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SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

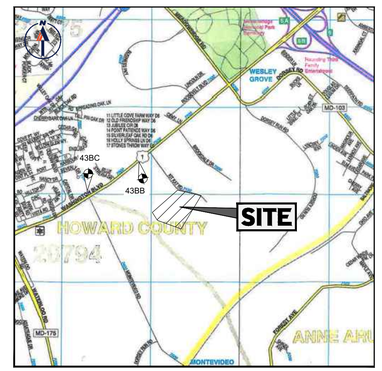
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
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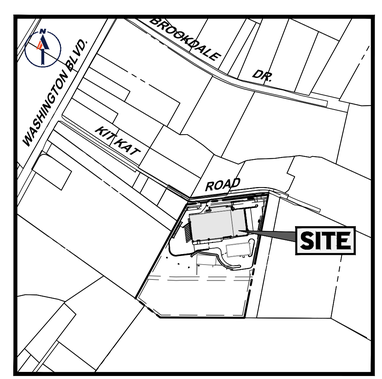
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

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PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

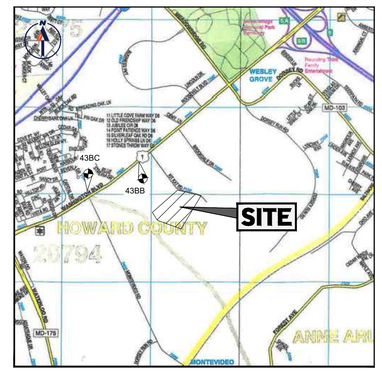
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
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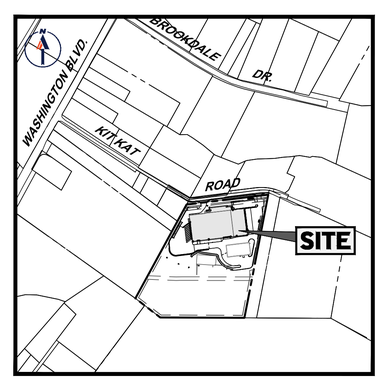
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

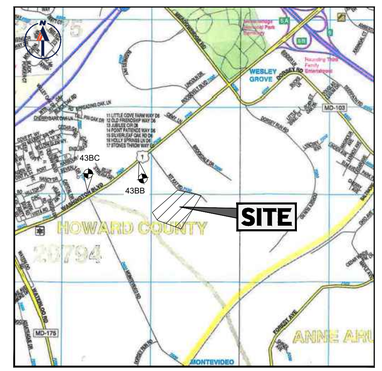
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
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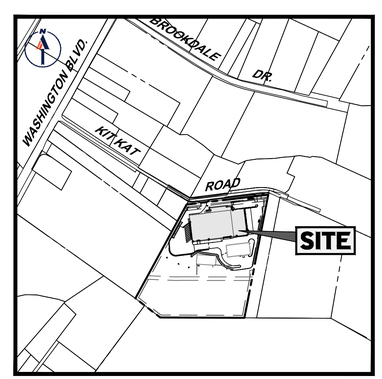
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

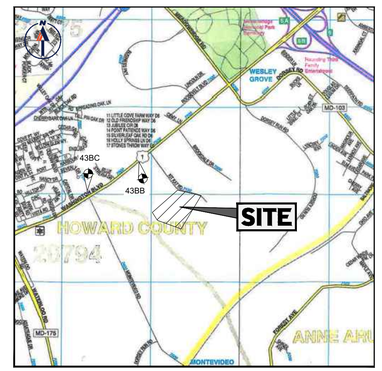
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

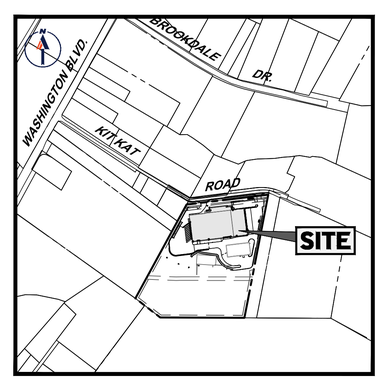
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

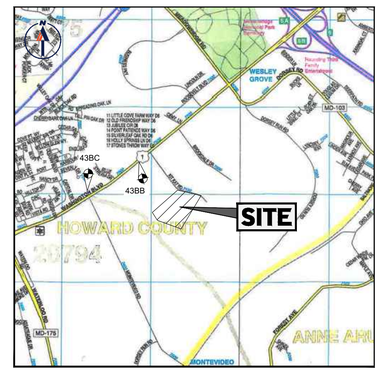
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

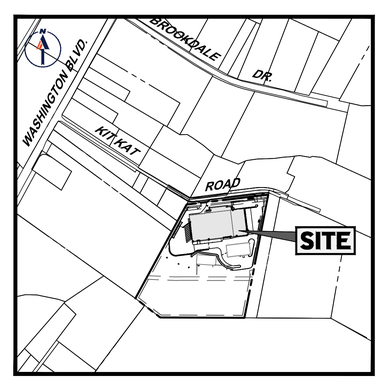
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

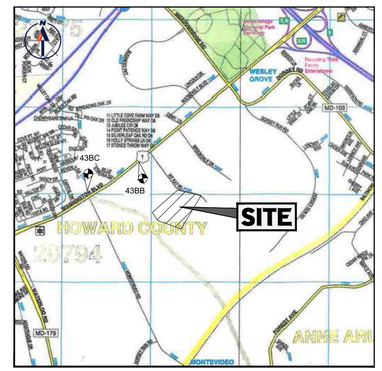
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

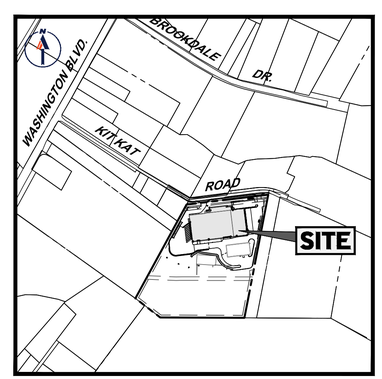
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

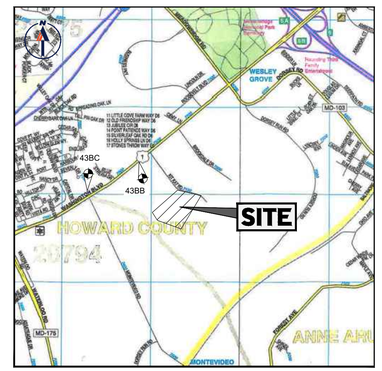
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

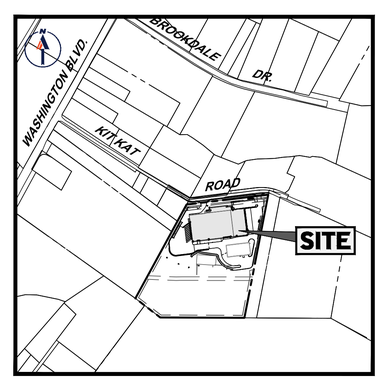
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

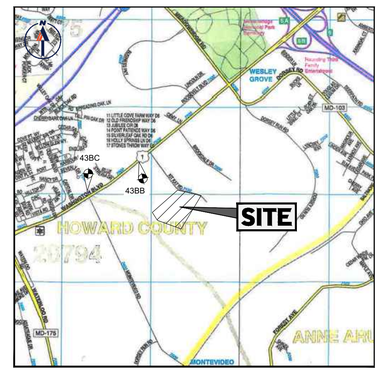
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

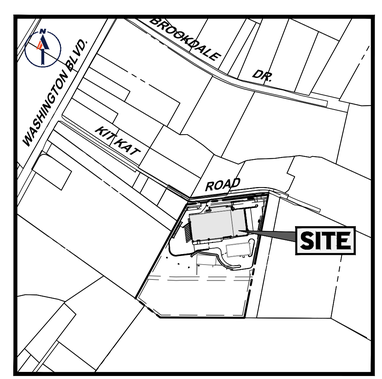
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

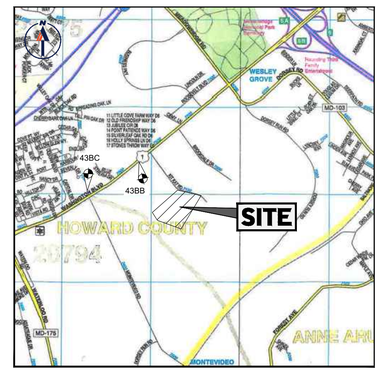
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

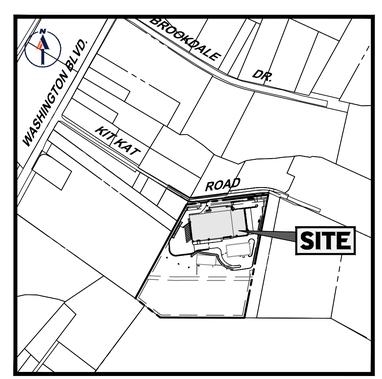
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

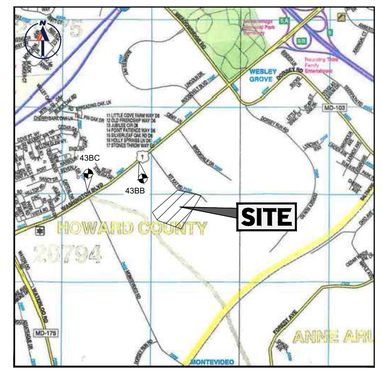
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

