



GENERAL NOTES

1. THESE PLANS ARE SOLELY BASED ON INFORMATION THE OWNER AND OTHERS PROVIDED TO BOHLER ENGINEERING, VA, LLC. (HEREIN 'BOHLER') PRIOR TO THE DATE ON WHICH THE PROFESSIONAL, OF RECORD OR BOHLER PREPARED THESE PLANS. THE CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS AND IMMEDIATELY NOTIFY BOHLER, IN WRITING, IF THE CONTRACTOR IS NOT FAMILIAR WITH AND KNOWLEDGE FAMILIARITY SHOWN ON THESE PLANS, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

DEMOLITION NOTES

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

SITE LAYOUT NOTES

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

LIGHTING NOTES

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

DRAINAGE AND UTILITY NOTES

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

REVISIONS

Table with 4 columns: REV, DATE, COMMENT, DRAWN BY. Includes revision 1 for 'GENERAL NOTES' and revision 2 for 'DRAINAGE AND UTILITY NOTES'.

811 logo and 'Know what's below. Call before you dig.' text. Includes 'APPROVED FOR CONSTRUCTION' stamp and 'FOR CONSTRUCTION' stamp.

SOIL EROSION & SEDIMENT CONTROL PLAN NOTES

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

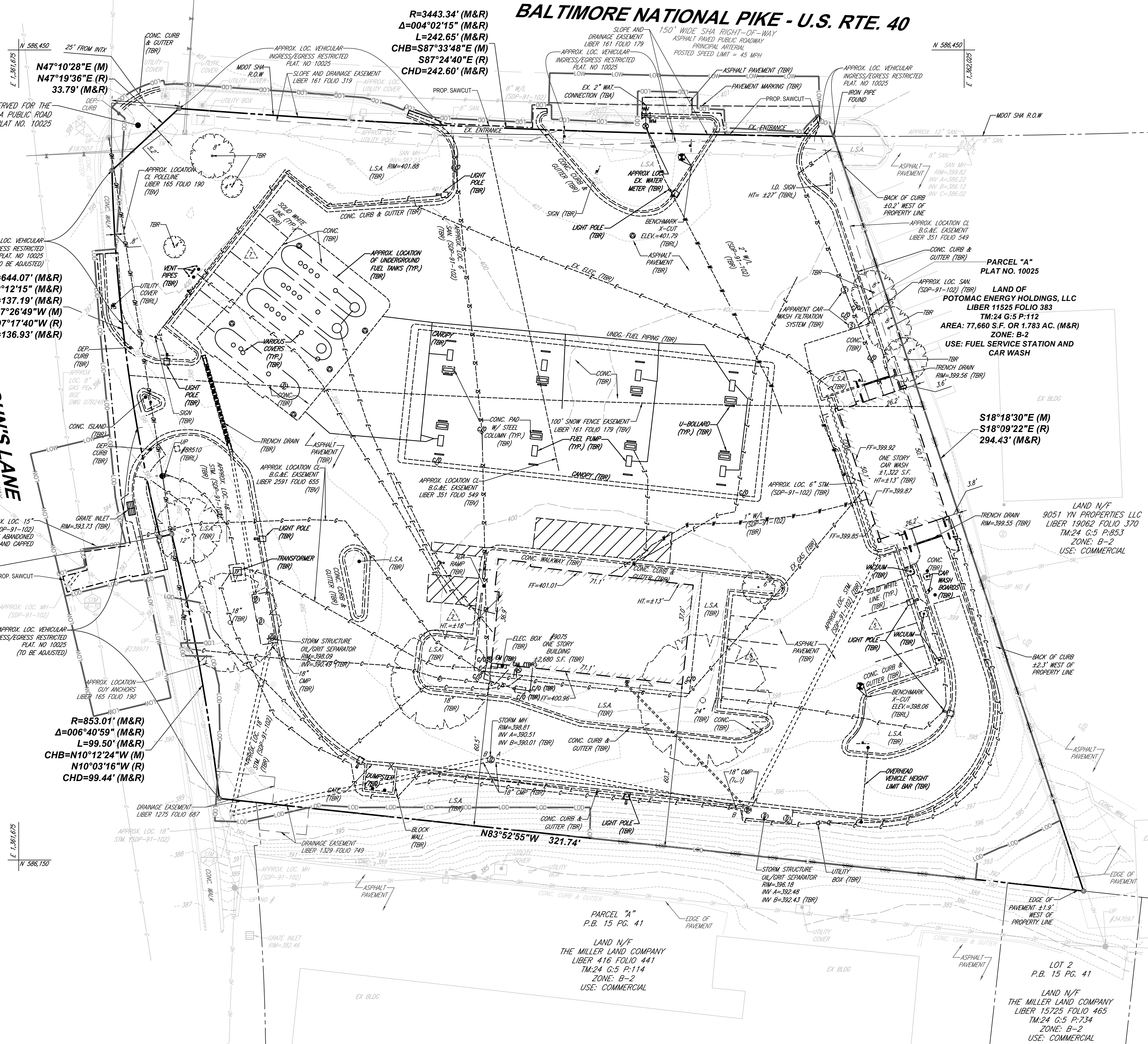
ACCESSIBILITY DESIGN GUIDELINES

1. MORE STRINGENT OF: (A) THE REQUIREMENTS OF THE 'AMERICANS WITH DISABILITIES ACT' (ADA) (42 U.S.C. § 12101 ET SEQ.) AND 42 U.S.C. § 119121 (ET SEQ.) AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS TO BOTH, WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED.

APPROVED: DEPARTMENT OF PLANNING AND ZONING. Signature of Chad Edmondson, dated 9/22/2023. Signature of Linda Brannan, dated 10/6/2023.

OWNER: POTOMAC ENGINEERING HOLDINGS, LLC. DEVELOPER: DASH-IN. ADDRESS: 9075 BALTIMORE NATIONAL PIKE (US RTE. 40). PROJECT: 2ND ELECTION DISTRICT, ZONE B-2.

# BALTIMORE NATIONAL PIKE - U.S. RTE. 40



### SURVEY NOTES:

- THE SUBJECT PARCEL IS PARCEL A AS RECORDED IN PLAT 10025 AND BEING THE LANDS OF POTOMAC ENERGY HOLDINGS LLC AS RECORDED IN LIBER 11525 FOLIO 383, AMONG THE LANDS RECORDS OF HOWARD COUNTY, MARYLAND AND SHOWN ON TAX MAP 24 AS PARCEL 112. PER THE DEPARTMENT OF ASSESSMENTS.
  - AREA = 77,660 SQUARE FEET OR 1.783 ACRES (M&R)
  - LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. SOURCE INFORMATION FROM PLANS AND MARKINGS HAS BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
  - APPROXIMATE LOCATION OF UNDERGROUND UTILITIES ARE SHOWN IN PER PRIVATE UTILITY MARKOUT PERFORMED BY INSIGHT ON NOVEMBER 18, 2020 AND FIELD LOCATED WITH CONVENTIONAL FIELD SURVEY METHODS UNLESS OTHERWISE NOTED.
  - THIS SURVEY WAS PERFORMED IN THE FIELD ON DECEMBER 1, 2020 UTILIZING THE REFERENCE DOCUMENTS AS LISTED HEREON AND DEPICTS BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS.
  - ELEVATIONS ARE BASED ON NAVD83 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY SURVEY CONTROL BENCHMARK NO. 17FB WITH A PUBLISHED ELEVATION OF 456.236 FEET.
  - THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANGE FLOODPLAIN) PER MAP ENTITLED "FIRM FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 50 OF 235", MAP NUMBER 2402700800, WITH A MAP EFFECTIVE DATE OF NOVEMBER 6, 2013.
  - ZONING: B-2 BUSINESS GENERAL
- BUILDING SETBACKS**
- FRONT (N): BUILDING: 30'    PARKING: 10'  
 REAR (S): BUILDING: 0'    PARKING: 10'  
 SIDE (E): BUILDING: 0'    PARKING: 10'  
 SIDE (W): BUILDING: 30'    PARKING: 10'
- ALL ZONING INFORMATION WAS PROVIDED IN A SITE INVESTIGATION REPORT PREPARED BY BOHLER, DATED FEBRUARY 21, 2020 AND REVISED MARCH 3, 2020 AND MUST BE VERIFIED PRIOR TO USE OR RELIANCE UPON SAME. TO CONFIRM THE ZONING INFORMATION REPRESENTS AND DEPICTS THE THEN-CURRENT SITE-SPECIFIC INFORMATION, SHOULD THERE BE ANY CHANGE IN USE, SETBACKS AND/OR SET BACK REQUIREMENTS, ZONING CLASSIFICATION AND/OR ANY OTHER CHANGE OR VARIATION FROM THE CONDITIONS RECORDED HEREIN, THE CLIENT MUST VERIFY COMPLIANCE WITH THE USE, SET BACK, ZONING CLASSIFICATION AND/OR ORDINANCE, REGULATION OR LEGAL REQUIREMENT, PRIOR TO USING OR RELYING UPON THE FINDINGS RECORDED HEREIN, OR REFERENCING SAME AS RELATED TO THE PROPERTY, PROJECT AND/OR DEVELOPMENT.
- NO SURVEY OF SUBTERRANEAN STRUCTURES OR INTERIOR SPACES SUCH AS FOOTINGS, FOUNDATIONS, VAULTS OR BASEMENTS WAS PERFORMED AS PART OF THIS LAND SURVEY, AND THIS PLAN SHOULD NOT BE CONSTRUED AS CERTIFICATION TO THE EXISTENCE OR LOCATION OF THE SAME.
  - PARKING: 18 STANDARD ADA 19 TOTAL SPACES
  - LOCATIONS OF UNDERGROUND FUEL TANKS ARE APPROXIMATE AND ARE SUBJECT TO FIELD VERIFICATION.
  - THERE ARE VISIBLE ENCRoACHMENTS SHOWN ON THE SURVEY AND LISTED BELOW. ENCRoACHMENT IS A LEGAL CONDITION, NOT A MATTER OF SURVEY AND, AS A RESULT, THERE MAY BE OTHER POSSIBLE ENCRoACHMENTS AFFECTING THE PROPERTY THAT ARE NOT SHOWN.
    - CURB ALONG THE EASTERLY BOUNDARY LINE
    - SIDEWALK ALONG THE WESTERLY BOUNDARY LINE
    - ELECTRIC STRUCTURES AND TRAFFIC SIGNAL AT INTERSECTION OF ST. JOHNS AND BALTIMORE NATIONAL PIKE.

### SITE SPECIFIC DEMOLITION NOTES

- CONTRACTOR TO RELOCATE BENCHMARKS ON-SITE TO OUTSIDE THE LOD PRIOR TO START OF CONSTRUCTION.

### LEGEND

- LOD --- LIMIT OF DISTURBANCE
- (TBR) TO BE REMOVED
- (TBL) TO BE RELOCATED
- - - - ON-SITE PROPERTY/R.O.W. LINE
- - - - NEIGHBORING PROPERTY LINE
- - - - SETBACK LINE

### SOILS INFORMATION

SYMBOL	DESCRIPTION	STRUCTURAL LIMITATIONS	HYDROLOGIC GROUP	K FACTOR	HIGHLY ERODIBLE?
U <sub>0</sub> B	URBAN LAND-UDORTHEMITS COMPLEX, 0 TO 8% SLOPES	SOMEWHAT LIMITED	D	NOT RATED	NO

NOTE: ENTIRE SITE AND IMMEDIATE VICINITY IS OF THE SOIL TYPE LISTED ABOVE.

OWNER: POTOMAC ENERGY HOLDINGS, LLC PO BOX 2810 LA PLATA, MD 20646 CONTACT: JASON BELT PHONE: 240-320-6448	DEVELOPER: DASH-IN 102 CENTENNIAL STREET, STE. 100 LA PLATA, MD 20645 CONTACT: JASON BELT PHONE: 240-320-6448
TAX MAP: 24 GRID: 5 PARCEL: 112	ZONED: B-2
2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND	
SUBDIVISION NAME: SHELL OIL COMPANY PARCEL 'A' SECTION AREA: N/A DEED # 11525 100383 PLAT # 10025 26936 PREVIOUS DPZ FILE NUMBERS: SDP-13-656, SDP-73-062, SDP-84-051, SDP-91-102, F-91-158, F-24-010, WP-91-185, BA-90-13E, ECP-22-032, BA-22-010C&V, WP-27-073.	

### REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

**811**  
 Know what's below.  
 Call before you dig.  
 ALWAYS CALL 811  
 It's fast. It's free. It's the law.

APPROVED FOR CONSTRUCTION

PROJECT NO.:	MD204000
DRAWN BY:	DM/DBN
CHECKED BY:	RMS
DATE:	02/24/23
CAD ID:	SITE-1

**SITE DEVELOPMENT PLAN**

FOR

**DASH IN**

STORE #1832  
 9075 BALTIMORE NATIONAL PIKE  
 (US RTE. 40)  
 ELLICOTT CITY, MD 21043  
 TAX MAP 24, GRID 5, PARCEL 112  
 HOWARD COUNTY  
 2ND ELECTION DISTRICT  
 ZONE: B-2

**BOHLER**

901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21204  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 MD@BohlerEng.com

**R.M. STASIOSWSKI**

PROFESSIONAL ENGINEER  
 LICENSE NO. 11525-100383

**EXISTING CONDITIONS AND DEMOLITION PLAN**

SHEET NUMBER: **3**

SHA TRACKING NO.: 22APH016XX

**FILE NO. SDP-23-007**

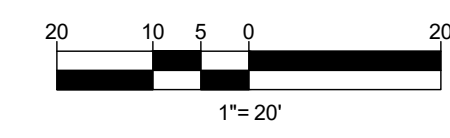
**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

Documented by: *Chad Edmondson* 9/22/2023

CHIEF DEVELOPMENT ENGINEERING DIVISION DATE 9/25/2023

CHIEF DIVISION OF LAND DEVELOPMENT DATE 10/6/2023

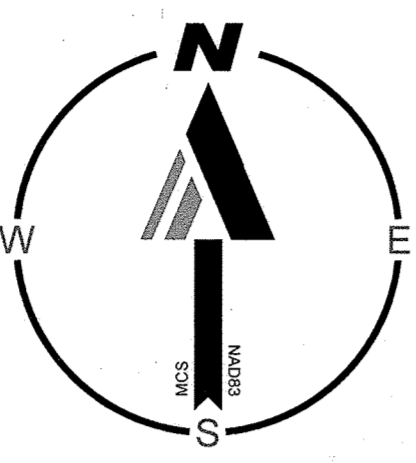
DIRECTOR, DEPARTMENT OF PLANNING & ZONING DATE



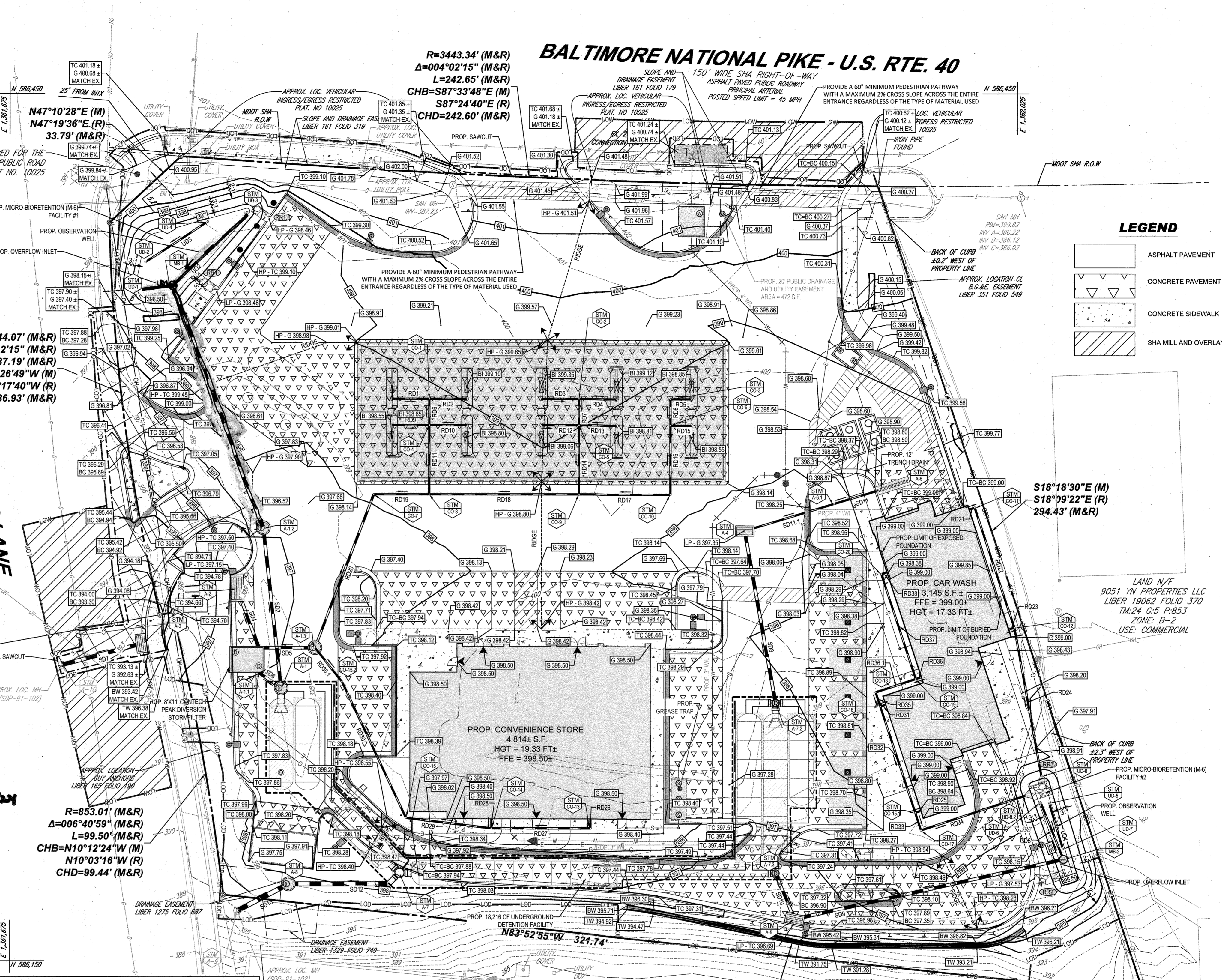
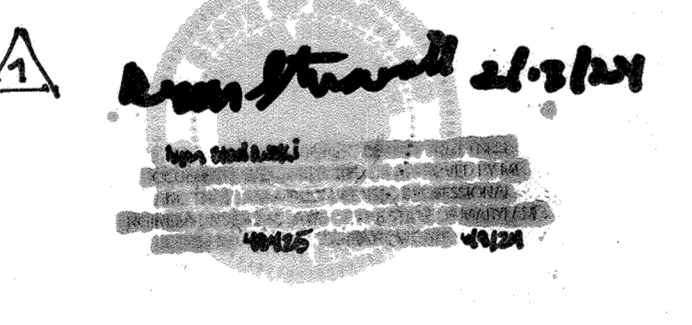


STORM SEWER PIPE SCHEDULE

Table with columns: FROM, FROM INV, TO, TO INV, PIPE LENGTH, SLOPE (%), DIAMETER (IN.), MATERIAL, NO. Lists pipe segments from CO-1 to MB-2 with various specifications.



FOR REVISION 1 ONLY R.M. STASIOWSKI



LEGEND table defining symbols for ASPHALT PAVEMENT, CONCRETE PAVEMENT, CONCRETE SIDEWALK, and SHA MILL AND OVERLAY.

REVISIONS table with columns: REV, DATE, COMMENT, DRAWN BY, CHECKED BY. Shows revision 1 dated 12/14/23.

811 Know what's below. Call before you dig. ALWAYS CALL 811. It's fast. It's free. It's the law.

APPROVED FOR CONSTRUCTION. THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

SITE DEVELOPMENT PLAN FOR DASH IN STORE #1832, 9075 BALTIMORE NATIONAL PIKE US RTE. 40, ELICOTT CITY, MD 21043.

BOHLER// 901 DULANEY VALLEY ROAD, SUITE 801 TOWSON, MARYLAND 21284. Phone: (410) 821-7900.

R.M. STASIOWSKI PROFESSIONAL ENGINEER. License No. 14125, State of Maryland. Expiration Date: 09/20/22.

STORM STRUCTURE SCHEDULE table with columns: NAME, TYPE, RIM ELEV. (FT.), INVERTS. Lists structures A-1 through A-6.

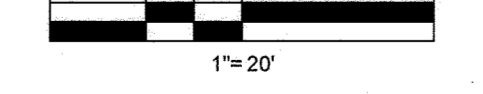
STORM STRUCTURE SCHEDULE table with columns: NAME, TYPE, RIM ELEV. (FT.), INVERTS. Lists structures A-7 through CO-5.

STORM STRUCTURE SCHEDULE table with columns: NAME, TYPE, RIM ELEV. (FT.), INVERTS. Lists structures CO-6 through CO-15.

STORM STRUCTURE SCHEDULE table with columns: NAME, TYPE, RIM ELEV. (FT.), INVERTS. Lists structures CO-16 through MB-2.

STORM STRUCTURE SCHEDULE table with columns: NAME, TYPE, RIM ELEV. (FT.), INVERTS. Lists structures UD-2 through UD-8.

NOTES: 1. SPOT ELEVATIONS NOTED AS ± HAVE BEEN INTERPOLATED FROM EXISTING TOPOGRAPHY... 2. CONTRACTOR TO ENSURE TOP OF GABION INFLOW PROTECTIONS TO BE FLUSH WITH TOP OF PAVEMENT AT CURB CUTS.



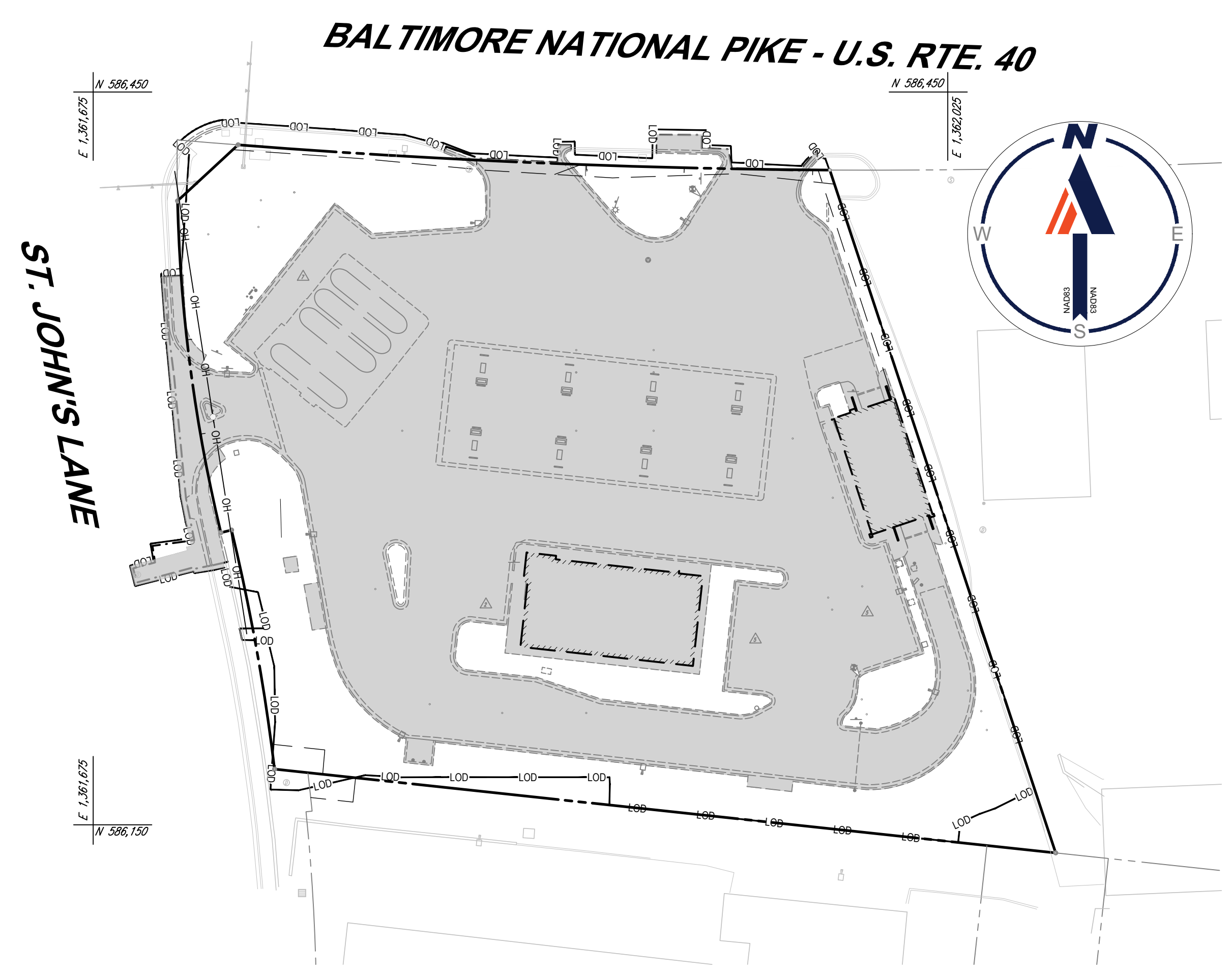
APPROVED: DEPARTMENT OF PLANNING AND ZONING. Chief Development Engineering Division: 9/22/2023. Chief Division of Land Development: 10/6/2023.

OWNER: POTOMAC ENERGY HOLDINGS, LLC. DEVELOPER: DASH-IN. TAX MAP: 24 GRID: 5 PARCEL: 112. ZONED: B-2.

GRADING AND DRAINAGE PLAN SHEET NUMBER: 5. SHA TRACKING NO.: 22APH018X. FILE NO. SDP-23-007

BOHLER// SITE CIVIL AND CONSULTING ENGINEERING. PROJECT MANAGEMENT, LANDSCAPE ARCHITECTURE, SUSTAINABLE DESIGN, PERMITTING SERVICES, TRANSPORTATION SERVICES.

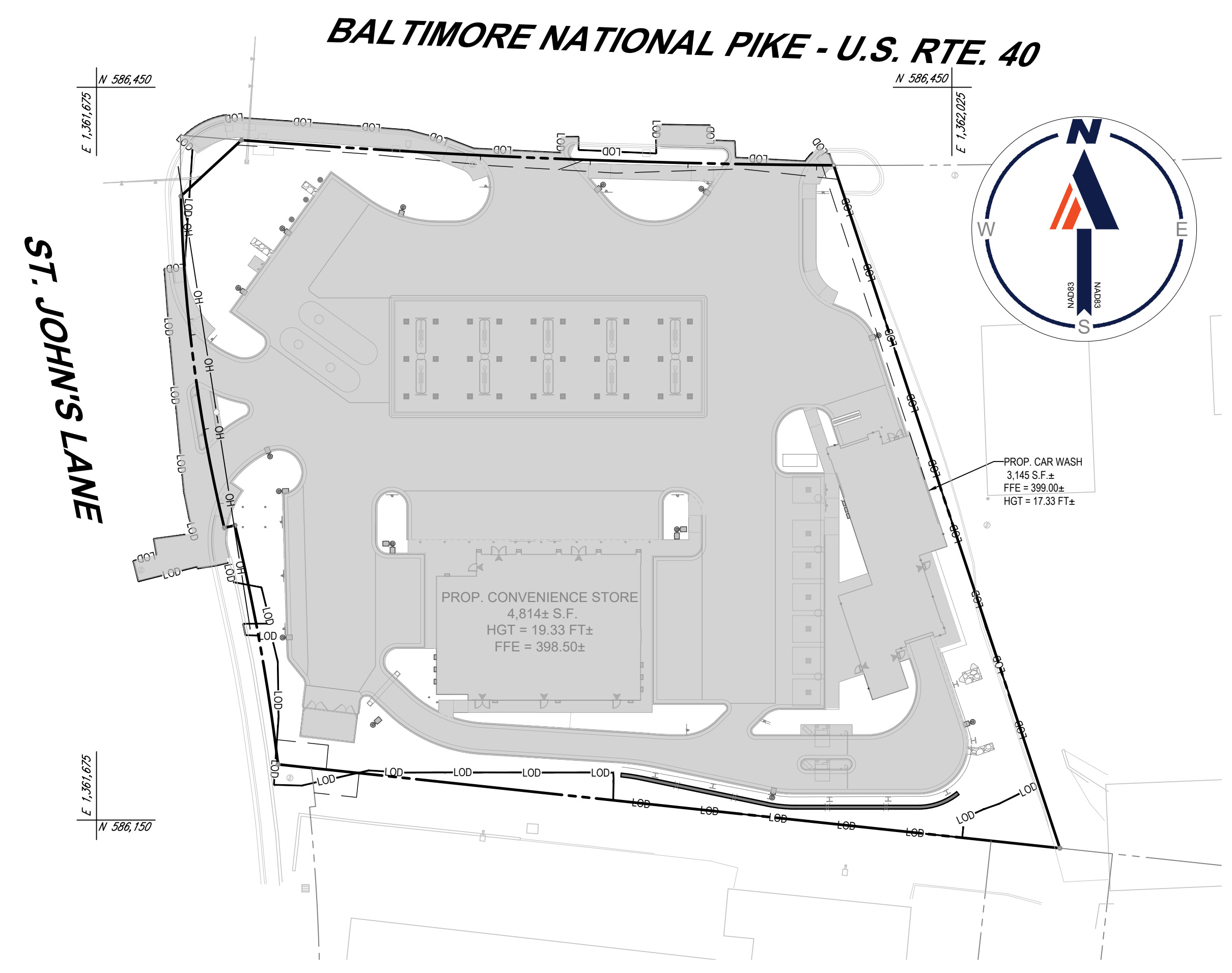
Vertical text on the left edge: 11/20/2023 09:00 AM C:\WORKING\SDP\PLAN SETS\SITE DEVELOPMENT\PLAN\MD24000\SITE-1-PLAN.LAYOUT.DWG



**PREDEVELOPMENT QUALITY COVERAGE MAP**  
SCALE: 1"=40'

IMPERVIOUS = 56,522 S.F. OR 1.30 AC.  
PERVIOUS = 21,148 S.F. OR 0.48 AC.  
TOTAL = 77,670 S.F. OR 1.78 AC.

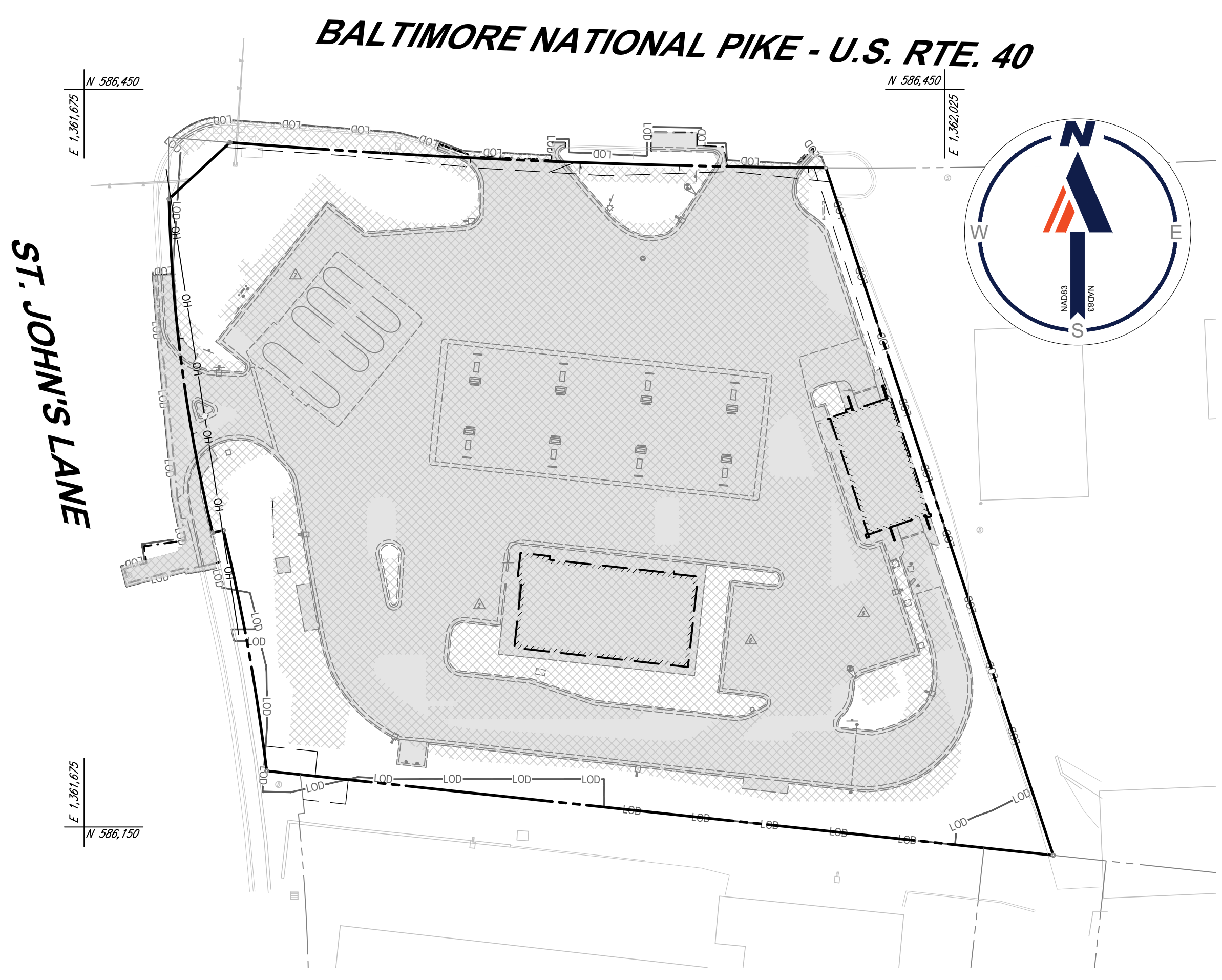
SITE IS CONSIDERED REDEVELOPMENT BECAUSE THE EXISTING IMPERVIOUS COVERAGE IS GREATER THAN 40%.



**POSTDEVELOPMENT QUALITY COVERAGE MAP**  
SCALE: 1"=40'

IMPERVIOUS = 60,928 S.F. OR 1.40 AC.  
PERVIOUS = 16,742 S.F. OR 0.38 AC.  
TOTAL = 77,670 S.F. OR 1.78 AC.

IMPERVIOUS AREA ADDED = 1.40 AC. - 1.30 AC. = 0.10 AC.  
IMPERVIOUS AREA REQUIRING TREATMENT (IART) = (1.40 AC. - 1.30 AC.) + 0.5(1.30 AC.) = 0.75 AC.



**PRE & POSTDEVELOPMENT QUALITY COVERAGE MAP OVERLAY**  
SCALE: 1"=40'

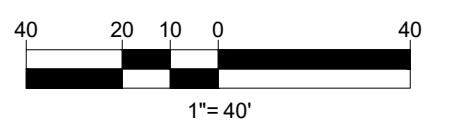
**SOILS INFORMATION**

SYMBOL	DESCRIPTION	STRUCTURAL LIMITATIONS	HYDROLOGIC GROUP	K FACTOR	HIGHLY ERODIBLE?
U <sub>6</sub> B	URBAN LAND-UDORTHENTS COMPLEX, 0 TO 8% SLOPES	SOMEWHAT LIMITED	D	NOT RATED	NO

NOTE: ENTIRE SITE AND IMMEDIATE VICINITY IS OF THE SOIL TYPE LISTED ABOVE.

**LEGEND**

- IMPERVIOUS AREA
- PROPOSED IMPERVIOUS AREA (OVERLAY)
- SITE AREA/LIMIT OF DISTURBANCE



OWNER: POTOMAC ENERGY HOLDINGS, LLC PO BOX 2810 LA PLATA, MD 20646 CONTACT: JASON BELT PHONE: 240-320-6448	DEVELOPER: DASH-IN 102 CENTENNIAL STREET, STE. 100 LA PLATA, MD 20645 CONTACT: JASON BELT PHONE: 240-320-6448	
TAX MAP: 24	GRID: 5	PARCEL: 112
ZONED: B-2		
2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND		
SUBDIVISION NAME: SHELL OIL COMPANY PARCEL 'A'		
SECTION AREA: N/A		
DEED # 11525 / 00383		
PLAT # 10025 / 28936		
PREVIOUS DPZ FILE NUMBERS: SDP-73-056, SDP-73-062, SDP-84-051, SDP-91-102, F-91-158, F-24-010, WP-91-185, BA-90-13E, ECP-22-032, BA-22-01C&V, WP-27-073.		

**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

**811**  
Know what's below.  
Call before you dig.  
ALWAYS CALL 811  
It's fast. It's free. It's the law.

APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	MD204000
DRAWN BY:	DMD/BN
CHECKED BY:	RMS
DATE:	02/24/23
CAD ID:	DRIN-1

PROJECT:

**SITE DEVELOPMENT PLAN**

FOR

**DASH IN**

STORE #1832  
9075 BALTIMORE NATIONAL PIKE  
(US RTE. 40)  
ELLICOTT CITY, MD 21043  
TAX MAP 24, GRID 5, PARCEL 112  
HOWARD COUNTY  
2ND ELECTION DISTRICT  
ZONE: B-2

**BOHLER**  
901 DULANEY VALLEY ROAD, SUITE 801  
TOWSON, MARYLAND 21204  
Phone: (410) 821-7900  
Fax: (410) 821-7987  
MD@BohlerEng.com

**R.M. STASIOSKI**  
PROFESSIONAL ENGINEER  
No. 49425, EXPIRATION DATE: 6/30/24

SHEET TITLE:  
**QUALITY COVERAGE MAPS**

SHEET NUMBER:  
**6**

SHA TRACKING NO.: 22APH016XX

**FILE NO. SDP-23-007**

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

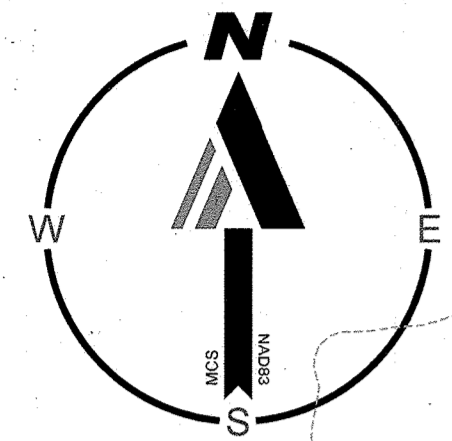
	9/22/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
	10/6/2023
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
DIRECTOR, DEPARTMENT OF PLANNING & ZONING	DATE

BALTIMORE NATIONAL PIKE - U.S. RTE. 40

FOR REVISION 1 ONLY

R.M. STASIEWSKI

*Return stamped sheets*  
*1/1/24*

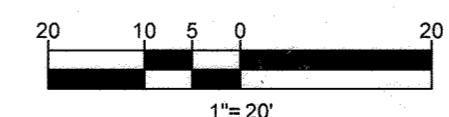


SWM DRAINAGE AREAS			
1	IMPERVIOUS	6,098 S.F. OR 0.14 AC.	
	PERVIOUS	4,356 S.F. OR 0.10 AC.	
	TOTAL	10,454 S.F. OR 0.24 AC.	
	ESDv REQUIRED	571 CF	
	ESDv PROVIDED	1,033 CF	
2	IMPERVIOUS	4,356 S.F. OR 0.10 AC.	
	PERVIOUS	1,307 S.F. OR 0.03 AC.	
	TOTAL	5,663 S.F. OR 0.13 AC.	
	ESDv REQUIRED	395 CF	
	ESDv PROVIDED	408 CF	
3	IMPERVIOUS	22,216 S.F. OR 0.51 AC.	
	PERVIOUS	871 S.F. OR 0.02 AC.	
	TOTAL	23,087 S.F. OR 0.53 AC.	
	ESDv REQUIRED	1,762 CF	
	ESDv PROVIDED	1,762 CF	
TOTAL REQUIRED IMPERVIOUS TREATMENT AREA		0.75 AC.	
TOTAL IMPERVIOUS AREA TREATED		0.75 AC.	
ESDv REQUIRED		2,911 C.F.	
ESDv PROVIDED		3,203 C.F.	

STORM DRAIN DRAINAGE AREAS			
AREA	COVERAGE	ACREAGE	C VALUE
A-2	IMPERVIOUS	0.272 AC.	0.87
	PERVIOUS	0.018 AC.	
	TOTAL	0.29 AC.	
A-3	IMPERVIOUS	0.176 AC.	0.80
	PERVIOUS	0.038 AC.	
	TOTAL	0.214 AC.	
A-4	IMPERVIOUS	0.337 AC.	0.81
	PERVIOUS	0.064 AC.	
	TOTAL	0.401 AC.	
A-5	IMPERVIOUS	0.171 AC.	0.79
	PERVIOUS	0.043 AC.	
	TOTAL	0.214 AC.	
A-6	IMPERVIOUS	0.006 AC.	0.90
	PERVIOUS	0 AC.	
	TOTAL	0.006 AC.	
A-1.3	IMPERVIOUS	0.24 AC.	0.90
	PERVIOUS	0 AC.	
	TOTAL	0 AC.	
MB-1	IMPERVIOUS	0.14 AC.	0.67
	PERVIOUS	0.10 AC.	
	TOTAL	0.24 AC.	
MB-2	IMPERVIOUS	0.10 AC.	0.77
	PERVIOUS	0.03 AC.	
	TOTAL	0.13 AC.	

LEGEND

- STORM DRAIN DRAINAGE DIVIDE
- ESD DRAINAGE DIVIDE
- IMPERVIOUS AREA TO ESDv TREATMENT FACILITIES
- IMPERVIOUS AREA BYPASSING TREATMENT FACILITIES



**APPROVED: DEPARTMENT OF PLANNING AND ZONING**  
 Documented by: *[Signature]* 9/22/2023  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
 Documented by: *[Signature]* 9/25/2023  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
 Documented by: *[Signature]* 10/6/2023  
 DIRECTOR, DEPARTMENT OF PLANNING & ZONING DATE

OWNER: POTOMAC ENERGY HOLDINGS, LLC  
 DEVELOPER: DASH-IN  
 102 CENTENNIAL STREET, STE. 100  
 LA PLATA, MD 20646  
 CONTACT: JASON BELT  
 PHONE: 240-320-6448

TAX MAP: 24 GRID: 5 PARCEL: 112  
 ZONED: B-2  
 2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: SHELL OIL COMPANY PARCEL 'A'  
 SECTION: 20506  
 DEED # 11525 / 00383  
 PREVIOUS DPZ FILE NUMBERS: SDP-73-056, SDP-73-052, SDP-94-051, SDP-91-102, F-31-158, F-24-010, WP-31-185, BA-90-13E, ECP 22-032, BA-22-001C&V, WP-27-073.

**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 LAND SURVEYING  
 PROJECT MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	10/6/23	REVISION OF PLAN PLAN 61006	DMW	JCB

**811**  
 Know what's Below.  
 Call before you dig.  
 ALWAYS CALL 811  
 It's fast. It's free. It's the law.

**APPROVED FOR CONSTRUCTION**  
 THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD204000  
 DRAWN BY: DMW/DGN  
 CHECKED BY: RMS  
 DATE: 02/24/23  
 CAD I.D.: DRIN-1

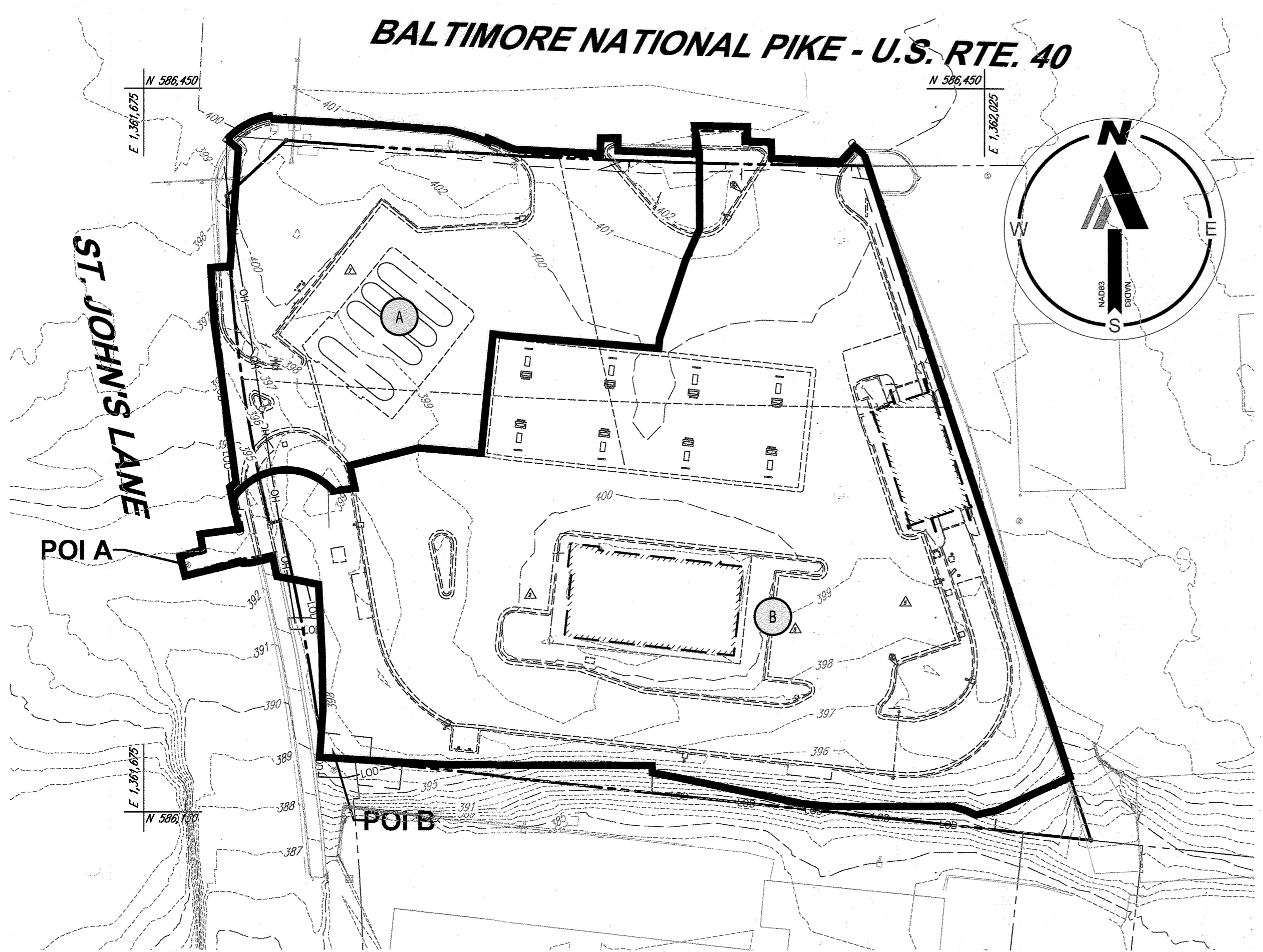
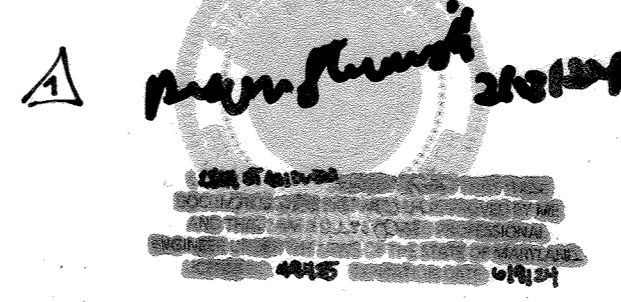
PROJECT: **SITE DEVELOPMENT PLAN**  
 FOR **DASH IN**  
 STORE #1832  
 9075 BALTIMORE NATIONAL PIKE  
 U.S. RTE. 40  
 ELLICOTT CITY, MD 21043  
 TAX MAP 24, GRID 5, PARCEL 112  
 HOWARD COUNTY  
 2ND ELECTION DISTRICT  
 ZONE: B-2

**BOHLER**  
 901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 MD@BohlerEng.com

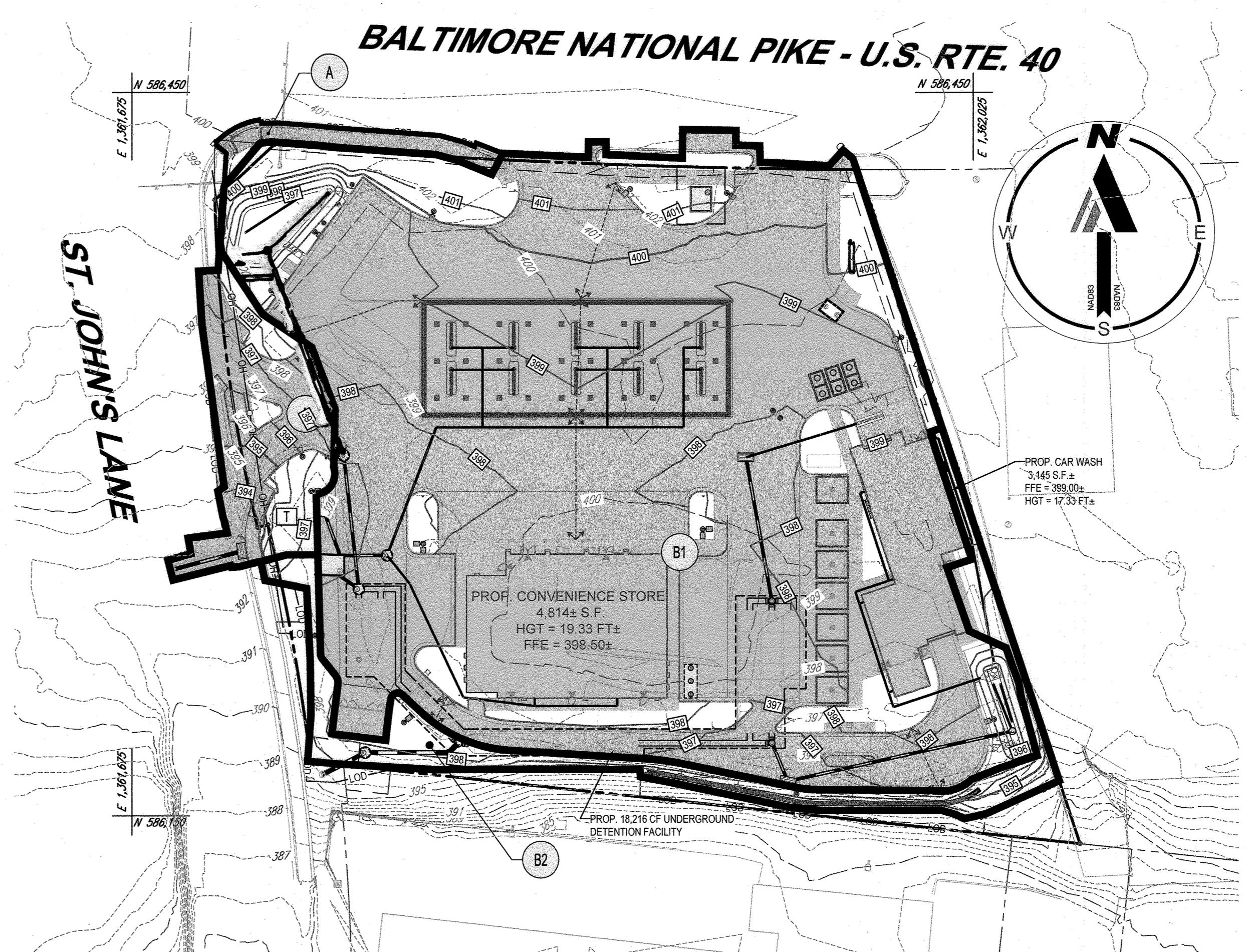
**R.M. STASIEWSKI**  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 19302  
 EXPIRES 12/31/24

SHEET TITLE: **ESD AND STORM DRAIN DRAINAGE AREA MAP**  
 SHEET NUMBER: **7**  
 SHA TRACKING NO.: 22APH018XX

FOR REVISION 1 ONLY  
R.M. STASIEWSKI



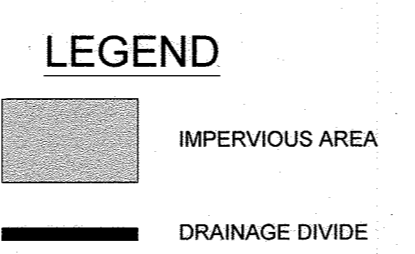
**PREDEVELOPMENT DRAINAGE AREA MAP**  
SCALE: 1"=40'



**POSTDEVELOPMENT DRAINAGE AREA MAP**  
SCALE: 1"=40'

PEAK FLOW ANALYSIS		
A	SITE AREA (WOODS, GOOD CONDITION)	21,888 S.F. OR 0.50 AC.
	RCN	77
	Tc	0.1 HRS
	Q <sub>10</sub>	1.97 CFS
	Q <sub>100</sub>	4.37 CFS
B	SITE AREA (WOODS, GOOD CONDITION)	56,040 S.F. OR 1.28 AC.
	RCN	77
	Tc	0.1 HRS
	Q <sub>10</sub>	5.04 CFS
	Q <sub>100</sub>	11.20 CFS
	Q <sub>0.5</sub>	5.00 CFS
	Q <sub>0.5</sub>	12.80 CFS

**SITE TOTAL (ALL POI's)**  
Q<sub>10</sub> = 7.01 CFS  
Q<sub>100</sub> = 15.57 CFS  
Q<sub>0.5</sub> = 17.79 CFS

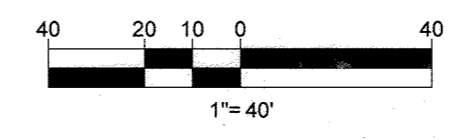


**NOTE**  
ALL TC PATHS ARE ASSUMED TO BE 0.1 HRS SINCE THE SITE IS DEVELOPED.

PEAK FLOW ANALYSIS		
A	IMPERVIOUS	3,363 S.F. OR 0.08 AC.
	PERVIOUS	1,742 S.F. OR 0.04 AC.
	TOTAL	5,105 S.F. OR 0.12 AC.
	RCN	92
	Tc	0.1 HRS
B1	Q <sub>10</sub>	0.70 CFS
	Q <sub>100</sub>	1.27 CFS
	Q <sub>0.5</sub>	1.57 CFS
	IMPERVIOUS	57,990 S.F. OR 1.33 AC.
	PERVIOUS	10,434 S.F. OR 0.24 AC.
B2	TOTAL	68,424 S.F. OR 1.57 AC.
	RCN	95
	Tc	0.1 HRS
	Q <sub>10</sub> (UNMANAGED)	9.57 CFS
	Q <sub>10</sub>	3.14 CFS
POI B TOTAL	Q <sub>100</sub> (UNMANAGED)	16.94 CFS
	Q <sub>100</sub> (MANAGED)	4.49 CFS
	Q <sub>0.5</sub> (UNMANAGED)	21.07 CFS
	Q <sub>0.5</sub> (MANAGED)	9.62 CFS
	IMPERVIOUS	0 S.F. OR 0 AC.
B2	PERVIOUS	4,819 S.F. OR 0.11 AC.
	TOTAL	4,819 S.F. OR 0.11 AC.
	RCN	80
	Tc	0.1 HRS
	Q <sub>10</sub>	0.48 CFS
POI B TOTAL	Q <sub>100</sub>	1.01 CFS
	Q <sub>0.5</sub>	1.17 CFS
	Q <sub>10</sub>	3.45 CFS
	Q <sub>100</sub>	4.89 CFS
	Q <sub>0.5</sub>	10.23 CFS

PEAK FLOW ANALYSIS		
B2	IMPERVIOUS	0 S.F. OR 0 AC.
	PERVIOUS	4,819 S.F. OR 0.11 AC.
	TOTAL	4,819 S.F. OR 0.11 AC.
	RCN	80
	Tc	0.1 HRS
POI B TOTAL	Q <sub>10</sub>	0.48 CFS
	Q <sub>100</sub>	1.01 CFS
	Q <sub>0.5</sub>	1.17 CFS
	Q <sub>10</sub>	3.45 CFS
	Q <sub>100</sub>	4.89 CFS
	Q <sub>0.5</sub>	10.23 CFS

**SITE TOTAL MANAGED (ALL POI's)**  
Q<sub>10</sub> = 4.15 CFS  
Q<sub>100</sub> = 6.16 CFS  
Q<sub>0.5</sub> = 11.80 CFS



**APPROVED: DEPARTMENT OF PLANNING AND ZONING**  
 Documented by: *[Signature]* DATE: 9/22/2023  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 Documented by: *[Signature]* DATE: 9/25/2023  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 Documented by: *[Signature]* DATE: 10/6/2023  
 DIRECTOR, DEPARTMENT OF PLANNING & ZONING

OWNER: POTOMAC ENERGY HOLDINGS, LLC  
 DEVELOPER: DASH-IN  
 TAX MAP: 24 GRID: 5 PARCEL: 112  
 ZONED: B-2  
 SUBDIVISION NAME: SHELL OIL COMPANY PARCEL 'A'  
 SECTION: N/A  
 DEED # 11625 / 00383  
 PLAT # 10225, 26595  
 PREVIOUS DPZ FILE NUMBERS: SDP-73-056, SDP-73-062, SDP-84-051, SDP-91-102, F-91-156, F-24-010, WP-91-185, BA-90-13E, ECP 22-032, BA-22-001C&V, WP-27-073.

**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 LAND SURVEYING  
 PROCESSIONAL ARCHITECTURE  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	12/1/23	APPROVAL OF REVISIONS	DMP	DCB

**811**  
 Know what's below.  
 Call before you dig.  
 ALWAYS CALL 811  
 It's fast. It's free. It's the law.

**APPROVED FOR CONSTRUCTION**  
 THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.  
 PROJECT NO.: MD204000  
 DRAWN BY: DM/DNA  
 CHECKED BY: RMS  
 DATE: 02/24/23  
 CAD I.D.: DRIN-1

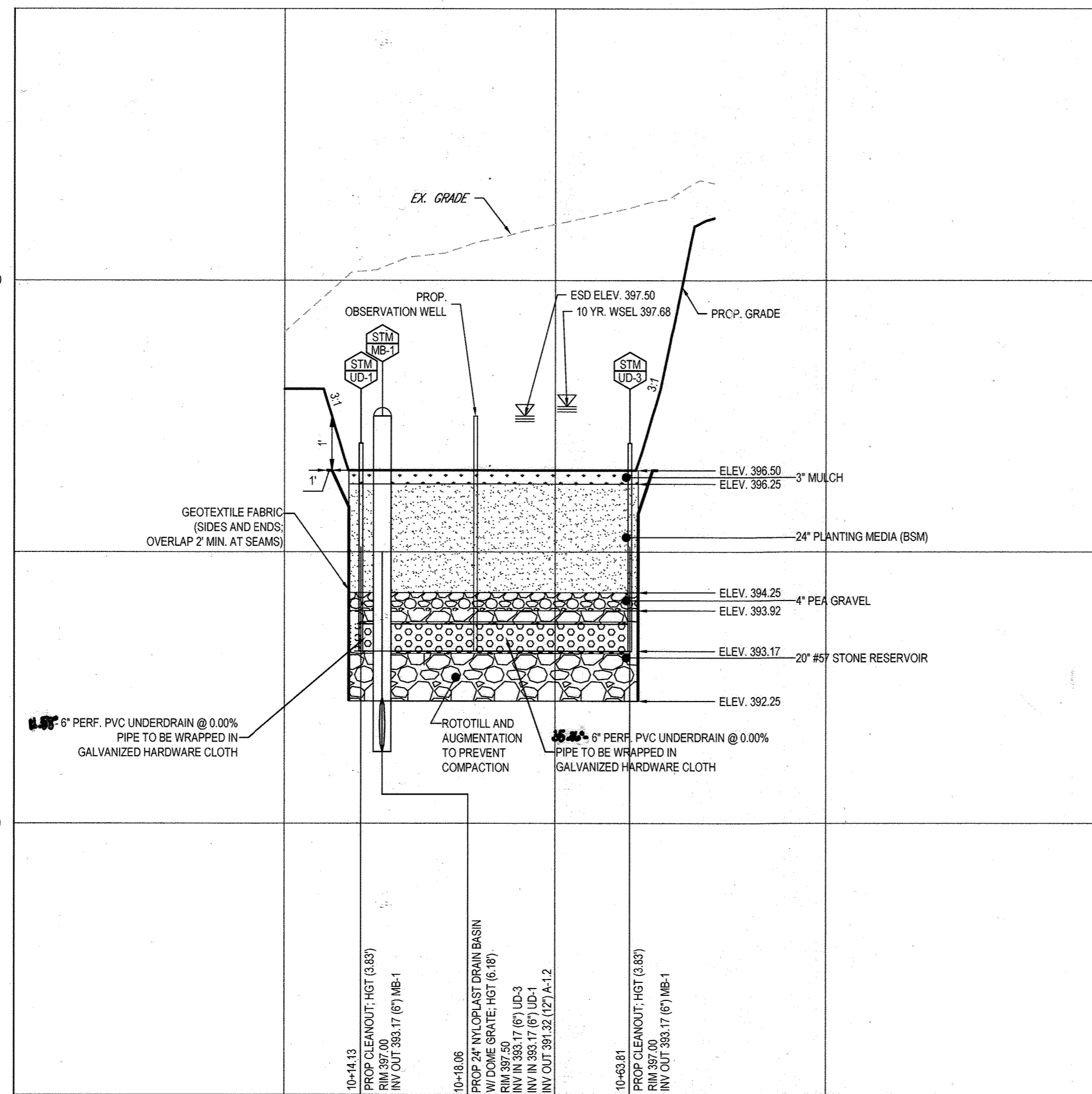
**SITE DEVELOPMENT PLAN**  
 FOR  
**DASH IN**  
 STORE #1832  
 9075 BALTIMORE NATIONAL PIKE (US RTE 40)  
 ELLICOTT CITY, MD 21043  
 TAX MAP 24, GRID 5, PARCEL 112  
 HOWARD COUNTY  
 2ND ELECTION DISTRICT  
 ZONE: B-2

**BOHLER**  
 901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 MD@BohlerEng.com

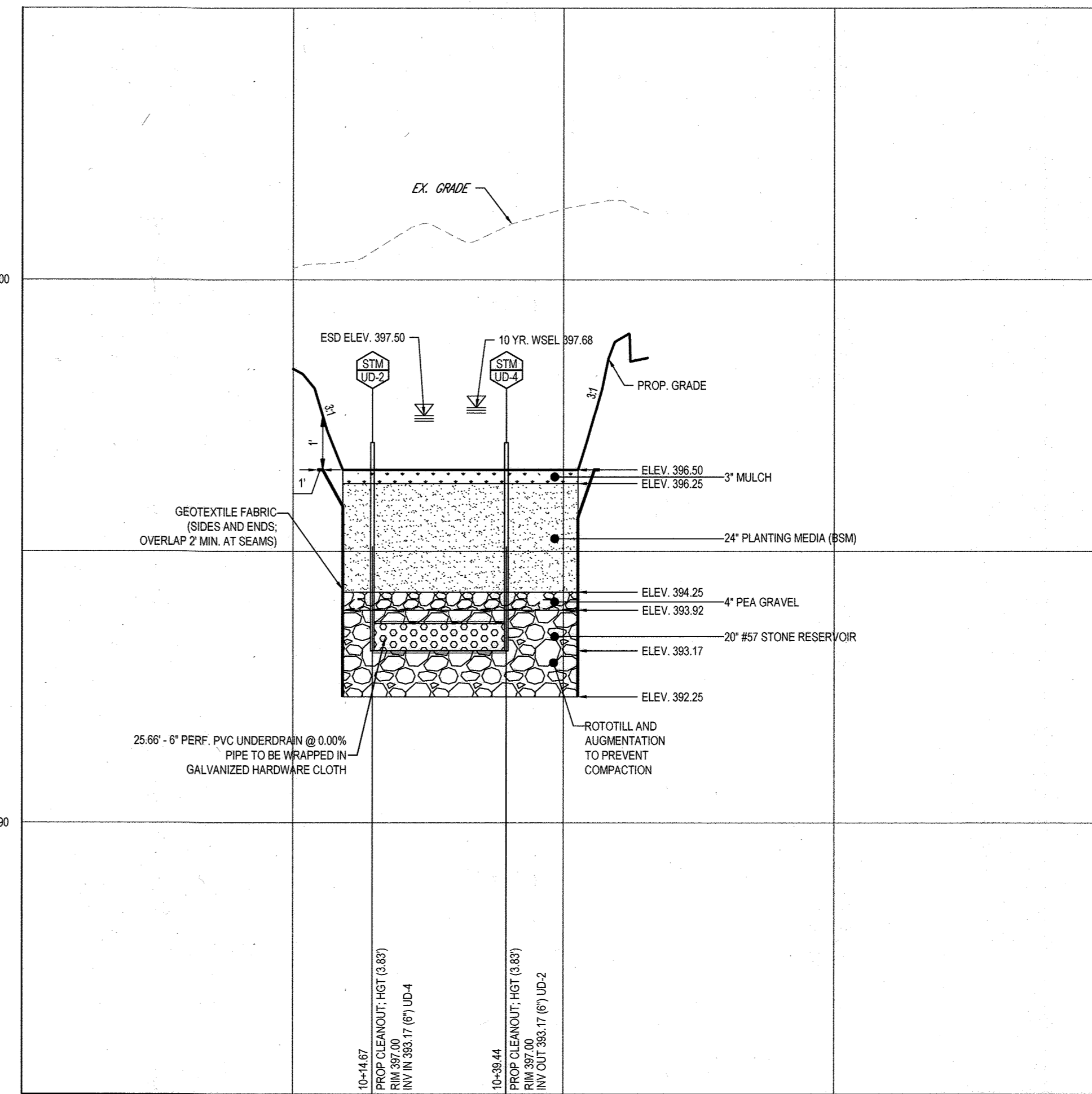
**R.M. STASIEWSKI**  
 PROFESSIONAL ENGINEER  
 License No. 992022  
 I, RYAN STASIEWSKI, CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 992022, EXPIRATION DATE 09/2024.

