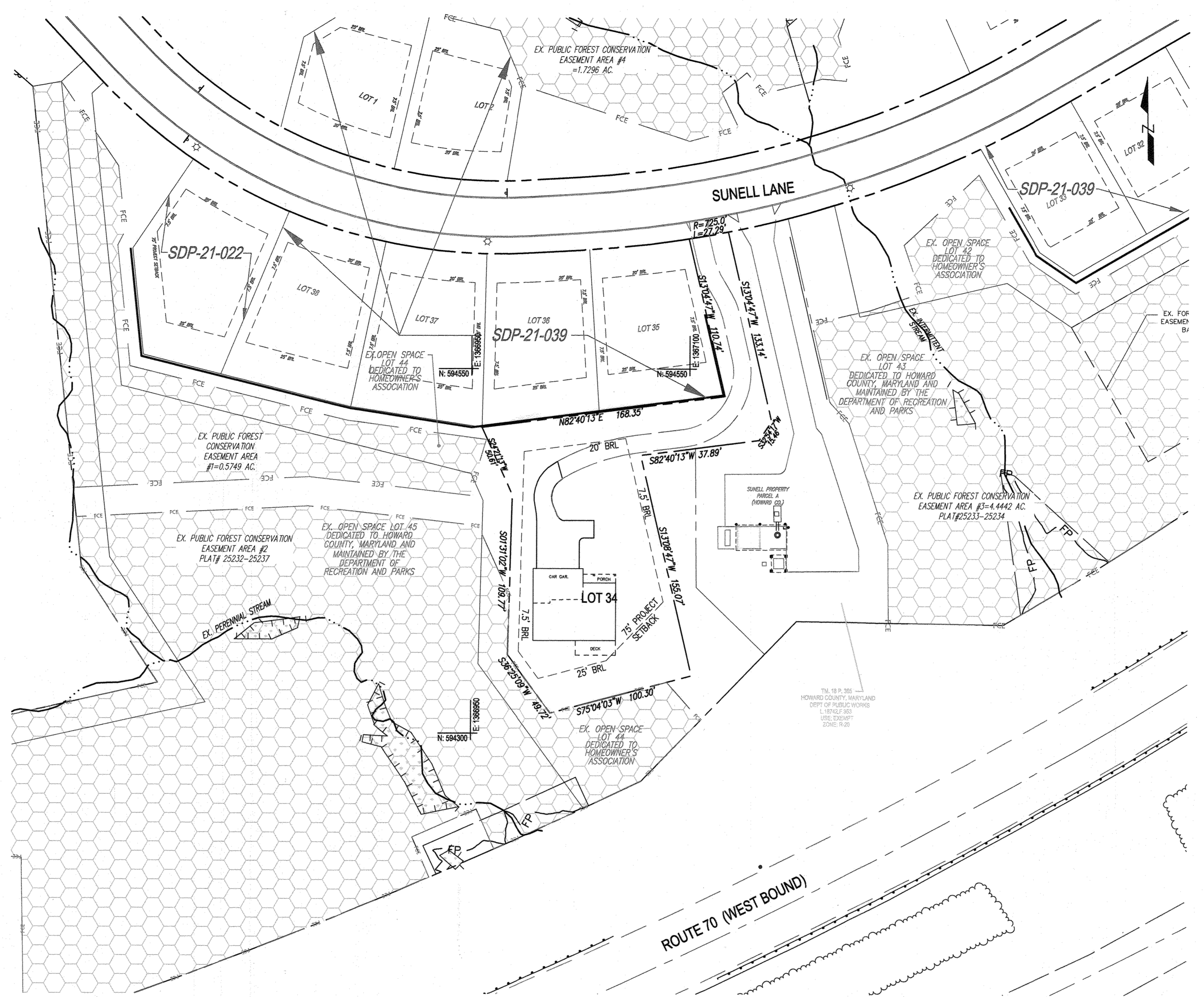


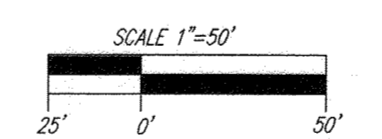
GENERAL NOTES:

- 1. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
2. THE CONTRACTOR SHALL NOTIFY 'MISS UTILITY' AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
3. ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS ALTERNATIVE COMPLIANCE REQUESTS HAVE BEEN APPROVED.
4. THE SUBJECT PROPERTY IS ZONED R-20 IN ACCORDANCE WITH THE 2013 COMPREHENSIVE ZONING PLAN AND PER SECTION 108.0.G.3 IS BEING DEVELOPED UNDER THE R-ED ZONING REGULATIONS.
5. THE EXISTING ON-SITE TOPOGRAPHY IS BASED ON A TOPOGRAPHIC SURVEY BY MCKENZIE-SNYDER DATED APRIL, 2011. OFF SITE AREAS HAVE BEEN SUPPLEMENTED WITH H.O. CO. GIS TOPOGRAPHICAL INFORMATION.
6. EXISTING CONTOURS ON-SITE ASSUME PROPOSED GRADES FROM F-18-087 HAVE BEEN ESTABLISHED.
7. BOUNDARY INFORMATION IS FROM BOUNDARY SURVEYS BY GUTSCHICK, LITTLE AND WEBER, P.A., DATED MAY 2013.
8. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
9. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENTS 1718 AND 171C WERE USED FOR THIS PROJECT.
10. THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, DEVELOPMENT OR CONSTRUCTION OF THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, ALTERNATIVE COMPLIANCE, OR BUILDING AND GRADING PERMITS.
11. STORMWATER MANAGEMENT FOR THE PROJECT IS PROVIDED BY THE USE OF MICRO-SCALE PRACTICES IN ACCORDANCE WITH ENVIRONMENTAL SITE DESIGN CRITERIA SYSTEM. THE MICRO-SCALE PRACTICES USED ARE 3 DRYWELLS (N-5), AND NON STRUCTURAL METHOD, DISCONNECTION OF NON-ROOFTOP RUNOFF (N-2) AND DISCONNECTION OF ROOFTOP RUNOFF (N-1). THESE FACILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED. PRIOR TO SIGNATURE APPROVAL OF THIS SITE DEVELOPMENT PLAN, THE BUILDER/DEVELOPER SHALL EXECUTE THE DECLARATION OF COVENANTS FOR THE CONSTRUCTION OF THE ON-LOT PRACTICES AND A MAINTENANCE AGREEMENT.
12. REFER TO THE STORMWATER MANAGEMENT INFORMATION CHART FOR FACILITIES CONSTRUCTED UNDER ECP-22-030.
13. THE PROPOSED UNIT SHALL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.
14. EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE.
15. ANY DAMAGE TO THE COUNTY'S RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
16. SHC ELEVATIONS ARE LOCATED AT THE PROPERTY LINE/EDGE OF EASEMENT.
17. THIS PROPERTY IS WITHIN THE METROPOLITAN DISTRICT.
18. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING AT&T
BOE (CONSTRUCTION SERVICES) 410-637-8713
BOE (EMERGENCY) 410-685-0123
BUREAU OF UTILITIES 410-313-4900
COLONIAL PIPELINE CO 410-795-1390
MISS UTILITY 1-800-257-7777
STATE HIGHWAY ADMINISTRATION 410-531-5633
VERIZON 1-800-743-0033
19. THERE ARE EXISTING DWELLING/STRUCTURES LOCATED ON LOT 34 TO BE REMOVED.
20. DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A) WIDTH - 12 FEET (16 FEET IF SERVING MORE THAN ONE RESIDENCE)
B) SURFACE - 6" OF COMPACTED CRUSHER RUN BASE W/TAR AND CHIP COATING (1-1/2" MIN.)
C) GEOMETRY - MAXIMUM 10% GRADE CHANGE, AND MINIMUM 45 FOOT TURNING RADIUS
D) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (25 LOADINGS)
E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD EVENTS WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
F) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE
21. -DRIVEWAY ENTRANCES ALONG P COMBINATION CURB & GUTTER LINED ROADWAYS/JIC DRIVES SHALL UTILIZE HOWARD COUNTY STANDARD DETAIL NO. R-6.01.
-DRIVEWAY ENTRANCES ALONG MODIFIED COMBINATION CURB & GUTTER LINED ROADWAYS SHALL UTILIZE HOWARD COUNTY STANDARD DETAIL NO. R-6.03.
22. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.
23. TRASH & RECYCLING COLLECTION WILL BE AT THE COUNTY ROADWAYS WITHIN FIVE FEET (5') OF THE COUNTY ROADWAY.
24. WATER SERVICE CONNECTION (WHC) FOR THIS PROJECT IS FROM PUBLIC CONTRACT NO. 14-4879-D.
-SEWER SERVICE CONNECTION (SHC) FOR THIS PROJECT IS FROM PUBLIC CONTRACT NO. 14-4879-D.
25. WATER AND SEWER SERVICE TO LOT 34 WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 16.122.B OF THE HOWARD COUNTY CODE.
26. PUBLIC WATER AND SEWER ALLOCATION WILL BE GRANTED AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF CAPACITY IS AVAILABLE AT THAT TIME.
27. WATER HOUSE CONNECTION SHALL BE OUTSIDE METER SETTING UNLESS OTHERWISE NOTED ON THE PLANS OR IN SPECIFICATIONS.
28. THERE ARE NO WETLANDS, STREAMS OR THEIR BUFFERS PRESENT ON THE SITE.
29. TOTAL FOREST CONSERVATION OBLIGATION OF THIS PROJECT HAD BEEN FULFILLED, AND RECORDED UNDER F-19-038. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT.
30. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED MAY 5, 2014, AND APPROVED ON AUGUST 21, 2014.
31. A NOISE STUDY HAS BEEN COMPLETED BY VOGEL ENGINEERING+TIMMONS GROUP DATED JULY 2022.
32. THE 60dbd NOISE LINE ESTABLISHED BY HOWARD COUNTY IS TO ALERT DEVELOPERS, BUILDERS AND FUTURE RESIDENTS THAT AREAS BEHIND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
33. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY GTA, DATED JUNE 4, 2014 AND WAS APPROVED AS PART OF F-19-038 PLAN.
34. THE PRE-SUBMISSION COMMUNITY MEETING WAS HELD FOR THIS PROJECT ON JULY 18, 2013.
35. THE ENVIRONMENTAL CONCEPT PLAN (ECP-22-030) WAS APPROVED ON DECEMBER 14TH, 2021.
36. PERIMETER LANDSCAPING FOR THIS PROJECT WAS APPROVED WITH F-19-038. A LANDSCAPE PLAN WAS PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE LANDSCAPE MANUAL. THE FINANCIAL SURETY FOR PERIMETER LANDSCAPING WAS POSTED AS PART OF THE F-19-038 DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$14,700.00 FOR THE 47 SHADE TREES AND 4 EVERGREEN TREES. THE FINANCIAL SURETY FOR THE SINGLE FAMILY DETACHED INTERNAL LANDSCAPING SHALL BE POSTED WITH THE DEVELOPER'S GRADING PERMIT.
37. SOIL TYPES SHOWN HEREON ARE IN ACCORDANCE WITH THE SOIL SURVEY HOWARD COUNTY, MARYLAND.
38. THERE ARE NO FLOODPLAIN ON THE PROPERTY.
39. THERE ARE NO STEEP SLOPES OVER 20,000 CONTIGUOUS SQUARE FEET ON THE PROPERTY.
40. IN ACCORDANCE WITH DESIGN MANUAL-VOLUME 3, CHAPTER 2 - SECTION 2.9.B. PARKING IS REQUIRED AT TWO (2) SPACES PER UNIT OFF STREET PARKING TO INCLUDE GARAGE SPACE, DRIVEWAY AND PARKING PADS. GARAGES COUNT AS A FULL SPACE. THE GARAGE SPACE MAY NOT BE CONVERTED TO LIVING SPACE AND SHALL ONLY BE UTILIZED FOR VEHICULAR PARKING SPACE. REFER TO PARKING TABULATION.
41. THIS PROJECT IS SUBJECT TO ALTERNATIVE COMPLIANCE OF SECTION 16.1205(a)(7) TO REMOVE 3 SPECIMEN TREES. AN ALTERNATIVE COMPLIANCE REQUEST HAS BEEN SUBMITTED WITH THIS SDP SUBMISSION.
42. FOR STORMWATER MANAGEMENT SOIL BORING LOGS SEE STORM WATER MANAGEMENT REPORT.
43. THIS PROJECT IS SUBJECT TO WP-23-034; APPROVED ON NOVEMBER 7, 2022; TO WAIVE SECTION 16.1205(a)(7) WHICH REQUIRES THE RETENTION OF STATE CHAMPION TREES, TREES 75% OF THE DIAMETER OF STATE CHAMPION TREES, AND TREES 30" IN DIAMETER OR LARGER. THIS PROJECT PROPOSES THE REMOVAL OF THREE (3) SPECIMEN TREES. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
APPROVAL IS FOR REMOVAL OF SPECIMEN TREES #5, #27 AND #28 AS SHOWN ON THE ALTERNATIVE COMPLIANCE EXHIBIT. NO OTHER SPECIMEN TREE IS APPROVED TO BE REMOVED UNDER THIS REQUEST.
44. REMOVAL OF THE SPECIMEN TREES REQUIRED REPLACEMENT OF SIX NATIVE TREES OF 2 DIFFERENT SPECIES WITH DBH OF AT LEAST THREE INCHES. THE MITIGATION PLANTING MUST BE SHOWN ON THE LANDSCAPE PLAN FOR PATAPSCO CROSSING, LOT 34 (SDP-22-041) AND BE BONDED AS PART OF THE LANDSCAPING SURETY. THE REPLACEMENT TREES CANNOT COUNT TOWARD THE LANDSCAPING OBLIGATION FOR THE SUBDIVISION.
45. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. A FINANCIAL SURETY IN THE AMOUNT OF \$1,800 FOR THE REQUIRED 6 SPECIMEN REPLACEMENT SHADE TREES, WILL BE PROVIDED WITH THE GRADING PERMIT.

SITE DEVELOPMENT PLAN
PATAPSCO CROSSING
LOT 34
HOWARD COUNTY, MARYLAND



LOCATION MAP
SCALE: 1"=50'



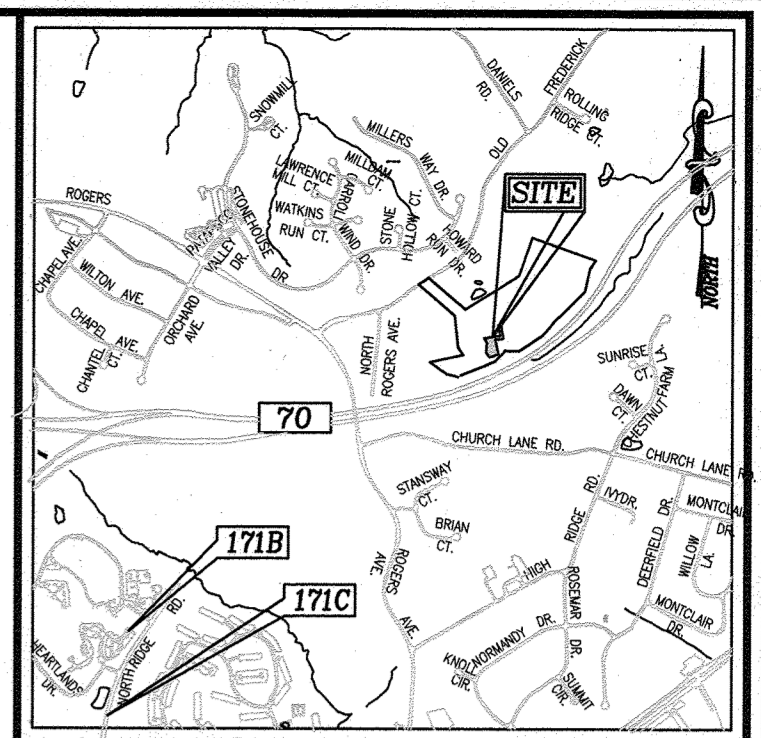
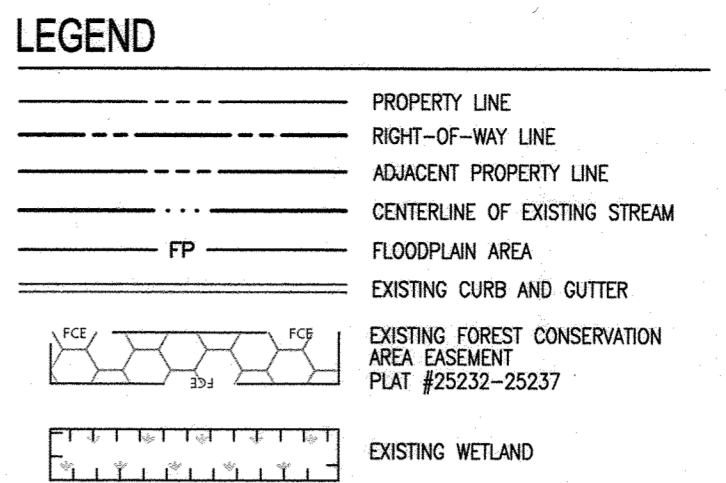
PARKING TABULATION

Table with 2 columns: Requirement and Value. Includes rows for 'NUMBER OF SINGLE FAMILY DETACHED LOTS', 'REQUIRED PARKING', 'REQUIRED OVERFLOW PARKING', 'TOTAL REQUIRED SPACES', 'PARKING PROVIDED', and 'TOTAL PROVIDED SPACES'.

ADDRESS CHART AND STORMWATER MANAGEMENT PRACTICES KEY. Table with columns: LOT NO., ADDRESS, M-5, N-1, N-2. Row 34: 8524 SUNELL LANE, 3 DRY WELL, 1 ROOFTOP DISCONNECT, 2 NON ROOFTOP DISCONNECT.

