- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- 2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- 3. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES AT (410)
- 4. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- PROJECT BACKGROUND: TAX MAP #29, GRID 23 LOCATION: 70NING: ELECTION DISTRICT:

PLAT BOOK 13, PAGE 89 AND PLAT No. 26354 RECORDING REFERENCE:

313-4900 AT LEAST FIVE (5) DAYS PRIOR TO STARTING ANY EXCAVATION WORK.

6. PROPOSED USE: APARTMENTS

- ALL PLAN DIMENSIONS ARE TO FACE OF BUILDING AND/OR FACE OF CURB UNLESS OTHERWISE NOTED. DIMENSIONS ARE
- MEASURED PERPENDICULAR OR RADIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- 8. EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS COMPILED FROM A 2017 ALTA SURVEY BY BENCHMARK ENGINEERING, FIELD RUN SURVEY PERFORMED BY GUTSCHICK, LITTLE & WEBER, P.A. IN FEBRUARY, 2021, FROM AVAILABLE DESIGN PLANS AND HOWARD COUNTY GIS. EXISTING GRADE WITHIN THE FOOTPRINT OF THE EXISTING IMPROVEMENTS (building & parking lot) TO BE RAZED ARE ADJUSTED (approx. 1—foot below existing to of slab and pavement elevations). FOR NON—ADJUSTED TOPO FOR THE EXISTING IMPROVEMENTS SEE THE DEMOLITION PLAN ON SHEET 3 of 19.
- 9. COORDINATES AND BEARINGS ARE BASED ON NAD '83 AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS Nos. 35C2 AND 35C5.

10. PREVIOUS DEPARTMENT OF PLANNING & ZONING FILE NUMBERS:

- FDP-30-A-V*, SDP-68-006, SDP-74-031, ZB1120M, WP-22-055, ECP-22-054, **F-23-054** and **WP-23-043** (for removal of a tree > 30"DBH) *The FDP (item 8B) was amended and approved by the Planning Board on 9/15/2022 to allow the building height of up to 60' on Lot-18.
- 11. WP-22-055 WAS APPROVED TO ALLOW THE PRE-DEVELOPMENT COMMUNITY MEETING TO BE CONDUCTED VIRTUALLY (due to Covid-19 protocol) ON DECEMBER 22, 2021.
- 12. THIS PROPERTY IS WITHIN THE METROPOLITAN DISTRICT (PLANNED SERVICE AREA; THEREFORE, IT IS SERVED BY PUBLIC WATER AND SEWER. PUBLIC SEWER IS PROVIDED BY EX. CONTRACT 227-S (Manhole #2954 in Turnabout Lane). THE EXISTING PUBLIC 6" WATER UNDER C-285-W&S SITE (Lot-18) SHALL BE PROPERLY ABANDONED (see Demolition Plan) AND REPLACED WITH A NEW 8" WATER MAIN EXTENSION UNDER CONTRACT No. 24-5203-D.
- 13. THE ON-SITE SEWER EXTENSION IS PRIVATELY OWNED AND MAINTAINED. THE ON-SITE PUBLIC WATER MAIN SYSTEM WITHIN THE PUBLIC WATER & UTILITY EASEMENT IS OWNED AND MAINTAINED BY HOWARD COUNTY. THE 6" WATER HOUSE CONNECTION IS PRIVATELY OWNED AND MAINTAINED.
- 14. THE PROPOSED 4-STORY BUILDING INCLUDING ITS PARKING GARAGE SHALL HAVE AN INSIDE METER SETTING AND IT SHALL BE EQUIPPED WITH AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.
- 15. THE PROPOSED ON-SITE STORM DRAIN SYSTEM IS PRIVATELY OWNED AND MAINTAINED.
- 16. THE EXISTING IMPERVIOUS AREA IS 1.14 AC OR 57% OF THE SITE; THEREFORE, STORMWATER MANAGEMENT FOR QUALITY FOR REDEVELOPMENT. STORMWATER MANAGEMENT FOR THE EXISTING IMPERVIOUS AREA WILL BY PROVIDED BY A PROPOSED STORMCEPTOR. THE NET INCREASE IN IMPERVIOUS AREA IS PROVIDED BY A MICRO-BIORETENTION FACILITY (M6). BOTH THE STORMCEPTOR AND THE M-6 ARE PRIVATELY OWNED BY MAINTAINED.
- 17. EXISTING WET UTILITIES (storm, water and sewer) ARE BASED ON APPROVED DESIGN PLANS FOR CONSTRUCTION AND FIELD SURVEY BY GUTSCHICK, LITTLE & WEBER, P.A.
- 18. THERE ARE NO KNOWN CEMETERIES, GRAVE SITES OR HISTORIC STRUCTURES LOCATED ON THE SUBJECT PROPERTY ACCORDING TO THE CEMETERY INVENTORY MAP AND HISTORIC SITES MAP.
- 19. THE SCENIC ROADS MAP DOES NOT SHOW ANY SCENIC ROADS ABUTTING THE SITE IN THE VICINITY.
- 20. THERE ARE NO 100-YR FLOODPLAIN, WETLANDS, STREAM OR THEIR BUFFERS OR FOREST ON THIS SITE OR THE LIMIT OF SUBMISSION. FOR ADDITIONAL INFORMATION, SEE "MEMORANDUM OF FINDINGS" FROM WETLAND STUDIES AND SOLUTIONS, INC (WSSI, dated 2/28/22) THAT WAS FILED WITH ECP-22-054.
- 21. OTHER STUDIES & REPORTS SUBMITTED FOR APPROVAL WITH THIS SDP:
- RANLEAGH COURT TRANSPORTATION NOISE ANALYSIS (dated 1/19/2022) BY PHOENIX NOISE & VIBRATION, LLC. SHOWS THE 65 dBA NOISE LINE ESTABLISHED BY HOWARD COUNTY TO ALERT THE DEVELOPER, BUILDERS AND FUTURE RESIDENTS THAT AREAS BEYOND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S.. DEPT. OF HOUSING AND URBAN DEVELOPMENT. WITH PROPER SPECIFICATION OF WINDOWS, A MITIGATED INTERIOR NOISE LEVELS WILL BE MAINTAINED BELOW 45 DBA WITHIN IMPACTED LIVING UNITS. THERE ARE NO APARTMENT UNITS WITH BALCONIES OR PATIOS; THEREFORE, THE APARTMENT UNITS DON'T HAVE EXTERIOR DOORS. WINDOWS WITH A MINIMUM RATING OF 29 STC ARE REQUIRED FOR IMPACTED UNITS; HOWEVER, FOR CONSTRUCTION CONSISTENCY ALL WINDOWS WITH A MIMINUM RATING OF 29 STC WILL BE USE THE ENTIRE BUILDING. BUILDING CONSTRUCTION MATERIALS SHALL BE USED TO REDUCE THE INTERIOR
- GEOTECHINICAL ENGINEERING STUDY (dated 3/23/2021) by HILLIS-CARNES ENGINEERING ASSOCIATES.
- THE TRAFFIC STUDY (ADEQUATE ROAD FACILITIES TEST EVALUATION and MULTIMODAL ANALYSIS) WAS PREPARED BY THE TRAFFIC GROUP, dated 6/14/2022 AND WAS APPROVED ON 2/14/2023. FOR SUMMARY OF FINDINGS FOR APFO TRAFFIC ANALYSIS SEE CHART ON RIGHT OF THIS SHEET.
- 22. THE PLAN COMPLIES WITH THE REQUIREMENT OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY THE PAYMENT OF A FEE-IN-LIEU FOR THE FOREST CONSERVATION OBLIGATIONS. THE FEE-IN-LIEU AMOUNT IS \$7,351.88. FOR THE CALCULATIONS OF THE THIS FEE, SEE SHEET 23.
- 23. FINANCIAL SURETY IN THE AMOUNT OF \$21,930.00 FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT FOR THIS SDP. SEE SHEET 13 FOR ADDITIONAL INFORMATION.
- 4. ALL EXTERIOR LIGHTING SHALL COMPLY WITH THE REQUIREMENTS IN SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- 25. THE CONTRACTOR SHALL TEST PIT IN AREAS OF EXISTING UTILITIES TO VERIFY LOCATION AND DEPTHS.
- 26. IN ALL NEW RESIDENTIAL MULTI-FAMILY BUILDINGS HAVING TWO OR MORE FLOORS, A UNIFORM NUMERIC SYSTEM SHALL BE UTILIZED TO IDENTIFY ALL DWELLING UNITS WITH A NUMBER THAT IS UNIQUE TO ONLY ONE UNIT. ALL UNITS IN A VERTICAL STACK OR COLUMN SHALL BE UNIFORMLY NUMBERED SUCH THAT THEY ALL SHARE A NUMERIC REFERENCE TO EACH OTHER IN THAT STACK OR COLUMN. AS APPROVED BY THE AHJ. FOR EXAMPLE, UNIT 301 SHALL BE DIRECTLY OVER UNIT 201, WHICH IS DIRECTLY OVER UNIT 101. IN THE EVENT AN OPEN OR AMENITY SPACE ON ANY FLOOR PREVENTS THIS UNIFORMITY, THE CORRESPONDING UNIT NUMBER SHALL BE OMITTED RATHER THAN MOVED OUTSIDE OF THE NUMERICALLY UNIFORM COLUMN OR STACK.
- 27. FIRE DEPARTMENT CONNECTIONS FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED: (A.) ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS; (B.) WITHIN 100 FT. OF A FIRE HYDRANT; (II) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION; (III) A FREE-STANDING FIRE DEPARTMENT CONNECTION SHALL HAVE THE SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH: (IV) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH A RED REFLECTIVE BORDER, RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A 3/8" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOTE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" BY 18"; (V) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
- 28. STREETLIGHT PLACEMENT, TYPES OF FIXTURES, AND POLES SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL, VOLUME III (2022), SECTION 2.7. A MINIMUM OF 20 FT SHALL BE MAINTAINED BETWEEN ANY STREETLIGHT AND ANY TREE.
- 29. ALL TRAFFIC CONTROL SIGNS SHALL BE PLACED IN FRONT OF TREE LOCATIONS FOR MAXIMUM VISIBILITY. NO TREE CAN BE INSTALLED WITHIN 30 FT OF ANY STOP SIGN (APPROACH DIRECTION). WHERE SIGNS NEED TO BE PLACED BEHIND THE SIDEWALK, ADDITIONAL SPACING BETWEEN TREES MAY BE REQUIRED AT THOSE LOCATIONS.
- a) THE R1-1 (STOP) SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST. BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED. b) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF
- c) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MDMUTCD).
- d) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED (QUICK PUNCH), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO QUICK PUNCH HOLES ABOVE GROUND LEVEL. A
- GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST. e) ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- f) STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLE SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (1993) AND AS MODIFIED BY "GUIDELINES FOR STREET LIGHTS IN RESIDENTIAL DEVELOPMENTS (JUNE 1993)." A MINIMUM SPACING OF 20' SHALL BE MAINTAINED BETWEEN ANY STREETLIGHT AND ANY TREE.
- 31. WP-23-043 WAS APPROVED ON DEC/22/2022 FOR A VARIANCE WITH RESPECT TO SECTION 16.1205(A)(3) TO REMOVE THE SPECIMEN TREE #T5 (A 35" RED MAPLE). THE REMOVAL OF THE SPECIMEN TREE SHALL BE MITIGATED WITH A 2:1 REPLACEMENT WITH NATIVE 3"DBH TREES. THE TWO MITIGATION TREES ARE SHOWN SHEETS 12 & 13 (AS ACER RUBRUM 'OCTOBER GLORY).

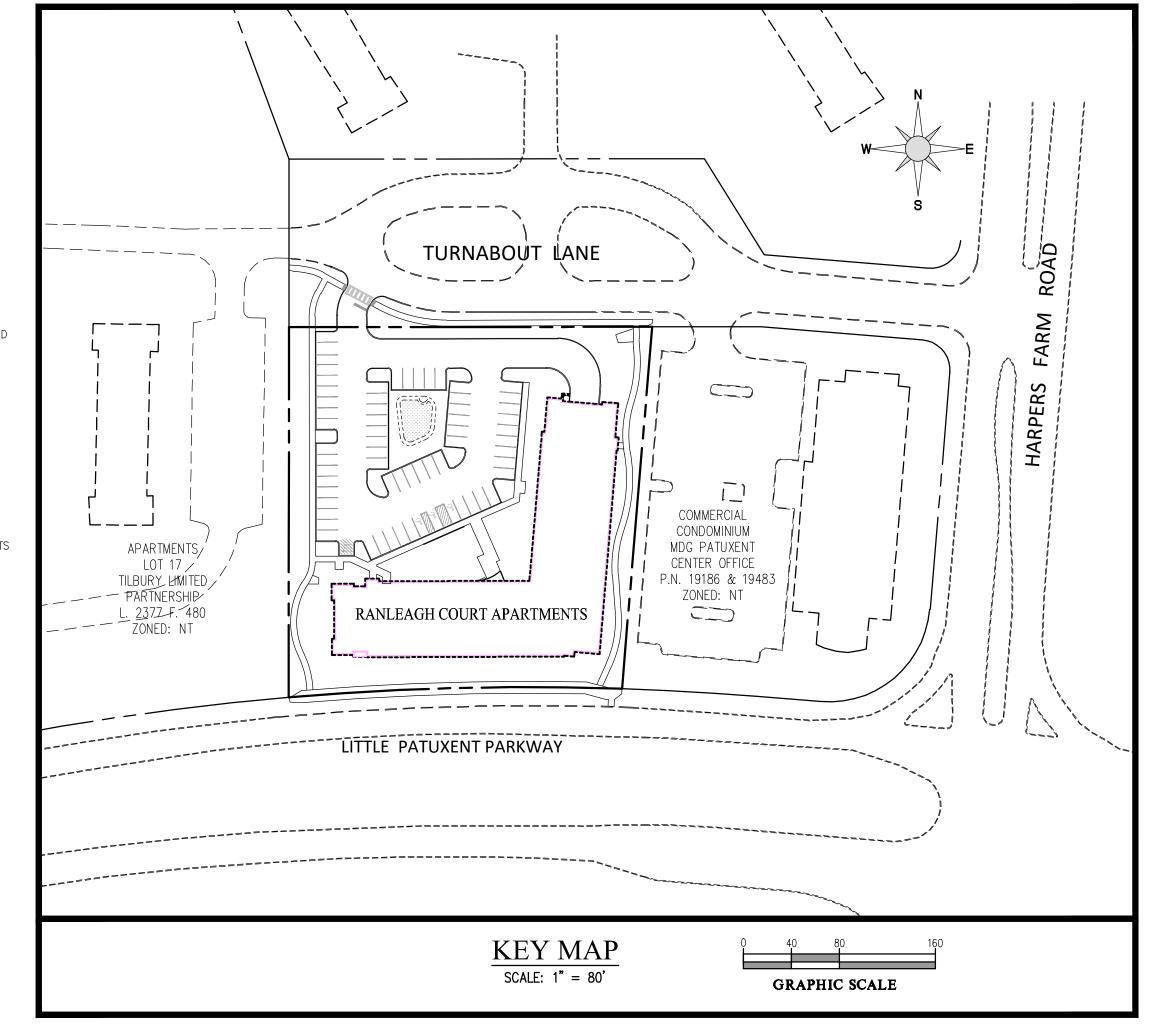
DATE

REVISION

Village of Harper's Choice Section 3 Area 2

Ranleagh Court Apartments (82 Units)

SITE DEWELOPMENT PLAN



	STOR	MWATER MANA	AGEMENT INFORMA	TION CHART		
ſ	LOT / PARCEL NO.	FACILITY NAME / NO.	PRACTICE TYPE (QUANTITY)	PUBLIC / PRIVATE	MISC.	ADDRESS
	LOT 19	MICRO-BIORETENTION	M-6 (1)	PRIVATE		6001 TURNABOUT LAN
	LOT 18	STORMCFPTOR (SC-1)	SC (1)	PRIVATE		OUD TOTAL TO

SITE & REDEVELOPMENT DATA

- 1. THIS SITE IS IN THE NT (NEW TOWN) ZONING DISTRICT. IT IS REDEVELOPED IN ACCORDANCE WITH
- 2. EXISTING SITE DATA:

TOTAL AREA OF SITE (LOT 18):	2.01± ACRES (87,535± S.F.) NONE
100-YR FLOODPLAIN:	NONE
STREAM AND ITS BUFFER:	NONE
FOREST:	NONE
STEEP SLOPES 15% AND GREATER (within L.O.D.):	NONE
ERODIBLE SOILS (within L.O.D.):	NONE
IMPERVIOUS AREÀ (roof & pavement):	1.14 ac. (57%)
TOTAL NUMBERS OF APT. UNITS IN THE 5 BUILDINGS:	41 (all to be razed)

3. <u>REDEVELOPMENT DATA:</u>

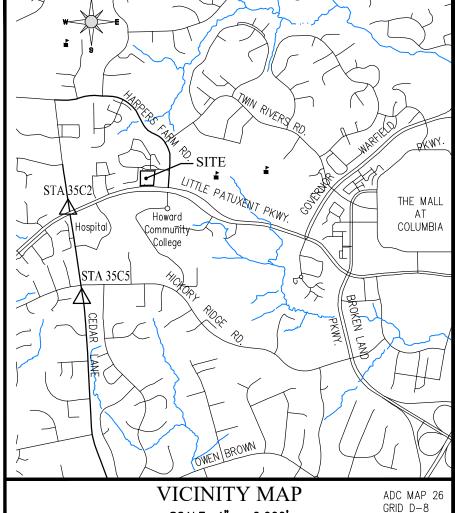
- NUMBER OF APT. UNITS IN THE PROPOSED 4-STORY BUILDING: 82
- BUILDING FOOTPRINT and PERCENT LOT COVERAGE:.....
- 23,455 S.F. BUILDING AREA
- (% OF GROSS SITE AREA): 23,455 S.F. / 87,535 S.F. = 26.8%
- LIMIT OF SUBMISSION (L.O.D.): TOTAL NUMBER OF PARKING SPACES REQUIRED (at 1.5 spaces/unit per FDP-30-A-V, Sec. 9B):
- TOTAL NUMBER OF PARKING SPACES PROVIDED; . • 64 common parking lot spaces (including. 3 ADA spaces) 59 garage parking spaces (including 3 ADA spaces and 4 EV spaces with Level—2 charging stations)
- 4. IN ACCORDANCE WITH SECTION 16.121(A)(4), THERE IS NO OVERALL OPEN SPACE REQUIREMENT FOR THIS PROPERTY: HOWEVER. THE FOLLOWING ARE PROPOSED AMENITIES FOR THIS REDEVELOPMENT OF THIS PROPERTY: 5,219 S.F. TOTAL (2 DOG PARKS, 2 PATIOS & 1 PLAYGROUND)
- 5. VILLAGE OF HARPERS CHOICE PHASE-30-A APARTMENT DENSITY ANALYSIS:

Lot 18 (Ranleagh Court Apartments)

FDP-30-A-V

Plat No. 26354

VoHC Sec. 3, Area-2	DPZ File No.	Apt. Units
Lot 7	SDP-73-053	240
Lot 9	- SDP-73-053	240
Lot 8	SDP-68-006, sheet D-2	56
Lot 11	SDP-69-002, sheet SP-1	88
Lot 17	SDP-70-023, sheets 1&2	104
Lot 18	New SDP-22-051 for Ranleagh Court Redevelopment	82
	Total Apartment Units	570
VoHC 3/	2 total apartment land use area per FDP-30-A-5	43.323 ac
Apartm	ent Land Use average number of units per acre	13.16
Apartment Land Use ave	erage maximum density allowed by FDP-30-A-5	15.0



SCALE: 1'' = 2.000'

HC CONTROL STATIONS NORTHING: 563.920.824

NORTHING: 562,148.449 EASTING: 1,344,204.185 EASTING: 1,344,554.499 FLEVATION: 463 405 ELEVATION: 451.541 (LATEST ADJ. FEB. 2014) (LATEST ADJ. FEB. 2014)

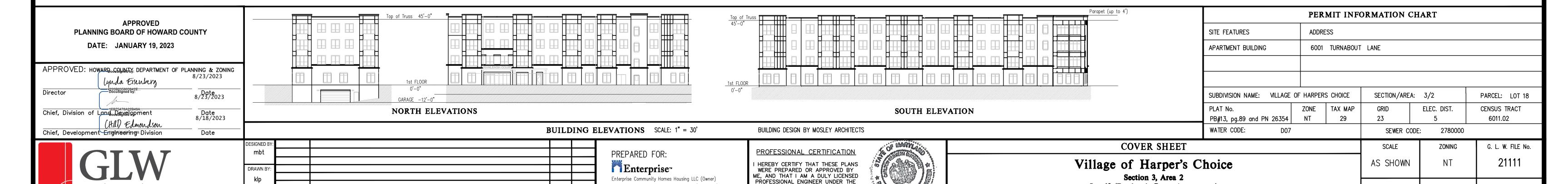
SHEET INDEX

COVER_SHEET

4. SITE DETAILS

- 2. SITE DEVELOPMENT PLAN 3. DEMOLITION & PAVING DELINEATION PLAN
- 5. SEDIMENT CONTROL PLAN
- 6. SEDIMENT CONTROL NOTES and DETAILS
- 7. STORMWATER MANAGEMENT DRAINAGE AREA MAP
- 8. ESD NOTES AND DETAILS 9. UTILITY PROFILES
- 10. STORMDRAIN DRAINAGE AREA DELINEATION
- 11. MATERIALS PLAN (L101) 12. PLANTING MINIMUMS PLAN (L401)
- 13. PLANTING SCHEDULES AND NOTES (L430)
- 14. PLANTING DETAILS (L440)
- 15. PRODUCT INFORMATION (L500)
- 16. CONSTRUCTION DETAILS (510)
- 17. MAINTENANCE OF TRAFFIC PLAN PHASE 1
- 18. MAINTENANCE OF TRAFFIC PLAN PHASE 2
- 19. MAINTENANCE OF TRAFFIC PLAN PHASE 3 20. MAINTENANCE OF TRAFFIC PLAN — PHASE 4
- 21. MAINTENANCE OF TRAFFIC PLAN SHA STANDARDS
- 22. PARKING GARAGE LAYOUT PLAN
- 23. FOREST STAND DELINEATION & FOREST CONSERVATION OBLIGATION ANALYSIS
- 24. PLANTING BETTERMENTS PLAN (L402)
- 25. CONSTRUCTION DETAILS (L511)

SUMMARY OF FINDINGS FOR APFO TRAFFIC ANALYSIS A. Date of Report: June 14, 2022 B. Date of Counts: May 19, 2022 The study was submitted as part of the SDP-22-051 submission. On Thursday, May 19, 2022, Howard County schools were in session. Jurisdiction 2019 AM L.O.S. 2019 PM L.O.S. Harpers Farm Rd. and Little Patuxent Pkwy. County Harpers Farm Rd. and Twin Rivers Rd. County From the "Summary of Findings and Recommendations", the proposed redevelopment of the Ranleagh Court apartments satisfies Howard County Adequate Road Facilities Test Evaluation (ARFTE) Regirements. No recommendations were made for saftey improvements.