SHEET TITLE:  
**QUANTITY DRAINAGE AREA MAPS**  
 SHEET NUMBER:  
**8**  
 SHA TRACKING NO.: 22APH0016XX



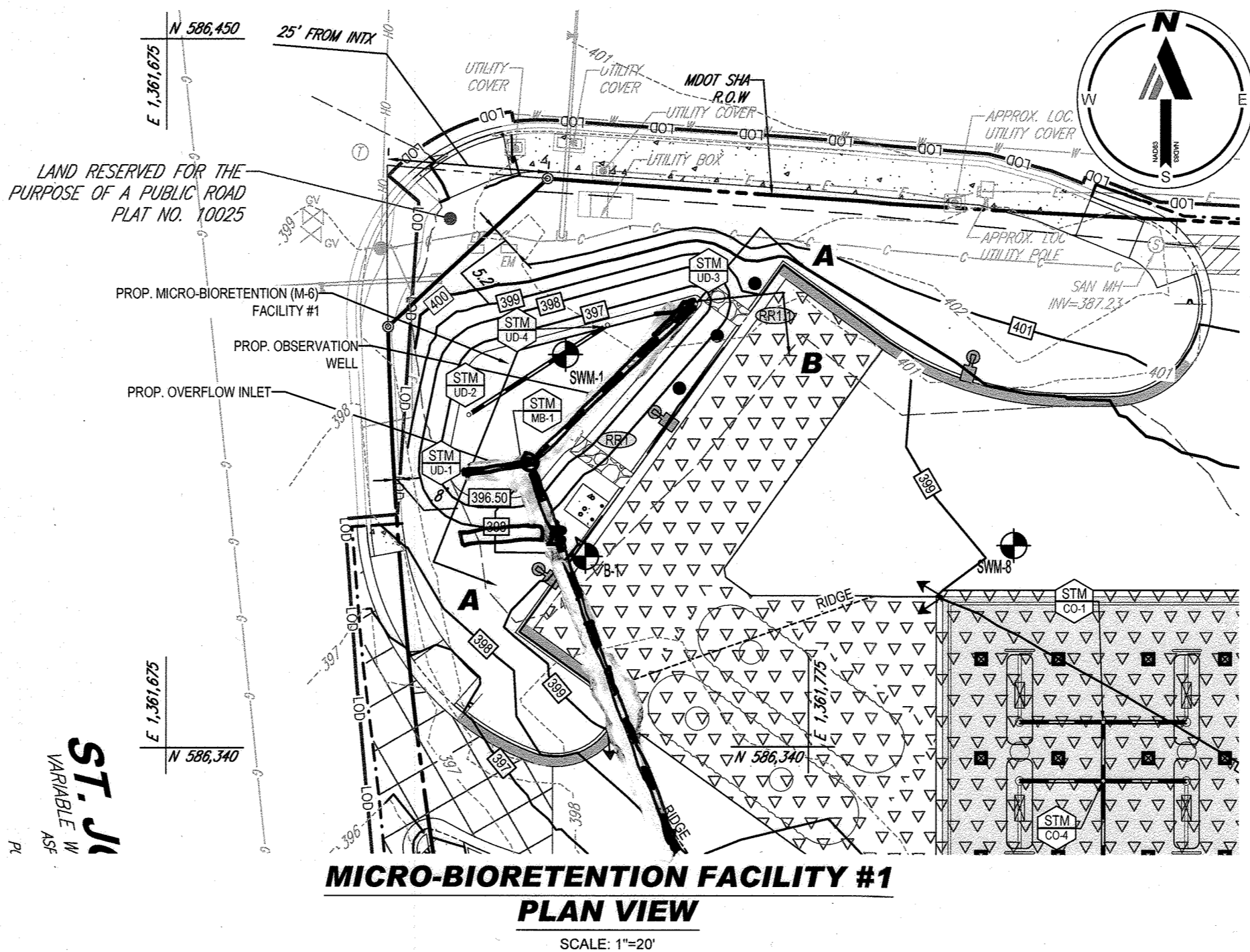


**MICRO-BIORETENTION FACILITY SECTION A-A**  
SCALE: 1"= 20' HORIZONTAL  
1"= 2' VERTICAL



**MICRO-BIORETENTION FACILITY SECTION B-B**  
SCALE: 1"= 20' HORIZONTAL  
1"= 2' VERTICAL

DEPTH (FT)	SAMPLE NUMBER	SAMPLE TYPE	SAMPLE DIST. (IN)	RECOVERY (IN)	DESCRIPTION OF MATERIAL	WATER LEVELS	ELEVATION (FT)	BLOWS/FT
					Topsoil Thickness(2")			
5	S-1	SS	18	12	(SM FILL) FILL, SILTY SAND, trace gravel, grayish brown, moist, medium dense		4-9-12 (21)	
5	S-2	SS	18	16	(SC) CLAYEY SAND, brown, moist, medium dense		7-8-9 (17)	
10	S-3	SS	18	18	(SM) SILTY SAND, brown, moist, medium dense		6-8-10 (18)	
10	S-4	SS	18	16	(SM) SILTY SAND, brown, moist, medium dense		9-13-16 (29)	
15	S-5	SS	18	14	(WR) WEATHERED ROCK SAMPLED AS SILTY SAND, brown, moist, very dense [Weathered ROCK]		17-29-43 (72)	
END OF DRILLING AT 15.0 FT							386	
							381	
							376	
							371	

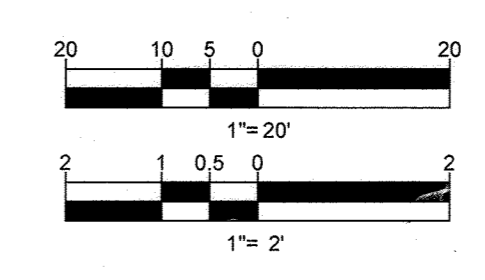
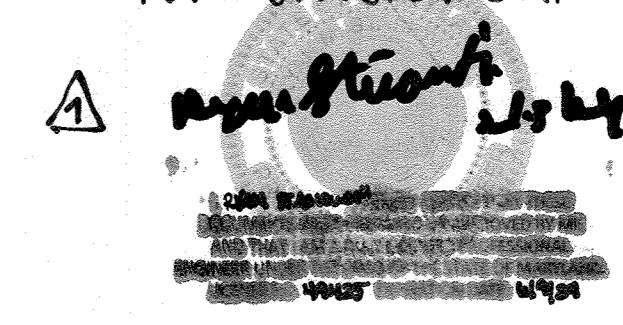


ST-JI  
AVAILABLE IN  
AS

SYMBOL	DESCRIPTION	LENGTH	BOTTOM WIDTH	THICKNESS	D <sub>50</sub>	D <sub>MAX</sub>
(SRT)	GABION INFLOW PROTECTION ON NONWOVEN GEOTEXTILE FABRIC	10'	3'	12"	5.5"	7"
(SRT)	GABION INFLOW PROTECTION ON NONWOVEN GEOTEXTILE FABRIC	6'	3'	12"	5.5"	7"

- NOTES:**
- ALL STORMWATER MANAGEMENT FACILITIES ON-SITE ARE TO BE PRIVATELY OWNED AND MAINTAINED.
  - REFER TO SHEET 5 FOR STORM DRAIN INVERTS AND STORM STRUCTURE DATA.

FOR REVISION 1 ONLY  
R.M. STASIEWSKI



OWNER: POTOMAC ENERGY HOLDINGS, LLC PO BOX 2810 LA PLATA, MD 20646 CONTACT: JASON BELT PHONE: 240-320-6448	DEVELOPER: DASH-IN 102 CENTENNIAL STREET, STE. 100 LA PLATA, MD 20646 CONTACT: JASON BELT PHONE: 240-320-6448	
TAX MAP: 24	GRID: 5	PARCEL: 112
2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND		
SUBDIVISION NAME: SHELL OIL COMPANY PARCEL 'A' SECTION: A, VIA DEED # 11525 / 00383 PLAT # 10025, 20036		
PREVIOUS DP2 FILE NUMBERS: SDP-73-056, SDP-73-062, SDP-84-001, SDP-81-102, F-31-158, F-24-010, WIP-81-185, BA-90-193, ECP-22-032, BA-22-001, CAV, WIP-21-073.		

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

Chief, Development Engineering Division  
*Wanda Cramer* 9/22/2023

Chief, Division of Land Development  
*Wanda Cramer* 9/25/2023

Director, Department of Planning & Zoning  
*Wanda Cramer* 10/6/2023

**BOHLER**

SITE CIVIL AND CONSULTING ENGINEERING  
LAND SURVEYING  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	12/1/23	ADDITION OF FILED SYMBOLS	DMC/BN	JCB

**811**

Know what's below.  
Call before you dig.  
ALWAYS CALL 811  
It's fast. It's free. It's the law.

**APPROVED FOR CONSTRUCTION**

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	MD204000
DRAWN BY:	DMC/BN
CHECKED BY:	RMS
DATE:	02/24/23
CAD I.D.:	SITE-1

**SITE DEVELOPMENT PLAN**

FOR

**DASH IN**

STORE #1832  
9075 BALTIMORE NATIONAL PIKE  
(US RTE 40)  
ELLICOTT CITY, MD 21043  
TAX MAP 24, GRID 5, PARCEL 112  
HOWARD COUNTY  
2ND ELECTION DISTRICT  
ZONE: B-2

**BOHLER**

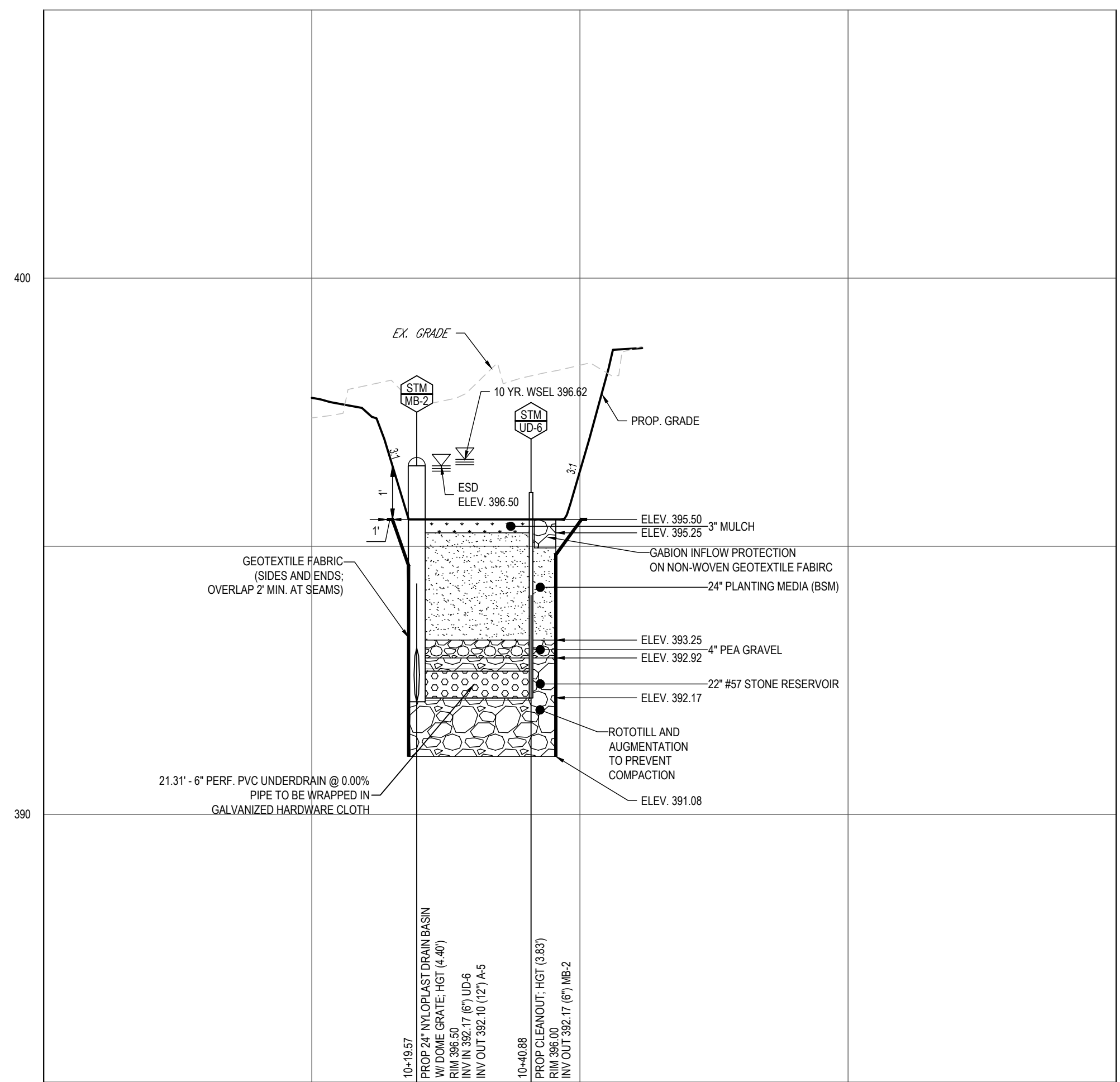
901 DULANEY VALLEY ROAD, SUITE 801  
TOWSON, MARYLAND 21284  
Phone: (410) 821-7900  
Fax: (410) 821-7987  
MD@BohlerEng.com

**R.M. STASIEWSKI**  
PROFESSIONAL ENGINEER  
LICENSE NO. 49425  
EXPIRATION DATE: 6/30/24

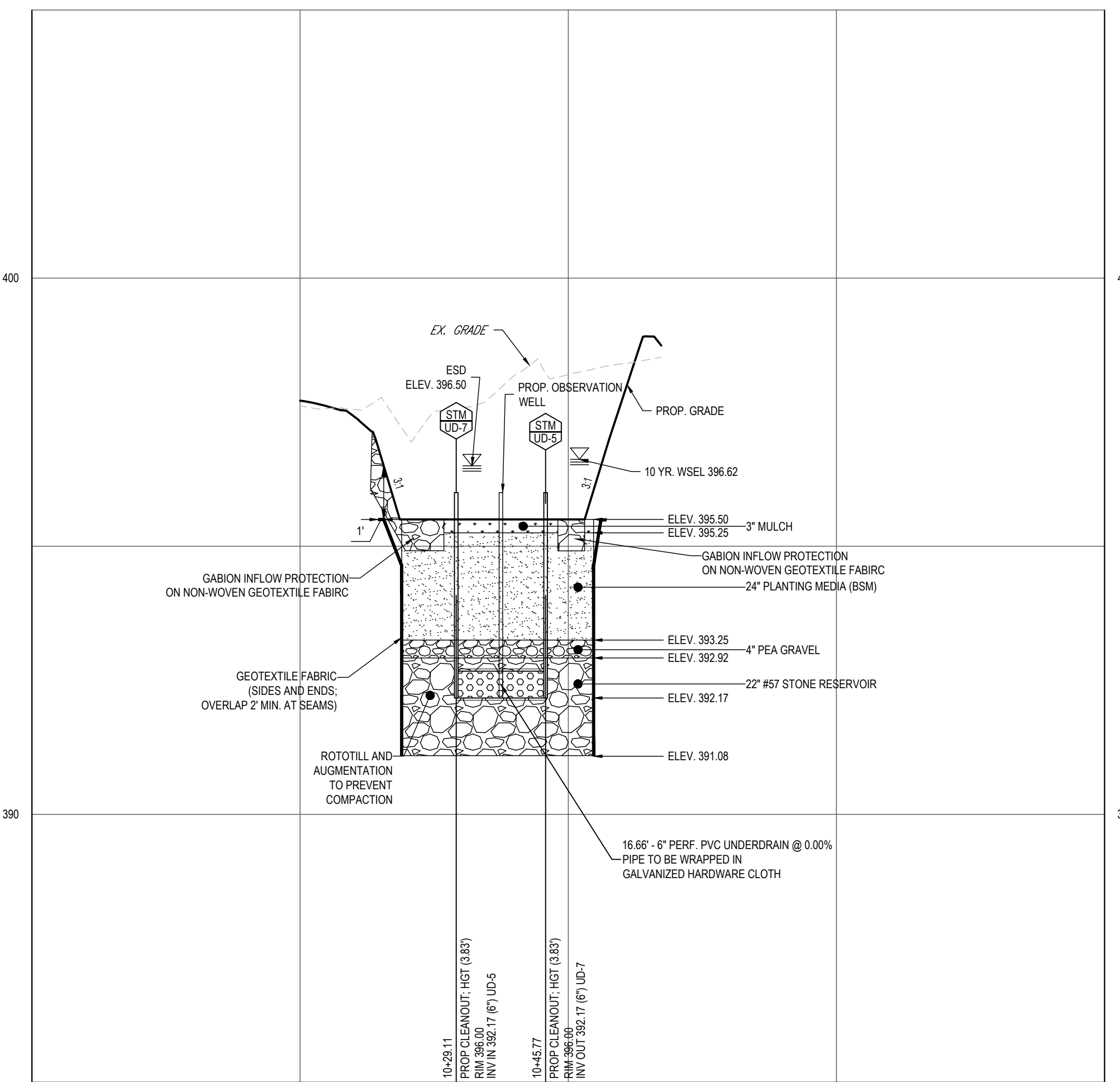
**STORMWATER MANAGEMENT NOTES & DETAILS**

SHEET NUMBER: **9**

SHA TRACKING NO.: 22APH0016XX



**MICRO-BIORETENTION SECTION C-C**  
SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL

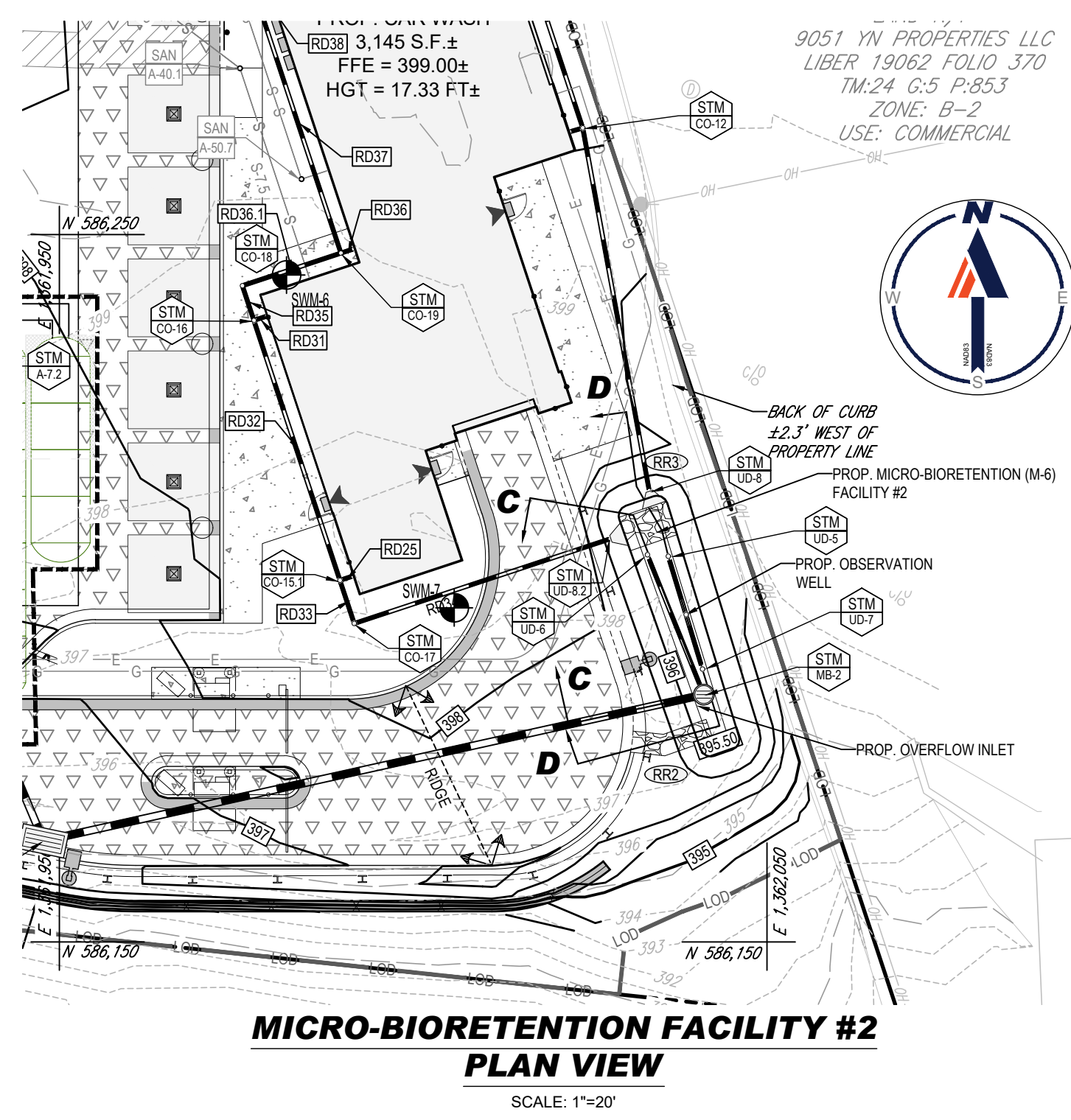


**MICRO-BIORETENTION SECTION D-D**  
SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL

DEPTH (FT)	SAMPLE NUMBER	SAMPLE TYPE	SAMPLE DIST. (IN)	RECOVERY (IN)	DESCRIPTION OF MATERIAL	ELEVATION (FT)	BLOW/6"
					Topsoil Thickness (1")		
5-1	SS	18	18		(SM FILL) FILL, SILTY SAND, brown, moist, loose	4-6.4 (10)	
5-2	SS	18	18		(ML FILL) FILL, SANDY SILT, contains mica, brown, moist, stiff	3-4.5 (9)	
5-3	SS	18	18		(SM FILL) FILL, SILTY SAND, contains mica, brown, moist, loose to very loose	2-3-2 (6)	
5-4	SS	18	18		(SM FILL) FILL, SILTY SAND, trace organics, dark gray, moist, loose	1-1-1 (3)	
5-5	SS	18	18		(SM FILL) FILL, SILTY SAND, trace organics, dark gray, moist, loose	3-3-3 (6)	
5-6	SS	18	18		(SM) SILTY SAND, brown, moist, medium dense	4-9-15 (24)	
END OF DRILLING AT 20.0 FT							

SYMBOL	DESCRIPTION	DRY	BORING STARTED:	CAVE IN DEPTH:
☐	WL (First Encountered)	DRY	Aug 04 2021	11.9
▼	WL (Completion)	DRY		
☒	WL (Seasonal High Water)			
☒	WL (Stabilized)	DRY		

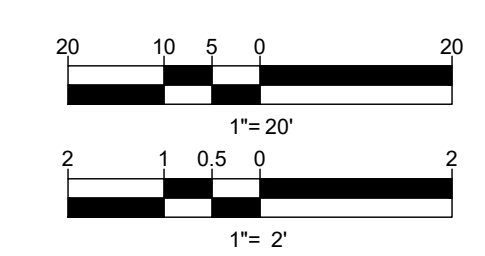
**GEOTECHNICAL BOREHOLE LOG**



**MICRO-BIORETENTION FACILITY #2 PLAN VIEW**  
SCALE: 1" = 20'

RIP-RAP SCHEDULE						
SYMBOL	DESCRIPTION	LENGTH	BOTTOM WIDTH	THICKNESS	D <sub>50</sub>	D <sub>MAX</sub>
(R2)	GABION INFLOW PROTECTION ON NONWOVEN GEOTEXTILE FABRIC	12'	3'	12"	5.5"	7"
(R3)	GABION INFLOW PROTECTION ON NONWOVEN GEOTEXTILE FABRIC	5'	5'	12"	5.5"	7"

- NOTES:**
- ALL STORMWATER MANAGEMENT FACILITIES ON-SITE ARE TO BE PRIVATELY OWNED AND MAINTAINED.
  - REFER TO SHEET 5 FOR STORM DRAIN INVERTS AND STORM STRUCTURE DATA.



**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

Chief, Development Engineering Division  
 Chief, Division of Land Development  
 Director, Department of Planning & Zoning

9/22/2023  
 9/25/2023  
 10/6/2023

**OWNER:** POTOMAC ENERGY HOLDINGS, LLC  
**DEVELOPER:** DASH-IN  
 102 CENTENNIAL STREET, STE. 100  
 LA PLATA, MD 20646  
 CONTACT: JASON BELT  
 PHONE: 240-320-6448

TAX MAP: 24 GRID: 5 PARCEL: 112  
 ZONED: B-2  
 2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: SHELL OIL COMPANY PARCEL 'A'  
 SECTION AREA: N/A  
 DEED # 11525 / 00383  
 PLAT # 10025 / 26936  
 PREVIOUS DPZ FILE NUMBERS: SDP-73-056, SDP-73-062, SDP-84-051, SDP-91-102, F-91-158, F-24-010, WP-91-185, BA-90-13E, ECP-22-032, BA-22-001C&V, WP-27-073.

**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

**811**  
 Know what's below.  
 Call before you dig.  
 ALWAYS CALL 811  
 It's fast. It's free. It's the law.

**APPROVED FOR CONSTRUCTION**

PROJECT No.: MD204000  
 DRAWN BY: DMD/BN  
 CHECKED BY: RMS  
 DATE: 02/24/23  
 CAD ID: SITE-1

**SITE DEVELOPMENT PLAN**

FOR

**DASH IN**

STORE #1832  
 9075 BALTIMORE NATIONAL PIKE  
 (US RTE. 40)  
 ELLICOTT CITY, MD 21043  
 TAX MAP 24, GRID 5, PARCEL 112  
 HOWARD COUNTY  
 2ND ELECTION DISTRICT  
 ZONE: B-2

**BOHLER**

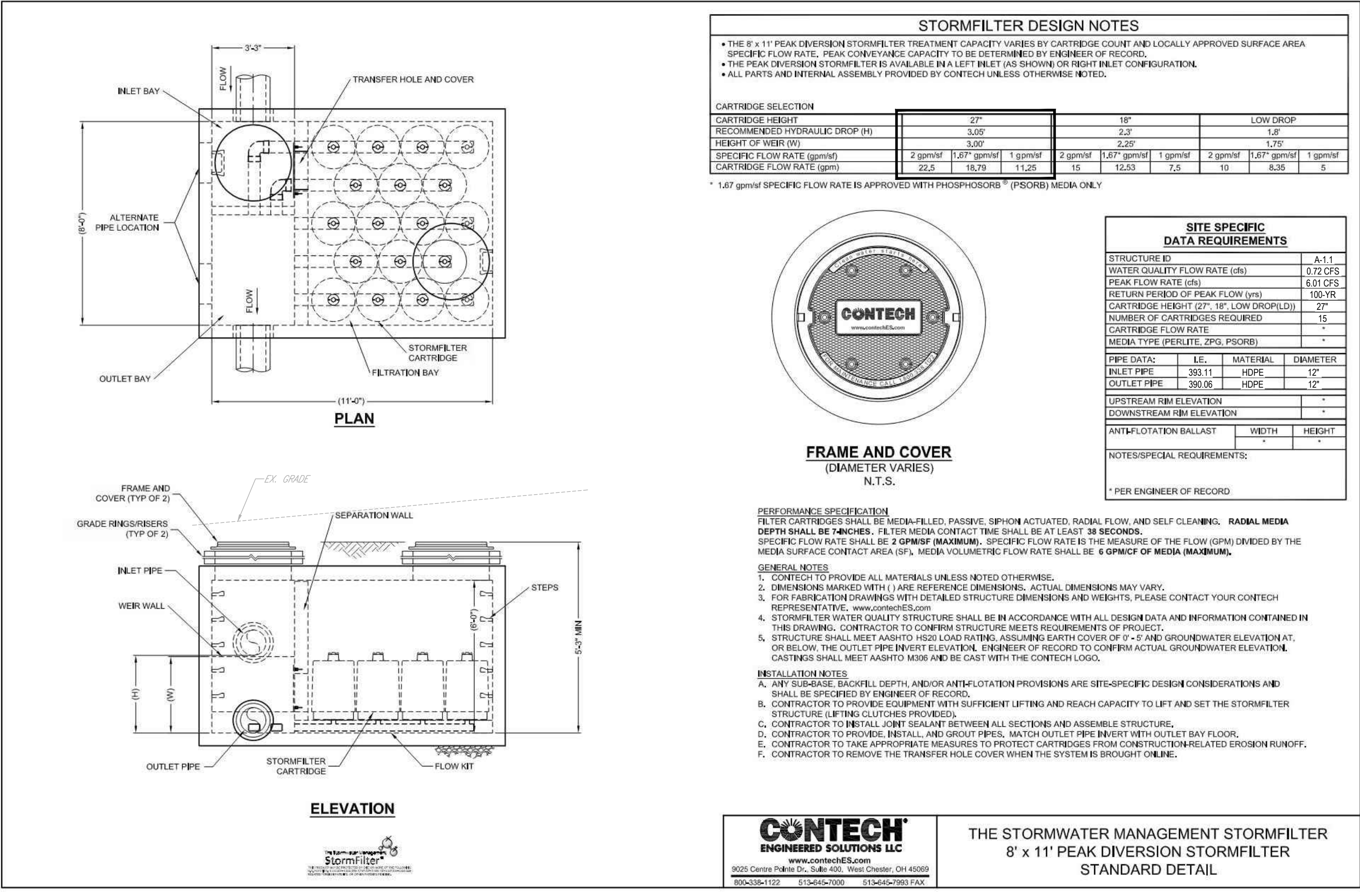
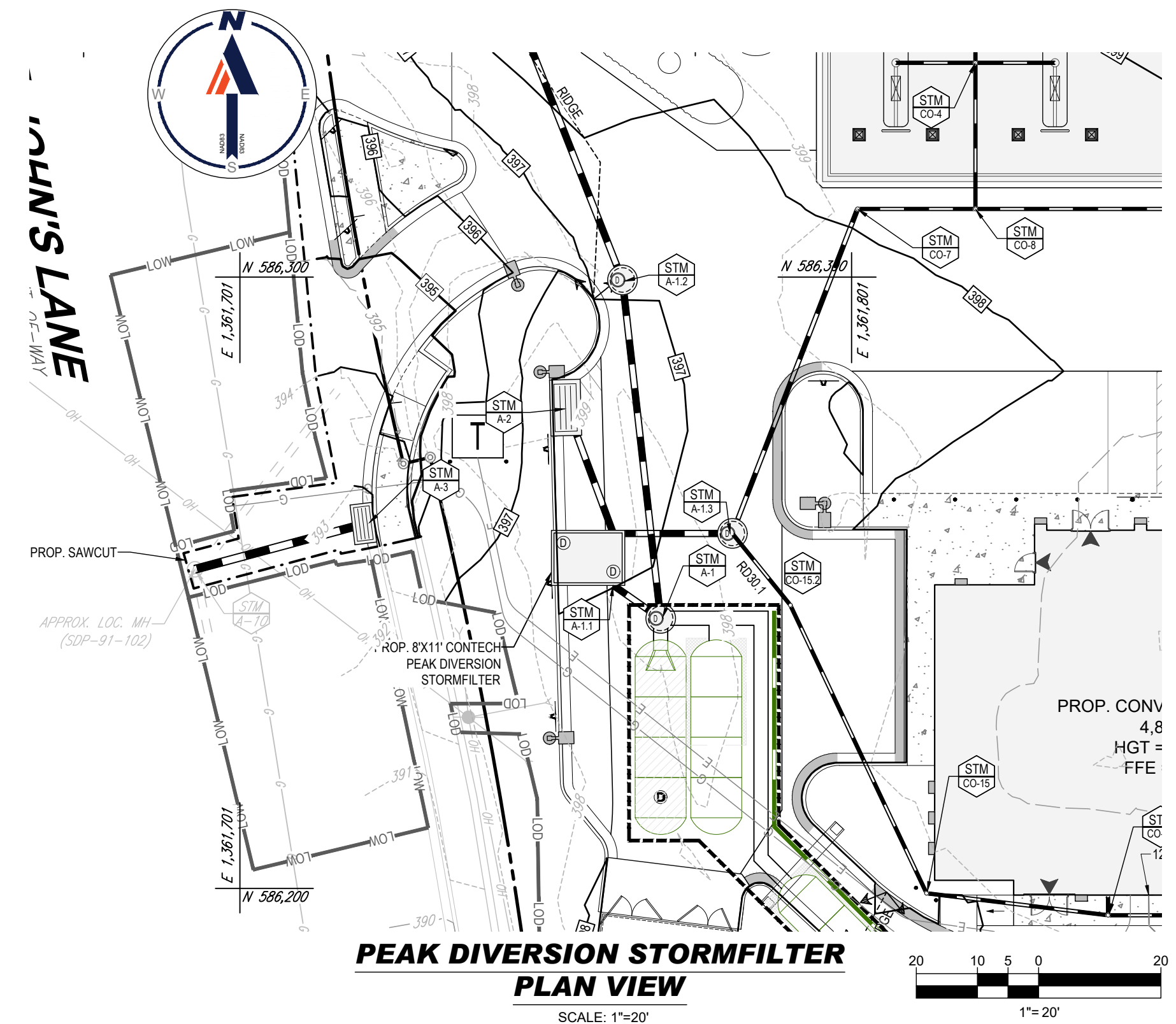
901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21204  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 MD@BohlerEng.com

**R.M. STASIOWSKI**  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 49426, EXPIRATION DATE: 6/30/2024

**STORMWATER MANAGEMENT NOTES & DETAILS**

SHEET NUMBER: **10**

SHA TRACKING NO.: 22APH016XX



**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

**811**  
 Know what's below.  
 Call before you dig.  
 ALWAYS CALL 811  
 It's fast. It's free. It's the law.

**APPROVED FOR CONSTRUCTION**

PROJECT No.: MD204000  
 DRAWN BY: DMD/BN  
 CHECKED BY: RMS  
 DATE: 02/24/23  
 CAD ID: SITE-1

**SITE DEVELOPMENT PLAN**

FOR

**DASH IN**

STORE #1832  
 9075 BALTIMORE NATIONAL PIKE  
 (US RTE. 40)  
 ELLICOTT CITY, MD 21043  
 TAX MAP 24, GRID 5, PARCEL 112  
 HOWARD COUNTY  
 2ND ELECTION DISTRICT  
 ZONE: B-2

**BOHLER**  
 901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21204  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 MD@BohlerEng.com

**R.M. STASIOWSKI**  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 15103  
 I, RYAN M. STASIOWSKI, CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR REVIEWED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 49426, EXPIRATION DATE: 6/30/2024

**STORMWATER MANAGEMENT NOTES & DETAILS**

SHEET NUMBER: 11

SHA TRACKING NO.: 22APH016XX

OWNER	DEVELOPER
POTOMAC ENERGY HOLDINGS, LLC PO BOX 2810 LA PLATA, MD 20646 CONTACT: JASON BELT PHONE: 240-320-6448	DASH-IN 102 CENTENNIAL STREET, STE. 100 LA PLATA, MD 20645 CONTACT: JASON BELT PHONE: 240-320-6448
TAX MAP: 24	GRID: 5
2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND	PARCEL: 112
ZONED: B-2	
SUBDIVISION NAME: SHELL OIL COMPANY PARCEL 'A'	
SECTION AREA: N/A	
DEED #: 11525 / 00383	
PLAT #: 10025 / 26936	
PREVIOUS DPZ FILE NUMBERS: SDP-73-056, SDP-73-062, SDP-84-051, SDP-91-102, F-91-158, F-24-010, WP-91-185, BA-90-13E, ECP-22-032, BA-22-011C&V, WP-27-073.	

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

9/22/2023  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
 9/25/2023  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
 10/6/2023  
 DIRECTOR, DEPARTMENT OF PLANNING & ZONING DATE



MC-7200 STORMTECH CHAMBER SPECIFICATIONS

- 1. CHAMBERS SHALL BE STORMTECH MC-7200.
2. CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
3. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418...

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-7200 CHAMBER SYSTEM

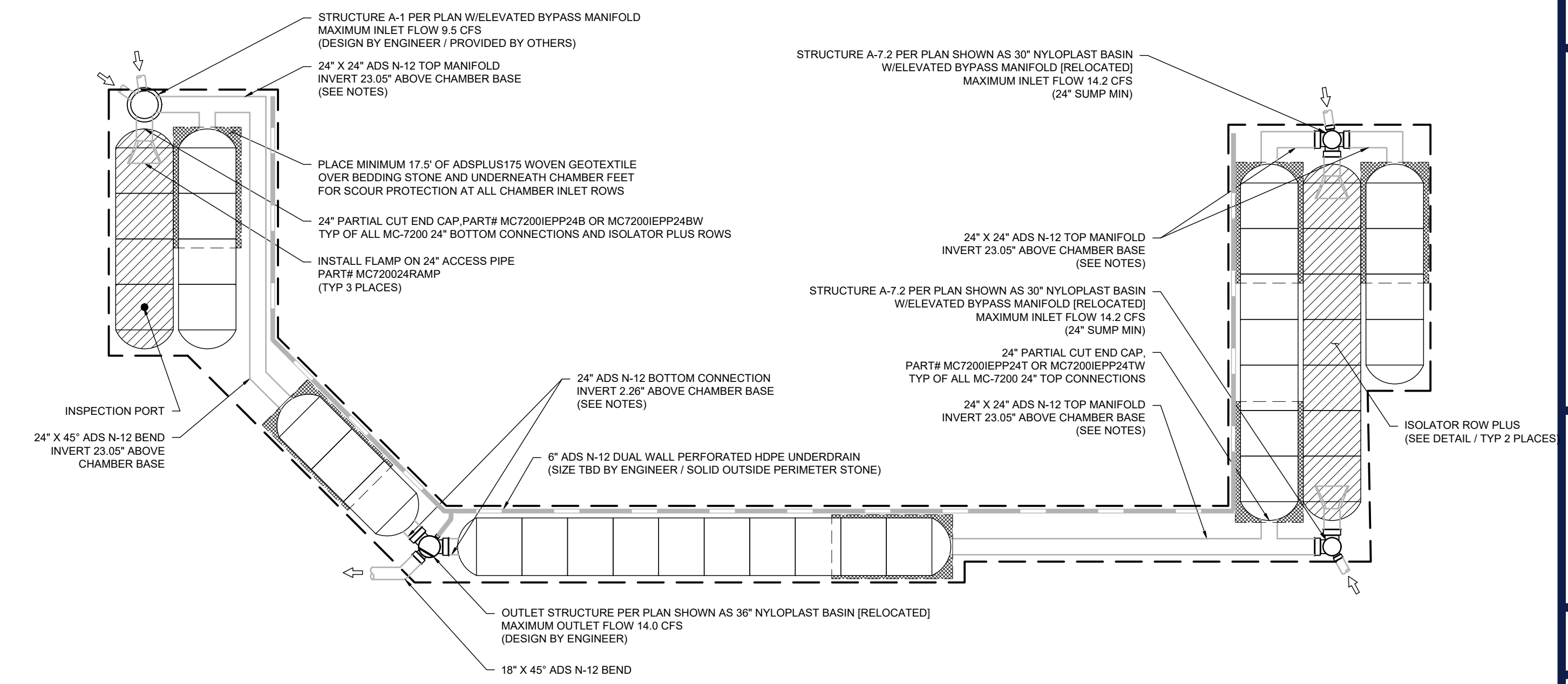
- 1. STORMTECH MC-7200 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
2. STORMTECH MC-7200 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-7200 CONSTRUCTION GUIDE".
3. CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR EXCAVATOR SITUATED OVER THE CHAMBERS...

NOTES FOR CONSTRUCTION EQUIPMENT

- 1. STORMTECH MC-7200 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-7200 CONSTRUCTION GUIDE".
2. THE USE OF EQUIPMENT OVER MC-7200 CHAMBERS IS LIMITED:
- NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
- NO RUBBER TIRED LOADER, DUMP TRUCK, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED...

Table with 2 columns: PROPOSED LAYOUT and PROPOSED ELEVATIONS. Lists quantities and elevations for various components like stormtech chambers, stone, and manholes.

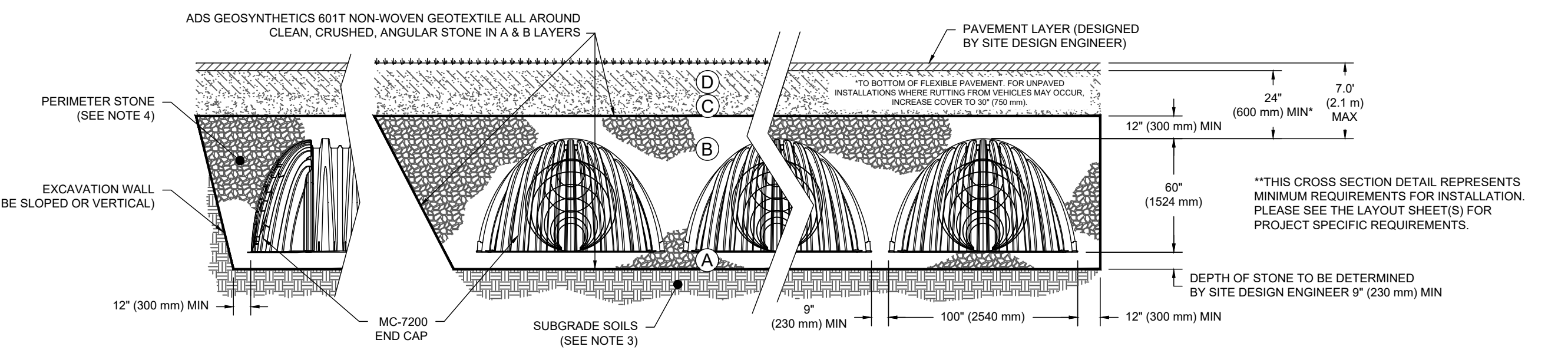
- NOTES
- MANHOLE SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECHNICAL NOTE 6.32 FOR MANHOLE SIZING GUIDANCE.
- DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANHOLE COMPONENTS IN THE FIELD.



ACCEPTABLE FILL MATERIALS: STORMTECH MC-7200 CHAMBER SYSTEMS

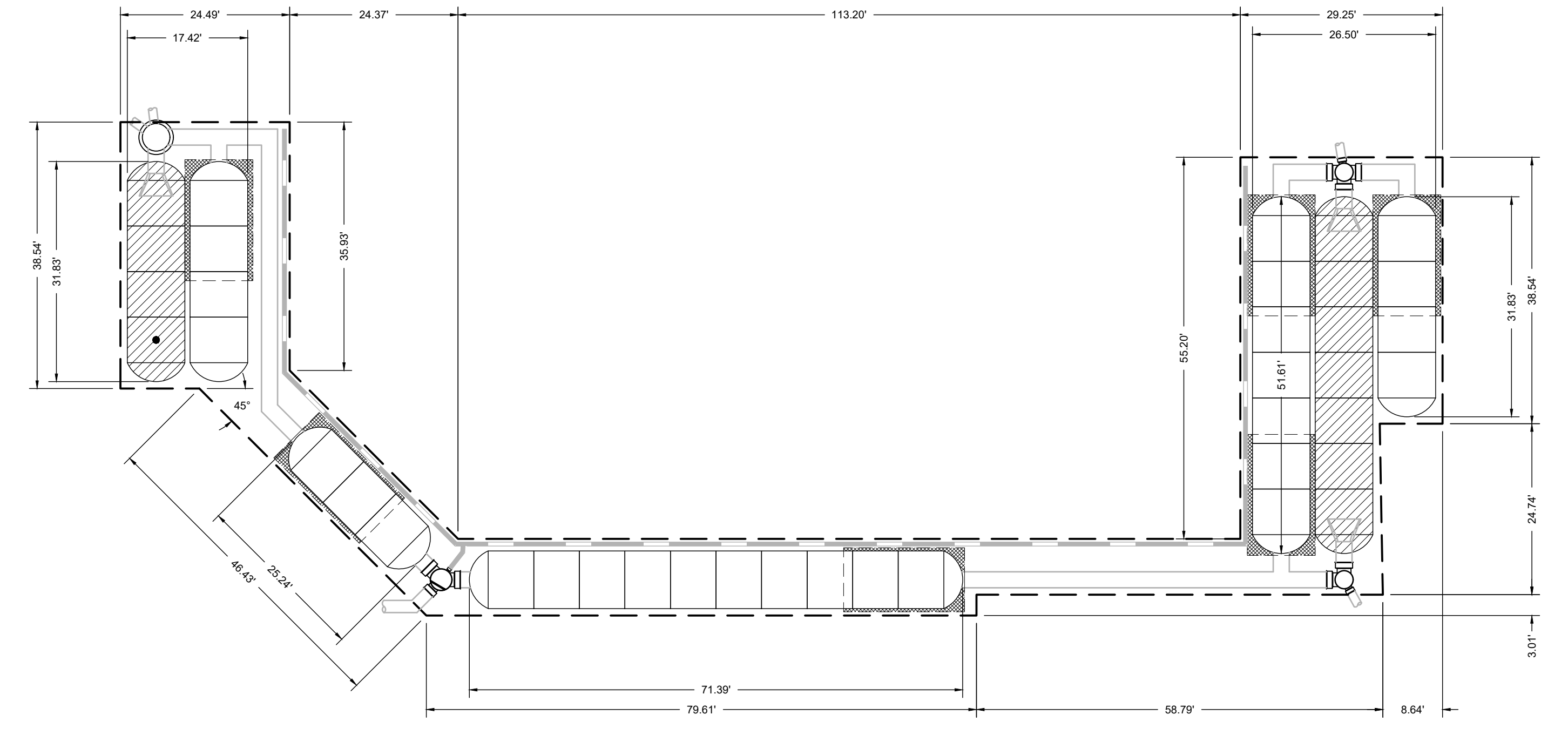
Table with 4 columns: MATERIAL LOCATION, DESCRIPTION, AASHTO MATERIAL CLASSIFICATIONS, and COMPACTION / DENSITY REQUIREMENT. Details fill material requirements for layers A, B, C, and D.

- PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR.
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR A LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) LIFTS...



NOTES:

- 1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418. "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 60x101
2. MC-7200 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".



PROPOSED ADS UNDERGROUND FACILITY (NOT TO SCALE)

APPROVED: DEPARTMENT OF PLANNING AND ZONING. Includes signatures and dates for Chief Development Engineering Division and Chief Division of Land Development.

OWNER: POTOMAC ENERGY HOLDINGS, LLC. DEVELOPER: DASH-IN. Includes contact information for LA PLATA, MD and Howard County, Maryland.

STORMWATER MANAGEMENT NOTES & DETAILS. SHEET NUMBER: 12. SHA TRACKING NO.: 22APH016XX. FILE NO. SDP-23-007

BOHLER logo and list of services: SITE CIVIL AND CONSULTING ENGINEERING, PROGRAM MANAGEMENT, LANDSCAPE ARCHITECTURE, SUSTAINABLE DESIGN, PERMITTING SERVICES, TRANSPORTATION SERVICES.

REVISIONS table with columns for REV, DATE, COMMENT, and DRAWN BY. The table is currently empty.

811 logo with text: Know what's below. Call before you dig. ALWAYS CALL 811. It's fast. It's free. It's the law.

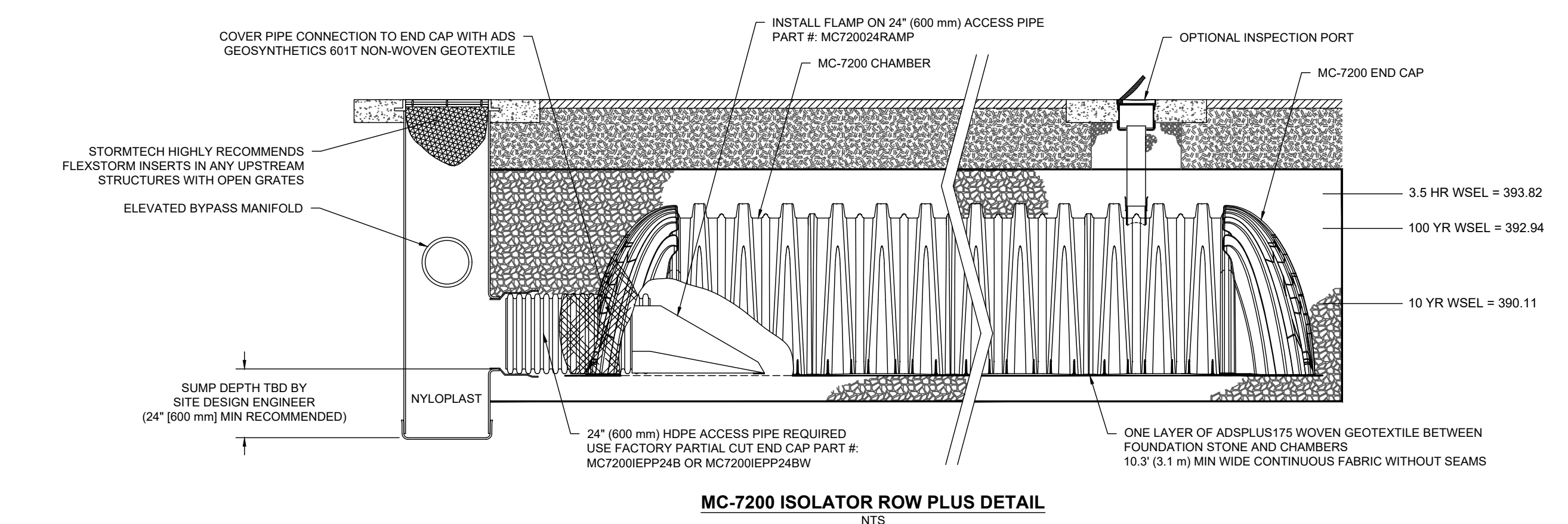
APPROVED FOR CONSTRUCTION. THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD204000. DRAWN BY: DMD/BN. CHECKED BY: RMS. DATE: 02/24/23. CAD ID.: SITE-1

SITE DEVELOPMENT PLAN FOR DASH IN STORE #1832. 9075 BALTIMORE NATIONAL PIKE (US RTE. 40) ELLICOTT CITY, MD 21043. TAX MAP 24, GRID 5, PARCEL 112. HOWARD COUNTY 2ND ELECTION DISTRICT ZONE: B-2

BOHLER logo and address: 901 DULANEY VALLEY ROAD, SUITE 801 TOWSON, MARYLAND 21204. Phone: (410) 821-7900. Fax: (410) 821-7987. MD@BohlerEng.com

R.M. STASIOWSKI logo and professional engineer information for R. M. Stasiowski, License No. 49425, State of Maryland.

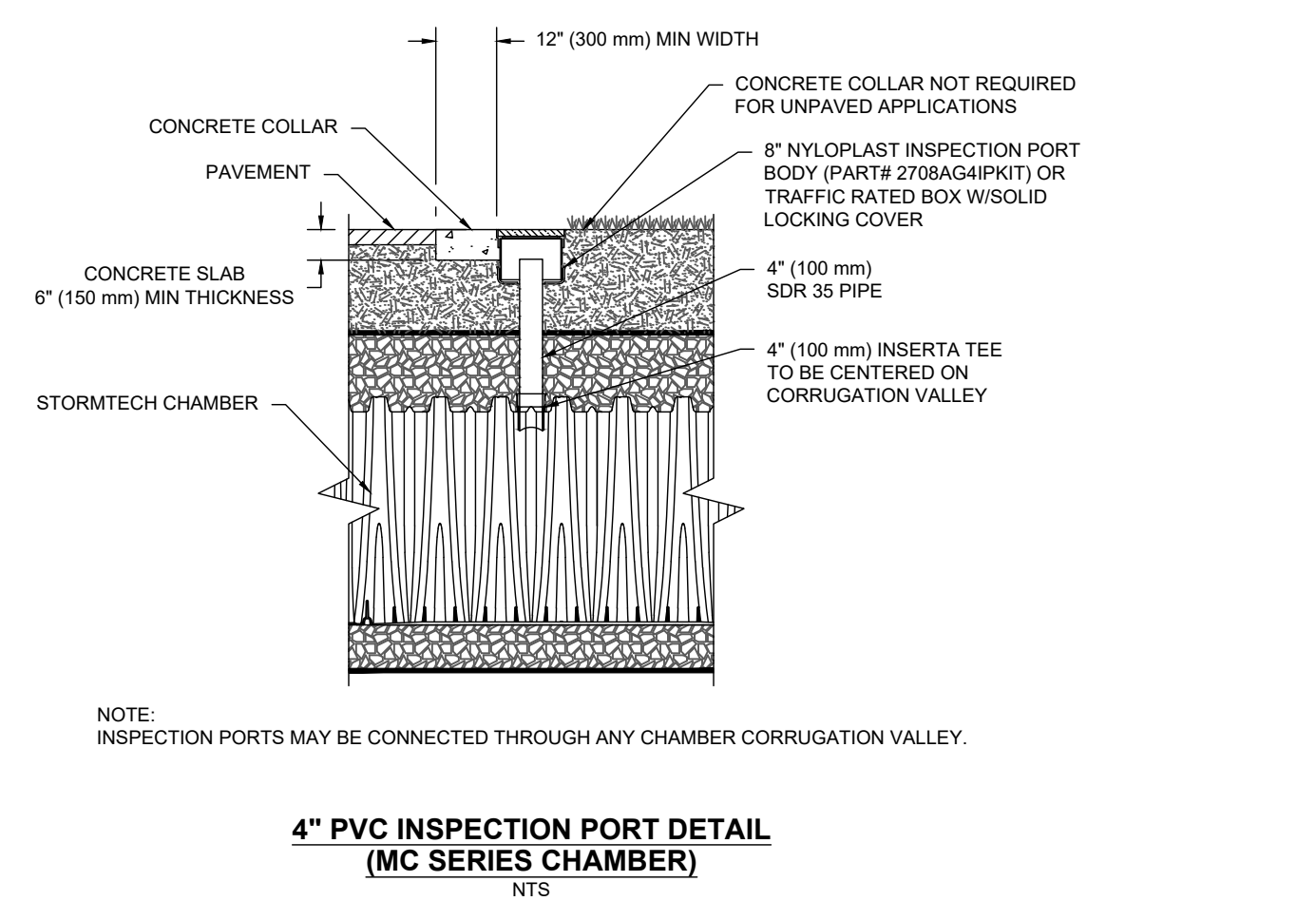
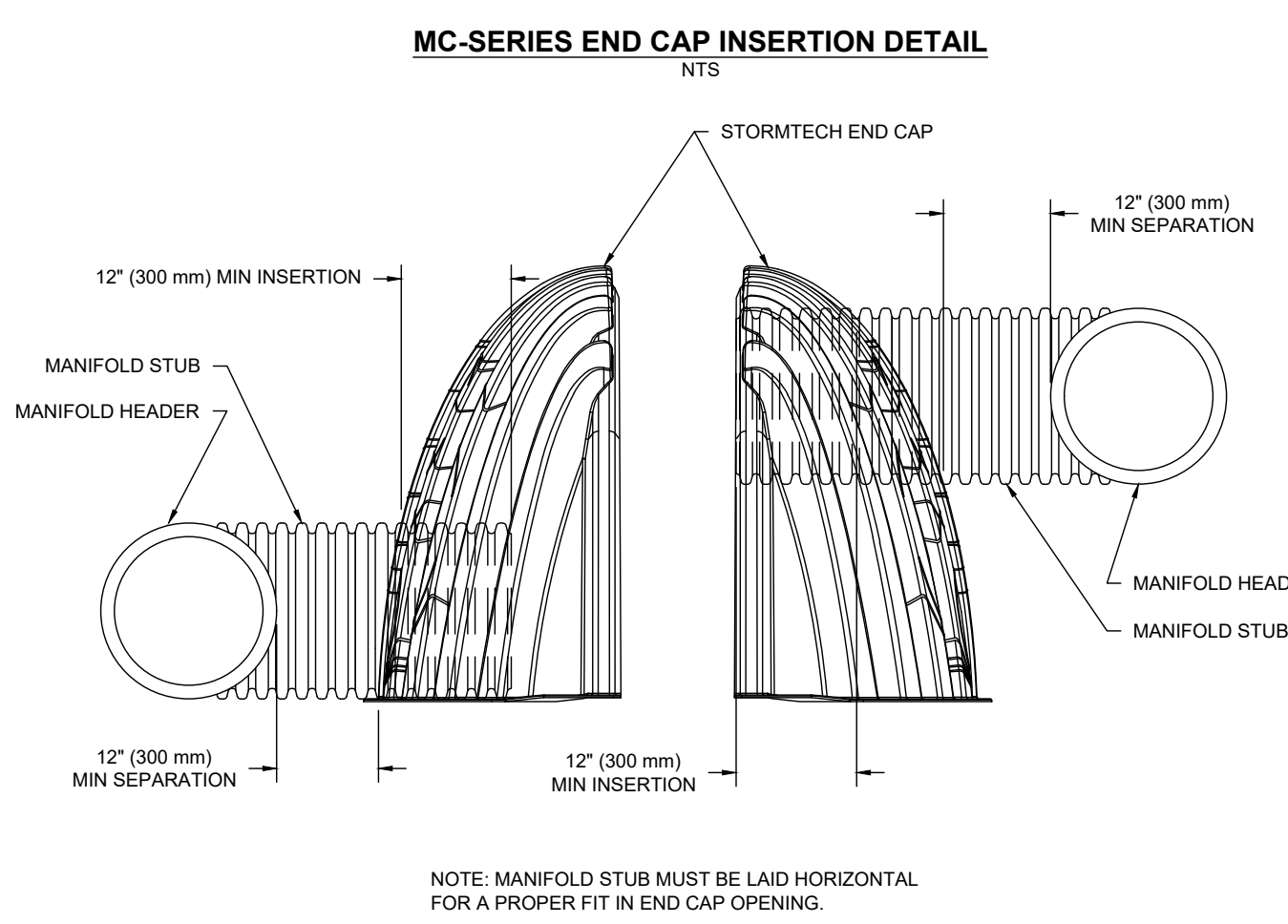
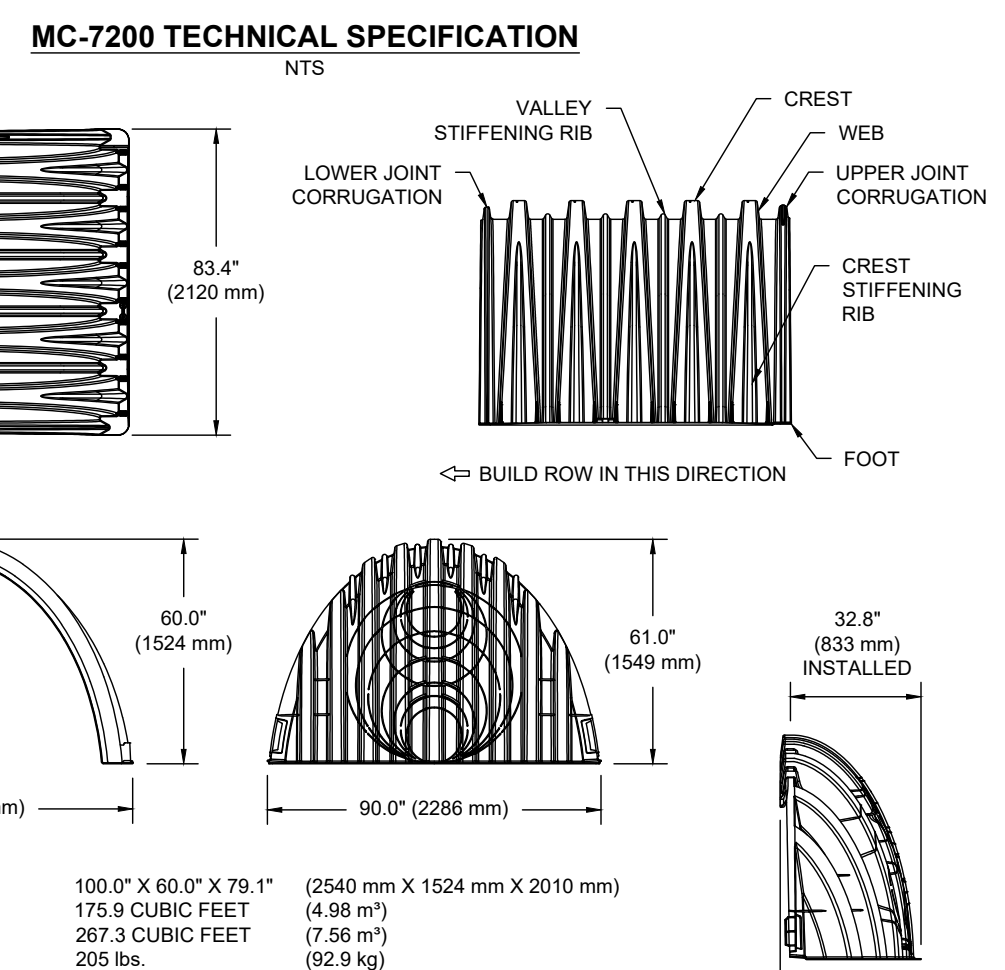
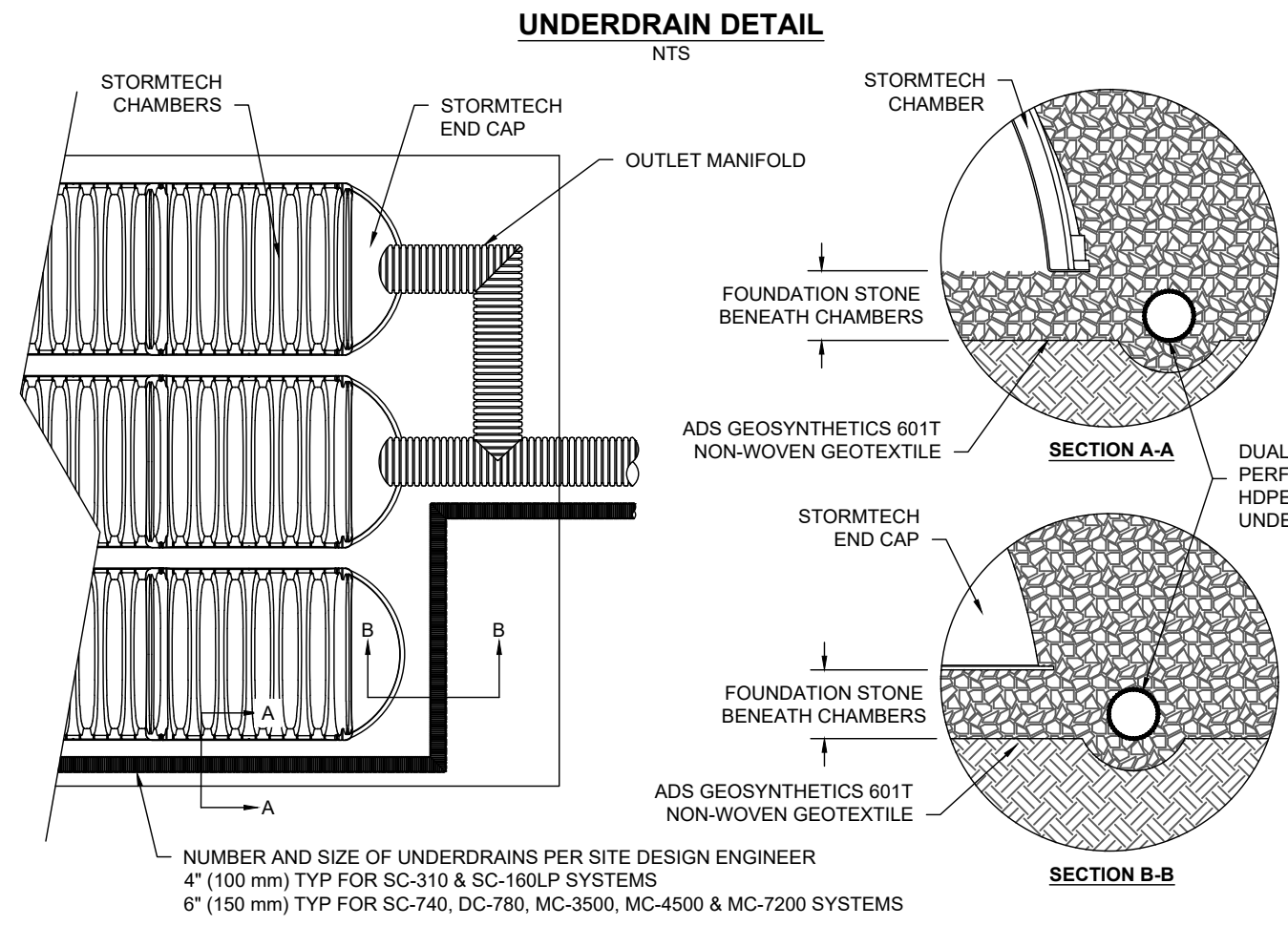


