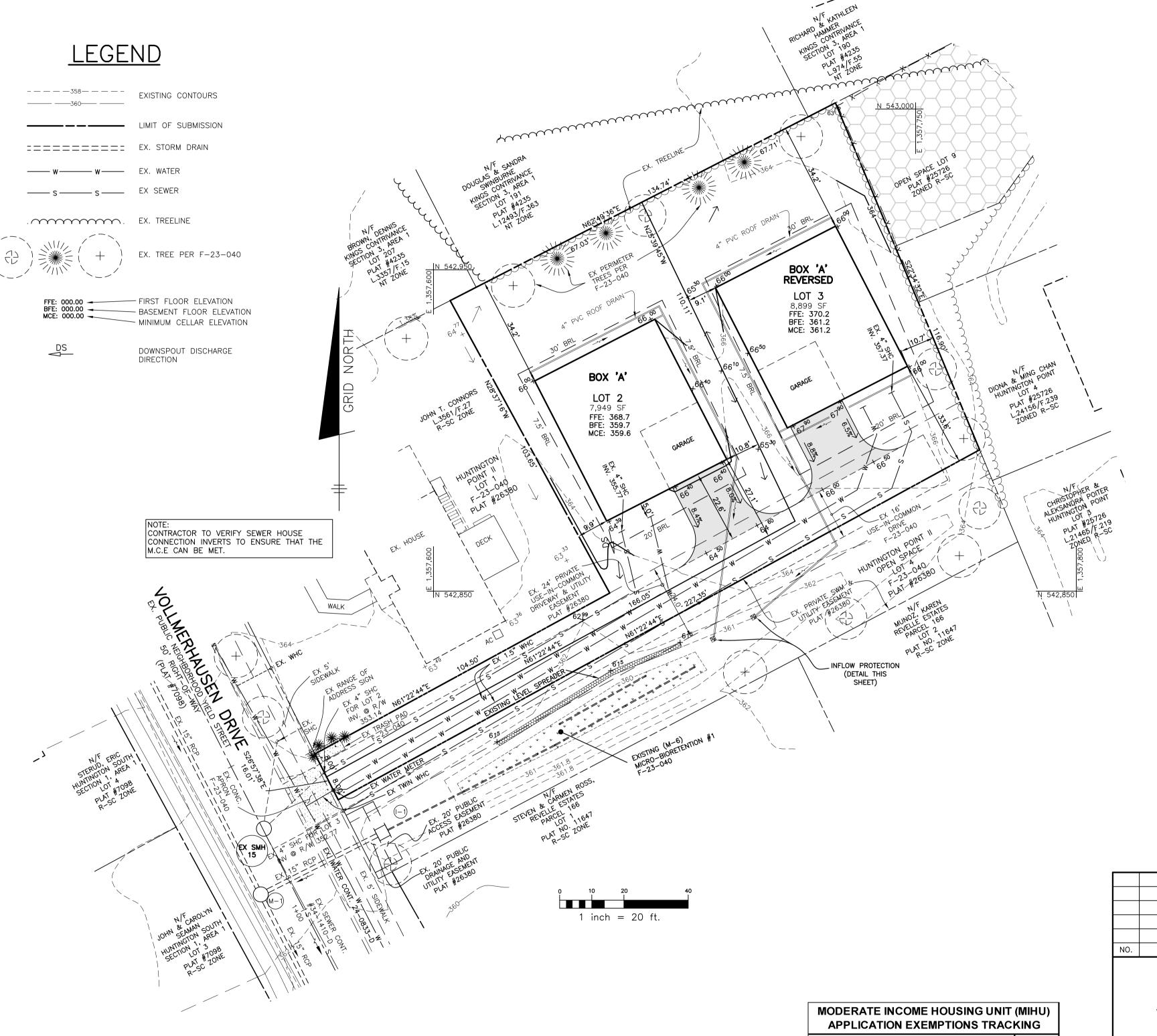
GENERAL NOTES

- SUBJECT PROPERTY IS ZONED R-SC PER THE OCTOBER 6, 2013 COMPREHENSIVE ZONING PLAN.
- 2. THIS PROJECT IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- THE PROJECT BOUNDARY IS BASED ON FIELD RUN SURVEY BY BENCHMARK ENGINEERING, INC, DECEMBER, 2022 AND RECORD PLAT
- . EXISTING TOPOGRAPHY SHOWN IS BASED ON F-23-040.
- . EXISTING UTILITIES ARE BASED ON DESIGN PLANS AND AS-BUILTS.
- . THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM AS ESTABLISHED FROM GPS OBSERVATION. MONUMENTS "TRAV.1" & "TRAV.2" WERE USED FOR THIS
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT AS IT DOES NOT MEET ANY OF THE REQUIREMENTS FOR A NOISE STUDY AS DEFINED IN SECTION 5.2.G.2 OF THE HOWARD COUNTY DESIGN MANUAL, VOLUME III.
- PER CB 1-2018 THE REQUIREMENT FOR A TRAFFIC IMPACT STUDY BEGINS AT 5 PEAK HOUR TRIPS. AN AFFIDAVIT VERIFYING THIS PROJECT GENERATES LESS THAN 5 PEAK HOUR TRIPS DATED APRIL 15, 2023, AND A SPEED STUDY AND A MULTIMODAL ANALYSIS DATED 12-11-22 WERE PREPARED BY MARS GROUP.
- D. THE ENVIRONMENTAL FINDINGS LETTER WAS PREPARED BY ECO-SCIENCE PROFESSIONALS, INC. NOVEMBER 2022.
- 10. THERE ARE NO WETLANDS, STREAMS, THEIR BUFFERS, 100-YEAR FLOODPLAIN, OR 25% OR GREATER STEEP SLOPES LOCATED ON THESE
- 11. THIS SITE IS WITHIN THE METROPOLITAN DISTRICT. PUBLIC WATER WILL CONNECT TO EX. CONTRACT 24—0833—D. PUBLIC SEWER WILL CONNECT TO EXISTING CONTRACT 34-1410-D. DRAINAGE IS LITTLE PATUXENT WRP.
- 12. PREVIOUS DPZ FILE FOR THIS SITE IS: ECP-23-024, F-23-040
- 13. TO THE BEST OF OUR KNOWLEDGE AND INFORMATION THERE ARE NO HISTORIC STRUCTURES OR CEMETERIES LOCATED ON THIS SITE.
- 14. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
- 15. FOREST CONSERVATION FOR THESE LOTS WAS PREVIOUSLY PROVIDED UNDER F-23-040.
- 16. THE COMMUNITY MEETING WAS HELD ON FEBRUARY 23. 2023 AT THE SAVAGE BRANCH OF THE HOWARD COUNTY PUBLIC LIBRARY.
- 7. FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND THE ROAD RIGHT-OF-WAY ONLY AND NOT ONTO THE FLAG OR PIPESTEM LOT DRIVEWAY.
- 8. DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
- A) WIDTH 12' (16' SERVING MORE THAN ONE RESIDENCE).
- B) SURFACE 6" OF COMPACT CRUSHER RUN BASE WITH 1-1/2" MIN. TAR & CHIP COATING.
- GEOMETRY MAX. 15% GRADE. MAX. 10% GRADE CHANGE & MIN. 45' TURNING RADIUS. STRUCTURES(CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOAD)
- DRAINAGE ELEMENTS CAPABLE OF SAFELY PASSING 100 YEAR FLOODPLAIN WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY.
- MAINTENANCE SUFFICIENT TO ENSURE ALL WEATHER USE. STRUCTURE CLEARANCE - MINIMUM 12 FEET
- 19. THIS DEVELOPMENT IS DESIGNED TO BE IN ACCORDANCE WITH SECTION 16.127 RESIDENTIAL INFILL DEVELOPMENT OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. THIS PROJECT IS COMPATIBLE WITH THE ADJACENT RESIDENTIAL NEIGHBORHOOD BY CONSISTING OF THE SAME UNIT TYPES (SFD). THIS PROJECT IS INTEGRATED WITH THE SURROUNDING RESIDENTIAL DEVELOPMENT BY INTERCONNECTING SIDEWALKS. LOTS, BUILDINGS, & SITE IMPROVEMENTS ARE CONFIGURED TO PROVIDE PRIVACY BY THE LOCATION OF THE NON-CREDITED OPEN SPACE, ORIENTATION OF THE HOUSES AND PERIMETER LANDSCAPING.
- 20. THIS PROJECT IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL 45-2003 AND THE ZONING REGULATIONS, AS AMENDED BY COUNCIL BILL 75-2003. DEVELOPMENT OR CONSTRUCTION ON THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION, OR BUILDING/GRADING PERMIT.