Enterprise Community Development, Inc. (Developer)

875 Hollin Street, Suite 202, Baltimore, MD 21201

410-332-7400

LAWS OF THE STATE OF MARYLAND,

07/28/23

LECTION DISTRICT No. 5

LICENSE NO. 12975

EXPIRATION DATE: MAY 26, 2024

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.CON

PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

SDP-22-051

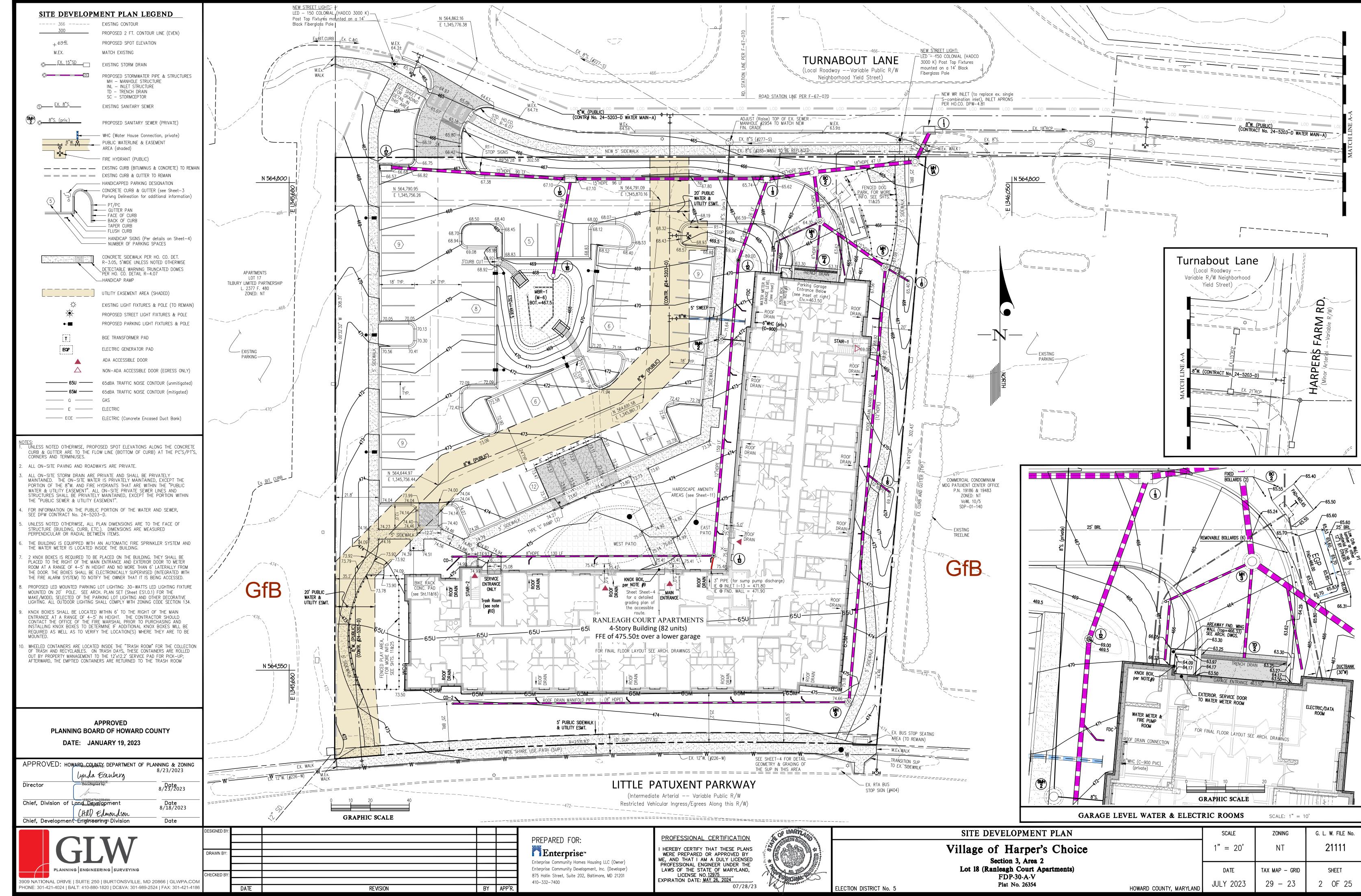
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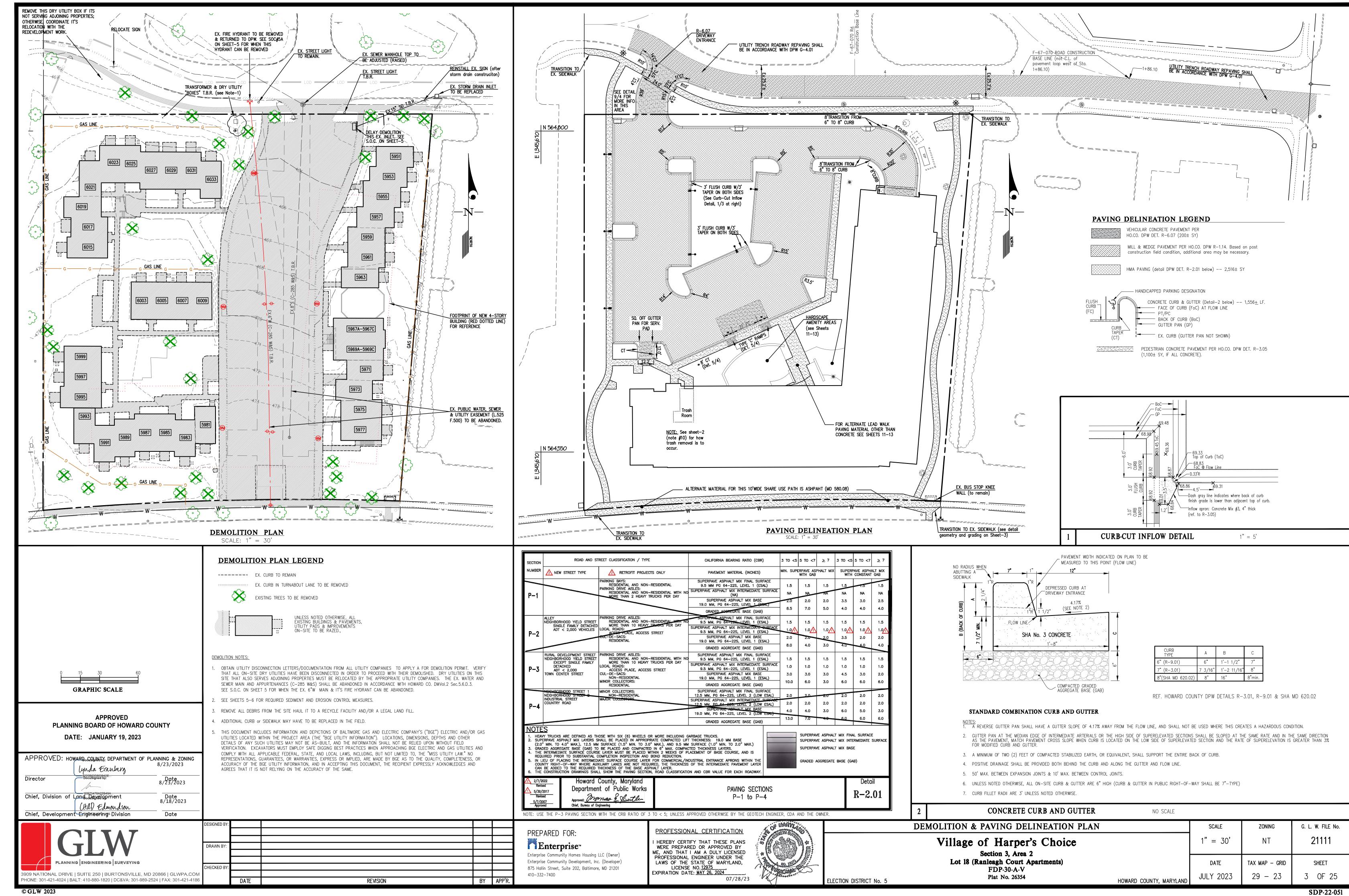
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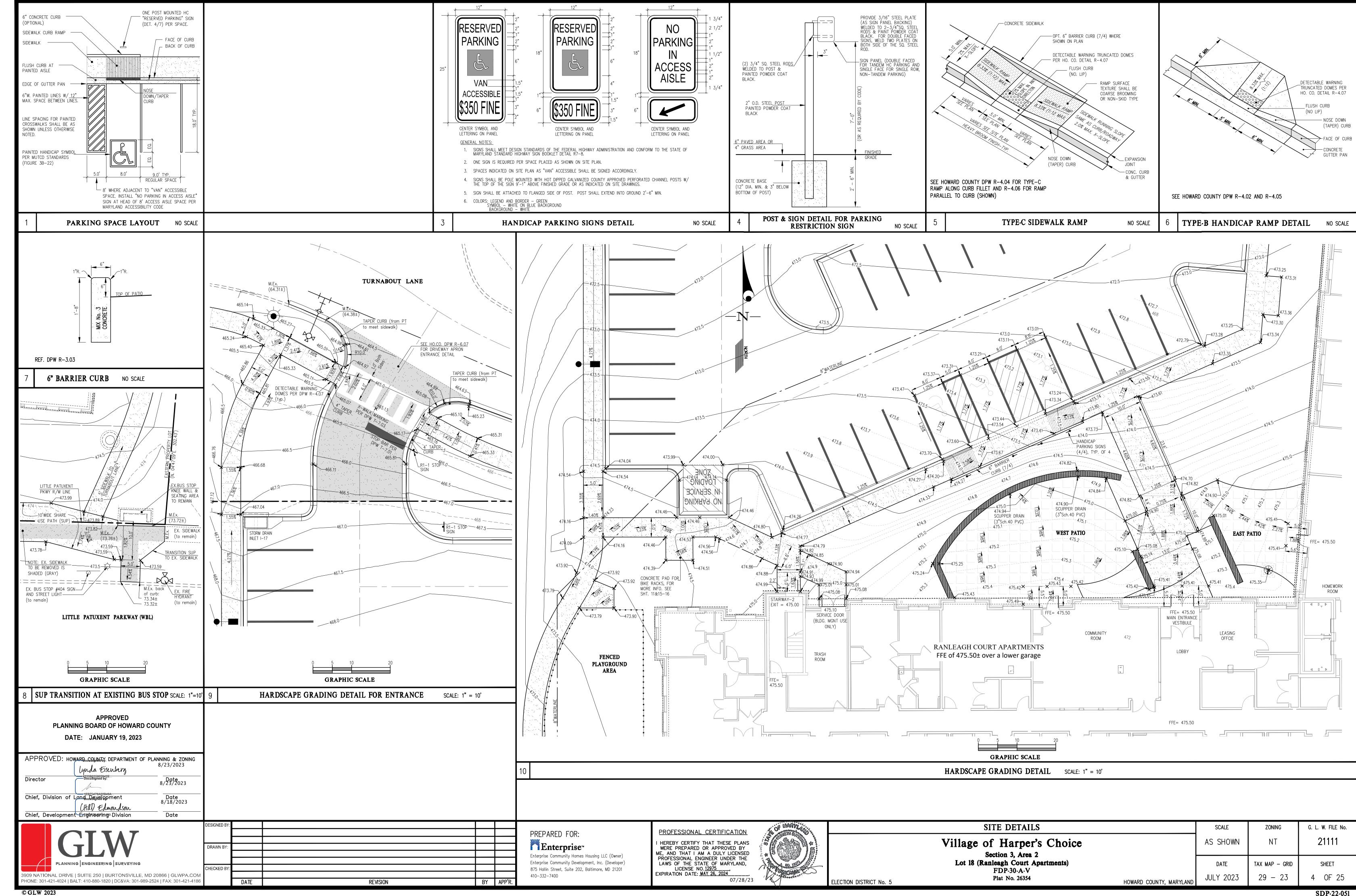
TAX MAP - GRID

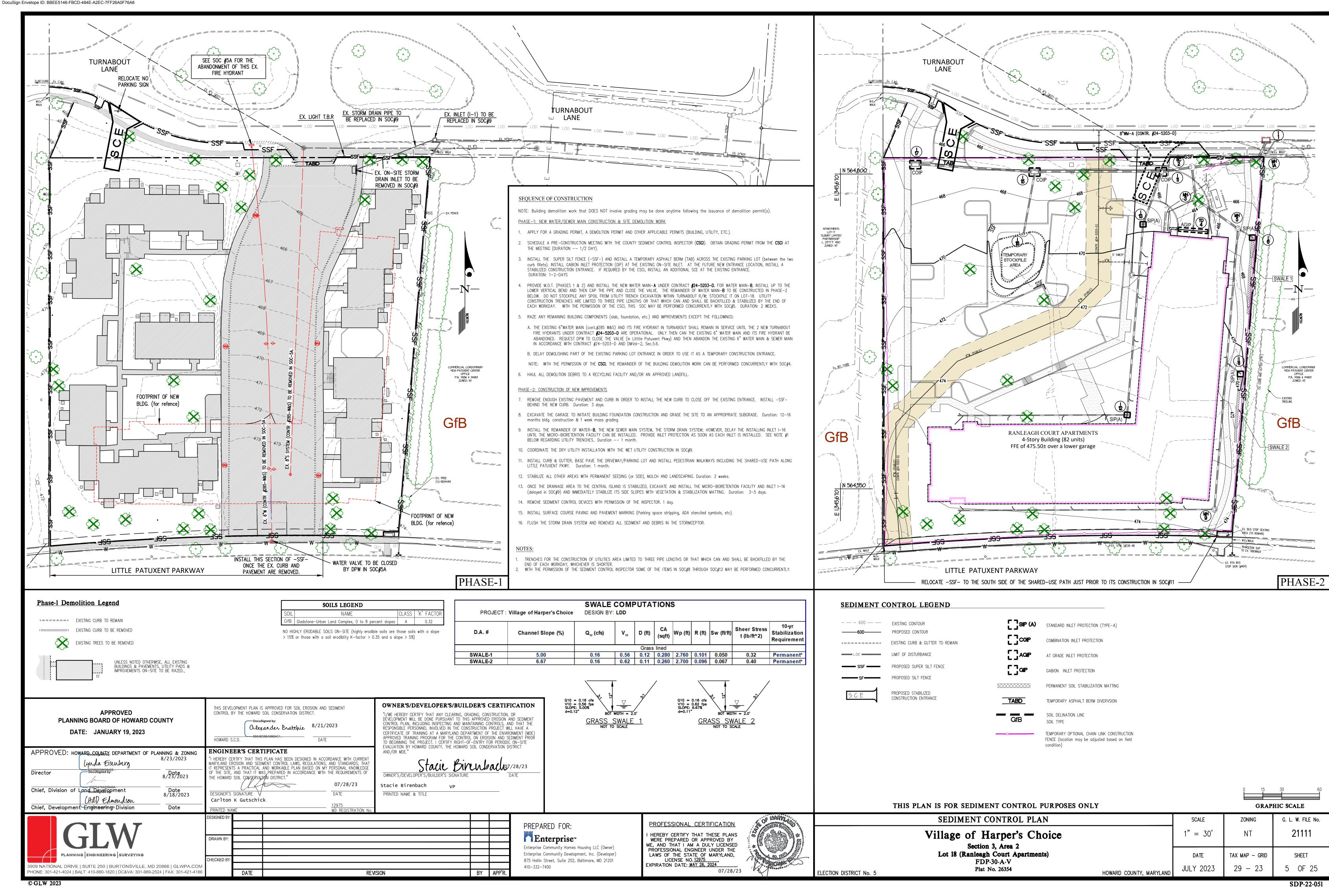
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HOWARD COUNTY, MARYLAND









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	B-4-2 STANDARD AND SPECIFICATIONS PREPARATION, TOPSOILING, AND SOIL ADDEPENTION
	THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VE
	<u>PURPOSE</u> TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVI
	<u>CONDITIONS WHERE PRACTICE APPLIES</u> WHERE VEGETATIVE STABILIZATION IS TO BE ESTAB
	<u>CRITERIA</u> <u>A. SOIL PREPARATION</u>
	 TEMPORARY STABILIZATION SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEP
	BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIF HARROWS OR CHISEL PLOWS OR RIPPERS MOUNTED ON CONSTRUTHE SOIL IS LOOSENED, IT MUST NOT BE ROLLED OR DRAGGED SROUGHENED CONDITION. SLOPES 3:1 OR FLATTER ARE TO BE TR. RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. b. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS. c. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHE
	OR OTHER SUITABLE MEANS. 2. PERMANENT STABILIZATION
	 a. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIV I. SOIL PH BETWEEN 6.0 AND 7.0.
	II. SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM). III. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH F (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE TH MODERATE AMOUNT OF MOISTURE. AN EXCEPTION: IF LOVEGRAS THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY
	ACCEPTABLE. IV. SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY V V. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE
	b. APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON—S THE ABOVE CONDITIONS.
	c. GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRA APPROVED PLAN, THEN SCARIFIED OR OTHERWISE LOOSENED TO INCHES.
	d. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLANTHE RESULTS OF A SOIL TEST. MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL R
	e. MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL B SUITABLE MEANS. RAKE LAWN AREAS TO SMOOTH THE SURFACE, LIKE STONES AND BRANCHES, AND READY THE AREA FOR SEED SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER ECTHE SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVIRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRIABLE. SIBE UNNECESSARY ON NEWLY DISTURBED AREAS.
	B. TOPSOILING1. TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLI
	VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOV PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL
	 TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROV STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN TH PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-NRC
	3. TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPE a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS N
	PRODUCE VEGETATIVE GROWTH. b. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTU NUTRIENTS. c. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC
	 d. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NO 4. AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CODESIGN.
	5. TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST M CRITERIA:
	O. TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM OR LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS LESS THAN 5 PERCENT BY VOLUME OF CINDERS, STONES, SLAG, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER
	DIAMETER. b. TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS: GRASS, QUACK GRASS, JOHNSON GRASS, NUT SEDGE, POISON IV AS SPECIFIED.
	c. TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROUSED IN LIEU OF NATURAL TOPSOIL.
	TOPSOIL APPLICATION BENOSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAIN TOPSOIL. TOPSOIL APPLICATION TOPSOIL AND A FEBRUARY PROPERTY OF THE PROPERTY O
	 b. UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LEMINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORE THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF A PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACT TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORE FORMATION OF DEPRESSIONS OR WATER POCKETS. c. TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS I CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A COOTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED
	C. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)
	 SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURED OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING BE USED FOR CHEMICAL ANALYSES.
	2. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE IN FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROPRIATE APPROPRIATE APPROPRIATE APPROVAL FROM THE SITE FULLY LABELIES.
	APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME OR WARRANTY OF THE PRODUCER. 3. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BU
	SUBSTITUTED EXCEPT WHEN HYDROSEEDING) WHICH CONTAINS AT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMEST TO SUCH FINENESS THAT AT LEAST 50 PERCENT WILL PASS THR SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH A #20 MES
	4. LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCO 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD THE AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS P PRIOR TO THE PLACEMENT OF TOPSOIL.
	APPROVED PLANNING BOARD OF HOWARD O DATE: JANUARY 19, 2023
	APPROVED: HOWARD COUNTY: DEPARTMENT OF F
	Director Bocusigned by:
	Chief, Division of Land, Derkel appment (HD) Edmondson
	Chief, Development Engineering Division

IS FOR SOIL TIVE GROWTH. ABLISHED. JIPMENT, SUCH AS DISC RUCTION EQUIPMENT. AFTER RACKED WITH RIDGES CHES OF SOIL BY DISKING VE ESTABLISHMENT ARE FINE GRAINED MATERIAL THE CAPACITY TO HOLD A ASS WILL BE PLANTED, Y) WOULD BE WEIGHT. JATE ROOT PENETRATION. -SITE SOILS DO NOT MEET RADE AS SPECIFIED ON THE A DEPTH OF 3 TO 5 LAN OR AS INDICATED BY BY DISKING OR OTHER APPLICATION. LOOSEN EQUIPMENT TO ROUGHEN AL SEEDBED PREPARATION VING THE SOIL IN AN CONTOUR OF THE SLOPE SEEDBED LOOSENING MAY ISHMENT OF PERMANEN DIUM FOR VEGETATIVE OW NUTRIENT LEVELS, LOW GRADATION. Y, THE DEPTH OF TOPSOIL HE REPRESENTATIVE SOIL OPES WHERE: NOT ADEQUATE TO S NOT DEEP ENOUGH TO IC TO PLANT GROWTH. CONSIDERATION AND MEET THE FOLLOWING BY AN AGRONOMIST OF AUTHORITY, TOPSOIL THAN 1.5 INCHES IN S SUCH AS BERMUDA IVY, THISTLE, OR OTHERS ' A QUALIFIED AGRONOMIST PROVAL AUTHORITY, MAY BE INED WHEN APPLYING LIGHTLY COMPACT TO A MED IN SUCH A MANNER ADDITIONAL SOIL ACE RESULTING FROM RDER TO PREVENT THE IN A FROZEN OR MUDDY CONDITION THAT MAY DEPARATION. ATIOS AND APPLICATION RBED AREAS OF 5 ACRES .D PRIVATE OR RING PURPOSES MAY ALSO AND SUITABLE FOR MAY BE SUBSTITUTED FOR PROVAL AUTHORITY. LED ACCORDING TO THE R TRADEMARK AND BURNT LIME MAY BE T LEAST 50 PERCENT TONE MUST BE GROUND IROUGH A #100 MESH DRPORATED INTO THE TOP S. WHERE THE SUBSOIL I O GROUND LIMESTONE AT PER 1,000 SQUARE FEET COUNTY

B-4-3 STANDARDS AND SPECIFICATIONS FOR MENDMENTS EGETATIVE STABILIZATION

SEEDING and MULCHING DEFINITION

THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

CONDITIONS WHERE PRACTICE APPLIES TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING

N. SEEDING SPECIFICATIONS

a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SE LABORATORY. ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REFER TO TABLE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE. MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING

DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN E DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS FEFFO SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT

APPLICATION

REMOVE LARGE OBJECTS

COARSE FRAGMENTS,

COVER SEED WITH SOIL.

DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.1, PERMANENT SEEDING TABLE B.3, OR -SPECIFIC SEEDING SUMMARIES.

TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC

APPLY SEED IN TWO DIRECTIONS. PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDED AREA WITH A WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT. DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND

i. CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED MUST BE FIRM AFTER PLANTING. ii. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION.

HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND FERTILIZER). IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING. THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN; P205 (PHOSPHOROUS) 200 POUNDS PER ACRE; K20 (POTASSIUM), 200 POUNDS PER ACRE. LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 S ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING iii. MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT

iv. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

B. MULCHING

MULCH MATERIALS (IN ORDER OF PREFERENCE)

2. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED OS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED, DECAYED, OR EXCESSIVELY DUSTY. NOTE: USE ONLY STERILE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE. WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNIFORMLY SPREAD SLURRY. WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH

iii. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH D, FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS URRY. THE MULCH MATERIAL MUST FORM A BLOTTER—LIKE GROUND COVER ON APPLICATION HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE

WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE PHYTO—TOXIC. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, PH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER HOLDING CAPACITY OF 90 PERCENT MINIMUM.

. APPLICATION

. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING . WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE L SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE.

WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY
WEIGHT OF 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD

CELLULOSE FIBER PER 100 GALLONS OF WATER. ANCHORING

. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND EROSION HAZARD: A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS PRACTICE SHOULD FOLLOW THE CONTOUR.

WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER. i. SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-70, PETROSET, TERRA TAX II, TERRA MANUFACTURER. APPLICATION OF LIQUID

BINDERS NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE OF ASPHALT BINDERS IS STRICTLY PROHIBITED. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MUI CH ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET LONG.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Olexander Bratchie 8/21/2023

HOWARD COLINITY: DEPARTMENT OF PLANNING & ZONING	ENGINEER'S CERTIFICATE
lynda Eisenberg 8/23/2023	"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CUR MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWL
12209935663942E Date 8/23/2023	OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS
157 2025 1EBZ5478A22849A	THE HOWARD SOIL CONSERVATION DISTRICT." 07/28/23
of Land, Development Date 8/18/2023	DESIGNER'S SIGNATURE DATE
(HdD Edmondson	Carlton K Gutschick

DRAWN BY

DATE

Date

HOWARD S.C.D

PATTERNS.

TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS. CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

B-4-4 STANDARDS AND SPECIFICATIONS

FOR TEMPORARY STABILIZATION

<u>DEFINITION</u>

TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TABLE B.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATI BY THE TESTING AGENCY SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING. WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON. APPLY SEED AND

MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND

MAINTAIN UNTIL THE NEXT SEEDING SEASON. TEMPORARY SEEDING SUMMARY HARDINESS ZONE: 6b ERTILIZER LIME SEED MIXTURE: RATE RATE SEEDING SPECIES 40 lb/ac 0.5 INCHES 436 lb./ac. Ryegrass Aug. 1 to Oct. _(10 lb./ (90 lb., 1.000 st 1.000 sf) **I** | May 16 to July 31 0.5 INCHES 20 lb/ac Pearl Millet

B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

A MOUND OR PILE OF SOIL PROTECTED BY APPROPRIATELY DESIGNED EROSION AND SEDIMENT CONTROL MEASURES. TO PROVIDE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION, AND CHANGES TO DRAINAGE

CONDITIONS WHERE PRACTICE APPLIES STOCKPILE AREAS ARE UTILIZED WHEN IT IS NECESSARY TO SALVAGE AND STORE SOIL FOR

THE STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE CLEARLY INDICATED ON THE FROSION AND SEDIMENT CONTROL PLAN THE FOOTPRINT OF THE STOCKPILE MUST BE SIZED TO ACCOMMODATE THE ANTICIPATED VOLUME OF MATERIAL AND BASED ON A SIDE SLOPE RATIO NO STEEPER THAN 2:1. BENCHING MUST BE

PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADING RUNOFF FROM THE STOCKPILE AREA MUST DRAIN TO A SUITABLE SEDIMENT CONTROL ACCESS THE STOCKPILE AREA FROM THE UPGRADE SIDE. CLEAR WATER RUNOFF INTO THE STOCKPILE AREA MUST BE MINIMIZED BY USE OF A

DIVERSION DEVICE SUCH AS AN EARTH DIKE, TEMPORARY SWALE OR DIVERSION FENCE. PROVISIONS MUST BE MADE FOR DISCHARGING CONCENTRATED FLOW IN A NON-EROSIVE MANNER. WHERE RUNOFF CONCENTRATES ALONG THE TOE OF THE STOCKPILE FILL, AN APPROPRIATE EROSION/SEDIMENT CONTROL PRACTICE MUST BE USED TO INTERCEPT THE DISCHARGE.

STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 3/7 DAY STABILIZATION REQUIREMENT AS WELL AS STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION. IF THE STOCKPILE IS LOCATED ON AN IMPERVIOUS SURFACE, A LINER SHOULD BE PROVIDED BELOW THE STOCKPILE TO FACILITATE CLEANUP, STOCKPILES CONTAINING CONTAMINATED MATERIAL MUST BE COVERED WITH IMPERMEABLE SHEETING.

THE STOCKPILE AREA MUST CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION. AREA MUST BE KEPT FREE OF EROSION. IF THE VERTICAL HEIGHT OF A STOCKPILE EXCEEDS 20 FEET FOR 2:1 SLOPES, 30 FEET FOR 3:1 SLOPES, OR 40 FEET FOR 4:1 SLOPES, BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADING.

STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

<u>DEFINITION</u>
CONTROLLING THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES.

TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES TO REDUCE ON AND OFF-SITE DAMAGE INCLUDING HEALTH AND TRAFFIC HAZARDS.

CONDITIONS WHERE PRACTICE APPLIES

AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT.

MULCHES: SEE SECTION B-4-2 SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS, SECTION B-4-3 SEEDING AND MULCHING, AND SECTION B-4-4 TEMPORARY STABILIZATION. MULCH MUST BE ANCHORED TO PREVENT BLOWING. VEGETATIVE COVER: SEE SECTION B-4-4 TEMPORARY STABILIZATION. TILLAGE: TILL TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. BEGIN PLOWING

ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT THAT MAY PRODUCE THE DESIRED EFFECT. IRRIGATION: SPRINKLE SITE WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. THE SITE MUST NOT BE IRRIGATED TO THE POINT THAT RUNOFF OCCURS. BARRIERS: SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL

CHEMICAL TREATMENT: USE OF CHEMICAL TREATMENT REQUIRES APPROVAL BY THE

OWNER'S/DEVELOPER'S/BUILDER'S CERTIFICATION

"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DÉVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROISION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONDERVATION DISTRICT

AND/OR MDE." OWNER'S / DEVELOPER'

BY APP'R

Stacie Birenbach PRINTED NAME & TITLE

12975 MD REGISTRATION N

REVISION

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

<u>CRITERIA</u>

a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SÚMMARY IS TO

ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 -CRITICAL AREA PLANTING. FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES

RECOMMENDED BY THE SOIL TESTING AGENCY. d. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY. TURFGRASS MIXTURES

a. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE. b. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE

KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT. IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF HREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.

KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ÉSTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.

TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE RECOMMENDED MIXTURE INCLUDES; CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE

iv KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA. MIXTURE INCLUDES; CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATE: 1/2 TO 3 POUNDS PER 1000 SQUARE FEET.

SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND"

CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE IDEAL TIMES OF SEEDING FOR TURE GRASS MIXTURES

WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES: 5B, <u>CENTRAL MD:</u> MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: 61 OUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15

TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY

k. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON. IN ABNORMALLY DRY OR HOT SEASONS. OR ON ADVERSE SITES.

PERMANENT SEEDING SUMMARY

No.	EED MIXTURE: #9 (Tall Fescue _/ SPECIES	APPLICATION RATE		SEEDING DEPTHS	FERTILIZER RATE (10-20-20)	LIME RATE
9	*Certified Tall Fescue blend (95% by weight): Falcon IV, Penn 1901 & Rebel Exeda and Certified Kentucky Bluegrass blend (5% by weight): Courtyard, Raven & Yankee	6-8 lb/ 1000 s.f.	Mar. 1 to May 15, Aug. 15 to Oct. 15	1/4 – 1/2 IN.	1.0 lb/ 1000 s.f. (45 lb/acre)	90 lb/ 1000 s.f

B. SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).

a. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR. b. SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS 1/4 INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP

GROWTH AND THATCH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.

d. SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL. SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.

HARDINESS ZONE: 6b

a. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS T PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS. WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND

WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS AND E UNDERLYING SOIL SURFACE WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN

SOD MAINTENANCE

PREPARED FOR:

410-332-7400

Enterprise*

Enterprise Community Homes Housing LLC (Owner)

Enterprise Community Development, Inc. (Developer)

875 Hollin Street, Suite 202, Baltimore, MD 21201

a. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING. AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN

DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

LICENSE NO. 12975 EXPIRATION DATE: MAY 26, 2024

SEDIMENT CONTROL NOTES A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY

DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER THE FUTURE LOD AND PROTECTED AREAS ARE MARKE CLEARLY IN THE FIELD. A MINIMUM OF 48 HOUR NOTICE TO CID MUST BE GIVEN T THE FOLLOWING STAGES: a. PRIOR TO THE START OF EARTH DISTURBANCE b. UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND

SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING,
c. PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING d. PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL

OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED

UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE. OTHER RELATED STATE AND FEDERAL PERMITS SHALL BE REFERENCED, TO ENSURE COORDINATION AND TO AVOID CONFLICTS WITH THIS PLAN. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: 3 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, 7 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE

FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE

ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR TOPSOIL (Sec 8-4-2), PERMANENT SEEDING (Sec.B-4-5), TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B—4—3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES IF THE GROUND IS FROZEN. INCREMENTAL STABILIZATION (SEC. B-4-1) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH >15'OF CUT AND/OR FILL. STOCKPILES (SEC. B-4-8) IN EXCESS OF 20 FT. MUST BE BENCHED WITH STABLE OUTLET. A CONCENTRATED FLOW, STEEP SLOPE, AND HIGHLY ERODIBLE AREAS SHALL RECEIVE SOIL STABILIZATION MATTING (SEC. B-4-6).

ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE CID. SITE ANALYSIS:

TOTAL AREA OF SITE (LOT 1) : 2.01± AC. AREA DISTURBED 2.40 AC. * FOR ESTIMATING AREA TO BE ROOFED OR PAVED : 1.62 AC. PURPOSES ONLY. AREA TO BE VEGETATIVELY STABILIZED : 0.78 AC. CONTRACTOR 7 : 8,750 CY* TOTAL CUT VERIFY ACTUAL VALUES. : 3,100 CY* TOTAL FILL OFF-SITE WASTE/BORROW : Site with an active grading permit AREA LOCATION ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF

ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE CID. THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY; AND THE NEXT DAY AFTER EACH RAIN EVENT. A WRITTEN REPORT BY THE CONTRACTOR, MADE AVAILABLE UPON REQUEST, IS PART OF EVERY INSPECTION AND SHOULD INCLUDE:

• INSPECTION DATE • INSPECTION TYPE (ROUTINE, PRE-STORM EVENT, DURING RAIN EVENT)
• NAME AND TITLE OF INSPECTOR

• WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST RECORDED PRECIPITATION) BRIEF DESCRIPTION OF PROJECT'S STATUS (E.G., PERCENT COMPLETE) AND/OR CURRENT ACTIVITIES • EVIDENCE OF SEDIMENT DISCHARGES IDENTIFICATION OF PLAN DEFICIENCIES
 IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAINTENANCE

 IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS
 COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTRUCTION AND STABILIZATION REQUIREMENTS MONITORING/SAMPLING MAINTENANĆE AND/OR CORRECTIVE ACTION PERFORMED
 OTHER INSPECTION ITEMS AS REQUIRED BY THE GENERAL PERMIT FOR

STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES (NPDES, MDE). TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED BY HE END OF EACH WORKDAY, WHICHEVER IS SHORTER. ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF

CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE HSCD PRIOR TO PROCEEDING WITH CONSTRUCTION. MINOR REVISIONS MAY ALLOWED BY THE CID PER THE LIST OF HSCD-APPROVED FIELD CHANGES. DISTURBANCE SHALL NOT OCCUR OUTSIDE THE L.O.D. A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE CID. UNLESS OTHERWISE SPECIFIED AND APPROVED BY HSCD, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.

WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT STRUCTURE. TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON—SITE FOR REDISTRIBUTION ONTO FINAL GRADE.

ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON—THE—CONTOUR, AND BE IMBRICATED AT 25'MINIMUM INTERVALS, WITH LOWER ENDS CURLED UPHILL BY 2'IN ELEVATION. STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS (INCLUSIVE):

• USE I AND IP MARCH 1 - JUNE 15 • USE III AND IIIP OCTOBER 1 - APRIL 30

. A COPY OF THIS PLAN, THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND ASSOCIATED PERMITS SHALL BE ON—SITE AND AVAILABLE WHEN THE SITE IS ACTIVE.

DETAIL B-1 STABILIZED CONSTRUCTION SCE ENTRANCE MOUNTABLE BERM (6 IN MIN.) EXISTING GROUND -ACCOM-NONWOVEN GEOTEXTILE PIPE (SEE NOTE 6) **PROFILE** PLAN VIEW CONSTRUCTION SPECIFICATIONS

PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (*30 FEET FOR SINGLE RESIDENCE LOT), USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STOME OVER THE PIPE. PROVIDE PIPE A SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAT OCONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.

PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAI OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL FROSION AND SEDIMENT CONTROL

2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION U.S. DEPARTMENT OF AGRICULTURE
ATURAL RESOURCES CONSERVATION SERVICE DETAIL E-9-2 AT-GRADE INLET PROTECTION MAXIMUM DRAINAGE AREA = 1 ACRE NONWOVEN GEOTEXTILE -PLAN / CUT AWAY VIEW /--¼ IN HARDWARE CLOTH _-6 IN

¾, TO 1½ IN STONE - NONWOVEN GEOTEXTILE 6 IN_

CONSTRUCTION SPECIFICATIONS

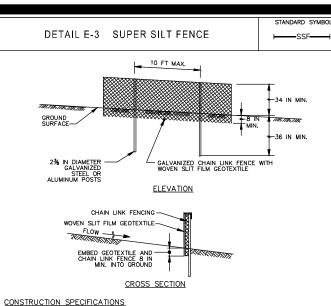
USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS. LIFT GRATE AND WRAP WITH NONWOVEN GEOTEXTILE TO COMPLETELY COVER ALL OPENINGS. SECURE WITH WIRE TIES AND SET GRATE BACK IN PLACE. PLACE CLEAN 34 TO 1/2 INCH STONE OR EQUIVALENT RECYCLED CONCRETE 6 INCHES THICK ON THE CRATE . STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING, IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

CROSS SECTION

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL U.S. DEPARTMENT OF AGRICULTURE
ATURAL RESOURCES CONSERVATION SERVICE

ATURAL RESOURCES CONSERVATION SERVICE

MARYLAND DEPARTMENT OF ENVIRONMEN
WATER MANAGEMENT ADMINISTRATION



INSTALL 2% INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2% INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS. WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS. . EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE. PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H $^-$ 1 MATERIALS. . REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTRO MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE

2011

MARYLAND DEPARTMENT OF ENVIRONMEN
WATER MANAGEMENT ADMINISTRATION STABILIZATION MATTING PSMC - *0.40 lb/ft.² DETAIL E-9-7 GABION INLET PROTECTION (* INCLUDE SHEAR STRESS)

ISOMETRIC VIEW USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS. PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDBED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS, PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS, UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION AND SEDIMENT CONTROL. . UNROLL MATTING IN DIRECTION OF WATER FLOW, CENTERING THE FIRST ROLL ON THE CHANNEL CENTER LINE WORK FROM CENTER OF CHANNEL OUTWARD WHEN PLACING ROLLS. LAY MATTING SMOOTHLY AND FIRMLY UP THE SEEDED SURFACE. AVOID STRECTHING THE MATTING.

. OVERLAP OR ABUT EDGES OF MATTING ROLLS PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSTREAM MAT OVERLAPPING ON TOP OF THE NEXT DOWNSTREAM MAT. 7. KEY IN THE TOP OF SLOPE END OF MAT 6 INCHES (MINIMUM) BY DIGGING A TRENCH, PLACING THE MATTING ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END IN THE KEY. . STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS. . IF SPECIFIED BY THE DESIGNER OR MANUFACTURER AND DEPENDING ON THE TYPE OF MAT BEING INSTALLE ONCE THE MATTING IS KEYED AND STAPLED IN PLACE, FILL THE MAT VOIDS WITH TOP SOIL OR GRANULAR MATERIAL AND LIGHTLY COMPACT OR ROLL TO MAXIMIZE SOIL/MAT CONTACT WITHOUT CRUSHING MAT.

O. ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
2011
MARYLAND DEPARTMENT OF ENVIRONMEN
WATER MANAGEMENT ADMINISTRATION DETAIL E- 9-1 STANDARD INLET PROTECTION

SSF | DETAIL C-5 TEMPORARY ASPHALT BERM PLAN VIEW PAVED SURFACE

CROSS SECTION

CONSTRUCTION SPECIFICATIONS CONSTRUCT BERM ON AN UNINTERRUPTED, CONTINUOUS GRADE. INSTALL BERM TO CONFORM TO CROSS SECTION DIMENSIONS OF A UNIFORM HEIGHT OF 8 INCHES MINIMUM AND APPROXIMATE WIDTH OF 3½ FEET.

PROVIDE OUTLET PROTECTION AS REQUIRED ON PLAN. 4. COMPACT ASPHALT BERM

REPAIR DAMAGED ASPHALT. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. MAINTAIN POSITIVE UPON REMOVAL OF ASPHALT BERM, RETURN TO ORIGINAL CONDITIONS OR AS SPECIFIED ON APPROVED PLAN.

> MAXIMUM DRAINAGE AREA = 11/2 A 9 FT BION BASKETS NONWOVEN GEOTEXTILE
> ON OUTSIDE
> OF BASKET PLAN VIEW EX. GROUND 6 IN DEPTH CONSTRUCTION SPECIFICATIONS SECTION A-A

USE BASKETS MADE OF 11 GAUGE WIRE OR HEAVIER. WRAP 3 FEET \times 3 FEET GABION BASKETS (LENGTH VARIABLE) WITH NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS, OVERLAPPING AT THE TOP AND FASTEN THE GEOTEXTILE AT THE TOP OF THE BASKET WITH WIRE FASTENERS (HOG RINGS) AT A MAXIMUM OF 1 FOOT INTERVALS LONG THE SEAM. AVOID TEARING OR DAMAGING GEOTEXTILE.

4. ENTRENCH GABION BASKETS TO A DEPTH OF 6 INCHES. . PLACE AND INTERLOCK GABION BASKETS WITH NO GAPS. FILL GABION BASKETS WITH CLEAN 4 TO 7 INCH STONE OR EQUIVALENT RECYCLED CONCRETE WITHOUT REBAR OR MESH.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL U.S. DEPARTMENT OF AGRICULTURE
ATURAL RESOURCES CONSERVATION SERVICE

2011

MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

SIP DETAIL E- 9-1 STANDARD INLET PROTECTION CONSTRUCTION SPECIFICATIONS 1. USE WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS. EXCAVATE COMPLETELY AROUND THE INLET TO A DEPTH OF 18 INCHES BELOW THE NOTCH ELEVATION

- TOP ELEVATION ∠2 IN x 4 IN_I FRAMING 16 IN MIN. NOTCH ELEVATION -WOVEN SLIT FILM GEOTEXTILE 18 IN INTO GROUND -TYPE B ISOMETRIC VIEW EDGE OF ROADWAY OR TOP OF EARTH DIKE

ENDS OF THE INLET, ASSEMBLE THE TOP PORTION OF THE 2X4 FRAME AS SHOWN STRETCH X INCH CALVANIZED HARDWARE CLOTH TIGHTLY AROUND THE FRAME AND FASTEN SECURELY, FASTEN GEOTEXTILE SECURELY TO THE HARDWARE CLOTH WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND HARDWARE CLOTH A MINIMUM OF 18 INCHES BELOW THE WEIR CREST, THE ENDS OF THE GEOTEXTILE MUST MEET AT A POST, BE OVERLAPPED AND FOLDED, HEN FASTENED TO THE POST. FOR TYPE B, USE 236 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND 6 FOOT LENGTH, DRIVEN A MINIMUM OF 36 INCHES BELOW THE WEIR CREST AT EACH CORNER OF THE STRUCTURE. FASTEN 9 GAUGE OR HEAVIER CHAIN LINK FENCE, 42 INCHES IN HEIGHT, SECURELY TO THE FENCE POSTS WITH WIRE ITES. FASTEN GEOTEXTILE SECURELY TO THE CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE WITH FENCE A MINIMUM OF 18 INCHES BELOW THE WEIR CREST. BACKFILL AROUND THE INLET IN LOOSE 4 INCH LIFTS AND COMPACT UNTIL SOIL IS LEVEL WITH THE NOTCH ELEVATION ON THE ENDS AND TOP ELEVATION ON THE SIDES.

TYPE A

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL FROSION AND SEDIMENT CONTROL MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE DETAIL E-9-6 COMBINATION INLET PROTECTION MAXIMUM DRAINAGE AREA = 1/4 ACRE 2 FT MIN. LENGTH— OF 2 IN x 4 IN 6 IN OVERLAP NONWOVEN GEOTEXTILE -SECTION

ISOMETRIC VIEW

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

L2 IN x 4 IN WEIR

SECTION FOR TYPE A AND B

PROTECTION CONSTRUCTION SPECIFICATIONS 1. USE NOMINAL 2 INCH x 4 INCH LUMBER.

2. USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS. LIFT GRATE, AND WRAP WITH NONWOVEN GEOTEXTILE TO COMPLETELY COVER ALL OPENINGS, THEN SET GRATE BACK IN PLACE. ATTACH A CONTINUOUS PIECE OF ½ INCH GALVANIZED HARDWARE CLOTH WITH A MINIMUM WIDTH OI 30 INCHES AND A MINIMUM LEGITH OF 4 FEET LONGER THAN THE THROAT OPENING, TO THE 2X4 WERE, EXTENDING 2 FEET BEYOND THROAT ON EACH SIDE. 5. PLACE A CONTINUOUS PIECE OF NONWOVEN GEOTEXTILE THE SAME DIMENSIONS AS THE HARDWARE CLOTH OVER THE HARDWARE CLOTH AND SECURELY ATTACH IT TO THE WEIR.

DETAIL E-9-6 COMBINATION INLET

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL FROSION AND SEDIMENT CONTROL

COIP

5. NAIL THE 2X4 WEIR TO THE TOP OF A 9 INCH LONG VERTICAL SPACER TO BE LOCATED BETWEEN THE WEIR AND THE INLET FACE (MAXIMUM 4 FEET APART). PLACE THE ASSEMBLY AGAINST THE INLET THROAT AND NAIL TO 2X4 ANCHORS (MINIMUM 2 FOOT LENGTHS OF 2X4 INCH TO THE TOP OF THE WEIR AT SPACER LOCATIONS). EXTEND 2X4 ANCHORS ACROSS THE INLET TOP AND HOLD IN PLACE BY SANDBAGS OR OTHER APPROVED ANCHORING METHOD.