**INSPECTION & MAINTENANCE**

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- A. INSPECTION PORTS (IF PRESENT)
    - A.1. REMOVE/OPEN LID ON NYLOPLAST IN-LINE DRAIN
    - A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
    - A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
    - A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
    - A.5. IF SEDIMENT IS AT, OR ABOVE, 3\"/>
  - B. ALL ISOLATOR PLUS ROWS
    - B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
    - B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
    - B.3. IF SEDIMENT IS AT, OR ABOVE, 3\"/>
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
  - B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
  - C. VACUUM STRUCTURE. SLUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

**NOTES**

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



**NOMINAL CHAMBER SPECIFICATIONS**

SIZE (W X H X INSTALLED LENGTH)	CHAMBER STORAGE	MINIMUM INSTALLED STORAGE*	WEIGHT (NOMINAL)
100.0\"/>			

**NOMINAL END CAP SPECIFICATIONS**

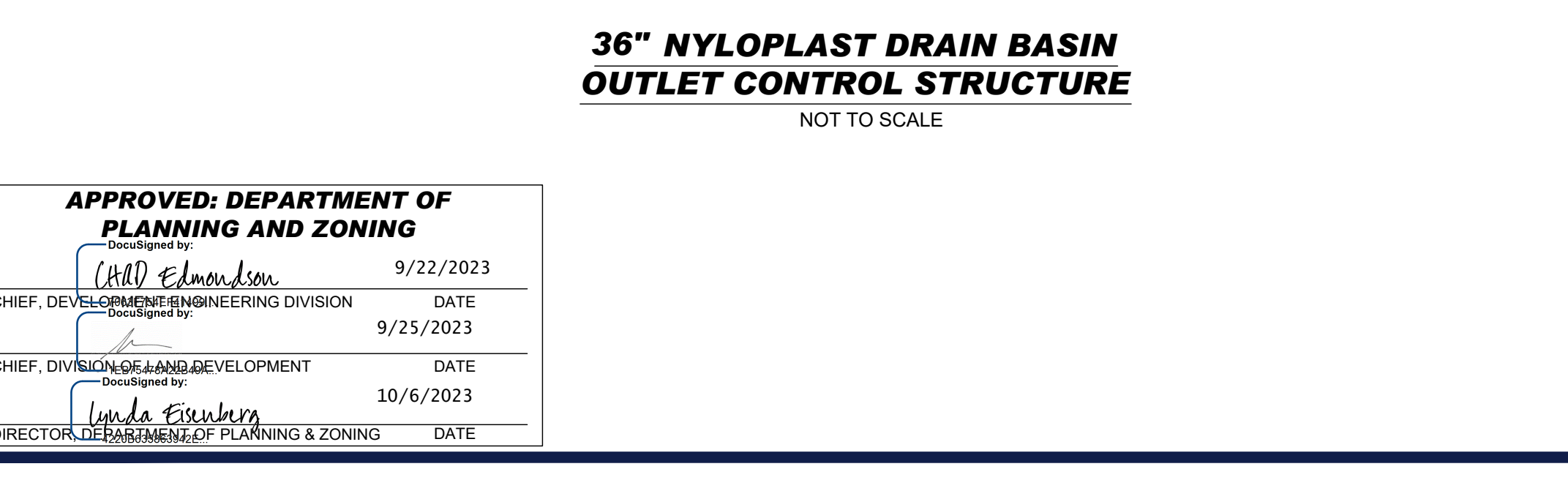
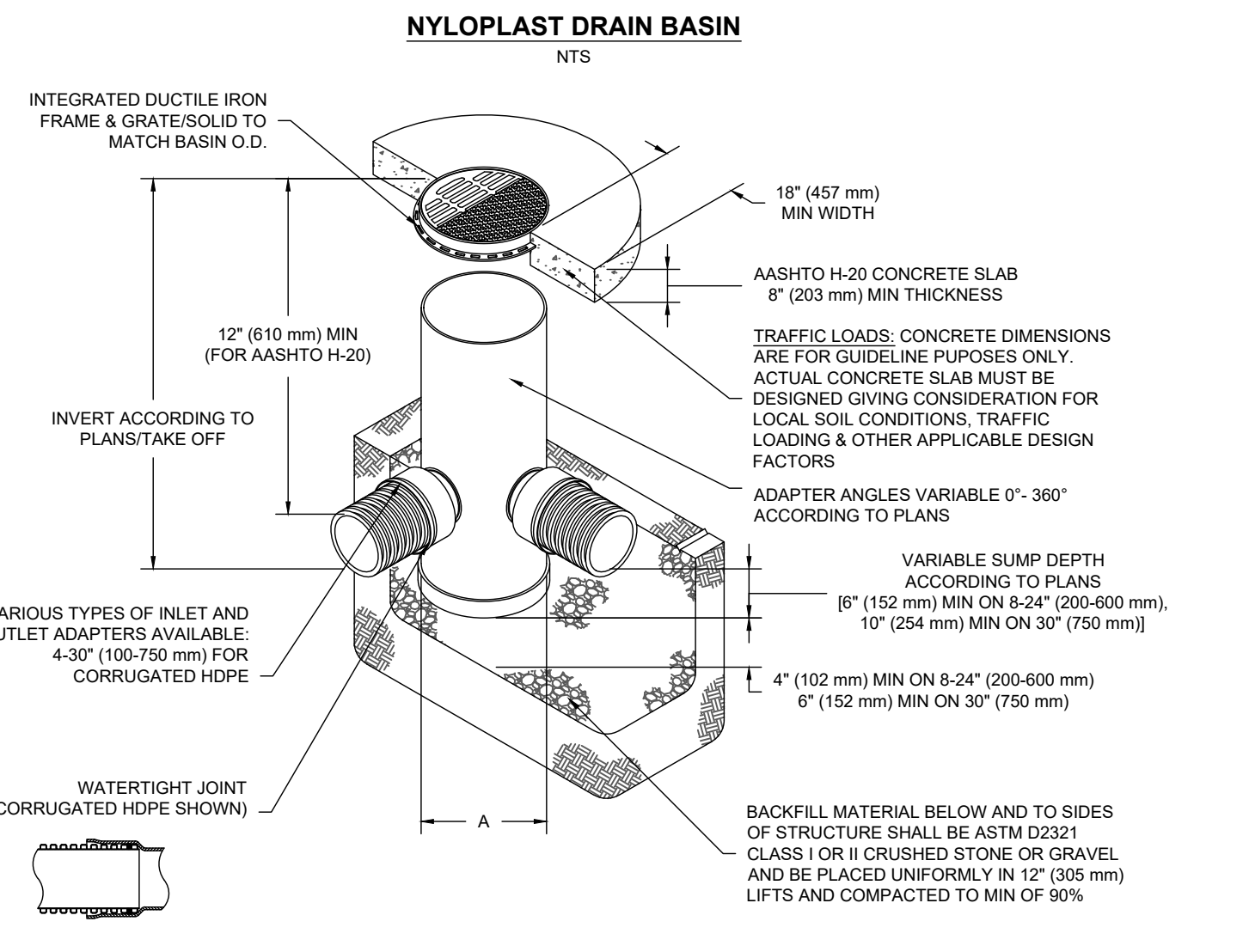
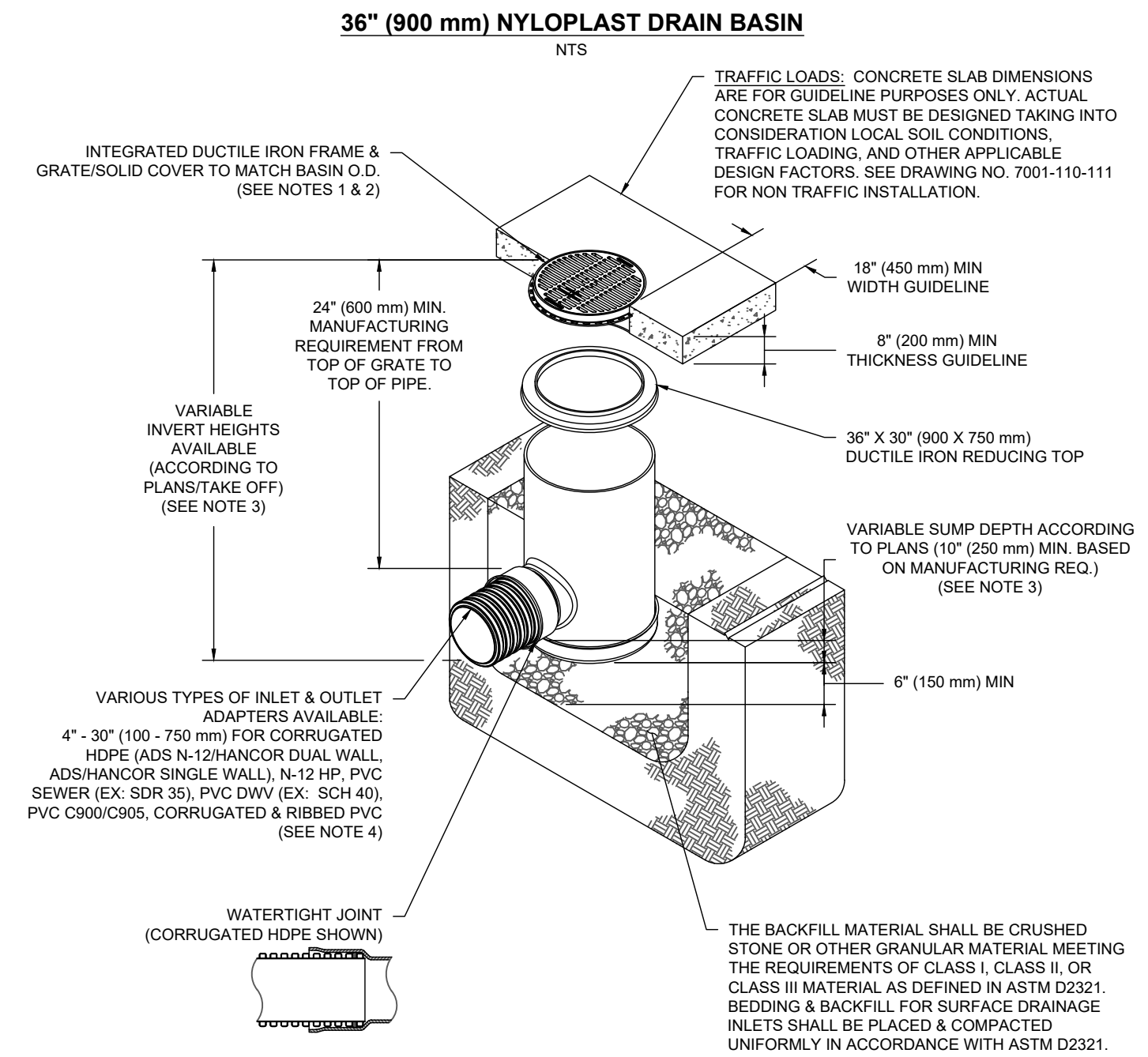
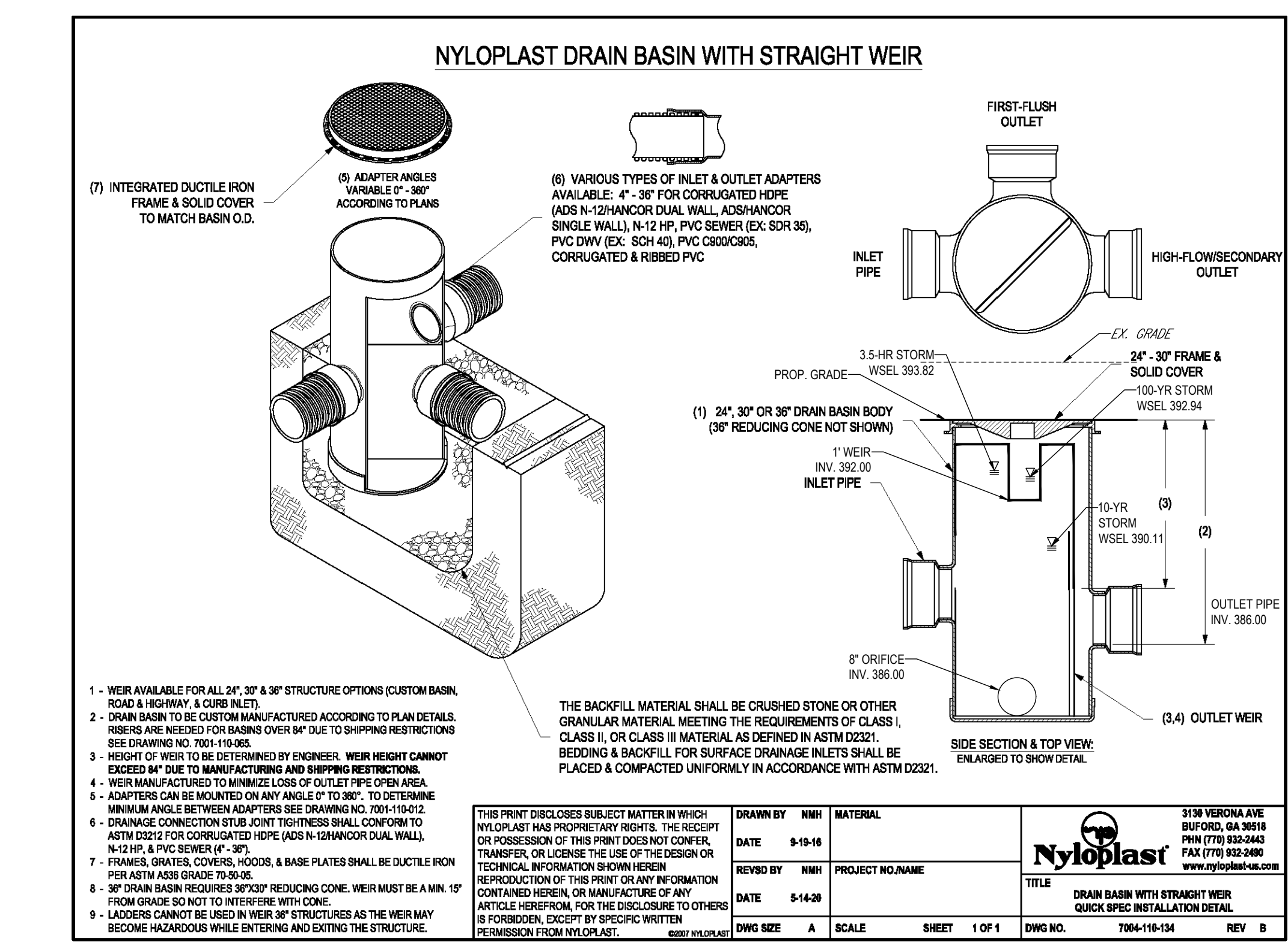
SIZE (W X H X INSTALLED LENGTH)	END CAP STORAGE	MINIMUM INSTALLED STORAGE*	WEIGHT (NOMINAL)
90.0\"/>			

\*ASSUMES 12\"/>

PARTIAL CUT HOLES AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B" PARTIAL CUT HOLES AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T" END CAPS WITH A PREFABRICATED WELDED STUB END WITH "W"

PART #	STUB	B	C
MC7200IEP06T	6\"/>		
MC7200IEP06B	6\"/>		
MC7200IEP08T	8\"/>		
MC7200IEP08B	8\"/>		
MC7200IEP10T	10\"/>		
MC7200IEP10B	10\"/>		
MC7200IEP12T	12\"/>		
MC7200IEP12B	12\"/>		
MC7200IEP15T	15\"/>		
MC7200IEP15B	15\"/>		
MC7200IEP18T	18\"/>		
MC7200IEP18B	18\"/>		
MC7200IEP24T	24\"/>		
MC7200IEP24B	24\"/>		
MC7200IEP30B	30\"/>		
MC7200IEP36B	36\"/>		
MC7200IEP42B	42\"/>		

CUSTOM PREFABRICATED INVERTS ARE AVAILABLE UPON REQUEST. INVENTORIED MANIFOLDS INCLUDE 12-24\"/>



**NOTES**

- FRAMES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- GRADES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84\"/>

GRATE OPTION	LOAD RATING	PART #	DWG #
PEDESTRIAN	MEETS H-20	3099CGP	7001-110-220
STANDARD	MEETS H-20	3099CGS	7001-110-221
SOLID COVER	MEETS H-20	3099CGC	7001-110-222
DOME	N/A	3099CGD	7001-110-223

**NOTES**

- 8-30\"/>
- 12-30\"/>
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS.
- DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12 HANCOR DUAL WALL, N-12 HP, & PVC SEWER (EX: SDR 35), PVC DWV (EX: SCH 40), PVC C900/C905, CORRUGATED & RIBBED PVC (SEE NOTE 4).
- ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.

A	PART #	GRATE/SOLID COVER OPTIONS
8\"/>		
10\"/>		
12\"/>		
15\"/>		
18\"/>		
24\"/>		
30\"/>		

**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

**811**  
Know what's below.  
Call before you dig.  
ALWAYS CALL 811  
It's fast. It's free. It's the law.

**APPROVED FOR CONSTRUCTION**

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	MD204000
DRAWN BY:	DMD/BN
CHECKED BY:	RMS
DATE:	02/24/23
CAD LID:	1

**SITE DEVELOPMENT PLAN**

FOR

STORE #1832  
9075 BALTIMORE NATIONAL PIKE (US RTE. 40)  
ELLICOTT CITY, MD 21043  
TAX MAP 24, GRID 5, PARCEL 112  
HOWARD COUNTY  
2ND ELECTION DISTRICT  
ZONE: B-2

**BOHLER**

901 DULANEY VALLEY ROAD, SUITE 801  
TOWSON, MARYLAND 21204  
Phone: (410) 821-7900  
Fax: (410) 821-7987  
MD@BohlerEng.com

**R.M. STASIOSKI**  
PROFESSIONAL ENGINEER  
No. 49425, EXPIRATION DATE: 6/30/2024

**STORMWATER MANAGEMENT NOTES & DETAILS**

SHEET TITLE:

OWNER: POTOMAC ENERGY HOLDINGS, LLC  
DEVELOPER: DASH-IN  
102 CENTENNIAL STREET, STE. 100  
LA PLATA, MD 20646  
CONTACT: JASON BELT  
PHONE: 240-320-6448

TAX MAP: 24 GRID: 5 PARCEL: 112  
ZONED: B-2  
2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: SHELL OIL COMPANY PARCEL "A"  
SECTION AREA: N/A  
DEED #: 11525 / 00383  
PLAT #: 10025 / 29936  
PREVIOUS DPZ FILE NUMBERS: SDP-73-656, SDP-73-062, SDP-84-051, SDP-91-102, F-91-158, F-24-010, WP-91-185, BA-90-13E, ECP-22-032, BA-22-011C&V, WP-27-073.

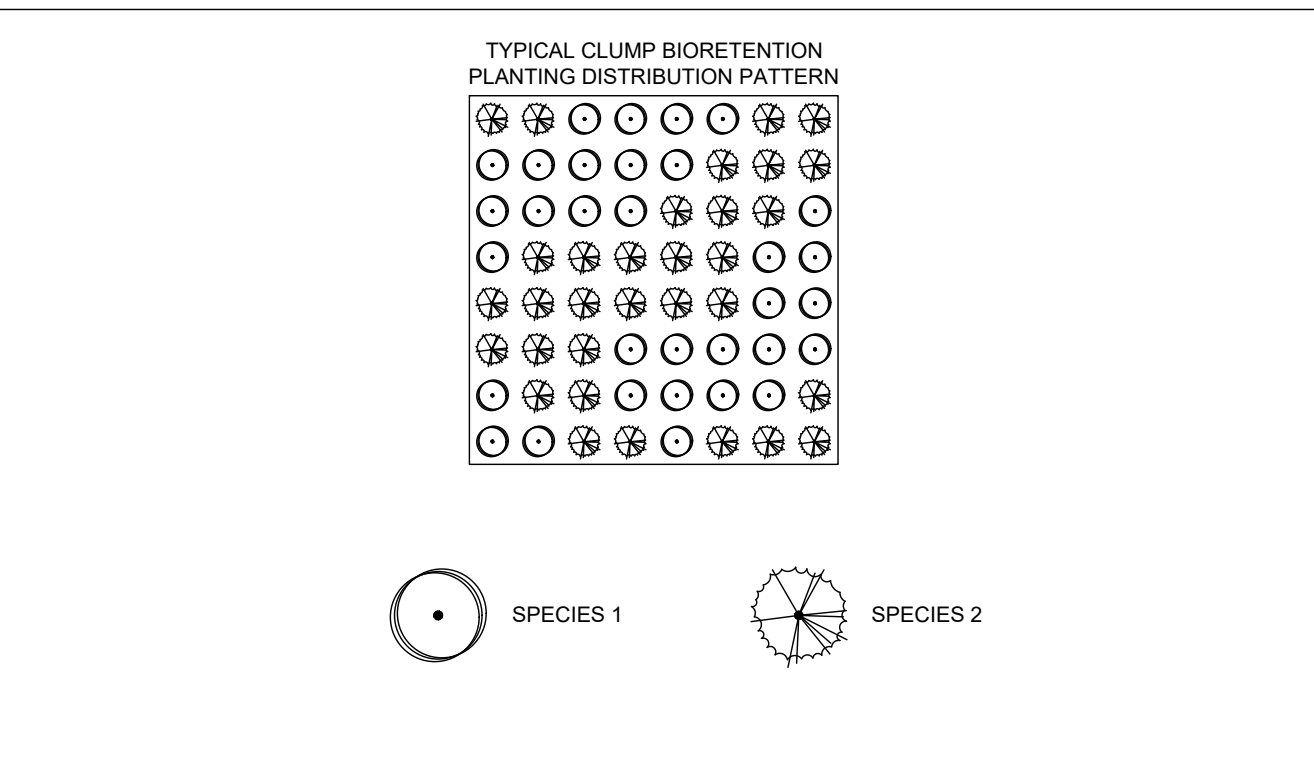
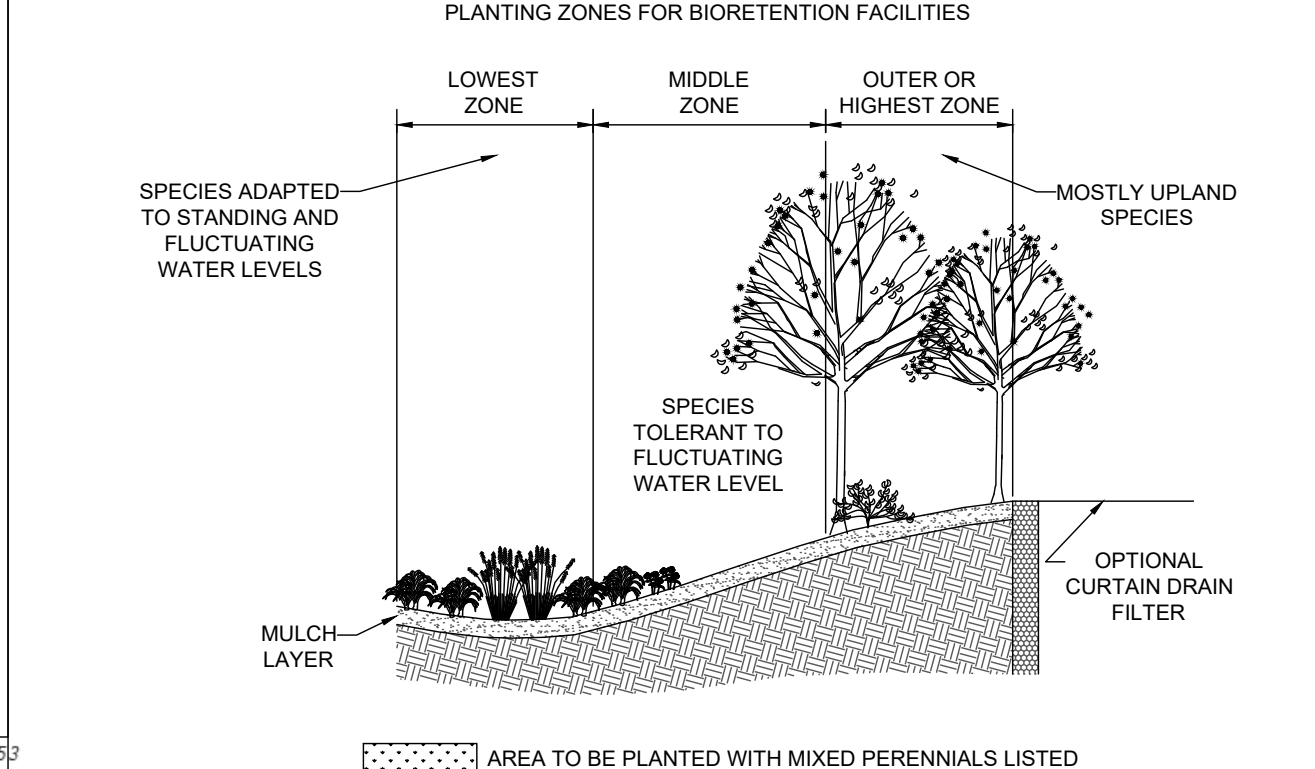
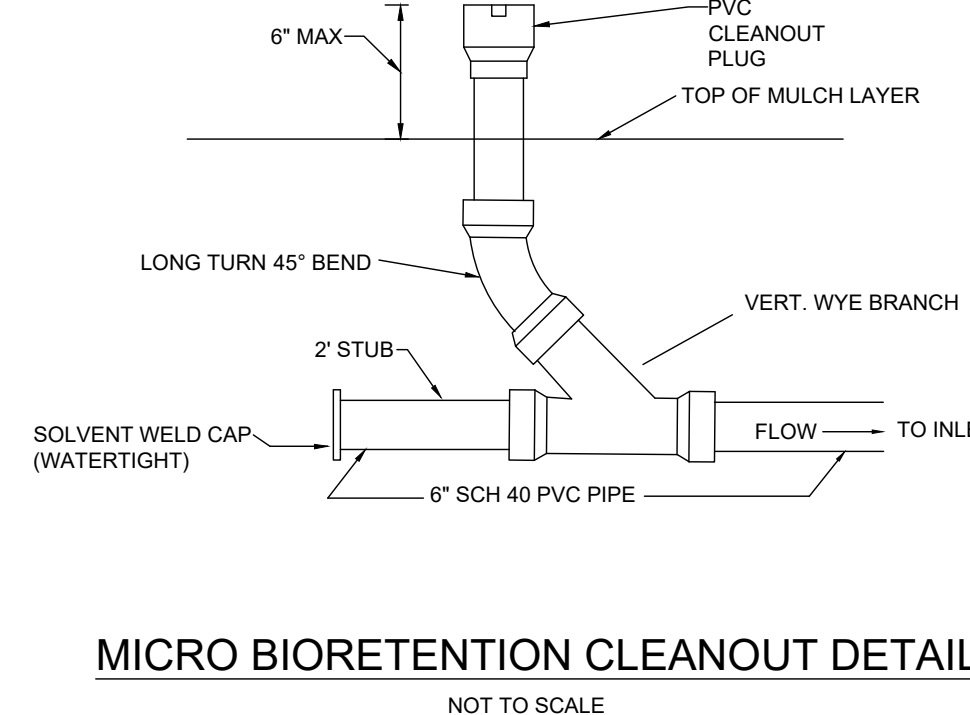
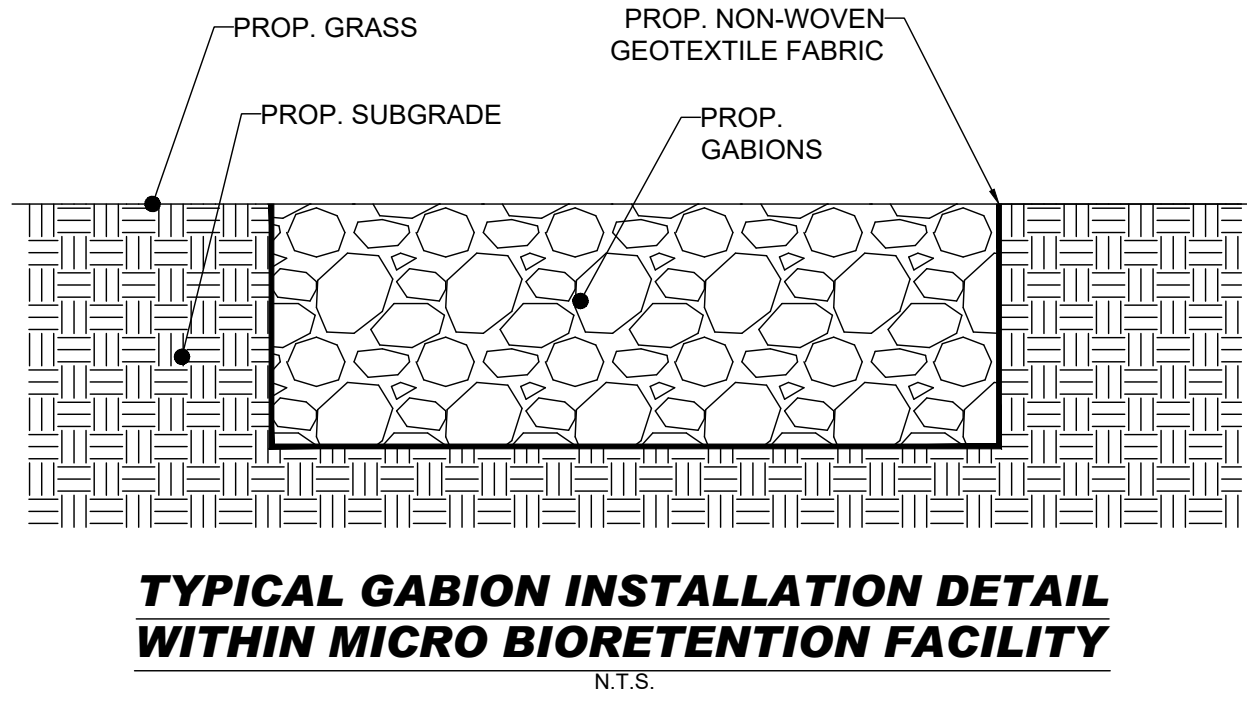
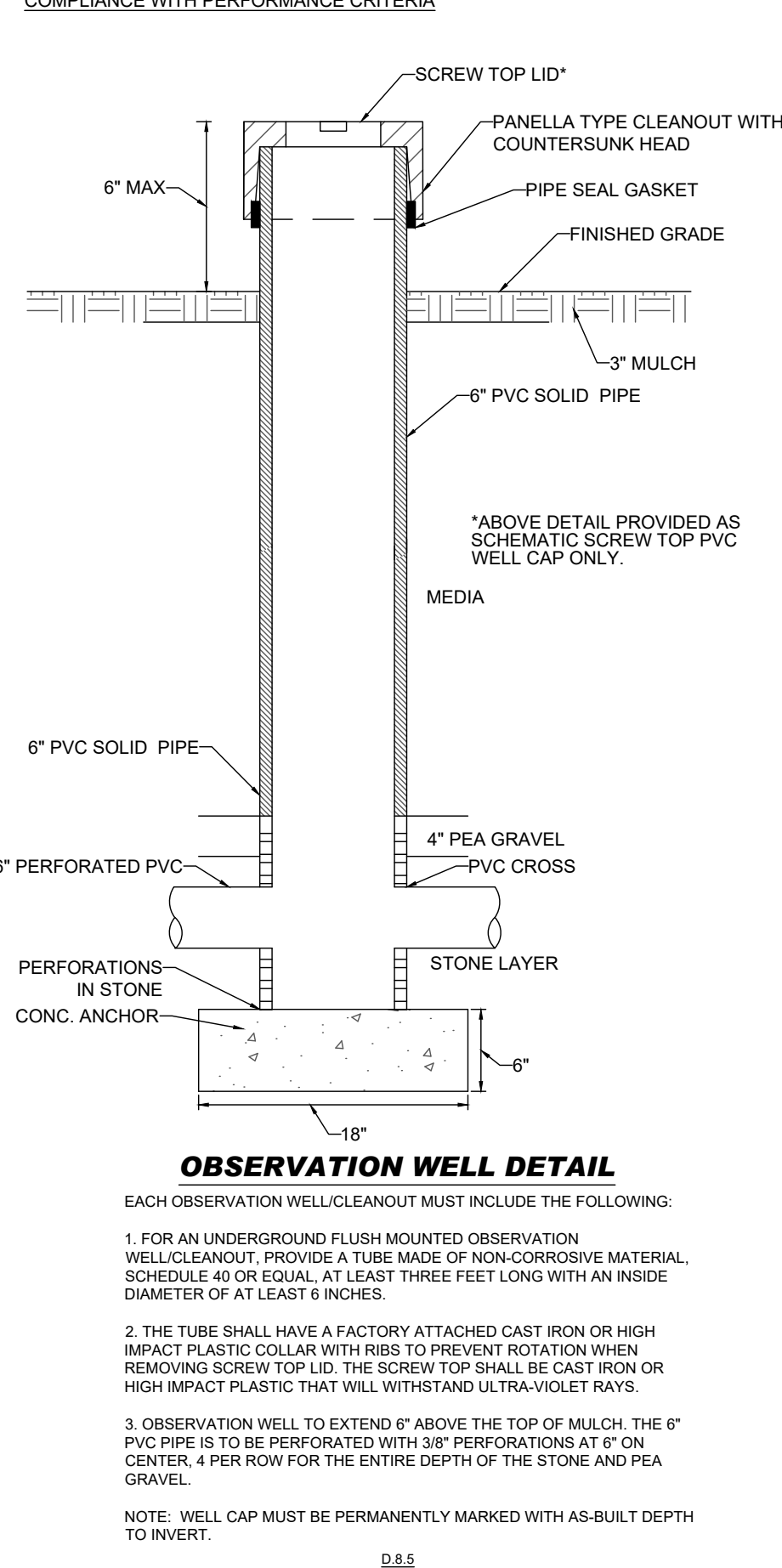
SHEET NUMBER: **13**

SHA TRACKING NO.: 22APH016XX

**FILE NO. SDP-23-007**

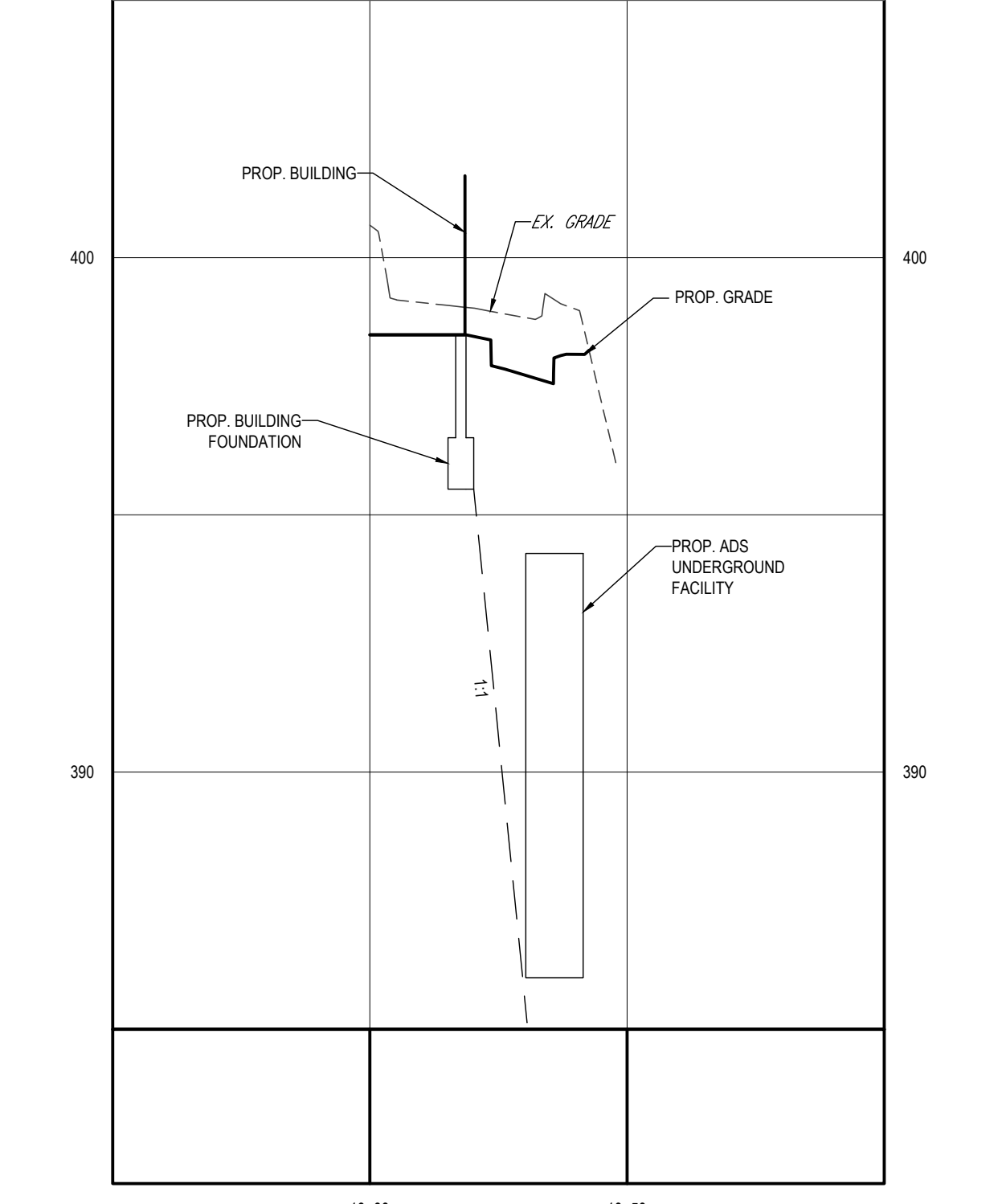
H:\2023\02\04\DRAWINGS\PLAN SET\SITE DEVELOPMENT PLAN\MD204000-01E1-13-AVOUT-13 - SWM.ND

APPENDIX D.8 MISCELLANEOUS DETAILS FOR COMPLIANCE WITH PERFORMANCE CRITERIA



OBSERVATION WELL DETAIL

- EACH OBSERVATION WELL/CLEANOUT MUST INCLUDE THE FOLLOWING:
1. FOR AN UNDERGROUND FLUSH MOUNTED OBSERVATION WELL/CLEANOUT, PROVIDE A TUBE MADE OF NON-CORROSIVE MATERIAL, SCHEDULE 40 OR EQUAL, AT LEAST THREE FEET LONG WITH AN INSIDE DIAMETER OF AT LEAST 6 INCHES.
2. THE TUBE SHALL HAVE A FACTORY ATTACHED CAST IRON OR HIGH IMPACT PLASTIC COLLAR WITH RIBS TO PREVENT ROTATION WHEN REMOVING SCREW TOP LID. THE SCREW TOP SHALL BE CAST IRON OR HIGH IMPACT PLASTIC THAT WILL WITHSTAND ULTRA-VIOLET RAYS.
3. OBSERVATION WELL TO EXTEND 6" ABOVE THE TOP OF MULCH. THE 6" PVC PIPE IS TO BE PERFORATED WITH 3/8" PERFORATIONS AT 6" ON CENTER, 4 PER ROW FOR THE ENTIRE DEPTH OF THE STONE AND PEA GRAVEL.
NOTE: WELL CAP MUST BE PERMANENTLY MARKED WITH AS-BUILT DEPTH TO INVERT.



ADS, Inc. Drainage Handbook Specifications

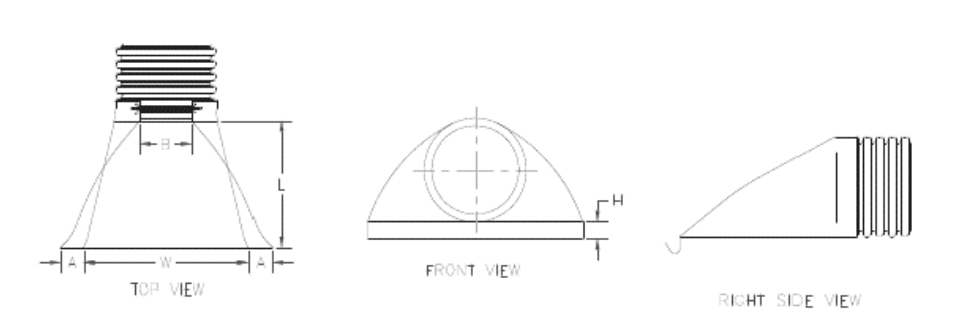
ADS FLARED END SECTION SPECIFICATION

Scope: This specification describes 12- through 36-inch (300 to 900mm) ADS Flared End Sections for use in culvert and drainage outlet applications.

Requirements: The invert of the pipe and the end section shall be at the same elevation. The ADS Flared End Section shall be high density polyethylene meeting ASTM D3350 minimum cell classification 213320C; contact manufacturer for additional cell classification information. When provided, the metal threaded fastening rod shall be stainless steel.

Installation: Installation shall be in accordance with ADS installation instructions and with those issued by state or local authorities. Contact your local ADS representative or visit www.ads-pipe.com for the latest installation instructions.

Table with 5 columns: Diameter in (mm), 12, 15, 18, 24, 30, 36. Rows include dimensions A, B, C, H, L, W in inches and millimeters.



Product detail may differ slightly from actual product appearance.

TYPICAL PLANTING FOR MICRO BIORETENTION AREAS

- NOTES:
1. HERBACEOUS PERENNIALS TO BE PLANTED 18" O.C. IN GROUPS BETWEEN 15 TO 20 PLUGS
2. SHRUBS TO BE PLANTED 36" O.C. IN GROUPS BETWEEN 3 TO 7 CONTAINERS.
3. LANDSCAPE CONTRACTOR TO GROUP LIKE PLANTS TOGETHER IN EACH BED AS SHOWN IN PLANTING DISTRIBUTION PATTERN DETAIL.
4. ALL BIORETENTION AREAS ARE TO BE MULCHED WITH A 3" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.
5. PLACEMENT OF THE PLANTING SOIL SHOULD BE IN 12" TO 18" LIFTS THAT ARE LOOSELY COMPACTED (TAMPED LIGHTLY WITH A BACKHOE BUCKET OR TRAVERSED BY DOZER TRACKS.

MICRO BIORETENTION PLANTING DISTRIBUTION PATTERN DETAIL

NOTE: NATURALLY OCCURRING POPULATIONS TEND TO BE FOUND IN INFORMAL GROUPINGS. A CLUSTER OF PLANTS IS REALLY A MOSAIC OF DIFFERENT SPECIES GROUPS. THE OBJECTIVE IS TO SELECT THE APPROPRIATE SPECIES AND DISTRIBUTION PATTERN FOR A CHOSEN SITE THAT MIMIC NATURAL PATTERNS.

TABLE B.4.1 MATERIALS SPECIFICATIONS FOR MICRO-BIORETENTION, RAIN GARDENS & LANDSCAPE INFILTRATION

Table with 4 columns: MATERIAL, SPECIFICATIONS, SIZE, NOTES. Rows include Plantings, Planting Soil, Organic Content, Mulch, Pea Gravel Diaphragm, Curtain Drain, Geotextile, Gravel (Underdrains and Infiltration Berms), Underdrain Piping, and Poured in Place Concrete (if Required).

STORMWATER MAINTENANCE SCHEDULE MICRO-BIORETENTION

Table with 3 columns: Inspection Item, Inspection Requirements, Remedial Action. Divided into Monthly Inspection and Seasonal Inspection and After a Major Storm sections.

OPERATION AND MAINTENANCE SCHEDULE FOR MICRO-BIORETENTION FACILITIES

- 1. THE STORMWATER MANAGEMENT FACILITIES ARE PRIVATELY OWNED AND IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO PERIODICALLY INSPECT AND CLEAN THE FACILITY TO MAINTAIN ITS OPERATION AND FUNCTION.
2. THE MICRO-BIORETENTION FACILITIES SHALL BE INSPECTED YEARLY AT A MINIMUM AND AFTER ESPECIALLY SEVERE STORM EVENTS.
3. WHEN SEDIMENT ACCUMULATION OF MORE THAN 1" IS OBSERVED OR ANY DEBRIS THAT MIGHT OBSTRUCT THE OUTFALL IS OBSERVED, THE FACILITIES SHALL BE CLEANED. THE OWNER SHALL FOLLOW PROPER CLEANING PROCEDURES AND PROPERLY DISPOSE OF THE REMOVED MATERIAL AND LIQUID.
4. THE TOP FEW INCHES OF MEDIA SHOULD BE REMOVED AND REPLACED WHEN WATER PONDS FOR MORE THAN 48 HOURS.
5. THE 3" MULCH LAYER SHALL BE REPLACED ANNUALLY.
6. OCCASIONAL PRUNING AND REPLACEMENT OF DEAD VEGETATION IS NECESSARY. IF SPECIFIC PLANTS ARE NOT SURVIVING, MORE APPROPRIATE SPECIES SHOULD BE USED. WATERING MAY BE REQUIRED DURING PROLONGED DRY PERIODS.
7. THE INLET AND OUTLET PIPES SHALL BE CHECKED FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX MONTHS. IF OBSTRUCTIONS ARE FOUND, THE OWNER SHALL HAVE THEM REMOVED AND PROPERLY DISPOSED OF.
8. STORM DRAINAGE SYSTEMS - THE STORMWATER MANAGEMENT FACILITIES INCLUDING THE INLETS AND STORMWATER PIPING ON THIS SITE SHALL BE MAINTAINED IN PROPER WORKING ORDER IN ACCORDANCE WITH THESE PLANS AND PER THE RECOMMENDATION OF THE STRUCTURE(S) MANUFACTURER(S). MAINTENANCE OF THESE STORMWATER MANAGEMENT FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNERS UPON WHOSE LOT AREA THE FACILITIES ARE LOCATED.
9. ALL ONSITE INLETS, MANHOLES, AND STORMWATER PIPING SHALL BE CLEARED OF DEBRIS EVERY THREE (3) MONTHS OR WHEN ACCUMULATION HINDERS OPERATION OF THE FACILITY.
10. ALL SEDIMENT/DEBRIS/OIL REMOVED FROM THE STORMWATER MANAGEMENT SYSTEM SHALL BE DISPOSED PER LOCAL, STATE, AND FEDERAL STANDARDS.
11. SHOULD ONSITE EROSION OCCUR FROM THE LANDSCAPED AREAS, SOURCE OF EROSION SHALL BE IMMEDIATELY STABILIZED AND THE INLETS, MANHOLES, AND STORMWATER PIPING SHALL BE CHECKED FOR SEDIMENT ACCUMULATION AND CLEARED IF ACCUMULATION OF SEDIMENT EXISTS.
12. FACILITIES MAY REQUIRE MORE FREQUENT MAINTENANCE THAN TYPICAL MICRO-BIORETENTION FACILITIES DUE TO VOLUME OF STORMWATER RUNOFF REACHING THE FACILITIES.

CONSTRUCTION SPECIFICATIONS FOR MICRO BIORETENTION FACILITY

- 1. SOIL COMPACTION: EXCAVATION SHOULD BE CONDUCTED IN DRY CONDITIONS WITH EQUIPMENT LOCATED OUTSIDE OF THE PRACTICE TO MINIMIZE BOTTOM AND SIDEWALL COMPACTION. ONLY LIGHTWEIGHT, LOW GROUND-CONTACT EQUIPMENT SHOULD BE USED WITHIN MICRO-BIORETENTION PRACTICES AND THE BOTTOM SCARIFIED BEFORE INSTALLING UNDERDRAINS AND FILTERING MEDIA.
2. UNDERDRAIN INSTALLATION: GRAVEL FOR THE UNDERDRAIN SYSTEM SHOULD BE CLEAN, WASHED, AND FREE OF FINES. UNDERDRAIN PIPES SHOULD BE CHECKED TO ENSURE THAT BOTH THE MATERIAL AND PERFORATIONS MEET SPECIFICATIONS. THE UPSTREAM ENDS OF THE UNDERDRAIN PIPE SHOULD BE CAPPED PRIOR TO INSTALLATION.
3. FILTER MEDIA INSTALLATION: BSM MAY BE MIXED ON-SITE BEFORE PLACEMENT. HOWEVER, BSM SHOULD NOT BE PLACED UNDER SATURATED CONDITIONS. BSM SHOULD BE PLACED AND GRADED USING EXCAVATORS OR BACKHOES OPERATING ADJACENT TO THE PRACTICE AND BE PLACED IN HORIZONTAL LAYERS (12 INCHES PER LIFT MAXIMUM). PROPER COMPACTING OF THE BSM WILL OCCUR NATURALLY. SPRAYING OR SPRINKLING WATER ON EACH LIFT UNTIL SATURATED MAY QUICKEN SETTLING TIMES.
4. LANDSCAPE INSTALLATION: THE OPTIMUM PLANTING TIME IS DURING THE FALL. SPRING PLANTING IS ALSO ACCEPTABLE BUT MAY REQUIRE WATERING.

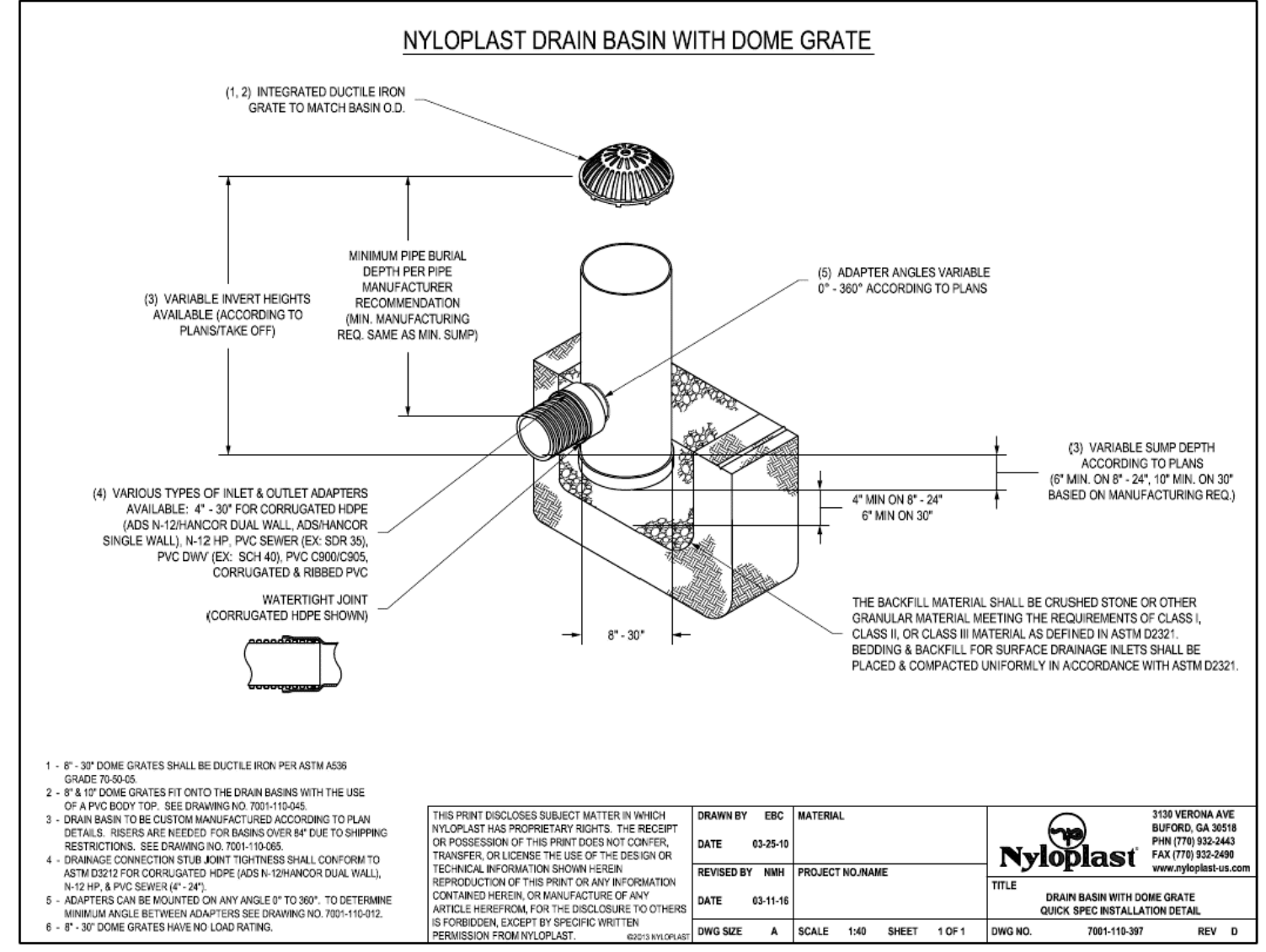


Table with columns: DRAWN BY, DATE, REVISION, MATERIAL, PROJECT NAME, DATE, DWG NO., SCALE, SHEET, OF, DWG NO., REV. Includes a Nyloplast logo and contact information.

APPROVED: DEPARTMENT OF PLANNING AND ZONING. Includes signatures and dates for Chief Development Engineering Division and Chief Division of Land Development.

OWNER: POTOMAC ENERGY HOLDINGS, LLC. DEVELOPER: DASH-IN. Includes address, contact information, and subdivision name: SHELL OIL COMPANY PARCEL 'A'.

BOHLER logo and company information: SITE CIVIL AND CONSULTING ENGINEERING, PROGRAM MANAGEMENT, LANDSCAPE ARCHITECTURE, SUSTAINABLE DESIGN, PERMITTING SERVICES, TRANSPORTATION SERVICES.

REVISIONS table with columns: REV, DATE, COMMENT, DRAWN BY, CHECKED BY.

811 logo and slogan: Know what's below. Call before you dig. ALWAYS CALL 811. It's fast. It's free. It's the law.

APPROVED FOR CONSTRUCTION

PROJECT No.: MD204000. DRAWN BY: DMD/BN. CHECKED BY: RMS. DATE: 02/24/23. CAD ID: SITE-1.

SITE DEVELOPMENT PLAN

DASH IN logo and address: STORE #1832, 9075 BALTIMORE NATIONAL PIKE (US RTE. 40), ELLICOTT CITY, MD 21043.

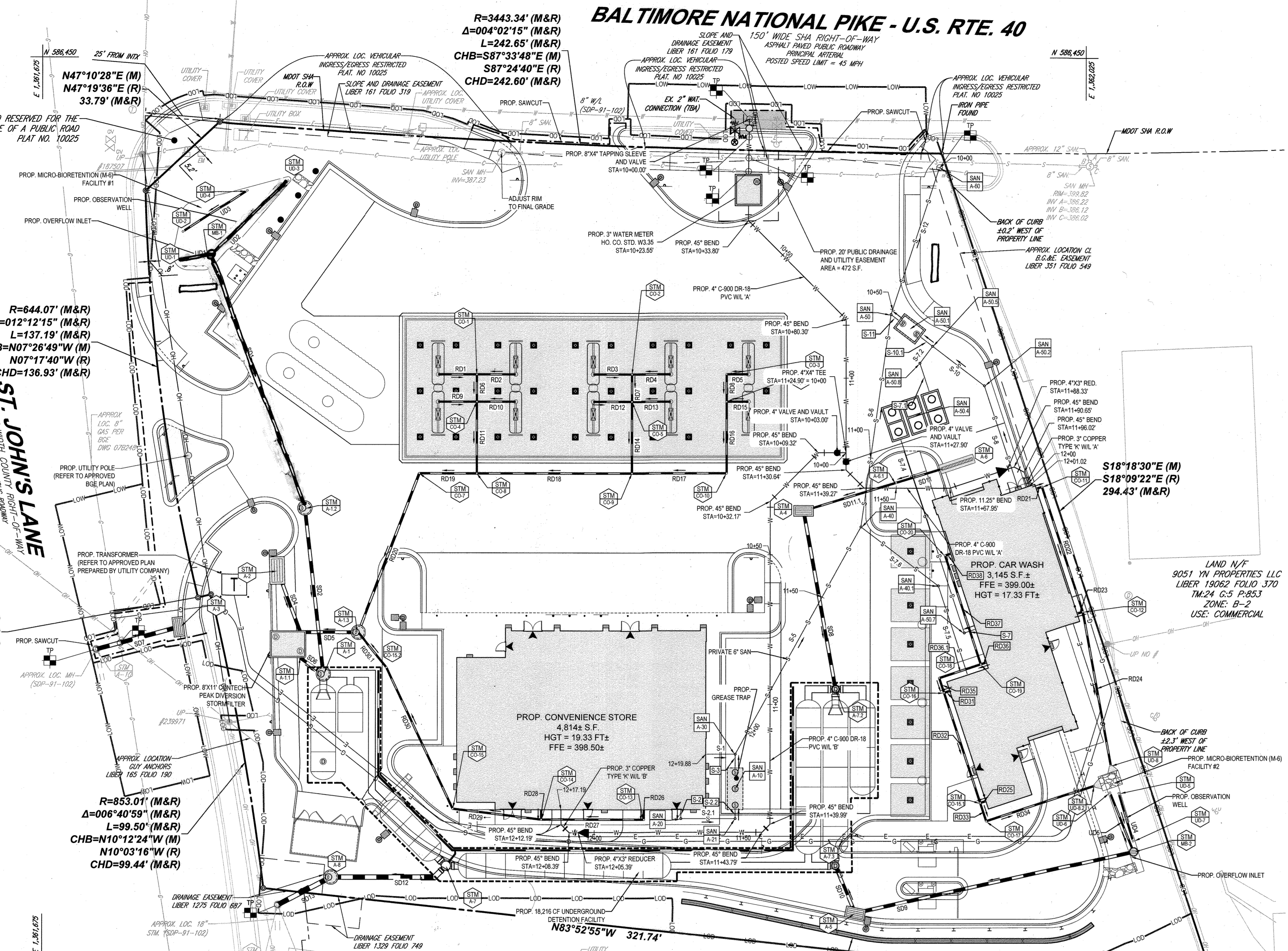
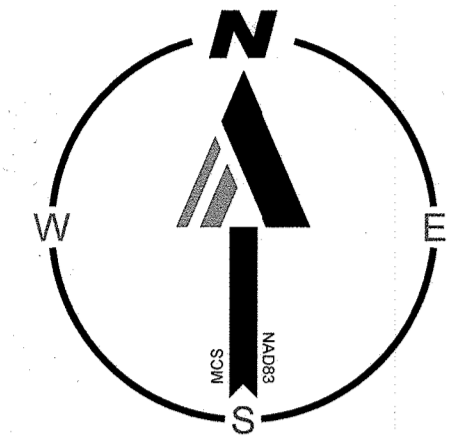
BOHLER logo and address: 901 DULANEY VALLEY ROAD, SUITE 801, TOWSON, MARYLAND 21204.

R.M. STASIOSKI logo and professional information: PROFESSIONAL ENGINEER, LICENSE NO. 49425, EXPIRATION DATE: 6/30/24.

STORMWATER MANAGEMENT NOTES & DETAILS

SHEET NUMBER: 14. SHA TRACKING NO.: 22APH016XX.

# BALTIMORE NATIONAL PIKE - U.S. RTE. 40



SANITARY STRUCTURE SCHEDULE			
NAME	TYPE	RIM ELEV. (FT.)	INVERTS
A-10	PROP. GREASE TRAP (REFER TO ARCHITECTURAL PLANS)	VARIABLES	INV IN = 394.01' (4') INV OUT = 393.76' (4')
A-20	CLEANOUT	398.44'	INV IN = 394.44' (4') INV OUT = 394.44' (4')
A-21	CLEANOUT	398.24'	INV IN = 394.07' (4') INV OUT = 394.07' (4')
A-30	CLEANOUT	397.79'	INV IN = 394.30' (4') INV OUT = 393.66' (6')
A-40	CLEANOUT	397.94'	INV IN = 392.79' (6') INV IN = 394.35' (6') INV OUT = 392.79' (6')
A-40.1	CLEANOUT	398.34'	INV IN = 394.68' (6') INV OUT = 394.68' (6')
A-50	CLEANOUT	399.24'	INV IN = 392.07' (6') INV IN = 393.57' (6') INV OUT = 392.07' (6')
A-50.1	OIL/WATER SEPARATOR (REFER TO ARCHITECTURAL PLANS)	VARIABLES	INV IN = 393.76' (6') INV OUT = 393.61' (6')
A-50.2	CLEANOUT	398.93'	INV IN = 394.27' (6') INV OUT = 394.27' (6')
A-50.4	RECLAIM TANKS (REFER TO ARCHITECTURAL PLANS)	VARIABLES	INV IN = 394.28' (6') INV OUT = 394.03' (6')
A-50.5	CLEANOUT	399.07'	INV IN = 394.05' (6') INV IN = 393.94' (6') INV OUT = 393.84' (6')
A-50.7	CLEANOUT	398.97'	INV IN = 394.96' (6') INV OUT = 394.96' (6')
A-50.8	CLEANOUT	398.88'	INV IN = 393.92' (6') INV OUT = 393.62' (6')
A-60	45° VERTICAL BEND (CONNECT TO EX. SEWER HOUSE CONNECTION)		INV IN = 391.55' (6') INV OUT = 396.41' (6')

### WATER NOTES

- ALL WATER MAINS TO BE P.V.C. CLASS (DR-18) C900 UNLESS OTHERWISE NOTED.
- TOPS OF ALL WATER MAINS TO HAVE A MINIMUM OF 3'-6" OF COVER UNLESS OTHERWISE NOTED.
- VALVES ADJACENT TO TEES SHALL BE STRAPPED TO TEES.
- ALL FITTINGS SHALL BE BUTTRESSED OR ANCHORED WITH CONCRETE IN ACCORDANCE WITH THE STANDARD DETAILS UNLESS OTHERWISE PROVIDED FOR ON THE DRAWINGS.
- FIRE HYDRANTS SHALL BE SET TO THE BURY LINE ELEVATIONS SHOWN ON THE DRAWINGS. ALL FIRE HYDRANTS SHALL BE RESTRAINED AND BUTTRESSED WITH CONCRETE IN ACCORDANCE WITH THE STANDARD DETAILS. THE SOIL AROUND THE FIRE HYDRANT SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 1000 AND 1005 OF THE STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL NOT OPERATE ANY WATER MAIN VALVES ON THE EXISTING WATER SYSTEM.
- TRACER WIRES AND CONTINUITY TEST STATION SHALL BE INSTALLED ON ALL DIP AND PVC WATER MAINS IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL.
- FOR PVC WATER MAINS, ALL RECORDS FOR THE QUALITY CONTROL AND QUALIFICATIONS TEST REQUIREMENTS NOTED IN SECTION 5.1 OF THE ANNA STANDARD C900 FOR PVC PRESSURE PIPE SHALL BE SUBMITTED WITH PIPE MATERIALS CERTIFICATIONS OR SHOP DRAWING PRIOR TO APPROVAL OF THE MATERIAL FOR USE. THE TEST RECORDS SHALL BE FOR THE PIPE TO BE INSTALLED UNDER THIS CONTRACT. ALL PVC PIPE SHALL CONTAIN MARKINGS TO ALLOW CROSS REFERENCING OF THE PIPE SUPPLIED TO THE TEST RECORDS RECEIVED.
- UNLESS OTHERWISE NOTED ON THE PLANS OR IN THE SPECIFICATIONS SACRIFICIAL ANODES SHALL BE ON ALL VALVES AND METALLIC FITTINGS USED WITH PVC WATER MAINS IN ACCORDANCE WITH VOLUME IV, STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION. SEVENTEEN (17) POUND MAGNESIUM ANODES SHALL BE INSTALLED ON ALL VALVES AND DUCTILE IRON FITTINGS INCLUDING RESTRAINS AND HARNESSES. TWELVE (12) POUND ZINC ANODES SHALL BE INSTALLED ON ALL STAINLESS STEEL FITTINGS AND SADDLES USED WITH PVC MAINS. ALL "TEES" USED WITH PVC MAINS SHALL BE DUCTILE IRON.
- PROPER ASSEMBLY OF GASKETED PVC PIPE JOINTS. THE MANUFACTURER'S INSERTION LINE OF GASKETED PVC PIPE JOINTS INDICATES THE MAXIMUM DEPTH OF INSERTION OF THE SPIGOT INTO THE BELL. AFTER ASSEMBLY OF THE JOINT, THE INSERTION LINE SHALL REMAIN VISIBLE. DUAL INSERTION LINES ON GASKETED PVC PIPE INDICATE THE MAXIMUM AND MINIMUM DEPTH OF INSERTION OF THE SPIGOT INTO THE BELL. THE CONTRACTOR SHALL NOT OVER INSERT OR OVER HOME THE SPIGOT INTO THE BELL OF PVC PIPE.
- ALL CHANGES IN HORIZONTAL OR VERTICAL DIRECTION OF PVC WATER PIPE SHALL BE MADE WITH STANDARD BENDS, 5-DEGREE SWEEPS OR HIGH DEFLECTION (HD) COUPLINGS. NO BENDING OF THE PIPE OR DEFLECTING OF PVC PIPE JOINTS IS PERMITTED. WHERE HIGH DEFLECTION COUPLINGS OR 5-DEGREE SWEEPS ARE PERMITTED, THE CONTRACTOR SHALL PROVIDE ONE FULL PIPE LENGTH (20-FOOT LONG) ON EITHER SIDE OF THE HIGH DEFLECTION COUPLING OR 5-DEGREE SWEEP. THE CONTRACTOR SHALL USE A VIBRATORY PLATE COMPACTOR OR OTHER APPROVED MEANS TO THOROUGHLY COMPACT THE #57 STONE ON BOTH SIDES OF THE HIGH DEFLECTION COUPLING OR 5-DEGREE SWEEP, TAKING CARE NOT TO USE COMPACTOR EQUIPMENT DIRECTLY OVER THE FITTING.
- PVC HIGH DEFLECTION COUPLINGS SHALL BE LIMITED TO A TOTAL DEFLECTION OF 3-DEGREES (1 1/2-DEGREE ON EITHER END OF THE COUPLING). SHALL BE RATED FOR A MINIMUM 200 PSI MEETING THE REQUIREMENTS OF ANNA C900. SHALL HAVE A MINIMUM LAY LENGTH OF 8 INCHES AND SHALL HAVE CENTER STOPS. PVC HIGH DEFLECTION COUPLINGS SHALL BE CERTAINTED PVC HIGH DEFLECTION (HD) STOP COUPLINGS OR EQUAL.
- FIVE DEGREE SWEEPS SHALL BE BELL BY SPIGOT, RATED FOR A MINIMUM 225 PSI, DR18 MEETING THE REQUIREMENTS OF ANNA C900 AND SHALL BE MULTI FITTINGS (PEX) BLUE BRUTE DR18 OR EQUAL.
- WHEN PVC HIGH DEFLECTION COUPLINGS OR PVC 5-DEGREE SWEEPS ARE USED TO FACILITATE CHANGES IN HORIZONTAL OR VERTICAL ALIGNMENTS OF ANNA C-900 PVC PIPELINES, THE CONTRACTOR SHALL INSTALL DEVICES FOR THE PREVENTION OF OVER-INSERTION OF THE PVC PIPE JOINTS OR PLAIN ENDS INTO THE PUSH ON BELL JOINT ON BOTH SIDES OF THE HIGH DEFLECTION COUPLINGS AND 5 DEGREE SWEEPS. BELL STOPS SHALL BE PLACED AT THE PROPER INSERTION LINE FOR THE FITTING. THE BELL STOP SHALL BE MANUFACTURED OF DUCTILE IRON AND INCORPORATE AN EXPANSION SPRING TO ALLOW FOR PIPE EXPANSION AND CONTRACTION. THE BELL STOPS SHALL BE SERIES 5000 MEGA-STOP, AS MANUFACTURED BY EBAA IRON, INC. OR APPROVED EQUAL.

