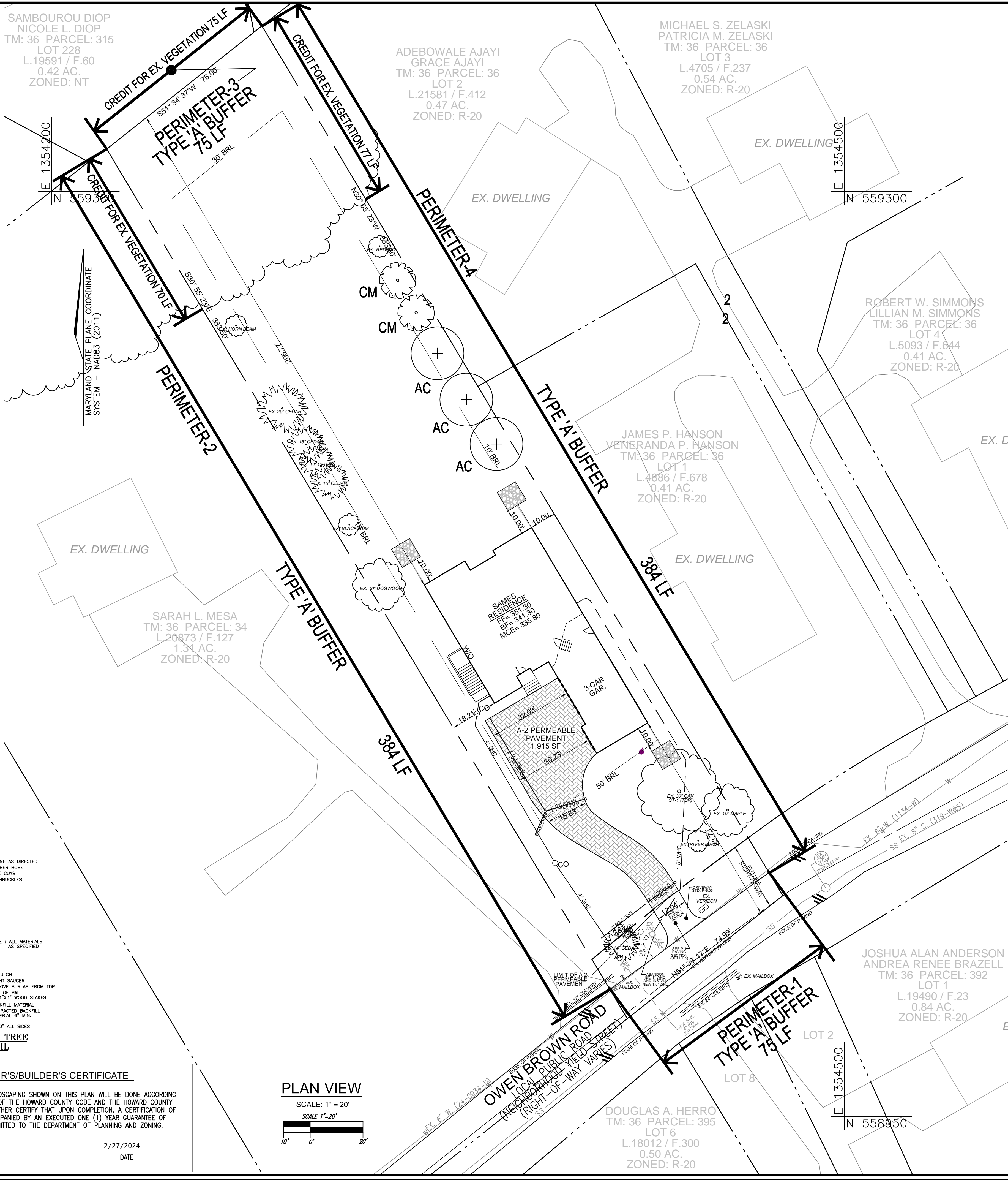
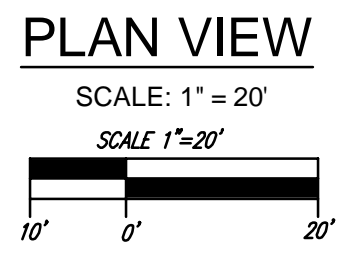
Declassified by: Chad Edmondson 4/5/2024
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Declassified by: Lynnda Eisenberg 4/5/2024
 DIRECTOR DATE

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Declassified by: David L. Sames 2/27/2024
 SIGNATURE OF DEVELOPER DATE



LEGEND

	EXISTING MAILBOX
	EXISTING VERIZON
	EXISTING SANITARY MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING BOLLARD
	EXISTING WATER METER
	EXISTING WATER LINE
	EXISTING SEWER LINE
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	FUTURE RIGHT-OF-WAY LINE
	EXISTING TREELINE
	BOUNDARY RESTRICTION LINE
	1.5" WATER HOUSE CONNECTION
	4" SEWER HOUSE CONNECTION
	ROOF DRAIN / UNDER DRAIN
	PUBLIC SEWER
	DRYWELL
	EXISTING TREES
	PROPOSED LANDSCAPING

WATER NOTE:
 ALL WATER CONNECTIONS SHALL BE 1-1/2" WITH 1" OUTSIDE METER SETTINGS, UNLESS OTHERWISE NOTED. REFER TO HOWARD COUNTY DETAILS W-3.28 OUTSIDE METER SETTINGS (SEE DETAIL, SHEET 5).