- 21. PERIMETER LANDSCAPING FOR LOTS 2 THRU 4 WAS PROVIDED UNDER F-23-040. FINANCIAL SURETY WAS INCLUDED IN THAT PLANS DEVELOPER AGREEMENT
- 22. THIS PROJECT IS SUBJECT TO SECTION 13.402 OF THE COUNTY CODE FOR MODERATE INCOME HOUSING UNITS (MIHU). PER SECTION 13.402C.e., THIS REQUIREMENT SHALL BE MET BY A FEE-IN-LIEU PAYMENT THAT IS TO BE CALCULATED AND PAID TO THE DEPARTMENT OF INSPECTIONS LICENSES AND PERMITS AT THE TIME OF BUILDING PERMIT ISSUANCE.
- 23. STORMWATER MANAGEMENT ENVIRONMENTAL SITE DESIGN (ESD) WAS BEEN PROVIDED IN ACCORDANCE WITH THE "MARYLAND DEPARTMENT OF THE ENVIRONMENT STORMWATER MANAGEMENT ACT OF 2007" AND THE "HOWARD COUNTY DESIGN MANUAL VOLUME I. CHAPTER 5" TO THE MAXIMUM EXTENT PRACTICAL. STORMWATER MANAGEMENT IS PROVIDED BY ONE (M-6) MICRO-BIORETENTION PRACTICE. THE FACILITY IS PRIVATELY OWNED AND PRIVATELY MAINTAINED BY THE HOMEOWNERS ASSOCIATION. THE STORMWATER MANAGEMENT REPORT WAS APPROVED ON MAY 31, 2023 UNDER F-23-040.
- 24. THE PRIVATE USE—IN—COMMON MAINTENANCE ACCESS AGREEMENT FOR LOTS 2 THRU 3 & OPEN SPACE LOT 4 SHALL BE RECORDED SIMULTANEOUSLY WITH THE RECORDATION OF THE SUBDIVISION PLAT.
- 25. THE ARTICLES OF INCORPORATION FOR THE HOMEOWNERS ASSOCIATION HAVE BEEN ACCEPTED BY THE STATE DEPARTMENT OF ASSESSMENTS AND TAXATION, FEB 22,2023; ID #D23687452. THE HOMEOWNER'S DECLARATION OF COVENANTS AND RESTRICTIONS WILL BE RECORDED
- 26. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410)-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- 27. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- 28. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- 29. PUBLIC WATER AND SEWERAGE ALLOCATIONS WILL BE GRANTED AT TIME OF ISSUANCE OF BUILDING PERMITS IF CAPACITY IS AVAILABLE AT THAT TIME. WATER AND SEWER SERVICE TO THESE LOTS WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 18.122.B OF THE HOWARD
- 30. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, WINDOW WELLS, ORIELS, VESTIBULES, BALCONIES AND CHIMNEYS MAY ENCROACH 4 FEET INTO ANY SETBACK OR REQUIRED DISTANCE BETWEEN BUILDINGS PROVIDED THE FEATURE HAS A MAXIMUM WIDTH OF 16 FEET. EXTERIOR STAIRWAYS OR RAMPS, ABOVE OR BELOW GROUND LEVEL (EXCLUDING THOSE ATTACHED TO A PORCH OR DECK) MAY ENCROACH 10 FEET INTO A FRONT SETBACK OR A SETBACK FROM A PROJECT BOUNDARY, 16 FEET INTO A REAR SETBACK, 4 FEET INTO A SIDE SETBACK OR REQUIRED DISTANCE BETWEEN BUILDINGS. OPEN OR ENCLOSED PORCHES OR DECKS AND THE STAIRWAYS OR RAMPS ATTACHED THERETO MAY ENCROACH 10 FEET INTO A FRONT OR REAR SETBACK, SETBACK FROM A PROJECT BOUNDARY OR A REQUIRED DISTANCE BETWEEN BUILDINGS.
- 31. ANY DAMAGE TO THE COUNTY'S RIGHT—OF—WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- 32. IN ACCORDANCE WITH COUNCIL BILL 76-2018, EFFECTIVE JAN 11, 2019 AND PER SECTION 3.105(C) OF THE COUNTY CODE, ALL NEW RESIDENTIAL CONSTRUCTION THAT HAS A GARAGE. CARPORT. OR DRIVEWAY SHALL FEATURE A DEDICATED ELECTRIC LINE OF SUFFICIENT VOLTAGE SO THAT AN ELECTRIC VEHICLE CHARGING STATION MAY BE ADDED IN THE FUTURE. THIS DEDICATED LINE SHALL BE PROVIDED FOR
- 33. A PRIVATE RANGE OF ADDRESS STREET NAME SIGN (SNS) SHALL BE INSTALLED BY THE COUNTY AS PART OF THIS DEVELOPMENT. THE DEVELOPER WILL BE RESPONSIBLE FOR PAYING FOR THIS SIGN TO BE INSTALLED. PLEASE CONTACT HOWARD COUNTY TRAFFIC (410-313-2430) TO MAKE ARRANGEMENTS FOR PAYMENT.
- 34. SHC ELEVATIONS SHOWN ARE LOCATED AT THE PROPERTY LINE.