SANITARY PIPE SCHEDULE								
FROM	FROM INV	TO	TO INV	PIPE LENGTH	SLOPE (%)	DIAMETER (IN.)	MATERIAL	NO.
A-30	394.30'	BLDG	394.50'	9.87'	2.03%	4"	SDR-35 PVC	S-1
A-20	394.44'	BLDG	394.50'	3.00'	2.00%	4"	SDR-35 PVC	S-2
A-21	394.07'	A-20	394.44'	18.20'	2.03%	4"	SDR-35 PVC	S-2.1
A-10	394.01'	A-21	394.07'	3.00'	2.00%	4"	SDR-35 PVC	S-2.2
A-30	393.66'	A-10	393.76'	4.58'	2.18%	4"	SDR-35 PVC	S-3
A-40	392.79'	A-30	393.66'	86.77'	1.00%	6"	SDR-35 PVC	S-5
A-50	392.07'	A-40	392.79'	71.59'	1.01%	6"	SDR-35 PVC	S-6
A-50.7	394.96'	CWSH	395.00'	4.00'	1.00%	6"	SDR-35 PVC	S-7
A-50.8	393.92'	A-50.4	394.03'	10.08'	1.09%	6"	SDR-35 PVC	S-7.1
A-50.5	393.84'	A-50.8	393.92'	7.08'	1.13%	6"	SDR-35 PVC	S-7.2
A-50.4	394.28'	A-50.7	394.96'	68.07'	1.00%	6"	SDR-35 PVC	S-7.4
A-40.1	394.68'	RSTRM	395.00'	31.28'	1.02%	6"	SDR-35 PVC	S-7.5
A-40	394.35'	A-40.1	394.68'	32.60'	1.01%	6"	SDR-35 PVC	S-7.6
A-50.2	394.27'	CWSH	395.00'	36.53'	2.00%	6"	SDR-35 PVC	S-8
A-50.5	394.05'	A-50.2	394.27'	21.80'	1.01%	6"	SDR-35 PVC	S-10
A-50.1	393.78'	A-50.5	393.84'	5.22'	1.15%	6"	SDR-35 PVC	S-10.1
A-50	393.57'	A-50.1	393.61'	3.40'	1.18%	6"	SDR-35 PVC	S-11
A-60	391.55'	A-50	392.07'	51.65'	1.01%	6"	SDR-35 PVC	S-12

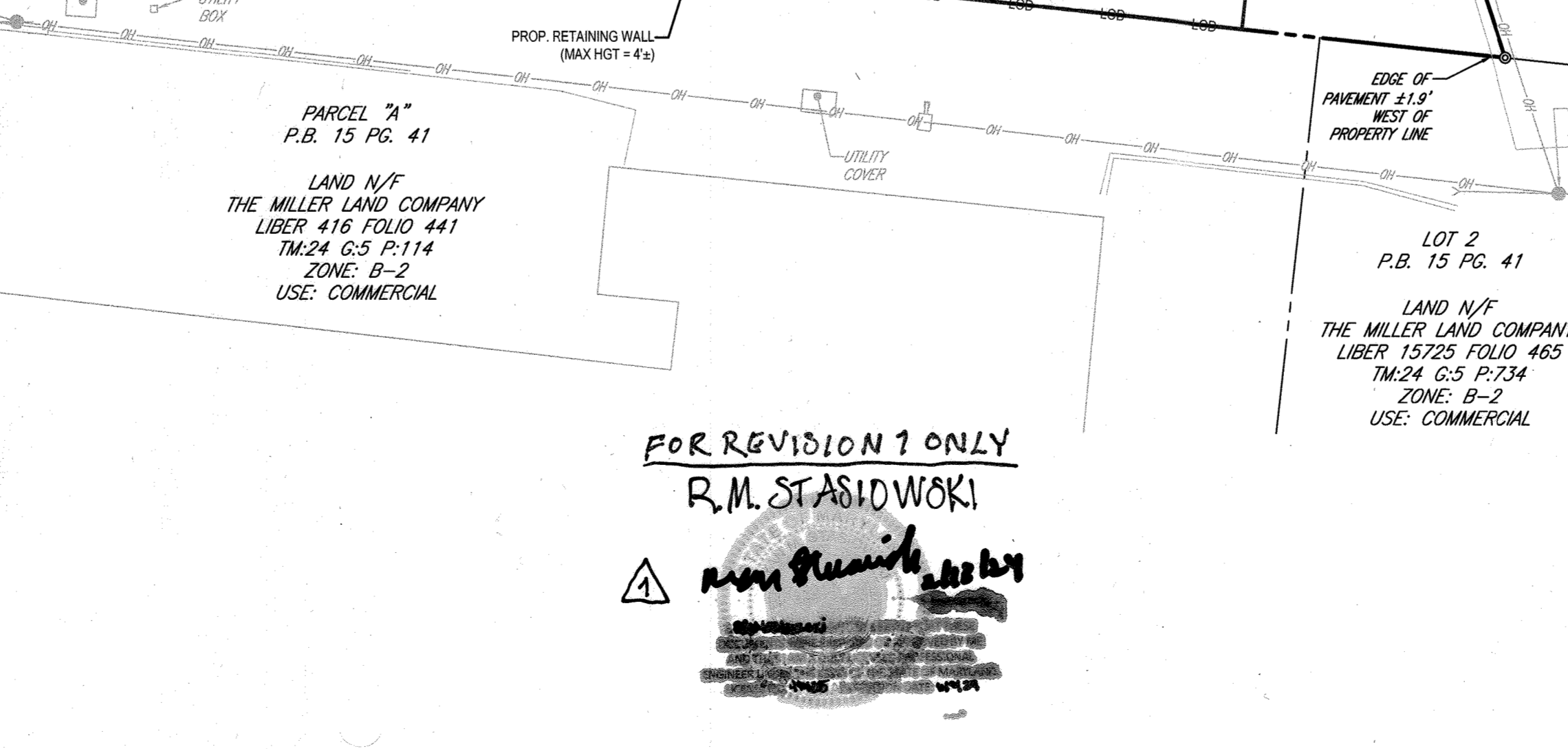
**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

Chief, Department of Planning and Zoning: *[Signature]* DATE: 9/22/2023

Chief, Division of Engineering: *[Signature]* DATE: 9/25/2023

Chief, Division of Land Development: *[Signature]* DATE: 10/6/2023

Director, Department of Planning and Zoning: *[Signature]* DATE: \_\_\_\_\_



# BOHLER

SITE CIVIL AND CONSULTING ENGINEERING  
LAND SURVEYING  
PROFESSIONAL ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

REVISIONS			
REV	DATE	COMMENT	DRAWN BY
1	12/1/23	ADDITION OF PROP. PIPING DETAILS	WJD

**811**  
Know what's below. Call before you dig.  
ALWAYS CALL 811  
It's fast. It's free. It's the law.

**APPROVED FOR CONSTRUCTION**

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT NO.: MD204000  
DRAWN BY: DMDBN  
CHECKED BY: RMS  
DATE: 02/24/23  
CAD LID.: SITE-1

**SITE DEVELOPMENT PLAN**

FOR

# DASH IN

STORE #1832  
9075 BALTIMORE NATIONAL PIKE  
U.S. RTE. 40  
ELLCOTT CITY, MD 21043  
TAX MAP 24, GRID 5, PARCEL 112  
HOWARD COUNTY  
2ND ELECTION DISTRICT  
ZONE: B-2

# BOHLER

901 DULANEY VALLEY ROAD, SUITE 801  
TOWSON, MARYLAND 21284  
Phone: (410) 821-7900  
Fax: (410) 821-7987  
MD@BohlerEng.com

**R.M. STASIDOWSKI**  
REGISTERED PROFESSIONAL ENGINEER  
No. 15022  
EXPIRES 09/30/2024

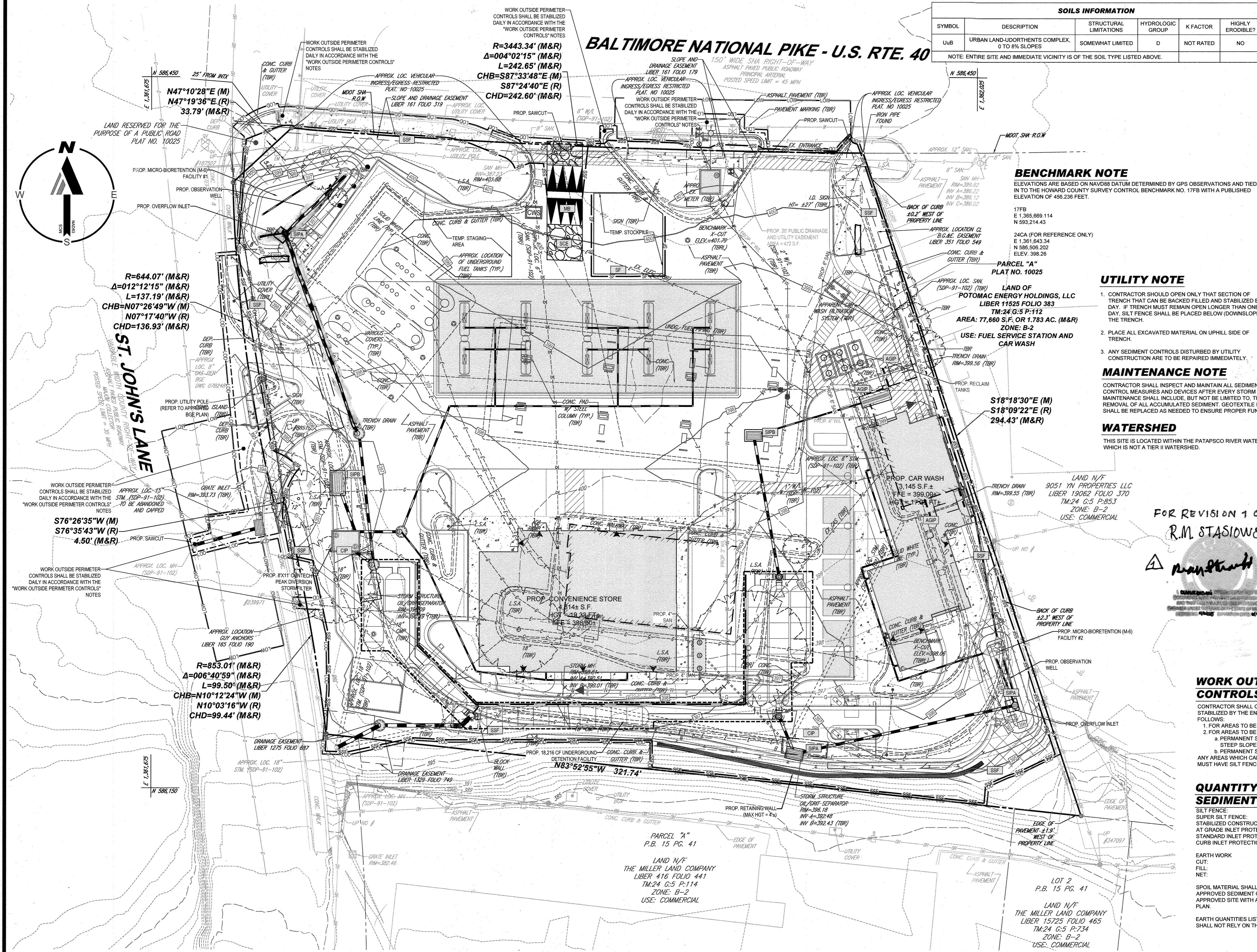
I, RYAN K. STASIDOWSKI, CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME, AND THAT I AM A QUALIFIED ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 49483, EXPIRATION DATE: 09/30/24

SHEET TITLE: **UTILITY PLAN**

SHEET NUMBER: **15**

SHA TRACKING NO.: 22APH016XX

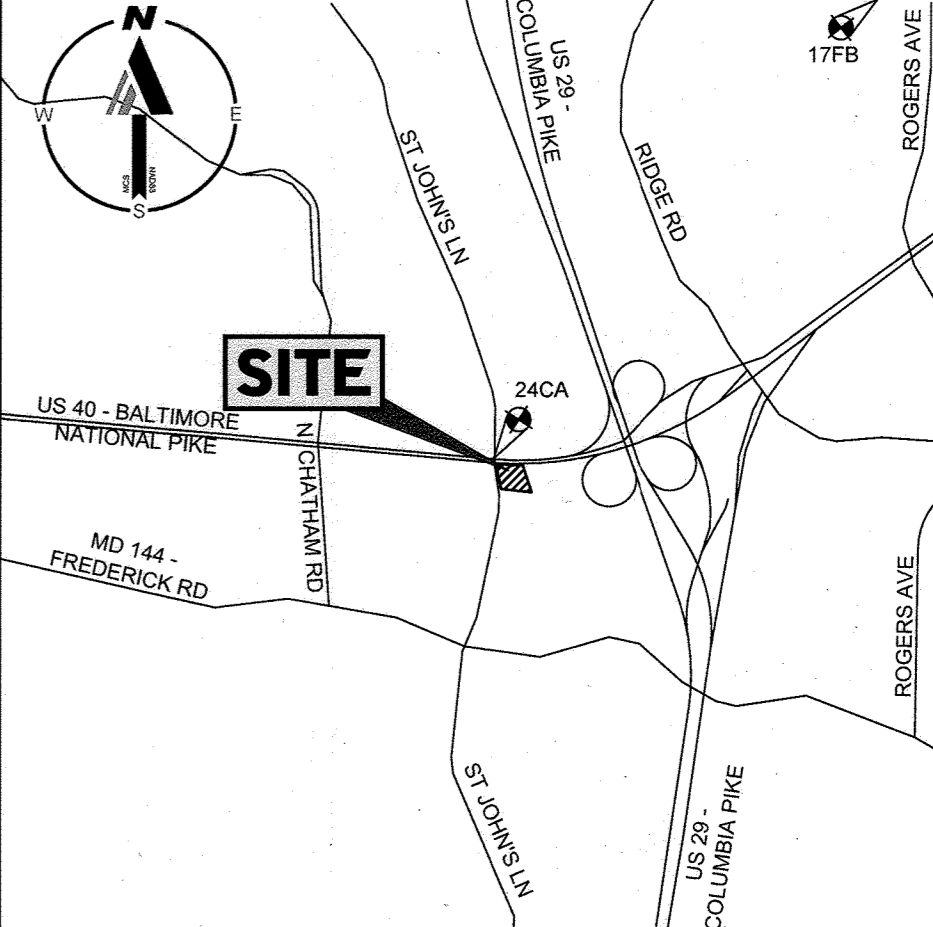
**FILE NO. SDP-23-007**



**SOILS INFORMATION**

SYMBOL	DESCRIPTION	STRUCTURAL LIMITATIONS	HYDROLOGIC GROUP	K FACTOR	HIGHLY ERODIBLE?
Uub	URBAN LAND-UDORTMENTS COMPLEX, 0 TO 8% SLOPES	SOMEWHAT LIMITED	D	NOT RATED	NO

NOTE: ENTIRE SITE AND IMMEDIATE VICINITY IS OF THE SOIL TYPE LISTED ABOVE.



**BENCHMARK NOTE**  
ELEVATIONS ARE BASED ON NAVD83 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO THE HOWARD COUNTY SURVEY CONTROL BENCHMARK NO. 17FB WITH A PUBLISHED ELEVATION OF 458.236 FEET.

17FB  
E 1,365,669.114  
N 593,214.43

24CA (FOR REFERENCE ONLY)  
E 1,361,643.34  
N 586,506.002  
ELEV. 398.26

**UTILITY NOTE**

- CONTRACTOR SHOULD OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) THE TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.

**MAINTENANCE NOTE**

CONTRACTOR SHALL INSPECT AND MAINTAIN ALL SEDIMENT CONTROL MEASURES AND DEVICES AFTER EVERY STORM EVENT. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, THE REMOVAL OF ALL ACCUMULATED SEDIMENT. GEOTEXTILE FABRIC SHALL BE REPLACED AS NEEDED TO ENSURE PROPER FUNCTION.

**WATERSHED**

THIS SITE IS LOCATED WITHIN THE PATASCO RIVER WATERSHED, WHICH IS NOT A TIER II WATERSHED.

**LOCATION MAP**  
Copyright ADC THE MAP PEOPLE  
PERMIT USE NO. 20602153-S  
SCALE: 1"=200'  
ADC MAP COORDINATES 4932-E7

**LEGEND**

AT-GRADE INLET PROTECTION	AGIP
GABION INFLOW PROTECTION	
LIMIT OF DISTURBANCE	LOC
MOUNTABLE BERM	MB
PERMANENT SOIL STABILIZATION MATTING SLOPE	
SILT FENCE	SF
STABILIZED CONSTRUCTION ENTRANCE	SCSE
STANDARD INLET PROTECTION TYPE A OR B	SIP
CURB INLET PROTECTION	CIP
SUPER SILT FENCE	SSF
CONCRETE WASHOUT STRUCTURE	CWS

FOR REVISION 1 ONLY  
R.M. STASIEWSKI



**WORK OUTSIDE PERIMETER CONTROLS NOTES**

CONTRACTOR SHALL ONLY DISTURB THAT AREA WHICH CAN BE COMPLETED AND STABILIZED BY THE END OF EACH WORKING DAY. STABILIZATION SHALL BE AS FOLLOWS:

- FOR AREAS TO BE PAVED, THE APPLICATION OF STONE BASE
- FOR AREAS TO BE VEGETATIVELY STABILIZED
  - PERMANENT SEED AND SOIL STABILIZATION MATTING OR SOD FOR ALL STEEP SLOPES, CHANNELS OR SWALES
  - PERMANENT SEED AND MULCH FOR ALL OTHER AREAS.

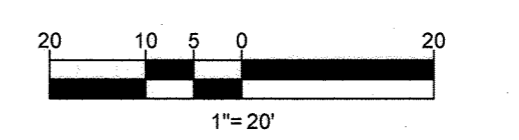
ANY AREAS WHICH CAN NOT BE STABILIZED BY THE END OF EACH WORKING DAY MUST HAVE SILT FENCE INSTALLED ON THE DOWN SLOPE SIDE.

**QUANTITY TAKEOFF OF SEDIMENT CONTROL MEASURES**

SILT FENCE	70 LF
SUPER SILT FENCE	1150 LF
STABILIZED CONSTRUCTION ENTRANCE	1 EA
AT GRADE INLET PROTECTION	4 EA
STANDARD INLET PROTECTION	5 EA
CURB INLET PROTECTION	2 EA
EARTH WORK CUT	2433 C.Y.
FILL	218 C.Y.
NET	2215 C.Y. (CUT)

SPOIL MATERIAL SHALL BE DISCARDED AT A SITE WITH AN ACTIVE GRADING PERMIT AND APPROVED SEDIMENT CONTROL PLAN. BORROW MATERIAL SHALL BE OBTAINED FROM AN APPROVED SITE WITH AN ACTIVE GRADING PERMIT AND AN APPROVED SEDIMENT CONTROL PLAN.

EARTH QUANTITIES LISTED ABOVE ARE FOR SEDIMENT CONTROL USE ONLY. CONTRACTOR SHALL NOT RELY ON THESE FIGURES FOR ESTIMATING AND BONDING PURPOSES.



**HOWARD SCD SIGNATURE BLOCK**

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Designed by: Alexander Bratovic 9/25/2023

HOWARD SOIL CONSERVATION DISTRICT DATE

OWNER: POTOMAC ENERGY HOLDINGS, LLC PO BOX 2810 LA PLATA, MD 20646 CONTACT: JASON BELT PHONE: 240-320-6448	DEVELOPER: DASH-IN 102 CENTENNIAL STREET, STE. 100 LA PLATA, MD 20646 CONTACT: JASON BELT PHONE: 240-320-6448
TAX MAP: 24 GRID: 5 PARCEL: 112	ZONED: B-2
2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND	
SUBDIVISION NAME: SHELL OIL COMPANY PARCEL 'A' SECTION: A DEED # 11525 / 00383 PLAT # 10025, 20056	
PREVIOUS DPZ FILE NUMBERS: SDP-73-066, SDP-73-062, SDP-24-051, SDP-91-102, F-31-158, F-24-010, WFP-31-185, BA-90-13E, ECP-22-032, BA-22-001CAV, WFP-27-073.	

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

Chief, Department of Planning & Zoning 9/22/2023	DATE
Chief, Division of Land Development 9/25/2023	DATE
Director, Department of Planning & Zoning 10/6/2023	DATE

**INLET PROTECTION NOTE**

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:

- ANY INLET OUTFALLING DIRECTLY INTO A SEDIMENT TRAPPING DEVICE.
- INLETS ON PRIVATE OR PUBLIC PAVED ROAD OPEN TO THE PUBLIC.

ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E-23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

\*STORM DRAIN TO BE FLUSHED PRIOR TO TRAPPING DEVICE REMOVAL.

**OWNER/DEVELOPER'S CERTIFICATION:**

I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I HAVE ALSO CERTIFIED THAT THE SITE WILL BE INSPECTED AT THE END OF EACH WORKING DAY, AND THAT ANY NEEDED MAINTENANCE WILL BE COMPLETED SO AS TO ENSURE THAT ALL SEDIMENT CONTROL PRACTICES ARE LEFT IN OPERATIONAL CONDITION. I HAVE CERTIFIED THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

OWNER/DEVELOPER'S SIGNATURE: Julian B. Willis III  
DATE: 8.28.2023  
TITLE: Vice President

**DESIGN CERTIFICATION:**

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DESIGNER'S SIGNATURE: RYAN M. STASIEWSKI  
DATE: 08/31/23  
PRINT NAME: RYAN M. STASIEWSKI, P.E.  
49425  
MD LICENSE NUMBER

LIMIT OF DISTURBANCE 77,670 S.F. OR 1.78 AC.

**BOHLER**

SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	12/14/23	ADDITION OF FILED PLAN SIGNATURE	DWB	SCB

**811**

Know what's below.  
Call before you dig.  
ALWAYS CALL 811  
It's fast. It's free. It's the law.

**APPROVED FOR CONSTRUCTION**

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS NOTICED OTHERWISE.

PROJECT NO.: MD204000  
DRAWN BY: DIMDEN  
CHECKED BY: RMS  
DATE: 02/24/23  
CAD L.D.: EROS-1

**SITE DEVELOPMENT PLAN**

FOR

**DASH IN**

STORE #1832  
9075 BALTIMORE NATIONAL PIKE  
(US RTE. 40)  
ELLCOTT CITY, MD 21043  
TAX MAP 24, GRID 5, PARCEL 112  
HOWARD COUNTY  
2ND ELECTION DISTRICT  
ZONE: B-2

**BOHLER**

901 DULANEY VALLEY ROAD, SUITE 801  
TOWSON, MARYLAND 21284  
Phone: (410) 821-7900  
Fax: (410) 821-7987  
MD@BohlerEng.com

**R.M. STASIEWSKI**

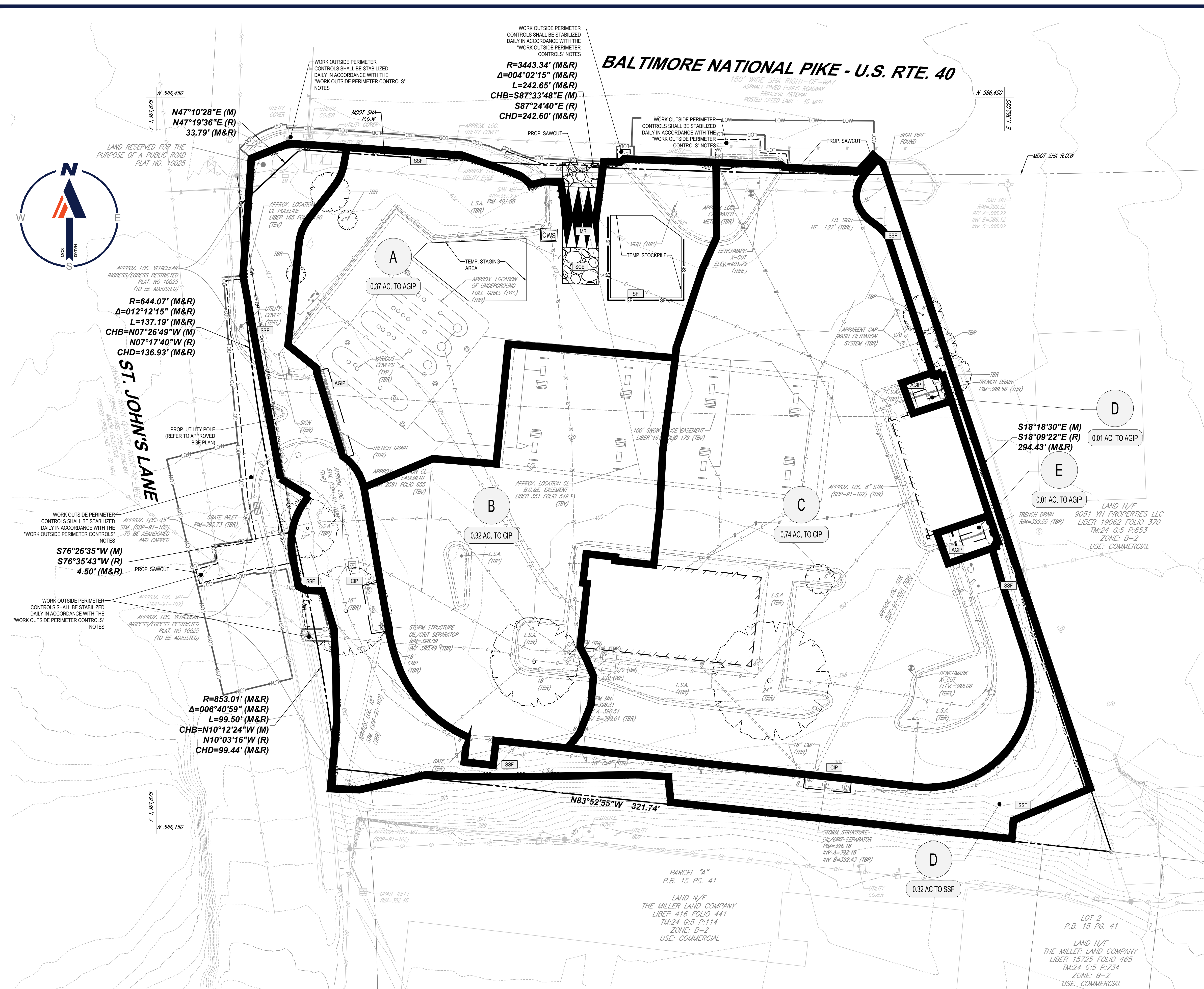
Professional Engineer  
No. 49425, Expiration Date: 06/30/24

**EROSION AND SEDIMENT CONTROL PLAN**

SHEET NUMBER: 16

SHA TRACKING NO.: 22APH0016XX





**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

Chief, Development Engineering Division  
 Chief, Division of Land Development  
 Director, Department of Planning & Zoning

9/22/2023  
 9/25/2023  
 10/6/2023

**OWNER'S/DEVELOPER'S CERTIFICATION:**

I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I/WE ALSO CERTIFY THAT THE SITE WILL BE INSPECTED AT THE END OF EACH WORKING DAY, AND THAT ANY NEEDED MAINTENANCE WILL BE COMPLETED SO AS TO ENSURE THAT ALL SEDIMENT CONTROL PRACTICES ARE LEFT IN OPERATIONAL CONDITION. I/WE CERTIFY THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

OWNER'S/DEVELOPER'S SIGNATURE: *Julian B. Willis III*  
 DATE: 8.29.2023  
 TITLE: Vice President

**DESIGN CERTIFICATION:**

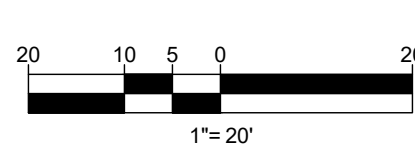
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DESIGNER'S SIGNATURE: *Ryan M. Stasiowski*  
 DATE: 08/31/23  
 RYAN M. STASIOSKI, P.E.  
 PRINT NAME: RYAN M. STASIOSKI, P.E.  
 TITLE: M/D LICENSE NUMBER: 49425

**HOWARD SCD SIGNATURE BLOCK**

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DESIGNED BY: *Alexander Bratovic*  
 DATE: 9/25/2023  
 HOWARD SOIL CONSERVATION DISTRICT



OWNER: POTOMAC ENERGY HOLDINGS, LLC  
 DEVELOPER: DASH-IN  
 LA PLATA, MD 20646  
 CONTACT: JASON BELT  
 TAX MAP: 24 GRID: 5 PARCEL: 112  
 ZONED: B-2  
 SUBDIVISION NAME: SHELL OIL COMPANY PARCEL "A"  
 SECTION AREA: N/A  
 DEED # 11525 00383  
 PLAT # 10025 28936  
 PREVIOUS DPZ FILE NUMBERS: SDP-73-066, SDP-73-062, SDP-84-051, SDP-91-102, F-91-158, F-24-010, WP-91-185, BA-90-13E, ECP-22-032, BA-22-001C&V, WP-27-073.

**BOHLER**

SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

**811**

Know what's below.  
 Call before you dig.  
 ALWAYS CALL 811  
 It's fast. It's free. It's the law.

**APPROVED FOR CONSTRUCTION**

PROJECT No.: MD204000  
 DRAWN BY: DMD/BN  
 CHECKED BY: RMS  
 DATE: 02/24/23  
 CAD ID: EROS-1

**SITE DEVELOPMENT PLAN**

FOR

**DASH IN**

STORE #1832  
 9075 BALTIMORE NATIONAL PIKE  
 (US RTE. 40)  
 ELLICOTT CITY, MD 21043  
 TAX MAP 24, GRID 5, PARCEL 112  
 HOWARD COUNTY  
 2ND ELECTION DISTRICT  
 ZONE: B-2

**BOHLER**

901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21204  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 MD@BohlerEng.com

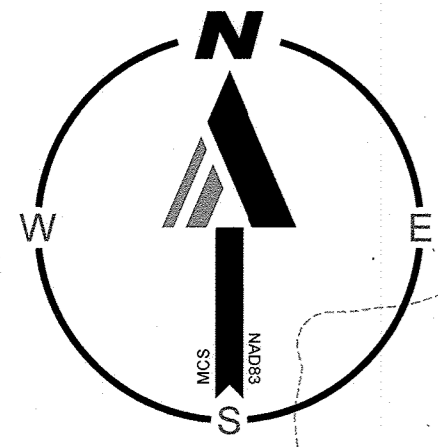
**R.M. STASIOSKI**

PROFESSIONAL ENGINEER  
 No. 95102  
 I, RYAN M. STASIOSKI, CERTIFY THAT THESE DOCUMENTS WERE PREPARED AND REVIEWED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 49425. EXPIRATION DATE: 6/30/2024

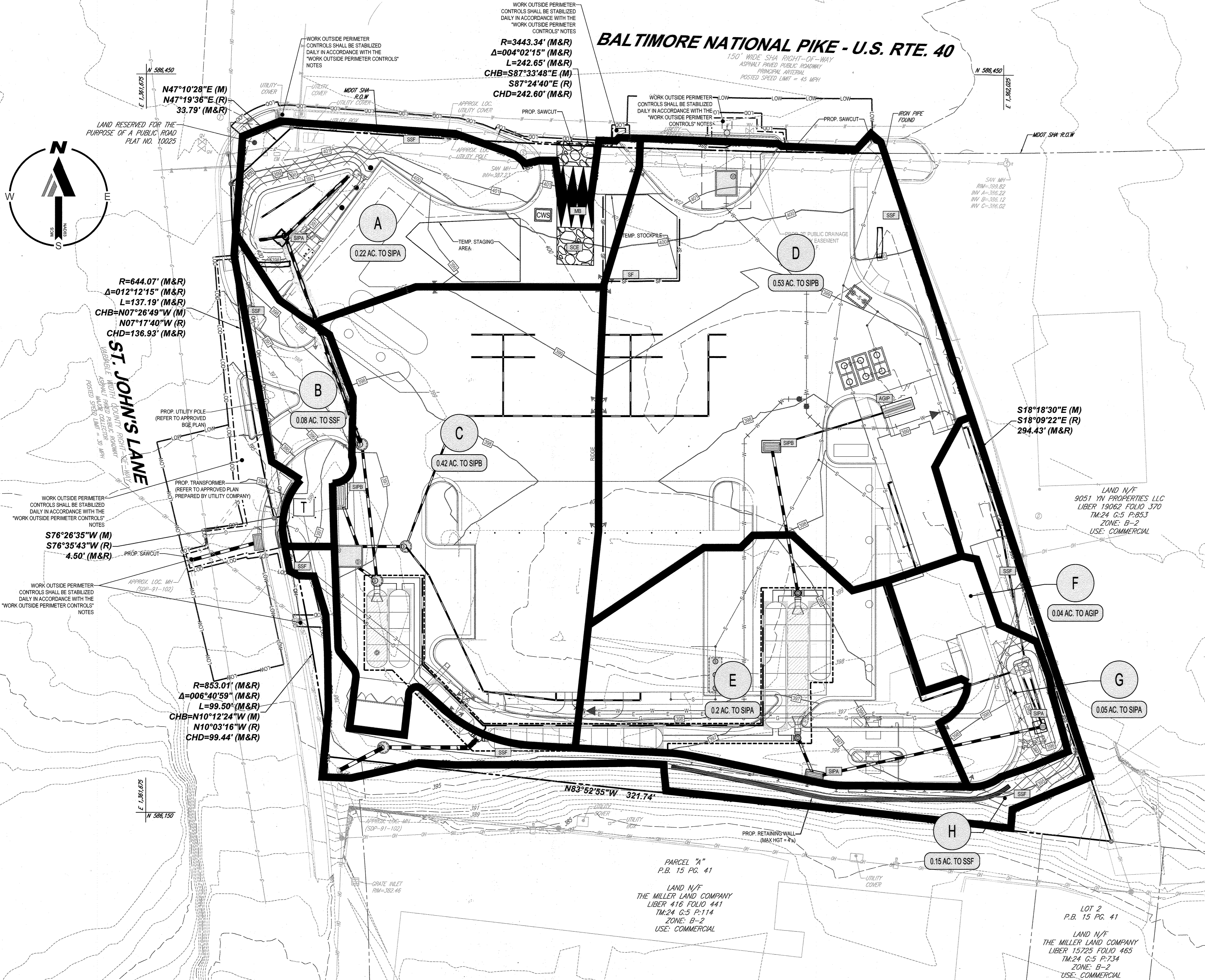
**PREDEVELOPMENT EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP**

SHEET NUMBER: 17

SHA TRACKING NO.: 22APH016XX



# BALTIMORE NATIONAL PIKE - U.S. RTE. 40



WORK OUTSIDE PERIMETER CONTROLS SHALL BE STABILIZED DAILY IN ACCORDANCE WITH THE "WORK OUTSIDE PERIMETER CONTROLS" NOTES

$R=3443.34'$  (M&R)  
 $\Delta=004^{\circ}02'15''$  (M&R)  
 $L=242.65'$  (M&R)  
 $CHB=587^{\circ}33'48''E$  (M)  
 $S87^{\circ}24'40''E$  (R)  
 $CHD=242.60'$  (M&R)

$R=644.07'$  (M&R)  
 $\Delta=012^{\circ}12'15''$  (M&R)  
 $L=137.19'$  (M&R)  
 $CHB=N07^{\circ}26'49''W$  (M)  
 $N07^{\circ}17'40''W$  (R)  
 $CHD=136.93'$  (M&R)

$R=853.01'$  (M&R)  
 $\Delta=006^{\circ}40'59''$  (M&R)  
 $L=99.50'$  (M&R)  
 $CHB=N10^{\circ}12'24''W$  (M)  
 $N10^{\circ}03'16''W$  (R)  
 $CHD=99.44'$  (M&R)

PARCEL "A"  
 P.B. 15 PG. 41

LAND N/F  
 THE MILLER LAND COMPANY  
 LIBER 416 FOLIO 441  
 TM:24 C:5 P:114  
 ZONE: B-2  
 USE: COMMERCIAL

LOT 2  
 P.B. 15 PG. 41

LAND N/F  
 THE MILLER LAND COMPANY  
 LIBER 15725 FOLIO 465  
 TM:24 C:5 P:734  
 ZONE: B-2  
 USE: COMMERCIAL

FOR REVISION 1 ONLY  
 R.M. STASIOSKI

**BOHLER**

SITE CIVIL AND CONSULTING ENGINEERING  
 LAND SURVEYING  
 PROCESSING  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	12/1/23	ADDITION OF PROP. FLOOR SLABS	DMC	RS

**811**

Know what's below.  
 Call before you dig.  
 ALWAYS CALL 811  
 It's fast. It's free. It's the law.

**APPROVED FOR CONSTRUCTION**

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD204000  
 DRAWN BY: DMC/RS  
 CHECKED BY: RMS  
 DATE: 02/24/23  
 CAD I.D.: EROS-1

**SITE DEVELOPMENT PLAN**

FOR

**DASH IN**

STORE #1832  
 9075 BALTIMORE NATIONAL PIKE  
 (US RTE 40)  
 ELLICOTT CITY, MD 21043  
 TAX MAP 24, GRID 5, PARCEL 112  
 HOWARD COUNTY  
 2ND ELECTION DISTRICT  
 ZONE: B-2

**BOHLER**

901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 MD@BohlerEng.com

**R.M. STASIOSKI**

PROFESSIONAL ENGINEER  
 STATE OF MARYLAND  
 LICENSE NO. 9502  
 EXPIRES 06/30/24

**INTERIM EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP**

SHEET NUMBER:  
**18**

SHA TRACKING NO.: 22APH0016X

**OWNER'S/DEVELOPER'S CERTIFICATION:**

I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I/WE ALSO CERTIFY THAT THE SITE WILL BE INSPECTED AT THE END OF EACH WORKING DAY, AND THAT ANY NEEDED MAINTENANCE WILL BE COMPLETED SO AS TO ENSURE THAT ALL SEDIMENT CONTROL PRACTICES ARE LEFT IN OPERATIONAL CONDITION. I/WE CERTIFY THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT, OR ANY OTHER AGENCY.

OWNER'S/DEVELOPER'S SIGNATURE: *Julian B. Willis III*  
 PRINT NAME: Julian B. Willis III  
 DATE: 8/28/2023  
 TITLE: Vice President

**DESIGN CERTIFICATION:**

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DESIGNER'S SIGNATURE: *Ryan M. Stasioski*  
 DATE: 08/31/23  
 RYAN M. STASIOSKI, P.E.  
 PRINT NAME: RYAN M. STASIOSKI, P.E.  
 49425  
 MD LICENSE NUMBER: 49425

**HOWARD SCD SIGNATURE BLOCK**

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

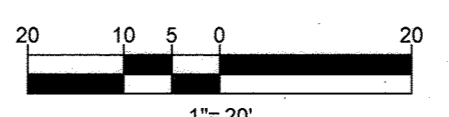
DocSigned by: *Alexander Eratich*  
 DATE: 9/25/2023  
 HOWARD SOIL CONSERVATION DISTRICT

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

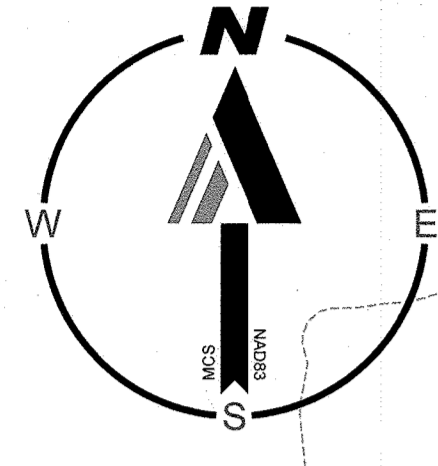
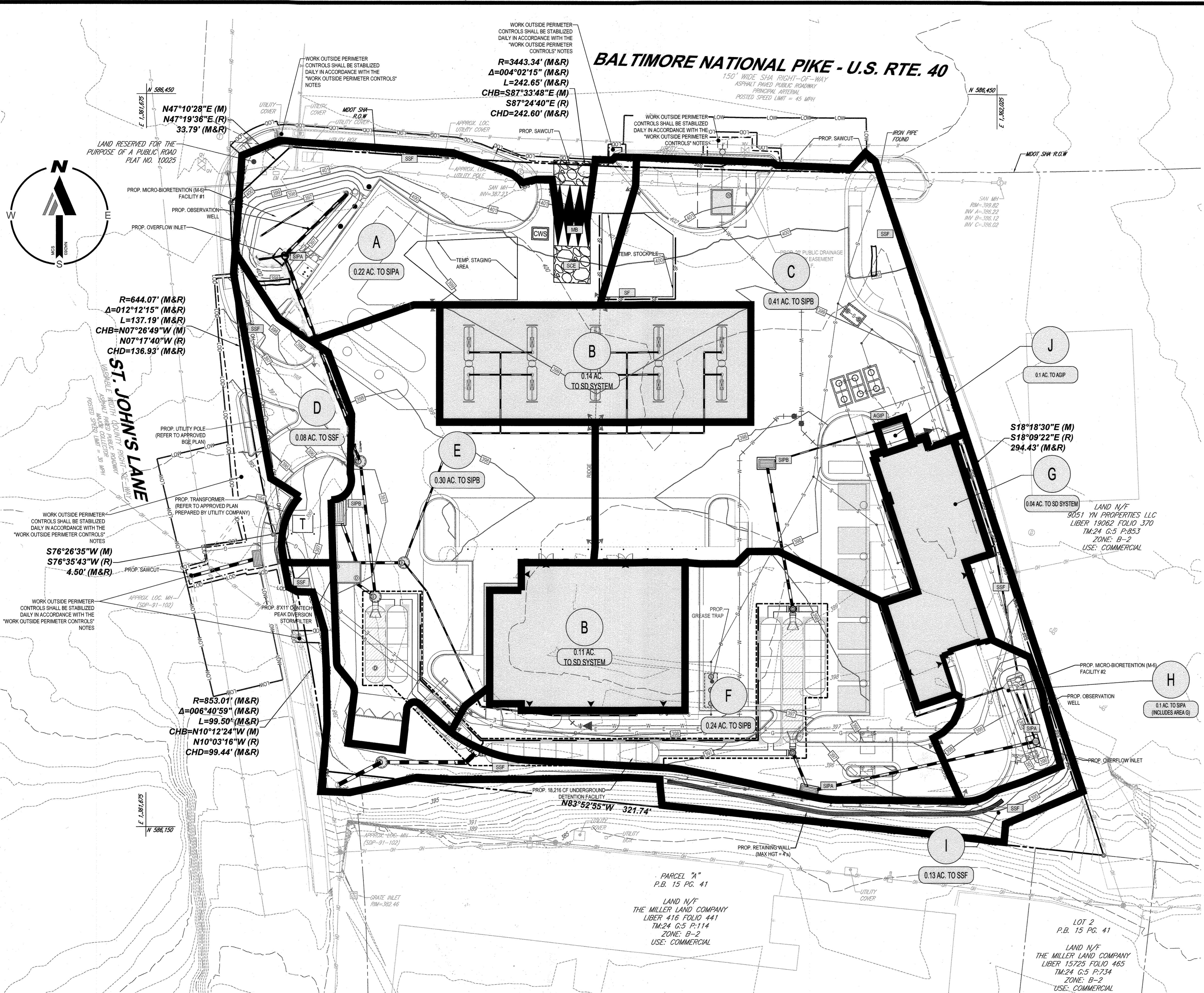
DocSigned by: *Will Edmondson* DATE: 9/22/2023  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

DocSigned by: *Linda Gumbert* DATE: 10/6/2023  
 CHIEF, DIVISION OF LAND DEVELOPMENT

DIRECTOR, DEPARTMENT OF PLANNING & ZONING



# BALTIMORE NATIONAL PIKE - U.S. RTE. 40



**BOHLER**

SITE CIVIL AND CONSULTING ENGINEERING  
 LAND SURVEYING  
 PROGRAM MANAGEMENT  
 LAND MANAGEMENT  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	12/1/23	ADDITIONAL PLAN FROM PLANS	JD	JD

**811**

Know what's Below.  
Call before you dig.

ALWAYS CALL 811  
It's fast. It's free. It's the law.

**APPROVED FOR CONSTRUCTION**

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD204000  
 DRAWN BY: DM/JSN  
 CHECKED BY: RMS  
 DATE: 02/24/23  
 CAD I.D.: EROS-1

**SITE DEVELOPMENT PLAN**

FOR

**DASH IN**

STORE #1832  
 9075 BALTIMORE NATIONAL PIKE (US RTE. 40)  
 ELLICOTT CITY, MD 21043  
 TAX MAP 24, GRID 5, PARCEL 112  
 HOWARD COUNTY  
 2ND ELECTION DISTRICT  
 ZONE: B-2

**BOHLER**

901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 MD@BohlerEng.com

**R.M. STASIOSKI**

**R.M. STASIOSKI**  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 19522  
 EXPIRES 09/30/25

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

Documented by: *Chad Edmondson* 9/22/2023  
 DATE

CHIEF, DEVELOPMENT ENGINEERING DIVISION

Documented by: *Julia Gentry* 10/6/2023  
 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT

Documented by: *Julia Gentry* 10/6/2023  
 DATE

DIRECTOR, DEPARTMENT OF PLANNING & ZONING

**OWNER'S/DEVELOPER'S CERTIFICATION:**

I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I/WE ALSO CERTIFY THAT THE SITE WILL BE INSPECTED AT THE END OF EACH WORKING DAY, AND THAT ANY NEEDED MAINTENANCE WILL BE COMPLETED SO AS TO ENSURE THAT ALL SEDIMENT CONTROL PRACTICES ARE LEFT IN OPERATIONAL CONDITION. I/WE CERTIFY THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

*Julian B. Willis III* 8/29/2023  
 OWNER'S/DEVELOPER'S SIGNATURE DATE  
 Vice President

**DESIGN CERTIFICATION:**

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Ryan M. Stasiowski* 09/31/23  
 DESIGNER'S SIGNATURE DATE

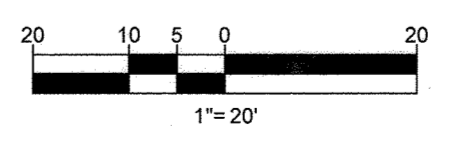
RYAN M. STASIOSKI, P.E. 49425  
 PRINT NAME MD LICENSE NUMBER

**HOWARD SCD SIGNATURE BLOCK**

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Designed by: *Alexander Brothie* 9/25/2023  
 DATE

HOWARD SOIL CONSERVATION DISTRICT



OWNER: POTOMAC ENERGY HOLDINGS, LLC  
 PO BOX 2810  
 LA PLATA, MD 20646  
 CONTACT: JASON BELT  
 PHONE: 240-320-6448

DEVELOPER: DASH-IN  
 102 CENTENNIAL STREET, STE. 100  
 LA PLATA, MD 20645  
 CONTACT: JASON BELT  
 PHONE: 240-320-6448

TAX MAP: 24 GRID: 5 PARCEL: 112  
 ZONED: B-2

2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: SHELL OIL COMPANY PARCEL 'A'  
 SECTION/AREA: N/A  
 DEED # 11525/00383  
 PLAT # 10925, 20095

PREVIOUS DPZ FILE NUMBERS: SDP-73-056, SDP-73-052, SDP-84-051, SDP-91-102, F-51158, F-24-010, WP-51185, BA-90-13E, ECP 22-032, BA-22-001C&V, WP-27-073.

**POSTDEVELOPMENT EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP**

SHEET NUMBER: **19**

SHA TRACKING NO.: 22APH0018X

**FILE NO. SDP-23-007**

H:\02\02\000\DRAWINGS\PLAN SETS\SITE DEVELOPMENT PLAN\SDP23-007-19-1.PLT (19 - PH II) ESDA

B-4 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

DEFINITION USING VEGETATION AS COVER TO PROTECT EXPOSED SOIL FROM EROSION.

PURPOSE TO PROMOTE THE ESTABLISHMENT OF VEGETATION ON EXPOSED SOIL.

CONDITIONS WHERE PRACTICE APPLIES ON ALL DISTURBED AREAS NOT STABILIZED BY OTHER METHODS...

EFFECTS ON WATER QUALITY AND QUANTITY STABILIZATION PRACTICES ARE USED TO PROMOTE THE ESTABLISHMENT OF VEGETATION ON EXPOSED SOIL...

ADEQUATE VEGETATIVE ESTABLISHMENT INSPECT SEEDED AREAS FOR VEGETATIVE ESTABLISHMENT AND MAKE NECESSARY REPAIRS, REPLACEMENTS, AND RESEEDINGS...

B-4-1 STANDARDS AND SPECIFICATIONS FOR INCREMENTAL STABILIZATION

DEFINITION ESTABLISHMENT OF VEGETATIVE COVER ON CUT AND FILL SLOPES.

PURPOSE TO PROVIDE TIMELY VEGETATIVE COVER ON CUT AND FILL SLOPES AS WORK PROGRESSES.

CONDITIONS WHERE PRACTICE APPLIES ANY CUT OR FILL SLOPE GREATER THAN 15 FEET IN HEIGHT...

- CRITERIA A. INCREMENTAL STABILIZATION - CUT SLOPES 1. EXCAVATE AND STABILIZE CUT SLOPES IN INCREMENTS NOT TO EXCEED 15 FEET IN HEIGHT...

NOTE: ONCE EXCAVATION HAS BEGUN THE OPERATION SHOULD BE CONTINUOUS FROM GRUBBING THROUGH THE COMPLETION OF GRADING AND PLACEMENT OF TOPSOIL...

- B. INCREMENTAL STABILIZATION - FILL SLOPES 1. CONSTRUCT AND STABILIZE FILL SLOPES IN INCREMENTS NOT TO EXCEED 15 FEET IN HEIGHT...

NOTE: ONCE THE PLACEMENT OF FILL HAS BEGUN THE OPERATION SHOULD BE CONTINUOUS FROM GRUBBING THROUGH THE COMPLETION OF GRADING AND PLACEMENT OF TOPSOIL...

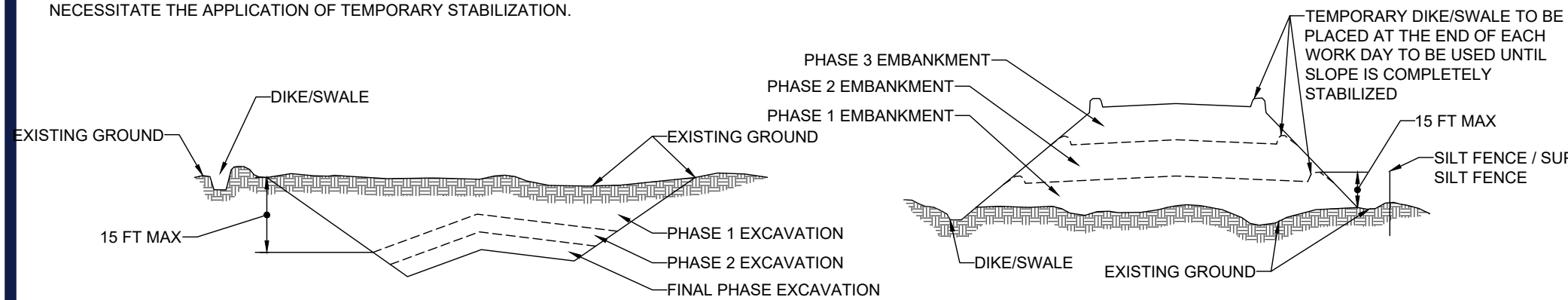


FIGURE B.1: INCREMENTAL STABILIZATION - CUT

B-4-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

DEFINITION THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.

PURPOSE TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

CONDITIONS WHERE PRACTICE APPLIES WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

- CRITERIA A. SOIL PREPARATION 1. TEMPORARY STABILIZATION a. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT...

- 6. TOPSOIL APPLICATION a. EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL. b. UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES...

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITION THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

PURPOSE TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

CONDITIONS WHERE PRACTICE APPLIES TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.

- CRITERIA A. SEEDING 1. SPECIFICATIONS a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY...

- B. MULCHING 1. MULCH MATERIALS (IN ORDER OF PREFERENCE) a. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR...

- 2. APPLICATION a. APPLY MULCH TO ALL SEEDBED AREAS IMMEDIATELY AFTER SEEDING. b. WHEN STRAW MULCH IS USED, IT MUST BE APPLIED AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES...

TEMPORARY SEEDING SUMMARY

Table with columns: NO., SPECIES, APPLICATION RATE (LB/AC), SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE (10-20-20), LIME RATE. Includes sub-sections for COOL SEASON GRASSES and WARM SEASON GRASSES.

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

DEFINITION TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

PURPOSE TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS...

- CRITERIA 1. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3)...

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

PURPOSE TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

- CRITERIA A. SEED MIXTURES 1. GENERAL USE a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2...

PERMANENT SEEDING SUMMARY

Table with columns: NO., SPECIES, APPLICATION RATE (LB/AC), SEEDING DATES, SEEDING DEPTHS, N, P205, K2O, LIME RATE. Includes sub-sections for HARDNESS ZONE and SEED MIXTURE.

- NOTES 1. THE PLANTING DATES LISTED ARE AVERAGES FOR EACH ZONE. THESE DATES MAY REQUIRE ADJUSTMENT TO REFLECT LOCAL CONDITIONS. ESPECIALLY NEAR THE BOUNDARIES OF THE ZONES...

- B. SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (1) GRADE OR FLATTER. 1. GENERAL SPECIFICATIONS a. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED...

OWNER'S/DEVELOPER'S CERTIFICATION:

I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN...

DESIGN CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS...

Form for OWNER'S/DEVELOPER'S CERTIFICATION and DESIGN CERTIFICATION, including signature lines, dates, and project details.

BOHLER logo and contact information: SITE CIVIL AND CONSULTING ENGINEERING, PROGRAM MANAGEMENT, LANDSCAPE ARCHITECTURE, SUSTAINABLE DESIGN, PERMITTING SERVICES, TRANSPORTATION SERVICES.

REVISIONS table with columns: REV, DATE, COMMENT, DRAWN BY, CHECKED BY.

811 logo and text: Know what's below. Call before you dig. ALWAYS CALL 811. It's fast. It's free. It's the law.

APPROVED FOR CONSTRUCTION

Project information form: PROJECT No., DRAWN BY, CHECKED BY, DATE, CAD ID.

SITE DEVELOPMENT PLAN

DASH IN logo and address: STORE #1832, 9075 BALTIMORE NATIONAL PIKE (US RTE. 40), ELLICOTT CITY, MD 21043.

BOHLER logo

901 DULANEY VALLEY ROAD, SUITE 801 TOWSON, MARYLAND 21204

R.M. STASIOWSKI logo and contact information: PROFESSIONAL ENGINEER, CIVIL ENGINEER.

EROSION AND SEDIMENT CONTROL NOTES AND DETAILS. SHEET NUMBER: 20. FILE NO. SDP-23-007.