8. INSTALL END SPACERS A MINIMUM OF 1 FOOT BEYOND BOTH ENDS OF THE THROAT OPENING. 9. FORM THE 1/2, INCH HARDWARE CLOTH AND THE GEOTEXTILE TO THE CONCRETE GUTTER AND AGAINST THE FACE OF THE CURB ON BOTH SIDES OF THE INLET. PLACE CLEAN 1/2, TO 11/2, INCH STONE OR EQUIVALENT RECYCLED CONCRETE OVER THE HARDWARE CLOTH AND GEOTEXTILE IN SUCH A MANNER TO PREVENT WATER FROM ENTERING THE INLET UNDER OR AROUND THE GEOTEXTILE. 10. AT NON-SUMP LOCATIONS, INSTALL A TEMPORARY SANDBAG OR ASPHALT BERM TO PREVENT INLET

DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET TION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. HIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL MARYLAND DEPARTMENT OF ENVIRONMEN WATER MANAGEMENT ADMINISTRATION 2011

Section 3, Area 2 FDP-30-A-V

Village of Harper's Choice Lot 18 (Ranleagh Court Apartments) Plat No. 26354

U.S. DEPARTMENT OF AGRICULTURE
VATURAL RESOURCES CONSERVATION SERVICE

ACTUAL MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION
U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE SEDIMENT CONTROL NOTES and DETAILS G. L. W. FILE No. 21111 DATE TAX MAP - GRID SHEET JULY 2023 29 – 23 OF 25 HOWARD COUNTY, MARYLAND

GRATE WRAPPED WITH GEOTEXTILE

PROFESSIONAL CERTIFICATION HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, 07/28/23

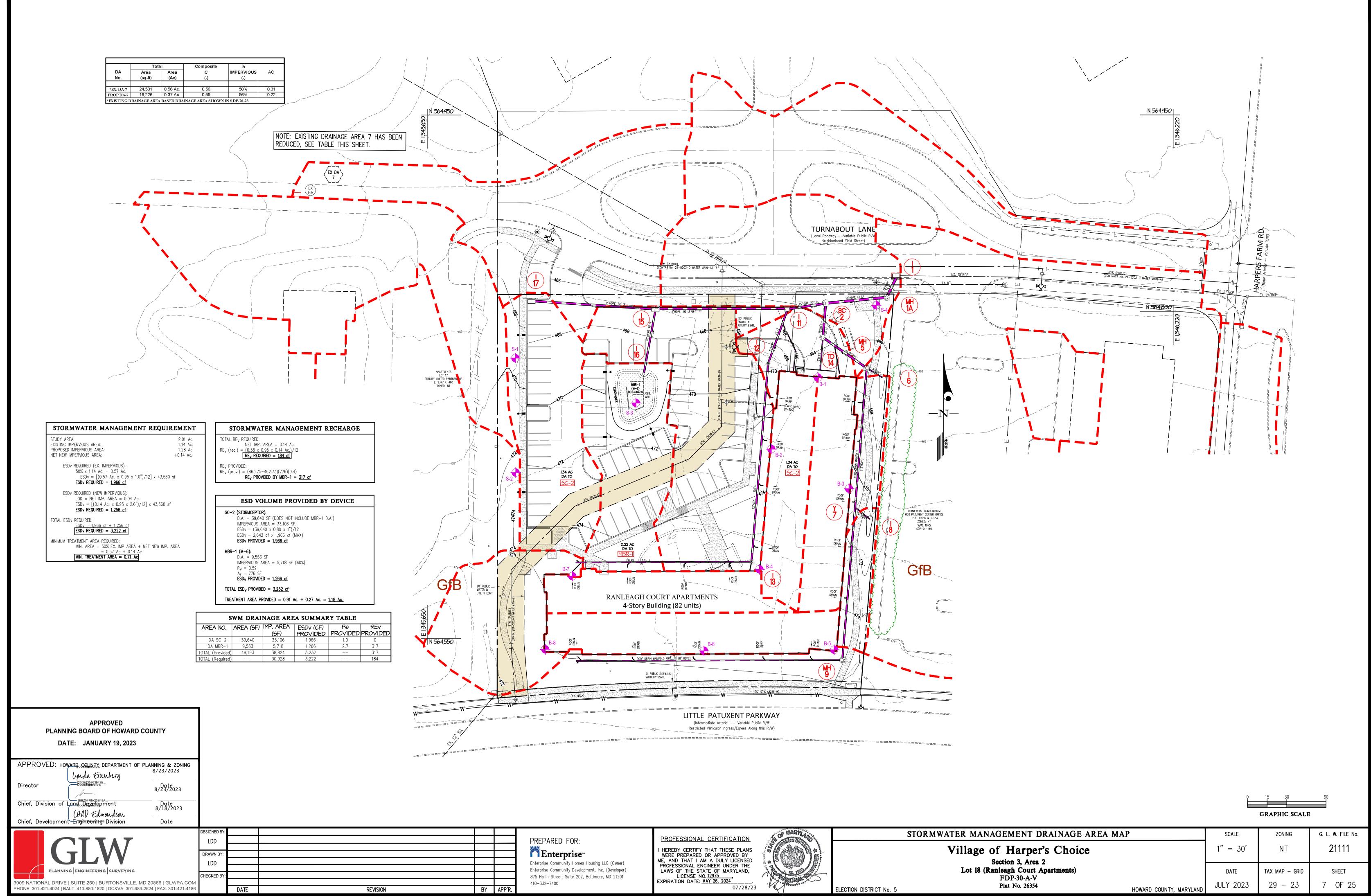
LECTION DISTRICT No. 5

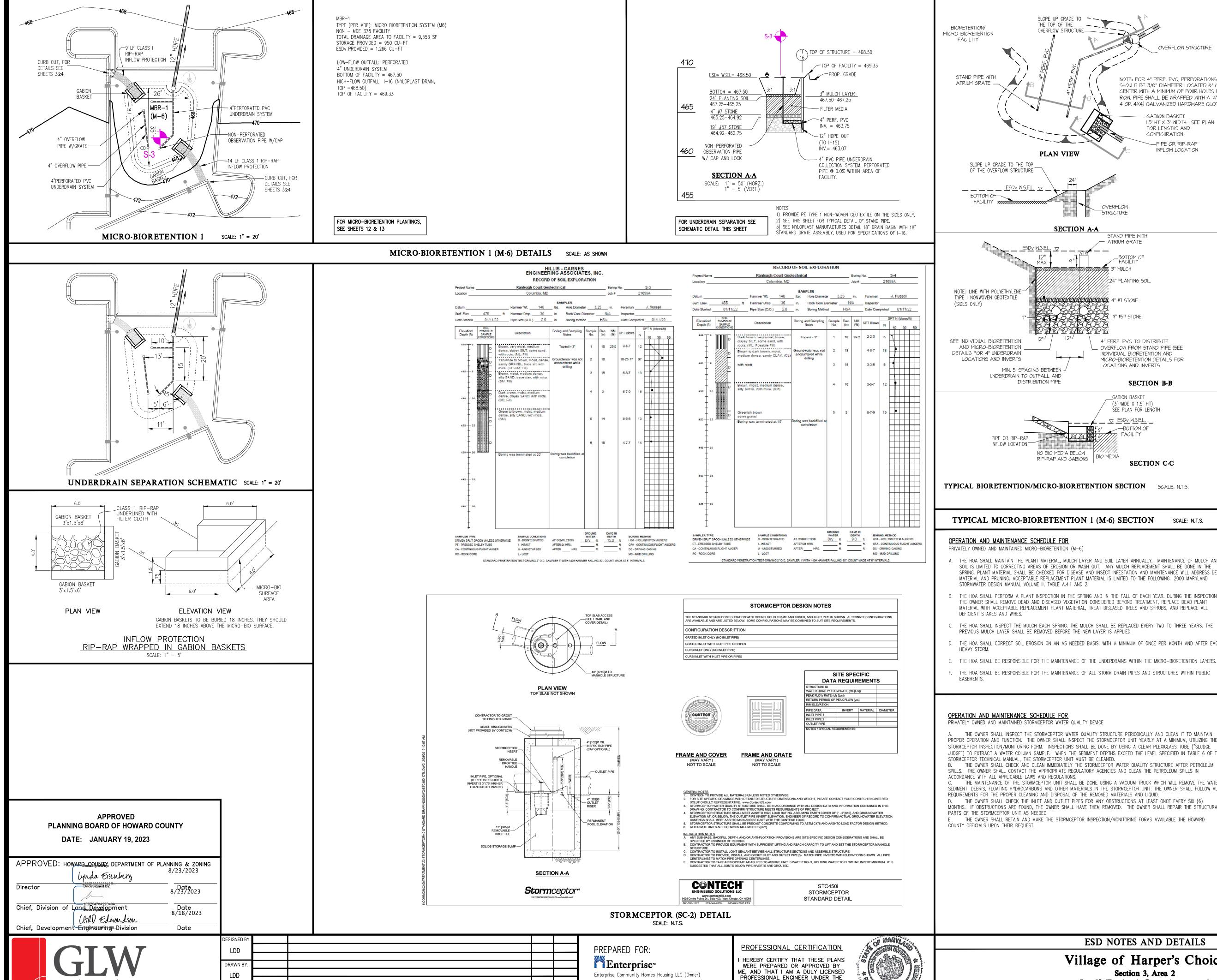
SDP-22-051

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Enterprise Community Development, Inc. (Developer)

875 Hollin Street, Suite 202, Baltimore, MD 21201

410-332-7400

BY APP'R

REVISION

LAWS OF THE STATE OF MARYLAND,

07/28/23

LICENSE NO. 12975 EXPIRATION DATE: MAY 26, 2024

OVERFLOW STRUCTURE

SHOULD BE 3/8" DIAMETER LOCATED 6" ON

4 OR 4X4) GALVANIZED HARDWARE CLOTH

1.5' HT X 3' WIDTH. SEE PLAN

-PIPE OR RIP-RAP

INFLOW LOCATION

GABION BASKET

CONFIGURATION

OVERELOW STRUCTURE

- ATRIUM GRATE

/24" PLANTING SOIL

4" PERF. PVC TO DISTRIBUTE

LOCATIONS AND INVERTS

GABION BASKET (3' WIDE X 1.5' HT)

-BOTTOM OF

SEE PLAN FOR LENGTH

INDIVIDUAL BIORETENTION AND

OVERFLOW FROM STAND PIPE (SEE

MICRO-BIORETENTION DETAILS FOR

SECTION B-B

SECTION C-C

FOR LENGTHS AND

THE ALLOWABLE MATERIALS TO BE USED IN THESE PRACTICES ARE DETAILED IN TABLE B.4.1. (Appendix B.4, MDE SWM Design Manual, 2009)

THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE MICRO-BIORETENTION PRACTICE THAT MAY BE HARMFUL TO PLANT

GROWTH, OR PROVE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATIONS. THE PLANTING SOIL SHALL BE FREE OF BERMUDA

GRASS, QUACKGRASS, JOHNSON GRASS, OR OTHER NOXIOUS WEEDS AS SPECIFIED UNDER COMAR 15.08.01.05. THE PLANTING SOIL SHALL BE TESTED AND SHALL MEET THE FOLLOWING CRITERIA:

SOIL COMPONENT - LOAMY SAND OR SANDY LOAM (USDA SOIL TEXTURAL CLASSIFICATION)ORGANIC MATTER 1.5 - 4% (BY WEIGHT) NOTE: FOR 4" PERF. PVC, PERFORATIONS ORGANIC CONTENT - MINIMUM 10% BY DRY WEIGHT (ASTM D 2974). IN GENERAL, THIS CAN BE MET WITH A MIXTURE OF LOAMY SAND

(60%-65%) AND COMPOST (35% TO 40%) OR SANDY LOAM (30%), COARSE SAND (30%), AND COMPOST (40%). CENTER WITH A MINIMUM OF FOUR HOLES PER CLAY CONTENT - MEDIA SHALL HAVE A CLAY CONTENT OF LESS THAN 5%.

ROW, PIPE SHALL BE WRAPPED WITH A 1/4" (NO. PH RANGE -SHOULD BE BETWEEN 5.5 - 7.0. AMENDMENTS (E.G., LIME, IRON SULFATE PLUS SULFUR) MAY BE MIXED INTO THE SOIL TO INCREASE OR DECREASE PH.

> ADDITIONAL TESTS OF ORGANIC MATTER, AND SOLUBLE SALTS. A TEXTURAL ANALYSIS IS REQUIRED FROM THE SITE STOCKPILED TOPSOIL. IF TOPSOIL IS IMPORTED, THEN A TEXTURE ANALYSIS SHALL BE PERFORMED FOR EACH LOCATION WHERE THE TOPSOIL WAS EXCAVATED. T IS VERY IMPORTANT TO MINIMIZE COMPACTION OF BOTH THE BASE OF BIORETENTION PRACTICES AND THE REQUIRED BACKFILL. WHEN

THERE SHALL BE AT LEAST ONE SOIL TEST PER PROJECT. EACH TEST SHALL CONSIST OF BOTH THE STANDARD SOIL TEST FOR PH, AND

POSSIBLE, USE EXCAVATION HOES TO REMOVE ORIGINAL SOIL. IF PRACTICES ARE EXCAVATED USING A LOADER, THE CONTRACTOR SHOULD USE WIDE TRACK OR MARSH TRACK EQUIPMENT. OR LIGHT EQUIPMENT WITH TURF TYPE TIRES. USE OF EQUIPMENT WITH NARROW TRACKS OR NARROW TIRES, RUBBER TIRES WITH LARGE LUGS, OR HIGH-PRESSURE TIRES WILL CAUSE EXCESSIVE COMPACTION RESULTING IN REDUCED INFILTRATION RATES AND IS NOT ACCEPTABLE. COMPACTION WILL SIGNIFICANTLY CONTRIBUTE TO DESIGN FAILURE. COMPACTION CAN BE ALLEVIATED AT THE BASE OF THE BIORETENTION FACILITY BY USING A PRIMARY TILLING OPERATION SUCH AS A CHISEL

PLOW, RIPPER, OR SUBSOILER. THESE TILLING OPERATIONS ARE TO REFRACTURE THE SOIL PROFILE THROUGH THE 12 INCH COMPACTION

ZONE. SUBSTITUTE METHODS MUST BE APPROVED BY THE ENGINEER. ROTOTILLERS TYPICALLY DO NOT TILL DEEP ENOUGH TO REDUCE THE

EFFECTS OF COMPACTION FROM HEAVY EQUIPMENT. ROTOTILL 2 TO 3 INCHES OF SAND INTO THE BASE OF THE BIORETENTION FACILITY BEFORE BACKFILLING THE OPTIONAL SAND LAYER. PUMP

WHEN BACKFILLING THE TOPSOIL OVER THE SAND LAYER, FIRST PLACE 3 TO 4 INCHES OF TOPSOIL OVER THE SAND, THEN ROTOTILL THE SAND/TOPSOIL TO CREATE A GRADATION ZONE. BACKFILL THE REMAINDER OF THE TOPSOIL TO FINAL GRADE. WHEN BACKFILLING THE BIORETENTION FACILITY, PLACE SOIL IN LIFTS 12" TO 18". DO NOT USE HEAVY EQUIPMENT WITHIN THE BIORETENTION BASIN. HEAVY EQUIPMENT CAN BE USED AROUND THE PERIMETER OF THE BASIN TO SUPPLY SOILS AND SAND. GRADE BIORETENTION MATERIALS WITH LIGHT EQUIPMENT SUCH AS A COMPACT LOADER OR A DOZER/LOADER WITH MARSH TRACKS.

RECOMMENDED PLANT MATERIAL FOR MICRO-BIORETENTION PRACTICES CAN BE FOUND IN APPENDIX A, SECTION A.2.3.

PLANT INSTALLATION COMPOST IS A BETTER ORGANIC MATERIAL SOURCE, IS LESS LIKELY TO FLOAT, AND SHOULD BE PLACED IN THE INVERT AND OTHER LOW AREAS. MULCH SHOULD BE PLACED IN SURROUNDING TO A UNIFORM THICKNESS OF 2" TO 3". SHREDDED OR CHIPPED HARDWOOD MULCH IS THE ONLY ACCEPTED MULCH. PINE MULCH AND WOOD CHIPS WILL FLOAT AND MOVE TO THE PERIMETER OF THE BIORETENTION AREA DURING A STORM EVENT AND ARE NOT ACCEPTABLE. SHREDDED MULCH MUST BE WELL AGED (6 TO 12 MONTHS) FOR ACCEPTANCE.

ROOTSTOCK OF THE PLANT MATERIAL SHALL BE KEPT MOIST DURING TRANSPORT AND ON-SITE STORAGE. THE PLANT ROOT BALL SHOULD BE PLANTED SO 1/8TH OF THE BALL IS ABOVE FINAL GRADE SURFACE. THE DIAMETER OF THE PLANTING PIT SHALL BE AT LEAST SIX INCHES LARGER THAN THE DIAMETER OF THE PLANTING BALL. SET AND MAINTAIN THE PLANT STRAIGHT DURING THE ENTIRE PLANTING PROCESS. THOROUGHLY WATER GROUND BED COVER AFTER INSTALLATION.

TREES SHALL BE BRACED USING 2" BY 2" STAKES ONLY AS NECESSARY AND FOR THE FIRST GROWING SEASON ONLY. STAKES ARE TO BE EQUALLY SPACED ON THE OUTSIDE OF THE TREE BALL.

GRASSES AND LEGUME SEED SHOULD BE DRILLED INTO THE SOIL TO A DEPTH OF AT LEAST ONE INCH. GRASS AND LEGUME PLUGS SHALL BE PLANTED FOLLOWING THE NON-GRASS GROUND COVER PLANTING SPECIFICATIONS

THE TOPSOIL SPECIFICATIONS PROVIDE ENOUGH ORGANIC MATERIAL TO ADEQUATELY SUPPLY NUTRIENTS FROM NATURAL CYCLING. THE PRIMARY FUNCTION OF THE BIORETENTION STRUCTURE IS TO IMPROVE WATER QUALITY. ADDING FERTILIZERS DEFEATS, OR AT A MINIMUM, IMPEDES THIS GOAL. ONLY ADD FERTILIZER IF WOOD CHIPS OR MULCH ARE USED TO AMEND THE SOIL. ROTOTILL UREA FERTILIZER AT A RATE OF 2 POUNDS PER 1000 SQUARE FEET.

UNDERDRAINS

ANY PONDED WATER BEFORE PREPARING (ROTOTILLING) BASE.

- UNDERDRAINS SHOULD MEET THE FOLLOWING CRITERIA: • PIPE- SHOULD BE 4" TO 6" DIAMETER, SLOTTED OR PERFORATED RIGID PLASTIC PIPE (ASTMF 758, TYPE PS 28, OR AASHTO-M-278) IN A GRAVEL LAYER. THE PREFERRED MATERIAL IS SLOTTED, 4" RIGID PIPE (E.G., PVC OR HDPE).
- PERFORATIONS IF PERFORATED PIPE IS USED, PERFORATIONS SHOULD BE 3/8" DIAMETER LOCATED 6" ON CENTER WITH A MINIMUM OF FOUR HOLES PER ROW. PIPE SHALL BE WRAPPED WITH A 1/4" (NO. 4 OR 4X4) GALVANIZED HARDWARE CLOTH
- THE GRAVEL LAYER (NO. 57 STONE PREFERRED) SHALL BE AT LEAST 3" THICK ABOVE AND BELOW THE UNDERDRAIN. • THE MAIN COLLECTOR PIPE SHALL BE AT A MINIMUM 0.5% SLOPE

APPENDIX B.1.1. - SUPPLEMENTAL POND SPECIFICATIONS (NON-378)

APPLICABILITY, THE MD-378 SPECIFICATIONS SUPERCEDE.

SUPPLEMENTAL STORMWATER PONDS AND WETLAND SPECIFICATIONS (NON-378)

USED IN THE SHELL SHOULD BE PROVIDED BY THE GEOTECHNICAL ENGINEER.

THE MATERIALS THAT MAY BE PLACED FOR THE EMBANKMENT FILL.

LEAST 95% OF THE MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT OF $\pm 2\%$ OF THE OPTIMUM.

 A RIGID, NON-PERFORATED OBSERVATION WELL MUST BE PROVIDED (ONE PER EVERY 1,0000 SQUARE FEET) TO PROVIDE A CLEAN-OUT PORT AND MONITOR PERFORMANCE OF THE FILTER. A 4" LAYER OF PEA GRAVEL (1/8" TO 3/8" STONE) SHALL BE LOCATED BETWEEN THE FILTER MEDIA AND UNDERDRAIN TO PREVENT MIGRATION OF FINES INTO THE UNDERDRAIN. THIS LAYER MAY BE CONSIDERED PART OF THE FILTER BED WHEN BED THICKNESS

THE MAIN COLLECTOR PIPE FOR UNDERDRAIN SYSTEMS SHALL BE CONSTRUCTED AT A MINIMUM SLOPE OF 0.5%. OBSERVATION WELLS AND/OR CLEAN-OUT PIPES MUST BE PROVIDED (ONE MINIMUM PER EVERY 1000 SQUARE FEET OF SURFACE AREA).

THESE NOTES AND SPECIFICATIONS ARE IN ADDITION TO THE MD-378 SPECIFICATIONS. IF THERE IS ANY QUESTIONS AS TO THE

NOT POSSIBLE BECAUSE THE APPROPRIATE MATERIAL IS NOT AVAILABLE, A DAM CORE WITH A SHELL MAY BE USED. THE

IF THE COMPACTION TESTS FOR THE SITE IMPROVEMENTS IS USING MODIFIED PROCTOR (AASHTO T-180), THEN TO MAINTAIN

FOR ALL STORMWATER MANAGEMENT FACILITIES, A GEOTECHNICAL ENGINEER OR THEIR REPRESENTATIVE MUST BE PRESENT TO

A 4-INCH LAYER OF TOPSOIL SHALL BE PLACED ON ALL DISTURBED AREAS OF THE DAM EMBANKMENT. SEEDING, LIMING,

FERTILIZING, MULCHING, ETC. SHALL BE IN ACCORDANCE WITH MARYLAND SOIL CONSERVATION SERVICE MD-342 OR THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL PERMANENT SEEDING. SECTION IN CHAPTER

ON-SITE CONSISTENCY, THE MODIFIED PROCTOR MAY BE USED IN LIEU OF A STANDARD PROCTOR (AASHTO T-99). THE MINIMUM

DENSITY USING THE MODIFIED PROCTOR TEST METHOD SHALL BE AT LEAST 92% OF THE MAXIMUM DRY DENSITY WITH A MOISTURE

CONTENT OF ±2% OF THE OPTIMUM. THE MINIMUM REQUIRED DENSITY USING THE STANDARD PROCTOR TEST METHOD SHALL BE AT

VERIFY COMPACTION IN ACCORDANCE WITH THE SELECTED TEST METHOD. THIS INFORMATION NEEDS TO BE PROVIDED IN A REPORT TO THE DESIGN ENGINEER, SO THAT CERTIFICATION OF THE CONSTRUCTION OF THE FACILITY, IN ACCORDANCE WITH MD-378

20. THE PURPOSE OF THE TOPSOIL IS TO ESTABLISH A GOOD GROWTH OF GRASS, WHICH IS NOT ALWAYS POSSIBLE WITH SOME OF

GEOTEXTILE PLACED BENEATH RIP-RAP SHALL BE CLASS "C" GEOTEXTILE OR BETTER (SEE SECTION 24.0, MATERIAL SPECIFICATIONS,

1994 STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (MDE, 1994). SOME ACCEPTABLE GEOTEXTILES

IT IS PREFERRED TO USE THE SAME MATERIAL IN THE EMBANKMENT AS IS BEING INSTALLED FOR THE CORE TRENCH. IF THIS IS

CROSS-SECTION OF THE STORMWATER FACILITY SHOULD SHOW THE LIMITS OF THE DAM CORE (UP TO 10-YEAR WATER SURFACE ELEVATION) AS WELL AS THE ACCEPTABLE MATERIALS FOR THE SHELL. THE SHAPE OF THE DAM CORE AND THE MATERIAL TO BE

THESE PRACTICES MAY NOT BE CONSTRUCTED UNTIL ALL CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED

TYPICAL MICRO-BIORETENTION 1 (M-6) SECTION

NO BIO MEDIA BELON

RIP-RAP AND GABIONS

THE TOP OF THE

OVERFLOW STRUCTURE—

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED MICRO-BIORETENTION (M-6)

MIN. 5' SPACING BETWEEN -

DISTRIBUTION PIPE

- A. THE HOA SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 2.
- B. THE HOA SHALL PERFORM A PLANT INSPECTION IN THE SPRING AND IN THE FALL OF FACH YEAR, DURING THE INSPECTION. THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL
- PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
- D. THE HOA SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH
- E. THE HOA SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE UNDERDRAINS WITHIN THE MICRO-BIORETENTION LAYERS.
- F. THE HOA SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL STORM DRAIN PIPES AND STRUCTURES WITHIN PUBLIC

OPERATION AND MAINTENANCE SCHEDULE FOR

A. THE OWNER SHALL INSPECT THE STORMCEPTOR WATER QUALITY STRUCTURE PERIODICALLY AND CLEAN IT TO MAINTAIN PROPER OPERATION AND FUNCTION. THE OWNER SHALL INSPECT THE STORMCEPTOR UNIT YEARLY AT A MINIMUM, UTILIZING THE STORMCEPTOR INSPECTION/MONITORING FORM. INSPECTIONS SHALL BE DONE BY USING A CLEAR PLEXIGLASS TUBE ("SLUDGE JUDGE") TO EXTRACT A WATER COLUMN SAMPLE. WHEN THE SEDIMENT DEPTHS EXCEED THE LEVEL SPECIFIED IN TABLE 6 OF THE STORMCEPTOR TECHNICAL MANUAL, THE STORMCEPTOR UNIT MUST BE CLEANED.

SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES AND CLEAN THE PETROLEUM SPILLS IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS. THE MAINTENANCE OF THE STORMCEPTOR UNIT SHALL BE DONE USING A VACUUM TRUCK WHICH WILL REMOVE THE WATER,

SEDIMENT, DEBRIS, FLOATING HYDROCARBONS AND OTHER MATERIALS IN THE STORMCEPTOR UNIT. THE OWNER SHALL FOLLOW ALL REQUIREMENTS FOR THE PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID. D. THE OWNER SHALL CHECK THE INLET AND OUTLET PIPES FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX (6) MONTHS. IF OBSTRUCTIONS ARE FOUND, THE OWNER SHALL HAVE THEM REMOVED. THE OWNER SHALL REPAIR THE STRUCTURAL PARTS OF THE STORMCEPTOR UNIT AS NEEDED. THE OWNER SHALL RETAIN AND MAKE THE STORMCEPTOR INSPECTION/MONITORING FORMS AVAILABLE THE HOWARD

THE OWNER SHALL CHECK AND CLEAN IMMEDIATELY THE STORMCEPTOR WATER QUALITY STRUCTURE AFTER PETROLEUM

AMOCO 4552 CARTHAGE EX-70S GEOLON N70 MIRAFI 180-N WEBTEC N07

THAT MEET THE CLASS "C" CRITERIA INCLUDE.

SPECIFICATIONS, CAN BE MADE.