RESIDENTIAL SITE DEVELOPMENT PLAN HUNTINGTON POINT II LOTS 2 AND 3



2'X2'X2' GABION BASKET WITH NO.

6 STONE. PLACE BOTTOM OF GABION

BASKET 6" BELOW ADJACENT GRADE,

INFLOW PROTECTION FOR ROOF DRAINS

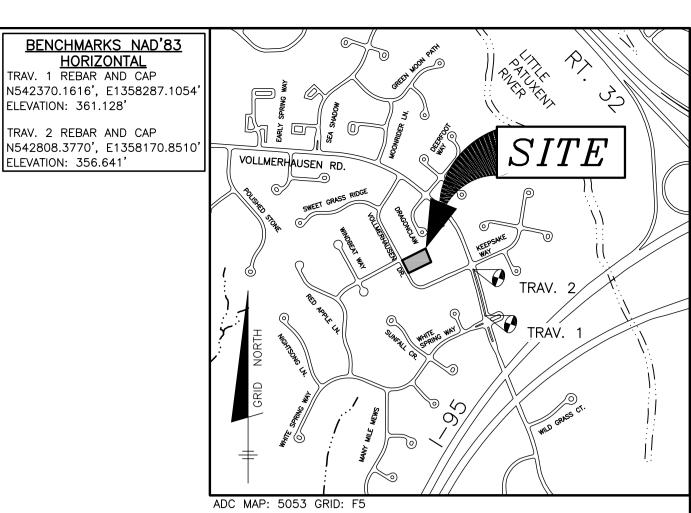
AND EMBED INTO EMBANKMENT AS

APPROXIMATELY 8" INTO STONES.

NEEDED TO EXTEND PIPE

Total Number of Lots/Units Proposed Total Number of MIHU's Required Number of MIHU's Provided Onsite (Exempt from APFO allocations) Number of APFO Allocations Required (Remaining Lots/Units) MIHU Fee-in-Lieu (Indicate Lot/Unit numbers)

PERMIT INFORMATION CHART							
SUBDIVISION NAME:			SECTION/AREA:		LOT/PARCEL #		
HUNTINGTO	ON PO	INT II		N/A	\	PAR	CEL 351
PLAT No.	GRID No.	ZONE	TAX	MAP	NO	ELECTION DISTRICT	CENSUS TRACT
26380	22	R-SC		42		6	606804



ELEVATION: 361.128'

ELEVATION: 356.641'

VICINITY MAP

SHEET INDEX					
SHEET	TITLE				
1	SITE DEVELOPMENT AND GRADING PLAN				
2	GENERIC BOX AND HOUSE FOOTPRINTS				
3	SEDIMENT & EROSION CONTROL PLAN				

ADDRESS CHART					
LOT	STREET ADDRESS				
2	9468 VOLLMERHAUSEN DRIVE				
3	9466 VOLLMERHAUSEN DRIVE				

SITE ANALYSIS DATA CHART

A.) TOTAL PROJECT AREA	0.82 ACRES
B.) AREA OF PLAN SUBMISSION	0.39 ACRES
C.) LIMIT OF DISTURBED AREA	0.32 ACRES
D.) PRESENT ZONING:	_R-SC
E.) PROPOSED USE OF SITE:	
F.) FLOOR SPACE ON EACH LEVEL OF BLDG PER USE	SINGLE FAMILY DETACHED N/A
G.) TOTAL NUMBER OF UNITS ALLOWED AS SHOWN ON FINAL PLAT(S)	_2
H.) TOTAL NUMBER OF UNITS PROPOSED	_2
I.) MAXIMUM NUMBER OF EMPLOYEES, TENANTS ON SITE PER USE	_ N/A
J.) NUMBER OF PARKING SPACES REQUIRED BY	2 SED × 2.5 — 5.0 SDACE

HO. CO. ZONING REGS AND/OR FDP CRITERIA _____ 2 SFD x 2.5 = 5.0 SPACES K.) NUMBER OF PARKING SPACES PROVIDED ONSITE (INCLUDES HANDICAPPED SPACES)_ ___ 8 (2 IN EACH GARAGE AND 2 IN EACH DRIVEWAY) L.) OPEN SPACE ON-SITE _____

M.) AREA OF RECREATIONAL OPEN SPACE REQUIRED____ N/A AREA OF RECREATIONAL OPEN SPACE PROVIDED____ N/A N.) BUILDING COVERAGE OF SITE ____

PERCENTAGE OF GROSS AREA_ (MAXIMUM ALLOWED 60%) O.) APPLICABLE DPZ FILE REFERENCES: _

DATE were prepared or approved by me, and that I am a duly licensed **BENCHMARK** ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS ENGINEERING, INC 3300 N. RIDGE ROAD ▲ SUITE 140 ▲ ELLICOTT CITY, MARYLAND 21043 (P) 410-465-6105 (F) 410-465-6644 WWW.BEI-CIVILENGINEERING.COM

HUNTINGTON POINT II JOHN CONNORS 9693 GERWIG LANE LOTS 2 AND 3 COLUMBIA, MARYLAND 21046 410-792-2565 9470 VOLLMERHAUSEN DR. COLUMBIA, MARYLAND 21046 TAX MAP: 42 - GRID: 22 - PARCEL: 351 ZONED: R-SC ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND DEVELOPER: CORNERSTONE HOMES, LLC 9693 GERWIG LANE SITE DEVELOPMENT PLAN COLUMBIA, MARYLAND 21046 410-792-2565 DATE: AUGUST 15, 2023 | BEI PROJECT NO. 3140 DES: AAM/DBT | CHECK:CAM SCALE: AS SHOWN

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING 8/30/2023 (Hdl) Edmondson CHIEF, DEVELOPMENT ENGINEERING DIVISION 9/1/2023 CHIEF, DIVISION OF LAND DEVELOPMENT lynda Eisenberg 9/1/2023