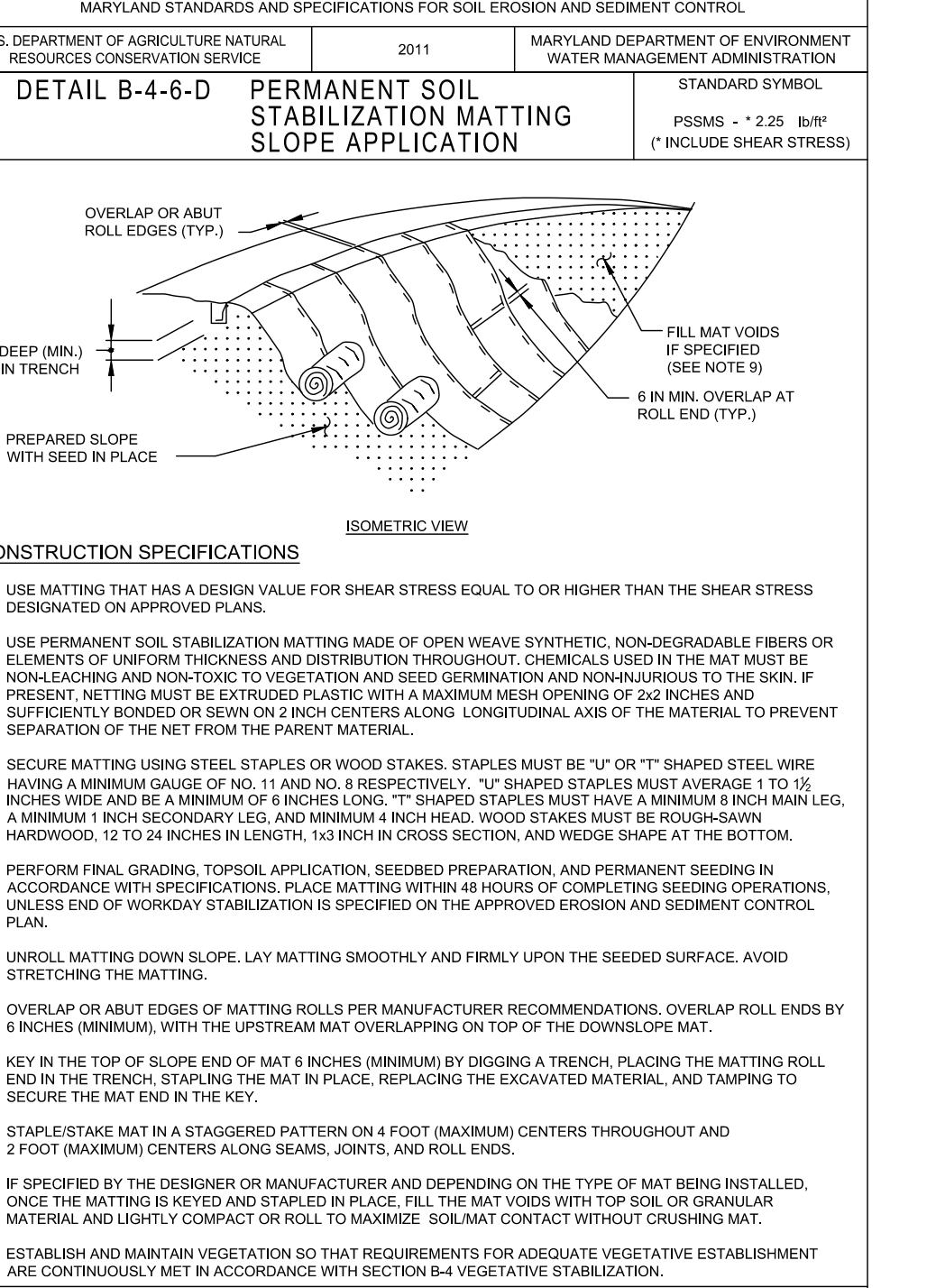
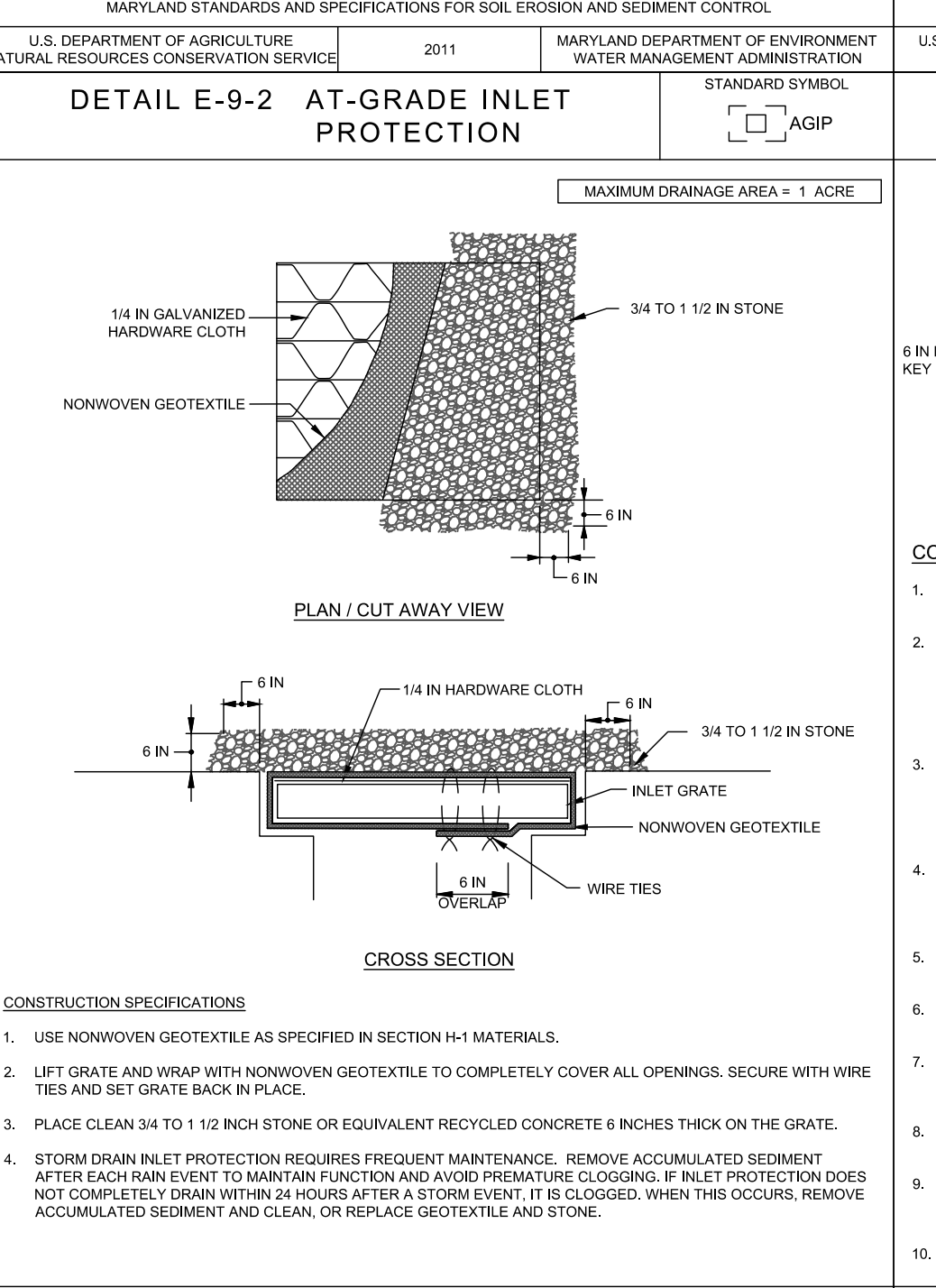
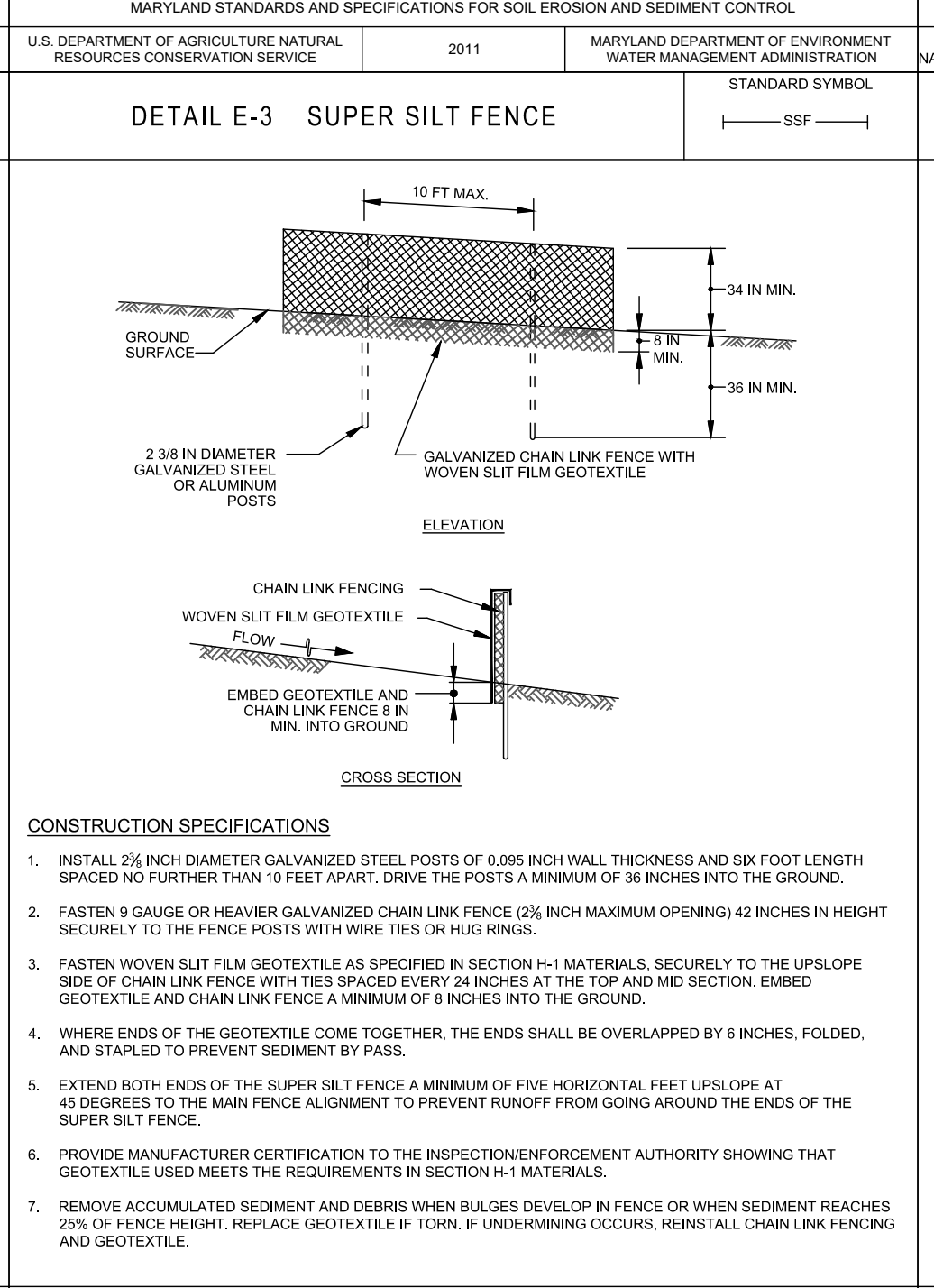
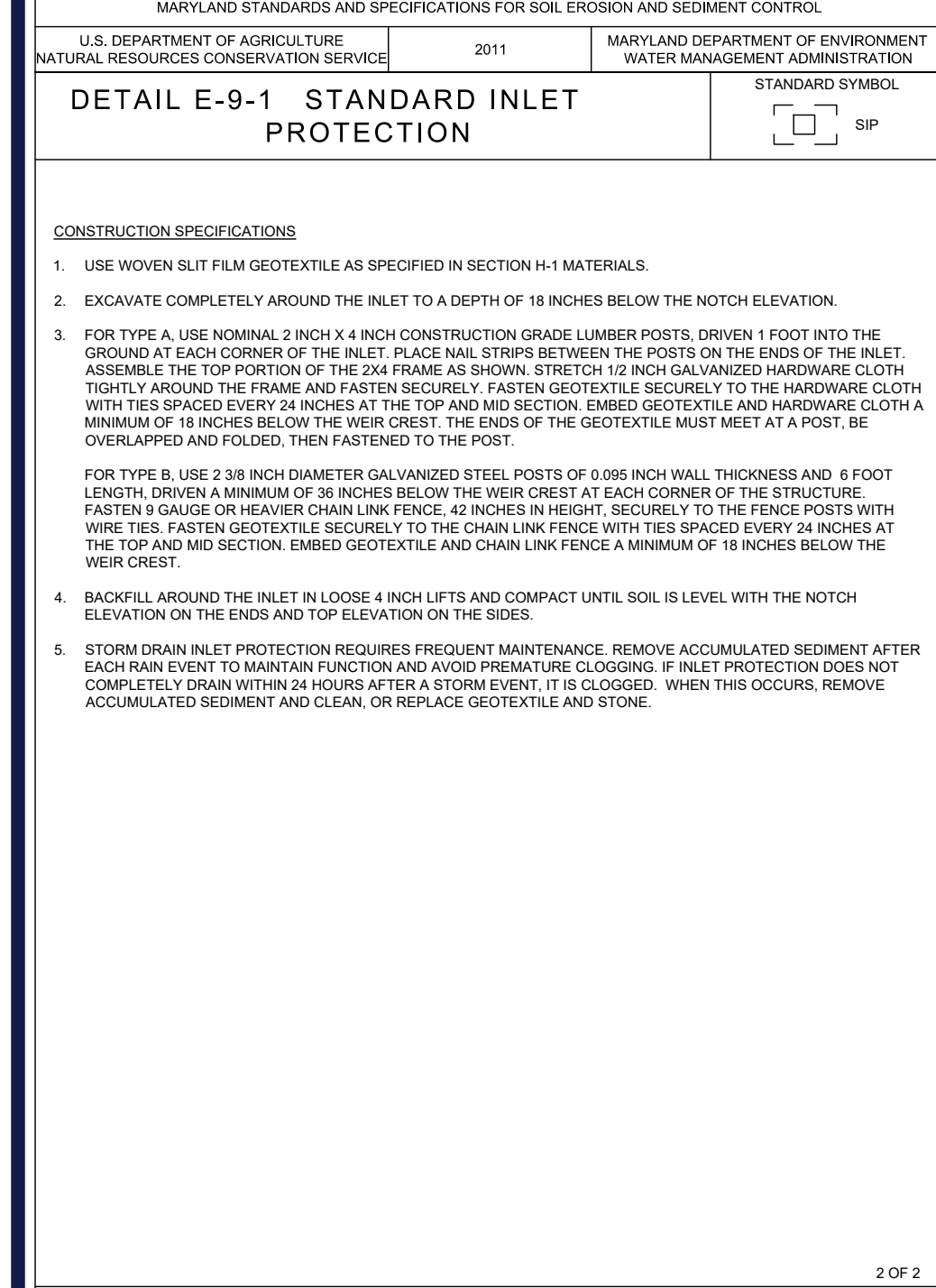
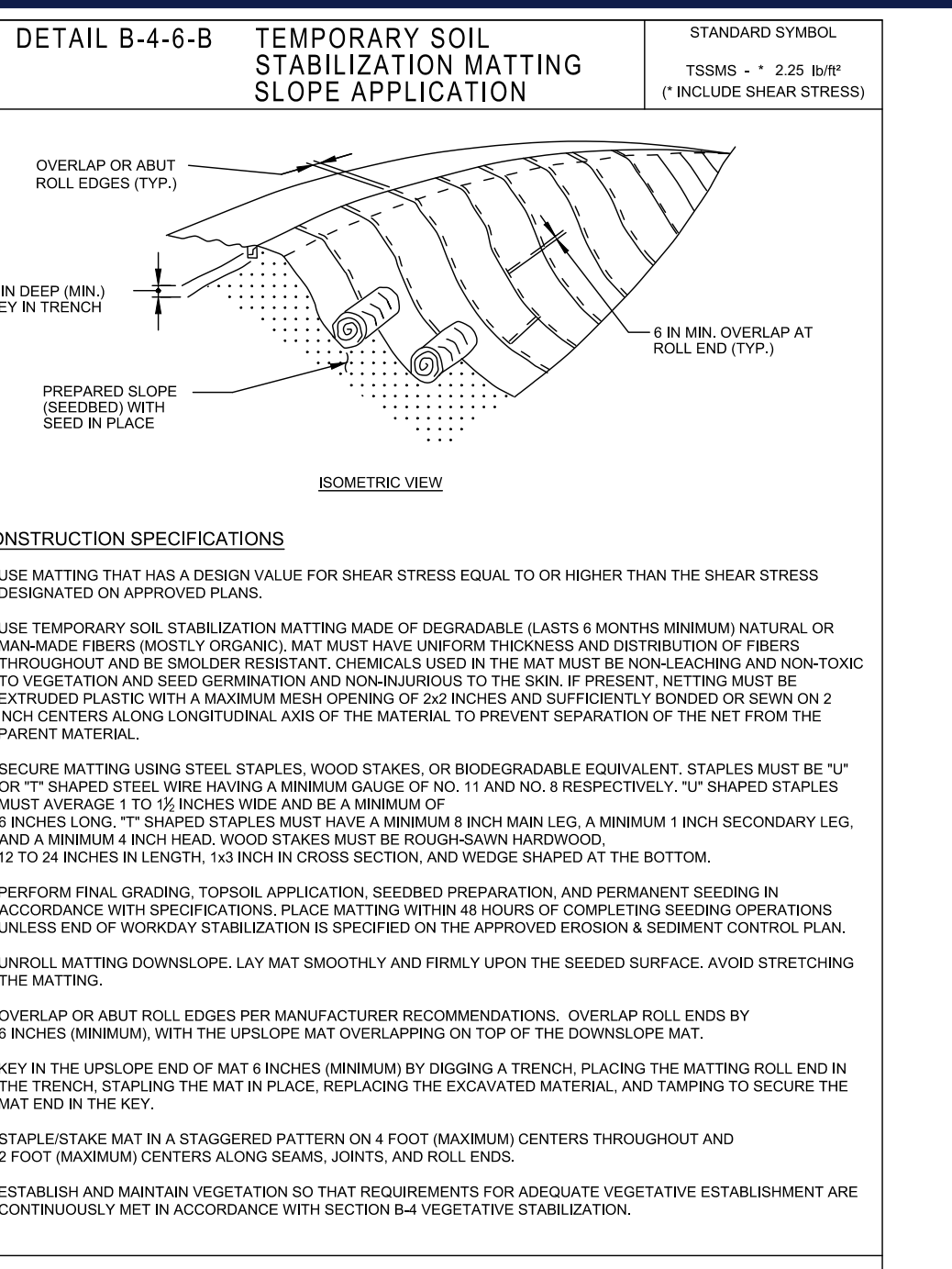
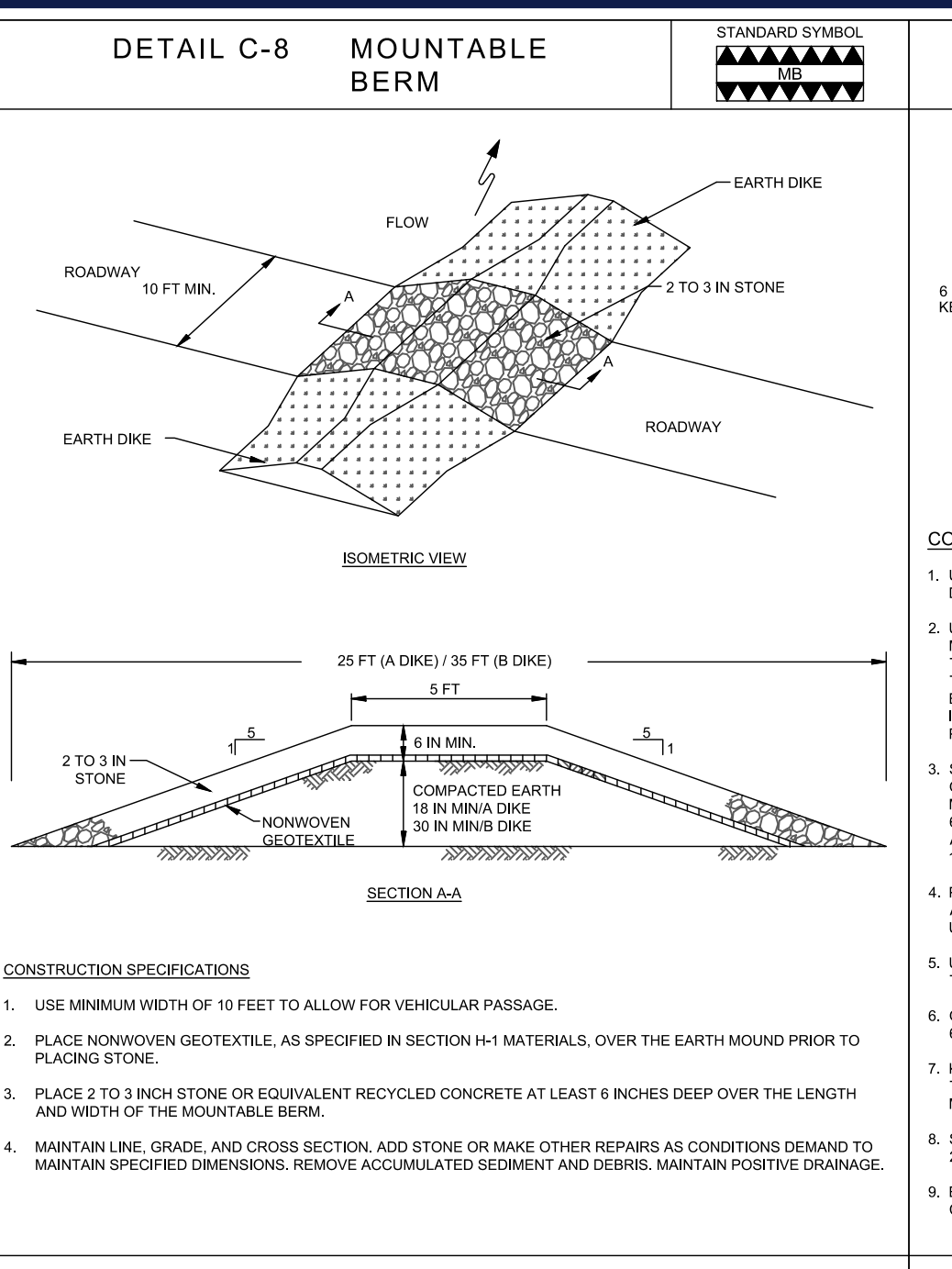
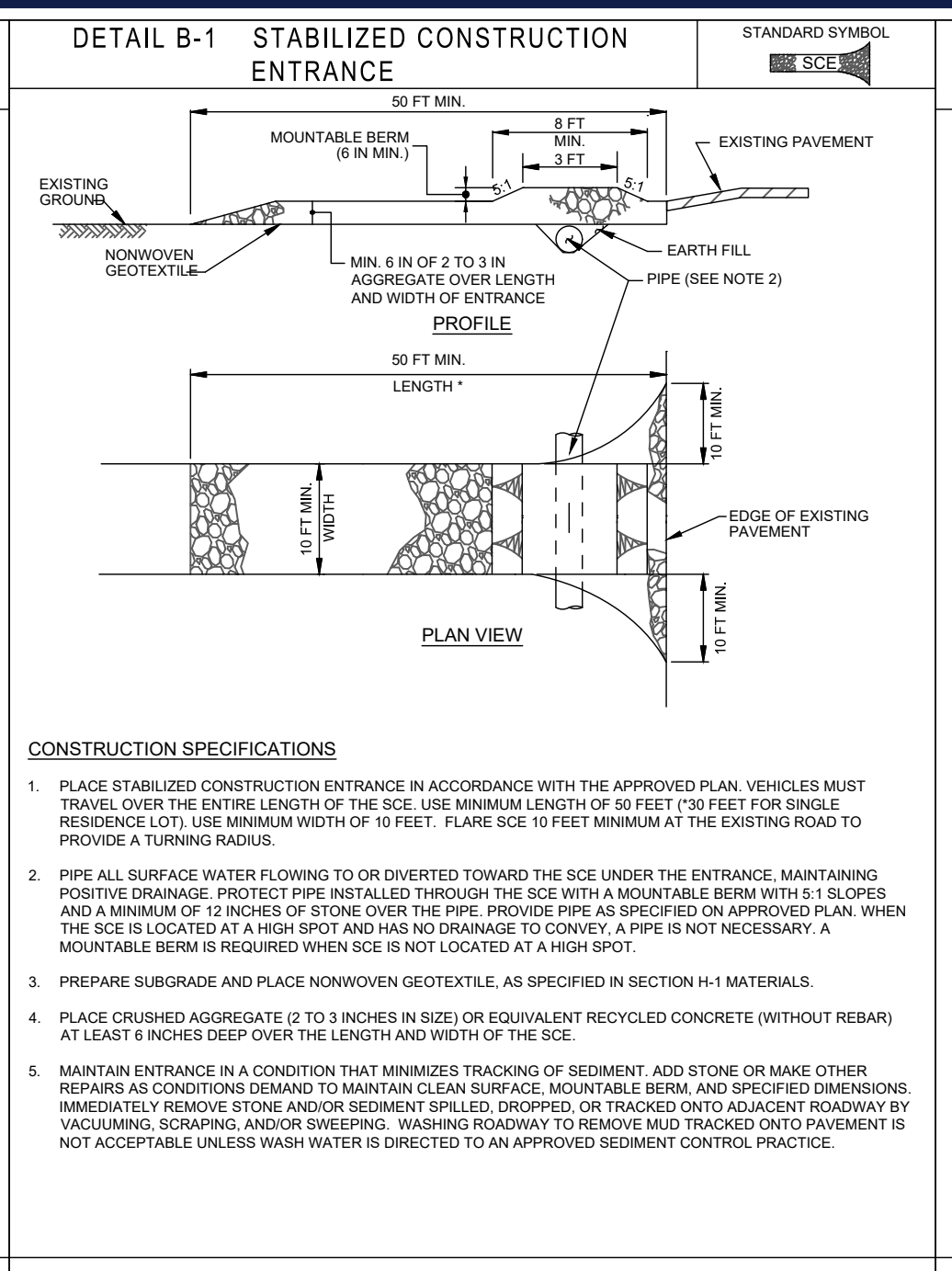
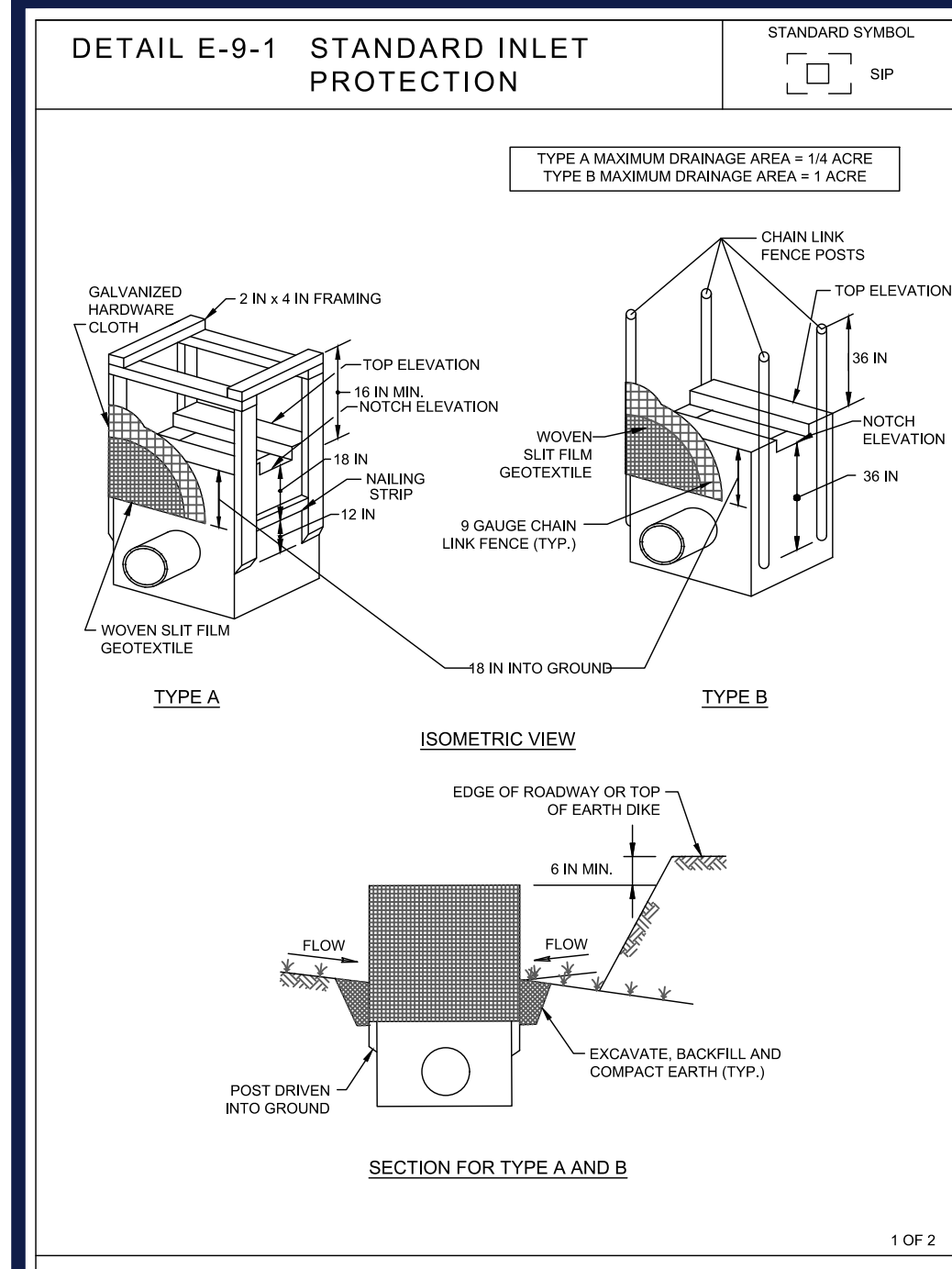
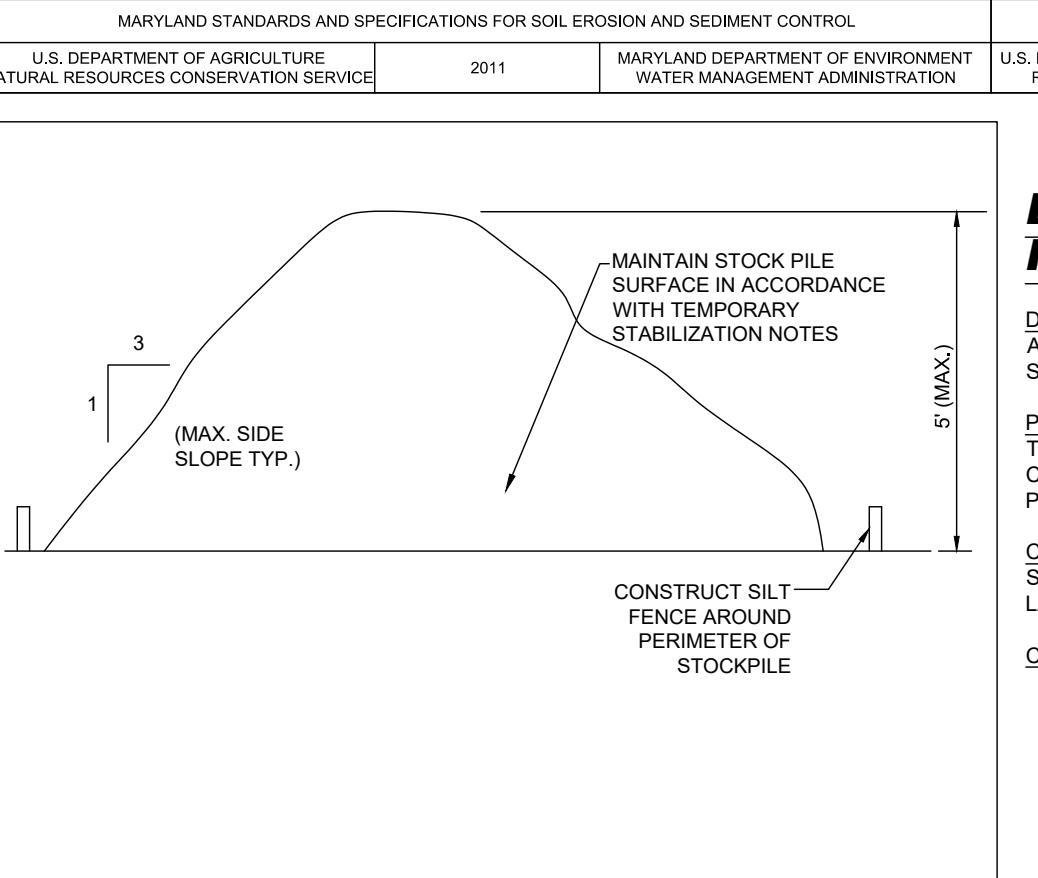
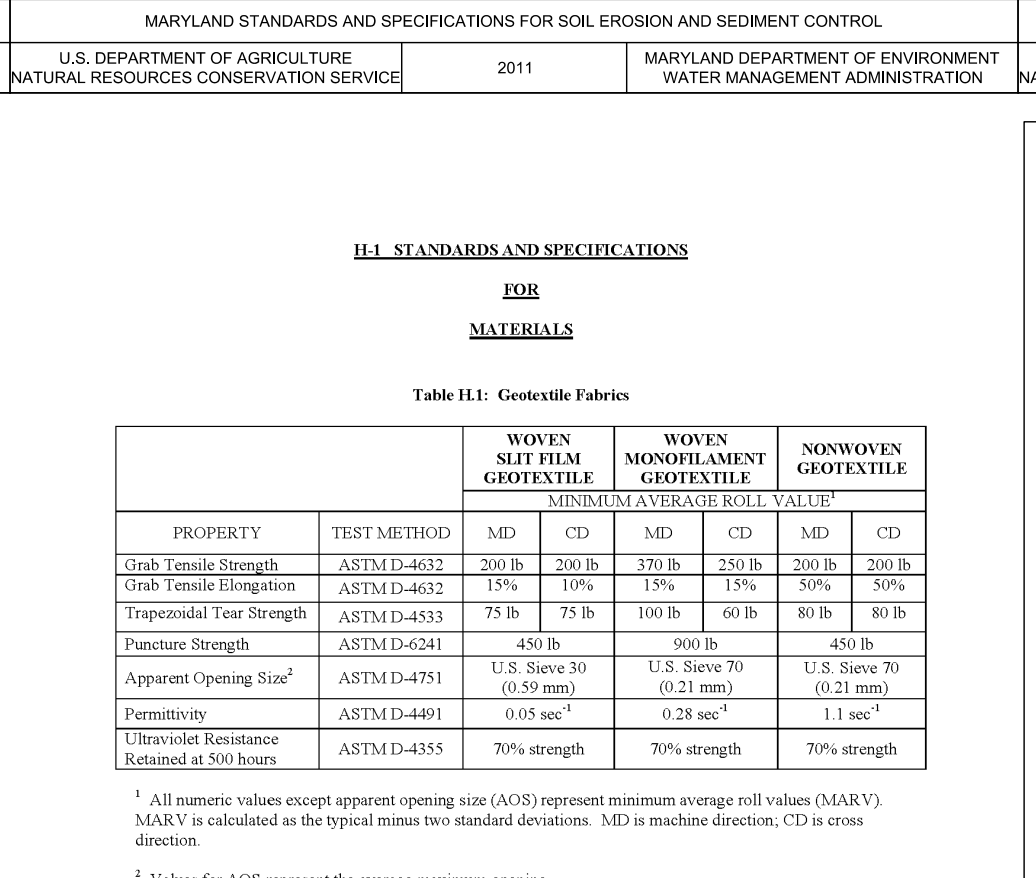


Table I.1: Geotextile Fabrics. Lists properties like tensile strength, tear strength, and permeability for woven silt film, nonwoven geotextile, and woven silt film geotextile.



HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES

- 1. A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS... 2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN... 3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS... 4. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS... 5. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE CID... 6. SITE ANALYSIS: TOTAL AREA OF SITE: 1.78 ACRES AREA DISTURBED: 1.78 ACRES AREA TO BE ROOFED OR PAVED: 1.40 ACRES AREA TO BE VEGETATIVELY STABILIZED: 0.38 ACRES TOTAL CUT: 2,433 CY TOTAL FILL: 218 CY OFFSITE WATERBORROW AREA LOCATION: SITE WITH AN ACTIVE GRADING PERMIT... 7. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE... 8. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE CID. THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY... 9. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKDAY... 10. ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE HSCD PRIOR TO PROCEEDING WITH CONSTRUCTION... 11. DISTURBANCE SHALL NOT OCCUR OUTSIDE THE L.O.D. A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC PER GRADING UNIT) AT A TIME... 12. WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT STRUCTURE... 13. TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDISTRIBUTION ONTO FINAL GRADE... 14. ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON-THE-CONTOUR, AND BE IMBRICATED AT 25' MINIMUM INTERVALS... 15. STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS (INCLUSIVE): USE I AND II MARCH 1 - JUNE 15 USE III AND IIIIP OCTOBER 1 - APRIL 30 USE IV MARCH 1 - MAY 31

OWNER'S/DEVELOPER'S CERTIFICATION: I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN... DESIGNER'S SIGNATURE: Julian B. Wills III, DATE: 8/29/2023, TITLE: Vice President

DESIGN CERTIFICATION: I/HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS... DESIGNER'S SIGNATURE: Ryan M. Stasiowski, P.E., DATE: 08/31/23, TITLE: MD LICENSE NUMBER: 49425

Table with 2 columns: OWNER (POTOMAC ENERGY HOLDINGS, LLC) and DEVELOPER (DASH-IN). Includes contact information for both parties.

EROSION AND SEDIMENT CONTROL NOTES AND DETAILS. Includes SHEET NUMBER: 21, SHEET TITLE, and TAX MAP, GRID, ZONED, and SUBDIVISION NAME information.

HOWARD SCD SIGNATURE BLOCK. Includes signatures and dates for Alexander Bratich, Chad E. Edwards, and Linda E. Edwards.

BOHLER logo and contact information for SITE CIVIL AND CONSULTING ENGINEERING.

REVISIONS table with columns: REV, DATE, COMMENT, DRAWN BY, CHECKED BY.

811 logo and text: Know what's below. Call before you dig. ALWAYS CALL 811. It's fast. It's free. It's the law.

APPROVED FOR CONSTRUCTION. Includes project information: PROJECT No. MD204000, DRAWN BY: DMD/DM, CHECKED BY: RMS, DATE: 02/24/23, CAD ID: CNDS-1.

SITE DEVELOPMENT PLAN FOR DASH IN. Includes STORE #1832, 9075 BALTIMORE NATIONAL PIKE (US RTE. 40), ELLICOTT CITY, MD 21043, TAX MAP 24, GRID 5, PARCEL 112, HOWARD COUNTY, 2ND ELECTION DISTRICT, ZONE: B-2.

BOHLER logo and address: 901 DULANEY VALLEY ROAD, SUITE 801, TOWSON, MARYLAND 21204. Phone: (410) 821-7900, Fax: (410) 821-7987, MD@BohlerEng.com

R.M. STASIOWSKI logo and contact information for PROFESSIONAL ENGINEER.

EROSION AND SEDIMENT CONTROL NOTES AND DETAILS. Includes SHEET NUMBER: 21, SHEET TITLE, and TAX MAP, GRID, ZONED, and SUBDIVISION NAME information.

DETAIL E-9-3 CURB INLET PROTECTION. STANDARD SYMBOL CIP. Includes diagrams for maximum drainage area, curb profile, and construction specifications for materials and installation.

DETAIL D-3-2 GABION INFLOW PROTECTION. STANDARD SYMBOL GP. Includes diagrams for gabion baskets, silt fence, and construction specifications for gabion placement and maintenance.

DETAIL E-1 SILT FENCE. STANDARD SYMBOL SF. Includes diagrams for silt fence elevation and cross-section, and construction specifications for post placement and fabric type.

DETAIL E-1 SILT FENCE. STANDARD SYMBOL SF. Includes diagrams for silt fence elevation and cross-section, and construction specifications for post placement and fabric type.

Table with 2 columns: Agency Name and Date. Rows include U.S. DEPARTMENT OF AGRICULTURE and MARYLAND DEPARTMENT OF ENVIRONMENT.

Table with 2 columns: Agency Name and Date. Rows include U.S. DEPARTMENT OF AGRICULTURE and MARYLAND DEPARTMENT OF ENVIRONMENT.

Table with 2 columns: Agency Name and Date. Rows include U.S. DEPARTMENT OF AGRICULTURE and MARYLAND DEPARTMENT OF ENVIRONMENT.

Table with 2 columns: Agency Name and Date. Rows include U.S. DEPARTMENT OF AGRICULTURE and MARYLAND DEPARTMENT OF ENVIRONMENT.

DETAIL H-6 ONSITE CONCRETE WASHOUT STRUCTURE. STANDARD SYMBOL CWS. Includes diagrams for washout structure plan and section, and construction specifications for concrete and sandbag placement.

DETAIL H-6 ONSITE CONCRETE WASHOUT STRUCTURE. STANDARD SYMBOL CWS. Includes diagrams for washout structure plan and section, and construction specifications for concrete and sandbag placement.

DETAIL H-6 ONSITE CONCRETE WASHOUT STRUCTURE. STANDARD SYMBOL CWS. Includes diagrams for washout structure plan and section, and construction specifications for concrete and sandbag placement.

Table with 2 columns: Agency Name and Date. Rows include U.S. DEPARTMENT OF AGRICULTURE and MARYLAND DEPARTMENT OF ENVIRONMENT.

Table with 2 columns: Agency Name and Date. Rows include U.S. DEPARTMENT OF AGRICULTURE and MARYLAND DEPARTMENT OF ENVIRONMENT.

Table with 2 columns: Agency Name and Date. Rows include U.S. DEPARTMENT OF AGRICULTURE and MARYLAND DEPARTMENT OF ENVIRONMENT.

SMARTFENCE 42 INSTALLATION INSTRUCTIONS. Includes step-by-step instructions for trench excavation, post placement, and fabric installation, along with a signature block for Howard SCD.

SMARTFENCE 42 INSTALLATION INSTRUCTIONS. Includes step-by-step instructions for trench excavation, post placement, and fabric installation, along with a signature block for Howard SCD.

SMARTFENCE 42 INSTALLATION INSTRUCTIONS. Includes step-by-step instructions for trench excavation, post placement, and fabric installation, along with a signature block for Howard SCD.

B-4-6 STANDARDS AND SPECIFICATIONS FOR SOIL STABILIZATION MATTING. Includes definition, purpose, conditions, design criteria, and maintenance requirements for soil stabilization matting.

SEQUENCE OF CONSTRUCTION. Includes a list of 13 steps detailing the construction process from permit acquisition to final grading and stabilization.

OWNER'S/DEVELOPER'S CERTIFICATION. Includes a signature block for Julian B. Willis III, dated 8/29/2023, certifying that the project complies with the approved plan.

DESIGN CERTIFICATION. Includes a signature block for Ryan M. Stasiowski, P.E., dated 08/31/23, certifying that the plan complies with all applicable standards.

EROSION AND SEDIMENT CONTROL NOTES AND DETAILS. Includes owner and developer information, tax map and grid details, and a list of drawing sheets.

BOHLER logo and company information: BOHLER CIVIL AND CONSULTING ENGINEERING, PROGRAM MANAGEMENT, LANDSCAPE ARCHITECTURE, SUSTAINABLE DESIGN, PERMITTING SERVICES, TRANSPORTATION SERVICES.

REVISIONS table with columns: REV, DATE, COMMENT, DRAWN BY, CHECKED BY. Table is currently empty.

811 logo and text: Know what's below. Call before you dig. ALWAYS CALL 811. It's fast. It's free. It's the law.

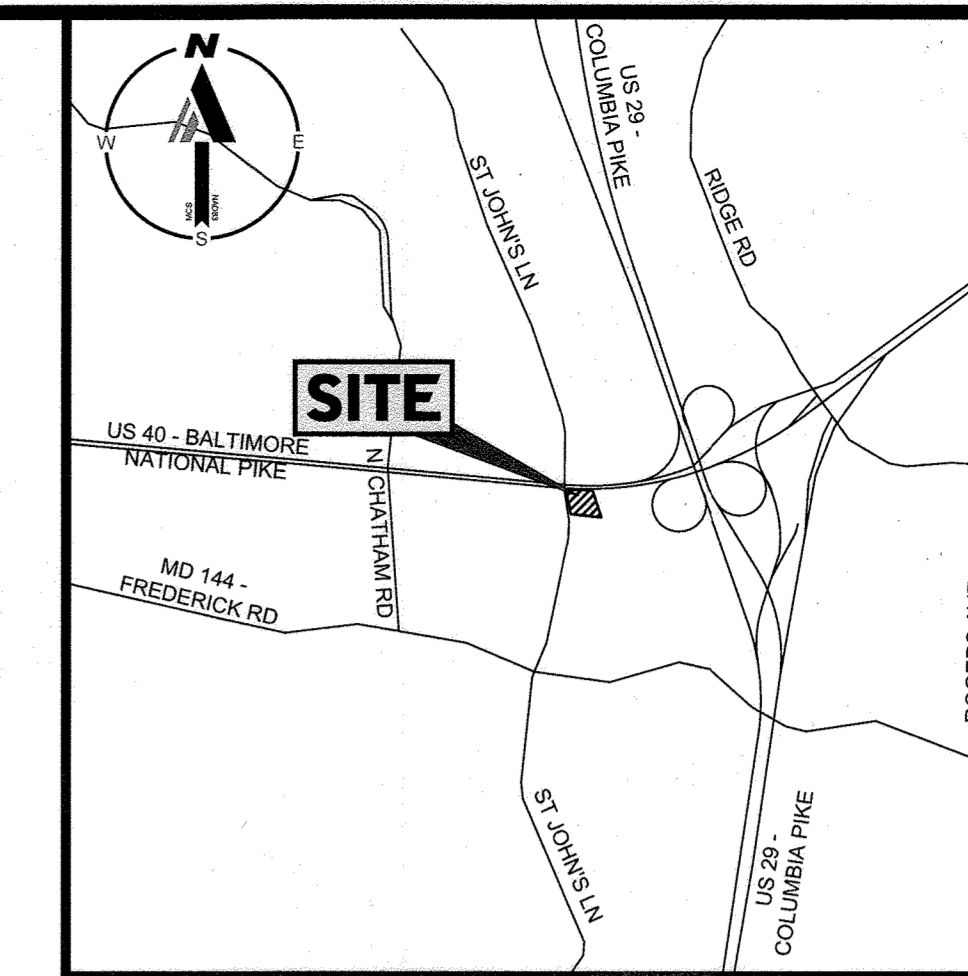
APPROVED FOR CONSTRUCTION. Includes project information: PROJECT: PAVED AREAS, SITE DEVELOPMENT PLAN, FOR, STORE #1832, 9075 BALTIMORE NATIONAL PIKE (US RTE. 40).

BOHLER logo and address: 901 DULANEY VALLEY ROAD, SUITE 801 TOWSON, MARYLAND 21204. Phone: (410) 821-7900. Fax: (410) 821-7987. MD@BohlerEng.com

R.M. STASIOSKI PROFESSIONAL CERTIFICATION. Includes signature and information for Ryan M. Stasiowski, P.E., dated 8/29/23, certifying the design.

H:\2023\20230801\DRAWINGS\PLAN SETS\SITE DEVELOPMENT PLAN\MD204000-CNDS-10-Layout12 - EDC.DWG

# BALTIMORE NATIONAL PIKE - U.S. RTE. 40



VICINITY MAP  
SCALE: 1"=2,000'

FOR REVISION 1 ONLY

E.R. McWILLIAMS  
2/17/24

### REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	2/17/24	ADDITION OF TREE PLANT SCHEDULE	MD	MD

**811**  
Know what's below.  
Call before you dig.  
ALWAYS CALL 811  
It's fast. It's free. It's the law.

### APPROVED FOR CONSTRUCTION

PROJECT No.: MD204000  
DRAWN BY: DMID/SM  
CHECKED BY: RMM  
DATE: 02/24/23  
CAD I.D.: 1

**DASH IN**  
STORE #1832  
9075 BALTIMORE NATIONAL PIKE  
(US RTE. 40)  
ELLCOTT CITY, MD 21043  
TAX MAP 24, GRID 5, PARCEL 112  
HOWARD COUNTY  
2ND ELECTION DISTRICT  
ZONE: B-2

**BOHLER**  
901 DULANEY VALLEY ROAD, SUITE 801  
TOWSON, MARYLAND 21284  
Phone: (410) 821-7900  
Fax: (410) 821-7987  
MD@BohlerEng.com

**E.R. McWILLIAMS**  
REGISTERED PROFESSIONAL ARCHITECT  
SECTION 1-10, ARTICLE 28, CHAPTER 28-101, SUBCHAPTER 28-101.01, STATE OF MARYLAND  
LICENSE NO. 3507, EXPIRATION DATE: 06/24

**LANDSCAPE PLAN**  
SHEET NUMBER: 23  
SHA TRACKING NO.: 22APH00161X  
FILE NO. SDP-23-007

R=3443.34' (M&R)  
Δ=004°02'15" (M&R)  
L=242.65' (M&R)  
CHB=S87°33'48"E (M)  
S87°24'40"E (R)  
CHD=242.60' (M&R)

R=644.07' (M&R)  
Δ=012°12'15" (M&R)  
L=137.19' (M&R)  
CHB=N07°26'49"W (M)  
N07°17'40"W (R)  
CHD=136.93' (M&R)

R=853.01' (M&R)  
Δ=006°40'59" (M&R)  
L=99.50' (M&R)  
CHB=N10°12'24"W (M)  
N10°03'16"W (R)  
CHD=99.44' (M&R)

### STREET TREE REQUIREMENTS

STREET	LINEAR FEET	SPACING	TREES REQUIRED	TREES PROVIDED
BALTIMORE NATIONAL PIKE	260 LF - 78 LF (ENTRANCE) = 182 LF	40 LF.	5 TREES	5 PROPOSED TREES
ST. JOHN'S LANE	253 LF - 76 LF (ENTRANCES) = 177 LF	30 LF.	6 TREES	6 PROPOSED TREES

- ### STREET TREE NOTES
- FINANCIAL SURETY FOR THE REQUIRED 5 LARGE STREET TREES (\$300 EACH), AND 5 SMALL STREET TREES (\$150 EACH) WILL BE POSTED FOR THE AMOUNT OF \$2,400 WITH THE DEVELOPMENT ENGINEERING DIVISION (DED) COST ESTIMATE UNDER THE SITE DEVELOPMENT PLAN SUBMISSION.
  - SHADE TREES MUST BE PLANTED A MINIMUM OF 40 FEET AND ORNAMENTAL TREES MUST BE PLANTED A MINIMUM OF 25 FEET FROM POWER LINES PER B.G.E. PLANTING GUIDE.
  - FINAL PLACEMENT OF STREET TREES WILL OCCUR IN THE FIELD AND BE PLACED A MINIMUM OF 30 FEET FROM ALL SIGNS AND INTERSECTIONS WHEN PLANTED BETWEEN SIDEWALK AND CURB, BE LOCATED WITH CONSIDERATION OF UNDERGROUND UTILITIES AND STRUCTURES AND MAINTAIN A MINIMUM OF 5 FEET DISTANCE FROM CENTER FROM A DRAIN INLET STRUCTURE, 5 FEET FROM AN OPEN ACCESS STRIP AND 10 FEET FROM A DRIVEWAY.
  - A MINIMUM OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY STREET TREE.
  - ON THE APPROACH SIDE OF A STOP SIGN, NO STREET TREE CAN BE PLANTED WITHIN 30' OF THE STOP SIGN.
  - WHERE TREES ARE PLANTED CLOSER THAN 3 FEET TO THE SIDEWALK, A BIOLOGIC ROOT INHIBITOR BARRIER IS REQUIRED.

- ### HOWARD COUNTY LANDSCAPE NOTES
- LANDSCAPING FOR THIS DEVELOPMENT WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF \$6,300.00 FOR THE INSTALLATION OF 16 SHADE TREES (\$300.00 EACH), ORNAMENTAL TREES (\$150.00 EACH), AND 10 EVERGREEN TREES (\$150.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT.
  - NO CLEARING OF EXISTING VEGETATION IS PERMITTED WITHIN A LANDSCAPE EDGE FOR WHICH CREDIT IS BEING TAKEN; HOWEVER, LANDSCAPE MAINTENANCE IS AUTHORIZED.
  - AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THE SITE SHALL BE OF PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVED FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATIONS.
  - SHOULD ANY TREE DESIGNATED FOR PRESERVATION, FOR WHICH CREDIT IS GIVEN, DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE LANDSCAPE MANUAL.
  - THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, PLANT MATERIALS, BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

### SCHEDULE 'A' - PERIMETER LANDSCAPE EDGE

PERIMETER	CATEGORY (P = PROPERTIES, R = ROADWAYS)	LANDSCAPE TYPE	LINEAR FEET OF ROADWAY FRONTAGE PERIMETER	CREDIT FOR EX. VEGETATION (YES/NO; LF) (DESCRIBE BELOW IF NEEDED)	CREDIT FOR FENCE/WALL/BERM (YES/NO; LF) (DESCRIBE BELOW IF NEEDED)	NUMBER OF PLANTS REQUIRED	NUMBER OF PLANTS PROVIDED		
						SHADE TREES	EVERGREEN TREES	ORNAMENTAL TREES	SHRUBS
#1 (BALTIMORE NATIONAL PIKE)	R (FRONT TO ROAD)	B	260 LF - 78 LF (ENTRANCE) = 182 LF	NO	NO (0)	4	5	0	0
#2 (EAST)	P	A	256 LF	NO	NO (0)	5	0	0	20
#3 (SOUTH)	P	A	322 LF	NO	YES (139 LF)	3	0	3	0
#4 (ST. JOHN'S LANE)	R (SIDE TO ROAD)	B	253 LF - 76 LF (ENTRANCES) = 177 LF	NO	NO (0)	4	5	0	0
TOTAL						16	10	3	20

### SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	37 (INCLUDING 3 ADA SPACES)
NUMBER OF TREES REQUIRED: (1 / 10 SPACES)	NUMBER OF TREES REQUIRED: 4
NUMBER OF PLANTS PROVIDED: SHADE TREES	NUMBER OF PLANTS PROVIDED: 5
NUMBER OF LANDSCAPE ISLANDS REQUIRED: (1 / 10 SPACES)	4 REQUIRED / 7 PROVIDED

**DEVELOPER'S/BUILDER'S CERTIFICATE**  
WE CERTIFY THAT THE PLANTING AND MAINTENANCE OF THIS PLAN WILL BE DONE ACCORDING TO THE PLAN SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. THE LANDSCAPE SURETY IS BEING INSTALLED AND THE HOWARD COUNTY LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXERCISED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

OWNER: POTOMAC ENERGY HOLDINGS, LLC  
102 CENTENNIAL STREET, STE. 100  
LA PLATA, MD 20646  
CONTACT: JASON BELT  
PHONE: 240-320-6448

DEVELOPER: DASH-IN  
14 PLATA, MD 20845  
CONTACT: JASON BELT  
PHONE: 240-320-6448

TAX MAP: 24 GRID: 5 PARCEL: 112  
ZONED: B-2

2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: SHELL OIL COMPANY PARCEL 'A'  
SECTION: 1  
DEED # 11525 / 00383  
PLAT # 110225, 29538

PREVIOUS DPZ FILE NUMBERS: SDP-73-058, SDP-73-062, SDP-84-051, SDP-81-102, F-41-158, F-24-018, WBP-91-185, BA-90-13E, EOP-22-032, BA-22-001C&V, WBP-27-073.

LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK: THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS: A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.

3. GENERAL WORK PROCEDURES: A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY.

4. TREE PROTECTION: A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER.

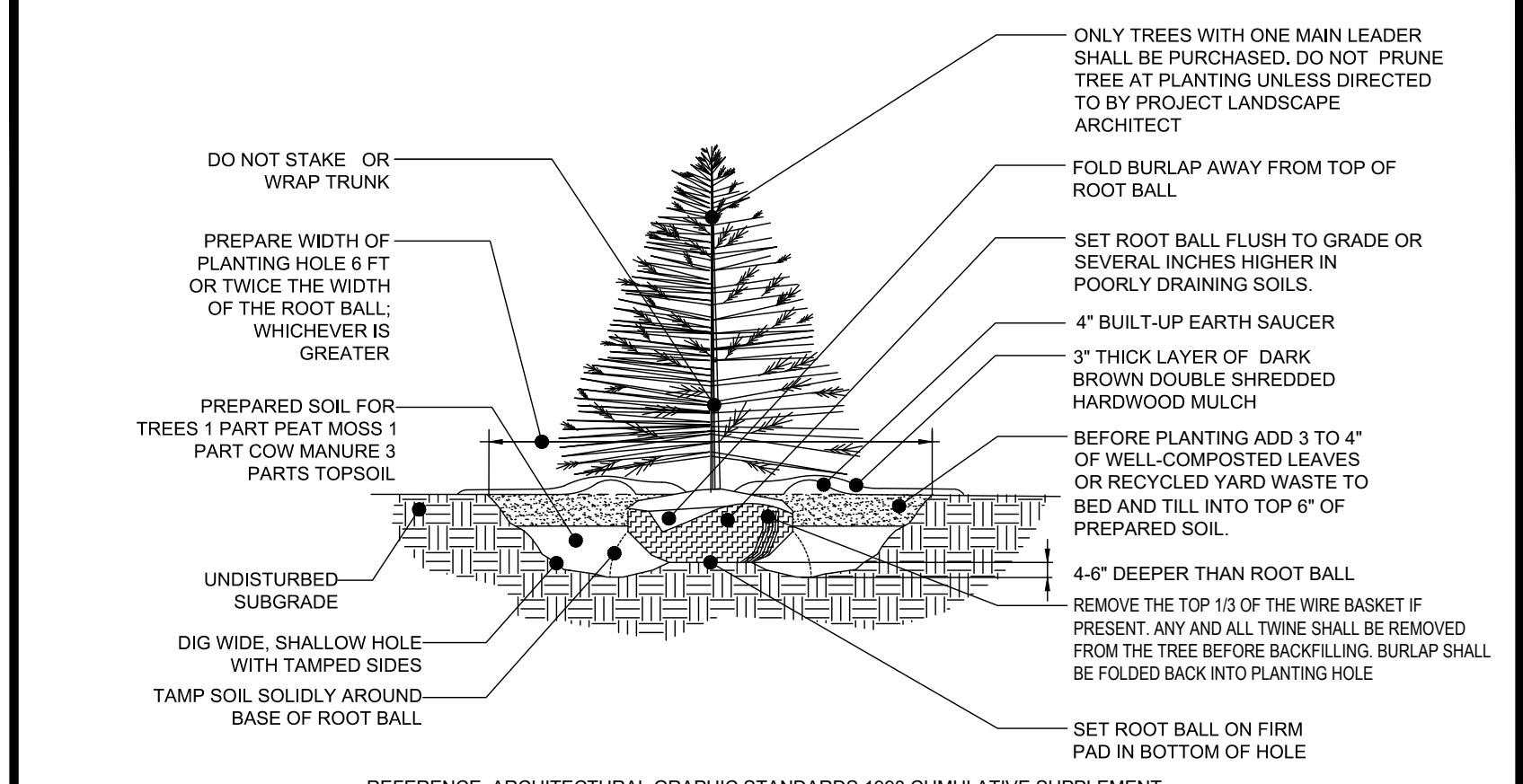
5. SOIL MODIFICATIONS: A. CONTRACTOR SHALL OBTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.

7. FINISHED GRADING: A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.

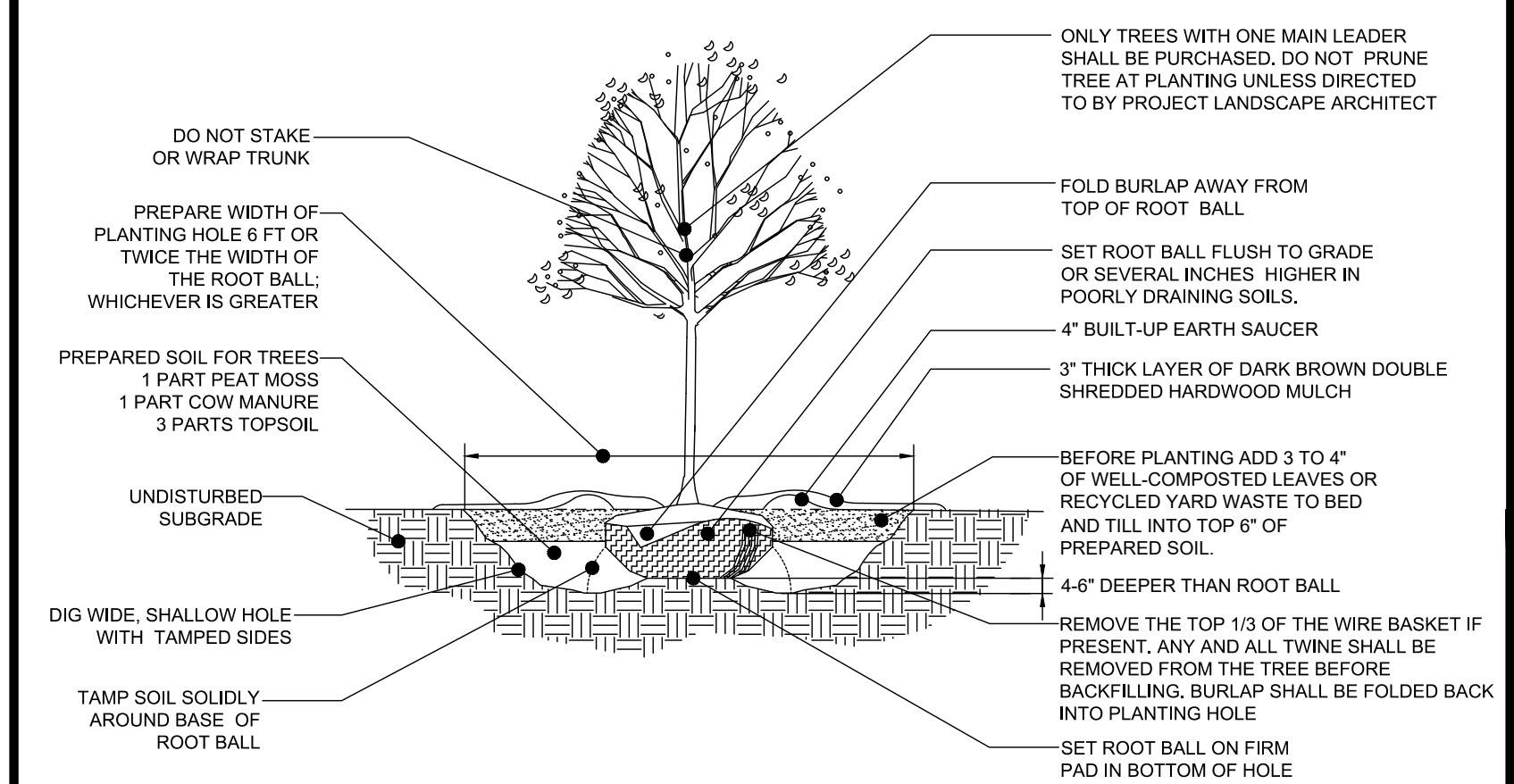
8. TOPSOILING: A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS.

12. GUARANTEE: A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY.

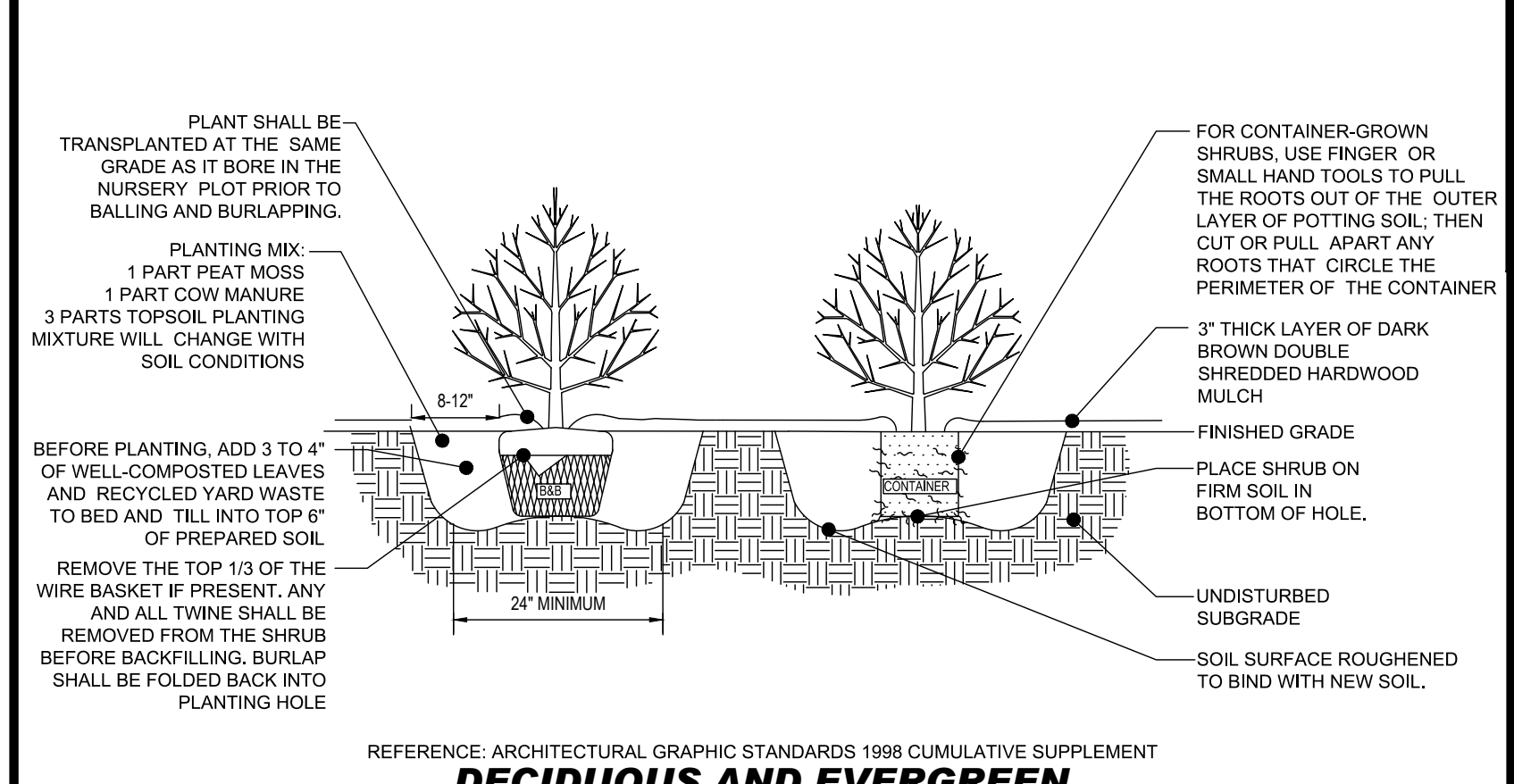
13. CLEANUP: A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE.



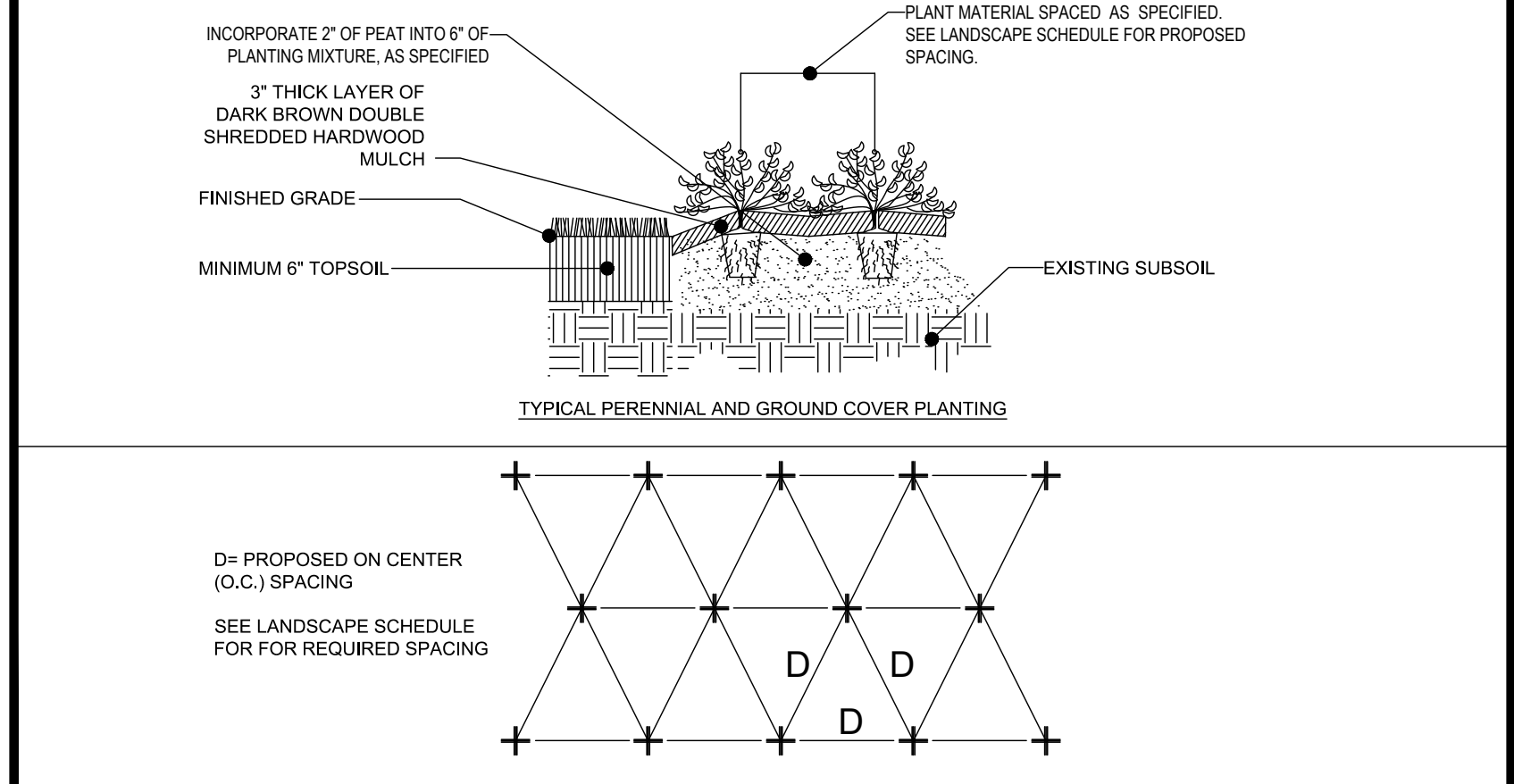
EVERGREEN TREE PLANTING DETAIL



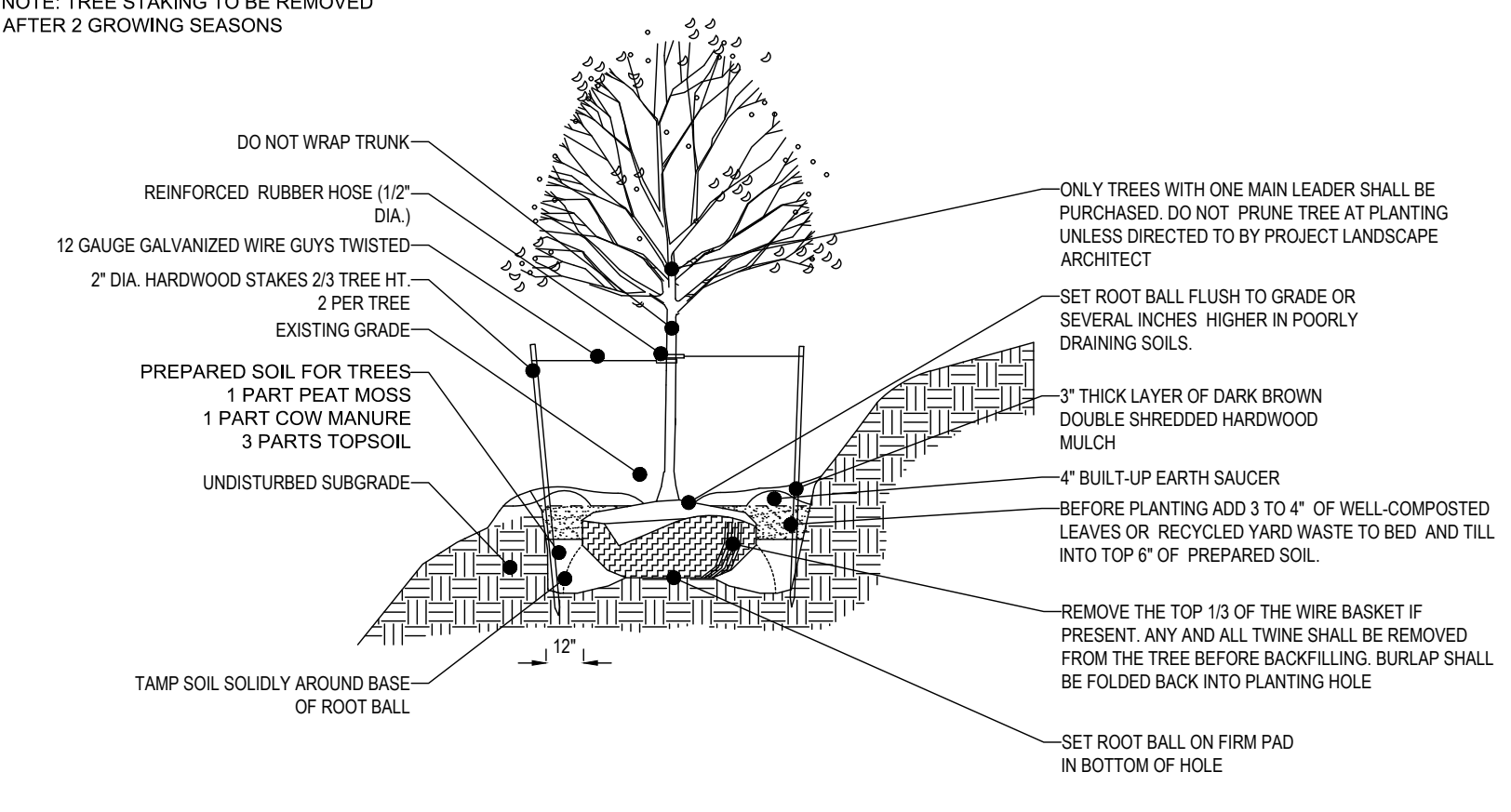
DECIDUOUS TREE PLANTING DETAIL



DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL



PERENNIAL/GROUND COVER PLANTING DETAIL



TREE PLANTING ON SLOPE DETAIL

SEEDING SPECIFICATIONS: 1. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2\"/>

OWNER MAINTENANCE RESPONSIBILITIES: UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE CARE, INCLUDING WATERING AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS.