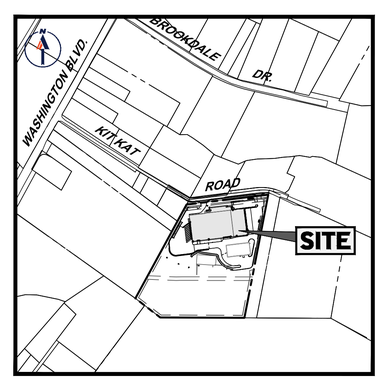
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

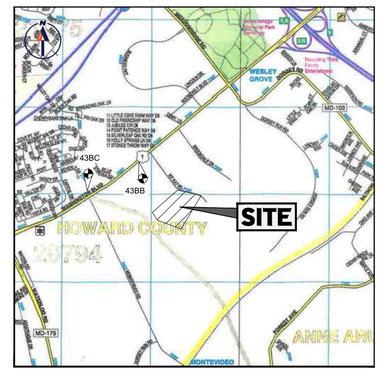
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

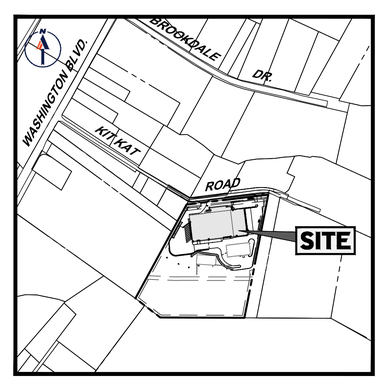
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

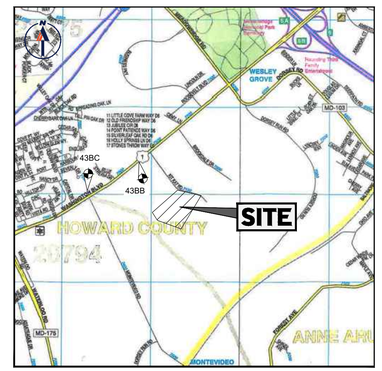
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

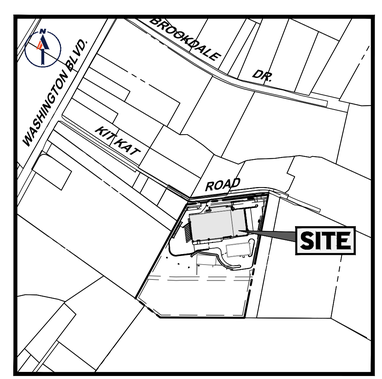
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

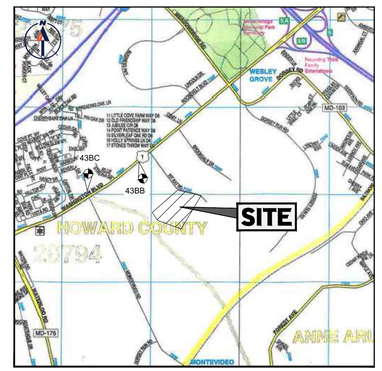
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

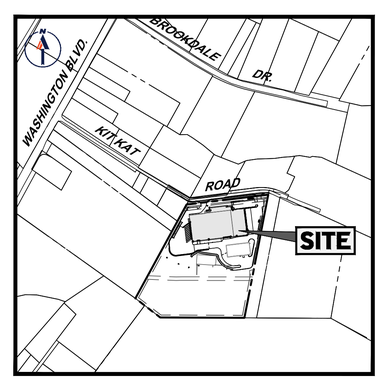
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

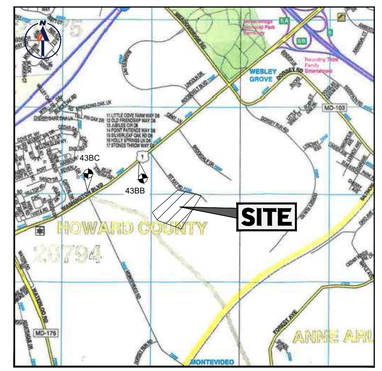
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

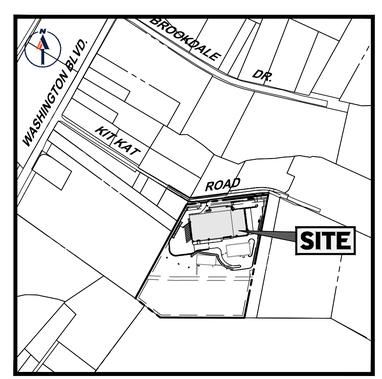
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

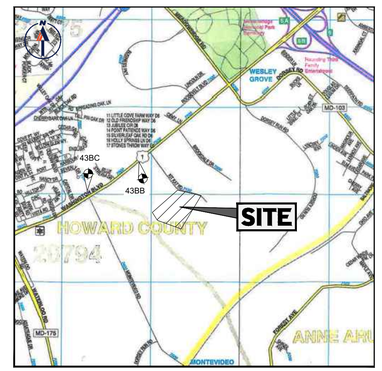
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

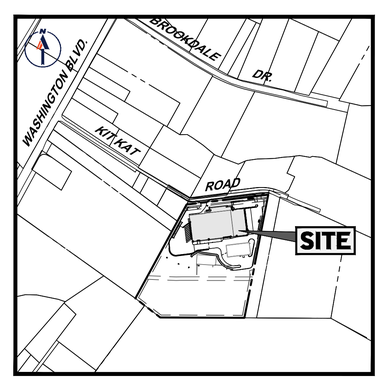
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

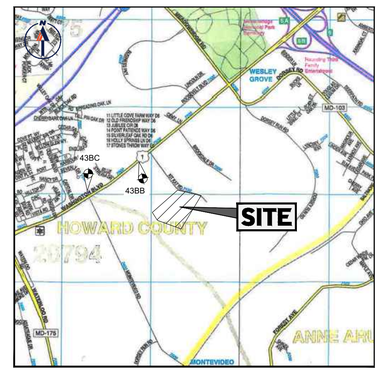
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

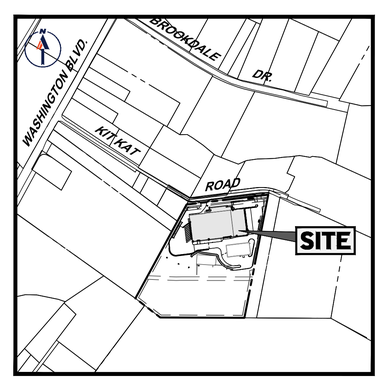
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

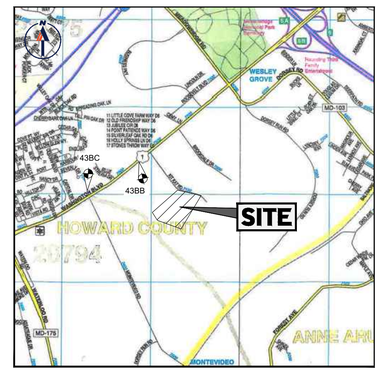
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

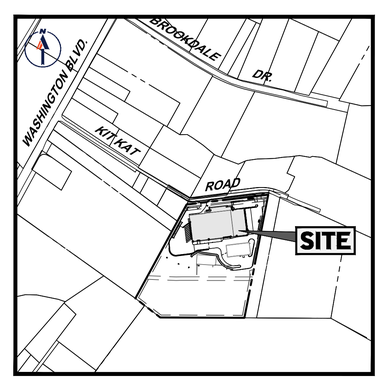
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

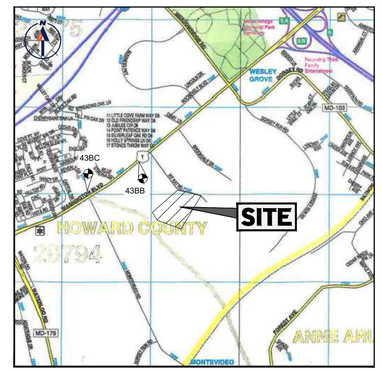
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

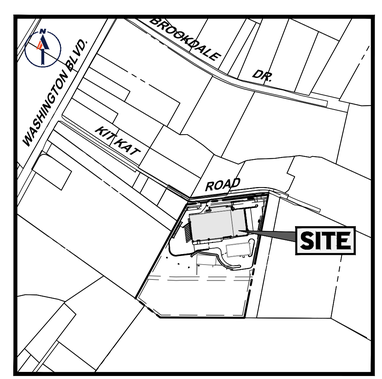
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

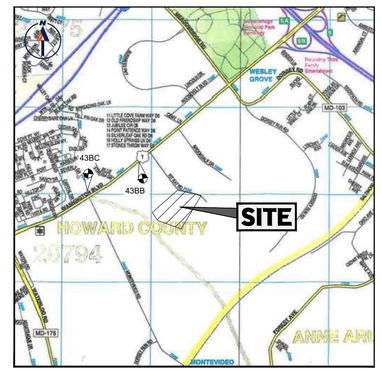
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