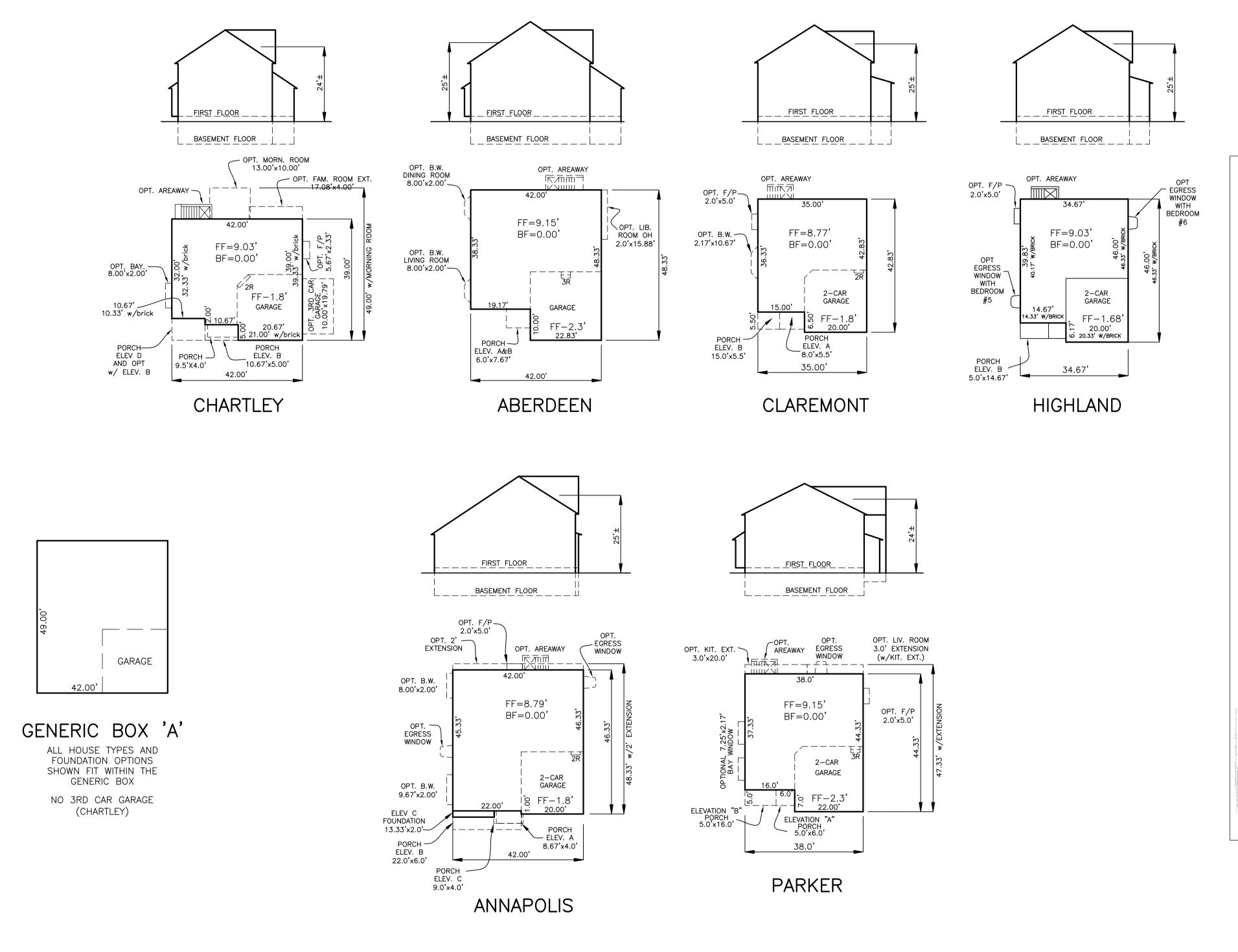
J:\3140 9470 Vollmerhausen\dwg\8000.dwg, 8/15/2023 10:37:05 AM

F-23-040 STORMWATER MANAGEMENT SUMMARY TABLE

BIORETENTION FACILITIES (M-6) ESDv Volume treated Volume Stored Ponding (V/0.75) Rev Storage: 351 c.f. satisfied by 17.6 inches of stone below underdrain

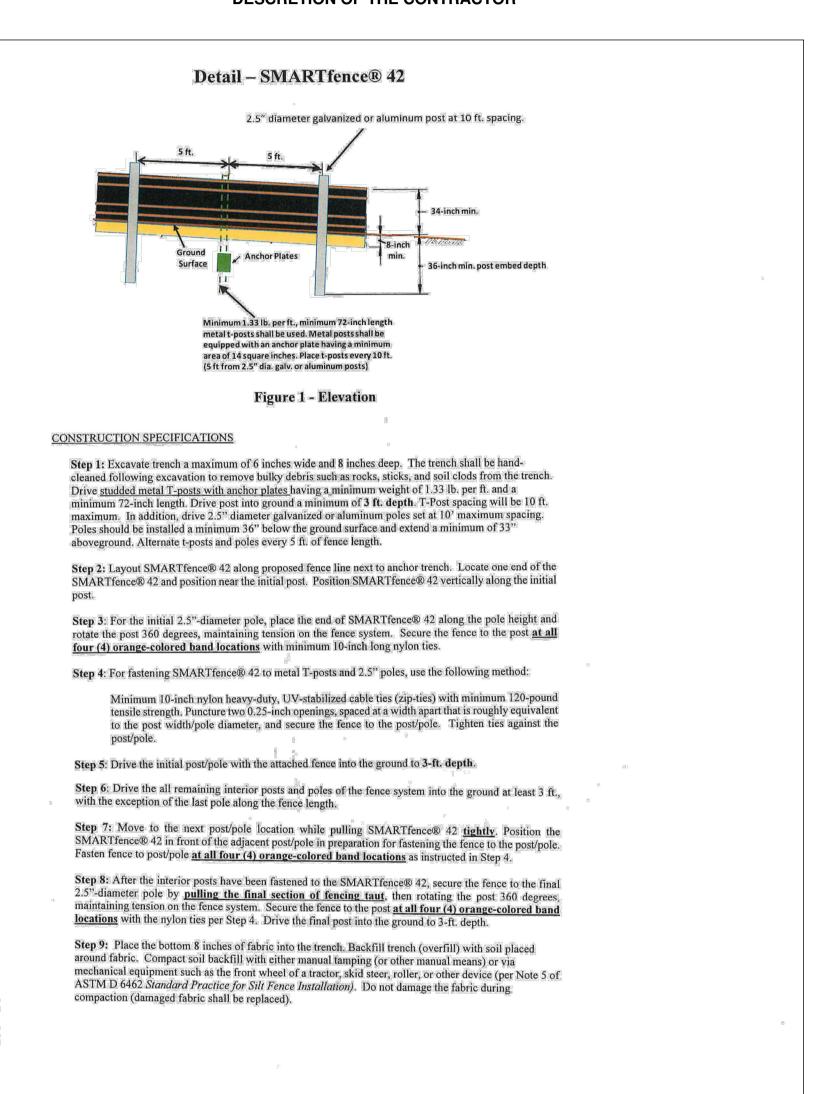
NON-ROOFTOP DISCONNECTION (N-2) Sidewalks in Right of way will be disconnected, at 1:1 ratio, for a 1.0" treatment of 1118 sf. ESDv provided: 95 cf

SDP-23-040



1 inch = 20 ft.