11. WATERING: A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING.

11/23/2023 10:40:00DRAWINGS/PLANS/SUBSITELANDSCAPE DEVELOPMENT PLANDM0204000-LS3P1---LAYOUT: 24 - LANDSCAPE NOTES & DETAILS

APPROVED: DEPARTMENT OF PLANNING AND ZONING. Chief, Development Engineering Division 9/22/2023. Chief, Division of Land Development 9/25/2023. Director, Department of Planning & Zoning 10/6/2023.

DEVELOPER'S/BUILDER'S CERTIFICATE. WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WAS DONE ACCORDING TO THE PLAN SECTION 16.04 OF THE HOWARD COUNTY ZONING AND DEVELOPMENT REGULATIONS AND THE LANDSCAPE MANUAL. I, JASON BELT, HEREBY CERTIFY THAT THESE DOCUMENTS, HEREIN, WERE REVIEWED AND APPROVED BY ME AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.



REVISIONS table with columns: REV, DATE, COMMENT, DRAWN BY, CHECKED BY. Contains 4 revision entries.

811 logo: Know what's below. Call before you dig. ALWAYS CALL 811. It's fast. It's free. It's the law.

APPROVED FOR CONSTRUCTION. THIS DRAWING IS INTENDED FOR NEIGHBORHOOD AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT: SITE DEVELOPMENT PLAN FOR

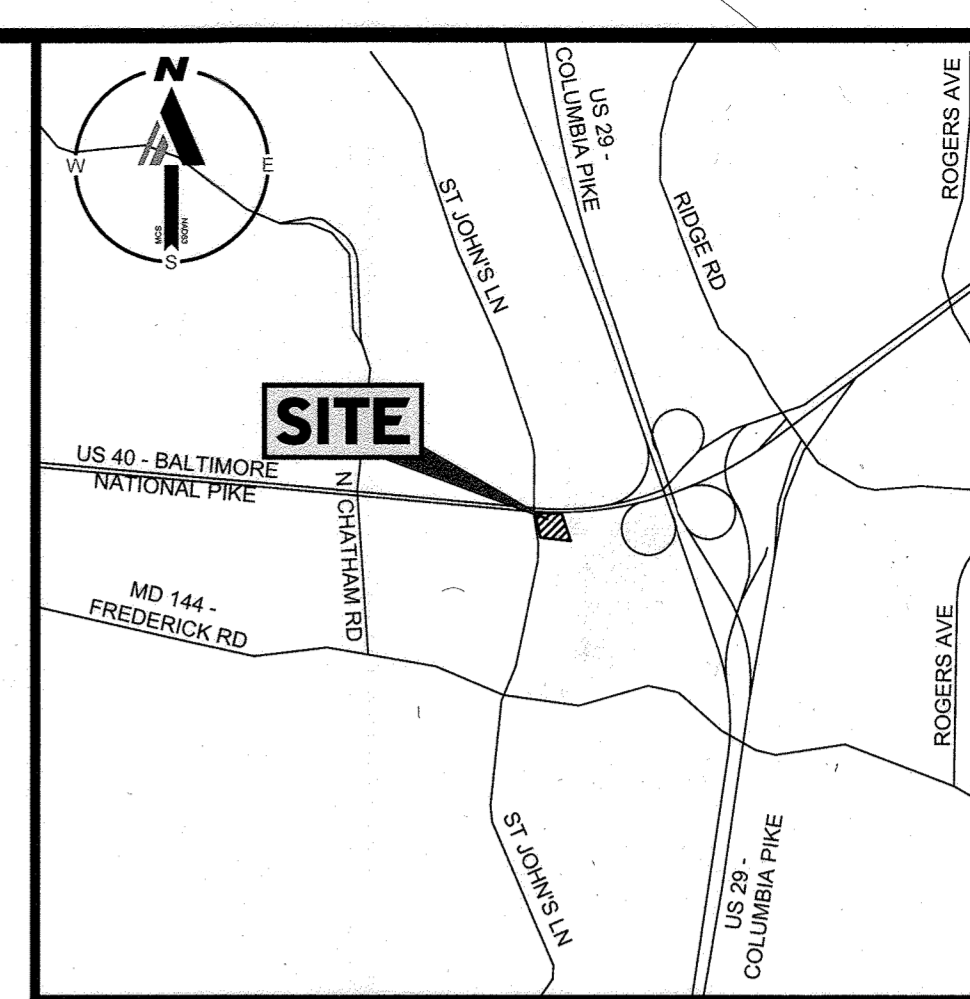
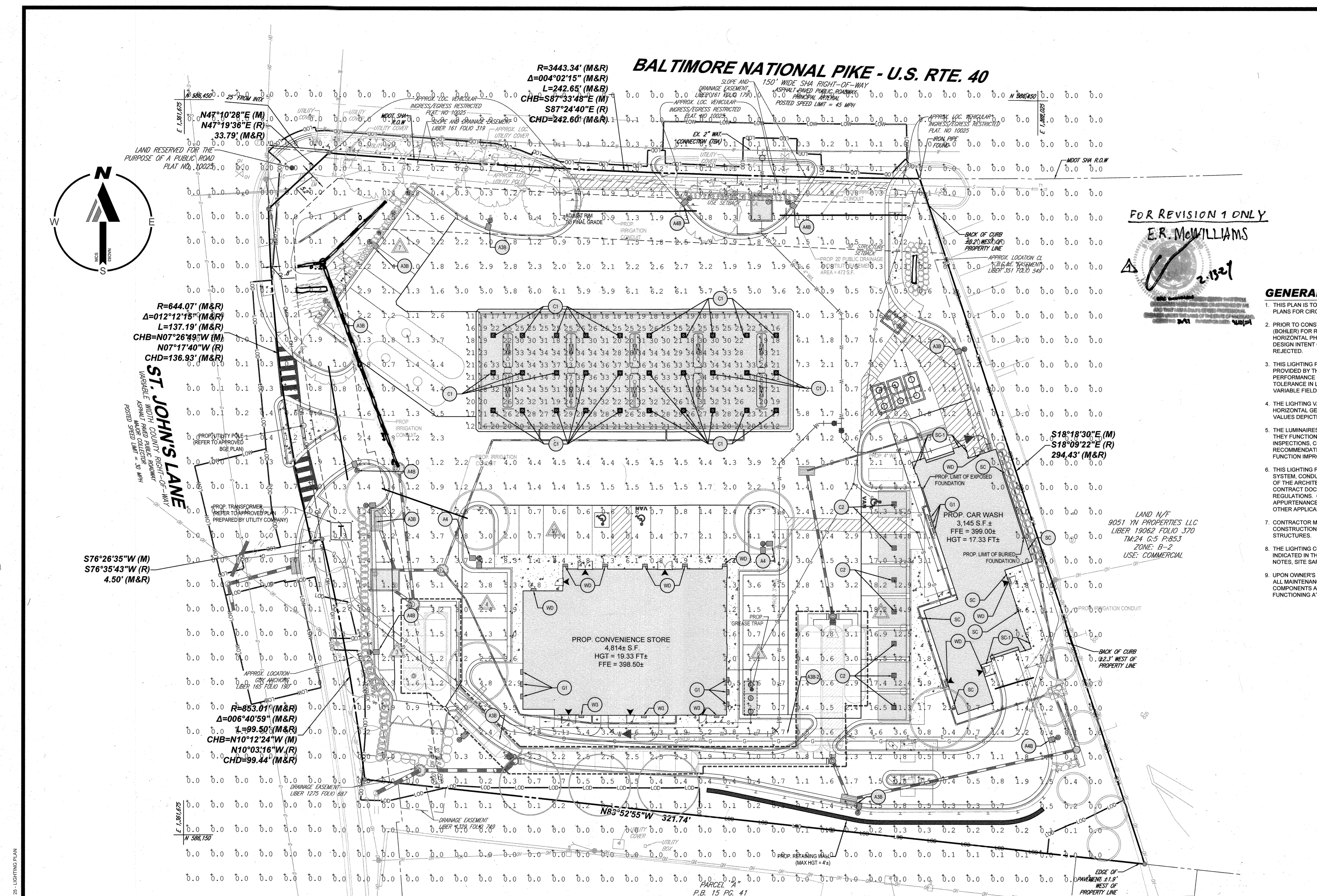
DASH IN logo and address: STORE #1832, 9075 BALTIMORE NATIONAL PIKE (US RTE. 40), ELLICOTT CITY, MD 21043, TAX MAP 24, GRID 5, PARCEL 112, HOWARD COUNTY, 2ND ELECTION DISTRICT, ZONE: B-2.

BOHLER logo and address: 901 DULANEY VALLEY ROAD, SUITE 801, TOWSON, MARYLAND 21204, Phone: (410) 821-7900, Fax: (410) 821-7987, MD@BohlerEng.com

E.R. McWILLIAMS logo and signature: REGISTERED LANDSCAPE ARCHITECT, PROFESSIONAL CERTIFICATION, LICENSE NO. 3987, EXPIRATION DATE: 9/22/2023.

LANDSCAPE NOTES AND DETAILS SHEET NUMBER: 24. SHA TRACKING NO.: 22APH0016XX. FILE NO. SDP-23-007.



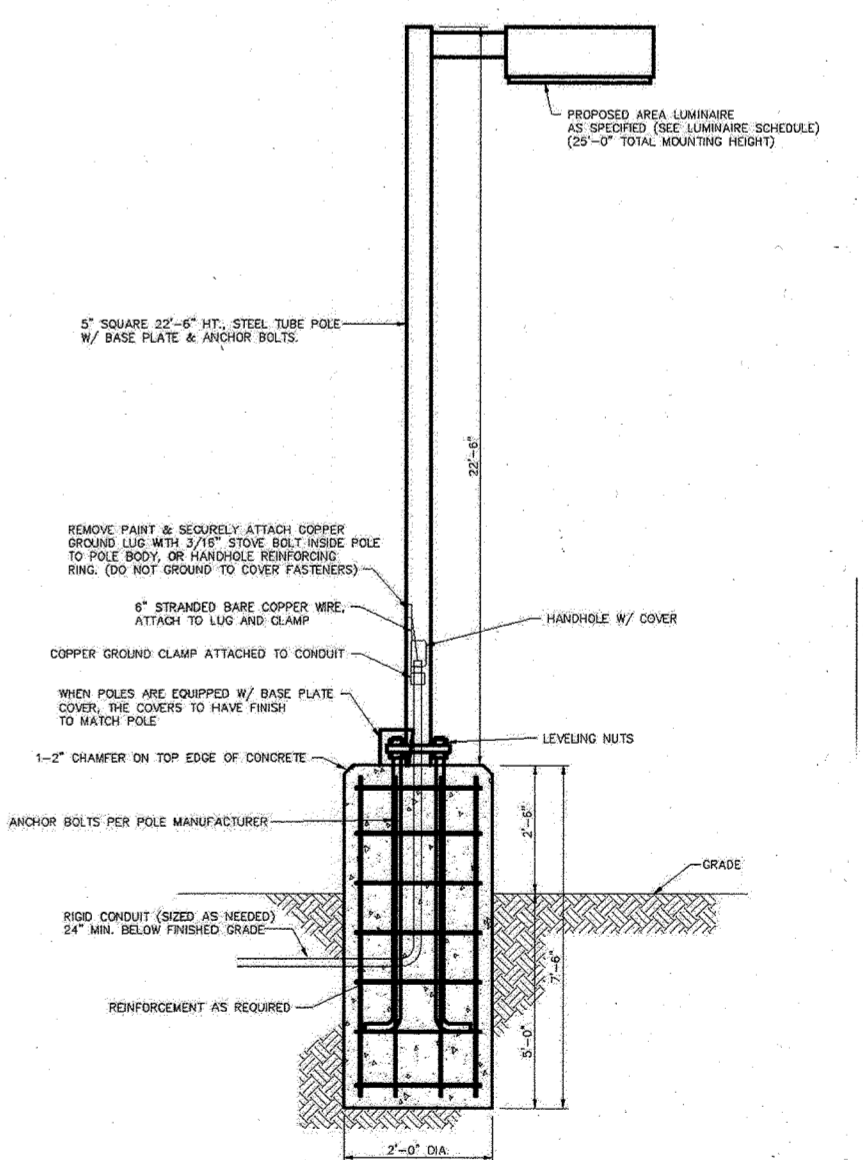


VICINITY MAP  
SCALE: 1"=2,000'

FOR REVISION 1 ONLY  
E.R. McWILLIAMS  
2-13-21

GENERAL LIGHTING NOTES

- THIS PLAN IS TO BE UTILIZED FOR LIGHTING PURPOSES ONLY. REFER TO ELECTRICAL ENGINEERING PLANS FOR CIRCUITRY DESIGN AND SPECIFICATIONS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO THE PROJECT ENGINEER (BOHLER) FOR REVIEW AND APPROVAL. SUBSTITUTION REQUESTS MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE FIXTURE(S) IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN. SUBSTITUTION REQUESTS WITHOUT A PHOTOMETRIC STUDY WILL BE REJECTED.
- THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOT-CANDELES.
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT NOT BE LIMITED TO, FREQUENT VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD CAUSE THE LUMINAIRES TO FUNCTION IMPROPERLY.
- THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES. ONLY POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
- CONTRACTOR MUST BRING TO THE DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.
- THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
- UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.



**LUMINAIRE SCHEDULE**

SYMBOL	QUANTITY	LABEL/KEY	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/ LUMINAIRE	TOTAL WATTS	CATALOG LOGIC	MOUNTING HEIGHT	MANUFACTURER
ASB	7	ASB	SINGLE	11076	1.030	B0-U0-G1	35	245	STR-LWY-3MB-HT-02-E-UL-XX-525-57K	14'	CREE LIGHTING
A4	2	A4	2 @ 90 DEGREES	8193	1.030	B1-U0-G1	48	192	STR-LWY-4M-HT-02-E-UL-XX-700-57K	14'	CREE, INC.
A4B	5	A4B	SINGLE	8800	1.030	B0-U0-G1	35	175	STR-LWY-4MB-HT-02-E-UL-XX-700-57K	14'	CREE, INC.
C1	30	C1	CEILING MOUNTED	14015	1.020	B3-U0-G1	60	1800	CPY250-B-DM-F-A-UL-XX-57K	16'	CREE LIGHTING
C2	7	C2	CEILING MOUNTED	4890	1.020	B2-U0-G1	31	217	CPY250-B-DM-F-C-UL-XX-57K	10'	CREE LIGHTING
G1	9	G1	WALL MOUNTED	1487	1.0	B1-U2-G1	44.33	398.97	RA12-LED1840-XX-3-SLXX-XX	10'	TROY-CSL LIGHTING
W3	3	W3	WALL MOUNTED	2490	1.030	B1-U0-G1	19	57	XSPW-B-3ME-2L-57K-UL-XX	10'	CREE INC.
WD	10	WD	WALL MOUNTED	983	1.0	N/A	19.4	213.4	FCC400-10-WMV-UNV-4K-CR93-10L-UNO-XX-D50-LD	10'	FC/SSL LIGHTING
SC	6	SC	WALL MOUNTED	20L	0.9	N/A	500	940	FCC810W-UNV-940-20L-BKE-015U1-5-LD-CV	8'	FC OUTDOOR LIGHTING
SC-1	7	SC-1	WALL MOUNTED	20L	0.9	N/A	500	940	FCC810W-UNV-940-20L-BKE-015U1-5-LD-CV	13.5'	FC OUTDOOR LIGHTING

**CALCULATIONS SUMMARY CHART**

LABEL	AVERAGE	MAXIMUM	MINIMUM	AVG/MIN	MAX/MIN
CANOPY	28.78	37.0	2.43	3.36	
PAVED	2.51	18.7	0.3	8.37	62.33
VACUUM CANOPY	0.42	13.6	0.0	N/A	N/A

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

NOTE: AREA LIGHTS ON NEW 12 FT. POLES MOUNTED ON 2 FT. CONCRETE BASES

CHIEF DEVELOPER: *Eric R. McWilliams* DATE: 9/22/2023  
 CHIEF DIVISION OF PLANNING AND ZONING: *Eric R. McWilliams* DATE: 9/25/2023  
 CHIEF DIVISION OF LAND DEVELOPMENT: *Eric R. McWilliams* DATE: 10/6/2023  
 DIRECTOR, DEPARTMENT OF PLANNING & ZONING: *Eric R. McWilliams* DATE: 10/6/2023

NOTE: ALL INGRESS/EGRESS BUILDING MOUNTED LIGHTING SHOULD BE COORDINATED WITH THE MEP TO ENSURE AN EMERGENCY BACKUP IS ASSOCIATED WITH THESE FIXTURES TO SATISFY SAFETY STANDARDS.

**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 LAND SURVEYING  
 PROJECT MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	12/13	ADDITION OF PROP. TYLER PHASE	TRD	SCB

**811**  
 Know what's below.  
 Call before you dig.  
 ALWAYS CALL 811  
 It's fast. It's free. It's the law.

**APPROVED FOR CONSTRUCTION**

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS NOTICED OTHERWISE.

PROJECT No.: MD204000  
 DRAWN BY: DMD/BN  
 CHECKED BY: RMS  
 DATE: 02/24/23  
 CAD ID: 1

**SITE DEVELOPMENT PLAN**

FOR

**DASH IN**

STORE #1832  
 9075 BALTIMORE NATIONAL PIKE  
 (US RTE. 40)  
 ELLICOTT CITY, MD 21043  
 TAX MAP 24, GRID 5, PARCEL 112  
 HOWARD COUNTY  
 2ND ELECTION DISTRICT  
 ZONE: B-2

**BOHLER**

901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 MD@BohlerEng.com

**E.R. McWILLIAMS**  
 REGISTERED LAND SURVEYOR  
 LICENSE NO. 3897, EXPIRATION DATE: 09/24

**LIGHTING PLAN**

SHEET TITLE:

OWNER: POTOMAC ENERGY HOLDINGS, LLC  
 DEVELOPER: DASH-IN  
 102 CENTENNIAL STREET, STE. 100  
 LA PLATA, MD 20646  
 CONTACT: JASON BELT  
 PHONE: 240-320-6448

TAX MAP: 24 GRID: 5 PARCEL: 112  
 ZONED: B-2

2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: SHELL OIL COMPANY PARCEL 'A'  
 SECTION: 01  
 DEED # 11525 / 00383  
 PLAT: 10/27/2005

PREVIOUS DPZ FILE NUMBERS: SDP-73-066, SDP-73-062, SDP-24-051, SDP-81-102, F-31-158, F-24-010, WIP-91-186, BA-90-13E, ECP-22-032, BA-22-010C&V, WP-27-073.

SHEET NUMBER: **25**

SHA TRACKING NO.: 22APH016IX

Table with columns: STREET, QTY, LABEL, DESCRIPTION. Includes items like STR-LWY-3MB-HT-02-E-UL-XX-525-57K.

Table with columns: CANOPY, QTY, LABEL, DESCRIPTION. Includes items like CPY250-B-DM-F-A-UL-XX-57K.

Table with columns: WALL MOUNTED, QTY, LABEL, DESCRIPTION. Includes item RA12-LED1840-XX-3 + 3-SLXX-XX.

Table with columns: WALL MOUNTED, QTY, LABEL, DESCRIPTION. Includes item XSPW-B-WM-3ME-2L-57K-UL-XX.

Table with columns: WALL MOUNTED, QTY, LABEL, DESCRIPTION. Includes item FCC400-10-WM-UNV-4K-CR93-10L-UNO-XX-D50-LD.

ADDITIONAL FIXTURE INFO

LEDway® Series LEDway LED Street Light. Product Description, Performance Summary, Accessories, and Ordering Information.

ADDITIONAL FIXTURE INFO

CPY Series - Version B CPY250 LED Canopy/SoftLuminaire. Product Description, Performance Summary, Accessories, and Ordering Information.

ADDITIONAL FIXTURE INFO

ANGLE REFLECTOR Aluminum Shade with Glass and Guard Options. Product Description, Performance Summary, Accessories, and Ordering Information.

ADDITIONAL FIXTURE INFO

XSP Series XSPW LED Wall Mount Luminaire featuring Cree TrueWhite® Technology. Product Description, Performance Summary, Accessories, and Ordering Information.

ADDITIONAL FIXTURE INFO

FCC400 Down Only, Standard Drivers. Product Description, Performance Summary, Accessories, and Ordering Information.



LEDway® LED Street Light. Product Specifications, Construction & Materials, Electrical System, and Ordering Information.

CPY250® LED Canopy/SoftLuminaire - Version B. Product Specifications, Construction & Materials, Electrical System, and Ordering Information.

ANGLE REFLECTOR Aluminum Shade with Glass and Guard Options. Product Specifications, Construction & Materials, Electrical System, and Ordering Information.

XSPW LED Wall Mount Luminaire. Product Specifications, Construction & Materials, Electrical System, and Ordering Information.

FCC400 Down Only, Standard Drivers. Product Specifications, Construction & Materials, Electrical System, and Ordering Information.



APPROVED: DEPARTMENT OF PLANNING AND ZONING. Includes signature of Chad Edmondson and date 9/22/2023.

APPROVED: DEPARTMENT OF PLANNING AND ZONING. Includes signature of Linda Eubank and date 10/6/2023.

DASH-IN. OWNER: POTOMAC ENERGY HOLDINGS, LLC. DEVELOPER: DASH-IN. 102 CENTENNIAL STREET, STE. 100. LA PLATA, MD 20646.

LIGHTING CUT SHEETS. SHEET NUMBER: 26. SHA TRACKING NO.: 22APH0016XX. FILE NO. SDP-23-007.

BOHLER// SITE CIVIL AND CONSULTING ENGINEERING. REVISIONS table. 811 logo. 'It's fast. It's free. It's the law.'

APPROVED FOR CONSTRUCTION. PROJECT No.: MD204000. DRAWN BY: DMD/DM. CHECKED BY: RMS. DATE: 02/24/23. PROJECT: SITE DEVELOPMENT PLAN FOR 9075 BALTIMORE NATIONAL PIKE (US RTE. 40).

BOHLER// 901 DULANEY VALLEY ROAD, SUITE 801 TOWSON, MARYLAND 21204. Phone: (410) 821-7900. Fax: (410) 821-7987. MD@BohlerEng.com

E.R. McWILLIAMS REGISTERED LANDSCAPE ARCHITECT. PROFESSIONAL CERTIFICATION. LICENSE NO. 3897. EXPIRATION DATE: 9/30/24.

Vertical text on the left edge: 04/31/2023 H:\2020\04000\DRAWINGS\PLAN\SETSITE DEVELOPMENT PLAN\MDD204000-LIGHT-CUT-SHEETS

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

**811**  
 Know what's below.  
 Call before you dig.  
 ALWAYS CALL 811  
 It's fast. It's free. It's the law.

**APPROVED FOR CONSTRUCTION**

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD204000  
 DRAWN BY: DMD/BN  
 CHECKED BY: RMS  
 DATE: 02/24/23  
 CAD ID.: PUTL-1

**SITE DEVELOPMENT PLAN**

FOR

**DASH IN**

STORE #1832  
 9075 BALTIMORE NATIONAL PIKE  
 (US RTE. 40)  
 ELLICOTT CITY, MD 21043  
 TAX MAP 24, GRID 5, PARCEL 112  
 HOWARD COUNTY  
 2ND ELECTION DISTRICT  
 ZONE: B-2

**BOHLER**

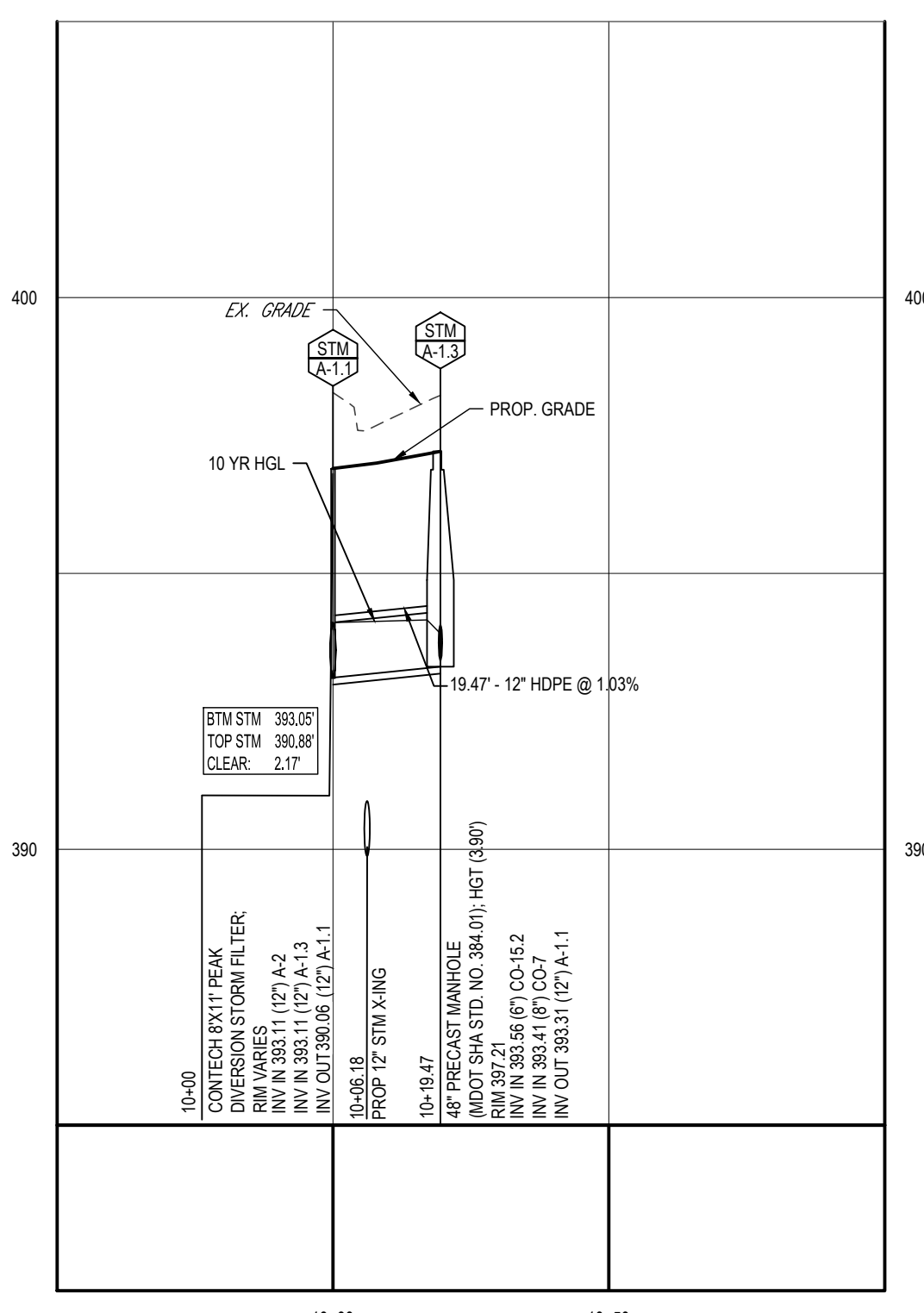
901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21204  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 MD@BohlerEng.com

**R.M. STASIOWSKI**  
 PROFESSIONAL ENGINEER  
 No. 11525 / 00383  
 I, RYAN M. STASIOWSKI, CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR SUPERVISED AND APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 49425, EXPIRATION DATE: 6/30/24

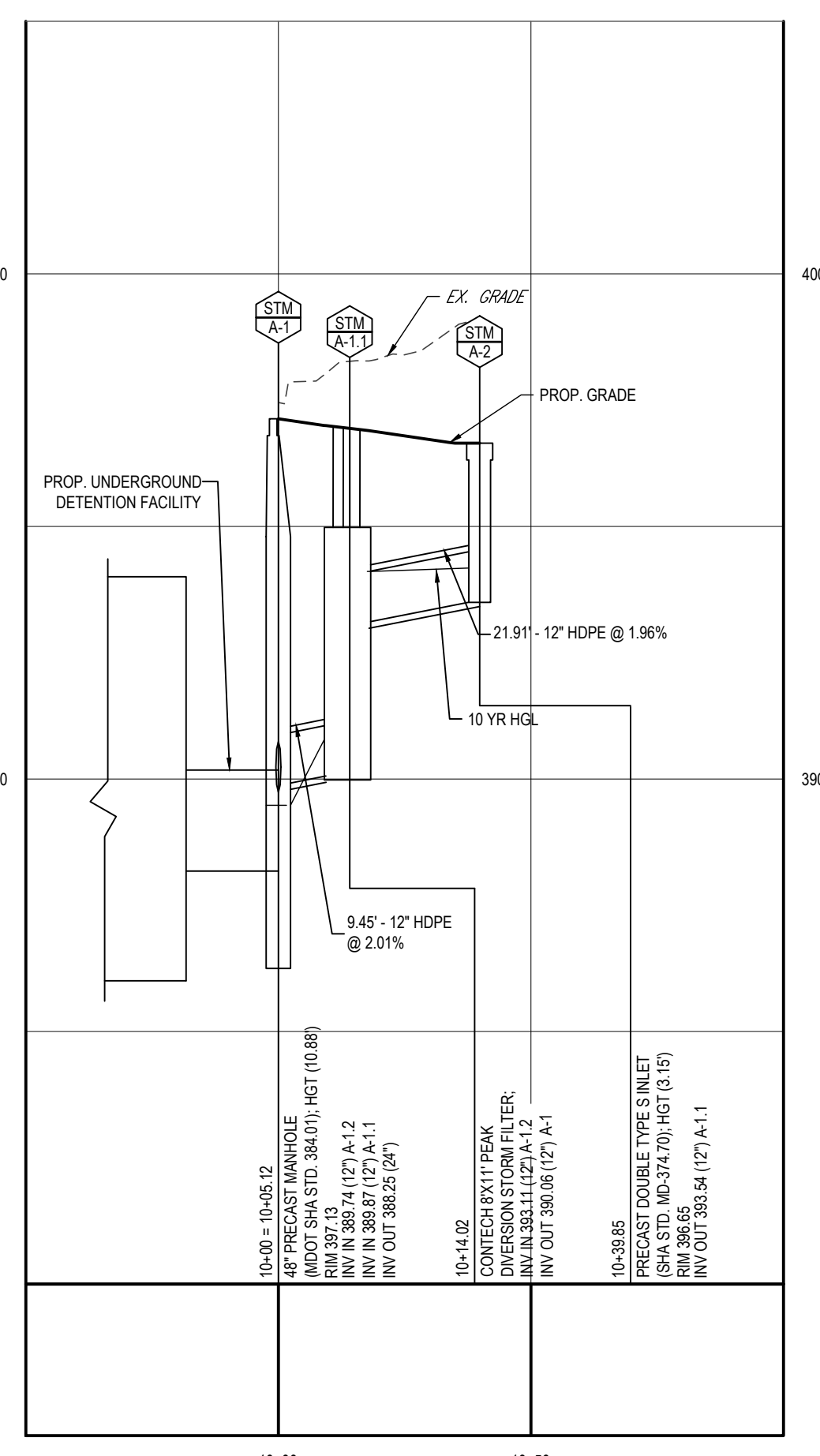
SHEET TITLE:  
**UTILITY PROFILES**

SHEET NUMBER:  
**27**

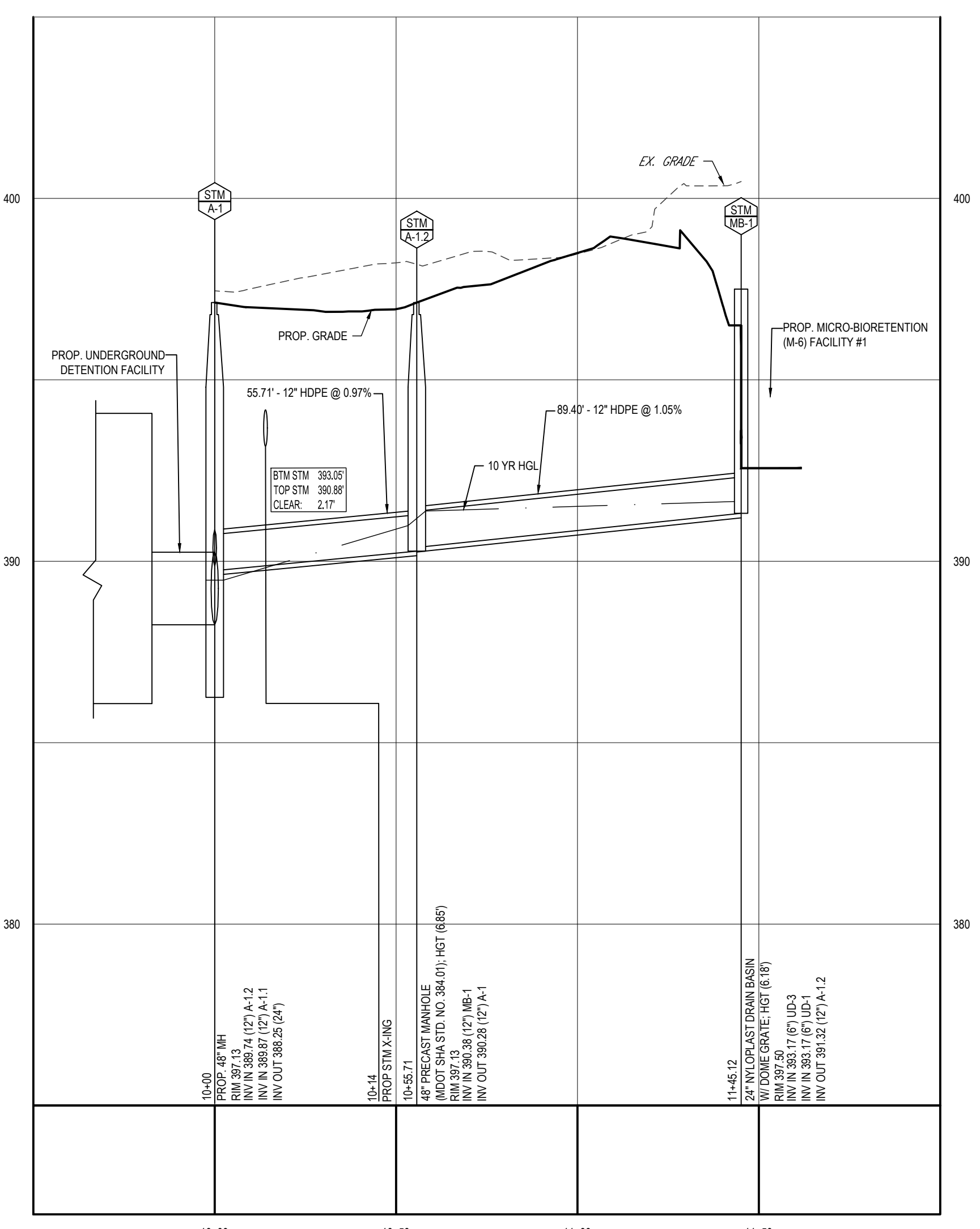
SHA TRACKING NO.: 22APH016XX



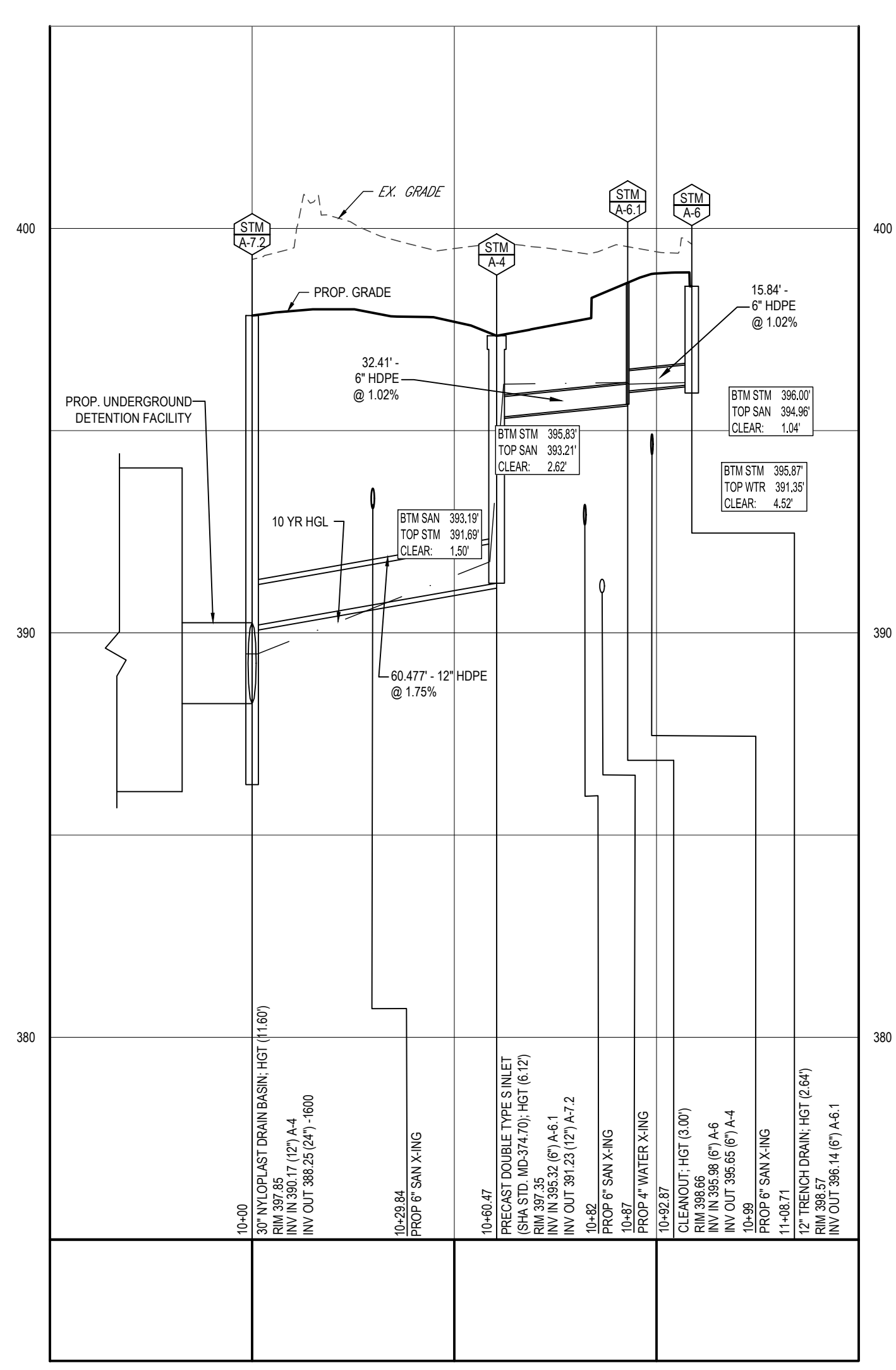
**PROPOSED STORMDRAIN PROFILE - A-1.1 TO A-1.3**  
 SCALE: 1"= 30' HORIZONTAL  
 1"= 3' VERTICAL



**PROPOSED STORMDRAIN PROFILE - A-1 TO A-2**  
 SCALE: 1"= 30' HORIZONTAL  
 1"= 3' VERTICAL



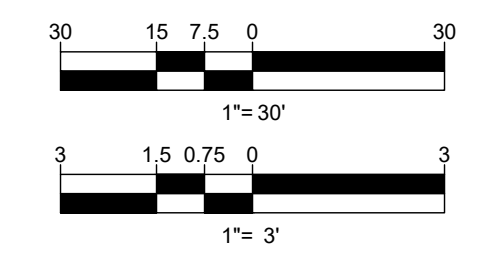
**PROPOSED STORMDRAIN PROFILE - A-1 TO MB-1**  
 SCALE: 1"= 30' HORIZONTAL  
 1"= 3' VERTICAL



**PROPOSED STORMDRAIN PROFILE - A-7.2 TO A-4**  
 SCALE: 1"= 30' HORIZONTAL  
 1"= 3' VERTICAL

**TEST PIT NOTE**  
 CONTRACTOR TO TEST PIT FOR EXACT LOCATION OF EXISTING UTILITY OR 2' BELOW PROPOSED UTILITY AND SUBMIT ANY DISCREPANCIES TO BOHLER ENGINEERING VA, LLC. IN WRITING.

- SITE SPECIFIC UTILITY NOTES:**
- WATERLINES SHALL TYPICALLY HAVE AT LEAST 4' MINIMUM COVER, EXCEPT WHERE CROSSING A UTILITY, WHERE THEY MAY HAVE 3' MINIMUM COVER.
  - CONTRACTOR SHALL VERIFY STRUCTURE SIZES PRIOR TO ORDERING STRUCTURES.

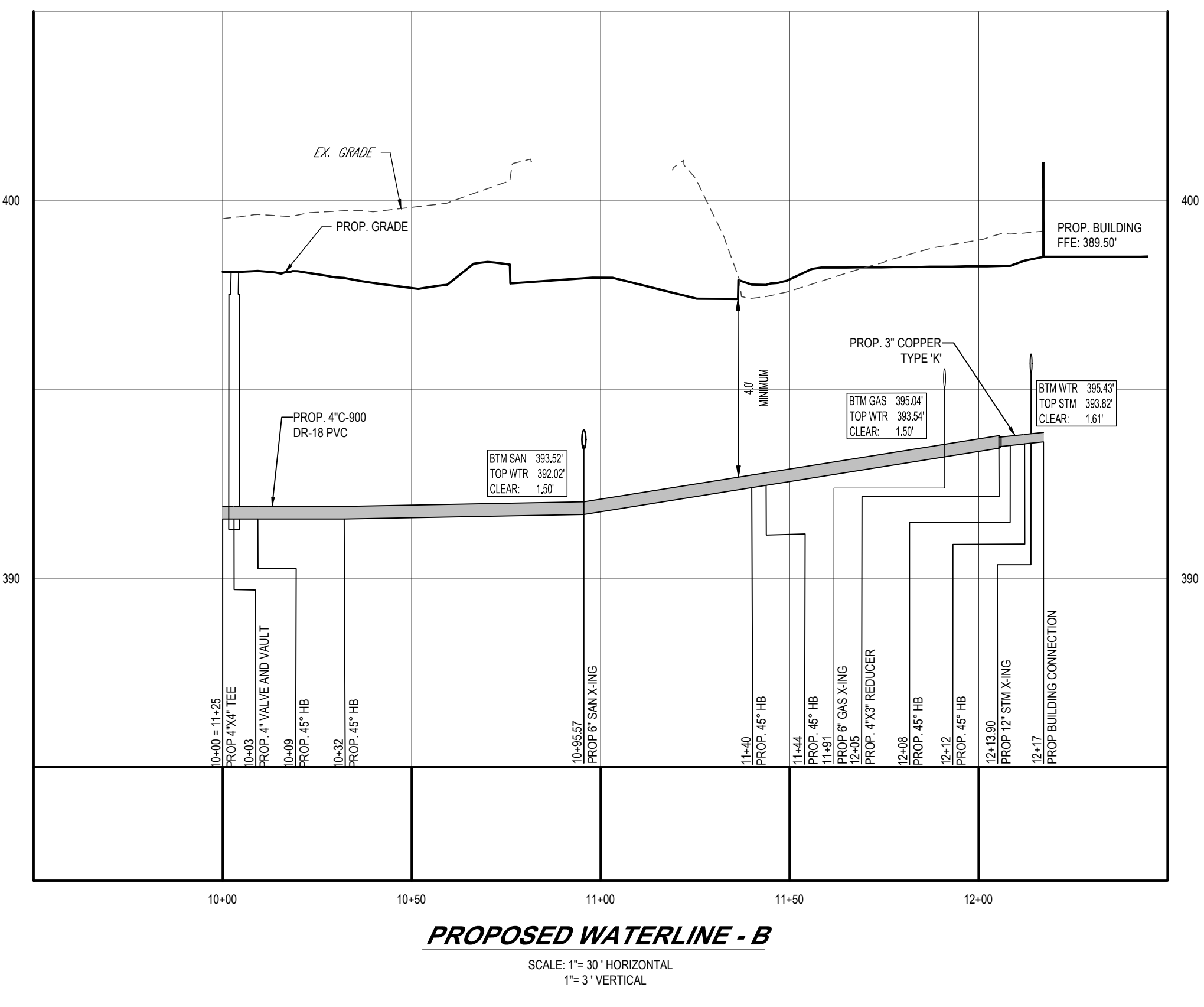


OWNER: POTOMAC ENERGY HOLDINGS, LLC PO BOX 2810 LA PLATA, MD 20646 CONTACT: JASON BELT PHONE: 240-320-6448	DEVELOPER: DASH-IN 102 CENTENNIAL STREET, STE. 100 LA PLATA, MD 20645 CONTACT: JASON BELT PHONE: 240-320-6448	
TAX MAP: 24	GRID: 5	PARCEL: 112
ZONED: B-2		
SUBDIVISION NAME: SHELL OIL COMPANY PARCEL 'A'		
SECTION AREA: N/A		
DEED # 11525 / 00383		
PLAT # 10025 / 26936		
PREVIOUS DPZ FILE NUMBERS: SDP-73-056, SDP-73-062, SDP-84-051, SDP-91-102, F-91-158, F-24-010, WP-91-185, BA-90-13E, ECP-22-032, BA-22-001C&V, WP-27-073.		

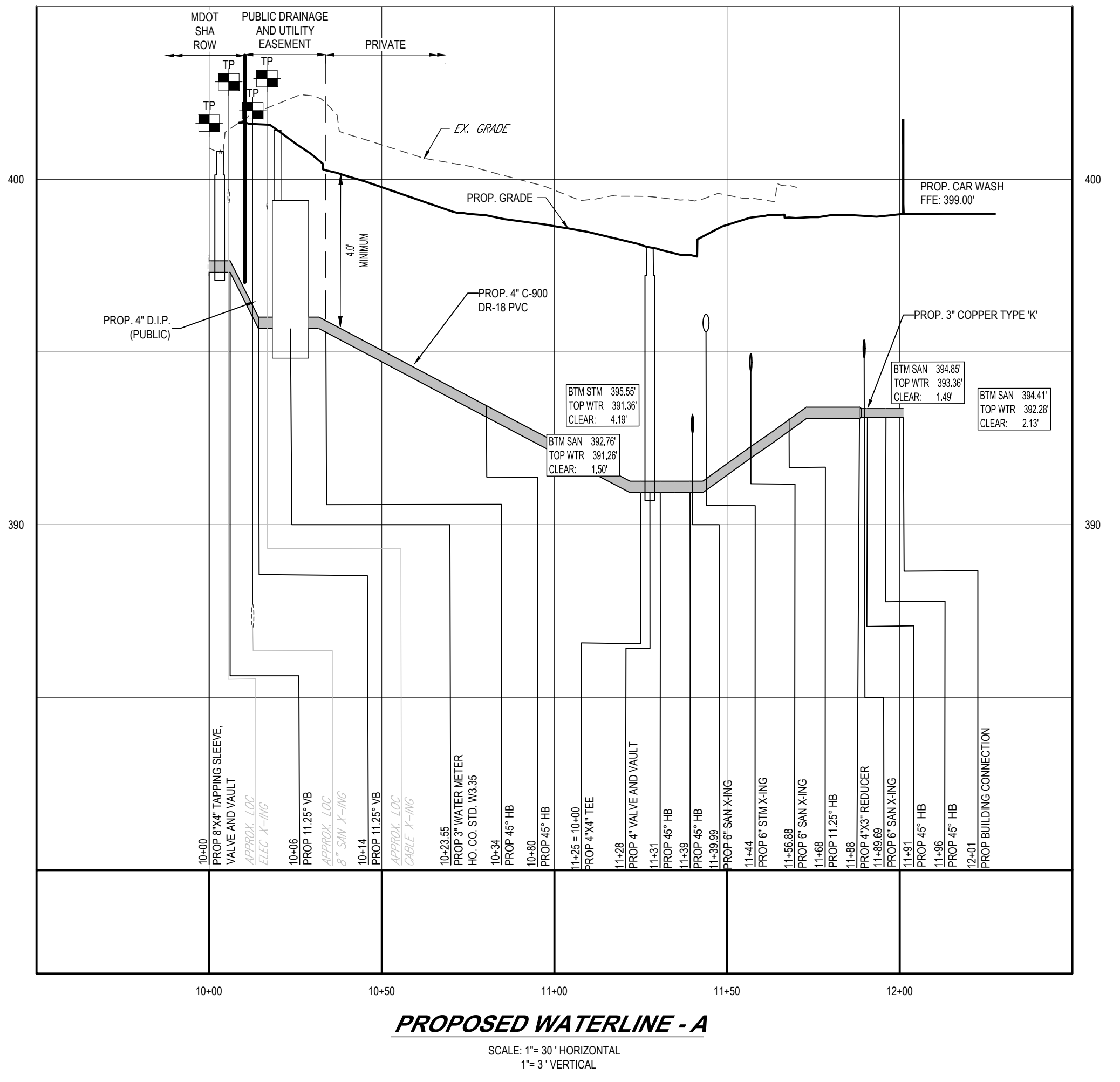
**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

9/22/2023  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 9/25/2023  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 10/6/2023  
 DIRECTOR, DEPARTMENT OF PLANNING & ZONING

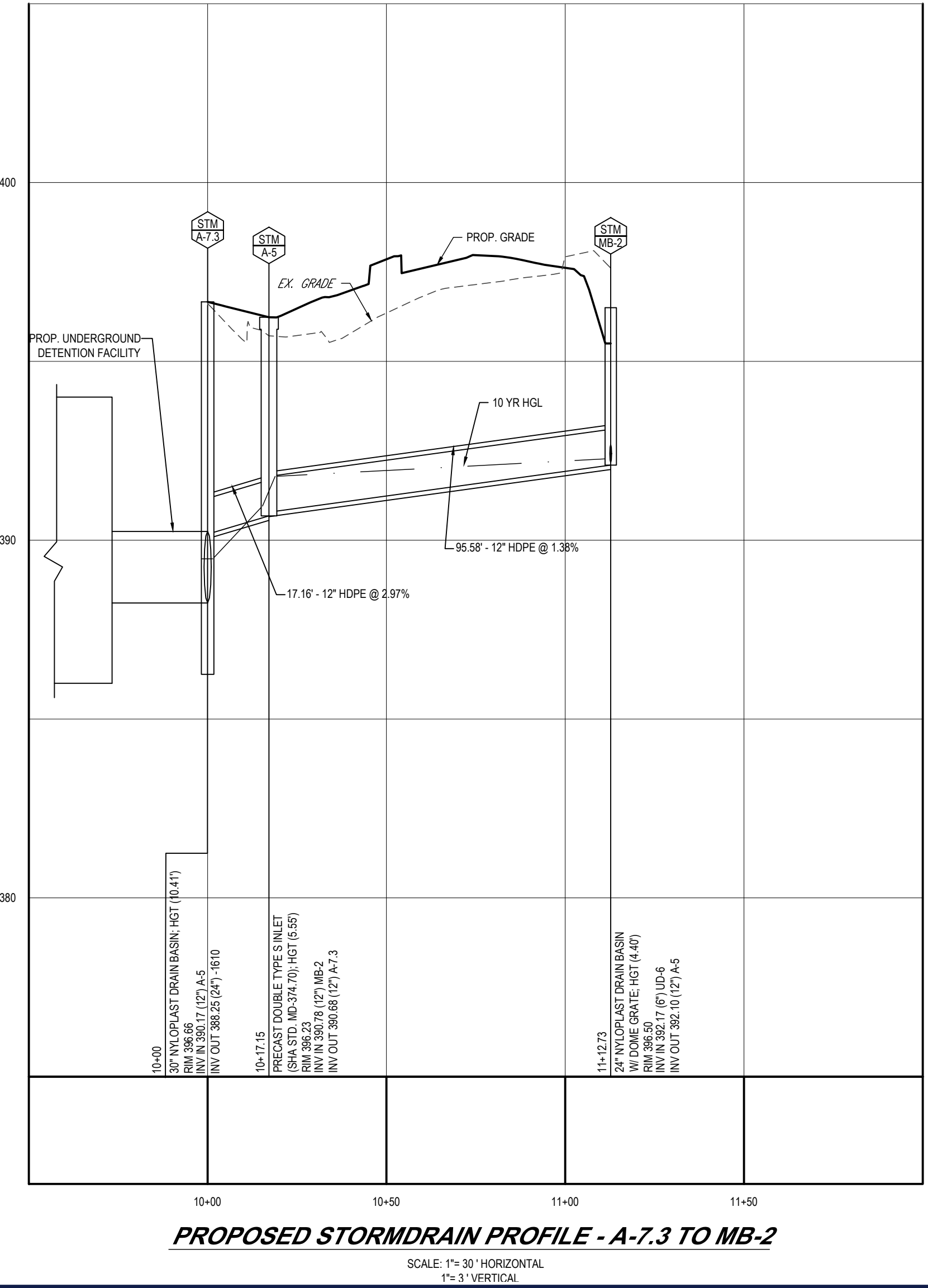
H:\2023\204000\DRAWINGS\PLAN SET\SITE DEVELOPMENT PLAN\MD204000-PUTL-1.dwg - LAYOUT: 27 - UTIL PROFILES



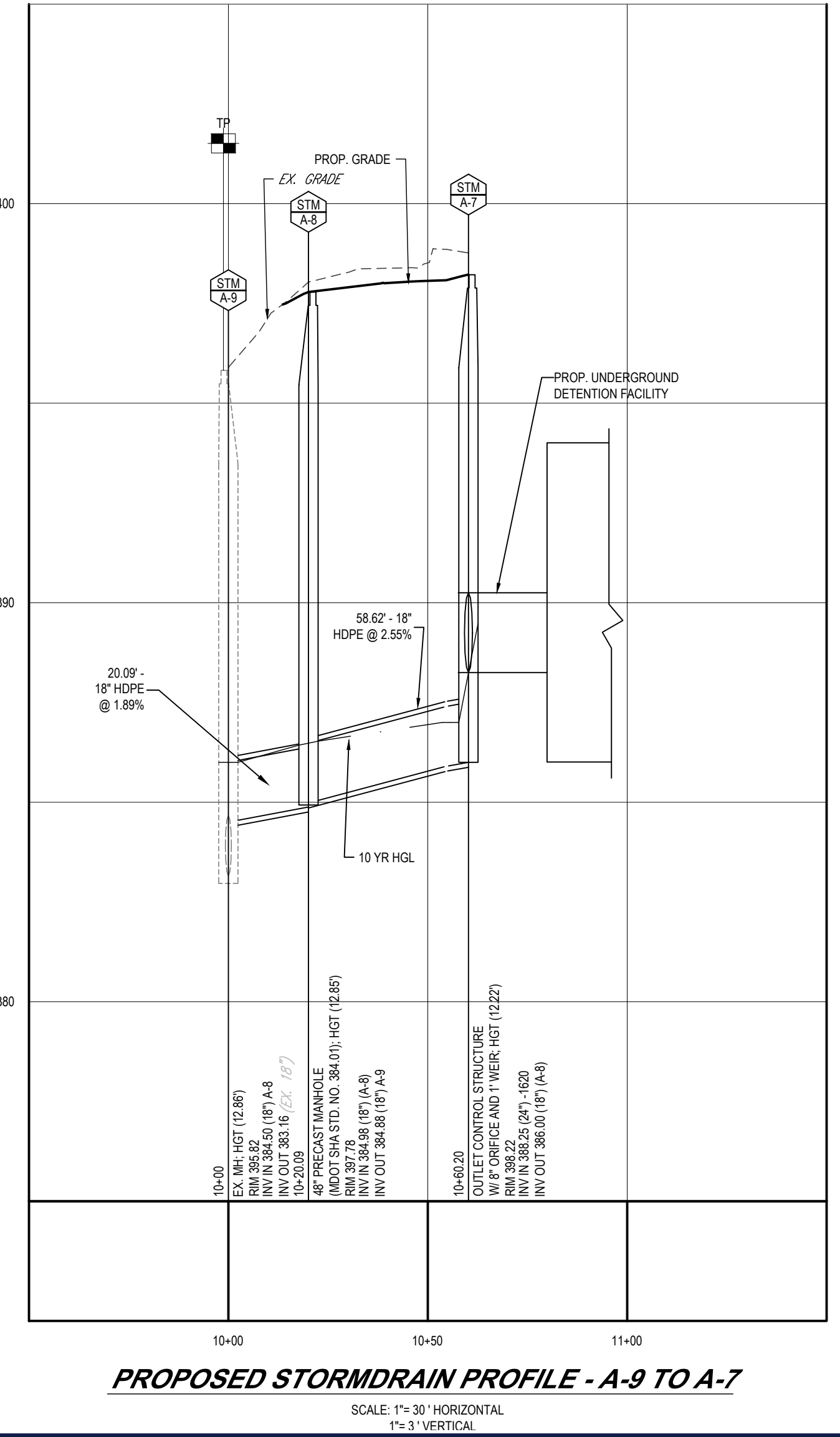
**PROPOSED WATERLINE - B**  
SCALE: 1" = 30' HORIZONTAL  
1" = 3' VERTICAL



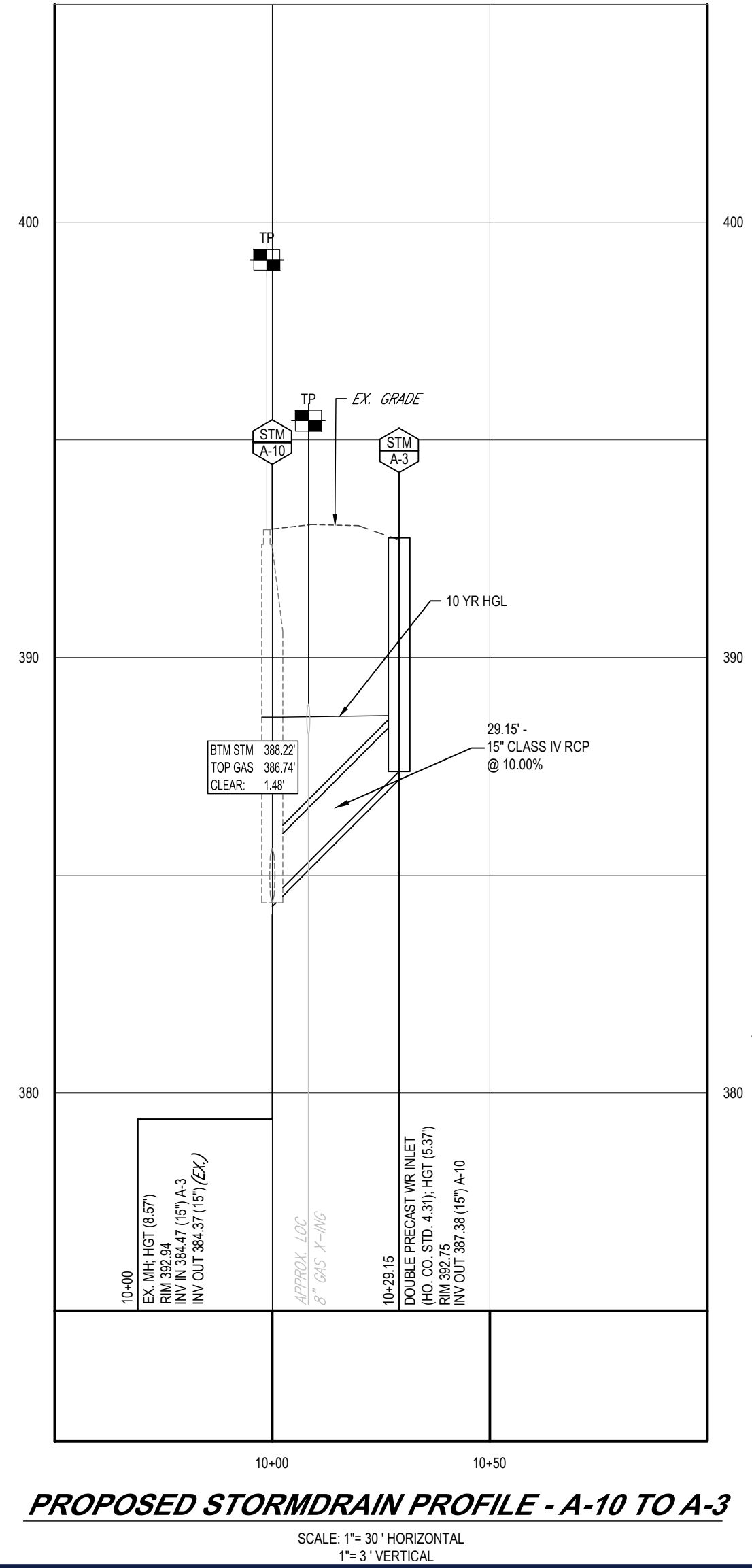
**PROPOSED WATERLINE - A**  
SCALE: 1" = 30' HORIZONTAL  
1" = 3' VERTICAL



**PROPOSED STORMDRAIN PROFILE - A-7.3 TO MB-2**  
SCALE: 1" = 30' HORIZONTAL  
1" = 3' VERTICAL



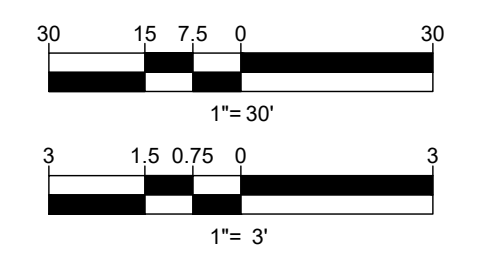
**PROPOSED STORMDRAIN PROFILE - A-9 TO A-7**  
SCALE: 1" = 30' HORIZONTAL  
1" = 3' VERTICAL



**PROPOSED STORMDRAIN PROFILE - A-10 TO A-3**  
SCALE: 1" = 30' HORIZONTAL  
1" = 3' VERTICAL

**TEST PIT NOTE**  
CONTRACTOR TO TEST PIT FOR EXACT LOCATION OF EXISTING UTILITY OR 2' BELOW PROPOSED UTILITY AND SUBMIT ANY DISCREPANCIES TO BOHLER ENGINEERING VA, LLC. IN WRITING.