PERMIT INFORMATION CHART. Table with columns: SUBDIVISION NAME, SECTION/AREA, LOTS/PARCEL #, PLAT # OR L/F, BLOCK NO., ZONE, TAX MAP, ELECT. DIST., CENSUS TR.

BENCHMARKS. Table with columns: BENCHMARK, N, E, ELEV. Includes HOWARD COUNTY BENCHMARK 171B and HOWARD COUNTY BENCHMARK 171C.



SHEET INDEX. Table with columns: SHEET NO., DESCRIPTION, SHEET NO. Includes COVER SHEET, LAYOUT AND LANDSCAPING PLAN, SOILS MAP, GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN, etc.

SITE ANALYSIS DATA. Table with columns: Item, Value. Includes TOTAL PROJECT AREA (0.60 AC), AREA OF PLAN SUBMISSION (0.60 AC), LIMIT OF DISTURBANCE (0.33 AC), PRESENT ZONING DESIGNATION (R-20), FLOOR SPACE ON EACH LEVEL OF BUILDING PER USE (N/A), etc.

MHJL AGREEMENT. PLEASE NOTE THAT ALL NEW LOTS/ RESIDENTIAL UNITS IN THIS SUBDIVISION (LOT 34) ARE SUBJECT TO THE MHJL FEE-IN-LIEU REQUIREMENT THAT IS TO BE CALCULATED AND PAID TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT THE TIME OF BUILDING PERMIT ISSUANCE BY THE PERMIT APPLICANT.

OWNER: PATAPSCO CROSSING, LLC. 24012 FREDERICK ROAD, CLARKSBURG, MD 20871.
BUILDER: MILLER AND SMITH. 1960 GALLOWAY ROAD, SUITE 200, VIENNA, VA 22182.
DEVELOPER: PLEASANTS DEVELOPMENT, LLC. 24012 FREDERICK ROAD, CLARKSBURG, MD 20871.

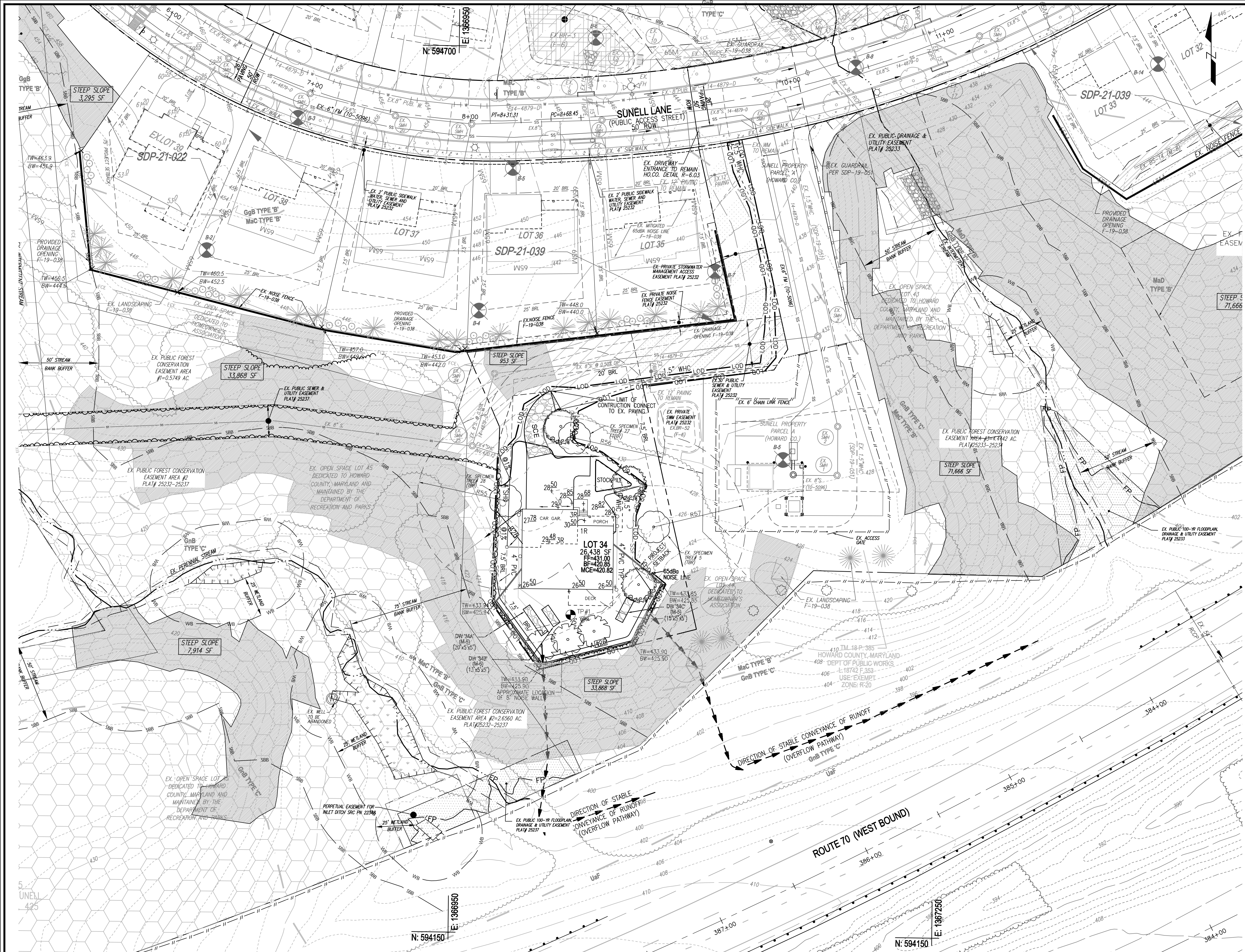
Revision table with columns: NO., REVISION, DATE. Includes entry: REVERSE HOUSE TYPE NAME, 5-9-24.

SITE DEVELOPMENT PLAN
COVER SHEET
PATAPSCO CROSSING
LOT 34
8524 SUNELL LANE
TAX MAP 18 GRID 13, 2ND ELECTION DISTRICT. PARCEL 25 - ZONED: R-20, HOWARD COUNTY, MARYLAND.

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

Professional Engineer seal for Robert H. Vogel, PE No. 16193, State of Maryland. Includes design, draw, and check information.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Chief, Development Engineering Division: Will Edmondson, dated 6/23/2023. Chief, Division of Land Development: Mary Kendall, dated 6/23/2023. Director: 1448A239D0468.



LEGEND:

	EXISTING CURB AND GUTTER		EXISTING WETLAND
	EXISTING UTILITY POLE		EXISTING PRIVATE NOISE FENCE EASEMENT PLAT #25232
	EXISTING LIGHT POLE		EXISTING PUBLIC DRAINAGE AND UTILITY EASEMENT PLAT #25232
	EXISTING SIGN		EXISTING 2' PUBLIC SIDEWALK WATER, SEWER & UTILITY EASEMENT PLAT #25232
	EXISTING SANITARY MANHOLE		LIMIT OF DISTURBANCE
	EXISTING SANITARY LINE		SSF SILT FENCE
	EXISTING CLEANOUT		EXISTING TREES WITH CRITICAL ROOT ZONE F-19-038
	EXISTING FIRE HYDRANT		EXISTING FOREST CONSERVATION AREA EASEMENT PLAT #25232-25237
	EXISTING WATER LINE		PROP. CONTOUR
	EXISTING STORM DRAIN		SPOT ELEVATION
	EXISTING TREELINE (FIELD LOCATED)		MITIGATED 65DBA NOISE LINE F-19-038
	TREELINE		UNMITIGATED 65DBA NOISE LINE F-19-038
	EXISTING FENCE		STABILIZED CONSTRUCTION ENTRANCE
	PROPERTY LINE		STEEP SLOPE
	RIGHT-OF-WAY LINE		NOISE LINE
	STREAM		PROPOSED TEST PIT
	STREAM BANK BUFFER		EXISTING LANDSCAPING F-19-038
	EX. STORMWATER MANAGEMENT FACILITY (M-5, M-8) F-19-038		EXISTING STREET TREES F-19-038
	DRY WELL (M-5)		PROP. SPECIMEN TREE REPLACEMENT
	EXISTING CONCRETE SIDEWALK		
	EXISTING PUBLIC SEWER AND UTILITY EASEMENT PLAT #25231, 25232 & 25237		
	EXISTING PRIVATE STORMWATER MANAGEMENT ACCESS EASEMENT PLAT #25232		
	EXISTING PUBLIC STORMWATER MANAGEMENT, DRAINAGE & UTILITY EASEMENT PLAT #25231-25232		

- ### SOIL EROSION & SEDIMENT CONTROL PLAN NOTES
- REFER TO SHEET 4 FOR SEQUENCE OF CONSTRUCTION.
 - REFER TO SHEETS 4 FOR STANDARD DETAILS AND STABILIZATION NOTES.
 - IF REQUIRED BY SEDIMENT CONTROL INSPECTOR, SUPER SILT FENCE SHALL REPLACE STANDARD SILT FENCE WHERE FENCING INTERCEPTS CONCENTRATED FLOWS.
 - IMBRICATE SF/SSF IN 35' SEGMENTS AS REQUIRED UPHILL BY 2" IN ELEVATION.