SMARTfence42 MAY BE USED IN LIEU OF SUPER SILT FENCE AT THE DESCRETION OF THE CONTRACTOR





BENCHMARK

BENCHMARK

ENGINEERS A LAND SURVEYORS A PLANNERS

ENGINEERING, INC.

3300 N. RIDGE ROAD A SUITE 140 A ELLICOTT CITY, MARYLAND 21043
(P) 410-465-6105 (F) 410-465-6644

WWW.BEI-CIVILENGINEERING.COM

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the lawy of the State of Maryland, License No. 22390 Expirition Jose; 6-30-2025.

WWW.BEI-CIVILENGINE	Chylagorenin SIONAL ENGLINE 08.17.2023				
OWNER: JOHN CONNORS 9693 GERWIG LANE SUITE L COLUMBIA, MARYLAND 21046 410-792-2565	RESIDENTIAL HUNTINGTON POINT II LOTS 2 AND 3				
DEVELOPER:	TAX MAP: 42	EN DR. COLUMBIA, MARYLAND 210 — GRID: 22 — PARCEL: 351 ZONED: R—SC IO. 6 — HOWARD COUNTY, MARYL			
CORNERSTONE HOMES, LLC 9693 GERWIG LANE SUITE L COLUMBIA, MARYLAND 21046 410-792-2565	GENERIC BOX AND HOUSE FOOTPRINTS				
	DATE: AUGUST 15, 20	D23 BEI PROJECT NO.	3140		

AS SHOWN

SCALE:

DES: AAM/DBT | CHECK:CAM

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Docusigned by:

CHIEF, DEVELOPMENT ENGINEERING DIVISION

DOCUSIGNED BY:

Planning AND ZONING

8/30/2023

DATE

DATE

DOCUSIGNED BY:

Planning AND ZONING

8/30/2023

DATE

DATE

DATE

DATE

DATE

2 of 3

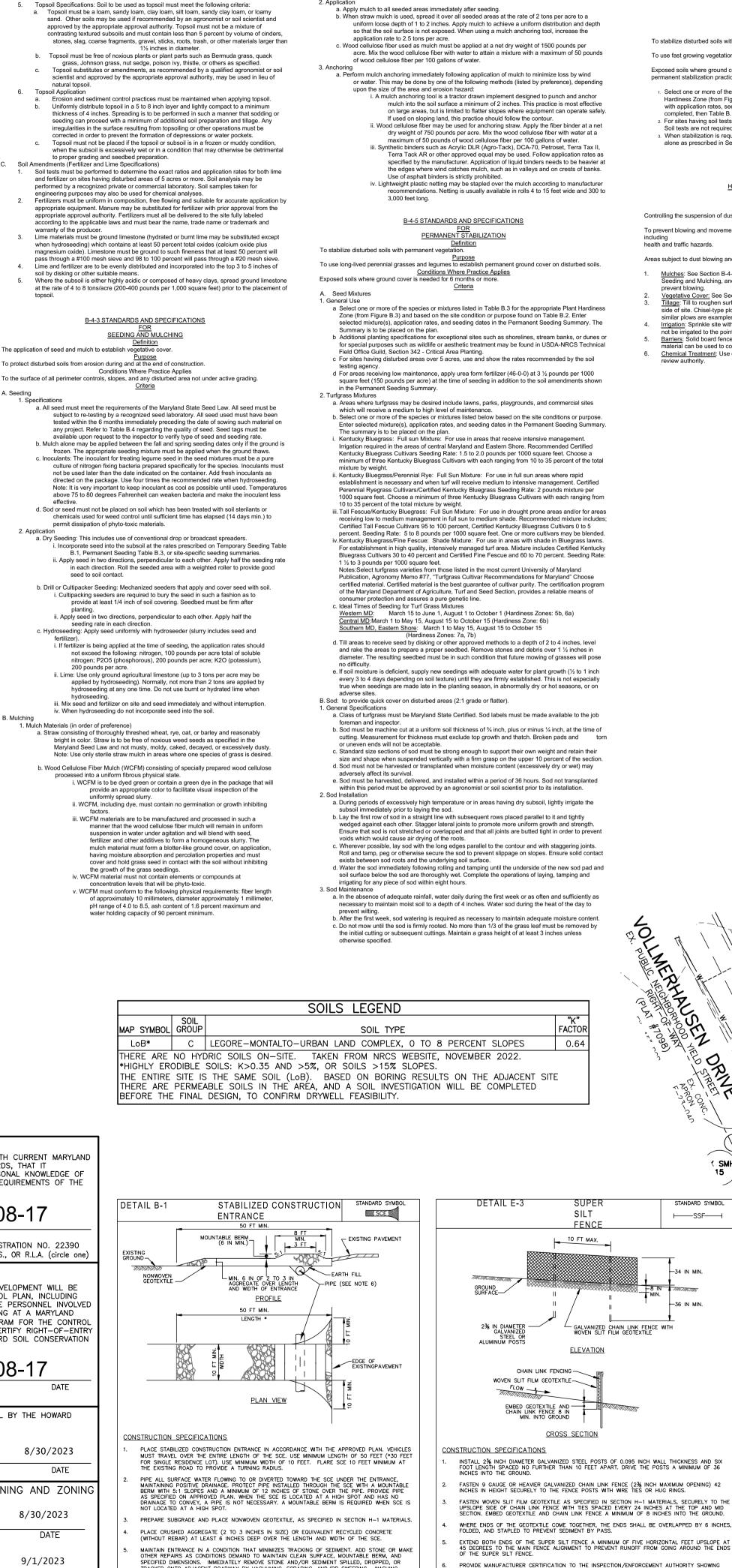
SHEET

Using vegetation as cover to protect exposed soil from erosion.