THIS IS ONLY A PARTIAL LISTING OF AVAILABLE GEOTEXTILES BASED ON INFORMATION PROVIDED BY THE MANUFACTURES OF THE 1997 SPECIFIER'S GUIDE DATED DECEMBER 1996. IT IS THE RESPONSIBILITY OF THE ENGINEER TO VERIFY THE ADEQUACY OF THE MATERIAL, AS THERE ARE CHANGES IN THE MANUFACTURING PROCESS AND THE TYPE OF FABRIC USED, WHICH MAY AFFECT THE CONTINUED ACCEPTANCE.

A RULE OF THUMB TO DETERMINE WHEN AN EXCAVATED POND MAY NEED TO BE CONSIDERED AN EMBANKMENT POND IS AS PROVIDE CALCULATION OF 10H + 20 FEET = L, WHERE H HEIGHT FROM POND BOTTOM TO TOP OF DAM. IF THE PROJECTION OF L, DOWNSTREAM IS A HORIZONTAL LINE FROM THE UPSTREAM TOE OF SLOPE IS BELOW EXISTING GROUND, THE POND CAN BE CONSIDERED AN EXCAVATED POND. IN ADDITION, THE EXISTING GROUND SLOPE, DOWNSTREAM OF THE TOE, MUST BE LESS THAN

THE DESIGN ENGINEER AND GEOTECHINCAL ENGINEER SHOULD MAKE THE DETERMINATION THAT THE SETTLEMENT OF THE POND WILL NOT CAUSE EXCESSIVE JOINT EXTENSION. FOR FURTHER INFORMATION ON JOINT ANALYSIS, SEE NRCE PUBLICATION TR-18.

FILL PLACEMENT SHALL NOT EXCEED A MAXIMUM 8-INCH. EACH LIFT SHALL BE CONTINUOUS FOR THE ENTIRE LENGTH OF THE

THE EMBANKMENT FILL SHALL NOT BE PLACED HIGHER THAN THE CENTERLINE OF THE PRINCIPAL SPILLWAY UNTIL AFTER THE PRINCIPAL SPILLWAY HAS BEEN INSTALLED. IF THE EMBANKMENT NEEDS TO BE EXCAVATED TO INSTALL THE PRINCIPAL SPILLWAY,

THE SIDE SLOPE SHALL BE NO LESS THAN 2:1

O. THE SIDE SLOPES OF A CUT TO REPAIR A DAM, INSTALL A PRINCIPAL SPILLWAY FOR AN EXCAVATED POND, OR OTHER REPAIR WORK, SHALL BE NO LESS THAN 2:1.

ESD NOTES AND DETAILS Village of Harper's Choice AS SHOWN Section 3, Area 2 Lot 18 (Ranleagh Court Apartments) DATE FDP-30-A-V JULY 2023 Plat No. 26354 LECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND

PLANNING ENGINEERING SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM

PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

HECKED E

DS/MT

DATE

OF 25

G. L. W. FILE No.

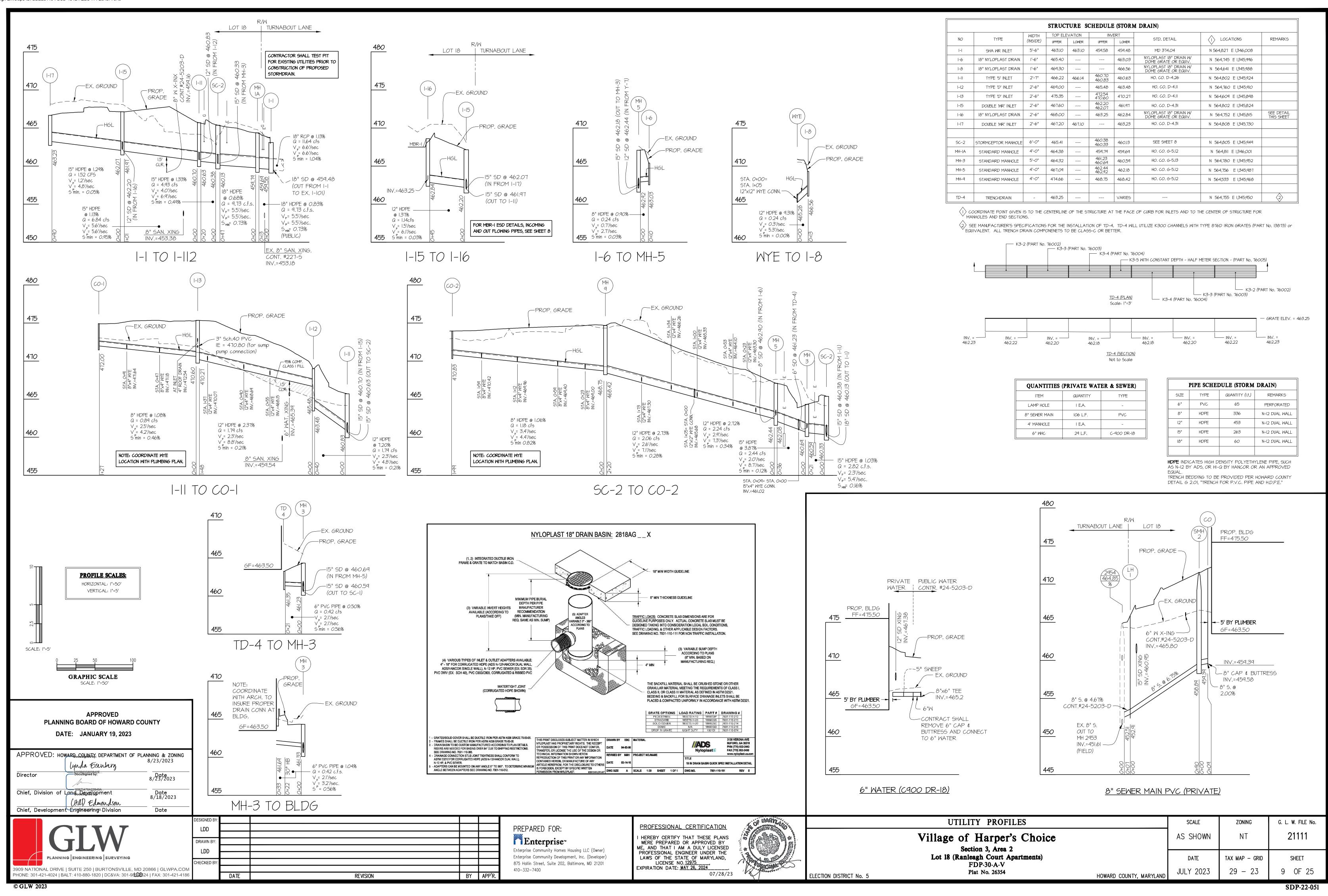
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SHEET

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TAX MAP - GRID

29 – 23



'C	' FACTOR C	OMPUTAT	ONS
STRUCTURE	AREA (AC.)	'С'	IMPERVIOUS
-	0.33	0.56	50%
1-6	0.05	0.56	50%
1-8	0.05	0.56	50%
-	0.02	0.87	100%
I-I2	0.02	0.30	10%
I-I5	0.39	0.71	75%
1-16	0.25	0.62	59%
1-17	0.23	0.78	85%
MH-9	0.13	0.87	100%
MH-10	0.16	0.87	100%
MH-13	0.13	0.87	100%
MH-14	0.12	0.87	100%
TD-4	0.07	0.71	75%
ESD	0.54	0.62	60%
EX. I-I0I	1,17	0.65	65%
EX. I-I02	0.53	0.59	55%
EX. I-103	0.11	0.74	80%
EX. I-I04	0.32	0.71	75%
EX. I-I05	0.19	0.30	10%

	Tot	al	Composite	%	
DA [Area	Area	С	IMPERVIOUS	AC
No.	(sq-ft)	(Ac)	(-)	(-)	
*EX. DA-7	24,501	0.56 Ac.	0.56	50%	0.31
PROP DA-7	16,226	0.37 Ac.	0.59	56%	0.22

FROM NO.	TO NO.	DIA. (IN.) & TYPE OF PIPE	L (ft)
Y-10	MH-9	8" HDPE	198
MH-9	MH-7	12" HDPE	115
1-8	MH-T	12" HDPE	13
Y-7	MH-5	12" HDPE	104
1-6	MH-5	12" HDPE	12
MH-5	MH-3	15" HDPE	42
TD-4	MH-3	6" HDPE	25
MH-3	50-2	15" HDPE	26
Y-14	I-I3	8" HDPE	130
1-13	I-I2	12" HDPE	150
I-I2	-	12" HDPE	36
1-17	I-I5	15" HDPE	90
1-16	I-I5	12" HDPE	47
1-15	-	15" HDPE	96
-	50-2	15" HDPE	25
50-2	-	18" HDPE	52
-	EX. I-I0I	18" RCP	70

APPROVED PLANNING BOARD OF HOWARD COUNTY **DATE: JANUARY 19, 2023**

APPROVED: HOWARD COLINEY: DEPARTMENT OF PLANNING & ZONING 8/23/2023 lynda Eisenberg Director Chief, Division of Land, Development Date 8/18/2023 Chief, Development Engineering Division

Date

PLANNING ENGINEERING SURVEYING 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DRAWN BY: BY APP'R. DATE REVISION

I HEREBY CERTIFY THAT THESE PLANS
WERE PREPARED OR APPROVED BY
ME, AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 12975
EXPIRATION DATE: MAY 26, 2024

07/28/23 Enterprise* Enterprise Community Homes Housing LLC (Owner)
Enterprise Community Development, Inc. (Developer)
875 Hollin Street, Suite 202, Baltimore, MD 21201

410-332-7400

07/28/23

ELECTION DISTRICT No. 5

Village of Harper's Choice Section 3, Area 2
Lot 18 (Ranleagh Court Apartments)
FDP-30-A-V
Plat No. 26354

SHEET TAX MAP - GRID 29 – 23 10 OF 25 JULY 2023 HOWARD COUNTY, MARYLAND

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SDP-22-051

GB 17 ANLEAGY COURT AND ANLEAGY III. THE PRINT HE ADMINISTRATION III. TH	
DESIGNED BY: DESIGNED BY: PREPARED FOR: PREPARED	ING G. L. W. FILE No.

SCHEDULE A: PERIM	ETER LA	NDSCA	PE EDG	E
CATEGORY	ADJAC ROAD	CENT TO WAYS	PERIA	CENT TO METER ERTIES
LANDSCAPE TYPE	1 - E	3 - B	2 - A	4 - A
LINEAR FEET OF ROADWAY FRONTAGE / PERIMETER	302'-7''	277'-8"	302'-5"	307'-11"
CREDIT FOR EX. VEGETATION				•
YES / NO	YES	NO	NO	NO
LINEAR FEET				
DESCRIPTION	1 SHADE TREES			
CREDIT FOR WALL, FENCE OR BERM				
YES / NO	NO	NO	NO	NO
LINEAR FEET				
DESCRIPTION				
NUMBER OF PLANTS REQUIRED				
SHADE TREES	1:40 (8)	1:50 (6)	1:60 (5)	1:60 (6)
EVERGREEN TREES	0 (0)	1:40 (7)	0 (0)	0 (0)
SHRUBS	1:4 (76)	0 (0)	0 (0)	0 (0)
NUMBER OF PLANTS PROVIDED				
SHADE TREES	8	6	5	7
EVERGREEN TREES	0	7	0	0
OTHER TREES (2:1 SUBSTITUTION)	0	0	0	0
SHRUBS (10:1 SUBSTITUTION)	76	0	0	0
DESCRIBE SUBSTITUTIONS	NONE	NONE	NONE	NONE

al Landscaping
64
1:10 (7)
8
NONE

SCHEDULE C: RESIDENTIAL INTERNAL LANDSCAPING						
NUMBER OF DWELLING UNITS 82						
NUMBER OF TREES REQUIRED	1:3 (28)					
NUMBER OF TREES PROVIDED						
SHADE TREES	11					
OTHER TREES (2:1 SUBSTITUTION, 50% MAX)	10 (5)					
SHRUBS (10:1 SUBSTITUTION, 50% MAX)	120 (12)					

DEVELOPER'S/BULDER'S CERTIFICATE I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL	DE DONE ACCORDING TO
THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LAN ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.	HE HOWARD COUNTY DSCAPE INSTALLATION,
Stacie Birenbach	07/28/23 DATE
APPROVED PLANNING BOARD OF HOWARD (DATE: JANUARY 19, 2023	COUNTY
APPROVED: HOWARD CUES GLENTLY DEPARTMENT OF Lynda Eisenberg	PLANNING & ZONING 8/23/2023
Director Docusioned by:	8/23/2023
Chief, Division of Lange Degree of CHUD Edmondson	Date 8/18/2023
Chief, Development Erromeering Division	Date
	DESIGNED

PLANT SCHEDII	LE PLANTING MINIMUMS				
DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME	SIZE		REMARKS
2	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	3" CAL.		STRONG SINGLE LEADER/SPECIMEN. 3"-3.5" CAL.
11	GINKGO BILOBA `PRINCETON SENTRY`	PRINCETON SENTRY GINGKO	2" CAL.		STRONG SINGLE LEADER/SPECIMEN
10	GLEDITSIA TRIACANTHOS INERMIS "SHADEMASTER"	SHADEMASTER LOCUST	2" CAL.		STRONG SINGLE LEADER/SPECIMEN
6	NYSSA SYLVATICA	SOUR GUM	2" CAL.		STRONG SINGLE LEADER/SPECIMEN
8	PLATANUS X ACERIFOLIA `EXCLAMATION!` TM	EXCLAMATION LONDON PLANE TREE	2" CAL.		STRONG SINGLE LEADER/SPECIMEN
8	QUERCUS PHELLOS	WILLOW OAK	2" CAL.		STRONG SINGLE LEADER/SPECIMEN
			•	·	
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME	SIZE		REMARKS
4	CRYPTOMERIA JAPONICA 'ELEGANS'	JAPANESE CEDAR	10` HT.		SINGLE STRONG SPECIMEN/LEADER
3	MAGNOLIA GRANDIFLORA `BRACKENS BROWN BEAUTY`	BRACKEN'S SOUTHERN MAGNOLIA	10` HT.		SINGLE STRONG LEADER/SPECIMEN
ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME	SIZE		REMARKS
4	AMELANCHIER X GRANDIFLORA `AUTUMN BRILLIANCE`	AUTUMN BRILLIANCE SERVICEBERRY	10` HT.		MULISTEMMED SPECIMEN
3	CORNUS X `RUTGAN`	STELLAR PINK DOGWOOD	1.75" CAL.		SPECIMEN
3	MAGNOLIA STELLATA	STAR MAGNOLIA	2.5" CAL.		MULISTEMMED SPECIMEN
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
24	CORNUS SERICEA `FLAVIRAMEA`	YELLOW TWIG DOGWOOD	3` HT.	48" o.c.	MIN. 5 CANES
45	ITEA VIRGINICA `HENRY`S GARNET`	HENRY'S GARNET SWEETSPIRE	2` HT.	36" o.c.	MIN. 4 CANES
36	KALMIA LATIFOLIA 'OLYMPIC FIRE'	OLYMPIC FIRE MOUNTAIN LAUREL	3` HT.	36" o.c.	MIN. 5 CANES
40	KALMIA LATIFOLIA 'SNOW DRIFT'	DWARF WHITE MOUNTAIN LAUREL	3` HT.	36" o.c.	MIN. 5 CANES
51	RHODODENDRON X 'DELAWARE VALLEY WHITE'	DELAWARE VALLEY WHITE AZALEA	2.5` HT.	36" o.c.	MIN. 4 CANES

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
8	CORNUS SERICEA `FLAVIRAMEA`	YELLOW TWIG DOGWOOD	3` HT.	48" o.c.	MIN. 5 CANES
52	ILEX GLABRA `COMPACTA`	COMPACT INKBERRY	2` HT.	36" o.c.	MIN. 4 CANES
26	ITEA VIRGINICA `HENRY`S GARNET`	HENRY'S GARNET SWEETSPIRE	2` HT.	36" o.c.	MIN. 4 CANES
265	JUNIPERUS CHINENSIS `SARGENTII`	SARGENT JUNIPER	2` HT.	36" o.c.	MIN. 4 CANES
16	KALMIA LATIFOLIA 'OLYMPIC FIRE'	OLYMPIC FIRE MOUNTAIN LAUREL	3` HT.	36" o.c.	MIN. 5 CANES
16	KALMIA LATIFOLIA 'SNOW DRIFT'	DWARF WHITE MOUNTAIN LAUREL	3` HT.	36" o.c.	MIN. 5 CANES
27	RHODODENDRON X 'DELAWARE VALLEY WHITE'	DELAWARE VALLEY WHITE AZALEA	2.5` HT.	36" o.c.	MIN. 4 CANES
205	ROSA X `MEISWETDOM` TM	SWEET DRIFT GROUNDCOVER ROSE	2.5` HT.	24" o.c.	MIN. 4 CANES
			•	•	
SHRUB AREAS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
143	JASMINUM NUDIFLORUM	WINTER JASMINE	2.5` HT.	30" o.c.	MIN. 5 CANES
90	RHUS AROMATICA `GRO-LOW`	GRO-LOW FRAGRANT SUMAC	2` HT.	36" o.c.	MIN. 4 CANES
			•		
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
87	AMSONIA TABERNAEMONTANA	EASTERN BLUESTAR	#1	24" o.c.	
5,639	CAREX LAXICULMIS `HOBB`	SEDGE	#1	6" o.c.	
258	CAREX STRICTA	TUSSOCK SEDGE	#1	12" o.c.	
281	HAKONECHLOA MACRA `ALL GOLD`	JAPANESE FOREST GRASS	#1	18" o.c.	
297	NASSELLA TENUISSIMA	MEXICAN FEATHER GRASS	#1	12" o.c.	
111	SCHIZACHYRIUM SCOPARIUM `THE BLUES`	THE BLUES LITTLE BLUESTEM	#1	18" o.c.	
75	SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	#1	18" o.c.	
72	SOLIDAGO RUGOSA `FIREWORKS`	WRINKLELEAF GOLDENROD	#1	24" o.c.	

PLANT SCH	HEDULE BIORETENTION				
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
36	CORNUS SERICEA `ARCTIC FIRE`	ARCTIC FIRE DOGWOOD	3` HT.	36" o.c.	MIN. 5 CANES
15	ILEX VERTICILLATA `SPARKLEBERRY`	WINTERBERRY	3` HT.	60" o.c.	MIN. 5 CANES
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
56	PANICUM VIRGATUM `HEAVY METAL`	HEAVY METAL SWITCH GRASS	#1	24" o.c.	

LANDSCAPE BOND TABULATIONS

- 1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. THE REQUIRED PARKING, RESIDENTIAL INTERIOR LOT, AND PERIMETER LANDSCAPING, WILL BE BONDED PER THIS SUBMISSION.
- 2. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT FOR THE SITE DEVELOPMENT PLAN IN THE AMOUNT OF \$21,930 FOR THE REQUIRED 45 (\$300) SHADE TREES, 17 (\$150) EVERGREEN AND ORNAMENTAL TREES, AND 196 (\$30) SHRUBS.

SOIL & PLANTING NOTES

- 1. REFER TO CIVIL ENGINEER'S UTILITY AND GRADING AND DRAINAGE PLANS FOR UTILITY LOCATION AND DRAINAGE INFORMATION. REFER TO CIVIL ENGINEER'S GRADING PLANS FOR GRADING INFORMATION. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS OR IF THERE ARE DISCREPANCIES BETWEEN THE PLANS, CONTACT THE LANDSCAPE ARCHITECT FOR DIRECTION AS TO HOW TO PROCEED.
- 2. VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER SECTIONS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT LANDSCAPE ARCHITECT FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
- 3. PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE, BY HAND, THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OR DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.
- 4. MINIMIZE GRADING AND CONSTRUCTION OPERATIONS AS MUCH AS POSSIBLE IN THE ROOT ZONES OF EXISTING TREES TO REMAIN. CIVIL ENGINEER AND LANDSCAPE ARCHITECT TO APPROVE ALL GRADING, CONSTRUCTION, TRENCHING AND OTHER DISTURBANCE REQUIRED WITHIN THE ROOT ZONES OF THE TREES. DO NOT SHRED OR TEAR TREE ROOTS WITH EXCAVATION EQUIPMENT; CLEAN CUT ALL ROOT LARGER THAN 1-INCH WITH SAW OR CLIPPERS.
- 5. ALL SLOPE AREAS GREATER THAN 25% MUST BE STABILIZED WITH EROSION CONTROL FABRIC BEFORE PLANTING. SLOPE AREAS THAT WILL NOT BE PLANTED MUST BE SEEDED PER CIVIL'S SPECIFICATIONS.
- 6. ALL LANDSCAPE PLANTINGS SHOULD NOT INTERFERE WITH UTILITY LINES, SIGHT TRIANGLES, UNDERGROUND UTILITIES, PUBLIC WALKWAYS.
- 8. TOPSOIL TO BE FREE AND CLEAR OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, WEED, GRASS STOLONS, SEEDS [EG. CYPERUS SPECIES (COMMON NAME - NUTSEDGE)] AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- 9. FINISH GRADES OF PLANTER AREAS SHALL BE 2 INCHES BELOW ADJACENT PAVING OR TOP OF WALL UNLESS OTHERWISE NOTED.
- 10. DO NOT DRIVE MACHINERY OVER PREPARED PLANTING BEDS, OR OTHERWISE COMPACT THE SOIL AFTER PREPARATION.
- 11. THE MINIMUM DEPTH OF TOPSOIL IN CURBED ISLAND PLANTERS MUST BE ONE FOOT FOR SHRUBS AND TWO FEET FOR TREES. REFER TO SOIL PLANS FOR DEPTH AND SPECIFICATIONS.
- 12. ONLY NURSERY GROWN PLANT MATERIALS ARE ACCEPTABLE.
- 13. LANDSCAPE ARCHITECT TO REVIEW PLANT MATERIALS AT SOURCE OR BY photo PRIOR TO DIGGING OR SHIPPING OF PLANT MATERIALS.
- 14. TREES AND SHRUBS MUST HAVE A SPECIES IDENTIFICATION TAG FROM THE NURSERY TO REMAIN ON 2 OF EACH PLANTED SPECIES UNTIL THE LANDSCAPE ARCHITECT HAS REVIEWED. TAGS TO BE REMOVED AFTER FINAL INSPECTION TO PREVENT GIRDLING.
- 15. ALL PLANT MATERIAL SHALL BE SUFFICIENTLY HARDY TO WITHSTAND THE EFFECTS OF POLLUTION, SALT, INSECT MANIFESTATIONS AND ANY OTHER HAZARD ASSOCIATED WITH THE SPECIFIC ENVIRONMENT.
- 16. PLANT MATERIAL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE THE PLANTS ARE BROUGHT TO THE SITE.
- 17. EXACT LOCATIONS OF PLANT MATERIALS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN FIELD.
- 18. TREES AND SHRUBS SHALL BE PLANTED ONLY WHEN THE SOIL IS FROST FREE.
- 19. PLANTING SEASON SHALL BE MARCH 15 TO JUNE 30, OR SEPTEMBER 1 TO NOVEMBER 30, FOR ALL SHADE AND BUFFER TREES.
- 20. ALL PLANTING BEDS MUST HAVE A MINIMUM OF 2" OF MULCH IN ALL NON-GRASSED LANDSCAPE BED AREAS.
- 21. DISTURBED EXISTING LAWN AREAS ARE TO BE SEEDED UPON COMPLETION OF CONSTRUCTION.
- 22. IF DISCREPANCIES BETWEEN THE PLANTING PLAN AND PLANT LIST OCCUR, THE PLANTING PLAN TAKES PRECEDENCE.
- 23. EXISTING TREES SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO EXISTING.
- 24. TREES TO BE PLANTED A MINIMUM OF 4 FEET FROM FACE OF BUILDING, PAVEMENT, OR OTHER HARDSCAPE FEATURE EXCEPT AS APPROVED BY LANDSCAPE ARCHITECT.
- 25. ALIGN AND EQUALLY SPACE IN ALL DIRECTIONS TREES AND SHRUBS AS DESIGNATED PER THESE NOTES AND DRAWINGS.
- 26. FOR TREES WITH WIRE BASKET AROUND ROOT BALL, CUT WIRE BASKET IN FOUR PLACES AND FOLD DOWN 12" INTO PLANTING HOLE.
- 27. CUT AND REMOVE OR TURN BACK 1/3 OF BURLAP AWAY FROM TOP OF ROOT BALL. CUT ROPE FROM TOP OF ROOT BALL.
- 28. EXISTING LAWN AREAS & ASSOCIATED SOILS TO BE PROTECTED THROUGHOUT DURATION OF CONSTRUCTION. ADDITIONAL AMENDMENTS NOT NECESSARY WITHIN PROTECTED AREAS UNLESS DISTURBED. IF DISTURBED, PREPARE/AMEND SOIL AS INDICATED IN DRAWINGS.
- 29. PROTECTED LAWN AREAS WITH PRIOR SIGNIFICANT DAMAGE TO BE IMPROVED AS INDICATED IN DRAWINGS. COORDINATE WITH OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.