NOTES:
1. REFER TO SHEET 5 FOR DRYWELL (DW) SIZE, NOTES & DETAILS.

NOTES:
1. WATER CONNECTION SHALL BE 1-1/2" WITH 1" OUTSIDE METER SETTINGS, UNLESS OTHERWISE NOTED. REFER TO HOWARD COUNTY DETAILS W-3.28 OUTSIDE METER SETTINGS.

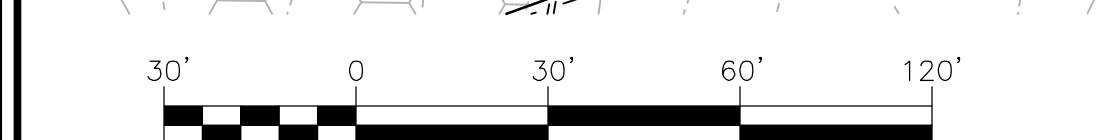
NOTES:
DRAINAGE OPENINGS HAVE BEEN PROVIDED ALONG EXISTING NOISE FENCE TO ALLOW WATER TO PASS THROUGH. PLEASE SEE SHEET 24 OF FINAL PLAN F-19-038 FOR LOCATION OF THESE OPENINGS.

NOTE:
- SUPER SILT FENCE SHALL BE CURLED UPHILL NO MORE THAN 35 FEET APART.
- STOCKPILING WILL BE PERMITTED ONSITE.

OWNER
PATAPSCO CROSSING, LLC
24012 FREDERICK ROAD
CLARKSBURG, MD 20871
301-428-0800

BUILDER
MILLER AND SMITH
ATTN: STAFF B. AYLOR
1960 GALLOWAY ROAD, SUITE 200
VIENNA, VA 22182
703-821-2500

DEVELOPER
PLEASANTS DEVELOPMENT, LLC
24012 FREDERICK ROAD
CLARKSBURG, MD 20871
301-428-0800



GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN
SCALE: 1"=30'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: CARD Edmondson	6/23/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
DocuSigned by: Mary Kendall	6/23/2023
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
DocuSigned by: MARY KENDALL	6/23/2023
DIRECTOR	DATE

OWNER/DEVELOPER CERTIFICATION:
I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY THAT I AM AN ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

DocuSigned by:
Steven B. Aylor 3/20/2023

OWNER/DEVELOPER SIGNATURE: Steven B. Aylor
PRINTED NAME & TITLE: Steven B. Aylor, President

DESIGN CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DocuSigned by:
Robert H. Vogel 3/17/2023

DESIGNER'S SIGNATURE: Robert H. Vogel
PRINTED NAME: Robert H. Vogel
MD REGISTRATION NO. 16193
R.L.S. OR R.L.A. (circle one)

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DocuSigned by:
Alexander Bratchev 6/23/2023

HOWARD S.C.D. DATE

MAPPED SOILS TYPES						
SYMBOL NAME / DESCRIPTION	GROUP	HYDRIC	WATER INCLUSIONS	K FACTOR	PERCENT FARMLAND	CITY STORM WATER RUNOFF
GgB GLENDE LOAM, 3 TO 8 PERCENT SLOPES	B	NO	NO	0.20	YES	NO
GgB GLENVILLE-SALE SILT LOAM, 0 TO 8 PERCENT SLOPES	C	PARTIALLY	PARTIALLY	0.37	NO	PARTIAL
MdC MAJOR LOAM, 8 TO 15 PERCENT SLOPES	B	NO	NO	0.24	YES	NO
MdD MAJOR LOAM, 15 TO 25 PERCENT SLOPES	B	NO	NO	0.24	YES	YES

TAKEN FROM: USDA, SCS-WEBB SOIL SURVEY, HOWARD COUNTY.
NOTE: HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL EROSION FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.
*BALE COMPONENT OF GgB, EROSION FACTOR IS 0.32 AND IS CONSIDERED HYDRIC.

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
SOILS MAP, GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN
PATAPSCO CROSSING
LOT 34
8524 SUNELL LANE

TAX MAP 18 GRID 13
2ND ELECTION DISTRICT

PARCEL 25 - ZONED: R-20
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P. 410.461.7666 F. 410.461.8961 www.timmons.com

DESIGN BY: RHV
DRAWN BY: KG
CHECKED BY: RHV
DATE: NOVEMBER 2022
SCALE: AS SHOWN
W.O. NO.: 47411

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

3 SHEET OF 5

HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES

- 1. A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS... 2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN...

Table with 2 columns: AREA OF SITE, DISTURBED, AREA TO BE ROOFED OR PAVED, AREA TO BE VEGETATIVELY STABILIZED, CUT, TOTAL FILL, OFFSITE WASTE/BORROW AREA LOCATION.

- (1) REFER TO ITEM 11 BELOW... 7. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE...

ITEM 11, REGARDING PROJECT DISTURBANCE IS NO LONGER A REQUIREMENT OF THE STATE OF MARYLAND, HOWEVER REMAINS A REQUIREMENT OF HOWARD COUNTY.

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION. PURPOSE TO USE LONG-LEAFED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CRITERIA A. SEED MIXTURES 1. GENERAL USE A. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE...

- 2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL...

Table with 2 columns: AREA OF SITE, DISTURBED, AREA TO BE ROOFED OR PAVED, AREA TO BE VEGETATIVELY STABILIZED, CUT, TOTAL FILL, OFFSITE WASTE/BORROW AREA LOCATION.

- 7. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE... 12. WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT STRUCTURE...

PERMANENT SEEDING SUMMARY

Table with columns: HARDNESS ZONE, NO. SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE.

FOR ALTERNATES, REFER TO THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL - PAGES B.26 - B.32

R-4-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS

DEFINITION THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION. PURPOSE TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

CRITERIA A. SOIL PREPARATION 1. TEMPORARY STABILIZATION A. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT...

- 1. TEMPORARY STABILIZATION A. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT...

B. TOPSOILING

- I. TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH...

- 2. SOOD INSTALLATION A. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOOD...

- 1. GENERAL SPECIFICATIONS SOOD MUST BE MARYLAND STATE CERTIFIED. SOOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR. B. SOOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS 1/8 INCH...

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITION THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER. PURPOSE TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

CRITERIA A. SEEDING 1. SPECIFICATIONS A. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY...

- 1. SPECIFICATIONS A. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY...

B. MULCHING

- I. MULCH MATERIALS (IN ORDER OF PREFERENCE) A. STRAW CONSIDERED, CHIEFED WHEAT, LIME, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR...

- 2. APPLICATION A. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING. B. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE...

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

DEFINITION TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS. PURPOSE TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.

CRITERIA 1. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDNESS ZONE...

Table with columns: HARDNESS ZONE, NO. SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE.

Table with columns: HARDNESS ZONE, NO. SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE.

FOR ALTERNATES, REFER TO THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL PAGE B.20, TABLE B.1, SHOWN ON SHEET X

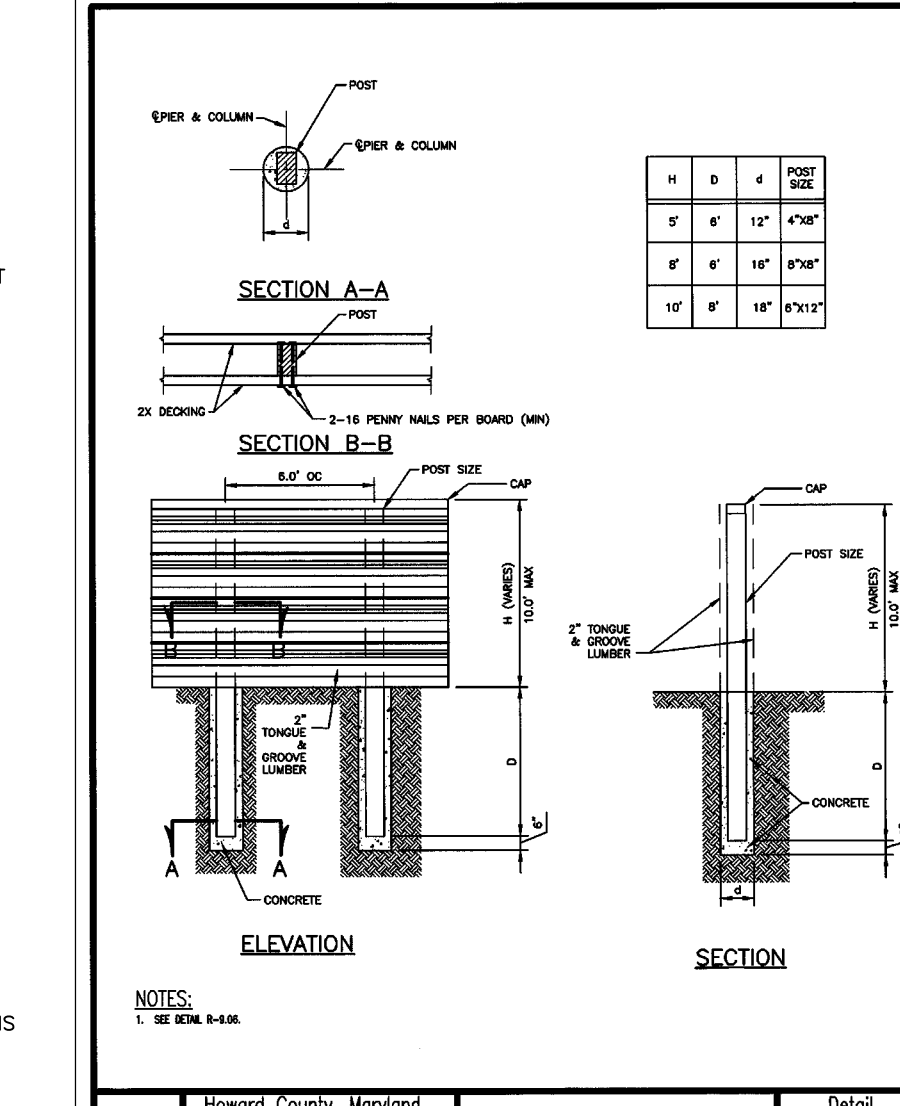
B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