OWNER/DEVELOPER
 DAVID L. SAMES
 11637 SUN CIRCLE WAY - UNIT 221
 COLUMBIA, MD 21044
 443-707-0389

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
SITE LAYOUT AND LANDSCAPE PLAN
NOTES AND DETAILS
SAMES PROPERTY
 9792 OWEN BROWN ROAD
 COLUMBIA, MD 21045

TAX MAP: 36 GRID: 9 ZONED: R-20 PARCEL: 526
 6TH ELECTION DISTRICT L.21419 / F.129 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

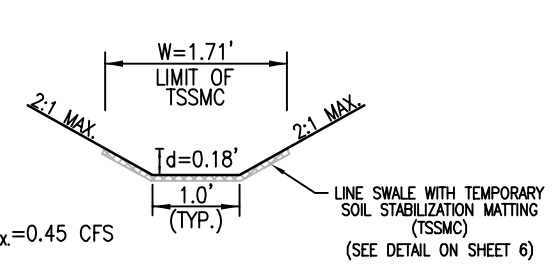
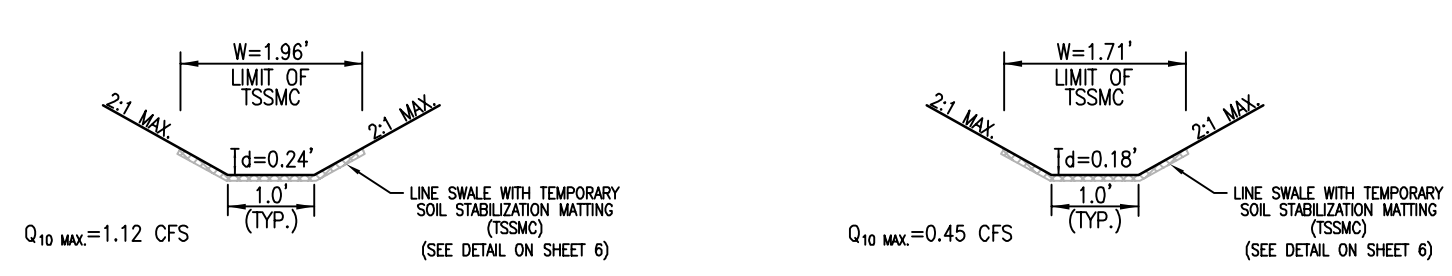
TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: RHV
 DRAWN BY: MDA
 CHECKED BY: RHV
 DATE: JANUARY 2024
 SCALE: AS SHOWN
 W.O. NO.: 53185

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16193 EXPIRATION DATE: 09-27-2024

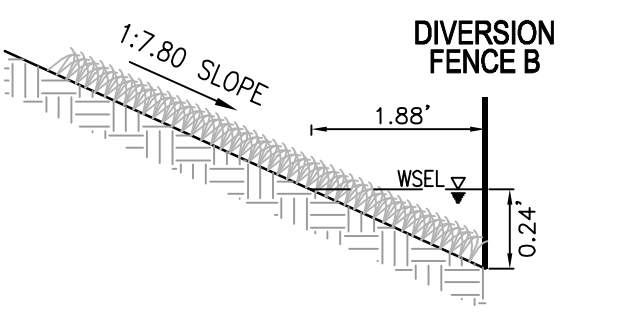
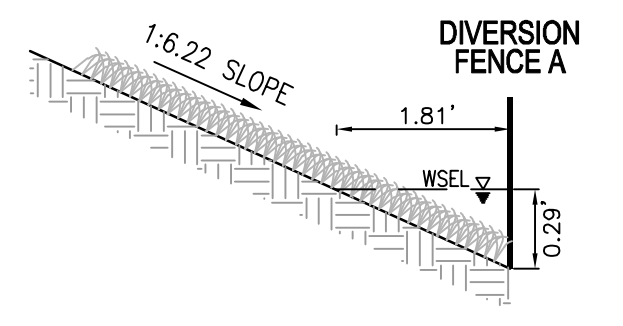
Robert H. Vogel
 ROBERT H. VOGEL, PE No. 16193