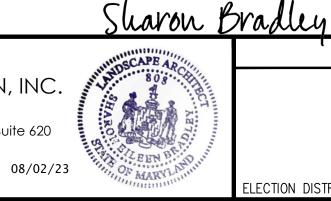
SDP SUBMISSION

DRAWN BY EMMET CHECKED BY DATE REVISION

PREPARED FOR: Enterprise™ Enterprise Community Homes Housing LLC (Owner)

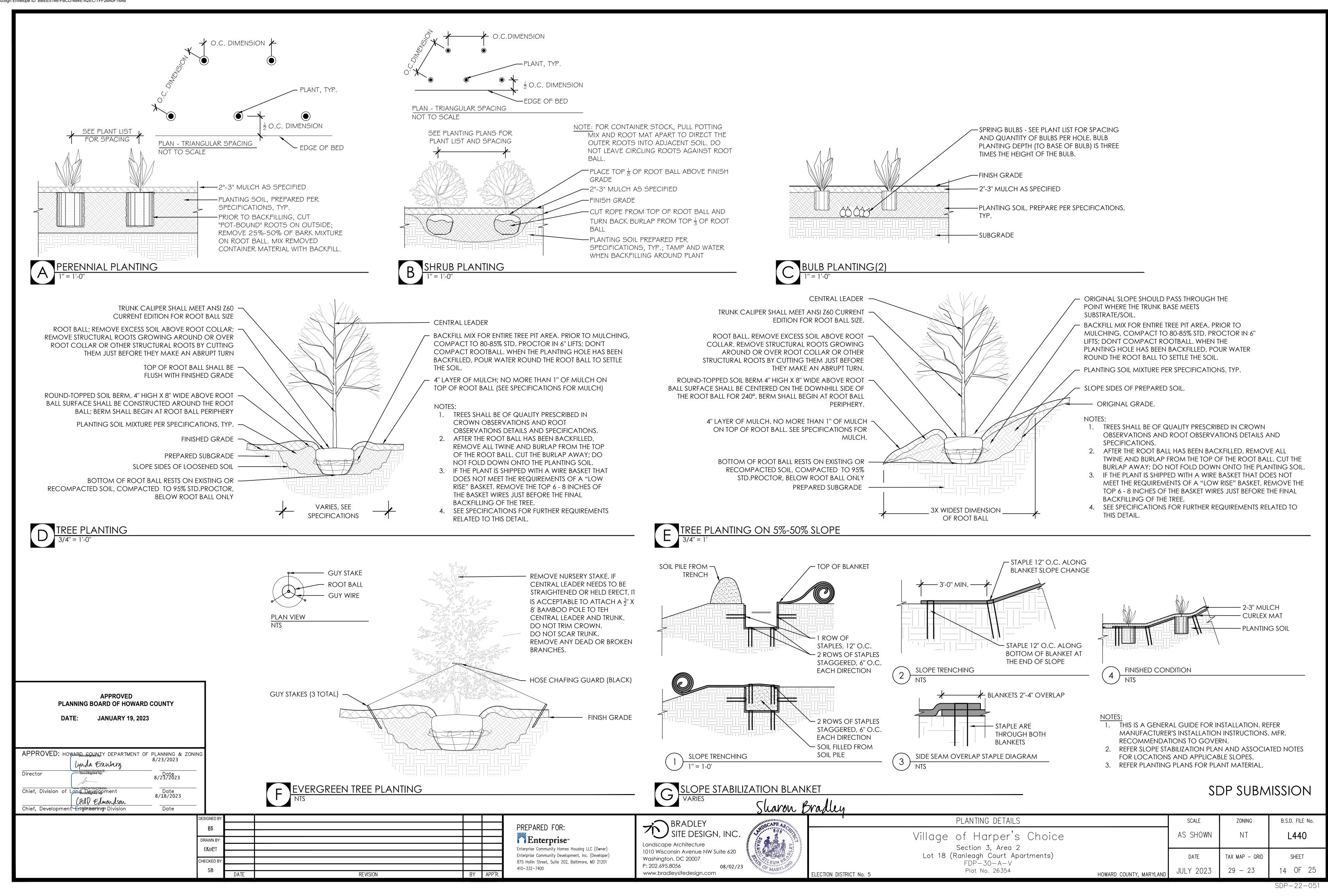
410-332-7400

BRADLEY SITE DESIGN, INC. Landscape Architecture 1010 Wisconsin Avenue NW Suite 620 Enterprise Community Development, Inc. (Developer) Washington, DC 20007 875 Hollin Street, Suite 202, Baltimore, MD 21201 P: 202.695.8056 www.bradleysitedesign.com



ELECTION DISTRICT No. 5

PLANTING SCHEDULE AND NOTES B.S.D. FILE No. SCALE NTS L430 Village of Harper's Choice ΝT Section 3, Area 2 Lot 18 (Ranleagh Court Apartments)
FDP-30-A-V TAX MAP - GRID SHEET 13 OF 25 JULY 2023 29 - 23 Plat No. 26354 HOWARD COUNTY, MARYLAND





PRODUCT: WOODCARPET SYSTEM 1 - ENGINEERED WOOD FIBER

MANUFACTURER: ZEAGER BROTHERS INC. 4000 EAST HARRISBURG PIKE MIDDLETOWN, PA 17057

MATERIAL(S): ENGINEERED WOOD FIBER COLOR(S): NATURAL FINISH: REFER TO PLAN DRAWINGS





MANUFACTURER: PET PICK-UPS
DENVER, CO 80246
www.petpickups.com
P: 303-443-8914

P: 303-443-8914

DIMENSIONS: 72.4"H X 19.4"W X 9.1"D

COLOR(S): SILVER

CONTRACTOR TO ATTACH TO 2"X2" GALVANIZED STEEL SQUARE POST AT HEIGHT PER MANUFACTURER.





PRODUCT: WIREWORKS PLUS WELDED WIRE STEEL FENCE W/ SINGLE GATE MANUFACTURER: AMERISTAR

WWW.AMERISTARFENCE.COM ENSIONS: 4' HT.

DIMENSIONS: 4' HT.

MATERIAL(S): STEEL

COLOR(S): BLACK

FINISH: N/A

QTY: REFER TO PLA

QTY: REFER TO PLAN DRAWINGS NOTES: "OPEN" PER ZONING CODE.

B DOG PARK FENCE & GATE



PRODUCT: LINK BENCH - INLINE STRAIGHT - BACKED WITH ARMS - METAL LEGS MANUFACTURER: LANDSCAPEFORMS

KELLIE MCKEEVER SUTTON - KELLIE@NOALNBRANDS.COM

NOLAN BRANDS 703.994.9342 DIMENSIONS: 25.25"W X 87.5"L X 33.75"H MATERIAL(S): WOOD, POWDER-COATED METAL

MATERIAL(S): WOOD, PC COLOR(S): TITANIUM FINISH: N/A

REFER TO PLAN DRAWINGS



PRODUCT: HUDSON VALLEY GRAVEL 1" - 3"

MANUFACTURER: THE STONE STORE

7535 RAILROAD AVENUE

HARMANS, MD 21077

410.766.4242 / SALES@THESTONESTORE.COM
DIMENSIONS: 1" - 3"
FINISH: REFER TO PLAN DRAWINGS

ORNAMENTAL GRAVEL



PRODUCT: TUFFMAT
MANUFACTURER: ZEAGER BROTHERS INC.
4000 EAST HARRISBURG PIKE
MIDDLETOWN, PA 17057

800.346.8524 DIMENSIONS: 40" X 40" X 1.5"

MATERIAL(S): HEAVY DUTY VINYL OVER RECYCLED POLYETHYLENE FOAM BASE FINISH: REFER TO PLAN DRAWINGS

WEAR MAT AT PLAY AREA



PRODUCT: BOLA BIKE RACK MANUFACTURER: LANDSCAPEFORMS

7800 E. MICHIGAN AVE, KALAMAZOO, MI 49084

LANDSCAPEFORM.COM MARIE DAVIS

703.864.6323 marie@nolanbrands.com NSIONS: 2"D x 28"W x 32"H

MATERIAL(S): METAL

COLOR(S): TITANIUM

FINISH: PANGARD II POLYESTER POWDERCOATED METAL QTY: REFER TO PLAN DRAWINGS

H BIKE RACK

APPROVED PLANNING BOARD OF HOWARD COUNTY DATE: JANUARY 19, 2023 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING 8/23/2023

Chief, Development Engineering Division Date

 DESIGNED BY:
 ET
 Image: Control of the part of

PREPARED FOR:

Enterprise

Enterprise Community Homes Housing LLC (Owner)
Enterprise Community Development, Inc. (Developer)
875 Hollin Street, Suite 202, Baltimore, MD 21201
410-332-7400

BRADLEY
SITE DESIGN, INC.
Landscape Architecture
1010 Wisconsin Avenue NW Suite 620
Washington, DC 20007

www.bradleysitedesign.com

P: 202.695.8056

N, INC.
Suite 620
08/02/23

Sharon Bradley

PRODUCT INFORMATION

PRODUCT INFORMATION

Village of Harper's Choice
Section 3, Area 2
Lot 18 (Ranleagh Court Apartments)
FDP-30-A-V
Plat No. 26354

HOWARD COUNTY, MARYLAND

SCALE
ZONING
NTS

NT

DATE
TAX MAP - GRID
HOWARD COUNTY, MARYLAND
JULY 2023 29 - 23

DP-22-051

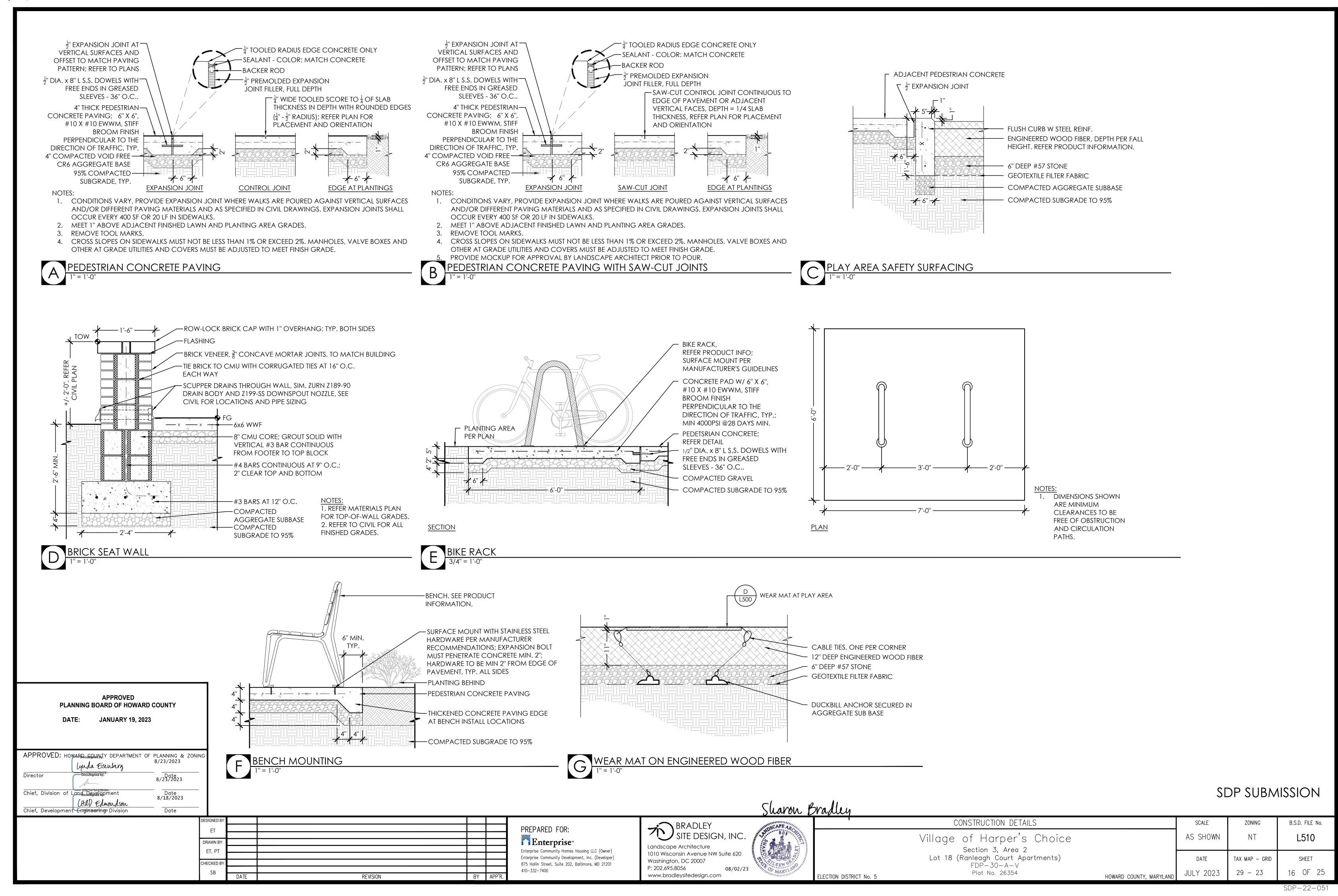
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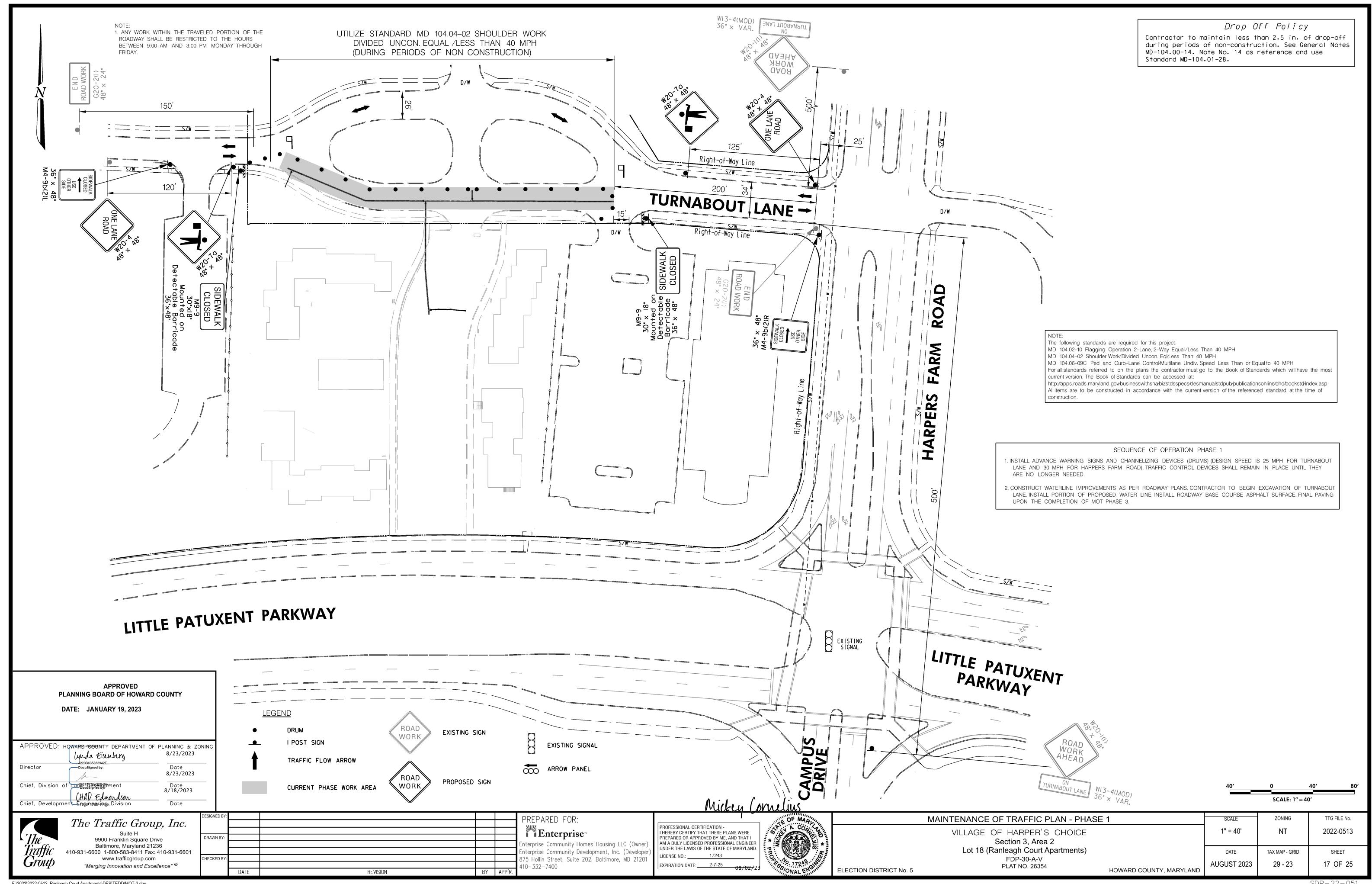
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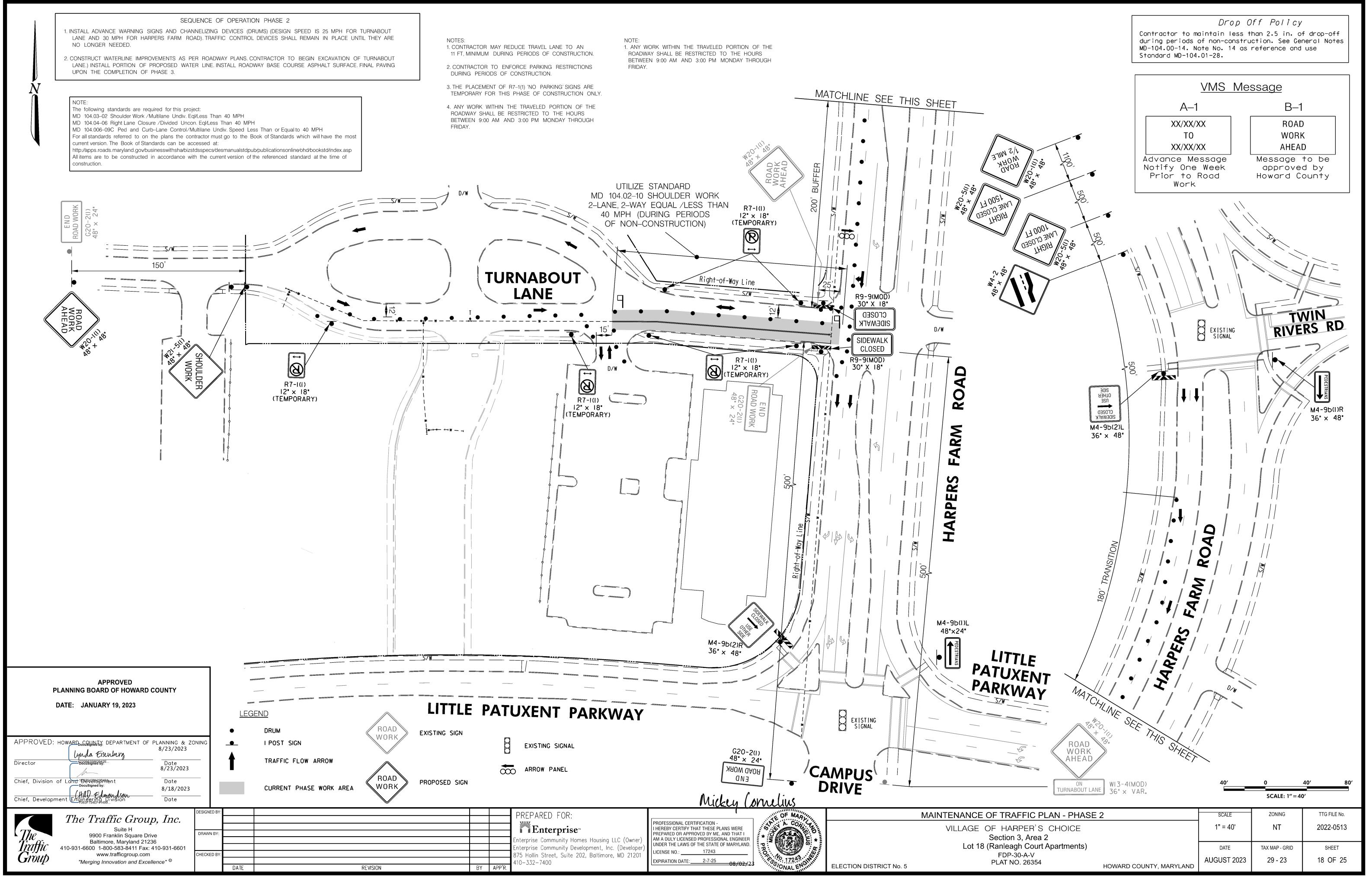
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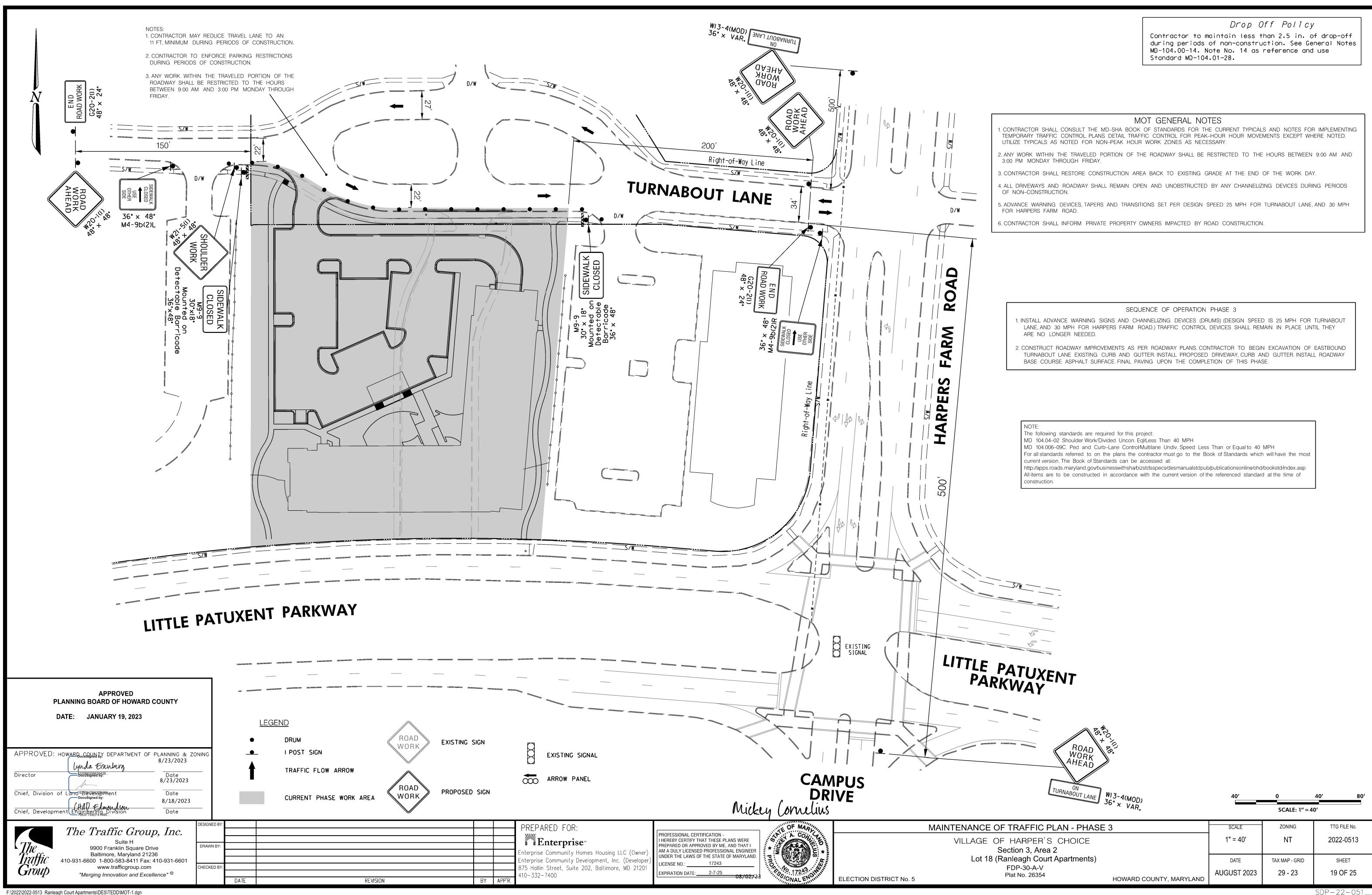
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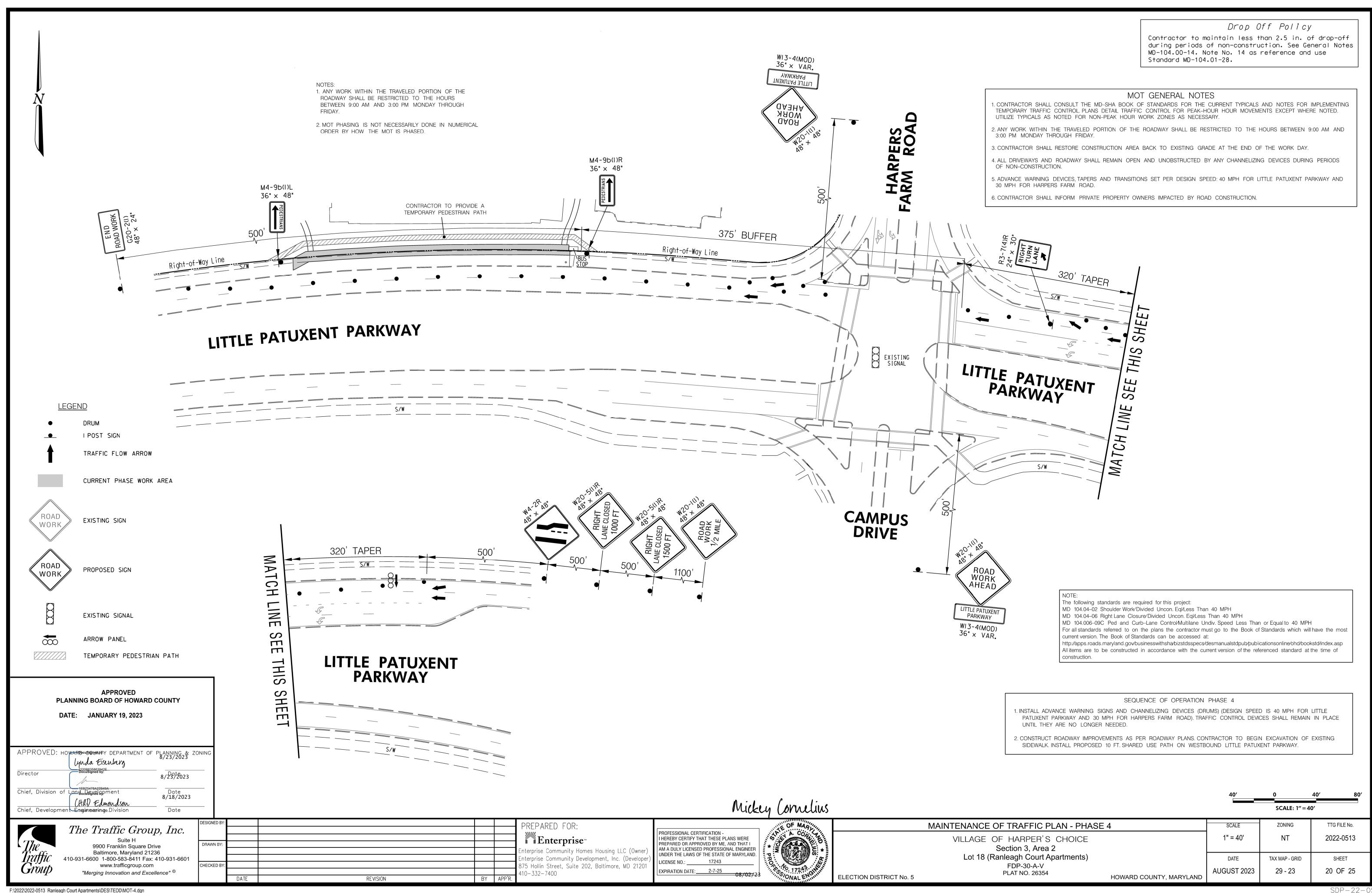
SDP SUBMISSION