B-4 STANDARDS AND SPECIFICATIONS

VEGETATIVE STABILIZATION

To promote the establishment of vegetation on exposed soil Conditions Where Practice Applies On all disturbed areas not stabilized by other methods. This specification is divided into sections on stabilization; soil preparation, soil amendments and topsoiling; seeding and mulching; temporary and permanent stabilization Effects on Water Quality and Quantity to promote the establishment of vegetation on exposed soil. When soil is Stabilization practices are used to promote the estab stabilized with vegetation, the soil is less likely to erode and more likely to allow infiltration of rainfall, reducing sediment loads and runoff to downstream areas Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and unoff, infiltration, evaporation, transpiration, percolation, and groundwater recharge. Over time, vegetation ndments (Fertilizer and Lime Specifications) ncrease organic matter content and improve the water holding capacity of the soil and subsequent plant egetation will help reduce the movement of sediment, nutrients, and other chemicals carried by runoff to eceiving waters. Plants will also help protect groundwater supplies by assimilating those substances within the root zone. Sediment control practices must remain in place during grading, seedbed preparation, seeding, mulching, and vegetative establishment. Adequate Vegetative Establishment Inspect seeded areas for vegetative establishment and make necessary repairs, replacements, and varranty of the producer. eseedings within the planting season. . Adequate vegetative stabilization requires 95 percent groundcover. 2. If an area has less than 40 percent groundcover, restabilize following the original recommendations for lime, fertilizer, seedbed preparation, and seeding. 3. If an area has between 40 and 94 percent groundcover, over-seed and fertilize using half of the rates soil by disking or other suitable means. originally specified . Maintenance fertilizer rates for permanent seeding are shown in Table B.6. **B-4-1 STANDARDS AND SPECIFICATIONS** INCREMENTAL STABILIZATION stablishment of vegetative cover on cut and fill slopes. The application of seed and mulch to establish vegetative cover o provide timely vegetative cover on cut and fill slopes as work progresse Purpose To protect disturbed soils from erosion during and at the end of construction. Conditions Where Practice Applies Any cut or fill slope greater than 15 feet in height. This practice also applies to stockpiles. Incremental Stabilization - Cut Slopes 1. Excavate and stabilize cut slopes in increments not to exceed 15 feet in height. Prepare seedbed A. Seeding and apply seed and mulch on all cut slopes as the work progresses. 2. Construction sequence example (Refer to Figure B.1): a. Construct and stabilize all temporary swales or dikes that will be used to convey runoff around the excavation. b. Perform Phase 1 excavation, prepare seedbed, and stabilize. c. Perform Phase 2 excavation, prepare seedbed, and stabilize. Overseed Phase 1 areas as d. Perform final phase excavation, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary. Note: Once excavation has begun the operation should be continuous from grubbing through the ompletion of grading and placement of topsoil (if required) and permanent seed and mulch. Any rruptions in the operation or completing the operation out of the seeding season will necessitate e application of temporary stabilization 1 Construct and stabilize fill slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all slopes as the work progresses. 2. Stabilize slopes immediately when the vertical height of a lift reaches 15 feet, or when the grading permit dissipation of phyto-toxic materials. peration ceases as prescribed in the plans. 3. At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner. 4. Construction sequence example (Refer to Figure B.2): a. Construct and stabilize all temporary swales or dikes that will be used to divert runoff around the fill. Construct silt fence on low side of fill unless other methods shown on the plans address this area. b. At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner. c. Place Phase 1 fill, prepare seedbed, and stabilize e. Place final phase fill, prepare seedbed, and stabilize. Overseed previously seeded areas as lote: Once the placement of fill has begun the operation should be continuous from grubbing through the ompletion of grading and placement of topsoil (if required) and permanent seed and mulch. Any nterruptions in the operation or completing the operation out of the seeding season will necessitate the pplication of temporary stabilization. **B-4-2 STANDARDS AND SPECIFICATIONS** SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS <u>Definition</u> The process of preparing the soils to sustain adequate vegetative stabilization <u>Purpose</u> o provide a suitable soil medium for vegetative growth. Conditions Where Practice Applies Where vegetative stabilization is to be established. 1. Mulch Materials (in order of preference) Soil Preparation Temporary Stabilization Seedbed preparation consists of loosening soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened, it must not be rolled or dragged smooth but left in the roughened condition. Slopes 3:1 or flatter are to be tracked with ridges running parallel to the contour of the slope. Apply fertilizer and lime as prescribed on the plans. Incorporate lime and fertilizer into the top 3 to 5 inches of soil by disking or other Permanent Stabilization a. A soil test is required for any earth disturbance of 5 acres or more. The minimum soil conditions required for permanent vegetative establishment are i. Soil pH between 6.0 and 7.0. ii. Soluble salts less than 500 parts per million (ppm). iii. Soil contains less than 40 percent clay but enough fine grained material (greater than 30 percent silt plus clay) to provide the capacity to hold a moderate amount of mo An exception: if lovegrass will be planted, then a sandy soil (less than 30 percent silt plus clay) would be acceptable. v. Soil contains 1.5 percent minimum organic matter by weight. v. Soil contains sufficient pore space to permit adequate root penetration Application of amendments or topsoil is required if on-site soils do not meet the above Graded areas must be maintained in a true and even grade as specified on the approved plan, then scarified or otherwise loosened to a depth of 3 to 5 inches Apply soil amendments as specified on the approved plan or as indicated by the results e. Mix soil amendments into the top 3 to 5 inches of soil by disking or other suitable means. Rake lawn areas to smooth the surface, remove large objects like stones and branches, and ready the area for seed application. Loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface where site conditions will not permit normal seedbed preparation. Track slopes 3:1 or flatter with tracked equipment leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. Leave the top 1 to 3 inches of soil loose and friable. Seedbed loosening may be unnecessary on newly disturbed areas. Topsoil is placed over prepared subsoil prior to establishment of permanent vegetation. The purpose is to provide a suitable soil medium for vegetative growth. Soils of concern have low sisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable so Topsoil salvaged from an existing site may be used provided it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by Topsoiling is limited to areas having 2:1 or flatter slopes where: The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth. b. The soil material is so shallow that the rooting zone is not deep enough to suppor plants or furnish continuing supplies of moisture and plant nutrients. The original soil to be vegetated contains material toxic to plant growth Areas having slopes steeper than 2:1 require special consideration and design "I CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE O THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT." 2023-08-17 Christopher Malagari MD REGISTRATION NO. 22390 CHRISTOPHER A. MALAGARI (P.E.) R.L.S., OR R.L.A. (circle one OWNERS/DEVELOPERS CERTIFICATION "I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN. INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTRO OF EROSION AND SEDIMENT PRIOR TO BÉGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTR FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE." 2023-08-17 **Justin Boy** JUSTIN BOY - CORNERSTONE HOMES LLC THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT DocuSigned by: Olexander Bratchie 8/30/2023 HOWARD SOIL CONSERVATION DISTRICT DATE APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING (HD) Edmondson 8/30/2023 CHIEF, DEVELOPMENT ENGINEERING DIVISION 9/1/2023