2 SHEET OF 6



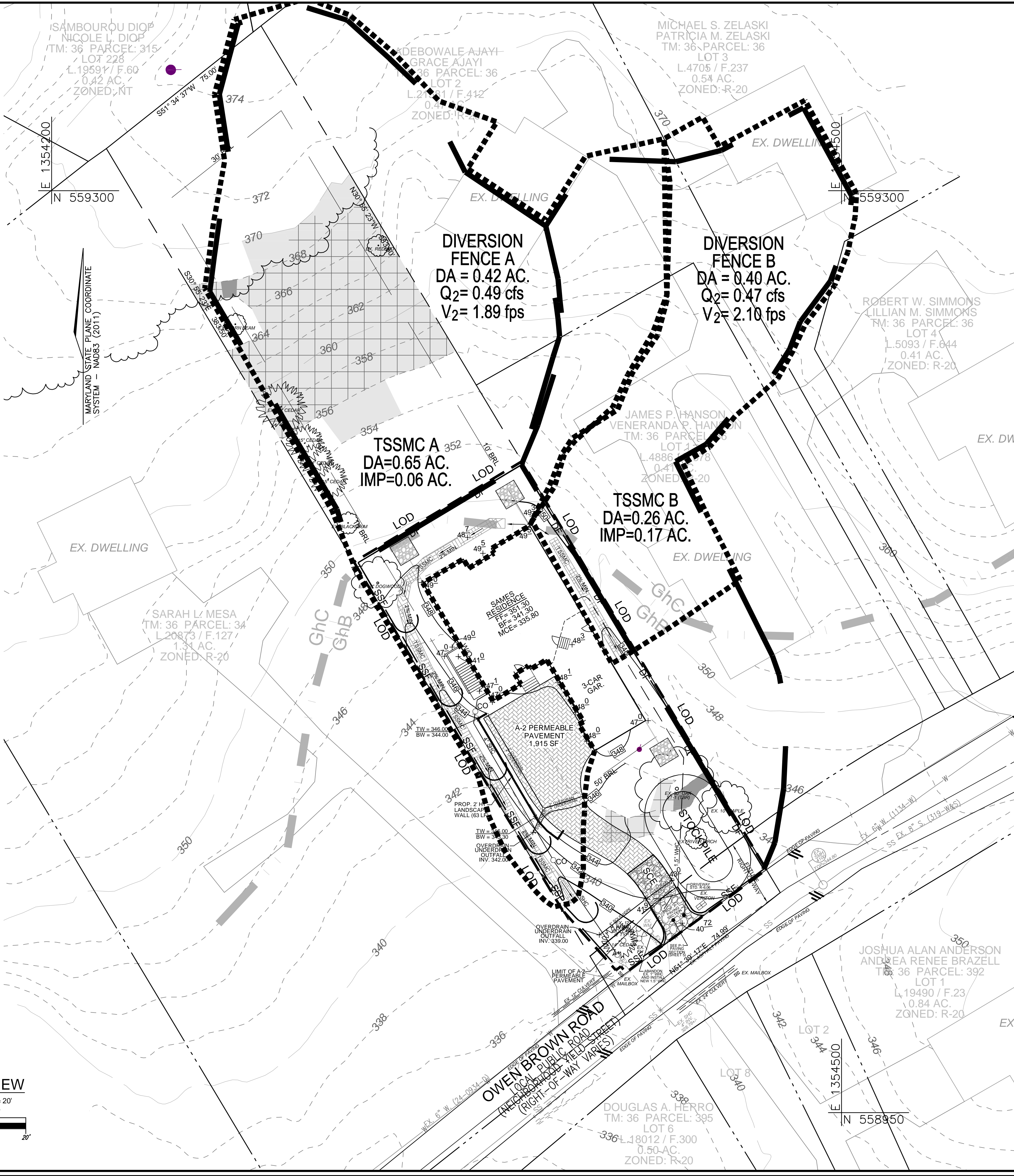
TEMPORARY SOIL STABILIZATION MATTING 'A'
A = 0.65 AC.
IMP. = 0.06 AC.
GRASS = 0.59 AC.
T_c = 10.0 MIN.
i₁₀ = 6.6
C = 0.26
Q₁₀ = (A)(C)(i₁₀)
Q₁₀ = (0.65)(0.26)(6.6)
Q₁₀ max = 1.12 CFS
V₁₀ max = 3.15 FPS
S = 5.8%
n = 0.035
SHEAR STRESS = 0.621

TEMPORARY SOIL STABILIZATION MATTING 'B'
A = 0.26 AC.
IMP. = 0.17 AC.
GRASS = 0.09 AC.
T_c = 10.0 MIN.
i₁₀ = 6.6
C = 0.26
Q₁₀ = (A)(C)(i₁₀)
Q₁₀ = (0.26)(0.26)(6.6)
Q₁₀ max = 0.45 CFS
V₁₀ max = 1.88 FPS
S = 2.9%
n = 0.035
SHEAR STRESS = 0.24



DIVERSION FENCE A
NOT TO SCALE
A = 0.42 AC.
IMP. = 0.02 AC.
GRASS = 0.40 AC.
T_c = 10.0 MIN.
i₂ = 4.5
C = 0.26
Q₂ = (A)(C)(i₂)
Q₂ = (0.42)(0.26)(4.5)
Q₂ max = 0.49 CFS
V₂ max = 1.89 FPS
S = 3.20%
n = 0.035

DIVERSION FENCE B
NOT TO SCALE
A = 0.40 AC.
IMP. = 0.14 AC.
GRASS = 0.26 AC.
T_c = 10.0 MIN.
i₂ = 4.5
C = 0.26
Q₂ = (A)(C)(i₂)
Q₂ = (0.40)(0.26)(4.5)
Q₂ max = 0.47 CFS
V₂ max = 2.10 FPS
S = 4.90%
n = 0.035



LEGEND

- EXISTING CONTOUR
- - - PROPOSED CONTOUR
- ☒ EXISTING MAILBOX
- ⊠ EXISTING VERIZON
- ⊞ EXISTING SANITARY MANHOLE
- ⊕ EXISTING FIRE HYDRANT
- ⊙ EXISTING BOLLARD
- EXISTING WATER METER
- EXISTING WATER LINE
- EXISTING SEWER LINE
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- FUTURE RIGHT-OF-WAY LINE
- EXISTING TREE LINE
- LIMIT OF DISTURBANCE
- BOUNDARY RESTRICTION LINE
- 1.5" WATER HOUSE CONNECTION
- 4" SEWER HOUSE CONNECTION
- ROOF DRAIN / UNDER DRAIN
- PUBLIC SEWER
- DRYWELL
- EXISTING TREES
- SOILS BOUNDARY
- STABILIZED CONSTRUCTION ENTRANCE
- SUPER SILT FENCE
- DIVERSION FENCE
- SILT FENCE
- TEMPORARY SOIL STABILIZATION MATTING CHANNEL
- TSSMC DRAINAGE AREA
- DIVERSION FENCE DRAINAGE AREA
- EXISTING MODERATE SLOPES (15% - 24.9%)
- EXISTING MILD SLOPES (25% OR GREATER)
- EXISTING STEEP SLOPES (25% OR GREATER)

- NOTES:**
- REFER TO SHEET 6 FOR SEQUENCE OF CONSTRUCTION.
 - REFER TO SHEET 6 FOR STANDARD DETAILS AND STABILIZATION NOTES.
 - SUPER SILT FENCE SHALL BE CURLED UPHILL MORE MORE THAN 35' APART.
 - STOCKPILING WILL BE PERMITTED ONSITE.