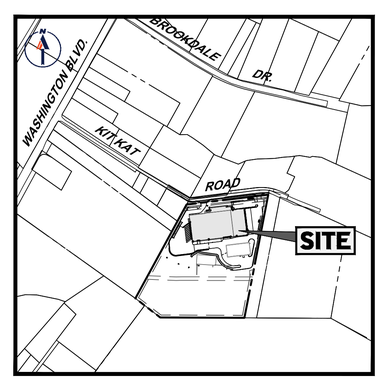
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

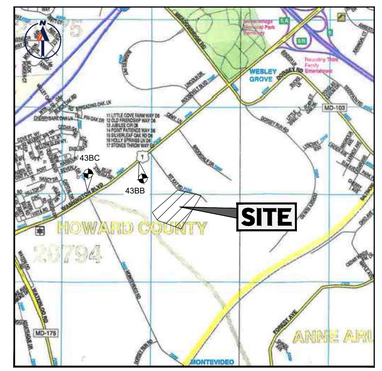
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

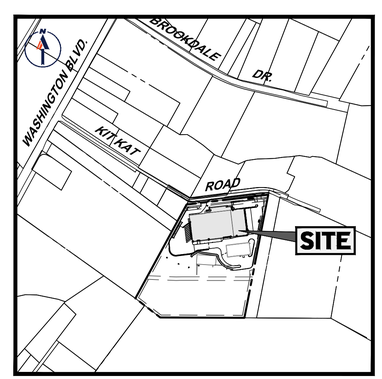
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

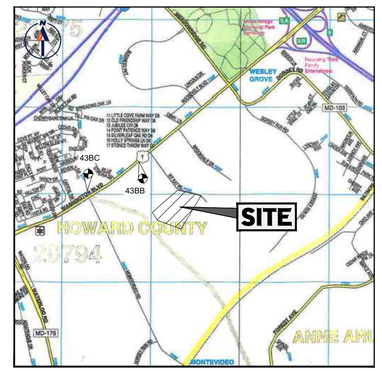
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

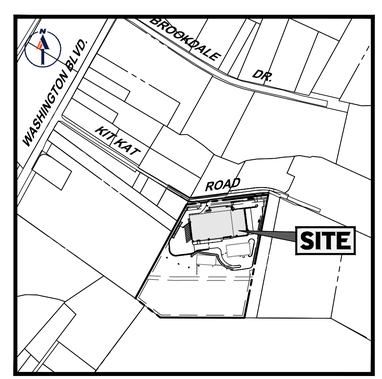
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

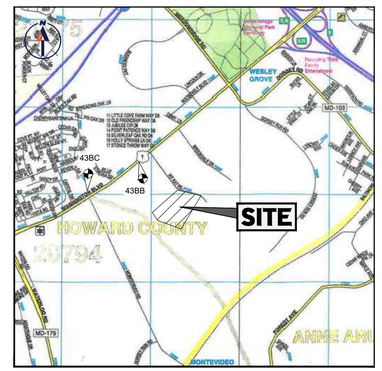
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

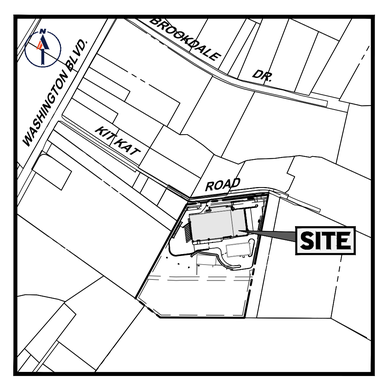
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

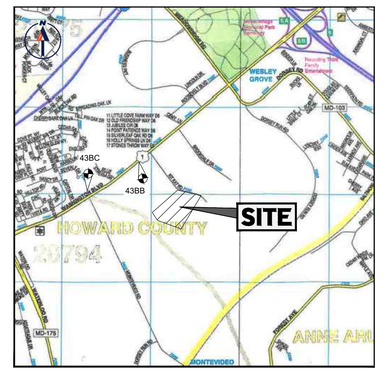
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

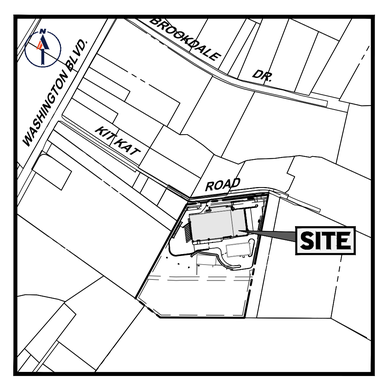
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

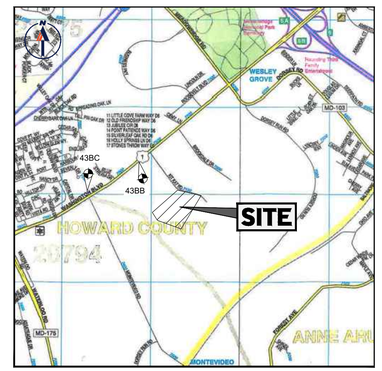
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

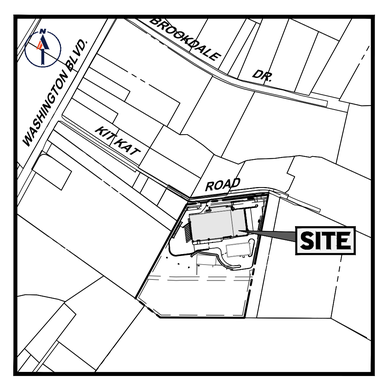
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

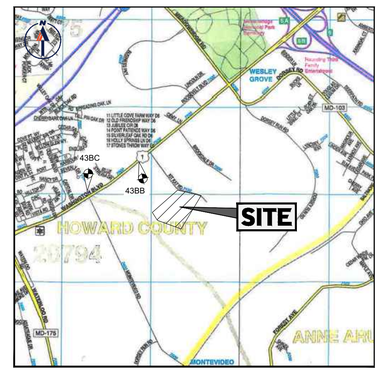
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

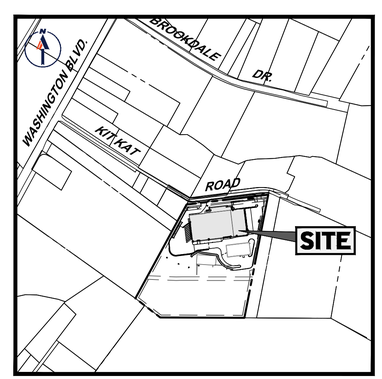
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

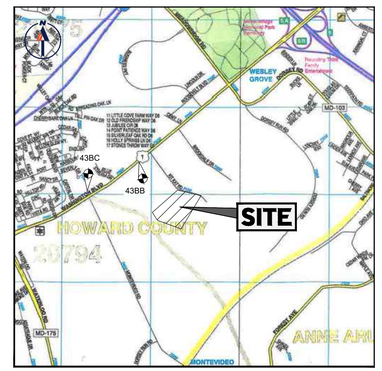
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

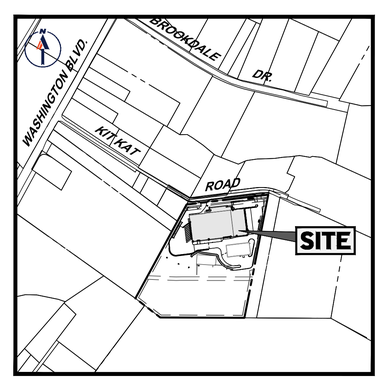
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

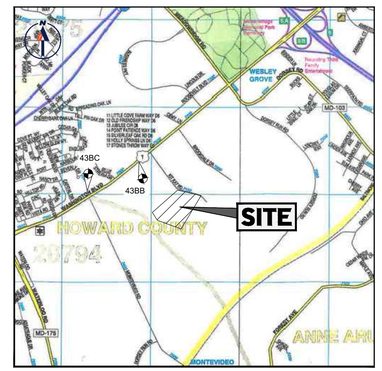
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

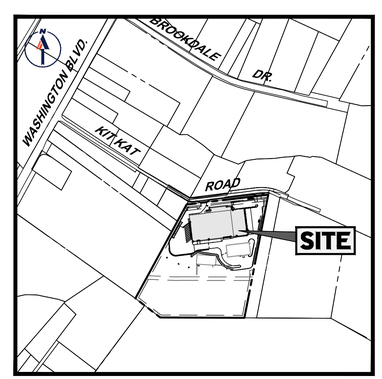
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

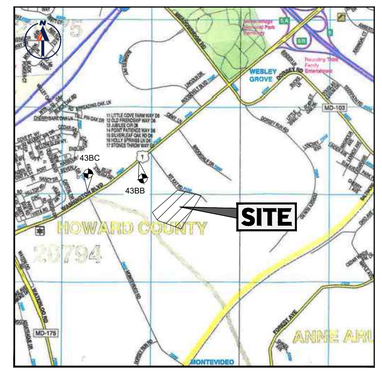
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

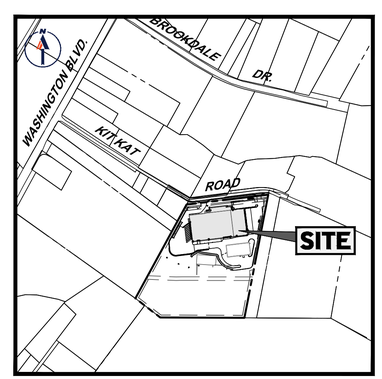
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