DEFINITION A MOUND OR PILE OF SOIL PROTECTED BY APPROPRIATELY DESIGNED EROSION AND SEDIMENT CONTROL MEASURES. PURPOSE TO PROVIDE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION, AND CHANGES TO DRAINAGE PATTERNS.

CRITERIA STOCKPILE AREAS ARE UTILIZED WHEN IT IS NECESSARY TO SALVAGE AND STORE SOIL FOR LATER USE.

- 1. STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE CLEARLY INDICATED ON THE EROSION AND SEDIMENT CONTROL PLAN. 2. THE FOOTPRINT OF THE STOCKPILE MUST BE SIZED TO ACCOMMODATE THE ANTICIPATED VOLUME OF MATERIAL AND BASED ON A SIDE SLOPE RATIO NO STEEPER THAN 2:1...

- 7. STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 3/7 DAY STABILIZATION REQUIREMENT AS WELL AS STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION.



Detail R-9.05

OWNER: Howard County, Maryland Department of Public Works

BUILDER: MILLER AND SMITH ATLAS ROAD, SUITE 200 VIENNA, VA 22182 703-821-2500

DEVELOPER: PLEASANTS DEVELOPMENT, L.L.C. 24012 FREDERICK ROAD CLARKSBURG, MD 20871 301-428-0800

NOISE WALL Private

NOISE WALL Notes Private

DETAIL R-9.05

NOISE WALL Private

NOISE WALL Notes Private

DETAIL R-9.05

NOISE WALL Private

NOISE WALL Notes Private

DETAIL R-9.05

NOISE WALL Private

NOISE WALL Notes Private

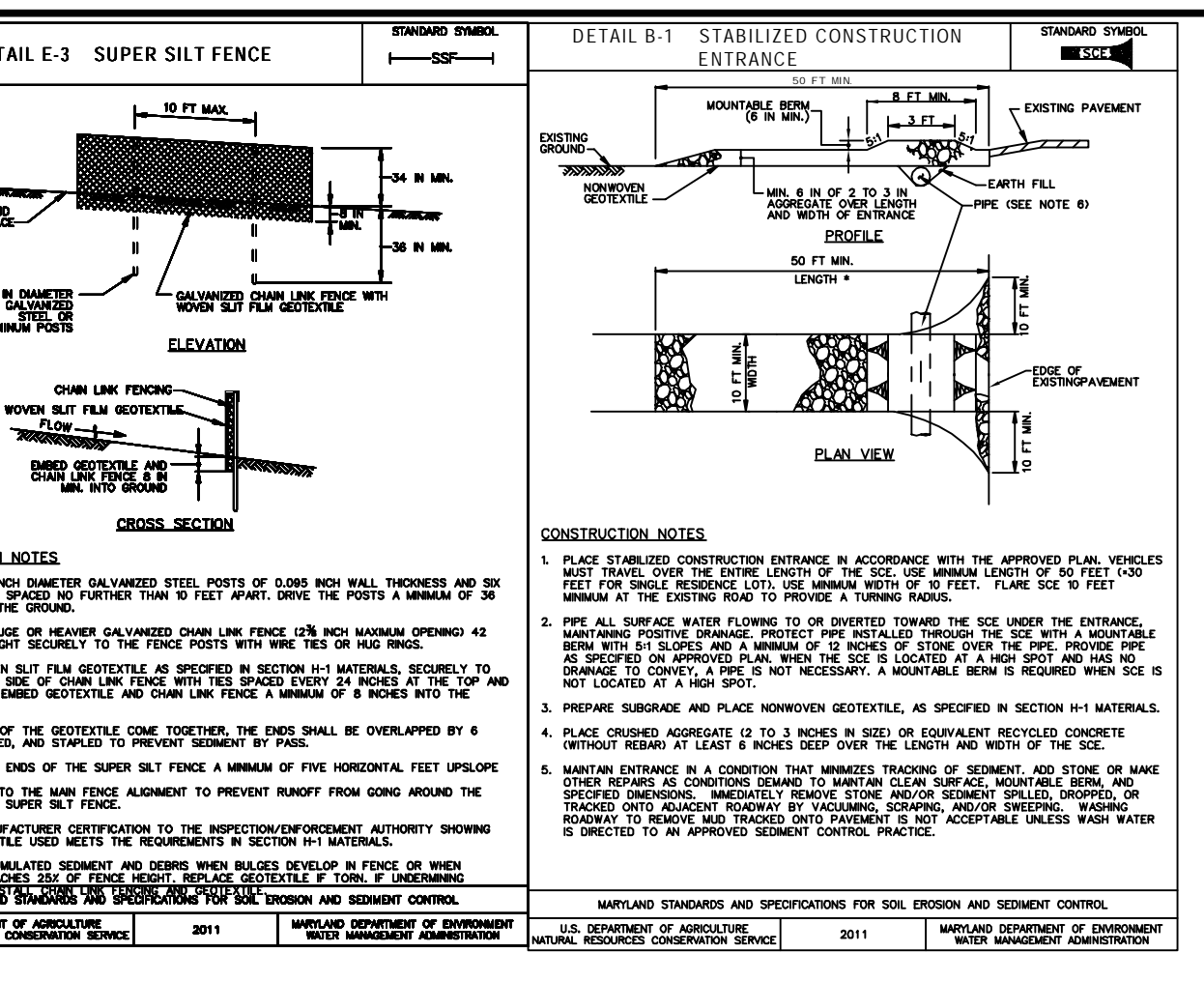
DETAIL R-9.05

NOISE WALL Private

NOISE WALL Notes Private

DETAIL R-9.05

NOISE WALL Private



DETAIL E-3 SUPER SILT FENCE

DETAIL B-1 STABILIZED CONSTRUCTION ENTRANCE

CONSTRUCTION NOTES 1. METAL OR HD GALVANIZED STEEL PILES OF 60 LB PER 100 FT SHALL BE USED FOR THE SUPER SILT FENCE. THE PILES SHALL BE DRIVEN TO A DEPTH OF 48 INCHES...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

CONSTRUCTION NOTES 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST NOT EXCEED THE WIDTH OF THE ENTRANCE. THE WIDTH OF THE ENTRANCE SHALL BE 14 FT. THE ENTRANCE SHALL BE 18 INCHES HIGH...

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Chief, Development Engineering Division: Chad Edmondson. Chief, Division of Land Development: Mary Kendall. Director: Robert H. Vogel.