- SITE SPECIFIC UTILITY NOTES:**
1. WATERLINES SHALL TYPICALLY HAVE AT LEAST 4' MINIMUM COVER, EXCEPT WHERE CROSSING A UTILITY, WHERE THEY MAY HAVE 3' MINIMUM COVER.
  2. CONTRACTOR SHALL VERIFY STRUCTURE SIZES PRIOR TO ORDERING STRUCTURES.



**OWNER:** POTOMAC ENERGY HOLDINGS, LLC  
**DEVELOPER:** DASH-IN  
 LA PLATA, MD 20646  
 CONTACT: JASON BELT  
 PHONE: 240-320-6448

**TAX MAP:** 24 **GRID:** 5 **PARCEL:** 112  
**ZONED:** B-2  
 2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

**SUBDIVISION NAME:** SHELL OIL COMPANY PARCEL 'A'  
**SECTION AREA:** N/A  
**DEED #:** 115251-00383  
**PLAT #:** 10025-26936  
**PREVIOUS DPZ FILE NUMBERS:** SDP-73-056, SDP-73-062, SDP-84-051, SDP-91-102, F-91-158, F-24-010, WP-91-185, BA-90-13E, ECP-22-032, BA-22-011C&V, WP-27-073.

**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

Know what's below.  
 Call before you dig.  
 ALWAYS CALL 811  
 It's fast. It's free. It's the law.

**APPROVED FOR CONSTRUCTION**

PROJECT: MD204000  
 DRAWN BY: DMD/BN  
 CHECKED BY: RMS  
 DATE: 02/24/23  
 CAD ID: FUTL-1

**SITE DEVELOPMENT PLAN**  
 FOR

STORE #1832  
 9075 BALTIMORE NATIONAL PIKE (US RTE. 40)  
 ELLICOTT CITY, MD 21043  
 TAX MAP 24, GRID 5, PARCEL 112  
 HOWARD COUNTY  
 2ND ELECTION DISTRICT  
 ZONE: B-2

**BOHLER**  
 901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21204  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 MD@BohlerEng.com

**R.M. STASIOWSKI**  
 PROFESSIONAL ENGINEER  
 No. 49425, EXPIRATION DATE: 6/9/2024

**UTILITY PROFILES**

SHEET NUMBER: **28**

SHA TRACKING NO.: 22APH0016XX

FILE NO. SDP-23-007

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

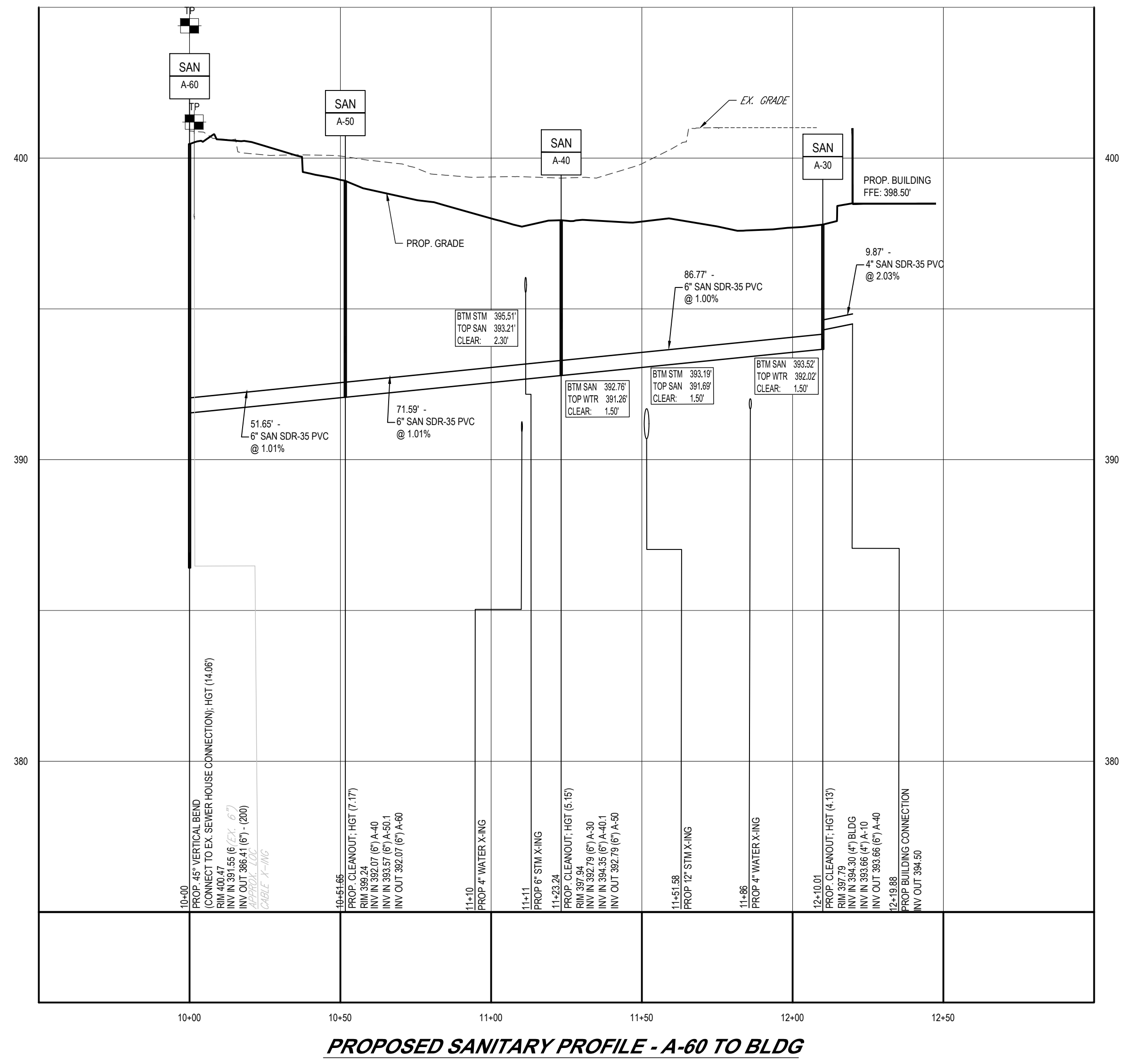
Chief, Development Engineering Division  
 Date: 9/22/2023

Chief, Division of Land Development  
 Date: 9/25/2023

Director, Department of Planning & Zoning  
 Date: 10/6/2023

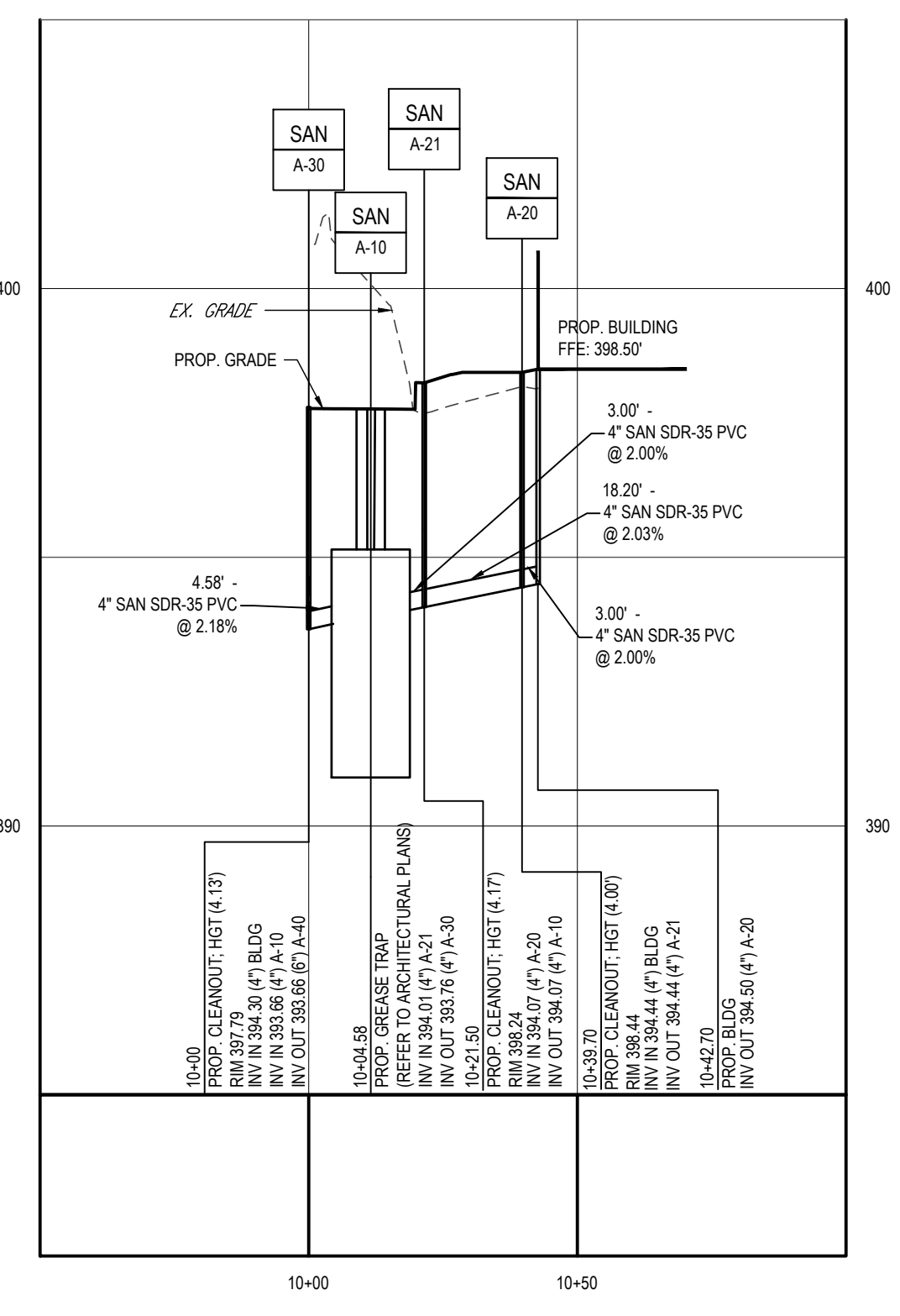
H:\2023\204000\DRAWINGS\PLAN\BESS\SITE DEVELOPMENT\PLAN\MD204000-FUTL-1-1.dwg - LAYOUT: 28 - UTIL PROFILES

H:\2023\20230400\DRAWINGS\PLAN SET\SITE DEVELOPMENT PLAN\MD204000-P01-L1-----LAYOUT 29 - UTIL PROFS



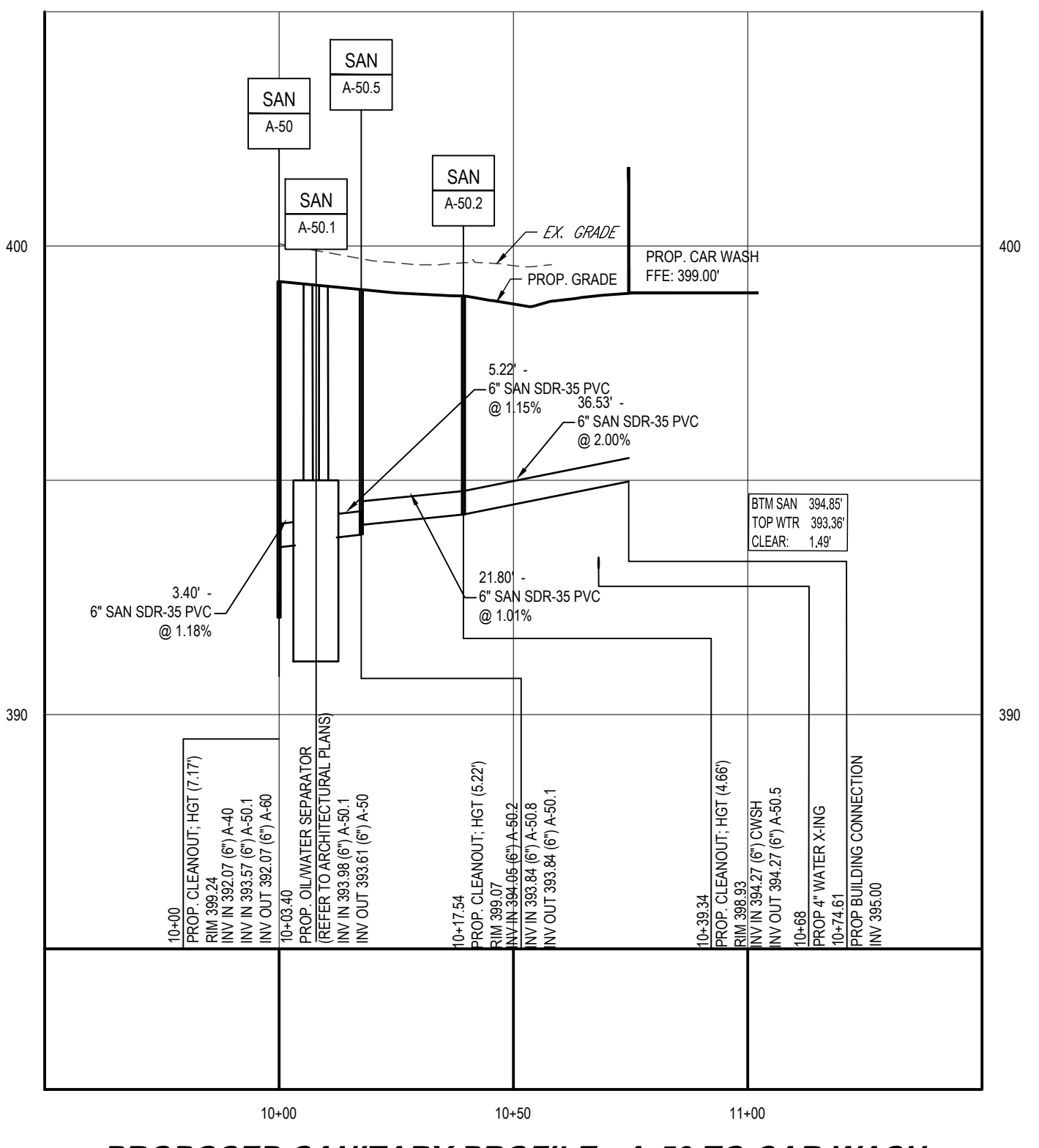
**PROPOSED SANITARY PROFILE - A-60 TO BLDG**

SCALE: 1"= 30' HORIZONTAL  
1"= 3' VERTICAL



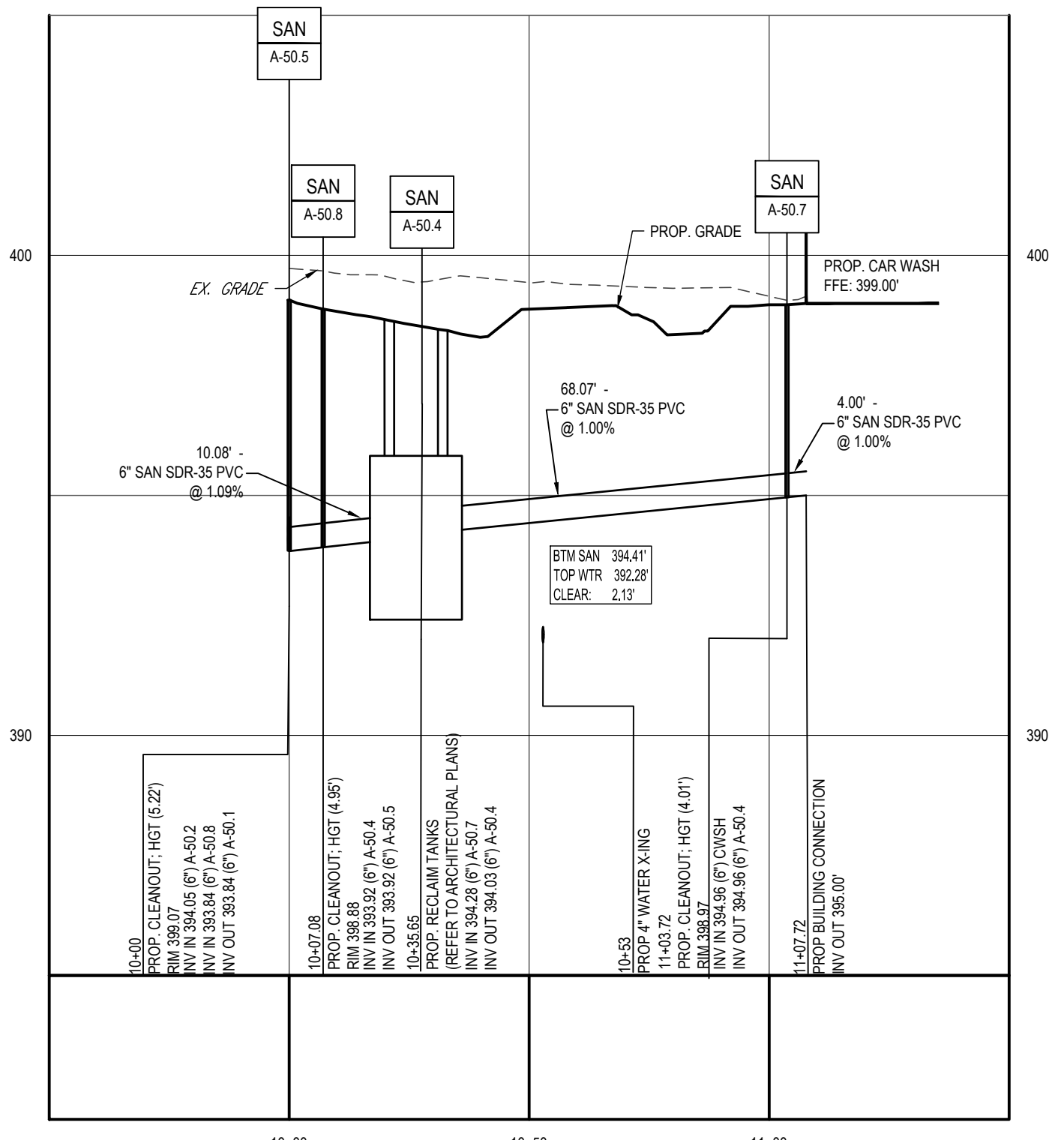
**PROPOSED SANITARY PROFILE - A-30 TO BLDG**

SCALE: 1"= 30' HORIZONTAL  
1"= 3' VERTICAL



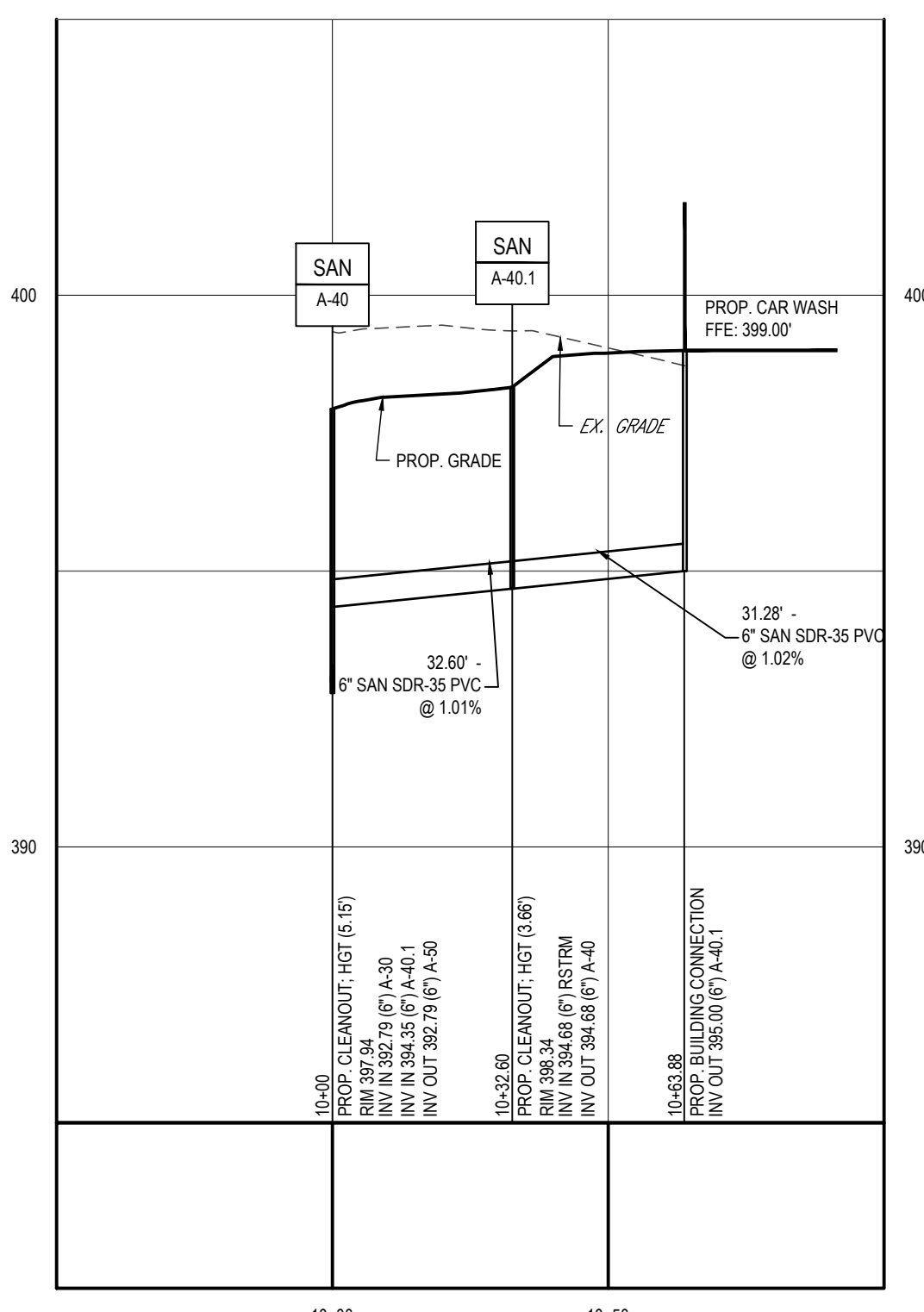
**PROPOSED SANITARY PROFILE - A-50 TO CAR WASH**

SCALE: 1"= 30' HORIZONTAL  
1"= 3' VERTICAL



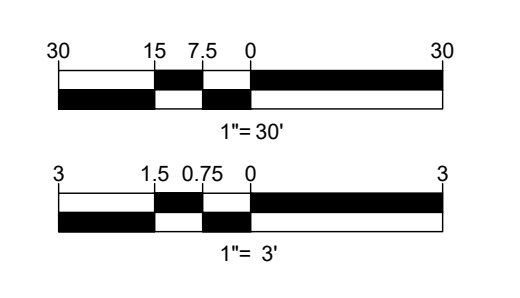
**PROPOSED SANITARY PROFILE - A-50.5 TO CAR WASH**

SCALE: 1"= 30' HORIZONTAL  
1"= 3' VERTICAL



**PROPOSED SANITARY SEWER - A-40 TO RSTRM**

SCALE: 1"= 30' HORIZONTAL  
1"= 3' VERTICAL



**TEST PIT NOTE**

CONTRACTOR TO TEST PIT FOR EXACT LOCATION OF EXISTING UTILITY OR 2' BELOW PROPOSED UTILITY AND SUBMIT ANY DISCREPANCIES TO BOHLER ENGINEERING VA, LLC. IN WRITING.

**SITE SPECIFIC UTILITY NOTES:**

1. WATERLINES SHALL TYPICALLY HAVE AT LEAST 4' MINIMUM COVER, EXCEPT WHERE CROSSING A UTILITY, WHERE THEY MAY HAVE 3' MINIMUM COVER.
2. CONTRACTOR SHALL VERIFY STRUCTURE SIZES PRIOR TO ORDERING STRUCTURES.

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

Reviewed by: <i>Chris Edman</i>	DATE: 9/22/2023
Chief, DEVELOPMENT ENGINEERING DIVISION	DATE: 9/25/2023
Chief, DIVISION OF LAND DEVELOPMENT	DATE: 10/6/2023
Director, DEPARTMENT OF PLANNING & ZONING	DATE:

OWNER: POTOMAC ENERGY HOLDINGS, LLC PO BOX 2810 LA PLATA, MD 20646 CONTACT: JASON BELT PHONE: 240-320-6448	DEVELOPER: DASH-IN 102 CENTENNIAL STREET, STE. 100 LA PLATA, MD 20645 CONTACT: JASON BELT PHONE: 240-320-8448	
TAX MAP: 24	GRID: 5	PARCEL: 112
ZONED: B-2		
2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND		
SUBDIVISION NAME: SHELL OIL COMPANY PARCEL 'A' SECTION AREA: N/A DEED # 11525 00383 PLAT # 10025 29936 PREVIOUS DPZ FILE NUMBERS: SDP-73-056, SDP-73-062, SDP-84-051, SDP-91-102, F-91-158, F-24-010, WP-91-185, BA-90-13E, ECP 22-032, BA-22-011C&V, WP-27-073.		

**BOHLER**™  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE ARCHITECTURE  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

**811**  
Know what's below.  
Call before you dig.  
ALWAYS CALL 811  
It's fast. It's free. It's the law.

**APPROVED FOR CONSTRUCTION**

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD204000  
DRAWN BY: DMD/BN  
CHECKED BY: RIMS  
DATE: 02/24/23  
CAD ID: FUTL-1

**SITE DEVELOPMENT PLAN**

FOR

**DASH IN**

STORE #1832  
9075 BALTIMORE NATIONAL PIKE  
(US RTE. 40)  
ELLICOTT CITY, MD 21043  
TAX MAP 24, GRID 5, PARCEL 112  
HOWARD COUNTY  
2ND ELECTION DISTRICT  
ZONE: B-2

**BOHLER**™

901 DULANEY VALLEY ROAD, SUITE 801  
TOWSON, MARYLAND 21204  
Phone: (410) 821-7900  
Fax: (410) 821-7987  
MD@BohlerEng.com

**R.M. STASIOWSKI**  
PROFESSIONAL ENGINEER  
LICENSE # 11525 00383  
I, RYAN M. STASIOWSKI, CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR REVIEWED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 49428, EXPIRATION DATE: 6/9/2024

SHEET TITLE:

**UTILITY PROFILES**

SHEET NUMBER: **29**

SHA TRACKING NO.: 22APH016XX

**FILE NO. SDP-23-007**



**Proposed Exterior Materials**

- |   |   |
|---|---|
| BR-1 Thin Brick Veneer: McNear Brick & Block, Sandmold Series, Modular, Color: Genova | SF-1 Exterior Metal Storefront System - Black                         |
| MTL-1 Corrugated Metal Panel - Black  | WD-1 Heavy Timber Wood Beams  |
| MTL-2 Metal Coping - Black  | SD-1 Fiber Cement Siding: Nichiha, Vintage Wood, Color: Ash (EPC764F) |
| MTL-3 Aluminum Composite Panel - Black  | WD-3 Exterior Wood Door   |
| MTL-4 Galvanized Metal Decking  | RF-1 Membrane Roofing   |
| MTL-5 Prefinished Aluminum Canopy   | SG-1 Internally Illuminated Signage                                   |
| XPT-1 Exposed Steel - Painted   | GR-1 Painted Graphics   |



Front Elevation

**hct design group** 100 N. Charles Street, Baltimore, MD 21201, 410.687.2727  
**DASH IN 1832 Store** Elllicott City, MD 04.22.2021

**Wills Group**



**Proposed Exterior Materials**

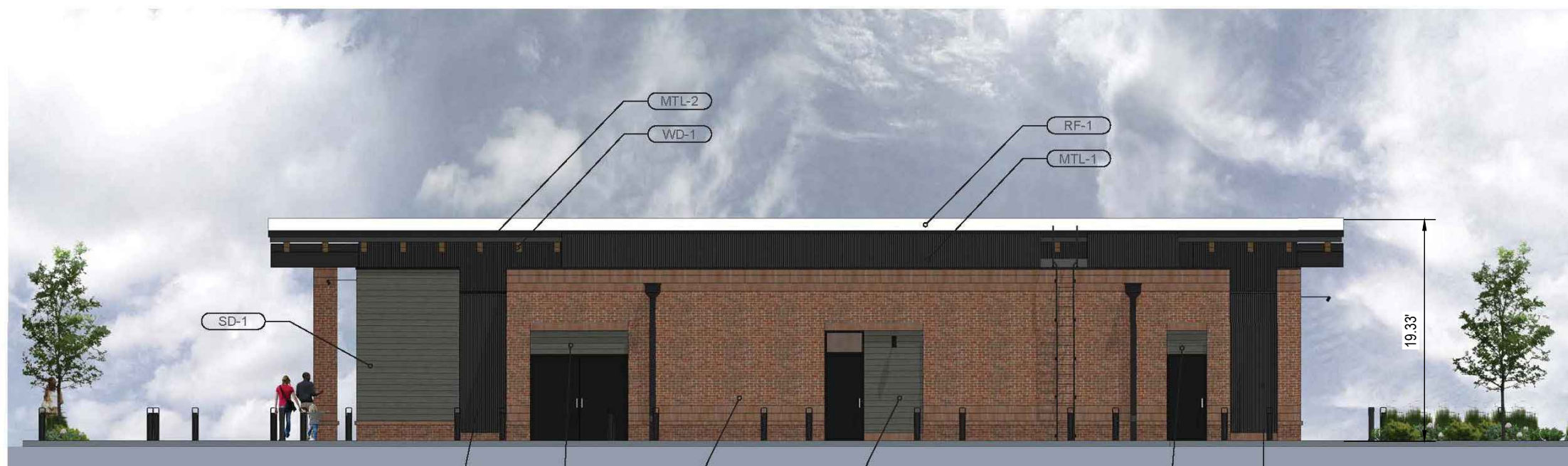
- |   |   |
|---|---|
| BR-1 Thin Brick Veneer: McNear Brick & Block, Sandmold Series, Modular, Color: Genova | SF-1 Exterior Metal Storefront System - Black                         |
| MTL-1 Corrugated Metal Panel - Black  | WD-1 Heavy Timber Wood Beams  |
| MTL-2 Metal Coping - Black  | SD-1 Fiber Cement Siding: Nichiha, Vintage Wood, Color: Ash (EPC764F) |
| MTL-3 Aluminum Composite Panel - Black  | WD-3 Exterior Wood Door   |
| MTL-4 Galvanized Metal Decking  | RF-1 Membrane Roofing   |
| MTL-5 Prefinished Aluminum Canopy   | SG-1 Internally Illuminated Signage                                   |
| XPT-1 Exposed Steel - Painted   | GR-1 Painted Graphics   |



Side Elevation

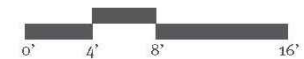
**hct design group** 100 N. Charles Street, Baltimore, MD 21201, 410.687.2727  
**DASH IN 1832 Store** Elllicott City, MD 04.22.2021

**Wills Group**



**Proposed Exterior Materials**

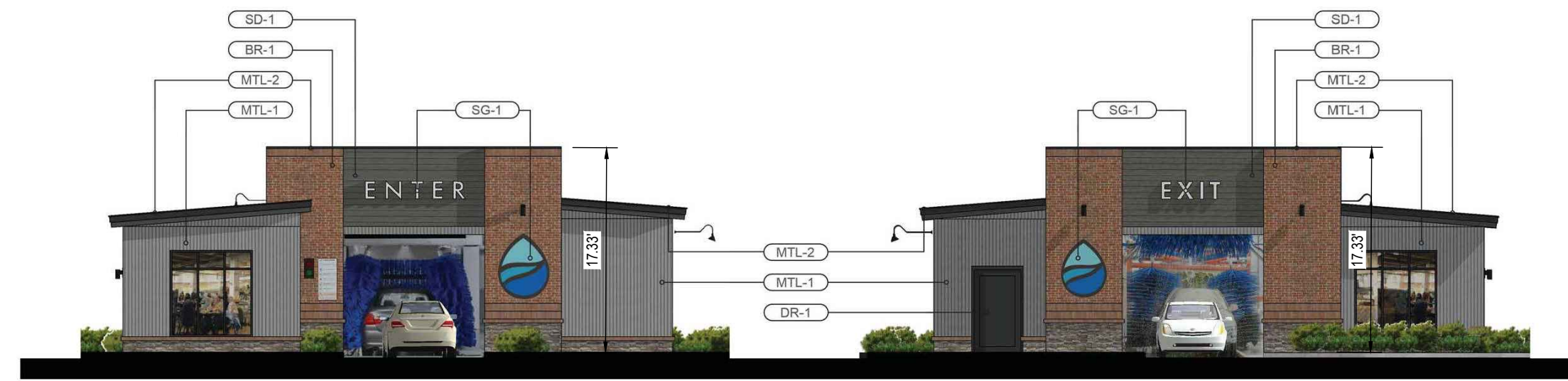
- |   |   |
|---|---|
| BR-1 Thin Brick Veneer: McNear Brick & Block, Sandmold Series, Modular, Color: Genova | SF-1 Exterior Metal Storefront System - Black                         |
| MTL-1 Corrugated Metal Panel - Black  | WD-1 Heavy Timber Wood Beams  |
| MTL-2 Metal Coping - Black  | SD-1 Fiber Cement Siding: Nichiha, Vintage Wood, Color: Ash (EPC764F) |
| MTL-3 Aluminum Composite Panel - Black  | WD-3 Exterior Wood Door   |
| MTL-4 Galvanized Metal Decking  | RF-1 Membrane Roofing   |
| MTL-5 Prefinished Aluminum Canopy   | SG-1 Internally Illuminated Signage                                   |
| XPT-1 Exposed Steel - Painted   | GR-1 Painted Graphics   |



Rear Elevation

**hct design group** 100 N. Charles Street, Baltimore, MD 21201, 410.687.2727  
**DASH IN 1832 Store** Elllicott City, MD 04.22.2021

**Wills Group**



**Proposed Exterior Materials**

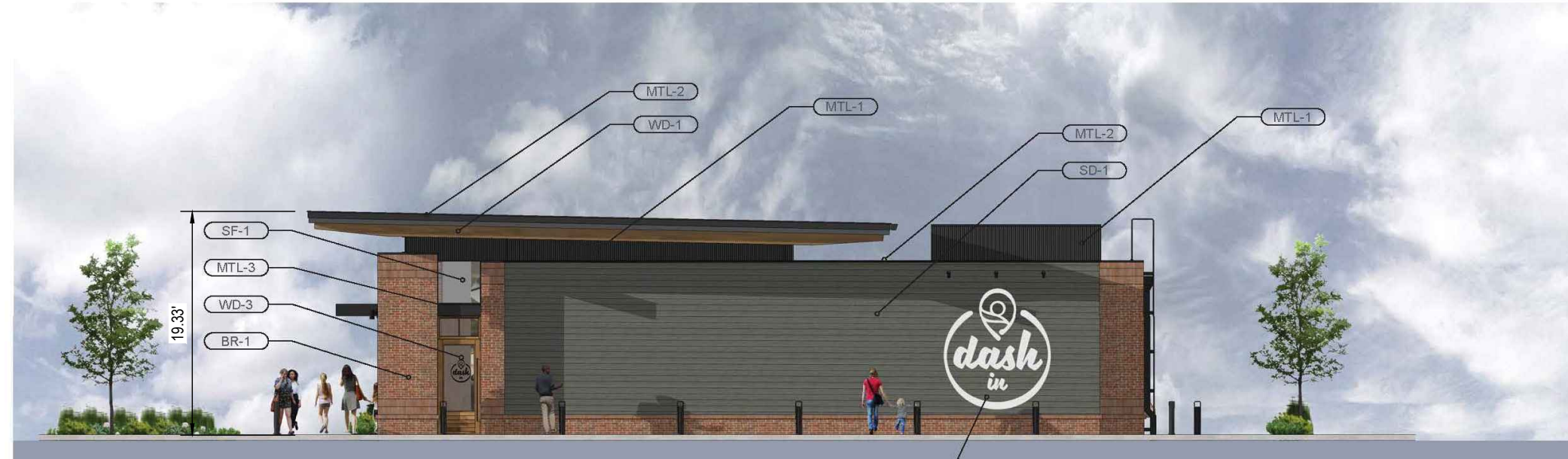
- |   |   |
|---|---|
| BR-1 Thin Brick Veneer: McNear Brick & Block, Sandmold Series, Modular, Color: Genova | SF-1 Exterior Metal Storefront System - Black |
| SD-1 Fiber Cement Siding: Nichiha, Vintage Wood, Color: Ash (EPC764F)                 | DR-1 Hollow Metal Door - Black                |
| MTL-1 Corrugated Metal Panel - Gray   | DR-2 Exterior Glass & Metal Door - Black      |
| MTL-2 Metal Coping - Black  | GR-1 Painted Graphics                         |
| RF-1 Membrane Roofing   | SG-1 Internally Illuminated Sign              |



Entrance and Exit Elevations

**hct design group** 100 N. Charles Street, Baltimore, MD 21201, 410.687.2727  
**SPLASH IN 1832 Tunnel Car Wash Elevations** Elllicott City, MD 04.22.2021

**Wills Group**



**Proposed Exterior Materials**

- |   |   |
|---|---|
| BR-1 Thin Brick Veneer: McNear Brick & Block, Sandmold Series, Modular, Color: Genova | SF-1 Exterior Metal Storefront System - Black                         |
| MTL-1 Corrugated Metal Panel - Black  | WD-1 Heavy Timber Wood Beams  |
| MTL-2 Metal Coping - Black  | SD-1 Fiber Cement Siding: Nichiha, Vintage Wood, Color: Ash (EPC764F) |
| MTL-3 Aluminum Composite Panel - Black  | WD-3 Exterior Wood Door   |
| MTL-4 Galvanized Metal Decking  | RF-1 Membrane Roofing   |
| MTL-5 Prefinished Aluminum Canopy   | SG-1 Internally Illuminated Signage                                   |
| XPT-1 Exposed Steel - Painted   | GR-1 Painted Graphics   |



Side Elevation

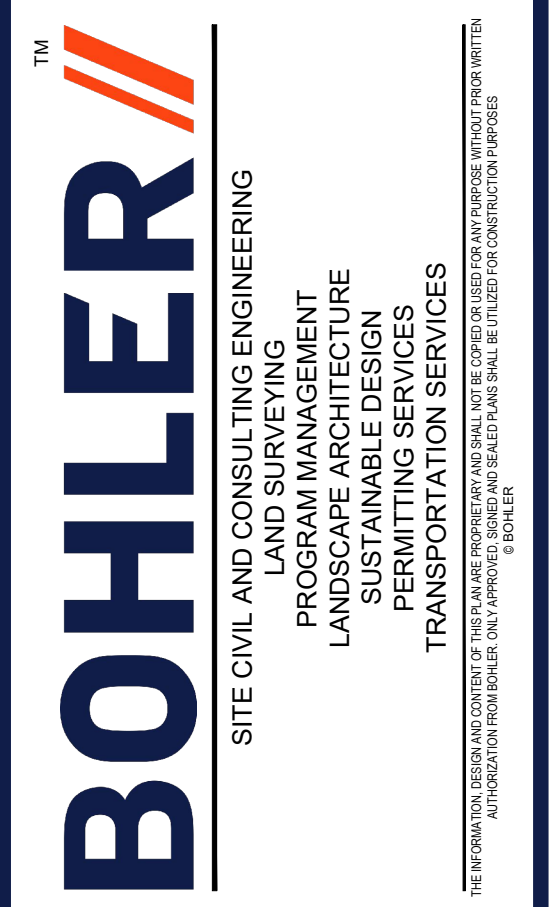
**hct design group** 100 N. Charles Street, Baltimore, MD 21201, 410.687.2727  
**DASH IN 1832 Store** Elllicott City, MD 04.22.2021

**Wills Group**

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

Chief, Development Engineering Division	9/22/2023
Chief, Division of Land Development	10/6/2023

OWNER: POTOMAC ENERGY HOLDINGS, LLC PO BOX 2810 LA PLATA, MD 20646 CONTACT: JASON BELT PHONE: 240-320-6448	DEVELOPER: DASH-IN 102 CENTENNIAL STREET, STE. 100 LA PLATA, MD 20645 CONTACT: JASON BELT PHONE: 240-320-6448	
TAX MAP: 24	GRID: 5	PARCEL: 112
ZONED: B-2		
2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND		
SUBDIVISION NAME: SHELL OIL COMPANY PARCEL 'A'		
SECTION AREA: N/A		
DEED # 11521-00383		
PLAT # 10025-28936		
PREVIOUS DPZ FILE NUMBERS: SDP-73-056, SDP-73-062, SDP-84-051, SDP-91-102, F-91-158, F-24-010, WP-91-185, BA-90-13E, ECP 22-032, BA-22-001&V, WP-27-073.		



REVISIONS			
REV	DATE	COMMENT	DRAWN BY



**APPROVED FOR CONSTRUCTION**

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD204000  
 DRAWN BY: DMD/BN  
 CHECKED BY: RMS  
 DATE: 02/24/23  
 CAD ID: CNDS - 1

**SITE DEVELOPMENT PLAN**

FOR

**DASH IN**

STORE #1832

9075 BALTIMORE NATIONAL PIKE (US RTE. 40)  
 ELLICOTT CITY, MD 21043  
 TAX MAP 24, GRID 5, PARCEL 112  
 HOWARD COUNTY  
 2ND ELECTION DISTRICT  
 ZONE: B-2

**BOHLER**

901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21204  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 MD@BohlerEng.com

**R.M. STASIOSKI**

PROFESSIONAL ENGINEER

PROFESSIONAL CERTIFICATE NO. 97512

I, RYAN M. STASIOSKI, ENGINEER, CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR SUPERVISED AND APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 49426, EXPIRATION DATE: 6/30/2024

SHEET TITLE:

**ARCHITECTURAL ELEVATIONS**

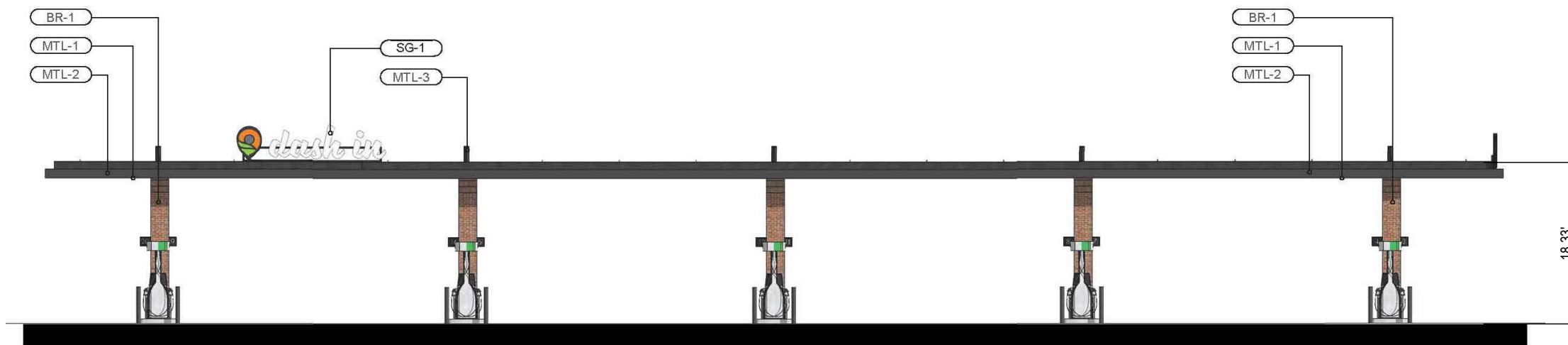
SHEET NUMBER:

**30**

SHA TRACKING NO.: 22APH0016XX

**FILE NO. SDP-23-007**

H:\2023\204000\DRAWINGS\PLAN SET\SITE DEVELOPMENT PLAN\MD204000-CNDS-1-PLAN\LAYOUT-30 - ELEVATIONS



**Proposed Exterior Materials**

- BR-1 Thin Brick Veneer: McNear Brick & Block, Sandmold Series, Modular, Color: Genova
- SD-1 Fiber Cement Siding: Nichiha, Vintage Wood, Color: Ash (EPC754F)
- MTL-1 Corrugated Metal Panel - Gray
- MTL-2 Metal Coping - Black
- RF-1 Membrane Roofing
- SF-1 Exterior Metal Storefront System - Black
- DR-1 Hollow Metal Door - Black
- DR-2 Exterior Glass & Metal Door - Black
- GR-1 Painted Graphics
- SG-1 Internally Illuminated Sign

**Proposed Exterior Materials**

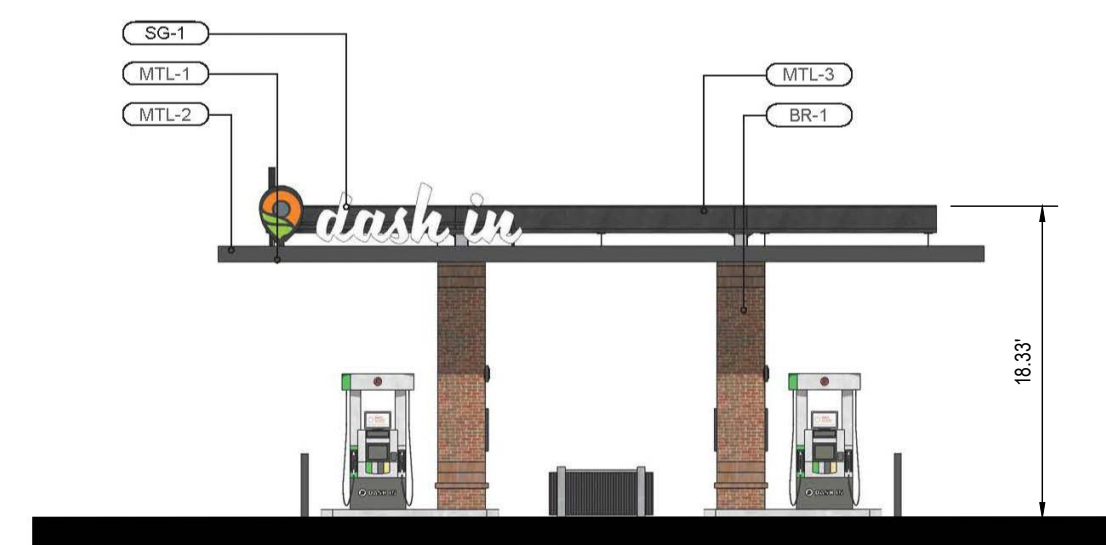
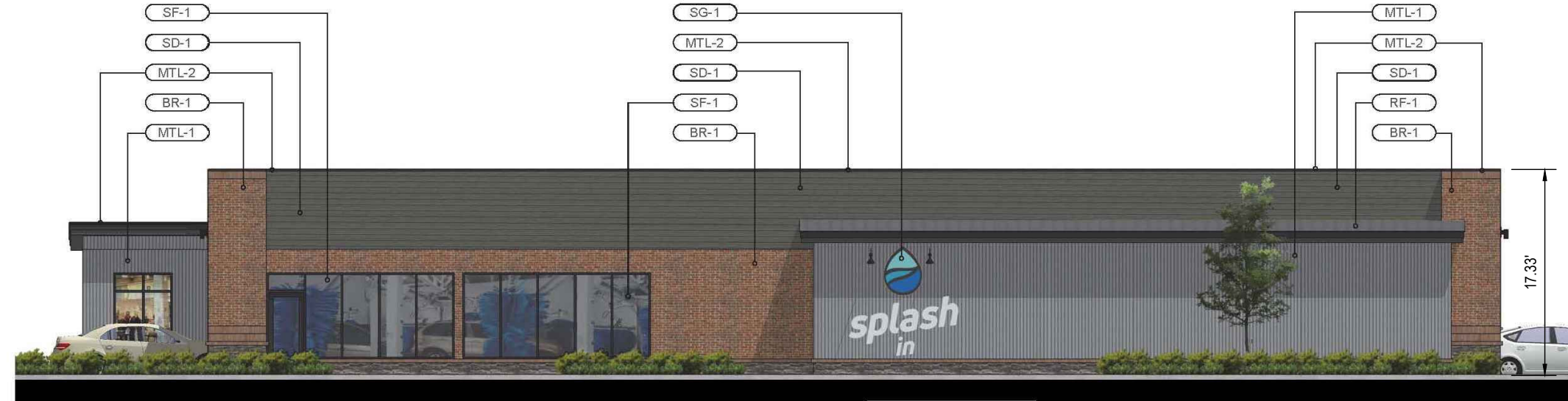
- BR-1 Thin Brick Veneer: McNear Brick & Block, Sandmold Series, Modular, Color: Genova
- MTL-1 Galvanized Metal Decking - Grey
- MTL-2 Fascia Panel - Black
- MTL-3 Painted Structural Members - Black
- SG-1 Internally Illuminated Sign

Front Elevation

Front Elevation

**SPLASH IN 1832 Tunnel Car Wash Elevations**  
 100 N. Charles Street, Baltimore, MD 21201  
 410.837.3727  
 hci design group

**DASH IN 1832 Gas Canopy Elevations**  
 100 N. Charles Street, Baltimore, MD 21201  
 410.837.3727  
 hci design group



**Proposed Exterior Materials**

- BR-1 Thin Brick Veneer: McNear Brick & Block, Sandmold Series, Modular, Color: Genova
- SD-1 Fiber Cement Siding: Nichiha, Vintage Wood, Color: Ash (EPC754F)
- MTL-1 Corrugated Metal Panel - Gray
- MTL-2 Metal Coping - Black
- RF-1 Membrane Roofing
- SF-1 Exterior Metal Storefront System - Black
- DR-1 Hollow Metal Door - Black
- DR-2 Exterior Glass & Metal Door - Black
- GR-1 Painted Graphics
- SG-1 Internally Illuminated Sign

**Proposed Exterior Materials**

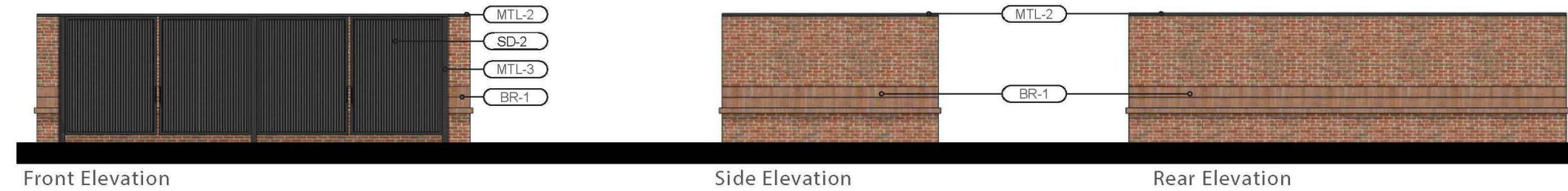
- BR-1 Thin Brick Veneer: McNear Brick & Block, Sandmold Series, Modular, Color: Genova
- MTL-1 Galvanized Metal Decking - Grey
- MTL-2 Fascia Panel - Black
- MTL-3 Painted Structural Members - Black
- SG-1 Internally Illuminated Sign

Back Elevation

Side Elevation

**SPLASH IN 1832 Tunnel Car Wash Elevations**  
 100 N. Charles Street, Baltimore, MD 21201  
 410.837.3727  
 hci design group

**DASH IN 1832 Gas Canopy Elevations**  
 100 N. Charles Street, Baltimore, MD 21201  
 410.837.3727  
 hci design group



**Proposed Exterior Materials**

- BR-1 Thin Brick Veneer: McNear Brick & Block, Sandmold Series, Modular, Color: Genova
- SD-2 Composite Wood Siding - Black
- MTL-2 Metal Coping - Gray
- MTL-3 Aluminum Post - Black

Front Elevation

Side Elevation

Rear Elevation

**DASH IN 1832 Store - Trash Enclosure**  
 100 N. Charles Street, Baltimore, MD 21201  
 410.837.3727  
 hci design group



**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

Chief, Development Engineering Division  
 Chief, Division of Land Development  
 Director, Department of Planning & Zoning

9/22/2023  
 9/25/2023  
 10/6/2023

OWNER: POTOMAC ENERGY HOLDINGS, LLC PO BOX 2810 LA PLATA, MD 20646 CONTACT: JASON BELT PHONE: 240-320-6448	DEVELOPER: DASH-IN 102 CENTENNIAL STREET, STE. 100 LA PLATA, MD 20645 CONTACT: JASON BELT PHONE: 240-320-6448	
TAX MAP: 24	GRID: 5	PARCEL: 112
ZONED: B-2		
2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND		
SUBDIVISION NAME: SHELL OIL COMPANY PARCEL 'A' SECTION AREA: N/A DEED # 11525 / 00383 PLAT # 10025, 26936 PREVIOUS DPZ FILE NUMBERS: SDP-73-056, SDP-73-062, SDP-84-051, SDP-91-102, F-91-158, F-24-010, WP-91-185, BA-90-13E, ECP 22-032, BA-22-001C&V, WP-27-073.		

**ARCHITECTURAL ELEVATIONS**

SHEET NUMBER: 31

SHA TRACKING NO.: 22APH016XX

**FILE NO. SDP-23-007**

**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

**811**  
 Know what's below.  
 Call before you dig.  
 ALWAYS CALL 811  
 It's fast. It's free. It's the law.

**APPROVED FOR CONSTRUCTION**

PROJECT No.: MD204000  
 DRAWN BY: DMD/BN  
 CHECKED BY: RMS  
 DATE: 02/24/23  
 CAD ID: CND5 - 1

**SITE DEVELOPMENT PLAN**  
 FOR  
**DASH IN**  
 STORE #1832  
 9075 BALTIMORE NATIONAL PIKE (US RTE. 40)  
 ELLICOTT CITY, MD 21043  
 TAX MAP 24, GRID 5, PARCEL 112  
 HOWARD COUNTY  
 2ND ELECTION DISTRICT  
 ZONE: B-2

**BOHLER**  
 901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21204  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 MD@BohlerEng.com

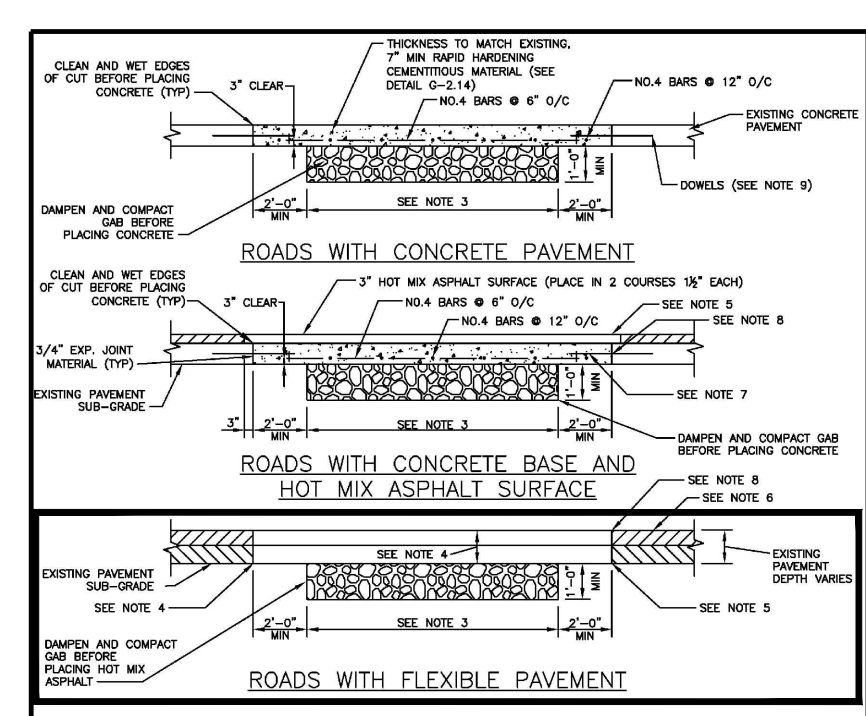
**R.M. STASOWSKI**  
 PROFESSIONAL ENGINEER  
 No. 49426, EXPIRATION DATE: 6/9/2024

H:\2023\202304000\DRAWINGS\PLAN SET\SITE DEVELOPMENT PLAN\MD204000-CND5-1-LAYOUT\31 - ELEVATIONS

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)	3 TO <5			5 TO <7			≥ 7			
			MIN. SUPERPAVE ASPHALT MIX WITH GRAB	MIN. SUPERPAVE ASPHALT MIX WITH CONFINED GAB	MIN. SUPERPAVE ASPHALT MIX WITH CONFINED GAB	MIN. SUPERPAVE ASPHALT MIX WITH CONFINED GAB	MIN. SUPERPAVE ASPHALT MIX WITH CONFINED GAB	MIN. SUPERPAVE ASPHALT MIX WITH CONFINED GAB	MIN. SUPERPAVE ASPHALT MIX WITH CONFINED GAB	MIN. SUPERPAVE ASPHALT MIX WITH CONFINED GAB	MIN. SUPERPAVE ASPHALT MIX WITH CONFINED GAB	
P-1	PARKING BAYS: RESIDENTIAL AND NON-RESIDENTIAL PARKING DRIVE ASILES RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 2 HEAVY TRUCKS PER DAY	SUPERPAVE ASPHALT MIX FINAL SURFACE 9.5 MM PG 64-225, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	
			SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE (NA)	NA	NA	NA	NA	NA	NA	NA	NA	
			SUPERPAVE ASPHALT MIX BASE 19.0 MM PG 64-225, LEVEL 1 (ESAL)	2.0	2.0	2.0	3.5	3.0	2.5	2.0	2.0	2.0
			GRADED AGGREGATE BASE (GAB)	8.5	7.0	5.0	4.0	4.0	4.0	4.0	4.0	4.0
P-2	PARKING DRIVE ASILES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY LOCAL ROADS, ACCESS STREET CUL-DE-SACS, RESIDENTIAL	SUPERPAVE ASPHALT MIX FINAL SURFACE 9.5 MM PG 64-225, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	
			SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE (NA)	NA	NA	NA	NA	NA	NA	NA	NA	
			SUPERPAVE ASPHALT MIX BASE 19.0 MM PG 64-225, LEVEL 1 (ESAL)	2.0	2.0	2.0	3.5	3.0	2.0	2.0	2.0	2.0
			GRADED AGGREGATE BASE (GAB)	8.0	4.0	3.0	4.0	4.0	4.0	4.0	4.0	4.0
P-3	PARKING DRIVE ASILES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY LOCAL ROADS, ACCESS STREET CUL-DE-SACS, RESIDENTIAL MINOR COLLECTORS:	SUPERPAVE ASPHALT MIX FINAL SURFACE 9.5 MM PG 64-225, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	
			SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE (NA)	NA	NA	NA	NA	NA	NA	NA	NA	
			SUPERPAVE ASPHALT MIX BASE 19.0 MM PG 64-225, LEVEL 1 (ESAL)	3.0	3.0	3.0	4.5	3.0	2.0	2.0	2.0	2.0
			GRADED AGGREGATE BASE (GAB)	10.0	6.0	3.0	8.0	6.0	6.0	6.0	6.0	6.0
P-4	MINOR COLLECTORS: NON-RESIDENTIAL MAJOR COLLECTORS	SUPERPAVE ASPHALT MIX FINAL SURFACE 12.5 MM PG 64-225, LEVEL 2 (LOW ESAL)	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	
			SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE (NA)	NA	NA	NA	NA	NA	NA	NA	NA	
			SUPERPAVE ASPHALT MIX BASE 19.0 MM PG 64-225, LEVEL 2 (LOW ESAL)	4.0	4.0	3.0	6.0	5.0	3.0	3.0	3.0	3.0
			GRADED AGGREGATE BASE (GAB)	13.0	7.0	4.0	6.0	6.0	6.0	6.0	6.0	6.0

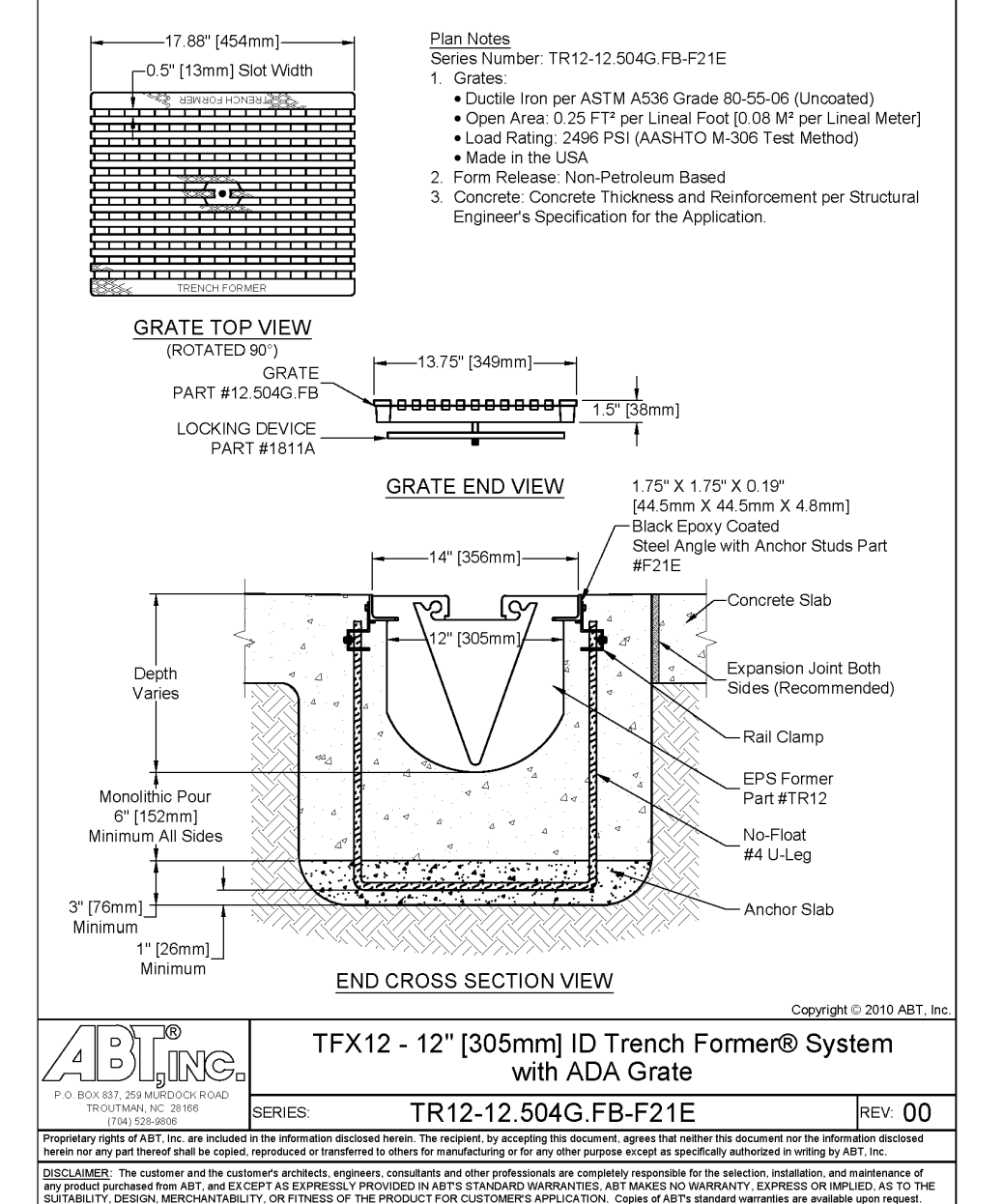
**NOTES:**  
 1. HEAVY TRUCKS ARE DEFINED AS THOSE WITH 300 (3) WHEELS OR MORE INCLUDING GARbage TRUCKS.  
 2. SUPERPAVE ASPHALT MIX LAYERS SHALL BE PLACED IN APPROPRIATE COMPACTED LIFT THICKNESS: 19.0 MM BASE (LOW ESAL), 12.5 MM SURFACE (1.5" MIN. TO 3.0" MAX.) AND 9.5 MM SURFACE (1.5" MIN. TO 3.0" MAX.)  
 3. GRADED AGGREGATE BASE (GAB) TO BE PLACED AND COMPACTED IN 4" MAX. COMPACTED THICKNESS LAYERS.  
 4. THE INTERMEDIATE SURFACE COURSE LAYER MUST BE PLACED WITHIN 2 WEEKS OF PLACEMENT OF BASE COURSE, AND IS REQUIRED PRIOR TO SUBSTANTIAL COMPLETION INSPECTION AND BOND REDUCTION.  
 5. IN LIEU OF PLACING THE INTERMEDIATE SURFACE COURSE LAYER FOR COMPARISON/INDUSTRIAL ENTRANCE APPROX WITHIN THE COUNTY RIGHT-OF-WAY WHERE AUXILIARY LANES ARE NOT REQUIRED, THE THICKNESS OF THE INTERMEDIATE PAVEMENT LAYER CAN BE ADDED TO THE REQUIRED THICKNESS OF THE BASE ASPHALT LAYER.  
 6. THE CONSTRUCTION DRAWINGS SHALL SHOW THE PAVING SECTION, ROAD CLASSIFICATION AND CBR VALUE FOR EACH ROADWAY.