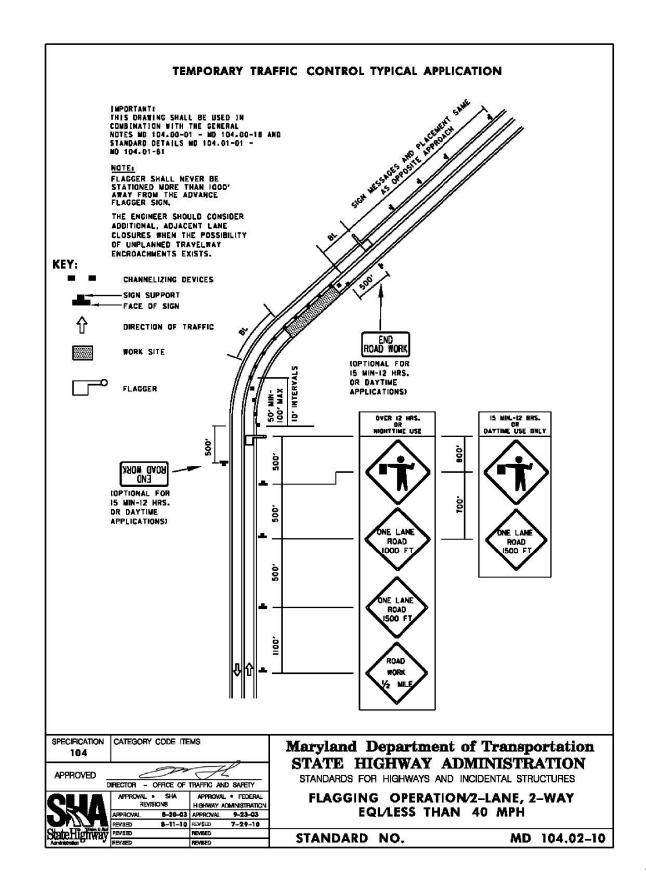












APPROVED
PLANNING BOARD OF HOWARD COUNTY

DATE: JANUARY 19, 2023

APPROVED: HOWARD. GRANTY DEPARTMENT OF PLANNING & ZONING 8/23/2023

Unda Eisenberg

Date 8/23/2023

Chief, Division of Land 168/24/84/28494 Prince 1

Chief, Development Engineering Date

8/18/2023

Chief, Development Engineering Division

Date

Date

8/18/2023

Mickey Cornelius

The Traffic Group, Inc.

Suite H

9900 Franklin Square Drive
Baltimore, Maryland 21236

410-931-6600 1-800-583-8411 Fax: 410-931-6601

www.trafficgroup.com
"Merging Innovation and Excellence" ®

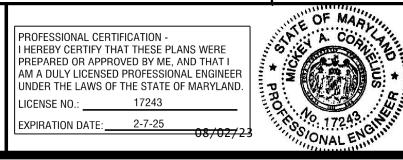
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WN BY:				
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	DATE	REVISION	BY	APP'R.

PREPARED FOR:

Enterprise

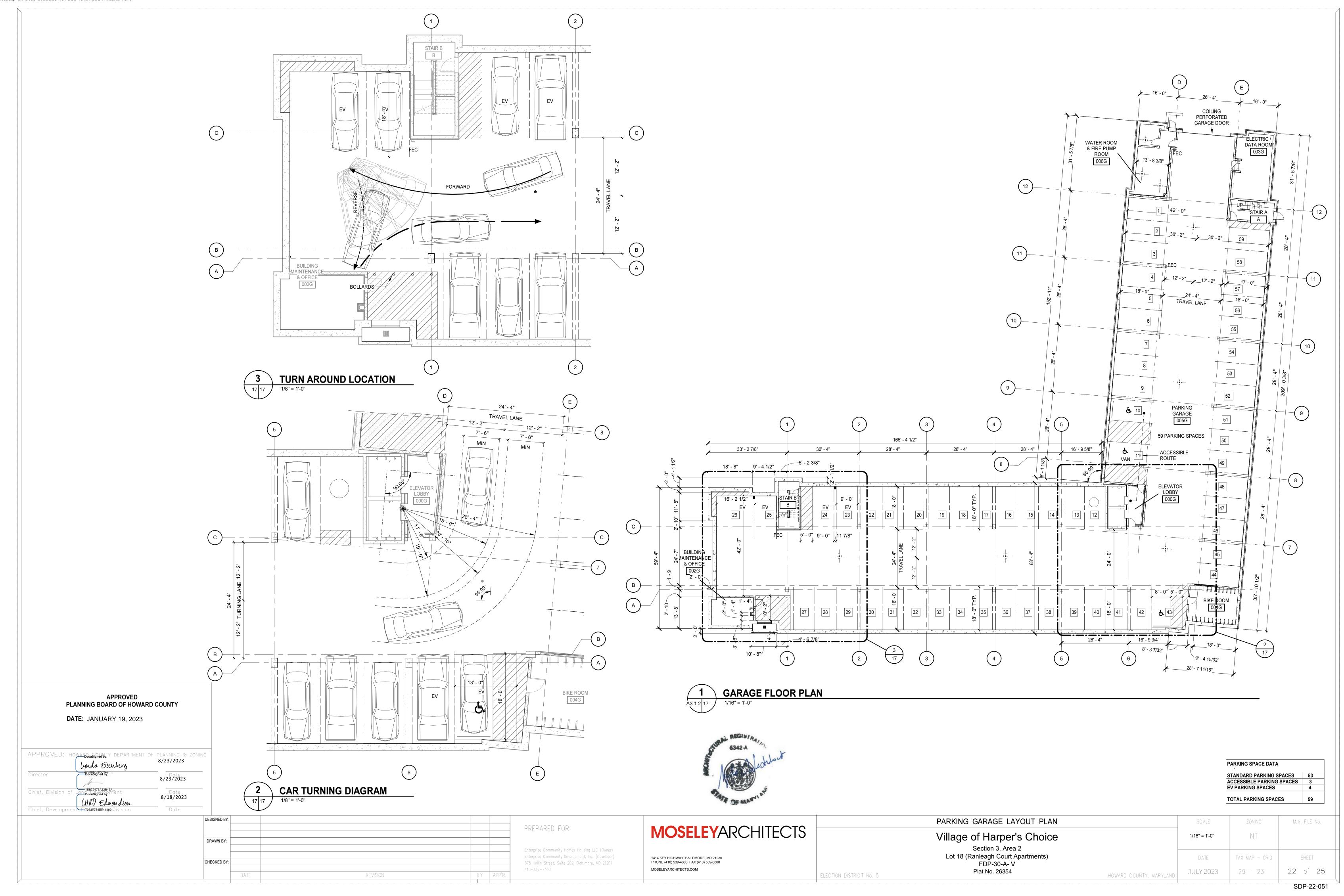
Enterprise Community Homes Housing LLC (Owner)
Enterprise Community Development, Inc. (Developer)
875 Hollin Street, Suite 202, Baltimore, MD 21201
410-332-7400

**PROFESSIONAL CERTIFICATION - I HEREBY CERTIFY THAT THESE PLAPREPARED OR APPROVED BY ME, A AM A DULY LICENSED PROFESSION UNDER THE LAWS OF THE STATE OF LICENSE NO.: 17243
EXPIRATION DATE: 2-7-25



MAIN	TENANCE OF TRAFFIC PLAN - SHA STA
	VILLAGE OF HARPER'S CHOICE
	Section 3, Area 2
	Lot 18 (Ranleagh Court Apartments)
	FDP-30-A-V
ELECTION DISTRICT No. 5	PLAT NO. 26354

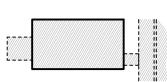
TANDARDS	SCALE	ZONING	TTG FILE No.
E	NTS	NT	2022-0513
s)	DATE	TAX MAP - GRID	SHEET
HOWARD COUNTY, MARYLAND	AUGUST 2023	29 - 23	21 OF 25



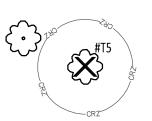
PLAN LEGEND

PROPERTY LINE EXISTING WATERLINE EXISTING STORM DRAIN

> EXISTING STREET/PARKING LOT LIGHTS EXISTING CURB AND GUTTER



EXISTING IMPERVIOUS AREA (ROOF & PAVING) ON LOT-18 IS A SHADED CROSS HATCH (APPROX. 1.11± AC.)



EXISTING TREES: NUMBERED TREES ARE 24"DBH OR

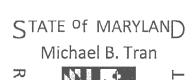
- GREATER (SEE LIST) CRZ=CRITICAL ROOT ZONE INDICATES
- TREE ≥ 30'DBH A BOLD "X" INDICATES TREE TO BE REMOVED

NARRATIVE

LOT 18 IS AN APARTMENT COMMUNITY BUILT IN THE EARLY 1970 UNDER SDP-68-006. CURRENTLY OVER 50% OF THE SITE IS IMPERVIOUS (roof & pavement surfaces). THE NON-IMPERVIOUS AREAS CONSIST OF LAWN, MULCH BEDS (with play equip. or landscaping) AND SCATTERED LANDSCAPE TREES. THERE IS ONE TREE THAT IS GREATER THAN 30"DBH. TREE #T5 IS A 35"DBH SILVER MAPLE (a prohibited tree for landscape planting nowadays).

BECAUSE NO FOREST OR ENVIRONMENTAL AREAS EXIST ON THIS PROPERTY WHICH IS ALSO LOCATED IN A "PRIORITY FUNDING AREA", THIS PLAN EXAMINES THE FOREST CONSERVATION REQUIREMENTS FOR THIS PROPERTY IN A SIMPLIFIED MANNER. THE FOREST CONSERVATION OBLIGATION (FCO) FOR THIS PROPERTY WOULD BE THE AFFORESTATION THRESHOLD FOR THE AREA OF THE SITE THAT IS NOT EXEMPT FROM FOREST CONSERVATION REQUIREMENTS IN ACCORDANCE WITH SEC.16.1201.(b)(1)(xiii).

SINCE THE AFFORESTATION AMOUNT FOR THIS PROPERTY IS WELL UNDER AN ACRE, A FEE-IN-LIEU PAYMENT (TO THE COUNTY) IS REQUESTED TO SATISFY THE FORESTATION CONSERVATION OBLIGATION.



933

SOILS LEGEND CLASS K' FACTOR GfB | Gladstone-Urban Land Complex, 0 to 8 percent slopes | A 0.32

NO HIGHLY ERODABLE SOILS ON—SITE (highly erodible soils are those soils with a slope > 15% or those with a soil erodiblity K-factor > 0.35 and a slope > 5%). Tree stand information is not available for this urban land complex.

APPROVED PLANNING BOARD OF HOWARD COUNTY **DATE: JANUARY 19, 2023**

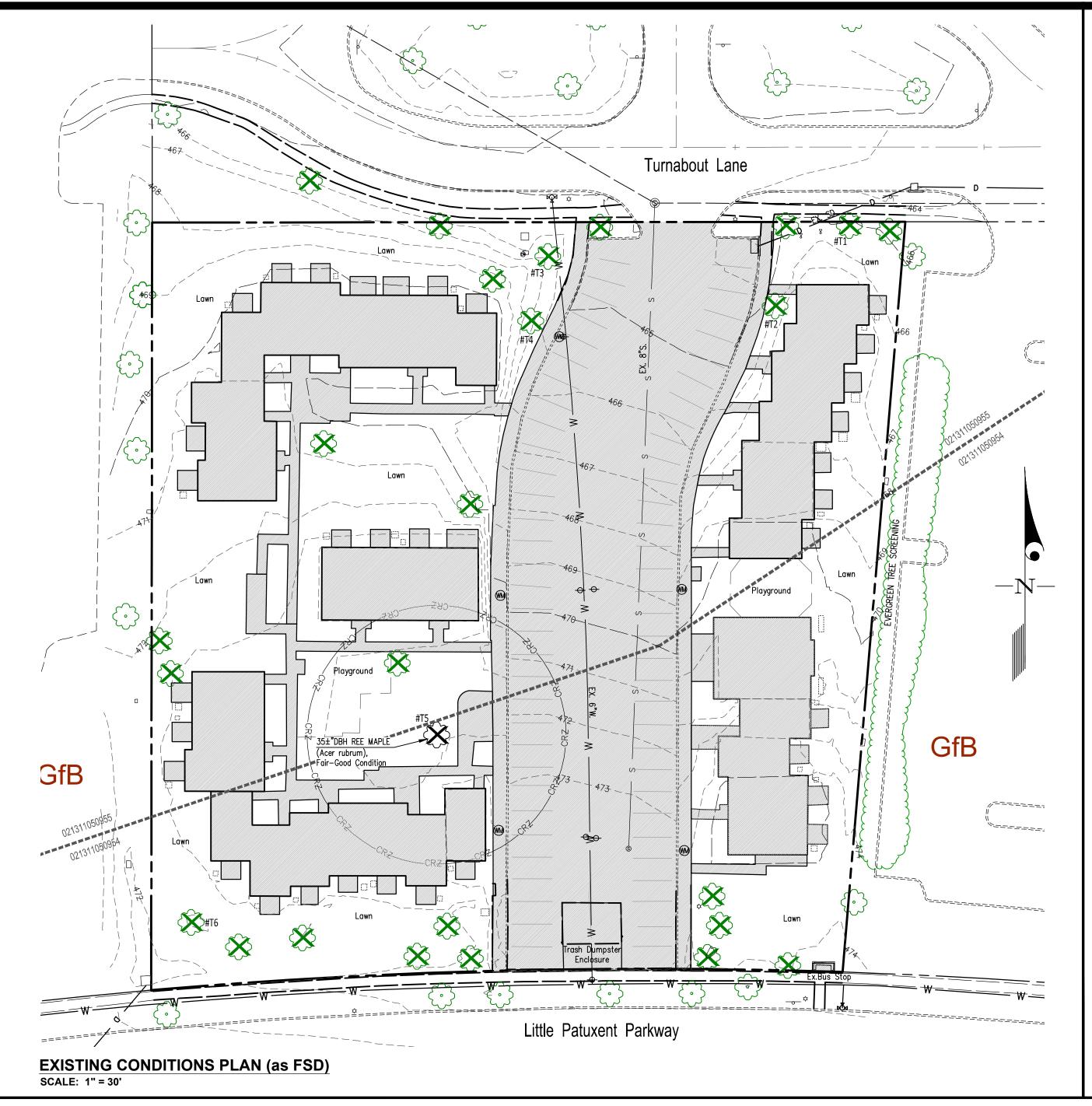
APPROVED: HOWARD COMMING & ZONING 8/23/2023 lynda Eisenberg Director Date 8/23/2023

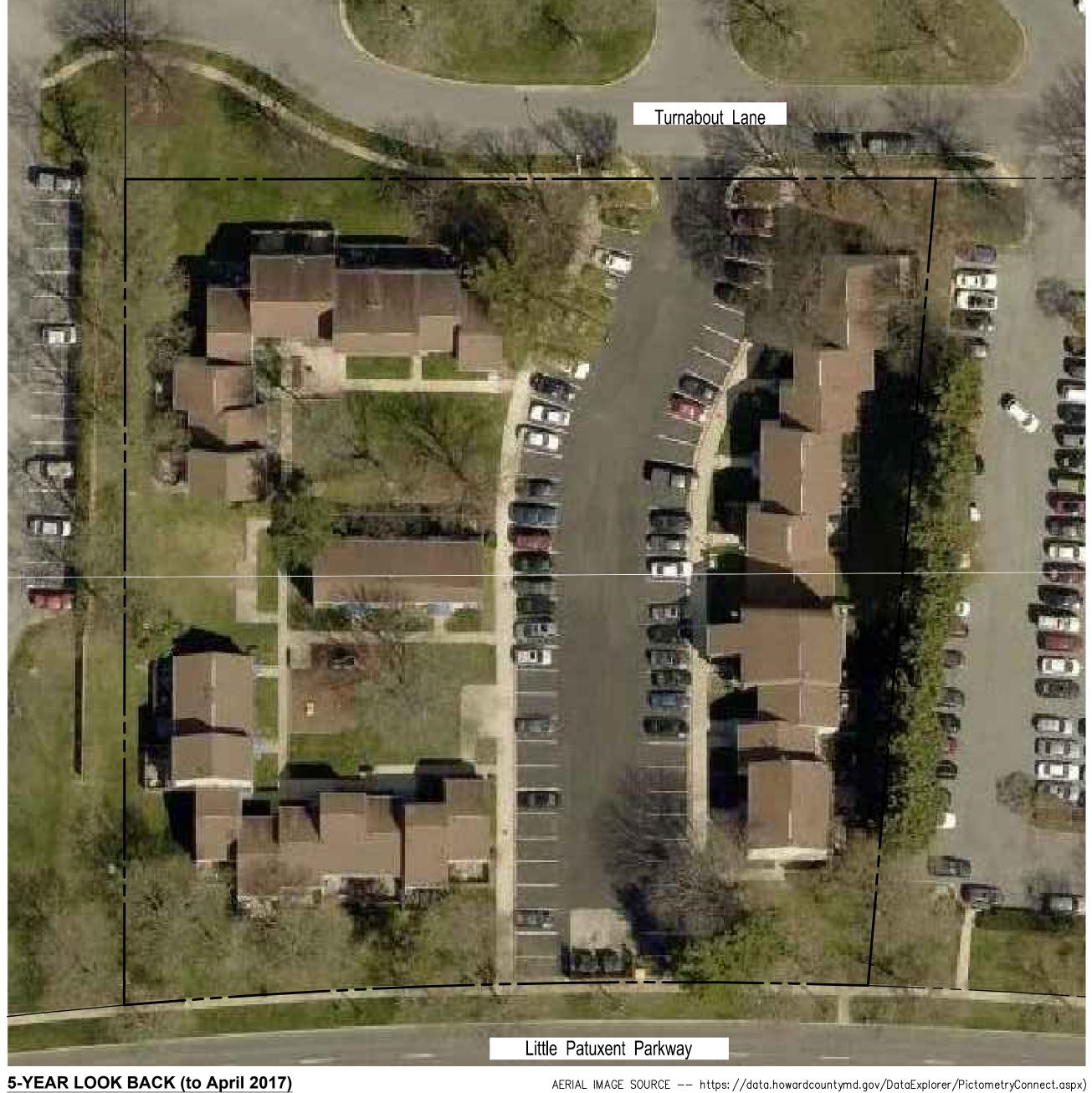
Chief, Division of Land, Seyel apment Date 8/18/2023 (HD) Edmondson

Chief, Development Eনকুদাৰ্ভ Division

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM

PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186





APPROX. SCALE: 1" = 30'