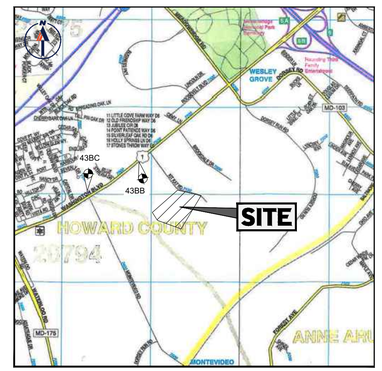
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

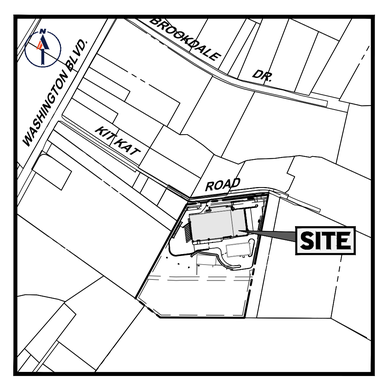
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

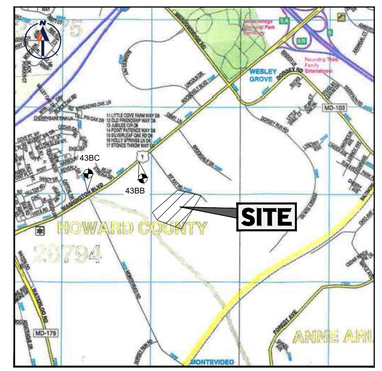
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

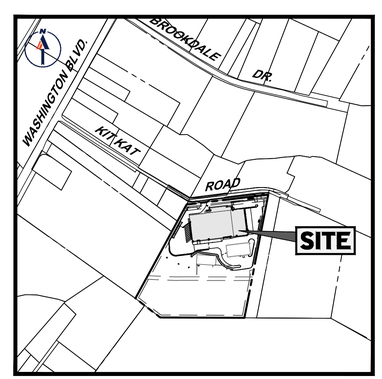
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

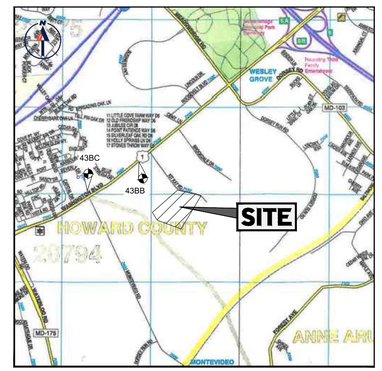
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

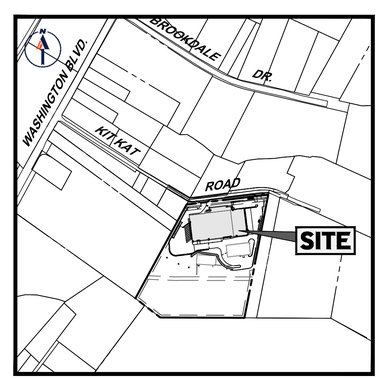
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

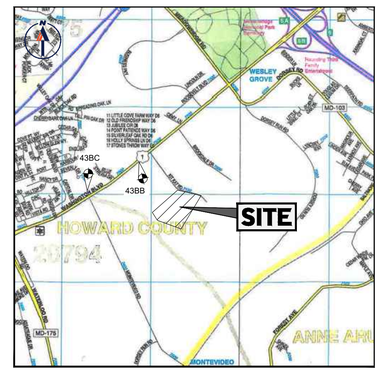
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

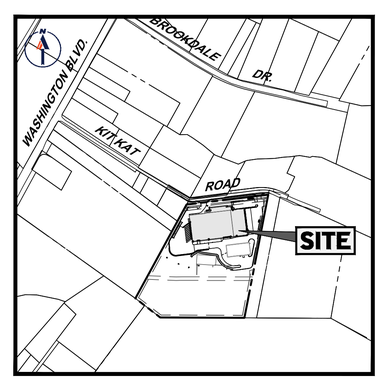
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

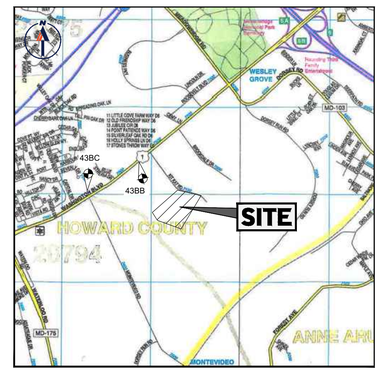
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

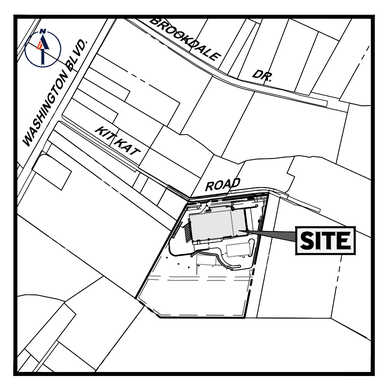
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

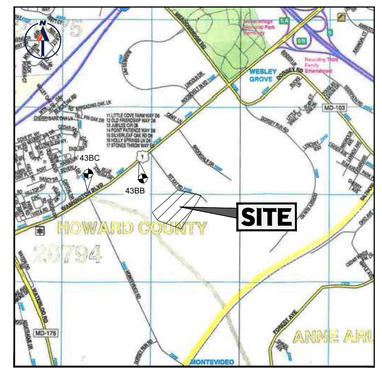
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

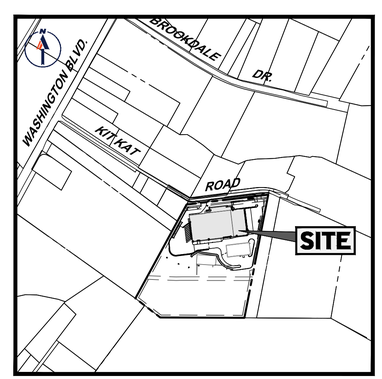
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

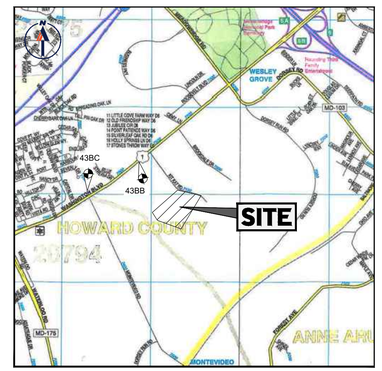
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

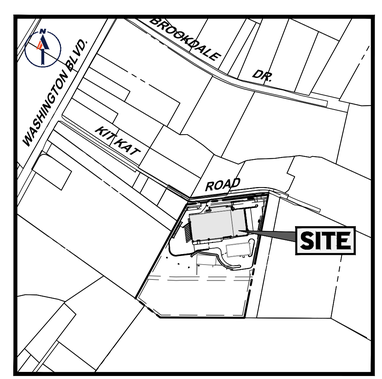
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

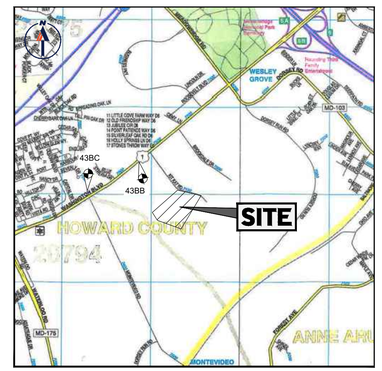
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

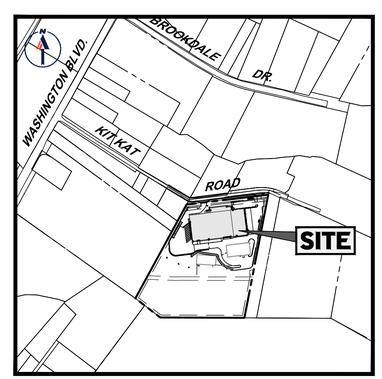
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

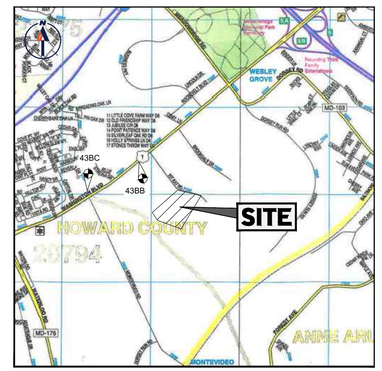
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
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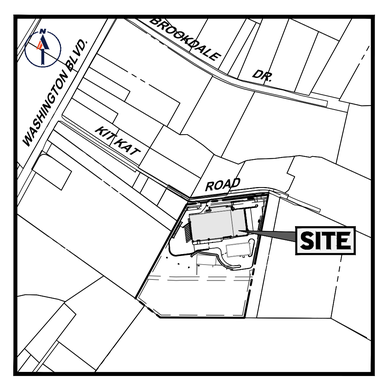
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