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	GROUP	K-FACTOR	ERODIBLE	HYDRIC
GhB	GLENELG-URBAN LAND COMPLEX, 0-8 PERCENT SLOPES	B	.43	YES	NO
GhC	GLENELG-URBAN LAND COMPLEX, 8-15 PERCENT SLOPES	B	.43	YES	NO

SOILS INFORMATION FROM USDA WEB SOIL SURVEY WEBSITE
 -K VALUES PER: <https://www.howardsoil.org/documents> - K FACTORS (USE KW)
 -HOWARD COUNTY SOILS MAP NUMBER 5 - SYKEVILLE NE
 NOTE:
 HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT

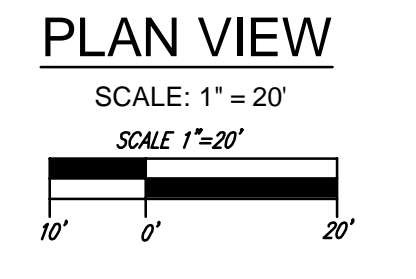
OWNER/DEVELOPER
 DAVID L. SAMES
 11637 SUN CIRCLE WAY - UNIT 221
 COLUMBIA, MD 21044
 443-707-0389

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 DocuSigned by: *Alexander Bratchie* 4/4/2024
 HOWARD S.C.D. DATE

OWNER/DEVELOPER CERTIFICATION:
 I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERFORMING ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.
 David L. Sames 2/27/2024
 OWNER/DEVELOPER SIGNATURE DATE
 David L. Sames
 PRINTED NAME & TITLE

DESIGN CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND FEASIBLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 DocuSigned by: *Robert H. Vogel* 2/27/2024
 DESIGNER'S SIGNATURE DATE
 ROBERT H. VOGEL MD REGISTRATION NO. 16193
 PRINTED NAME

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 DocuSigned by: *Chad Edmondson* 4/4/2024
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
 DocuSigned by: *[Signature]* 4/5/2024
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
 DocuSigned by: *Lynda Eschenberg* 4/5/2024
 DIRECTOR DATE



NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
 SOILS MAP, GRADING,
 SOIL EROSION AND SEDIMENT CONTROL
SAMES PROPERTY
 9792 OWEN BROWN ROAD
 COLUMBIA, MD 21045

TAX MAP: 36 GRID: 9 ZONED: R-20 PARCEL: 526
 6TH ELECTION DISTRICT L.21419 / F.129 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
 TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

DESIGN BY: RHV
 DRAWN BY: MDA
 CHECKED BY: RHV
 DATE: JANUARY 2024
 SCALE: AS SHOWN
 W.O. NO.: 53185

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE 09-27-2024

STATE OF MARYLAND
 ROBERT H. VOGEL, PE No.16193

3 SHEET OF 6

ESD SUMMARY TABLE	
LOT AREA:	0.65 AC
DISTURBED AREA:	13542 SF
HOUSE FOOTPRINT:	3026 SF
SIDEWALK AND DRIVEWAY:	2106 SF
TOTAL IMPERVIOUS AREA:	5132 SF
IMPERVIOUS PERCENTAGE:	38%
Rv:	0.39
Pe REQUIRED:	1.60"
Pe PROVIDED:	1.60"
ESDv REQUIRED:	704 CF
ESDv PROVIDED:	715 CF
Rev REQUIRED:	114 CF
Rev PROVIDED:	114 CF

DRAINAGE AREA #	SWM PRACTICE	TOTAL AREA (SF)	Rv	Rev (CF)	ESDv TARGET (CF)	ESDv MAX (CF)	ESDv PROVIDED (CF)
1	DRYWELL (M-5)	1064	0.95	22	127	135	127
2	DRYWELL (M-5)	1142	0.95	24	127	145	127
3	DRYWELL (M-5)	1200	0.95	25	127	152	127
4	PERMEABLE PAVING	1915	0.95	39	334	334	334
TOTAL ESDv PROVIDED:							715

ENVIRONMENTAL SITE DESIGN PRACTICE (CF)										
DRAINAGE AREA #	TREATED	FACILITY NUMBER	PERMEABLE PAVEMENT	MICRO BIORTENTION	RAIN GARDEN	BIO SWALE	DRY WELL	NRD	RD	ESDV VOLUME
1	1064	DW-1	0	0	0	0	1	0	0	127
2	1142	DW-2	0	0	0	0	1	0	0	127
3	1200	DW-3	0	0	0	0	1	0	0	127
4	1915		0	0	0	0	0	0	0	334
TOTAL PROVIDED:										715 of

PERMEABLE SURFACE UNDERDRAIN OUTFALL		
SWM DA #	UNDERDRAIN MIN. INVERT	OUTFALL LOCATION
DA 4	339.00	UNDERDRAIN TO OUTFALL TO EX. CULVERT
DA 4	342.00	UNDERDRAIN TO OUTFALL TO EX. CULVERT

TEST PIT DATA							
TEST PIT NUMBER	APPROX EXISTING GROUND ELEV.	APPROX PROPOSED GROUND ELEV.	INVERT FACILITY / PRACTICE	MIN. DEPTH TO GROUNDWATER (FT)	BOTTOM OF PIT (FT)	REQUIRED PIT DEPTH* (FT)	OBSERVATION
TP-1	345.50	345.50	340.00	5	335.00	10	NO ROCK OR WATER
TP-2	349.50	349.00	344.00	5	339.00	10	NO ROCK OR WATER

* REQUIRED DEPTH OR UNTIL REFUSAL

SOILS LEGEND						
SYMBOL	NAME / DESCRIPTION	GROUP	K-FACTOR	ERODIBLE	HYDRIC	
GhB	CLENELG-URBAN LAND COMPLEX, 0-8 PERCENT SLOPES	B	.43	YES	NO	
GhC	CLENELG-URBAN LAND COMPLEX, 8-15 PERCENT SLOPES	B	.43	YES	NO	