TEMPORARY STABLIZATION Seeding Rate 1/ Seeding Recommended Seeding Dates by Plant Hardiness Zone 3/ Hardiness Zone (from Figure B.3): all Fescue/Kentucky Bluegrass lb/ac lb/1000 ft2 (inches) Seed Misture (from Table B.3): 5b and 6a Application Seeding Cool-Season Grasses <u>Conditions Where Practice Applies</u>
Exposed soils where ground cover is needed for a period of 6 months or less. For longer duration of time, Rate (lb/ac.) Dates Depths 40 1.0 0.5 Mar 1 to May 15 Mar 1 to May 15; Aug 1 to Oct 31 1/4 - 1/2 in Fescue, Tall Aug 1 to Oct 15 <u>Criteria</u>
Select one or more of the species or seed mixtures listed in Table B.1 for the appropriate Plant 96 2.2 1.0 Mar 1 to May 15; Aug 1 to Oct 3 Barley (Hordeum vulgare Mar 1 to May 15 1/4 - 1/2 in Bluegrass, Kentucky Aug 1 to Oct 15 its (Avena sativa) 72 1.7 1.0 Mar 1 to May 15; Aug 1 to Oct 31 1/4 - 1/2 in Wheat (Triticum aestivum) 120 2.8 1.0 Mar 1 to May 15; Aug 1 to Oct 31 Cereal Rye (Secale cereale) 112 2.8 1.0 Mar 1 to May 15; Aug 1 to Nov Warm-Season Grasses Foxtail Millet (Serataria italica) May 16 to Jul 31 earl Millet (Pennisetum glaucum 20 0.5 0.5 H-5 STANDARDS AND SPECIFICATIONS 1/ Seeding rates for the warm season grasses are in pounds of Pure Live Seed (PLS). Actual planting rates shall be adjusted to reflect percent seed germination and purity, as DUST CONTROL Definition tested. Adjustments are usually not needed for the cool-season grasses. for barley, oats, and wheat. For smaller-seeded grasses (annual ryegrass, pearl millet, foxtail millet), do not exceed more than 5% (by weight) of the overall permanent seeding mix. Cereal rye generally should not be used as a nurse crop, unless planting will occur very late fall beyond the seeding dates for other temporary seedings. Cereal rye has allelopathic properties that inhibit the germination and growth of other plants. If it must be used as a nurse crop, seed at 1/3 of the rate listed above. Oats are the recommended nurse crop for warm-season grasses Specifications

Mulches: See Section B-4-2 Soil Preparation, Topsoiling, and Soil Amendments, Section B-4-3
Seeding and Mulching, and Section B-4-4 Temporary Stabilization. Mulch must be anchored to 2/ For sandy soils, plant seeds at twice the depth listed above. mumming 100m the 100m The planting dates listed are averages for each Zone and may require adjustment to reflect local conditions, especially near the boundaries of the zone Till to roughen surface and bring clods to the surface. Begin plowing on windward irrigated to the point that runoff occurs. REVERSED FFE: 370.2 BOX 'A' LOT 2 7.949 SF FFF: 368.7 BFF: 359.7 MCE: 359.6 **FENCE** STABILIZED CONSTRUCTION WALK **ENTRANCE** INFLOW PROTECTION (DETAIL THIS **FENCE** 1 inch = 20 ft⊢—_SSF—— SEQUENCE OF CONSTRUCTION TEMPORARY STOCKPILE AT BACK OF LOTS, AS NEEDED. NOTIFY SEDIMENT CONTROL DIVISION 48 HOURS PRIOR TO START OF WORK 1. Obtain grading/building permit. Notify D.I.L.P. at 410-313-1880 at least 24 hours before starting any work. (1 day) 2. Hold on-site pre-construction meeting. (day 2) 3. Clear and grub as necessary to Install perimeter controls (i.e. SSF and SCE). (day 3) B-4-8 STANDARDS AND SPECIFICATIONS 4. Excavate for house foundation, rough grade, backfill, and stabilize in accordance with STOCKPILE AREA the temporary seedbed notes. (day 4-10) A mound or pile of soil protected by appropriately designed erosion and sediment control measures Purpose

To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.

Conditions Where Practice Applies 5. Construct house, driveway, roof drains, and water and sewer house connections. Stockpile areas are utilized when it is necessary to salvage and store soil for later use. Finalize lot grading. (day 11-150) Criteria

1. The stockpile location and all related sediment control practices must be clearly indicated on the

Table B.1: Temporary Seeding for Site Stabilization **Permanent Seeding Summary** Fertilizer Rate (10-20-20) P2O5 be given at the following stages: per acre (1.0 lb/ 90 lb/ac 90 lb/ac (2 lb/ 2 lb/ 100 sf) 1000 sf) 1000 sf) 1000 sf) those areas under active grading. matting (Sec. B-4-6). 6. Site Analysis: Total Area of Site: Area Disturbed: Area to be roofed or paved: Area to be vegetatively stabilized: **EX. SUPER SILT FENCE INSTALLED UNDER** F-23-040 ALONG NORTH rain event. A written report by the contractor, made available upon request, is part of every AND EAST EDGE TO BE UTILIZED. • Name and title of inspector • Identification of plan deficiencies Monitoring/sampling • Maintenance and/or corrective action performed and shall be back filled and stabilized by the end of each work day, whichever is shorter. may be disturbed at a given time • Use I and IP March 1 - June 15 • Use IV March 1 - May 31

HOWARD SOIL CONSERVATION DISTRICT (HSCD)
STANDARD SEDIMENT CONTROL NOTES 1. A pre—construction meeting must occur with the Howard County Department of Public

Works, Construction Inspection Division (CID), 410-3133-1855 after the future LOD and protected areas are marked clearly in the field. A minimum of 48 hours notice to CID must a. Prior to the start of earth disturbance.

b. Upon completion of the installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading, c. Prior to the start of another phase of construction or opening of another grading d. Prior to the removal or modification of sediment control practices.

2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the <u>2011 MARYLAND STANDARDS AND</u> SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and revisions thereto.

3. Following initial soil disturbance or re-disturbance, permanent or temporary stabilization is required within three (3) calendar days as to the surface of all perimeter controls. dikes. swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1 and seven (7) calendar days as to all other disturbed areas on the project site except for

4. All disturbed areas must be stabilized within the time period specified above in accordance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT <u>CONTROL</u> for topsoil (Sec. B-4-2), permanent seeding (Sec. B-4-5), temporary seeding (Sec. B-4-4) and mulching (Sec. B-4-3). Temporary stabilization with mulch alone can only be applied between the fall and spring seeding dates if the ground is frozen. Incremental stabilization (Sec. B-4-1) specifications shall be enforced in areas with >15' of cut and/or fill. Stockpiles (Sec. B-4-8) in excess of 20 feet must be benched with stable outlet. All concentrated flow, steep slope, and highly erodible areas shall receive soil stabilization

5. All sediment control structures are to remain in place, and are to be maintained in operative condition until permission for their removal has been obtained from the CID.