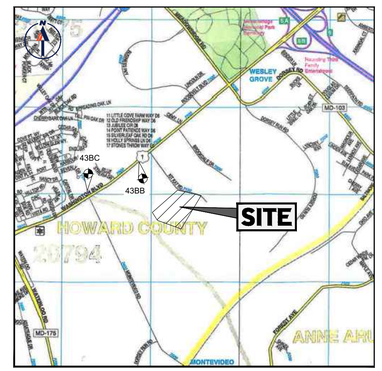
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
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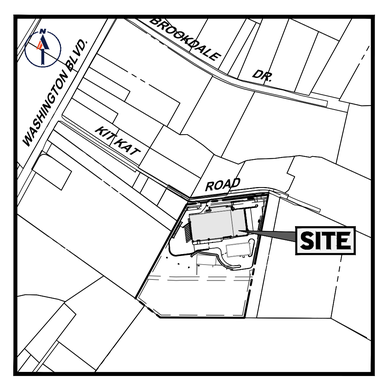
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

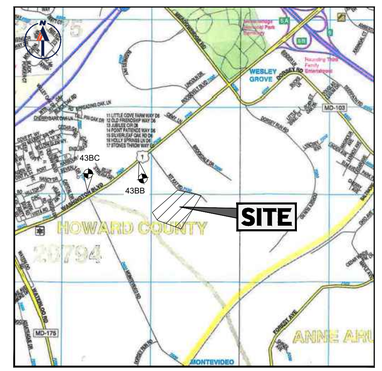
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

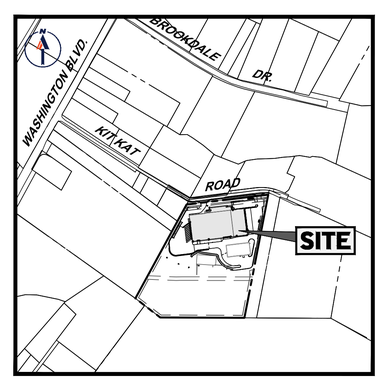
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

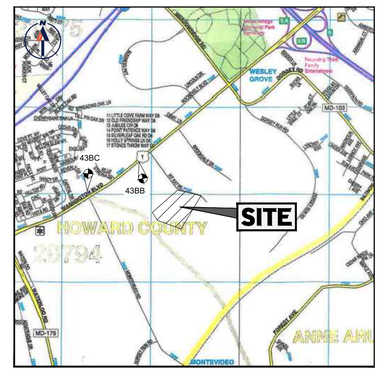
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

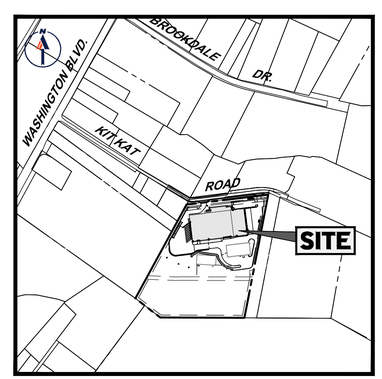
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

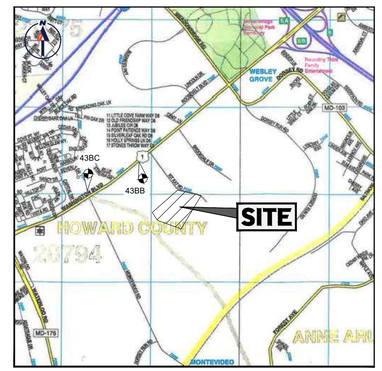
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

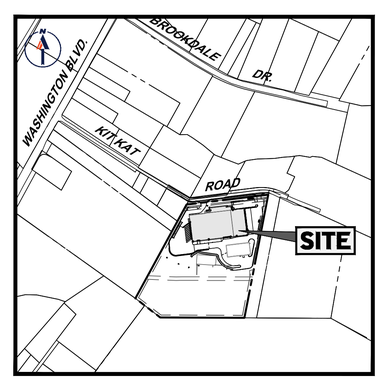
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

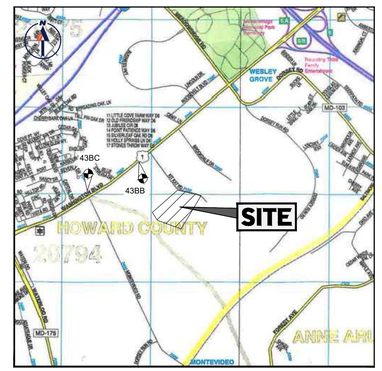
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

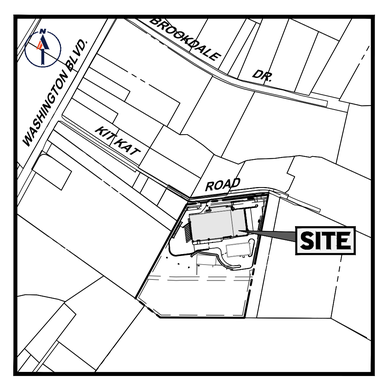
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

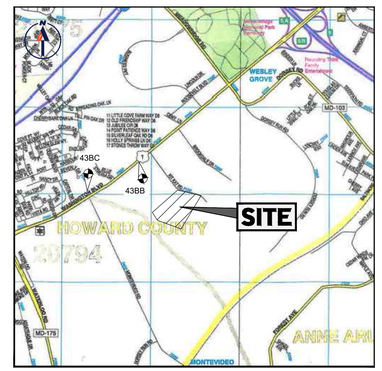
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

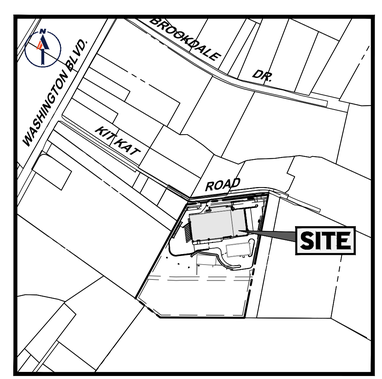
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

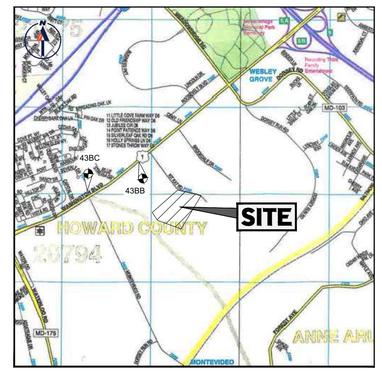
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

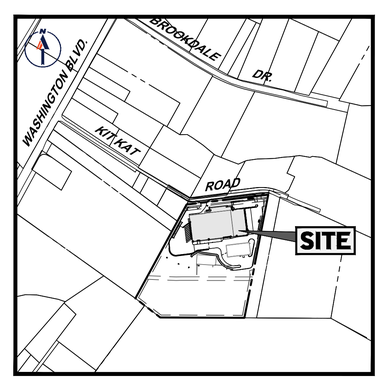
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

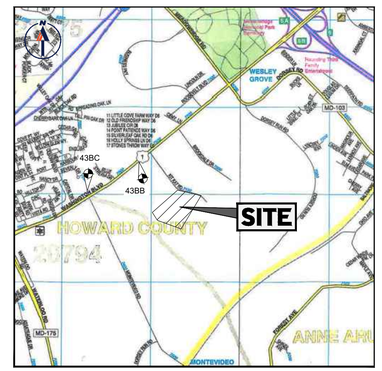
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

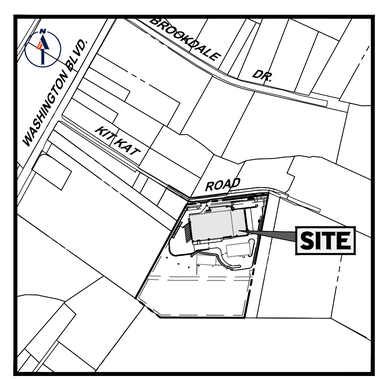
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

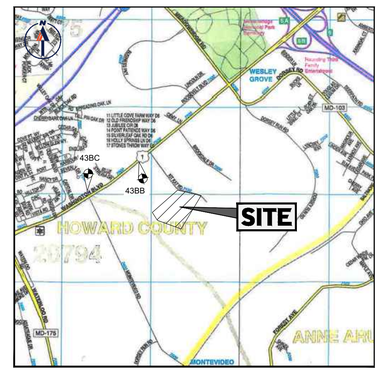
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

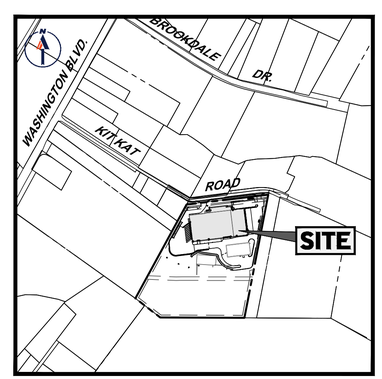
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

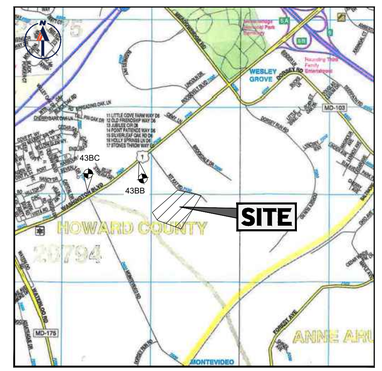
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