NOTE: HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL CROSBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT

ENVIRONMENTAL SITE DESIGN NARRATIVE:

- THERE ARE NO NATURAL AREAS LOCATED ON THE PROJECT SITE. THERE ARE NO STREAMS, FOREST, STEEP SLOPES, WETLANDS OR THEIR BUFFERS ON SITE AND NO DISTURBANCE TO ANY SUCH NATURAL FEATURES IS PROPOSED.
- NO DISTURBANCE TO THE NATURAL DRAINAGE PATTERNS IS PROPOSED.
- THE CONCEPTUAL REDUCTION IN IMPERVIOUS AREA THROUGH BETTER SITE DESIGN IS ACHIEVED THROUGH THE ENVIRONMENTAL SITE DESIGN (ESD) FOR THE PROJECT. THE ESD CONCEPT INCLUDES THE USE OF DRYWELLS (M-5) AND A-2 PERMEABLE PAVEMENT.
- SEDIMENT CONTROL FOR THIS SPECIFIC SITE PLAN WILL BE PROVIDED THROUGH THE USE OF PERIMETER CONTROLS INCLUDING DIVERSION FENCE AND SUPER SILT FENCE. SEDIMENT CONTROL SHALL BE IN ACCORDANCE WITH CURRENT REQUIREMENTS AND SHALL BE APPROVED BY THE HOWARD SOIL CONSERVATION DISTRICT.
- STORMWATER MANAGEMENT FOR THE PROJECT HAS BEEN CONCEPTUALLY MET THROUGH THE USE OF THREE (3) DRYWELLS (M-5) AND A-2 PERMEABLE PAVEMENT. THE RESULTS OF THE ENVIRONMENTAL SITE DESIGN FOR THIS PROJECT WILL REFLECT "WOODS IN GOOD CONDITION".

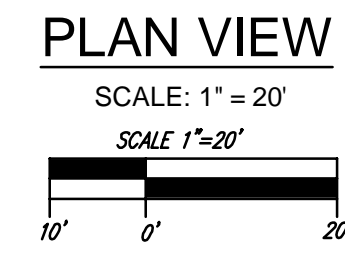
REQUIRED Pe = 1.60" PROVIDED Pe = 1.60"
 REQUIRED ESDv = 704 CU.FT. PROVIDED ESDv = 715 CU.FT.
 REQUIRED Rev = 114 CU.FT. PROVIDED Rev = 114 CU.FT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: *Chad Edmondson* 4/4/2024
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by: *Lynda Eschenberg* 4/5/2024
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by: *Lynda Eschenberg* 4/5/2024
 DIRECTOR DATE



LEGEND	
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING MAILBOX
	EXISTING VERIZON
	EXISTING SANITARY MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING BOLLARD
	EXISTING WATER METER
	EXISTING SEWER LINE
	EXISTING WATER LINE
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	FUTURE RIGHT-OF-WAY LINE
	EXISTING TREE LINE
	LIMIT OF DISTURBANCE
	BOUNDARY RESTRICTION LINE
	1.5" WATER HOUSE CONNECTION
	4" SEWER HOUSE CONNECTION
	ROOF DRAIN / UNDER DRAIN
	PUBLIC SEWER
	DRYWELL
	ESDv DRAINAGE AREA LABEL
	ESDv DRAINAGE DIVIDE
	EXISTING TREES
	SOILS BOUNDARY
	STABILIZED CONSTRUCTION ENTRANCE
	SUPER SILT FENCE
	DIVERSION FENCE
	SILT FENCE
	PERMANENT SOIL STABILIZATION MATTING CHANNEL
	EXISTING MODERATE SLOPES (15%-24.99%)
	EXISTING MILD SLOPES (20% OR GREATER)
	EXISTING STEEP SLOPES (25% OR GREATER)
	TEST PIT

SWM NOTE:
 REFER TO SHEET 5 FOR DRYWELL (DW) SIZE, NOTES AND DETAILS.

OWNER/DEVELOPER
 DAVID L. SAMES
 11637 SUN CIRCLE WAY - UNIT 221
 COLUMBIA, MD 21044
 443-707-0389

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
STORMWATER MANAGEMENT AND DRAINAGE AREA MAP
SAMES PROPERTY
 9792 OWEN BROWN ROAD
 COLUMBIA, MD 21045

TAX MAP: 36 GRID: 9 PARCEL: 526
 6TH ELECTION DISTRICT L.21419 / F.129 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: R.H.V.
 DRAWN BY: M.D.A.
 CHECKED BY: R.H.V.
 DATE: JANUARY 2024
 SCALE: AS SHOWN
 W.O. NO.: 53185

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2024

Robert H. Vogel, PE No. 16193

4 SHEET OF 6

HOWARD COUNTY CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES

R-4-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS

DEFINITION: THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION. PURPOSE: TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

CONDITIONS WHERE PRACTICE APPLIES: WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED. CRITERIA: A. SOIL PREPARATION

- 1. TEMPORARY STABILIZATION: A. SEEDING PREPARATION: SOIL MUST BE LOOSENED TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT...

- 2. PERMANENT STABILIZATION: A. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS...

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITION: THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER. PURPOSE: TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

CONDITIONS WHERE PRACTICE APPLIES: TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE STREAM OR FLOW.

- A. SEEDING: 1. SPECIFICATIONS: A. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW...

- B. MULCHING: 1. MATERIALS (IN ORDER OF PREFERENCE): A. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY...

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION: TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION. PURPOSE: TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES: EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

- A. SEED MIXTURES: 1. GENERAL USE: A. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE...

- B. SOIL TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER): 1. GENERAL USE: A. PERFORM CLASS OF TURFGRASS SOIL MUST BE MARYLAND STATE CERTIFIED...