Howard County, Maryland  
 Department of Public Works  
 P-1 to P-4  
 Detail R-2.01  
 Chief, Bureau of Engineering

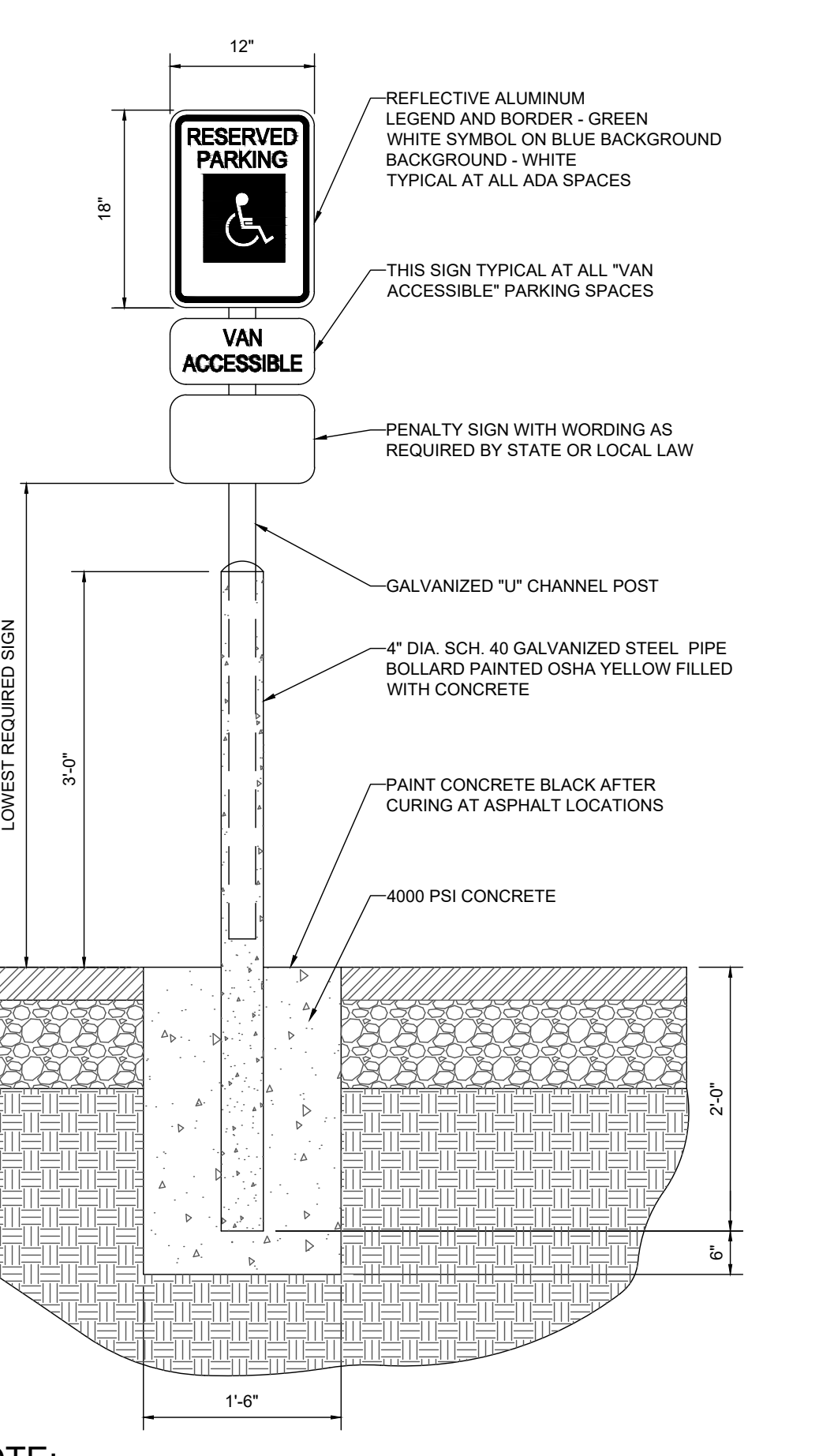


**NOTES:**  
 1. PREPARE A TRENCH, EXPOSE A CONCRETE SHOULDER AND SET REGULATORS TO THE EXISTING SLAB BETWEEN THE EDGE OF THE TRENCH AND THE WORKED JOINT SHALL BE FINISHED IF THE DISTANCE IS LESS THAN 10 FEET.  
 2. CLEAN AND SET EDGES OF CUT AND SURFACE BEFORE PLACING CONCRETE.  
 3. AGGREGATE SUB-BASE WITH SHALL BE 8" MINIMUM OF ACTUAL TRENCH WIDTH, MAJOR DIRT IS EXPOSED.  
 4. SET UP AGAINST TRENCH WITH THICKNESS SHALL BE EQUAL TO THE EXISTING PAVING BELOW OR AS APPROVED BY DOW. THE MINIMUM PAVING SHALL CONSIST OF 2" MIN. SURFACE COURSE OVER 4" MIN. BASE COURSE. GRADED AGGREGATE BASE COURSE SHALL BE PLACED AND COMPACTED IN 4" MINIMUM COMPACTED THICKNESS LAYERS.  
 5. CLEAN EXPOSED VERTICAL SURFACE OF ADJACENT PAVEMENT AND PLACE TACK COAT ON ALL VERTICAL SURFACES PRIOR TO PLACING NEW.  
 6. IF THE REMAINING EXISTING PAVEMENT IS LESS THAN 4" WIDE - THE REMAINING PAVEMENT SHALL BE REMOVED IN ITS ENTIRETY AND REPAIRED.  
 7. CONCRETE REPLACEMENT SHALL BE 10" MINIMUM MIX NO. 6.  
 8. SAW CUT FULL DEPTH ALL JOINTS OF EXISTING CONCRETE, REINFORCED AND SIDE PAVEMENTS.  
 9. REINFORCEMENT OF CONCRETE PAVING SHALL BE ACCOMPANIED BY CORNERING.  
 10. JOINTS SHALL BE CENTERED IN PAVEMENT THICKNESS. NEW REINFORCING SHALL BE TIED TO DOMES.  
 11. TOTAL JOINT WIDTH SHALL BE EQUAL TO THE JOINT WIDTH AS INDICATED WITH THE SPECIFICATIONS.

Howard County, Maryland  
 Department of Public Works  
 Utility Trench Roadway Repaving  
 G-4.01  
 Chief, Bureau of Engineering

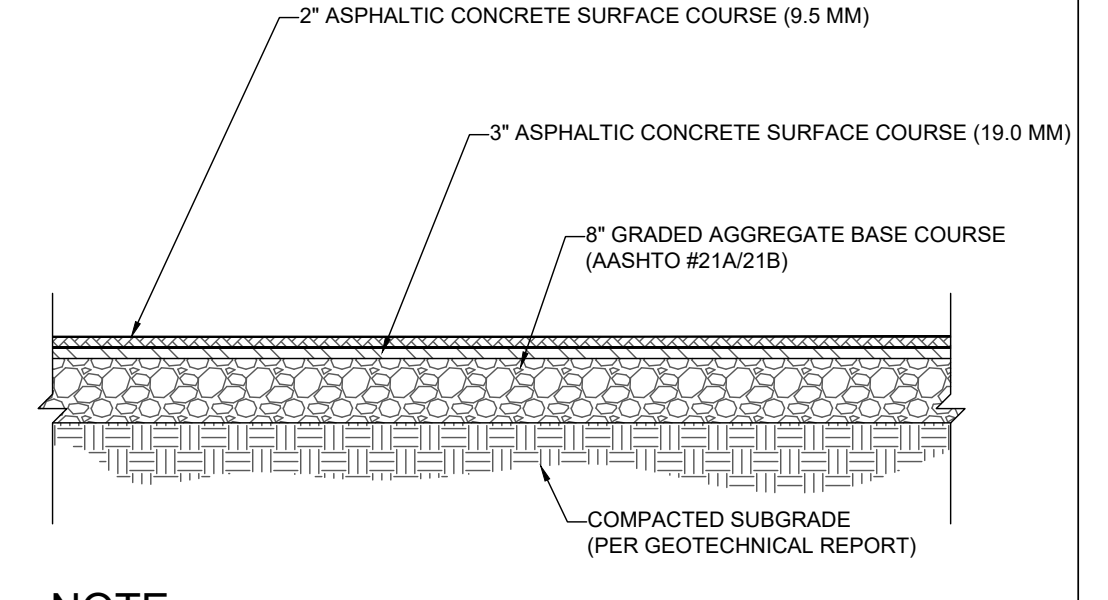


TFX12 - 12" [305mm] ID Trench Former® System with ADA Grate  
 SERIES: TR12-12.504G.FB-F21E  
 REV 00



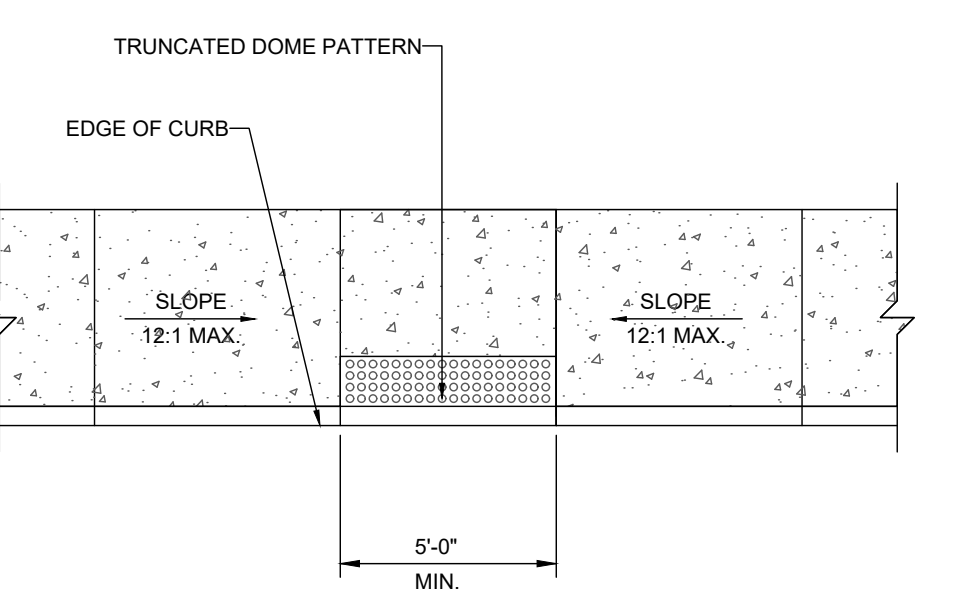
**NOTE:**  
 ONE AT EACH ADA SPACE. WHERE ADA SPACES FACE EACH OTHER WITHOUT WALKWAY, THERE SHALL BE ONE POST WITH SIGNS MOUNTED BOTH SIDES

Howard County, Maryland  
 Department of Public Works  
 Detail G-4.01  
 Chief, Bureau of Engineering



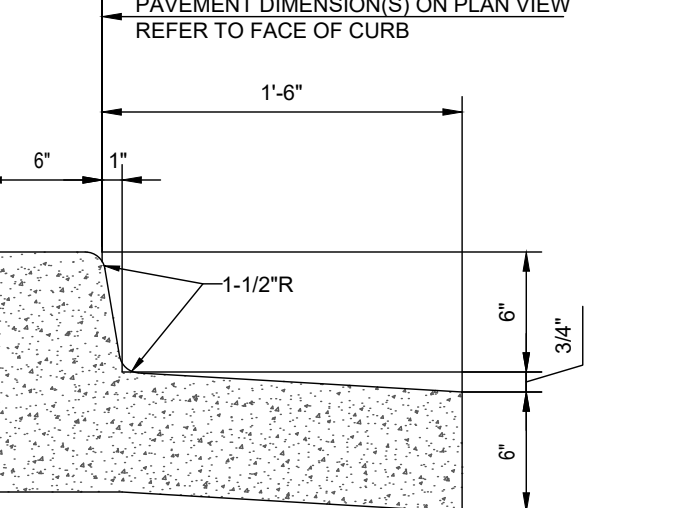
**NOTE:**  
 1. SECTION SHOWN IS BASED ON AN ANTICIPATED CBR OF 5 PER GEOTECHNICAL REPORT PREPARED BY ECS MID-ATLANTIC, LLC, ENTITLED "GEOTECHNICAL ENGINEERING REPORT: DASH IN STORE #1832; 9075 BALTIMORE NATIONAL PIKE, ELLICOTT CITY, HOWARD COUNTY, MARYLAND", DATED SEPTEMBER 13, 2021 (PROJECT #023579). FINAL DESIGN TO BE PROVIDED BY GEOTECHNICAL ENGINEER ONCE FINAL CBR'S ARE AVAILABLE ON COMPACTED SUB-BASE.

**HEAVY DUTY ASPHALT PAVEMENT SECTION**  
 NOT TO SCALE

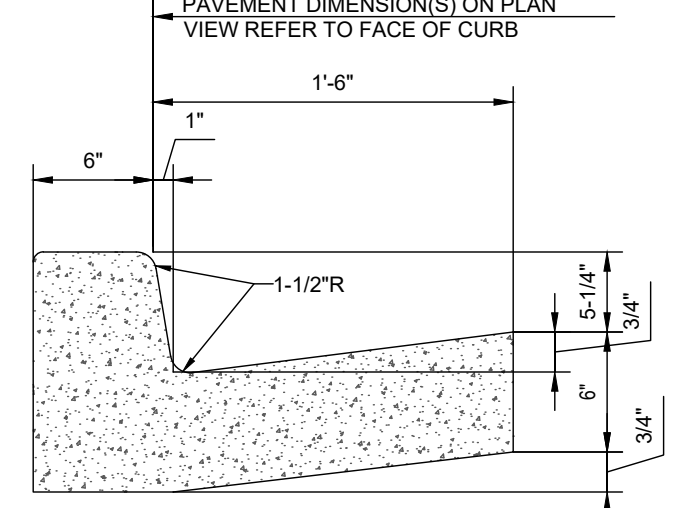


**NOTE:**  
 ADA ACCESSIBLE RAMP CONSTRUCTION SHALL CONFORM TO CURRENT ADA ACCESSIBLE GUIDELINES.

**ADA ACCESSIBLE RAMP DETAIL**  
 NOT TO SCALE



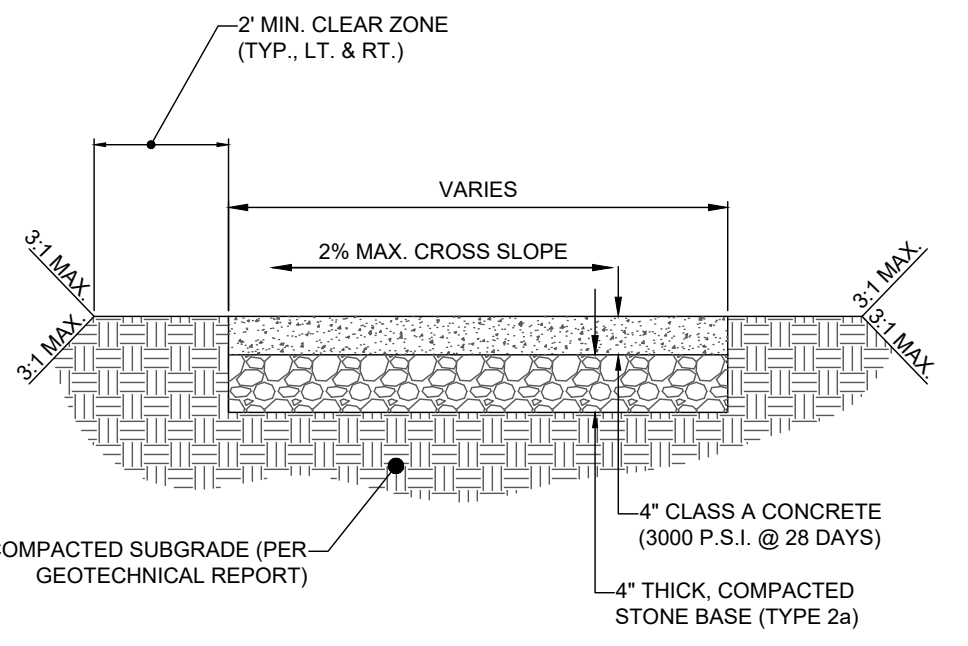
**SPILL CURB & GUTTER**  
 NOT TO SCALE



**COLLECTOR CURB & GUTTER**  
 NOT TO SCALE

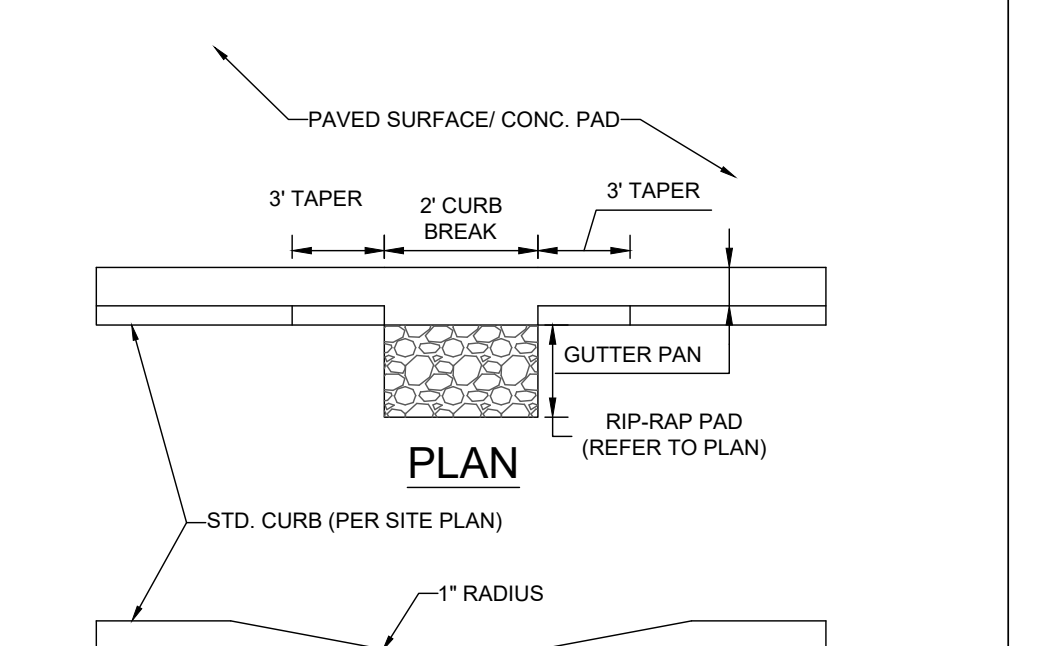
**NOTES:**  
 1. CONCRETE FOR CURBING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 P.S.I. @ 28 DAYS.  
 2. CONSTRUCTION STAKING FOR CURB INSTALLATION SHALL BE REFERENCED (CUT OR FILL) TO THE TOP OF CURB.  
 3. AT CONTRACTOR'S OPTION, THE GUTTER THICKNESS MAY BE INCREASED AT THE EDGE OF PAVEMENT TO MAKE BOTTOM OF GUTTER CONTIGUOUS WITH BOTTOM OF ASPHALT PAVEMENT.  
 4. CONTRACTION JOINTS SHALL BE PLACED @ 10'-0" O.C. TOOLED 1/4" (±1/16") WIDE, 1" DEEP. EXPANSION JOINTS SHALL BE PLACED @ 40'-0" INTERVALS, MAXIMUM, AND ALL P.C.'S.  
 5. GUTTER PAN SLOPE TO BE ADJUSTED WITHIN ACCESSIBLE PARKING SPACES TO MATCH SLOPE BETWEEN SPOT ELEVATIONS.

**CONCRETE CURB & GUTTER DETAIL**  
 NOT TO SCALE



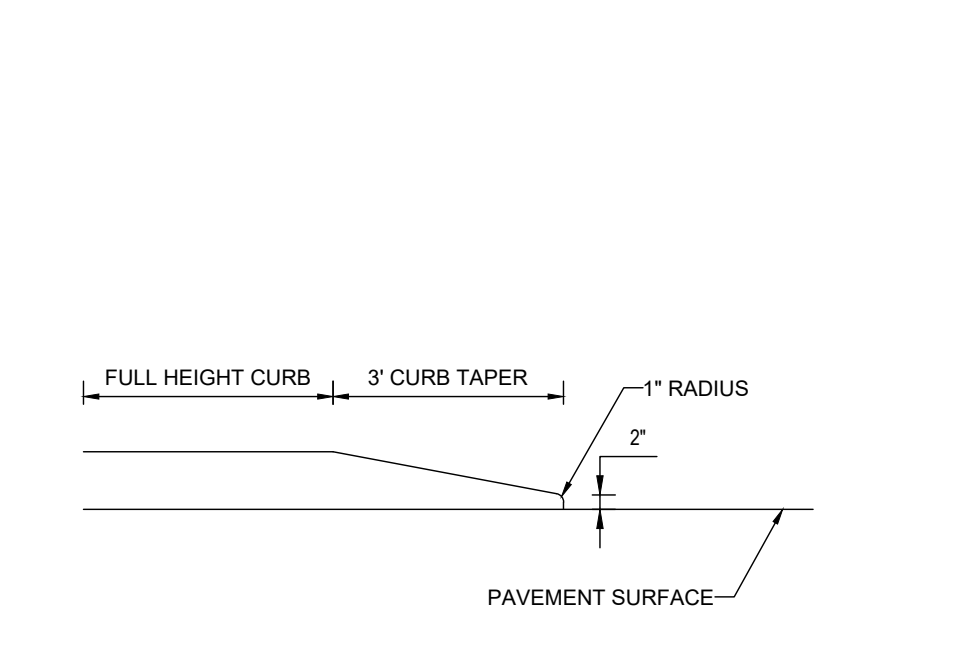
**NOTE:**  
 1. EXPANSION JOINTS 1/2" WIDE PREMOULDED BIT. MATERIAL SHALL BE INSTALLED AT 30' INTERVALS, CRACK CONTROL JOINTS TO BE SPACED AT INTERVALS EQUAL TO SIDEWALK WIDTH.

**CONCRETE SIDEWALK DETAIL**  
 NOT TO SCALE



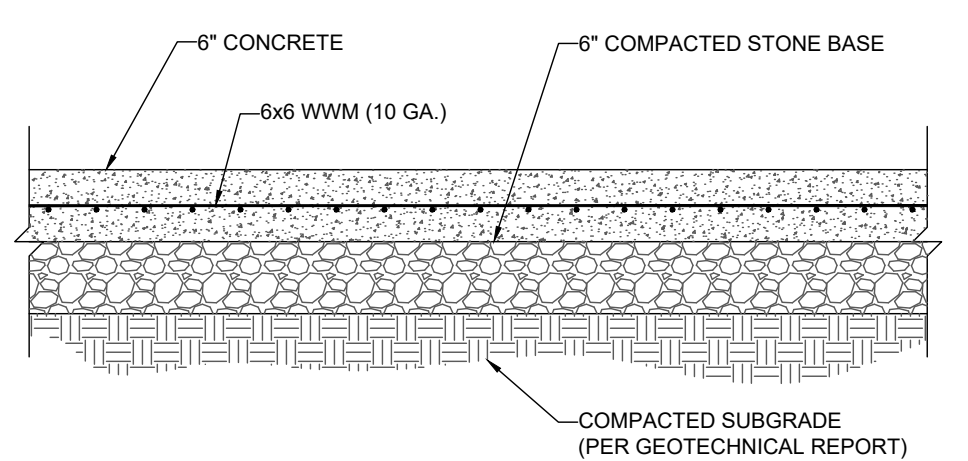
**NOTE:**  
 1. EXPANSION JOINTS 1/2" WIDE PREMOULDED BIT. MATERIAL SHALL BE INSTALLED AT 30' INTERVALS, CRACK CONTROL JOINTS TO BE SPACED AT INTERVALS EQUAL TO SIDEWALK WIDTH.

**CURB BREAK DETAIL**  
 NOT TO SCALE



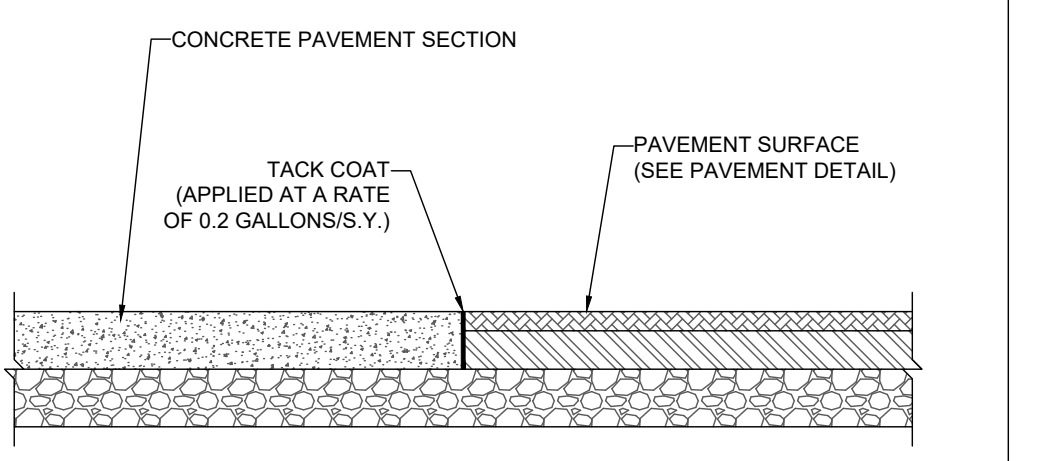
**NOTE:**  
 1. EXPANSION JOINTS 1/2" WIDE PREMOULDED BIT. MATERIAL SHALL BE INSTALLED AT 30' INTERVALS, CRACK CONTROL JOINTS TO BE SPACED AT INTERVALS EQUAL TO SIDEWALK WIDTH.

**CURB TAPER DETAIL**  
 NOT TO SCALE



**NOTE:**  
 1. SECTION SHOWN IS BASED ON AN ANTICIPATED CBR OF 5 PER GEOTECHNICAL REPORT PREPARED BY ECS MID-ATLANTIC, LLC, ENTITLED "GEOTECHNICAL ENGINEERING REPORT: DASH IN STORE #1832; 9075 BALTIMORE NATIONAL PIKE, ELLICOTT CITY, HOWARD COUNTY, MARYLAND", DATED SEPTEMBER 13, 2021 (PROJECT #023579). FINAL DESIGN TO BE PROVIDED BY GEOTECHNICAL ENGINEER ONCE FINAL CBR'S ARE AVAILABLE ON COMPACTED SUB-BASE.

**HEAVY DUTY CONCRETE SECTION**  
 NOT TO SCALE



**NOTE:**  
 1. SECTION SHOWN IS BASED ON AN ANTICIPATED CBR OF 5 PER GEOTECHNICAL REPORT PREPARED BY ECS MID-ATLANTIC, LLC, ENTITLED "GEOTECHNICAL ENGINEERING REPORT: DASH IN STORE #1832; 9075 BALTIMORE NATIONAL PIKE, ELLICOTT CITY, HOWARD COUNTY, MARYLAND", DATED SEPTEMBER 13, 2021 (PROJECT #023579). FINAL DESIGN TO BE PROVIDED BY GEOTECHNICAL ENGINEER ONCE FINAL CBR'S ARE AVAILABLE ON COMPACTED SUB-BASE.

**CONCRETE-TO-ASPHALT DETAIL**  
 NOT TO SCALE

**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

**811**  
 Know what's below.  
 Call before you dig.  
 ALWAYS CALL 811  
 It's fast. It's free. It's the law.

**APPROVED FOR CONSTRUCTION**

PROJECT NO.: MD204000  
 DRAWN BY: DMD/BSM  
 CHECKED BY: RIMS  
 DATE: 02/24/23  
 CAD ID: CND5-1

**SITE DEVELOPMENT PLAN**  
 FOR  
**DASH IN**  
 STORE #1832  
 9075 BALTIMORE NATIONAL PIKE (US RTE. 40)  
 ELLICOTT CITY, MD 21043  
 TAX MAP 24, GRID 5, PARCEL 112  
 HOWARD COUNTY  
 2ND ELECTION DISTRICT  
 ZONE: B-2

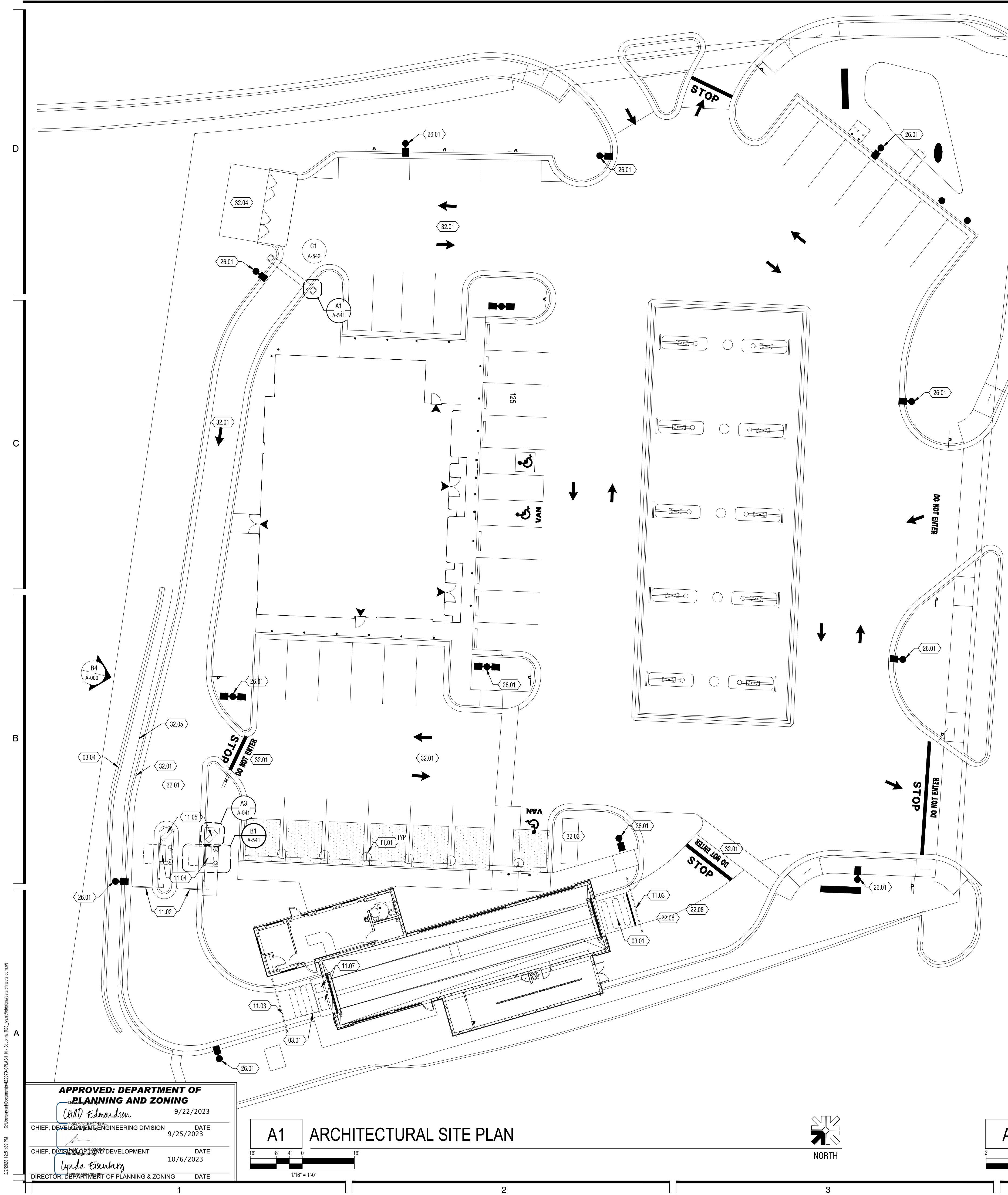
**BOHLER**  
 901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21204  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 MD@BohlerEng.com

**R.M. STASIOWSKI**  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 17605

**SITE DETAILS**  
 SHEET NUMBER: 32  
 SHA TRACKING NO.: 22APH0016XX  
**FILE NO. SDP-23-007**

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**  
 9/22/2023  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 9/25/2023  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 10/6/2023  
 DIRECTOR, DEPARTMENT OF PLANNING & ZONING



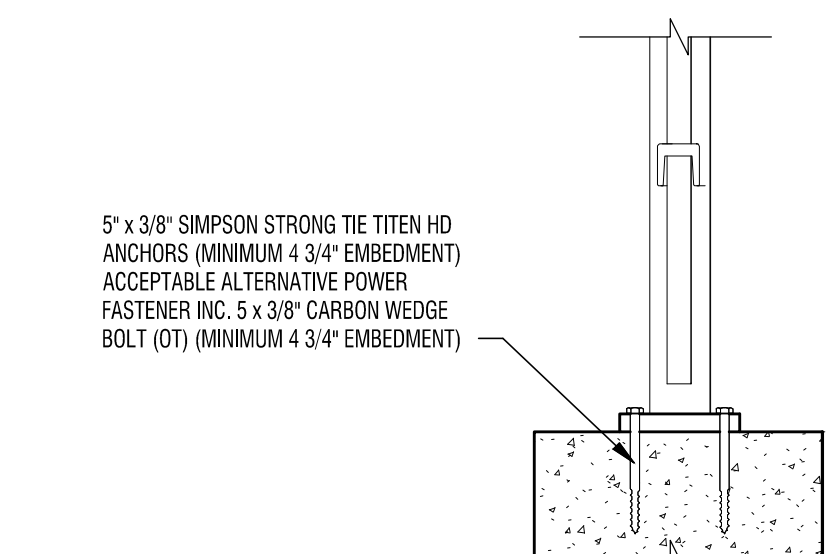


**KEYNOTES**

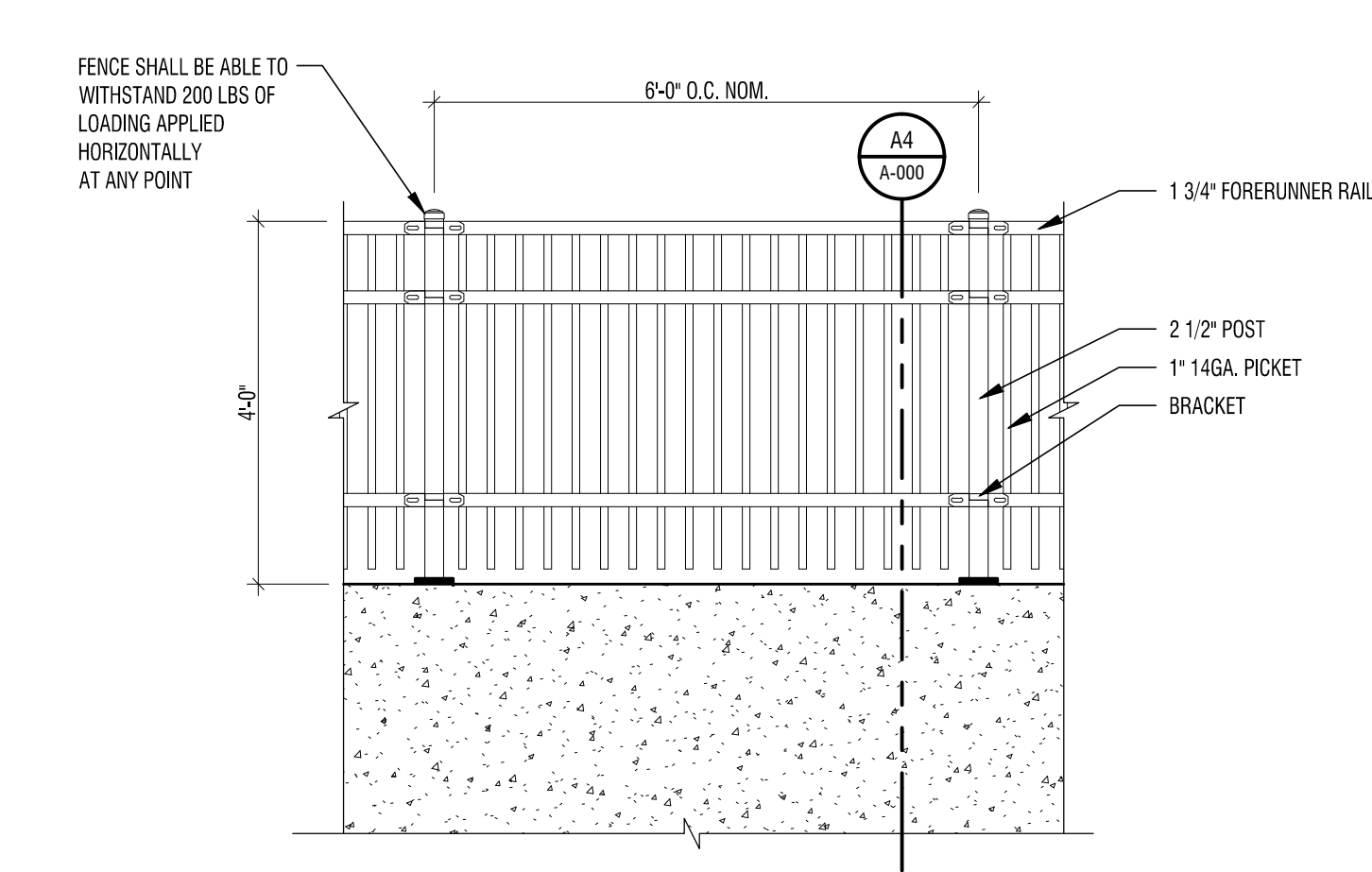
#	DESCRIPTION
03.01	HEATED CONCRETE SLAB - SEE MECHANICAL DRAWINGS
03.04	CONCRETE RETAINING WALL
11.01	SELF SERVICE VACUUM - SEE EQUIPMENT DRAWINGS
11.02	CONTROL GATE
11.03	CAMERA ARCH
11.04	PAY POINT STATION
11.05	MENU BOARD
11.07	CORRELATOR PIT, SEE DETAILS ON A-533
22.08	WATER RECLAMATION TANK - SEE PLUMBING
26.01	LIGHT POLE - SEE ELECTRICAL
32.01	ASPHALT MARKING - SEE CIVIL
32.03	VACUUM EQUIPMENT ENCLOSURE - SEE CIVIL
32.04	TRASH ENCLOSURE - SEE CIVIL
32.05	GUARD RAIL - SEE CIVIL

**GENERAL NOTES**

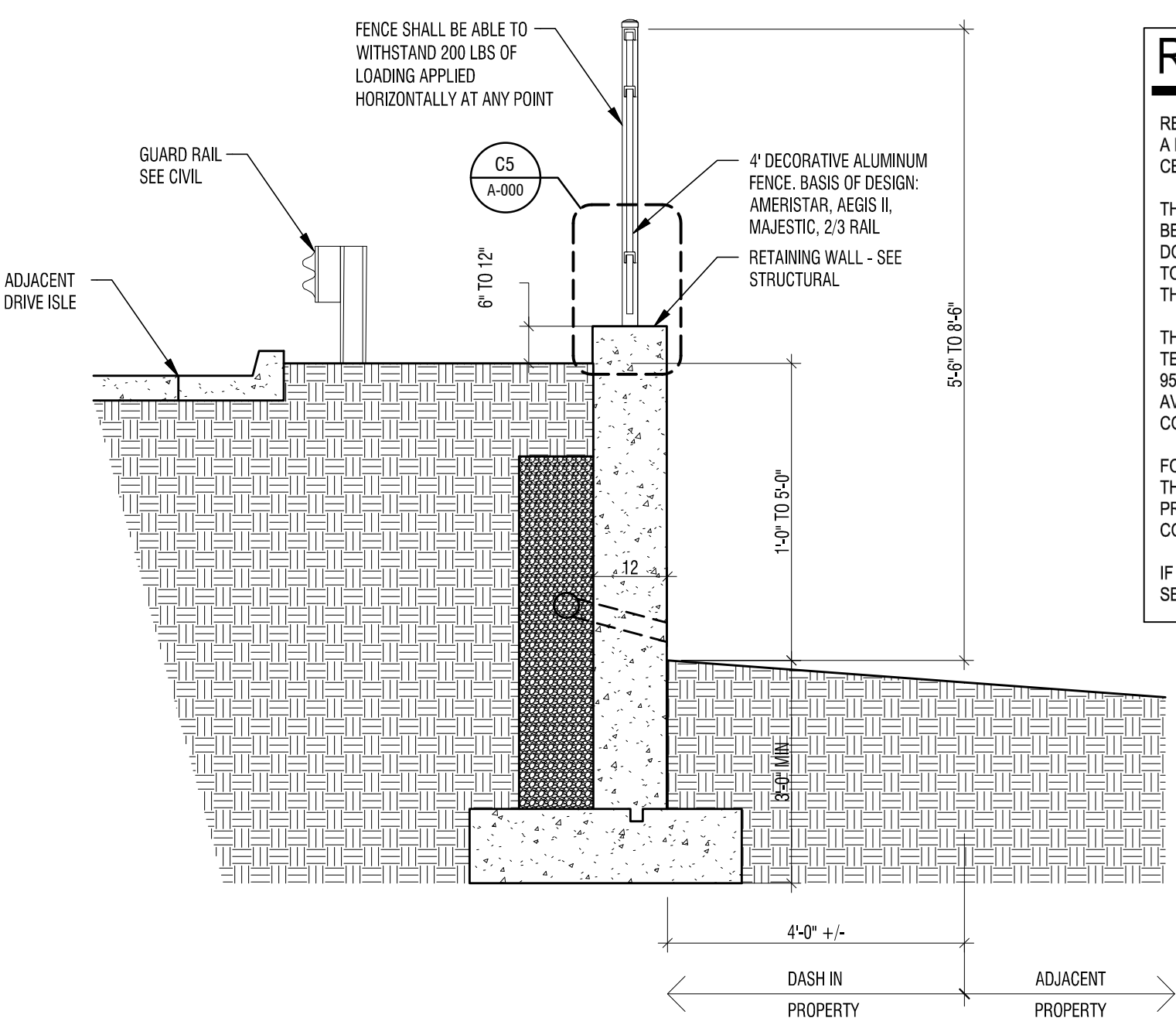
- NOTES:
1. FINISH GRADE SHALL HAVE A SLOPE AWAY FROM THE BUILDING OF 6" MINIMUM FOR THE FIRST TEN FEET AND A 2% SLOPE THEREAFTER. ALL DRAINAGE FROM LOT SHALL DRAIN INTO AN APPROVED DRAINAGE SYSTEM. ALL EARTH FILL TO RECEIVE CONCRETE FLOORS, WALKS, DRIVES, ETC., SHALL BE SETTLED AND TAMPED TO 90% MINIMUM COMPACTION.
  2. CONTRACTOR SHALL CONSULT GEO-TECHNICAL REPORT AND IMPLEMENT ALL REQUIREMENTS.



**C5 POST ATTACHMENT DETAIL**  
1 1/2" = 1'-0"



**B4 FENCE DETAIL**  
1/2" = 1'-0"



**A4 RETAINING WALL W/ FENCE DETAIL**  
1/2" = 1'-0"

**RETAINING WALL NOTES**

RETAINING WALLS SHALL ONLY BE CONSTRUCTED UNDER THE OBSERVATION OF A REGISTERED PROFESSIONAL ENGINEER AND A (NICET, WAGEL OR EQUIVALENT) CERTIFIED SOILS TECHNICIAN

THE REQUIRED BEARING PRESSURE BENEATH THE FOOTING OF THE WALL SHALL BE VERIFIED IN THE FIELD BY A CERTIFIED SOILS TECHNICIAN. TESTING DOCUMENTATION SHALL BE PROVIDED TO HOWARD COUNTY INSPECTOR PRIOR TO THE START OF CONSTRUCTION. THE REQUIRED TEST PROCEDURE SHALL BE THE DYNAMIC CONE PENETROMETER TEST ASTM STP-399

THE SUITABILITY OF FILL MATERIAL SHALL BE CONFIRMED BY THE ONSITE SOILS TECHNICIAN. EACH EIGHT (8) INCH LIFT SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY AND THE TESTING REPORT SHALL BE MADE AVAILABLE TO THE HOWARD COUNTY INSPECTOR UPON COMPLETION OF CONSTRUCTION

FOR "CRITICAL" WALLS, ONE SOIL BORING SHALL BE REQUIRED EVERY 100' ALONG THE ENTIRE LENGTH OF THE WALL. COPIES OF ALL BORING REPORTS SHALL BE PROVIDED TO THE HOWARD COUNTY INSPECTOR PRIOR TO THE START OF CONSTRUCTION

IF NO SURCHARGE LOADS ARE CONSIDERED ADD A NOTE TO THE CROSS SECTION DETAILS STATING, "THIS WALL NOT DESIGNED FOR SURCHARGE LOADS."

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

9/22/2023

CHIEF DEVELOPER: *Will Edmondson*

CHIEF DEVELOPER: *Lynda Eschenberg*

DATE: 9/25/2023

DATE: 10/6/2023

DIRECTOR: DEPARTMENT OF PLANNING & ZONING

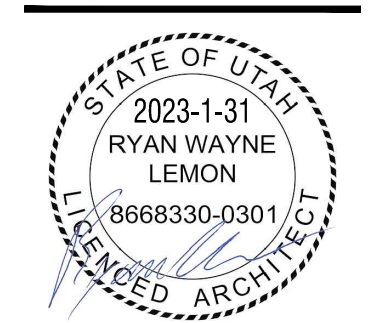
**A1 ARCHITECTURAL SITE PLAN**  
1/16" = 1'-0"

<b>OWNER:</b> POTOMAC ENERGY HOLDINGS, LLC LA PLATA, MD 20646 CONTACT: JASON BELT PHONE: 240-320-6448	<b>DEVELOPER:</b> DASH-IN 102 CENTENNIAL STREET, STE. 100 LA PLATA, MD 20645 CONTACT: JASON BELT PHONE: 240-320-6448	
TAX MAP: 24	GRID: 5	PARCEL: 112
2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND		
SUBDIVISION NAME: SHELL OIL COMPANY PARCEL 'A' SECTION: AREA 'A' DEED # 11525 / 00383 PLAT # 10025		
PREVIOUS DPZ NUMBERS: SDP-73-056, SDP-73-062, SDP-84-051, SDP-84-102, F-81-156, WIP-81-185, BA-80-136, ECP 22-032, BA-22-001C&V.		

**Ryan W. Lemon**  
ARCHITECT

**SPLASH IN CAR WASH**  
ST. JOHNS  
9075 BALTIMORE NATIONAL PIKE (US RTE. 40) ELLICOTT CITY, MD 21043  
THE WILLS GROUP

DESCRIPTION:	
MARK:	
DATE:	
PROJECT #:	422070
DRAWN BY:	NIELSON
CHECKED BY:	LEMON
ISSUED:	02/01/2023



DATE: 02/01/2023  
RYAN W. LEMON, AIA

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LIC: 17606 EXP: 03 FEBRUARY 2024

ARCHITECTURAL SITE PLAN & DETAILS

**A-000**

GENERAL NOTES:

GENERAL: ALL NOTES ARE FOR SUPPLEMENTING THE PLANS AND SPECIFICATIONS AND ARE IN NO WAY TO BE CONSIDERED AS EXCLUDING ANY ITEM IN THEM.

COORDINATION: IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE STRUCTURAL DRAWINGS AND THEIR DIMENSIONS WITH OTHER DRAWINGS AND IF A CONFLICT EXISTS HE SHALL NOT CARRY OUT THE AFFECTED WORK UNTIL THE ARCHITECT HAS RESOLVED THE CONFLICT.

CODE: DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE IBC 2018 CODE AND THE PARTICULAR CODES AS REFERENCED IN IBC 2018 BLDG CODE OR IN ACCORDANCE WITH THE ASCE 7-16.

FOUNDATION: THE SOILS REPORT AS PREPARED BY ECS MID-ATLANTIC SHALL BE CONSIDERED PART OF THESE SPECIFICATIONS. DATED SEPTEMBER 13 2021, PROJECT 0219579. IF ANY CONFLICT EXISTS BETWEEN SOIL CONSULTANTS REPORT AND THE FOLLOWING RECOMMENDATIONS, THE MORE STRINGENT REQUIREMENT WILL APPLY.

EXCAVATION FOR AND BEARING MATERIAL FOR FOUNDATIONS SHOULD BE SUPERVISED AND APPROVED BY A PROFESSIONAL SOILS ENGINEER REGISTERED IN THE JURISDICTION OF THE PROJECT.

THE FOOTINGS SHALL BE EXCAVATED AFTER THE BUILDING AREAS HAVE BEEN PROPERLY PREPARED.

MATERIAL SATISFACTORY FOR CONTROLLED FILL AND BACKFILL MATERIAL AROUND AND ABOVE FOOTINGS SHALL INCLUDE CLEAN SOIL OR BANKRUN SAND AND GRAVEL (GW, GC, SC, SM, ML & CL), BUT EXCLUDE HIGHLY PLASTIC CLAYS (MH & CH) OR HIGH SHRINK-SWELL SOILS.

ALL FOOTINGS SHALL BE CARRIED DOWN A MINIMUM OF ONE FOOT INTO VIRGIN SOIL OR COMPACTED FILL OR AS DIRECTED BY THE SOILS ENGINEER AND, IF EXTERIOR, SHALL BE A MINIMUM OF 2'-6" BELOW FINISHED EXTERIOR GRADE.

FOOTING EXCAVATIONS SHALL NOT BE LEFT OPEN FOR LONG PERIODS. IT IS SUGGESTED THAT THE BOTTOM OF THE FOOTING EXCAVATIONS AND TRENCHES BE PROTECTED BY UNDERCUTTING AND PLACING THREE (3) INCHES OF A LEAN-MIX CONCRETE SLAB IMMEDIATELY UPON APPROVAL AND BEFORE REINFORCING STEEL IS PLACED.

DEPTH OF EXCAVATIONS BELOW ANY FOOTINGS SHALL NOT EXCEED 1/2 THE DISTANCE FROM THE NEAREST EDGE OF THAT FOOTING.

PROVISIONS MUST BE TAKEN TO PROTECT ALL CONCRETE WORK FROM FROST DAMAGE WITH SPECIAL ATTENTION PAID TO FOOTINGS AND OTHER CONCRETE ON GRADE PRIOR TO BACKFILLING AND ENCLOSING THE BUILDING.

CARE SHOULD BE TAKEN TO ASSURE THAT DURING PLACING OF CONCRETE FOOTINGS AND SLABS ON GRADE NO ORGANIC MATTER, SALTS, OR CLAYS ARE MIXED WITH THE CONCRETE.

COMPACTION: EACH LAYER OF FILL SHALL BE COMPACTED AT OPTIMUM MOISTURE CONTENT (PLUS OR MINUS 2%) TO NOT LESS THAN 95% OF MAXIMUM DRY DENSITY.

LOWER DEGREES OF COMPACTION MAY BE PERMITTED BY THE BUILDING OFFICIAL AFTER RECEIPT OF A REPORT FROM THE SOILS ENGINEER CERTIFYING THAT HE HAS INVESTIGATED THE SUBSOIL OF THE SITE, HAS TESTED REPRESENTATIVE FILL MATERIALS AND THAT IN HIS OPINION SUCH LOWER DEGREE OF COMPACTION WILL BE ADEQUATE FOR THE INTENDED USE OF THE FILL.

IN-PLACE FIELD DENSITY SHALL BE DETERMINED IN ACCORDANCE WITH ASTM D-698 OR ASTM D-1557.

ALL FILLS SHALL BE PLACED IN APPROXIMATELY HORIZONTAL LAYERS, EACH LAYER HAVING A LOOSE THICKNESS OF NOT MORE THAN 8 INCHES.

NO FILL SHALL BE PLACED ON FROZEN GROUND.

CONCRETE: TO BE MIXED AND PLACED IN ACCORDANCE WITH THE CURRENT "AMERICAN CONCRETE INSTITUTE (ACI) BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE". A COPY OF THIS CODE SHALL BE AVAILABLE ON THE PROJECT AT ALL TIMES.

ALL REINFORCED CONCRETE, INCLUDING FLOOR TOPPING, TO

HAVE A COMPRESSIVE STRENGTH (f'c) OF 3,000 PSI, UNLESS OTHERWISE NOTED.

SLAB ON GRADE 3,500 PSI  
WALLS AND FOOTINGS 3,000 PSI

CONTRACTOR SHALL SUBMIT MIX DESIGNS ACCOMPANIED BY APPROPRIATE GRAPHS AND BACKGROUND DATA FOR APPROVAL. MIX DESIGN SHALL INDICATE 7 AND 28 DAY STRENGTHS, CEMENT CONTENT, AIR CONTENT, WATER-CEMENT RATIO, AMOUNT OF FINE AND COARSE AGGREGATES AND ADMIXTURES. ALL EXTERIOR CONCRETE AND CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED.

CONCRETE CYLINDER TESTS SHALL BE MADE BY AN INDEPENDENT QUALIFIED TESTING AGENCY, TO BE RETAINED AND PAID FOR BY THE CONTRACTOR, IN ACCORDANCE WITH ASTM SPECIFICATION FOR "COMPRESSION TESTS OF CONCRETE". A SET OF TEST CYLINDERS SHALL BE MADE FOR EACH 50 CUBIC YARDS, OR FRACTION THEREOF, OF CONCRETE PLACED:

Table with 3 columns: CYLINDER SIZE, NUMBER OF CYLINDERS REQUIRED 7 DAY, 28 DAY. Rows for 4x8 and 6x12.

THE TESTING AGENCY SHALL BE RESPONSIBLE FOR OBTAINING SAMPLES AND FOR STORAGE.

ALL CONTINUOUS REINFORCING SHALL BE CONTINUOUS OR LAPPED AT ALL SPLICES, CORNERS AND INTERSECTIONS A MINIMUM OF 30 BAR DIAMETERS (U.N.O.).

PROVIDE SPACERS, CHAIRS, TIES AS REQUIRED AND NECESSARY FOR ASSEMBLING, PLACING AND SUPPORTING ALL REINFORCEMENT IN PROPER POSITION.

CONCRETE PROTECTION FOR REINFORCEMENT SHALL BE AS GIVEN IN ACI-318.

ALL CONCRETE WORK, REINFORCING PLACEMENT, FORMWORK AND SHORING SHALL BE INSPECTED BY A PROFESSIONAL ENGINEER REGISTERED IN THE JURISDICTION OF THE PROJECT.

USE OF ADDITIVES SHALL NOT BE PERMITTED UNLESS SPECIFICALLY APPROVED BY THE STRUCTURAL ENGINEER. USE OF ADDITIVES CONTAINING CALCIUM CHLORIDE SHALL NOT BE PERMITTED.

USE OF 'CEMENT SUBSTITUTES' SUCH AS SLAG OR FLY ASH SHALL NOT BE PERMITTED WITHOUT PRIOR APPROVAL FROM THE STRUCTURAL ENGINEER. THE USE OF CEMENT SUBSTITUTES WILL ONLY BE PERMITTED DURING SPECIFIC SEASONS, DURING COLD WEATHER, AS DEFINED BY ACI, NO FLY ASH WILL BE PERMITTED FOR USE. THE AMOUNT OF FLY ASH PERMITTED IN THE MIX DESIGN WILL BE LIMITED TO 25% BY WEIGHT OF THE TOTAL AMOUNT OF CEMENT IN THE MIX.

REINFORCING STEEL: SHALL CONFORM TO ASTM SPECIFICATION A615, GRADE 60 FOR BARS, GRADE 40 FOR STIRRUPS AND TIES, AND ASTM SPECIFICATION A185 FOR WELDED WIRE FABRIC (WWF).

FABRICATION, INCLUDING ACCESSORIES, ALLOWANCE FOR CONCRETE PROTECTION AND MINIMUM AREA OF STEEL REQUIRED, TO BE IN ACCORDANCE WITH THE ACI BUILDING CODE AND MANUAL OF STANDARD PRACTICE.

SHOP DRAWINGS: FOR ALL STEEL STRUCTURAL ITEMS THAT ARE PART OF THIS PROJECT AND MUST BE REVIEWED BY THE STRUCTURAL ENGINEER.

NUMEROUS DIMENSIONAL ERRORS, LACK OF CONNECTION COORDINATION, AND MISSING MEMBER FABRICATION DETAILING ARE CONSIDERED PROOF THAT THE SHOP DRAWING HAVE NOT BEEN CHECKED OR ARE INCOMPLETE.

THE CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS FOR CONFORMANCE WITH THE STRUCTURAL/ARCHITECTURAL DRAWINGS BEFORE SUBMISSION TO THE STRUCTURAL ENGINEER.

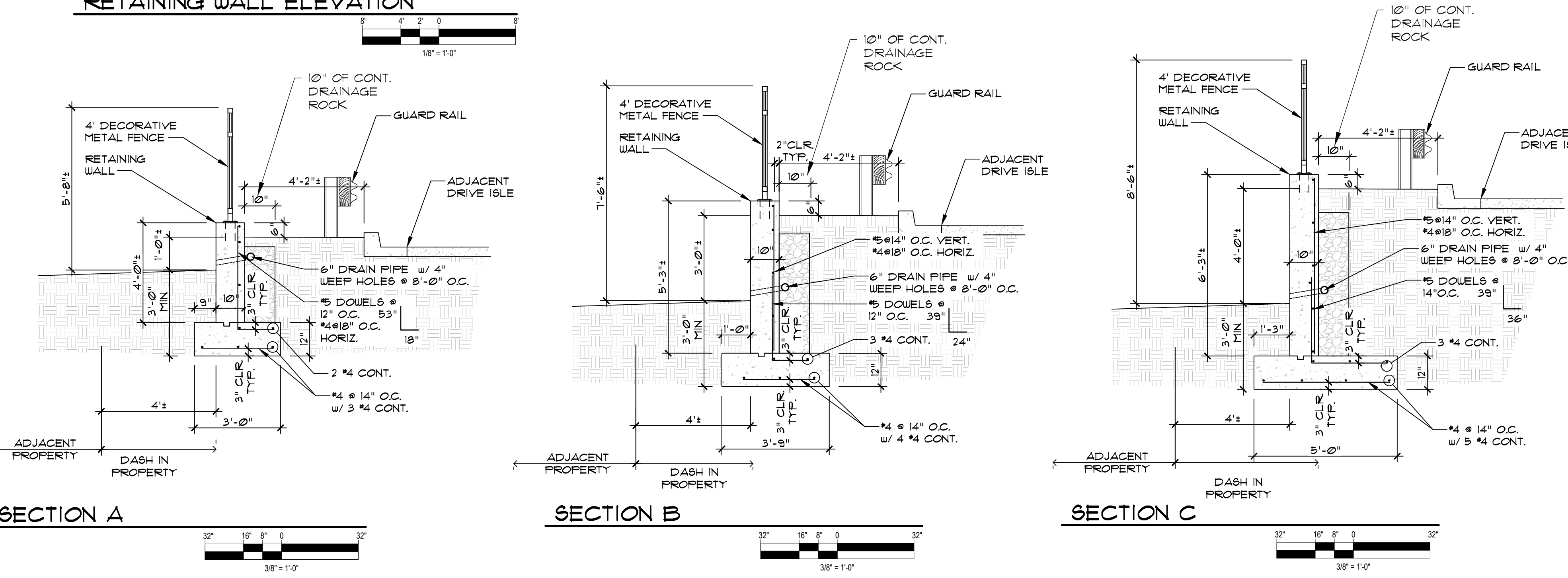
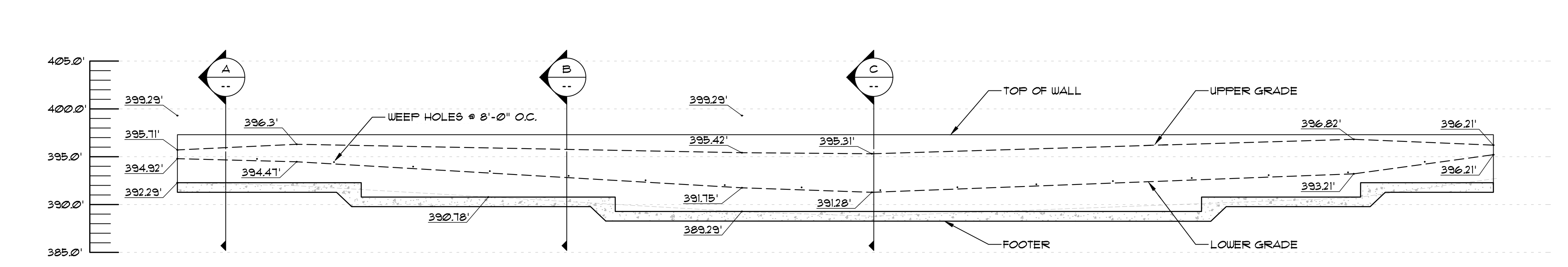
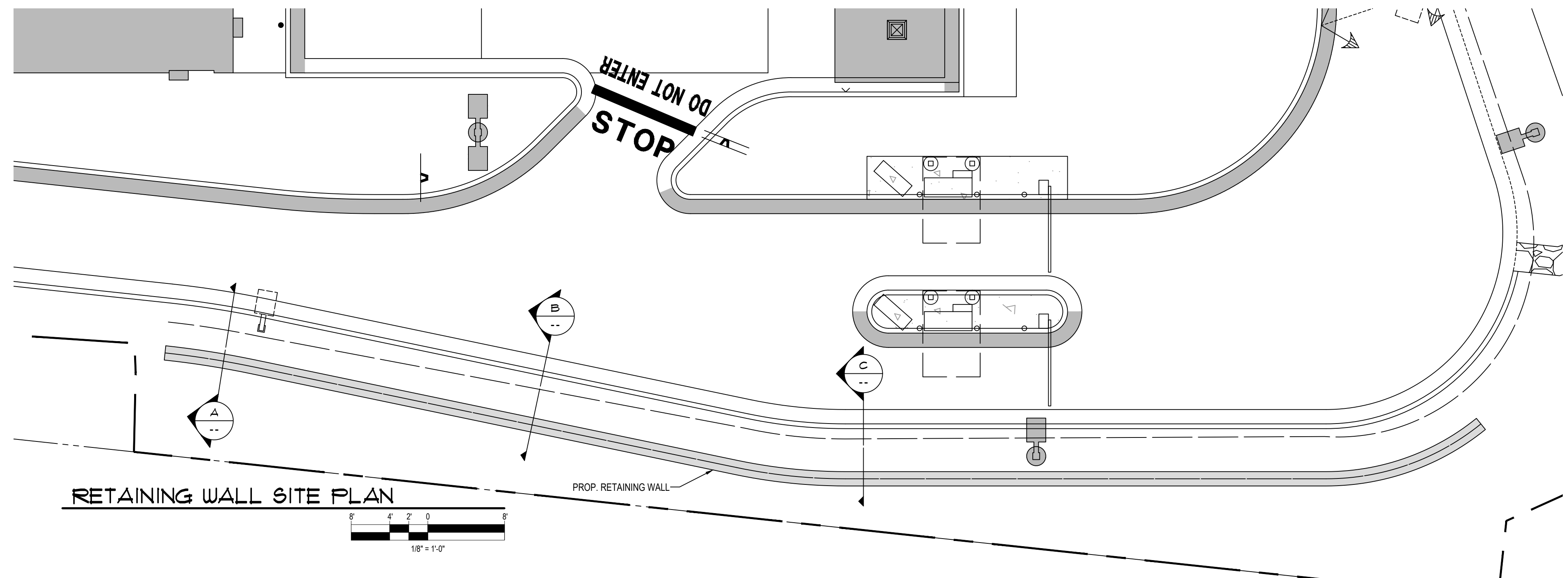
ANY DEVIATIONS FROM THE CONTRACT STRUCTURAL/ARCHITECTURAL DRAWINGS SHALL BE INDICATED IN RED ON THE SHOP DRAWINGS BY THE CONTRACTOR.

ONLY SHOP DRAWINGS SIGNED AND DATED BY THE CONTRACTOR WILL BE REVIEWED BY THE STRUCTURAL ENGINEER.

CONTRACT DOCUMENTS MAY NOT BE REPRODUCED FOR USE AS SHOP DRAWINGS WITHOUT A WRITTEN AGREEMENT BETWEEN THE GENERAL CONTRACTOR AND THE ENGINEER OF RECORD.

IF ELECTRONIC FILES ARE REQUESTED, A USE AND ROYALTY FEE WILL BE ASSESSED FOR ELECTRONIC COPIES PER EACH SHEET OF THE CONTRACT DRAWINGS, AND MUST BE PAID IN FULL PRIOR TO THE ENGINEER RELEASING THE SHOP DRAWINGS.

THE FOLLOWING SHOP DRAWINGS AND SUBMITTALS SHALL BE PROVIDED FOR REVIEW AND APPROVAL: CONCRETE MIX DESIGN CONCRETE REINFORCING



APPROVED: DEPARTMENT OF PLANNING AND ZONING. Includes signatures and dates for Chief Development Engineer and Director.

OWNER: POTOMAC ENERGY HOLDINGS, LLC. DEVELOPER: DASH-IN. Includes address, contact info, and project details.

ATKINS Consulting Structural Engineering. Includes logo, address, and phone number.

Professional Certification section for Stephen Watkins, dated 09/23/2022. Includes project details and a signature.