			FOREST CONSERVATION WORKSHEET FOR DPZ file SDP-22-0	51
			Net Tract Area A. Total (Gross) Tract Area of Lot-18 at VoHC 3/2 B. Area within 100-year Floodplain C. Other Deductions (Identify: Section 16.1202(b)(1)(xiii) exempt areas D. Net Tract Area	A = B = C = D =
			Land Use Category	
			Insert the number "1" under the appropriate land use (limit to only one entry)	
			Resid. Resid. Inst./ Retail/Ind./ Mixed Use/ Rural LD Rural MD Suburban Linear Office PUD 0 0 0 0 0 1	
			E. Afforestation Threshold (Net Tract Area x 15%) F. Reforestation Threshold (Net Tract Area x 20%)) E=
			Existing Forest Cover G. Existing Forest Cover within the Net Tract Area H. Area of Forest above Afforestation Threshold I. Area of Forest above Reforestation Threshold	G = H = I =
Redevelopment Area Forest Conservation Obl	igation Δna	alveis	Break Even Point J. Break Even Point	J =
Redevelopment Area i orest conscivation obi	Parion VIII	11 7 313		-
Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt.	•	SDP-22-051	K. Forest Clearing Permitted without Mitigation	-
Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt.	DPZ File No.	SDP-22-051	K. Forest Clearing Permitted without Mitigation Proposed Forest Clearing	K =
Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt. 1. Input Information	DPZ File No.	SDP-22-051 Acres (if >.10)	K. Forest Clearing Permitted without Mitigation	K =
Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt. 1. Input Information a. Lot-18 boundary area (Gross "Site Area" subject to Forest	DPZ File No.	SDP-22-051	K. Forest Clearing Permitted without Mitigation Proposed Forest Clearing L. Total Area of Forest to be Cleared (on net tract) M. Total Area of Forest to be Retained (on net tract)	K =
Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt. 1. Input Information	DPZ File No.	SDP-22-051 Acres (if >.10)	K. Forest Clearing Permitted without Mitigation Proposed Forest Clearing L. Total Area of Forest to be Cleared (on net tract) M. Total Area of Forest to be Retained (on net tract) Planting Requirements Inside Watershed	K = L = M =
Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt. 1. Input Information a. Lot-18 boundary area (Gross "Site Area" subject to Forest	DPZ File No.	SDP-22-051 Acres (if >.10)	K. Forest Clearing Permitted without Mitigation Proposed Forest Clearing L. Total Area of Forest to be Cleared (on net tract) M. Total Area of Forest to be Retained (on net tract)	K = L = M =
Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt. 1. Input Information a. Lot-18 boundary area (Gross "Site Area" subject to Forest Conservation Requirements)	DPZ File No.	SDP-22-051 Acres (if >.10)	K. Forest Clearing Permitted without Mitigation Proposed Forest Clearing L. Total Area of Forest to be Cleared (on net tract) M. Total Area of Forest to be Retained (on net tract) Planting Requirements Inside Watershed N. Reforestation for Clearing above the Reforestation Threshold P. Reforestation for Clearing below the Reforestation Threshold Q. Credit for Retention above the Reforestation Threshold	K = L = M = N = P = Q =
Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt. 1. Input Information a. Lot-18 boundary area (Gross "Site Area" subject to Forest Conservation Requirements) 2. Deductions & Adjustments	DPZ File No. square feet 87,535	SDP-22-051 Acres (if >.10) 2.01	K. Forest Clearing Permitted without Mitigation Proposed Forest Clearing L. Total Area of Forest to be Cleared (on net tract) M. Total Area of Forest to be Retained (on net tract) Planting Requirements Inside Watershed N. Reforestation for Clearing above the Reforestation Threshold P. Reforestation for Clearing below the Reforestation Threshold Q. Credit for Retention above the Reforestation Threshold R. Total Reforestation Required	K = L = M = N = P = Q = R =
Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt. 1. Input Information a. Lot-18 boundary area (Gross "Site Area" subject to Forest Conservation Requirements) 2. Deductions & Adjustments a. Section 16.1202(b)(1)(xiii) existing impervious within	DPZ File No.	SDP-22-051 Acres (if >.10)	K. Forest Clearing Permitted without Mitigation Proposed Forest Clearing L. Total Area of Forest to be Cleared (on net tract) M. Total Area of Forest to be Retained (on net tract) Planting Requirements Inside Watershed N. Reforestation for Clearing above the Reforestation Threshold P. Reforestation for Clearing below the Reforestation Threshold Q. Credit for Retention above the Reforestation Threshold R. Total Reforestation Required S. Total Afforestation Required	K = L = M = N = P = Q = R = S =
Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt. 1. Input Information a. Lot-18 boundary area (Gross "Site Area" subject to Forest Conservation Requirements) 2. Deductions & Adjustments	DPZ File No. square feet 87,535	SDP-22-051 Acres (if >.10) 2.01	R. Forest Clearing Permitted without Mitigation Proposed Forest Clearing L. Total Area of Forest to be Cleared (on net tract) M. Total Area of Forest to be Retained (on net tract) Planting Requirements Inside Watershed N. Reforestation for Clearing above the Reforestation Threshold P. Reforestation for Clearing below the Reforestation Threshold Q. Credit for Retention above the Reforestation Threshold R. Total Reforestation Required S. Total Afforestation Required T. Total Reforestation and Afforestation Requirement	K = L = M = N = P = Q = R = S = T =
Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt. 1. Input Information a. Lot-18 boundary area (Gross "Site Area" subject to Forest Conservation Requirements) 2. Deductions & Adjustments a. Section 16.1202(b)(1)(xiii) existing impervious within the boundary of Lot-18	DPZ File No. square feet 87,535 48,325	SDP-22-051 Acres (if >.10) 2.01 1.11	K. Forest Clearing Permitted without Mitigation Proposed Forest Clearing L. Total Area of Forest to be Cleared (on net tract) M. Total Area of Forest to be Retained (on net tract) Planting Requirements Inside Watershed N. Reforestation for Clearing above the Reforestation Threshold P. Reforestation for Clearing below the Reforestation Threshold Q. Credit for Retention above the Reforestation Threshold R. Total Reforestation Required S. Total Afforestation Required T. Total Reforestation Required T. Total Reforestation Afforestation Requirement U. 75% of Total Obligation (Retention + Planting)	K = L = M = N = P = Q = R = S = T = U =
Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt. 1. Input Information a. Lot-18 boundary area (Gross "Site Area" subject to Forest Conservation Requirements) 2. Deductions & Adjustments a. Section 16.1202(b)(1)(xiii) existing impervious within the boundary of Lot-18 b. Adjusted Site Area (ASA= 1a - 2a) to use in calculating the	DPZ File No. square feet 87,535	SDP-22-051 Acres (if >.10) 2.01	R. Forest Clearing Permitted without Mitigation Proposed Forest Clearing L. Total Area of Forest to be Cleared (on net tract) M. Total Area of Forest to be Retained (on net tract) Planting Requirements Inside Watershed N. Reforestation for Clearing above the Reforestation Threshold P. Reforestation for Clearing below the Reforestation Threshold Q. Credit for Retention above the Reforestation Threshold R. Total Reforestation Required S. Total Afforestation Required T. Total Reforestation and Afforestation Requirement U. 75% of Total Obligation (Retention + Planting) V. Planting Required Onsite to meet 75% Obligation	K = L = M = N = P = Q = R = S = T =
Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt. Lot-18 boundary area (Gross "Site Area" subject to Forest Conservation Requirements) Deductions & Adjustments a. Section 16.1202(b)(1)(xiii) existing impervious within the boundary of Lot-18	DPZ File No. square feet 87,535 48,325	SDP-22-051 Acres (if >.10) 2.01 1.11	R. Forest Clearing Permitted without Mitigation Proposed Forest Clearing L. Total Area of Forest to be Cleared (on net tract) M. Total Area of Forest to be Retained (on net tract) Planting Requirements Inside Watershed N. Reforestation for Clearing above the Reforestation Threshold P. Reforestation for Clearing below the Reforestation Threshold Q. Credit for Retention above the Reforestation Threshold R. Total Reforestation Required S. Total Afforestation Required T. Total Reforestation and Afforestation Requirement U. 75% of Total Obligation (Retention + Planting) V. Planting Required Onsite to meet 75% Obligation Planting Requirements Outside Watershed	K = L = M = N = P = Q = R = S = T = U = V =
Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt. Lot-18 boundary area (Gross "Site Area" subject to Forest Conservation Requirements) Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt. Lot-18 boundary area (Gross "Site Area" subject to Forest Conservation Requirements) Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt. Lot-18 boundary area (Gross "Site Area" subject to Forest Conservation Requirements) Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt. Lot-18 boundary area (Gross "Site Area" subject to Forest Conservation Requirements) Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt. Lot-18 boundary area (Gross "Site Area" subject to Forest Conservation Requirements) Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt.	DPZ File No. square feet 87,535 48,325	SDP-22-051 Acres (if >.10) 2.01 1.11	R. Forest Clearing Permitted without Mitigation Proposed Forest Clearing L. Total Area of Forest to be Cleared (on net tract) M. Total Area of Forest to be Retained (on net tract) Planting Requirements Inside Watershed N. Reforestation for Clearing above the Reforestation Threshold P. Reforestation for Clearing below the Reforestation Threshold Q. Credit for Retention above the Reforestation Threshold R. Total Reforestation Required S. Total Afforestation Required T. Total Reforestation and Afforestation Requirement U. 75% of Total Obligation (Retention + Planting) V. Planting Required Onsite to meet 75% Obligation Planting Requirements Outside Watershed W. Total Planting within Development Site Watershed	K = L = M = N = P = Q = R = S = T = U = V =
Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt. L. Input Information a. Lot-18 boundary area (Gross "Site Area" subject to Forest Conservation Requirements) Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt. Lot-18 boundary area (Gross "Site Area" subject to Forest Conservation Forest Site Area" subject to Forest Conservation Gross "Site Area" subject to Forest Conservation Obligation (FCO):	DPZ File No. square feet 87,535 48,325	SDP-22-051 Acres (if >.10) 2.01 1.11	R. Forest Clearing Permitted without Mitigation Proposed Forest Clearing L. Total Area of Forest to be Cleared (on net tract) M. Total Area of Forest to be Retained (on net tract) Planting Requirements Inside Watershed N. Reforestation for Clearing above the Reforestation Threshold P. Reforestation for Clearing below the Reforestation Threshold Q. Credit for Retention above the Reforestation Threshold R. Total Reforestation Required S. Total Afforestation Required T. Total Reforestation and Afforestation Requirement U. 75% of Total Obligation (Retention + Planting) V. Planting Required Onsite to meet 75% Obligation Planting Requirements Outside Watershed W. Total Planting within Development Site Watershed X. Total Afforestation Required	K = L = M = N = P = Q = R = S = T = U = V =
Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt. L. Input Information a. Lot-18 boundary area (Gross "Site Area" subject to Forest Conservation Requirements) Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt. Lot-18 boundary area (Gross "Site Area" subject to Forest Conservation Requirements) Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt. B. Deductions & Adjustments a. Section 16.1202(b)(1)(xiii) existing impervious within the boundary of Lot-18 b. Adjusted Site Area (ASA= 1a - 2a) to use in calculating the Forest Conservation Obligation (FCO): B. Forest Conservation Obligation	DPZ File No. square feet 87,535 48,325 39,210	SDP-22-051 Acres (if >.10) 2.01 1.11 0.90	K. Forest Clearing Permitted without Mitigation Proposed Forest Clearing L. Total Area of Forest to be Cleared (on net tract) M. Total Area of Forest to be Retained (on net tract) Planting Requirements Inside Watershed N. Reforestation for Clearing above the Reforestation Threshold P. Reforestation for Clearing below the Reforestation Threshold Q. Credit for Retention above the Reforestation Threshold R. Total Reforestation Required S. Total Afforestation Required T. Total Reforestation Required T. Total Reforestation and Afforestation Requirement U. 75% of Total Obligation (Retention + Planting) V. Planting Required Onsite to meet 75% Obligation Planting Requirements Outside Watershed W. Total Planting within Development Site Watershed X. Total Afforestation Required Y. Remaining Planting within Watershed for Reforestation Credit	K = L = M = N = P = Q = R = S = T = U = V = W = X =
Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt. L. Input Information a. Lot-18 boundary area (Gross "Site Area" subject to Forest Conservation Requirements) Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt. Lot-18 boundary area (Gross "Site Area" subject to Forest Conservation Forest Site Area" subject to Forest Conservation Gross "Site Area" subject to Forest Conservation Obligation (FCO):	DPZ File No. square feet 87,535 48,325	SDP-22-051 Acres (if >.10) 2.01 1.11	K. Forest Clearing Permitted without Mitigation Proposed Forest Clearing L. Total Area of Forest to be Cleared (on net tract) M. Total Area of Forest to be Retained (on net tract) Planting Requirements Inside Watershed N. Reforestation for Clearing above the Reforestation Threshold P. Reforestation for Clearing below the Reforestation Threshold Q. Credit for Retention above the Reforestation Threshold R. Total Reforestation Required S. Total Afforestation Required T. Total Reforestation and Afforestation Requirement U. 75% of Total Obligation (Retention + Planting) V. Planting Required Onsite to meet 75% Obligation Planting Requirements Outside Watershed W. Total Planting within Development Site Watershed X. Total Afforestation Required Y. Remaining Planting within Watershed for Reforestation Credit Z. Reforestation for Clearing above the Reforestation Threshold	K = L = M = N = P = Q = R = S = T = U = V = W = X = Y = Z =
Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt. 1. Input Information a. Lot-18 boundary area (Gross "Site Area" subject to Forest Conservation Requirements) 2. Deductions & Adjustments a. Section 16.1202(b)(1)(xiii) existing impervious within the boundary of Lot-18 b. Adjusted Site Area (ASA= 1a - 2a) to use in calculating the Forest Conservation Obligation (FCO): 3. Forest Conservation Obligation a. FCO = Afforestation obligation at 15% of the ASA = 2b*0.15	DPZ File No. square feet 87,535 48,325 39,210	SDP-22-051 Acres (if >.10) 2.01 1.11 0.90	K. Forest Clearing Permitted without Mitigation Proposed Forest Clearing L. Total Area of Forest to be Cleared (on net tract) M. Total Area of Forest to be Retained (on net tract) Planting Requirements Inside Watershed N. Reforestation for Clearing above the Reforestation Threshold P. Reforestation for Clearing below the Reforestation Threshold Q. Credit for Retention above the Reforestation Threshold R. Total Reforestation Required S. Total Afforestation Required T. Total Reforestation Required T. Total Reforestation and Afforestation Requirement U. 75% of Total Obligation (Retention + Planting) V. Planting Required Onsite to meet 75% Obligation Planting Requirements Outside Watershed W. Total Planting within Development Site Watershed X. Total Afforestation Required Y. Remaining Planting within Watershed for Reforestation Credit	K = L = M = N = P = Q = R = T = U = V = W = X = Y = AA:
Project Name: VoHC 3/2, Lot-18 Ranleagh Court Apt. 1. Input Information a. Lot-18 boundary area (Gross "Site Area" subject to Forest Conservation Requirements) 2. Deductions & Adjustments a. Section 16.1202(b)(1)(xiii) existing impervious within the boundary of Lot-18 b. Adjusted Site Area (ASA= 1a - 2a) to use in calculating the Forest Conservation Obligation (FCO): 3. Forest Conservation Obligation	DPZ File No. square feet 87,535 48,325 39,210	SDP-22-051 Acres (if >.10) 2.01 1.11 0.90 0.14	R. Forest Clearing Permitted without Mitigation Proposed Forest Clearing L. Total Area of Forest to be Cleared (on net tract) M. Total Area of Forest to be Retained (on net tract) Planting Requirements Inside Watershed N. Reforestation for Clearing above the Reforestation Threshold P. Reforestation for Clearing below the Reforestation Threshold Q. Credit for Retention above the Reforestation Threshold R. Total Reforestation Required S. Total Afforestation Required T. Total Reforestation and Afforestation Requirement U. 75% of Total Obligation (Retention + Planting) V. Planting Required Onsite to meet 75% Obligation Planting Requirements Outside Watershed W. Total Planting within Development Site Watershed X. Total Afforestation Required Y. Remaining Planting within Watershed for Reforestation Credit Z. Reforestation for Clearing above the Reforestation Threshold AA. Reforestation for Clearing below the Reforestation Threshold	K = L = M = N = P = Q = R = S =

No.	DBH*	Name	Condition	Comments	BT-id	circum.	Diameter	75% Dia
T1	24	Linden (<i>Tilia sp</i> .)	Fair-Good	to be removed	BT-2634	223	71.0	53.2
T2	29	Linden (<i>Tilia sp</i> .)	Fair-Good	to be removed	"	11	"	11
T3	29	Linden (<i>Tilia sp</i> .)	Fair-Good	to be removed	11	11	11	11
T4	29	Zelkova (<i>Zelkova sp</i> .)	Fair-Good	to be removed	BT-3010	227	72.3	54.2
T5	35	Red Maple (Acer Rubrum)	Fair-Good	to be removed (see WP-23-043)	BT-2299	252	80.2	60.2
T6	28	Sycamore (<i>Platanus sp.</i>)	Fair-Good	to be removed	BT-2293	326	103.8	77.8
·	*Trees	were measured in Sept/2022 with	a tree diamet	er tape				
*	*Source	of State Champion Tree informat	tion is from	https://www.mdbigtrees.org/state	e-champio	n-trees		

WP-23-043 WAS APPROVED ON DEC/22/2022 FOR A VARIANCE WITH RESPECT TO SECTION 16.1205(a)(3) TO REMOVE THE SPECIMEN TREE #T5 (A 35" RED MAPLE). THE REMOVAL OF THE SPECIMEN TREE SHALL BE MITIGATED WITH A 2:1 REPLACEMENT WITH NATIVE 3"DBH TREES. THE TWO MITIGATION TREES ARE SHOWN SHEETS 12 & 13 (AS ACER RUBRUM 'OCTOBER GLORY).

CD ADUIC SCALE

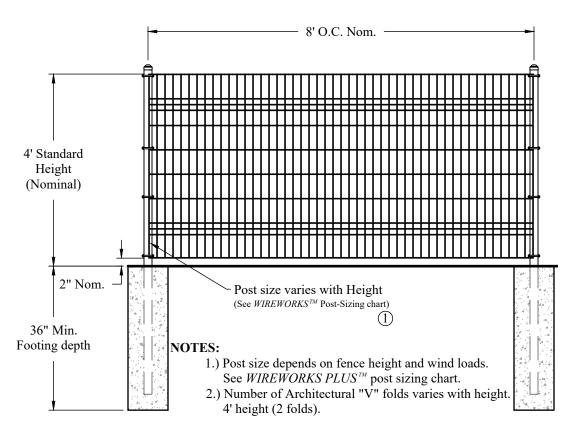
								GRAP	HIC SCALE
DESIGNED BY	:					FOREST STAND DELINEATION & FOREST CONSERVATION OBLIGATION ANALYSIS	SCALE	ZONING	G. L. W. FILE No.
mbt					PREPARED FOR: Enterprise Enterprise Community Homes Housing LLC (Owner) Enterprise Community Development, Inc. (Developer)	Village of Harper's Choice Section 3, Area 2	1" = 30'	NT	21111
DRAWN BY:							1 30	, , , , ,	
MID I						Lot 18 (Ranleagh Court Apartments)	DATE	TAX MAP — GRID	SHEET
CHECKED BY	:		-+		875 Hollin Street, Suite 202, Baltimore, MD 21201 410-332-7400	FDP-30-A-V		20 27	07 05 05
i	DATE	REVISION	BY	APP'R.	110 332 7100	ELECTION DISTRICT No. 5 Plat No. 26354 HOWARD COUNTY, MARYLAN		29 – 23	23 UF 23

ELECTION DISTRICT No. 5

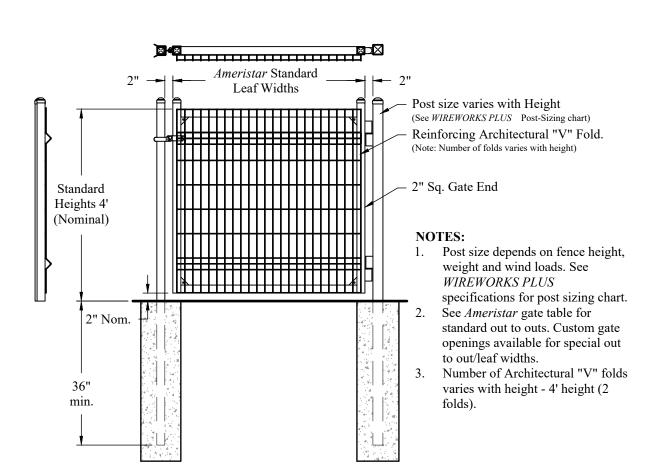
DATE

REVISION

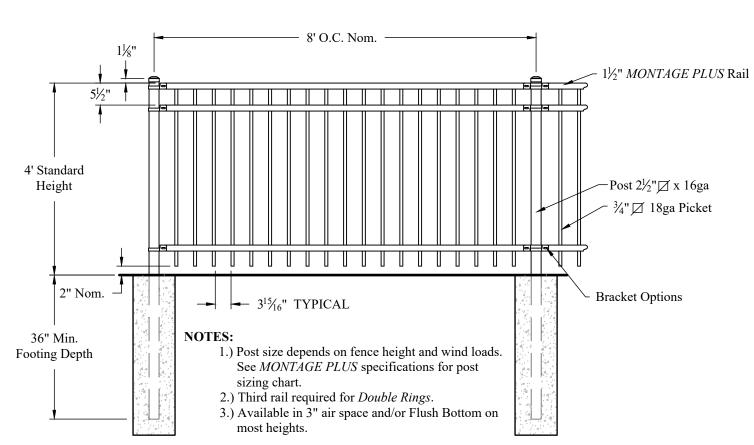
HOWARD COUNTY, MARYLAND



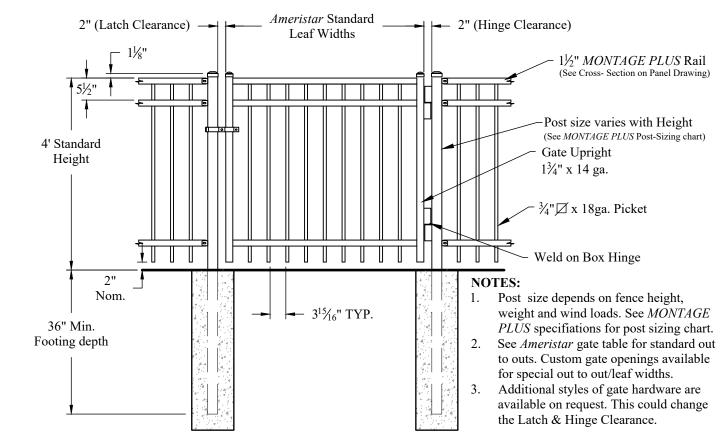




B DOG PARK GATE - 'OPEN' PER ZONING



PLAY AREA FENCE - 'OPEN' PER ZONING



PLAY AREA GATE - 'OPEN' PER ZONING
1/2" = 1'-0"

APPROVED
PLANNING BOARD OF HOWARD COUNTY

DATE: JANUARY 19, 2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING 8/23/2023

White Eighburg

Director

Boccusigned by:

Chief, Division of Language 19, 200 pment

Chief, Division of La

Date

Chief, Development Engineering Division

Sharon Bradley

SDP SUBMISSION

	DESIGNED BY:					
	B \$					
	20					
	DRAWN BY:					
	EMM.CET					
	CHECKED BY:					
	SB					
	<u>, </u>	DATE	REVISION	BY	APP'R.	

PREPARED FOR:

Enterprise Community Homes Housing LLC (Owner)
Enterprise Community Development, Inc. (Developer)

410-332-7400

875 Hollin Street, Suite 202, Baltimore, MD 21201

BRADLEY
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Landscape Architecture
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Washington, DC 20007
P: 202.695.8056
08/02/23
www.bradleysitedesign.com

NC.
620
/02/23

CONTRUCTION DETAILS

Village of Harper's Choice
Section 3, Area 2
Lot 18 (Ranleagh Court Apartments)
FDP-30-A-V
Plat No. 26354