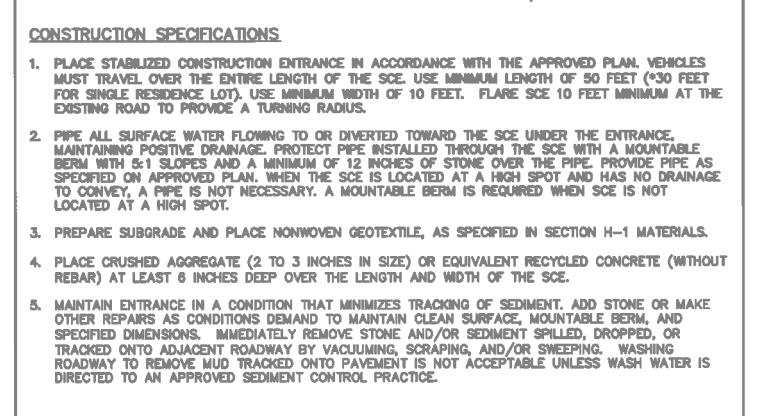
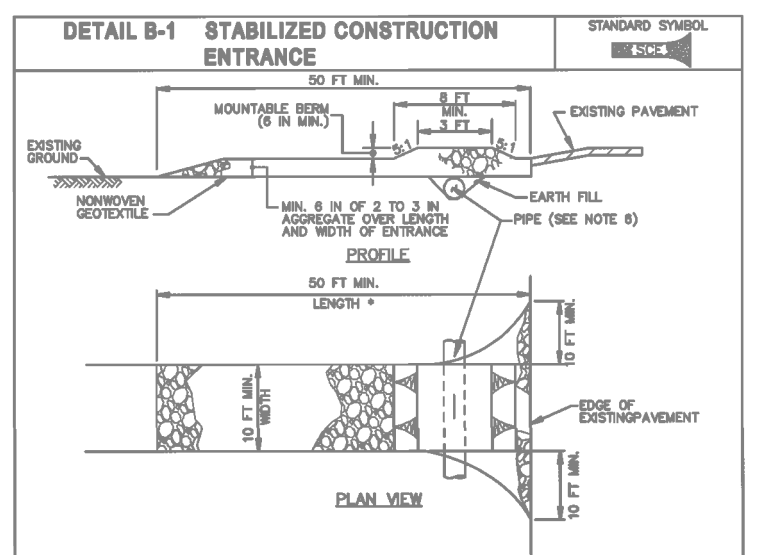


Table with 2 columns: MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and U.S. DEPARTMENT OF AGRICULTURE NATIONAL RESOURCE CONSERVATION SERVICE.

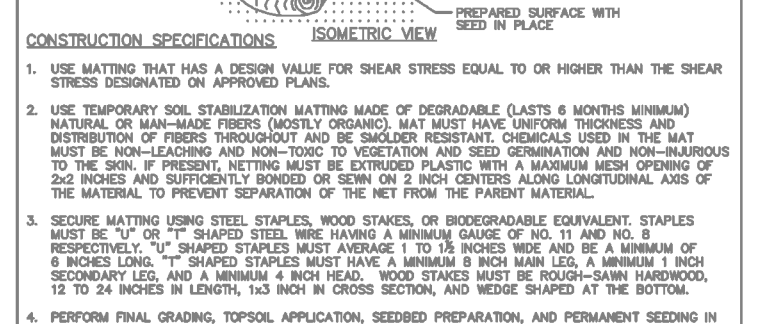
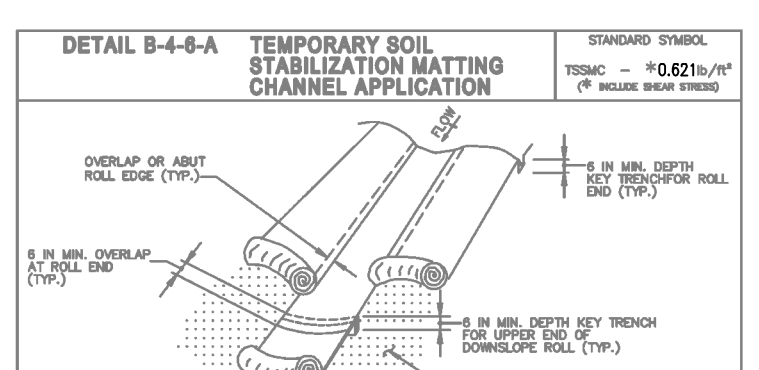


Table with 2 columns: MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and U.S. DEPARTMENT OF AGRICULTURE NATIONAL RESOURCE CONSERVATION SERVICE.

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

Table with 2 columns: MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and U.S. DEPARTMENT OF AGRICULTURE NATIONAL RESOURCE CONSERVATION SERVICE.