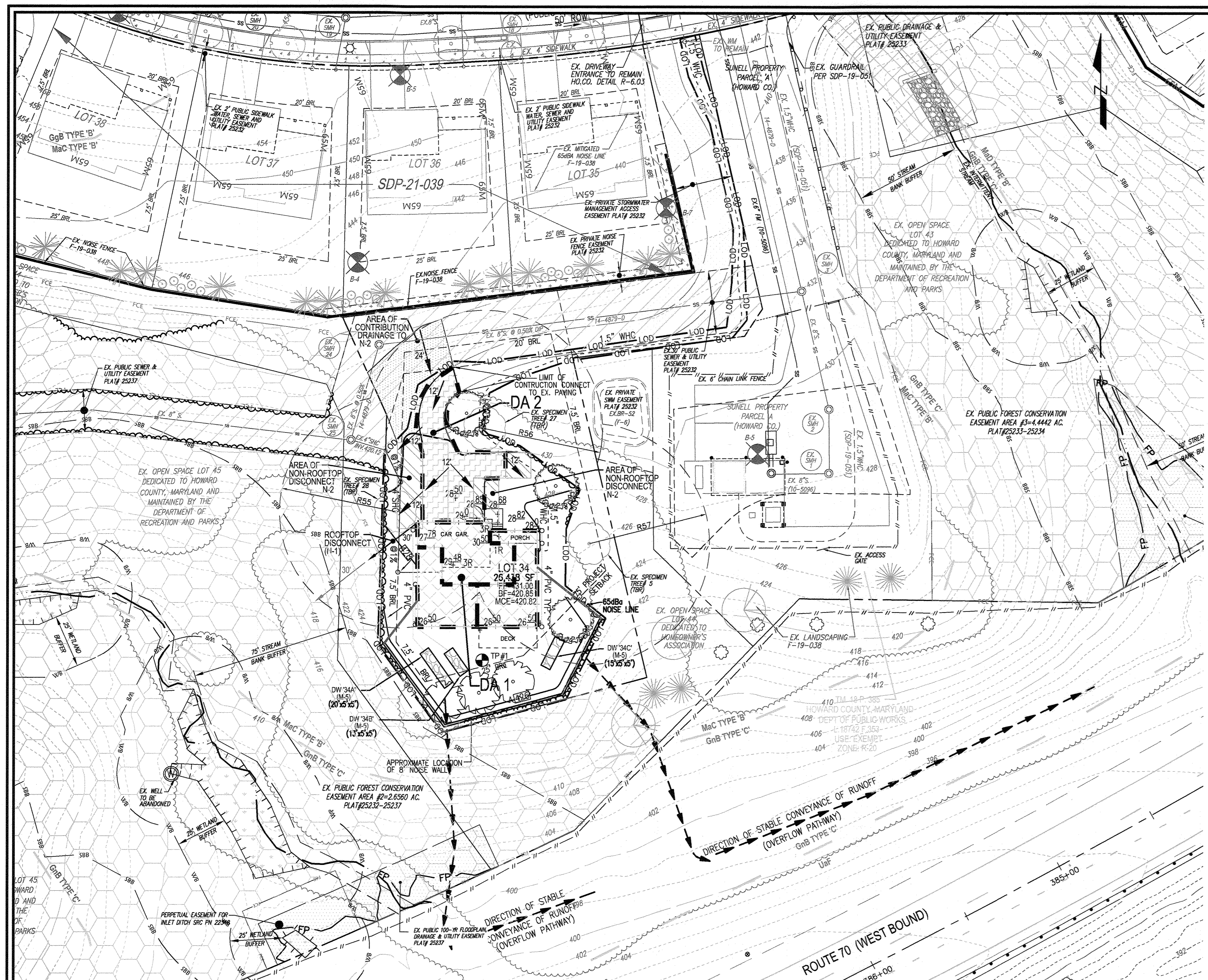
OWNER/DEVELOPER CERTIFICATION: I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN...

DESIGN CERTIFICATION: I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS...

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY ENGINEER AND INSPECTOR.

HOWARD COUNTY, MARYLAND. Department of Public Works. Chief Engineer and Inspector: Robert H. Vogel.

Professional Engineer information for Robert H. Vogel, No. 16193, State of Maryland. Includes design by RHV, drawing by KG, checked by RHV, date November 2022, scale AS SHOWN, W.O. No. 47411, 4 sheets of 5.



STORMWATER MANAGEMENT DRAINAGE AREA MAP
SCALE: 1"=30'

VOGEL ENGINEERING & TIMMONS GROUP
3300 North Ridge Road, Suite 110, Ellicott City, MD 21043
P 410.461.7666 F 410.461.8961
www.timmons.com

INDIVIDUAL PRACTICE ESDV DESIGN COMPUTATIONS

PRACTICE	PRACTICE DA (SF)	PRACTICE DA (AC)	IMPERV (SF)	IMPERV (AC)	PERV (SF)	PERV (AC)	PRACTICE % IMPERV	PRACTICE RV	REV REQUIRED	REV PROVIDED (RV=0.95)	TOTAL VOLUME PROVIDED	REMARKS	
													1" TARGET VOLUME
DA #1	981	0.02	981	0.02	0	0.00	100	0.95	78	202	200	MICROSCALE DRYWELL (M-5) 20' x 5' x 5' x 0.4'	
DW #48	642	0.01	642	0.01	0	0.00	100	0.95	51	132	130	MICROSCALE DRYWELL (M-5) 13.0' x 5' x 5' x 0.4'	
DW #49	902	0.02	902	0.02	0	0.00	100	0.95	71	186	150	MICROSCALE DRYWELL (M-5) 15.0' x 5.0' x 5' x 0.4'	
RoofTop Disconnect											16	16 CF - EACH 30' DISCONNECT 16 ESDV	
DA #2	1,651	0.038	1,651	0.038	0	0.00	100	0.95	131	340	131	NON STRUCTURAL PRACTICE - NON ROOFTOP DISCONNECT (PerRoof)/12x43560 Pe=1"	
TOTALS											*97	101	627