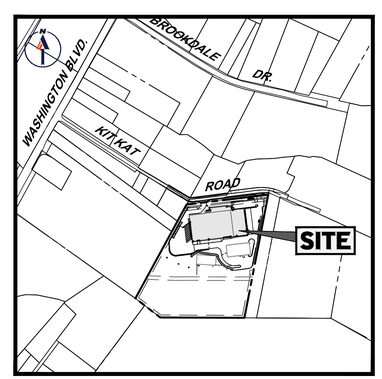
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

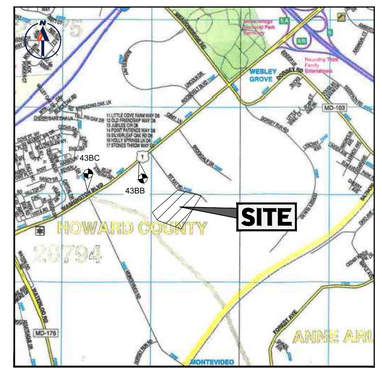
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

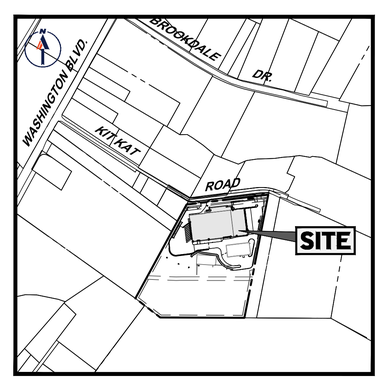
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

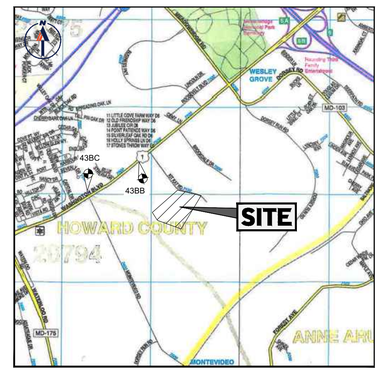
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

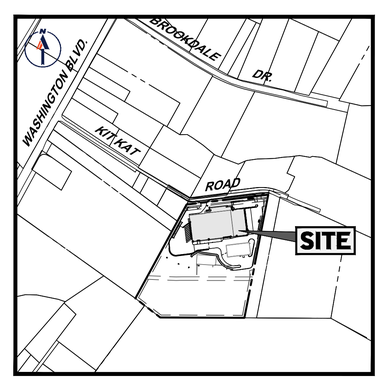
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

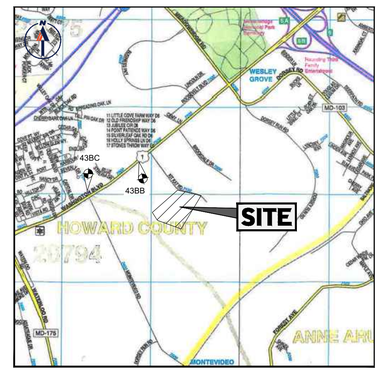
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
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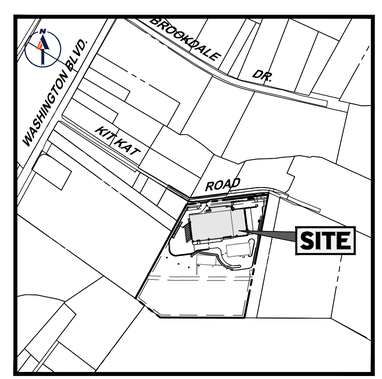
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

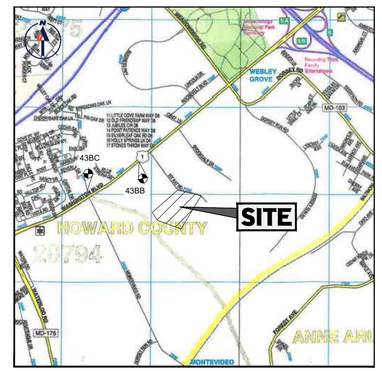
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

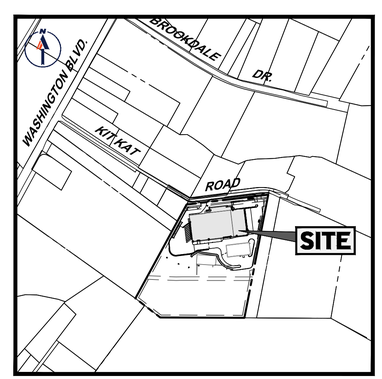
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

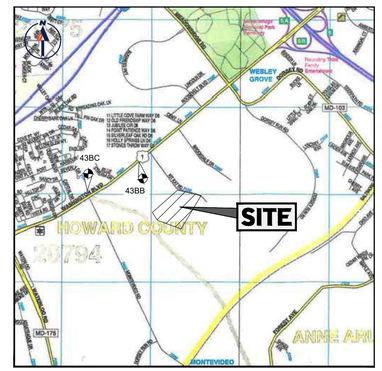
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

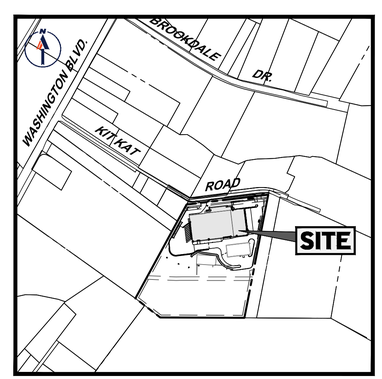
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

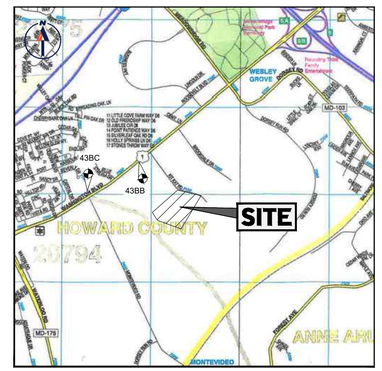
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

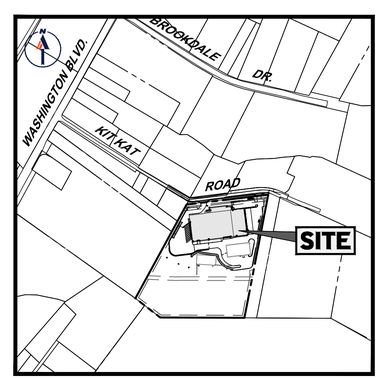
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

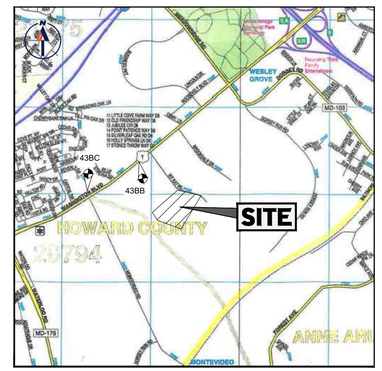
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

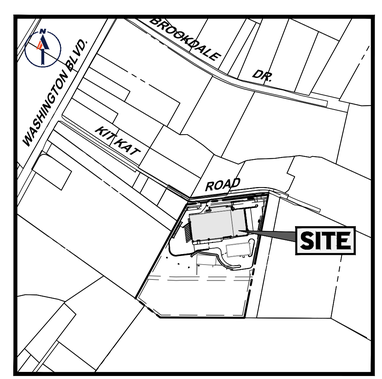
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

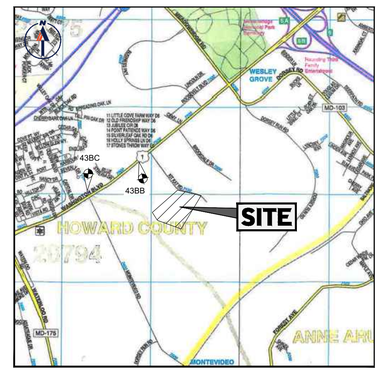
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

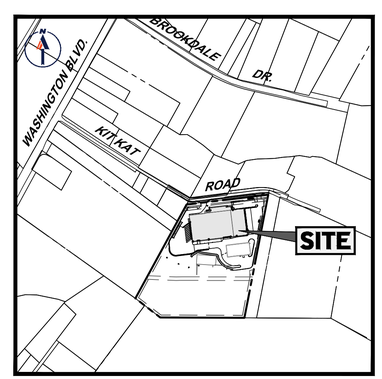
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

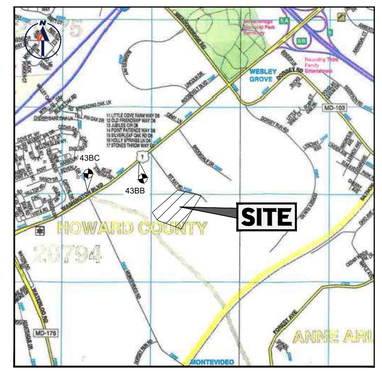
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
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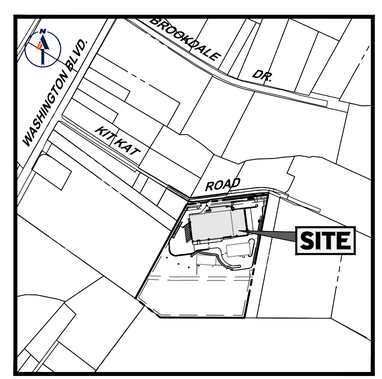
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

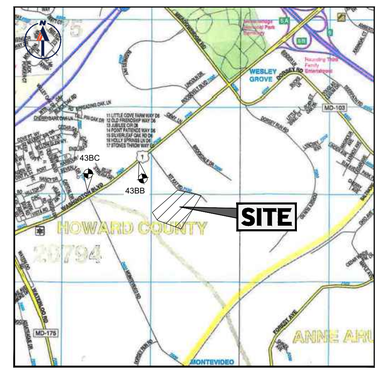
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

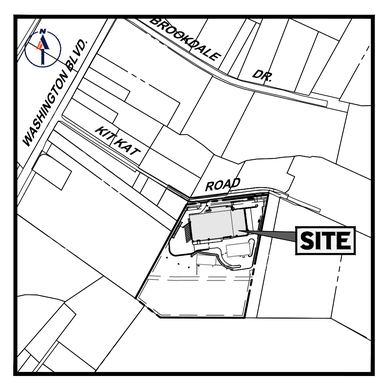
THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK

DocuSign Envelope ID: 6C7E96FC-D4AE-40A1-8F69-52C25FFC2882

SITE DEVELOPMENT PLANS

FOR

GRANDVIEW - KIT KAT PARCEL A

LOCATION OF SITE

7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10, PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA: 18.268 AC.