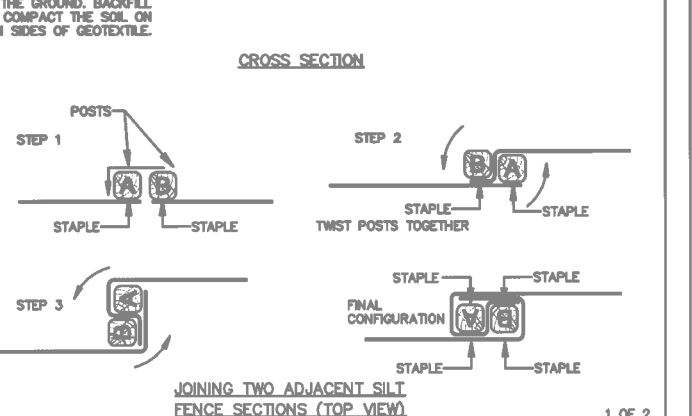
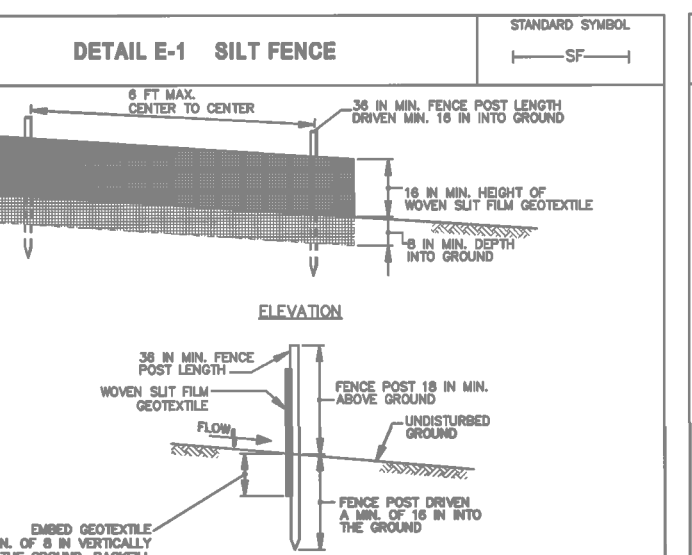


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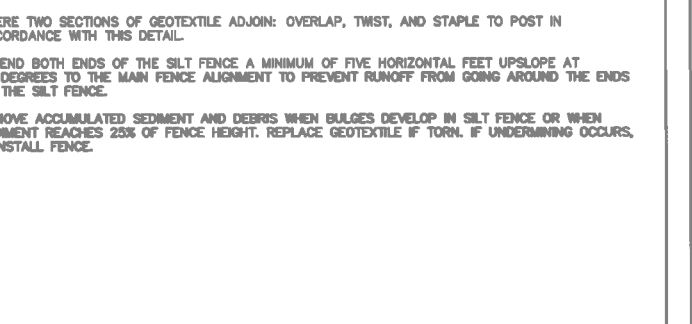
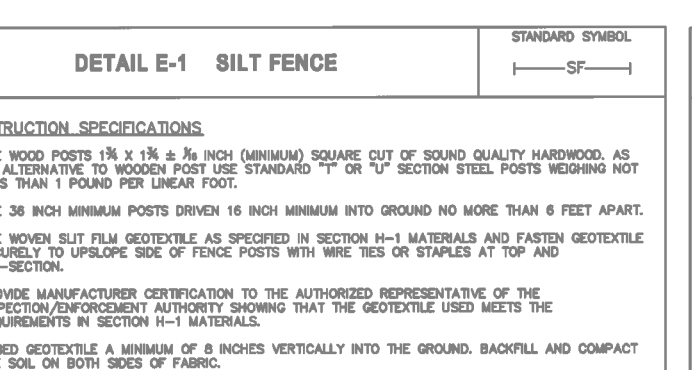


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B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

Table with 2 columns: MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and U.S. DEPARTMENT OF AGRICULTURE NATIONAL RESOURCE CONSERVATION SERVICE.

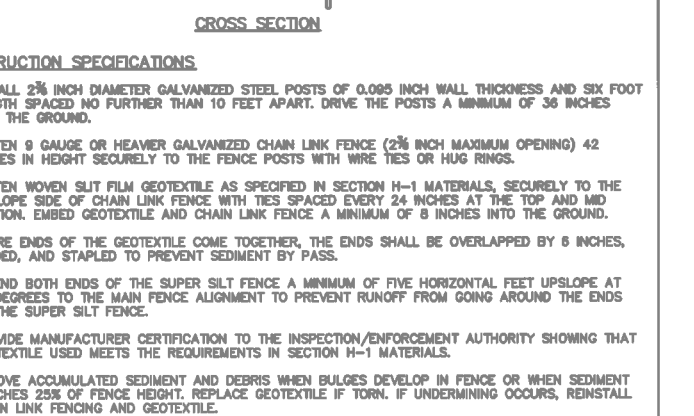
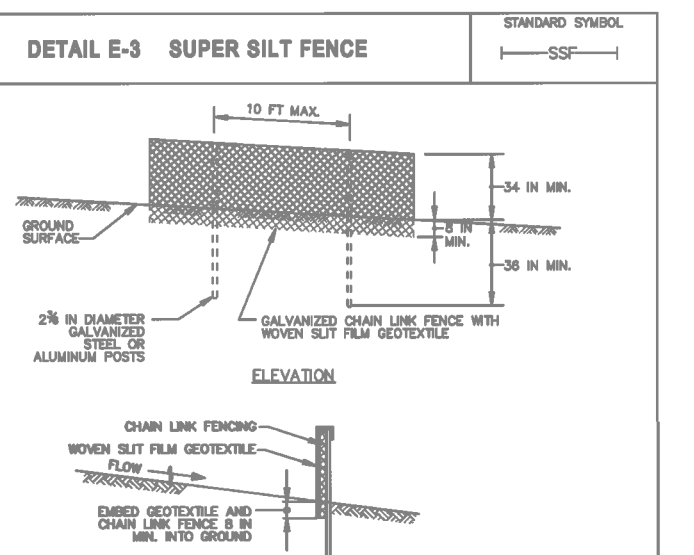