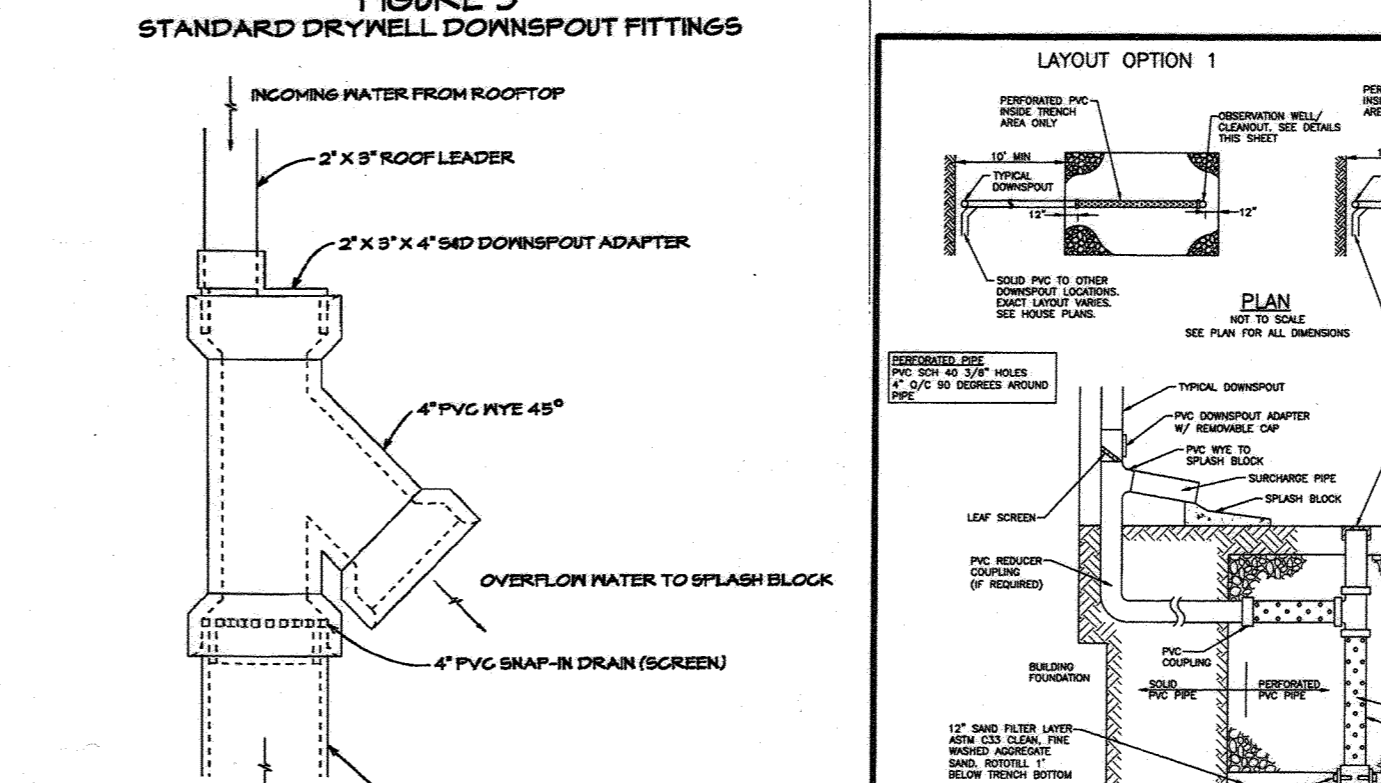
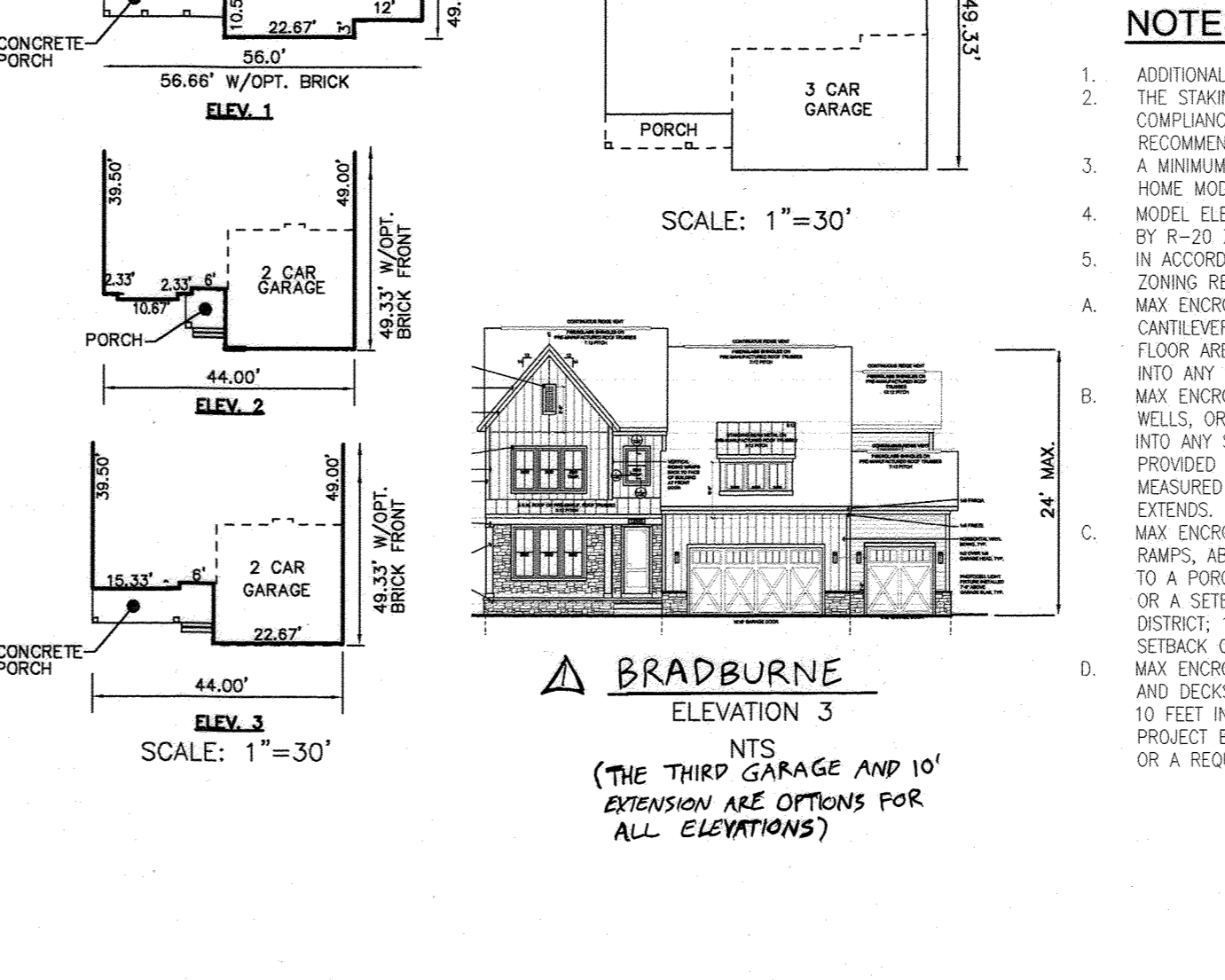
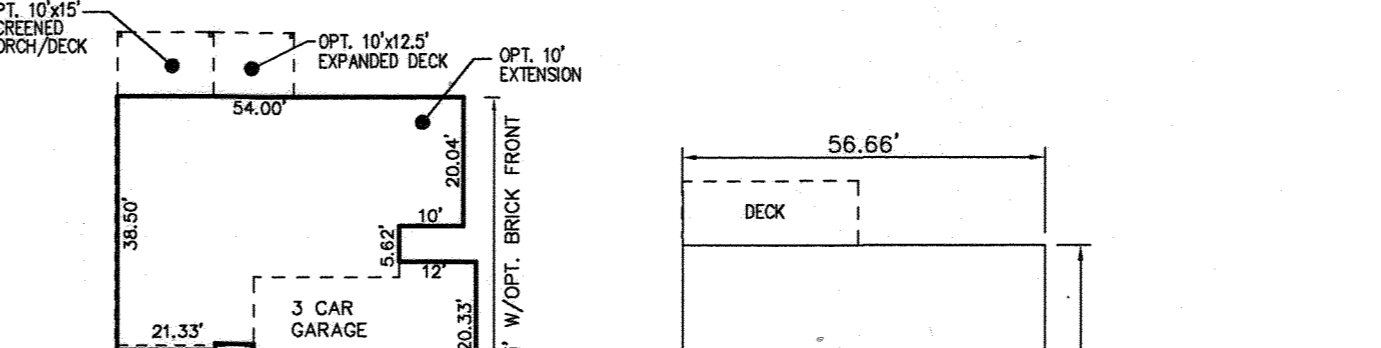
* See Page 2 of ESDV Computations.

ESD DA	LOT #	DWH	DW LOCATION	NUMBER OF DW'S	Prop. Grade Over	Top Stone	Inv. Stone	SURFACE SIZE FT x FT	STONE DEPTH (FT)	SAND DEPTH (FT)	OWNER	MAINTENANCE
1	34	34A	R	1	426.21	425.21	421.2	20.00 X 5.00	4	1	PRIVATE	PRIVATE
1	34	34B	R	1	426.31	425.31	421.3	13.00 X 5.00	4	1	PRIVATE	PRIVATE
1	34	34C	R	1	426.21	425.21	421.2	15.00 X 5.00	4	1	PRIVATE	PRIVATE

Tree No.	Common Name/Scientific Name	Size DBH (inches)	Condition	Notes
5	Silver Maple (TO BE REMOVED) Acer Saccharum	57	Fair	Roots: Armillaria fungal decay at old wound - possible lightning strike - on root collar; mushrooms, soil disturbance through 75% of CRZ; Trunk: fungal decay under bark from root collar to four feet height; 67" wide. Canopy: 15% dead wood, (4) 4" diameter branches on one codominant stem. (1) end of scaffold broken, (1) large scar on scaffold from branch failure. Light canopy.
27	Silver Maple (TO BE REMOVED) Acer Saccharum	56	Fair to Good	Roots: 50% CRZ disturbed; Trunk: Canopy: light canopy with some dieback throughout, likely from drought and root disturbance. Good response wood on broken branches.
28	Silver Maple (TO BE REMOVED) Acer Saccharum	55	Poor	Roots: 60% CRZ disturbed; Trunk: 4 codominant stems with two dead or dying and one broken. 40% canopy dead.

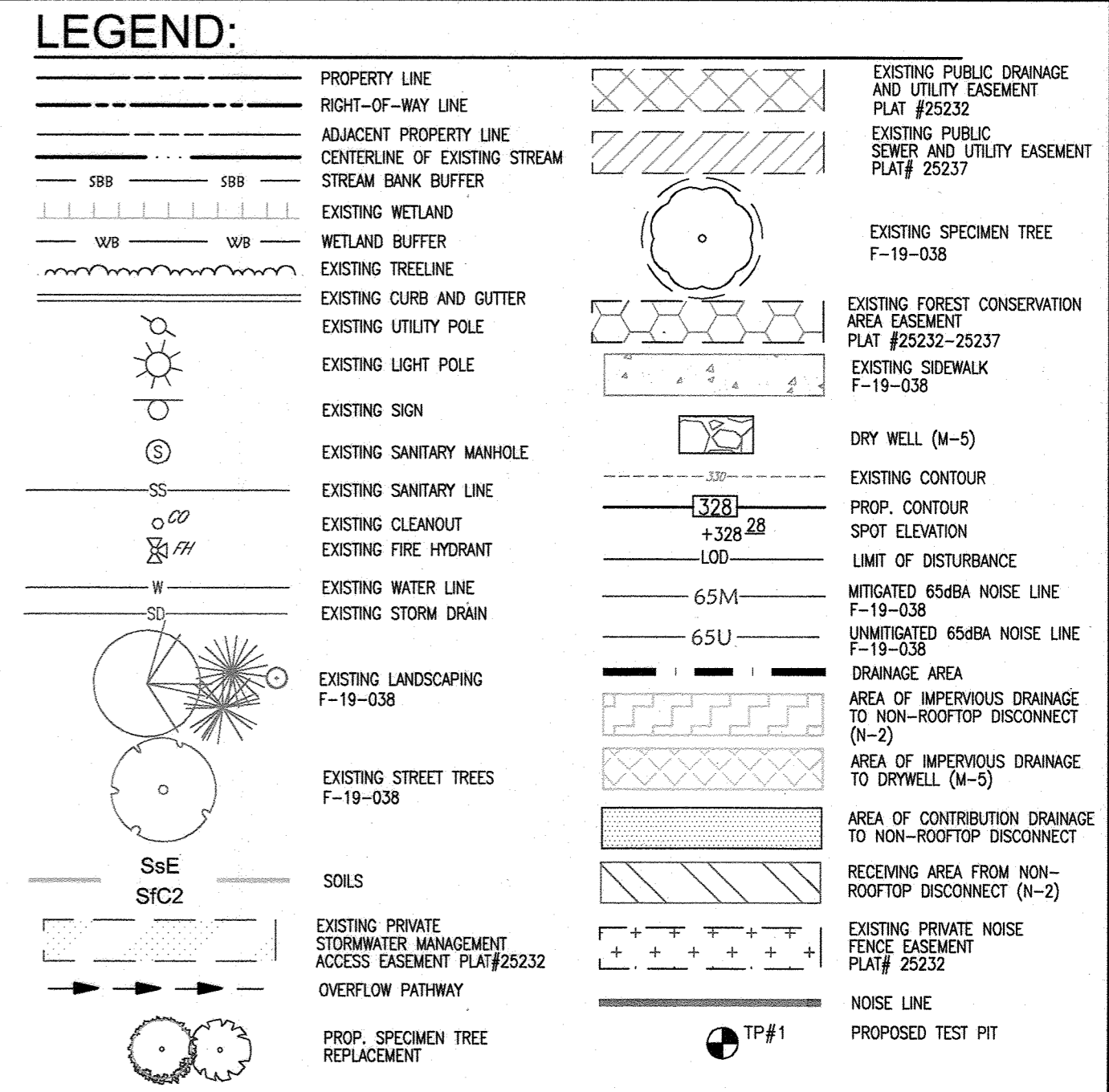
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
6/23/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF ENVIRONMENTAL DEVELOPMENT
DIRECTOR