> 0.39__ Acres 0.32 Acres *CUT/FILL NUMBERS ARE ROUGH ESTIMATE 0.11 FOR SEDIMENT __ Acres CONTROL PURPOSES 0.21 ONLY. CONTRACTOR Acres 364 * TO VERIFY. _ Cu Yds

364 * _ Cu Yds SITE WITH AN ACTIVE GRADING PERMIT Off-site waste/borrow area location:

7. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance. 8. Additional sediment control must be provided, if deemed necessary by the CID. The site and all controls shall be inspected by the contractor weekly: and the next day after each

• Inspection type (routine, pre-storm event, during rain event)

• Weather information (current conditions as well as time and an=mount of last recorded

• Brief description of project's status (e.g. percent complete) and/or current activities

• Identification of sediment controls that require maintenance • Identification of missing or improperly installed sediment controls

• Compliance status regarding the sequence of construction and stabilization requirements

• Other inspection items as required by the General Permit for Stormwater Associated with Construction Activities (NPDES, MDE). 9. Trenches for the construction of utilities is limited to three pipe lengths or that which can

10. Any major changes or revisions to the plan or sequence of construction must be reviewed and approved by the HSCD prior to proceeding with construction. Minor revisions may be allowed by the CID per the list of HSCD—approved field changes.

11. Disturbance shall not occur outside the L.O.D. A project is to be sequenced so that grading activities begin on one grading unit (maximum acreage of 20 ac. per grading unit) at a time. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the CID. Unless otherwise specified and approved by the HSCD, no more than 20 acres cumulatively 12. Wash water from any equipment, vehicles, wheels, pavement, and other sources must be

treated in a sediment basin or other approved washout structure. 13. Topsoil shall be stockpiled and preserved on—site for redistribution onto final grade.

14. All silt fence and super silt fence shall be placed on—the—contour, and be imbricated at 25' minimum intervals, with lower ends curled uphill by 2' in elevation.

15. Stream channels must not be disturbed during the following restricted time periods

• Use III and IIIP October 1 - April 30

16. A copy of this plan, the <u>2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL</u>, and associated permits shall be on—site and available when the site is active.

LEGEND

• • • • • • • • • • LIMIT OF DISTURBANCE

STABILIZED CONSTRUCTION

SOILS TYPE - ENTIRE SITE

ENTRANCE



OWNER: JOHN CONNORS 9693 GERWIG LANE SUITE L COLUMBIA, MARYLAND 21046 410-792-2565

RESIDENTIAL **HUNTINGTON POINT II** LOTS 2 AND 3

EVELOPER:

2. The footprint of the stockpile must be sized to accommodate the anticipated volume of material

5. Clear water runoff into the stockpile area must be minimized by use of a diversion device such as

7. Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as

Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization.

8. If the stockpile is located on an impervious surface, a liner should be provided below the stockpile

to facilitate cleanup. Stockpiles containing contaminated material must be covered with

Maintenance
The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in

feet for 2:1 slopes, 30 feet for 3:1 slopes, or 40 feet for 4:1 slopes, benching must be provided in

accordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20

6. Where runoff concentrates along the toe of the stockpile fill, an appropriate erosion/sediment

an earth dike, temporary swale or diversion fence. Provisions must be made for discharging

and based on a side slope ratio no steeper than 2:1. Benching must be provided in

3. Runoff from the stockpile area must drain to a suitable sediment control practice

accordance with Section B-3 Land Grading.

concentrated flow in a non-erosive manner.

impermeable sheeting.

accordance with Section B-3 Land Grading.

control practice must be used to intercept the discharge.

4. Access the stockpile area from the upgrade side.

CORNERSTONE HOMES, LLC 9693 GERWIG LANE COLUMBIA, MARYLAND 21046 410-792-2565

DES: AAM/DBT | CHECK:CAM

SCALE:

9470 VOLLMERHAUSEN DR. COLUMBIA, MARYLAND 21046 TAX MAP: 42 - GRID: 22 - PARCEL: 351 ZONED: R-SC ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND SEDIMENT AND EROSION CONTROL PLAN

DATE: AUGUST 15, 2023 BEI PROJECT NO. 3140 AS SHOWN 3 of 3

J:\3140 9470 Vollmerhausen\dwg\8000.dwg, 8/15/2023 10:37:22 AM

lynda Eisenberg

DIRECTOR

CHIEF, DIVISION OF LAND DEVELOPMENT

9/1/2023

MARYLAND DEPARTMENT OF ENVIRONMEN WATER MANAGEMENT ADMINISTRATION

TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVERNIT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTRO

2011

To stabilize disturbed soils with vegetation for up to 6 months. Purpose
To use fast growing vegetation that provides cover on disturbed soils permanent stabilization practices are required.

> Hardiness Zone (from Figure B.3), and enter them in the Temporary Seeding Summary below along with application rates, seeding dates and seeding depths. If this Summary is not put on the plan and completed, then Table B.1 plus fertilizer and lime rates must be put on the plan. For sites having soil tests performed, use and show the recommended rates by the testing agency Soil tests are not required for Temporary Seeding. When stabilization is required outside of a seeding season, apply seed and mulch or straw mulch alone as prescribed in Section B-4-3.A.1.b and maintain until the next seeding season.

B-4-4 STANDARDS AND SPECIFICATIONS

Controlling the suspension of dust particles from construction activities Purpose

To prevent blowing and movement of dust from exposed soil surfaces to reduce on and off-site damage health and traffic hazards.

Conditions Where Practice Applies

Areas subject to dust blowing and movement where on and off-site damage is likely without treatmer

prevent blowing. Vegetative Cover: See Section B-4-4 Temporary Stabilization. side of site. Chisel-type plows spaced about 12 inches apart, spring-toothed harrows, and similar plows are examples of equipment that may produce the desired effect. Irrigation: Sprinkle site with water until the surface is moist. Repeat as needed. The site must

Barriers: Solid board fences, slit fences, snow fences, burlap fences, straw bales, and similar material can be used to control air currents and soil blowing.

Chemical Treatment: Use of chemical treatment requires approval by the appropriate plan review authority.

REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

2011

6. Upon approval from the Howard County Sediment Control Inspector, remove all sediment control devices and stabilize any remaining disturbed areas in accordance with the permanent seedbed notes. (day 151-155)

Note: Following initial soil disturbance or any re-disturbances, permanent or temporary stabilization shall be completed within A. 3 calendar days for all perimeter sediment control structures, dikes, swales and

all slopes greater than 3:1. B. 7 calendar days for all other disturbed areas.

During grading and after each rainfall, contractor will inspect and provide necessary maintenance to the sediment control measures of this plan

SDP-23-040