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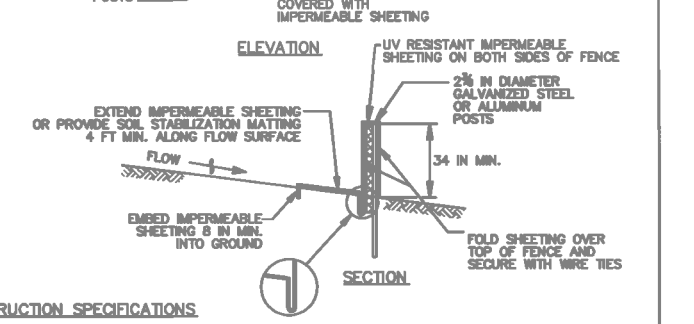
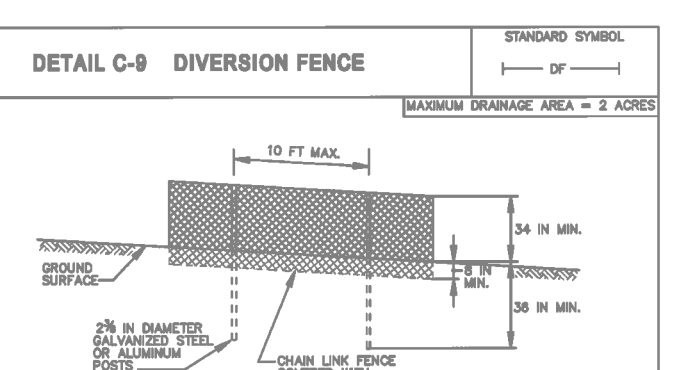


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B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

Table with 2 columns: MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and U.S. DEPARTMENT OF AGRICULTURE NATIONAL RESOURCE CONSERVATION SERVICE.

SEQUENCE OF CONSTRUCTION

- 1. OBTAIN GRADING PERMIT. (1 WEEK)
2. REQUEST A PRE-CONSTRUCTION MEETING WITH HOWARD COUNTY DPW, CONSTRUCTION INSPECTION DIVISION (410)-313-5712 PRIOR TO BEGINNING CONSTRUCTION. (1 DAY)
3. NOTIFY HOWARD COUNTY BUREAU OF INSPECTIONS AND PERMITS (410)-313-1880 AT LEAST 24 HOURS BEFORE STARTING ANY WORK. (1 DAY)
4. STAKEOUT LIMITS OF DISTURBANCE. (1 DAY)
5. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE. (1 DAY)
6. CLEARING AND GRUBBING AS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS. (1 DAY)
7. INSTALL DIVERSION FENCE AND SUPER SILT FENCE. (2 DAYS)
8. PERFORM BACKFILL CLEARING AND GRUBBING WITHIN LOD. (2 DAYS)
9. AFTER OBTAINING PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR TO PROCEED, ROUGH GRADE SITE (DO NOT GRADE SLOPES OR INSTALL STORMWATER MANAGEMENT FACILITIES UNTIL RETAIN SOIL FLOW TO GREATEST EXTENT POSSIBLE. (1 WEEK)
10. CONSTRUCT HOME. (6 MONTHS)
11. COMPLETE INSTALLATION OF WATER AND SEWER SERVICE CONNECTIONS. (3 MONTHS)
12. FINE GRADE SITE AND ESTABLISH SWALES AS SHOWN ON PLAN. (2 DAYS)
13. STABILIZE ALL SWALES WITH TEMPORARY SOIL STABILIZATION MATTING. (1 DAY)
14. CONSTRUCT DRIVEWELL FACILITIES AND DRIVEWAY, INCLUDING A-2 PERMEABLE PAVEMENT. (1 WEEK)
15. STABILIZE ALL OTHER DISTURBED AREAS AND AREAS OF GRADING. (1 DAY)
16. INSTALL PROJECT LANDSCAPING. (1 DAY)
17. UPON STABILIZATION OF ALL DISTURBED AREAS, AND WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE DIVERSION FENCE, SUPER SILT FENCE AND STABILIZED CONSTRUCTION ENTRANCE. (2 DAYS)

TEMPORARY SEEDING SUMMARY

Table with columns: HARNESS ZONE, SEED MIXTURE, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE.

TEMPORARY SEEDING SUMMARY

Table with columns: HARNESS ZONE, SEED MIXTURE, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE.

TEMPORARY SEEDING SUMMARY

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TEMPORARY SEEDING SUMMARY

Table with columns: HARNESS ZONE, SEED MIXTURE, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE.

PERMANENT SEEDING SUMMARY

Table with columns: HARNESS ZONE, SEED MIXTURE, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE.

PERMANENT SEEDING SUMMARY

Table with columns: HARNESS ZONE, SEED MIXTURE, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Chief, Development Engineering Division: 4/4/2024. Chief, Division of Land Development: 4/5/2024. Director: 4/5/2024.

OWNER/DEVELOPER CERTIFICATION: I HEREBY CERTIFY THAT ANY CLEARING, GRUBBING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN...

DESIGNER CERTIFICATION: I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS...

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT. Date: 4/4/2024.

PERMANENT SEEDING SUMMARY

Table with columns: HARNESS ZONE, SEED MIXTURE, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE.

PERMANENT SEEDING SUMMARY

Table with columns: HARNESS ZONE, SEED MIXTURE, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE.

PERMANENT SEEDING SUMMARY

Table with columns: HARNESS ZONE, SEED MIXTURE, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE.

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OWNER/DEVELOPER

DAVID L. SAMES
11637 SUN CIRCLE WAY - UNIT 221
COLUMBIA, MD 21044
443-707-0389

SITE DEVELOPMENT PLAN GRADING, SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

SAMES PROPERTY

9792 OWEN BROWN ROAD COLUMBIA, MD 21045

TAX MAP: 36 GRID: 9 ZONED: R-20 PARCEL: 526
6TH ELECTION DISTRICT L21419 / F.129 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P. 410.461.7666 F. 410.461.8961 www.timmons.com

DESIGN BY: RHV I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16193 EXPIRATION DATE: 09-27-2024
DRAWN BY: MDA
CHECKED BY: RHV
DATE: JANUARY 2024
SCALE: AS SHOWN
W.O. NO.: 53185
6 SHEET OF 6