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)	3 TO <5	5 TO <7	2.7	3 TO <5	5 TO <7	2.7
P-1	PARADE DRIVE: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 3 HEAVY TRUCKS PER DAY	HMA SUPERPAVE FINE SURFACE HMA SUPERPAVE INTERMEDIATE SURFACE (NO) HMA SUPERPAVE BASE GRADED AGGREGATE BASE (GAB)	1.0	1.0	1.0	1.5	1.5	1.5
P-2	RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY	HMA SUPERPAVE FINE SURFACE (GSA) HMA SUPERPAVE INTERMEDIATE SURFACE (NO) HMA SUPERPAVE BASE GRADED AGGREGATE BASE (GAB)	1.0	1.0	1.0	1.5	1.5	1.5
P-3	PARADE DRIVE: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY	HMA SUPERPAVE FINE SURFACE (GSA) HMA SUPERPAVE INTERMEDIATE SURFACE (NO) HMA SUPERPAVE BASE GRADED AGGREGATE BASE (GAB)	1.0	1.0	1.0	1.5	1.5	1.5
P-4	MINOR COLLECTION: INTERMEDIATE MAJOR COLLECTION	12.5 MIL PG 64-22 LEVEL 2 (GAB ESK) 12.5 MIL PG 64-22 LEVEL 2 (GAB ESK) 18.0 MIL PG 64-22 LEVEL 2 (GAB ESK) GRADED AGGREGATE BASE (GAB)	2.0	2.0	2.0	2.0	2.0	2.0



NOTES:
1. THE SNAP-IN SCREEN IS REQUIRED TO PREVENT CLOGGING OF THE DRYWELL WITH DEBRIS.
2. SEE FIGURE 3B LIST OF POTENTIAL SUPPLIERS TO ACCOMPANY FIGURE 3 STANDARD DRYWELL DOWNSPOUT FITTINGS FOR INFORMATION ON SOME LOCAL RETAILERS THAT SUPPLY COMPONENTS FOR THIS SYSTEM.

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)	3 TO <5	5 TO <7	2.7	3 TO <5	5 TO <7	2.7
P-1	PARADE DRIVE: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 3 HEAVY TRUCKS PER DAY	HMA SUPERPAVE FINE SURFACE HMA SUPERPAVE INTERMEDIATE SURFACE (NO) HMA SUPERPAVE BASE GRADED AGGREGATE BASE (GAB)	1.0	1.0	1.0	1.5	1.5	1.5



NOTES:
1. ADDITIONAL HOUSE TYPES AND OPTIONS MAY FIT ON THIS LOT. THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY BUILDING RESTRICTION LINES IS RECOMMENDED.
2. A MINIMUM OF 10 FEET SHALL BE PROVIDED BETWEEN THE CHOSEN HOME MODEL AND AN ON-LOT DRYWELL.
3. IN ACCORDANCE WITH SECTION 12B.0.A OF THE HOWARD COUNTY ZONING REGULATIONS:
A. MAX ENCROACHMENT INTO SETBACK FOR CORNICES, EAVES AND CANTILEVERED BUILDING FEATURES WHICH DO NOT CONTAIN ANY FLOOR AREA OR EXTENSION OF INTERIOR LIVING SPACE IS: 3 FEET INTO ANY SETBACK.
B. MAX ENCROACHMENT INTO SETBACK FOR BAY WINDOWS, WINDOW WELLS, ORELS, VESTIBULES, BALCONIES AND CHIMNEYS IS: 4 FEET INTO ANY SETBACK OR A REQUIRED DISTANCE BETWEEN BUILDINGS, PROVIDED THE FEATURE HAS A MAXIMUM WIDTH OF 16 FEET AS MEASURED HORIZONTALLY ALONG THE WALL FROM WHICH THE FEATURE EXTENDS.
C. MAX ENCROACHMENT INTO SETBACK FOR EXTERIOR STAIRWAYS OR RAMPS, ABOVE OR BELOW GROUND LEVEL EXCLUDING THOSE ATTACHED TO A PORCH OR DECK IS: 10 FEET INTO A FRONT SETBACK OR A SETBACK FROM A PROJECT BOUNDARY OR DIFFERENT ZONING DISTRICT; 16 FEET INTO A REAR SETBACK; 4 FEET INTO A SIDE SETBACK OR A REQUIRED DISTANCE BETWEEN BUILDINGS.
D. MAX ENCROACHMENT INTO SETBACK FOR OPEN OR ENCLOSED PORCHES AND DECKS, AND THE STAIRWAYS OR RAMPS ATTACHED THERETO IS: 10 FEET INTO A FRONT OR REAR SETBACK; A SETBACK FROM A PROJECT BOUNDARY, A SETBACK FROM A DIFFERENT ZONING DISTRICT, OR A REQUIRED DISTANCE BETWEEN BUILDINGS.

N-1. DISCONNECTION OF ROOFTOP RUNOFF
CONSTRUCTION CRITERIA:
THE FOLLOWING ITEMS SHOULD BE ADDRESSED DURING THE CONSTRUCTION OF PROJECTS WITH PLANNED ROOFTOP DISCONNECTIONS:
- EROSION AND SEDIMENT CONTROL: EROSION AND SEDIMENT CONTROL PRACTICES (E.G., SEDIMENT TRAPS) SHALL NOT BE LOCATED IN VEGETATED AREAS RECEIVING DISCONNECTED RUNOFF.
- SITE DISTURBANCE: CONSTRUCTION VEHICLES AND EQUIPMENT SHOULD AVOID AREAS RECEIVING DISCONNECTED RUNOFF TO MINIMIZE DISTURBANCE AND COMPACTION. SHOULD AREAS RECEIVING DISCONNECTED RUNOFF BECOME COMPACTED, SCARIFYING THE SURFACE OR ROTOTILLING THE SOIL TO A DEPTH OF FOUR TO SIX INCHES SHALL BE PERFORMED TO ENSURE PERMEABILITY. ADDITIONALLY, AMENDMENTS MAY BE NEEDED FOR TIGHT, CLAYEY SOILS.
INSPECTION:
A FINAL INSPECTION SHALL BE CONDUCTED BEFORE USE AND OCCUPANCY APPROVAL TO ENSURE THAT SIZING FOR TREATMENT AREAS HAVE BEEN MET AND PERMANENT STABILIZATION HAS BEEN ESTABLISHED.
MAINTENANCE CRITERIA:
MAINTENANCE OF AREAS RECEIVING DISCONNECTED RUNOFF IS GENERALLY NO DIFFERENT THAN THAT REQUIRED FOR OTHER LAWN OR LANDSCAPED AREAS. THE AREAS RECEIVING RUNOFF SHOULD BE PROTECTED FROM FUTURE COMPACTION (E.G., BY PLANTING TREES OR SHRUBS ALONG THE PERIMETER). IN COMMERCIAL AREAS, FOOT TRAFFIC SHOULD BE DISCOURAGED AS WELL.

OWNER
PATAPSCO CROSSING, LLC.
24012 FREDERICK ROAD
CLARKSBURG, MD 20871
301-428-0800

BUILDER
MILLER AND SMITH
ATTN: B. ADOR
1960 GALLOWAY ROAD, SUITE 200
VIENNA, VA 22182
703-821-2500

DEVELOPER
PLEASANTS DEVELOPMENT, LLC.
24012 FREDERICK ROAD
CLARKSBURG, MD 20871
301-428-0800

SITE DEVELOPMENT PLAN
STORMWATER MANAGEMENT DRAINAGE AREA MAP & DETAILS
PATAPSCO CROSSING
LOT 34
8524 SUNELL LANE

TAX MAP 18 GRID 13
2ND ELECTION DISTRICT

PARCEL 25 - ZONED: R-20
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING & TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: RHV
DRAWN BY: KG
CHECKED BY: RHV
DATE: NOVEMBER 2022
SCALE: AS SHOWN
W.O. NO.: 47411

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
EXPIRATION DATE: 06-27-2024

5 SHEET OF 5