B. TOTAL SITE AREA: 18.268 AC.

C. LIMIT OF DISTURBED AREA: 8.75 AC.

D. PRESENT ZONING: M-2 AND SW

E. PROPOSED USE: RECYCLING CENTER AND WAREHOUSE (309,044 S.F. OR 7.09 AC.)

F. FLOOR AREA: 111,816 SF

G. MAXIMUM BUILDING HEIGHT [ZONING SECTION 123.0.1.A.3.a] 50' MAX. 43'-7" PROVIDED*

*[128.1.A.3.a] PARAPET WALLS MAY EXTEND 4' ABOVE THE MAXIMUM ALLOWED HEIGHT.
[128.0.A.3.B] HEIGHT LIMITATIONS SHALL NOT APPLY TO BULKHEADS AND MECHANICAL EQUIPMENT COVERING <25% OF THE ROOF.

H. MAXIMUM NUMBER OF EMPLOYEES: N/A

I. PARKING SPACES:
REQUIRED: 36 SPACES (REFER TO GENERAL NOTE 37)

PROVIDED:

STANDARD PARKING SPACES (9'X18')	= 51 SPACES
HANDICAP (8'X18')	= 3 SPACES
TOTAL	= 54 SPACES

J. LOADING [ZONING SECTION 133.0.E]
OFF-STREET LOADING SHALL BE PROVIDED FOR STORAGE WAREHOUSE ESTABLISHMENTS.

K. AREA OF WETLANDS AND BUFFERS: 0.74 AC.

L. AREA OF 100 YEAR FLOODPLAIN: 7.18 AC.

M. AREA OF FOREST: 8.08 AC.

N. AREA OF STEEP SLOPE (15% OR GREATER): 0.00 AC.

O. HIGHLY ERODIBLE SOILS (k>0.35): 18.86 AC.

P. PERVIOUS AREA: 11.958 AC.

Q. IMPERVIOUS AREA: 6.31 AC.

PLAN REFERENCES AND CONTACTS

REFERENCES

- ALTA/NSPS LAND TITLE SURVEY
  BY: BOHLER ENGINEERING
  ENTITLED:"ALTA/NSPS LAND TITLE SURVEY; KIT KAT ROAD PROPERTIES; 7110 & 7140 KIT KAT ROAD; 1ST ELECTION DISTRICT; HOWARD COUNTY, MARYLAND"
  PROJECT NO: SD212054
  DATED: 8/25/21, LAST REVISED 10/29/21
- GEOTECHNICAL REPORT
  BY: ECS MID-ATLANTIC, LLC
  ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; KIT KAT ROAD PROPERTIES, 7110 & 7130 KIT KAT ROAD, ELKRIDGE, HOWARD COUNTY, MARYLAND"
  PROJECT NO: 02-9652
  DATED: 10/28/21
- FINAL PUBLIC WATER PLANS
  BY: BOHLER
  ENTITLED: "GRANDVIEW KIT KAT; FINAL PUBLIC WATER PLANS"
  PROJECT NO: MD212054
  DATED: 12/7/22
- TRAFFIC IMPACT STUDY
  BY: THE TRAFFIC GROUP
  ENTITLED: "WASTE MANAGEMENT - KIT KAT ROAD; HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION"
  JOB NO: 2021-0546
  DATED: 11/11/21
- FOREST STAND DELINEATION REPORT AND WETLAND REPORT
  BY: ECO-SCIENCE PROFESSIONALS, INC AND T.D. MAYER CONSULTING.
  ENTITLED: "GRANDVIEW KIT KAT PARCEL 661 - FOREST STAND DELINEATION REPORT" - KIT KAT ROAD; HOWARD COUNTY, MARYLAND;
  JOB NO:
  DATED: 10/14/21

GOVERNING AGENCIES

- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  DEVELOPMENT ENGINEERING
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: CHAD EDMONDSON, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
  LAND DEVELOPMENT
  3430 COURT HOUSE DRIVE
  ELLICOTT CITY, MD 21043
  CONTACT: ANTHONY CATALDO, DIVISION CHIEF
  PHONE: (410) 313-2350
- HOWARD COUNTY DEPT. OF PUBLIC WORKS
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: THOMAS MEUNIER, ACTING DIRECTOR
  PHONE: (410) 313-4401

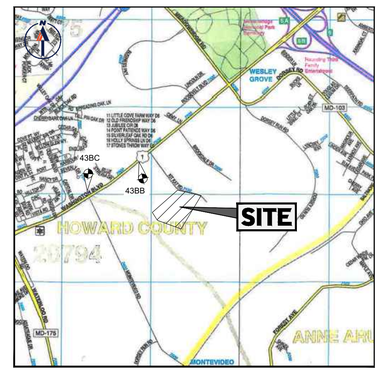
UTILITY CONTACTS

- SANITARY SEWER / WATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES
  8250 AND 8270 OLD MONTGOMERY ROAD
  COLUMBIA, MD 21045
  CONTACT: ARTHUR SHAPIRO, CHIEF
  PHONE: (410) 313-4912
- GAS AND ELECTRIC
  BALTIMORE GAS & ELECTRIC
  1068 N. FRONT ST. ROOM 401
  BALTIMORE, MD 21202
  PHONE: (410) 850-4620
- TELEPHONE
  VERIZON
  7133 RUTHERFORD ROAD
  BALTIMORE, MD 21244
  PHONE: (410) 224-5286
- STORMWATER
  HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION
  9801 BROKEN LAND PARKWAY
  COLUMBIA, MD 21046
  CONTACT: MARK S. RICHMOND, DIVISION CHIEF
  PHONE: (410) 313-6413

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES AND LEGEND	C-102
EXISTING CONDITIONS & DEMOLITION PLAN	C-201 - C-202
SITE PLAN	C-301 - C-302
GRADING PLAN	C-401 - C-402
STORMWATER MANAGEMENT PLAN	C-403
COVERAGE AREA MAPS	C-404
SWM QUALITY DRAINAGE AREA MAP	C-405
SWM QUANTITY DRAINAGE AREA MAPS	C-406
STORMDRAIN DRAINAGE AREA MAP	C-407
STORMWATER MANAGEMENT NOTES AND DETAILS	C-408 - C-411
UTILITY PLAN	C-501 - C-502
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-601 - C-602
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-603 - C-604
EROSION AND SEDIMENT CONTROL PLAN PHASE III	C-605 - C-606
PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-607
PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-608
PHASE III EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP	C-609
EROSION & SEDIMENT CONTROL NOTES AND DETAILS	C-610 - C-612
SEDIMENT BASIN DETAILS	C-613 - C-614
LANDSCAPE PLAN	C-701 - C-702
LANDSCAPE NOTES & DETAILS	C-703
FOREST CONSERVATION PLAN	C-704
FOREST CONSERVATION NOTES AND DETAILS	C-705
LIGHTING PLAN	C-706 - C-707
LIGHTING NOTES AND DETAILS	C-708
STORM DRAIN PROFILES	C-801 - C-802
WATER AND SEWER PROFILES	C-803
SIGHT DISTANCE ANALYSIS	C-804 - C-805
CONSTRUCTION DETAILS	C-901 - C-902
ARCHITECTURAL ELEVATIONS	C-903
BORING LOGS	C-904
RETAINING WALLS	C-905 - C-911



VICINITY MAP
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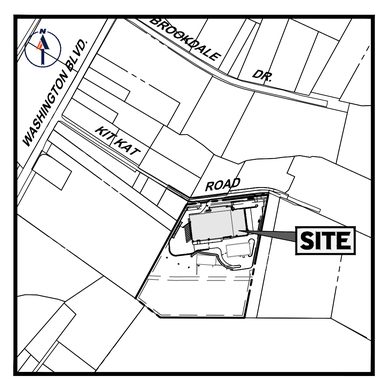
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 24/B5



LOCATION MAP
SCALE: 1"=600'

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PREVIOUS FILE NO.: SDP-84-222, SDP-88-150, SDP-99-130, ECP-22-046, ZB-1014-M; F-22-068.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE PROPERTY BOUNDARY AND ON-SITE EXISTING TOPOGRAPHY IS BASED ON AN ALTL/NSPS LAND TITLE SURVEY PREPARED BY BOHLER, TITLED: KIT KAT ROAD PROPERTIES, 7110 & 7140 KIT KAT ROAD, 1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND, PROJECT NO. SD212054, DATED: 08/25/21; LAST REVISED 10/29/21.
7. EXISTING OFFSITE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY GIS.
8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 43BC WITH A PUBLISHED ELEVATION OF 214.124 FEET.
9. PUBLIC WATER AND PUBLIC SEWER SHALL BE UTILIZED TO SERVE THE DEVELOPMENT. THIS DEVELOPMENT IS LOCATED WITHIN THE DEEP RUN DRAINAGE AREA.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) SUBMERGED GRAVEL WETLAND FACILITY TO MEET MDE REQUIREMENTS. RECHARGE VOLUME, CHANNEL PROTECTION, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUME ARE REQUIRED AND BEING PROVIDED FOR THIS SITE. GRANDVIEW PARTNERS WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUNTY STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD GRANDVIEW PARTNERS VACATE THE PARCEL. THE SITE DISCHARGES TO THE DEEP RUN WATERSHED AND MANAGEMENT OF THE 2016 ELLICOTT CITY STORM IS NOT REQUIRED.
11. EXISTING UTILITIES ARE BASED ON A FIELD RUN SURVEY PREPARED BY BOHLER, 08/25/21; LAST REVISED 10/29/21.
12. A CRITICAL FLOODPLAIN REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT. FLOODPLANS FOR THIS SITE HAVE BEEN MAPPED PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 170 OF 235", MAP NUMBER 24027C0170D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 16, 2013. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND SPECIAL FLOOD HAZARDS AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
13. NO WETLANDS EXIST WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN PER A WETLAND DELINEATION REPORT WAS COMPLETED FOR THIS PROJECT BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21
14. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. ON 10/14/21.
15. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED NOVEMBER 11, 2021.
16. SUBJECT PROPERTY ZONED M-2 AND SW PER THE 10/6/2013 COMPREHENSIVE ZONING PLAN. ZONING BOARD CASE NO. 1014M WAS APPROVED JULY 16, 2001. THIS CASE APPROVED THE DEVELOPMENT AND OPERATIONS PLAN FOR THE CONSTRUCTION OF A SOLID WASTE PROCESSING FACILITY AND FURTHER GRANTS THE SOLID WASTE OVERLAY DISTRICT COVERING THE M-2 ZONE LAND AS REQUESTED IN THE PETITION.
17. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12, 2020 (VERSION 15).
18. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER, DATED: 08/25/21; LAST REVISED 10/29/21.
19. THERE ARE NOT AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
20. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DATED OCTOBER 28, 2021.
21. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PROVIDED BY PUBLIC WATER CONT# 36 W&S & PUBLIC SEWAGE SYSTEM CONT.# 36 W&S & 579-S (SDP-83-150 & SDP-99-130)
22. SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 5% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
23. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN NOTED/APPROVED.
24. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-0' IN HEIGHT AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1.)
25. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
26. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
27. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
28. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS.
29. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
30. LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF $15,000.00 FOR THE INSTALLATION OF 7 SHADE TREES ($300.00 EACH); 28 ORNAMENTAL TREES ($150.00 EACH); 14 EVERGREEN TREES ($150.00 EACH); AND, 220 SHRUBS ($30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-23-003.
31. AN ADVANCE DEPOSIT ORDER WILL BE REQUIRED FOR CONSTRUCTION OF THE WATER AND SEWER LINES.
32. TRAFFIC CONTROL DEVICES:
    A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
33. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.1 ACRES. THE REFORESTATION OBLIGATION OF 2.7 ACRES WILL BE PROVIDED BY 0.0 ACRES ONSITE, AND 2.7 ACRES BY PAYMENT OF FEE-IN-LIEU IN THE AMOUNT OF $147,015.00
34. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
35. THE FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED:
    A) TYPICALLY ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS. THE FINAL LOCATION SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
    B) WITHIN 100 FT. OF A FIRE HYDRANT.
    C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
    D) ALL FRE-STANDING FIRE DEPARTMENT CONNECTIONS SHALL HAVE A SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH.
    E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A ½" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" X 18"
    F) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
36. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
37. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS, SECTION 133.0.D 8 OTHER USES, AN APPLICANT FOR A SITE DEVELOPMENT PLAN FOR A USE NOT INCLUDED IN THE CATEGORIES ENUMERATED IN SECTION 133.0.D, SHALL SUBMIT A PARKING NEEDS STUDY AS PART OF THE SITE DEVELOPMENT APPLICATION AS JUSTIFICATION FOR THE PARKING QUANTITY PROPOSAL. A PARKING NEEDS STUDY WAS PREPARED BY THE TRAFFIC GROUP DATED 11/23/2022.
38. CONTRACTOR TO REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAIL NO. MD 104.02-02, SHOULDER WORK/2-LANE, 2-WAY EQULESS THAN 40 MPH, FOR MAINTENANCE OF TRAFFIC
39. ALTERNATIVE COMPLIANCE:
    REQUEST WP-24-020: DECISION LETTER DATED AUGUST 28, 2023
    FOR A VARIANCE WITH RESPECT TO SECTION 16.156(i)&(M) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REACTIVE THE SITE DEVELOPMENT PLANS (SDP-23-003) AND EXTEND THE DEADLINE DATE TO SUBMIT THE DEVELOPER'S AGREEMENTS ASSOCIATED WITH THAT PLAN AND SITE DEVELOPMENT PLAN ORIGINALS WAS **APPROVED**.
    APPROVAL OF THIS ALTERNATE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE PETITIONER MUST SUBMIT THE DEVELOPER'S AGREEMENTS AND ELECTRONIC SITE DEVELOPMENT PLAN (SDP-23-003) ORIGINALS FOR SIGNATURES WITHIN 30 DAYS FROM THE AUGUST 14, 2023 DEADLINE DATE (TO SEPTEMBER 13, 2023)
    2. PROVIDE A GENERAL NOTE ON THE SDP THAT REFERENCES THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE

SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT THREE (3) SIGNATURES

PROJECT #: MD212054

REVISION DATE: 07/10/2023

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL NO.	
GRANDVIEW KIT KAT		N/A		A	
PLAT # OR L/F	GRID #	ZONING	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26400 - 26401	10	M-2 & SW	43	1st	601203.2
WATER CODE:			SEWER CODE:		
B01			2370000		

BENCHMARK

GEODETIC SURVEY CONTROL - 43BC
ELEV. 214.124'
N 549592.070
E 1,375,466.711

GEODETIC SURVEY CONTROL - 43BB
ELEV. 209.012'
N 550,534.184
E 1,376,905.389

ADDRESS CHART

LOT/PARCEL	BUILDING #	STREET ADDRESS
A	1 (RECYCLING CENTER)	7130 KIT KAT ROAD
A	2 (WAREHOUSE)	7140 KIT KAT ROAD

SUBDIVISION NAME: GRANDVIEW KIT KAT
SECTION/AREA: N/A
PLAT #: 26400 - 26401

PREVIOUS FILE No. :
SDP-84-222 ECP-22-046
SDP-83-150 F-22-068
SDP-99-130 ZB-1014-M

OWNER: GVP POTOMAC OWNER, LLC
ONE EAST PUTNAM AVENUE, 3RD FLOOR
GREENWICH, CT 06830
PHONE (703) 522-9502

DEVELOPER: GRANDVIEW PARTNERS
1530 WILSON BLVD., SUITE 450
ARLINGTON, VA 22209
CONTACT: JEFF USAS
PHONE: (703) 522-9502

TAX MAP: 43 GRID: 10 ZONED: M-2 & SW
PARCELS 661 & 46, LOT/PARCEL: A
1ST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Paul DiMarco 9/1/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Jill Manion 9/1/2023
4EF38E847858446A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Lynda Eisenberg 9/1/2023
A30B0D6B3842E...
DIRECTOR DATE

PREPARED BY

BOHLER

CONTACT: BRANDON ROWE, P.E.

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS

REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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NOT APPROVED FOR CONSTRUCTION

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PROJECT No.: MD212054
DRAWN BY: RLB
CHECKED BY: MP
DATE: 3/7/23
CAD I.D.: CNDS -4

PROJECT:
SITE DEVELOPMENT PLAN
FOR
GRANDVIEW KIT KAT
PARCEL A
7130 & 7140 KIT KAT ROAD
1ST ELECTION DISTRICT
TAX MAP 43, GRID 10,
PARCELS 661 & 46, LOT/PARCEL A
ELKRIDGE,
HOWARD COUNTY, MARYLAND

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
09/01/2023
PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 40868
PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40868, EXPIRATION DATE: 7/3/2025

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101
1 OF 56

ORG. DATE - 3/7/23

SDP-23-003

Sep 01, 2023
H:\21\MD212054\CAD\DRAWINGS\PLAN SETS\SDP\MD212054 - CNDS3 4----LAYOUT C-101 - COVER SHEET
BSK