

GENERAL NOTES

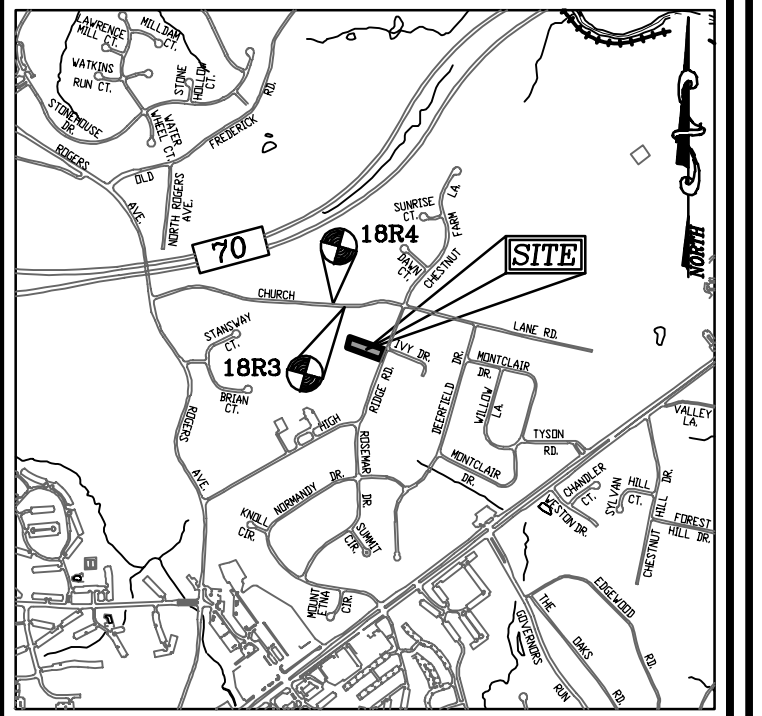
- 1. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
2. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
3. ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS ALTERNATIVE COMPLIANCES HAVE BEEN APPROVED.
4. THE SUBJECT PROPERTY IS ZONED "R-20" IN ACCORDANCE WITH THE 10/6/2013 COMPREHENSIVE ZONING PLAN.
5. DEVELOPMENT OR CONSTRUCTION OF THIS LOT MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, ALTERNATIVE COMPLIANCE, OR BUILDING AND GRADING PERMITS.
6. THE PROJECT BOUNDARY IS BASED ON A BOUNDARY SURVEY PREPARED BY VOGEL ENGINEERING-TIMMONS GROUP, DATED SEPTEMBER 2018.
7. THE EXISTING TOPOGRAPHY SHOWN HEREON IS BASED ON F-19-061.
8. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENTS BM 18R3 AND BM 18R4 WERE USED FOR THIS PROJECT.
9. THIS PLAN IS SUBJECT TO THE TENTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS EFFECTIVE 10/2/03 PER COUNCIL BILL 79-2003.
10. STORMWATER MANAGEMENT FOR THE PROJECT IS PROVIDED BY THE USE OF NON STRUCTURAL AND MICRO-SCALE PRACTICES IN ACCORDANCE WITH ENVIRONMENTAL SITE DESIGN CRITERIA. ON-LOT PRACTICES INCLUDE: MICRO-BIO-RETENTION (M-6) AND DRYWELLS (M-5) -THESE FACILITIES WOULD BE PRIVATELY OWNED AND MAINTAINED.
-STORMWATER MANAGEMENT REGULATION OF COVENANTS SHALL BE EXECUTED WITH THIS SDP-22-040 PLAN.
11. EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE.
12. ANY DAMAGE TO THE COUNTY'S RIGHTS-OF-WAY, PARKING, OR EXISTING UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
13. SHC ELEVATIONS ARE LOCATED AT THE PROPERTY LINE/EDGE OF EASEMENT.
14. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
MISS UTILITY: 1-800-257-7777
VERIZON TELEPHONE COMPANY: 1-410-954-6281
HOWARD COUNTY BUREAU OF UTILITIES: 410-313-2366
AT&T CABLE LOCATION DIVISION: 1-800-393-3553
B.G.&E. CO. CONTRACTOR SERVICES: 410-850-4620
B.G.&E. CO. UNDERGROUND DAMAGE CONTROL: 410-787-4620
STATE HIGHWAY ADMINISTRATION: 410-531-5533
15. A TOTAL OF 1 RESIDENTIAL LOT IS PROPOSED UNDER THIS PLAN.
16. DRIVEWAY SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A) WIDTH - 12 FEET (16 FEET IF SERVING MORE THAN ONE RESIDENCE)
B) SURFACE - 6" OF COMPACTED CRUSHER RUN BASE W/TAR AND CHIP COATING (1-1/2" MIN.)
C) GEOMETRY: MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE, AND MINIMUM 45 FOOT TURNING RADIUS
D) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H2S LOADING)
E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD EVENTS WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
G) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE
17. FOR DRIVEWAY ENTRANCE DETAILS, REFER TO THE HOWARD COUNTY DESIGN MANUAL VOLUME IV, STANDARD DETAIL R-6.06. SEE SHEET 5.
18. TRASH AND RECYCLING COLLECTION WILL BE AT HIGH RIDGE ROAD WITHIN 5' OF THE EDGE OF THE COUNTY ROADWAY.
19. THIS PROPERTY IS WITHIN THE METROPOLITAN DISTRICT.
-WATER FOR THIS PROJECT IS PROVIDED BY 9-W
-SEWER FOR THIS PROJECT IS PROVIDED BY 238-S
20. WATER AND SEWER SERVICE TO THESE LOTS WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 18.122.B OF THE HOWARD COUNTY CODE.
21. PUBLIC WATER AND SEWER ALLOWANCE WILL BE GRANTED AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF CAPACITY IS AVAILABLE AT THAT TIME.
22. WATER HOUSE CONNECTION SHALL BE OUTSIDE METER SETTING UNLESS OTHERWISE NOTED ON THE PLANS OR IN SPECIFICATIONS.
23. TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL GROUNDS OR CEMETERIES LOCATED ON THIS PROPERTY OR THE COUNTY'S CEMETERY SITE MAP.
24. THE ACCESS TO THE PROPERTY PROVIDED FROM HIGH RIDGE PUBLIC LOCAL ROAD.
F-04-140 PROVIDED A 35' PRIVATE USE-IN-COMMON DRIVEWAY ACCESS EASEMENT FOR THE USE AND BENEFIT OF LOTS 2 AND 3 OF THE CARVER ESTATES 263 AND PARCEL 263. ASSOCIATED SDP-15-009 PROVIDED A 10' WIDE USE-IN-COMMON DRIVEWAY TO A POINT AT OR NEAR THE LOT 2 CARVER ESTATES DRIVEWAY ENTRANCE. THE CURRENT SDP FOR THE STAMATAKIS PROPERTY PROVIDES 12FEET WIDE DEFICIENT WIDTH AT ITS POINT OF TIE-IN.
25. A WETLAND AND SIMPLIFIED FOREST STAND DELINEATION PLAN WAS PREPARED BY ECO-SCIENCE PROFESSIONALS, INC. C/O MR. JOHN CANOLES, SEPTEMBER 13, 2018.
-THREE (3) SPECIMEN TREES WERE FOUND ON THE F-19-061 PROJECT SITE. ALL EFFORTS WILL BE MADE TO SAVE THE TREES.
-NO WETLANDS, STREAMS OR BUFFERS ARE PRESENT ON THE SUBJECT PROPERTY.
26. A TRAFFIC STUDY IS NOT REQUIRED FOR THIS MINOR SUBDIVISION PROJECT (DESIGN MANUAL VOLUME 3 - SECTION 4.7.B.5).
27. A NOISE STUDY IS NOT REQUIRED FOR THIS SITE.
28. THE GEOTECHNICAL TEST PIT REPORT WAS PREPARED BY ROBERT VOGEL ENGINEERING, INC ON FEBRUARY 2019.
29. THE PRE-SUBMISSION COMMUNITY MEETING WAS HELD FOR THIS PROJECT ON FEBRUARY 14, 2019, AT THE HOWARD COUNTY LIBRARY - MILLER BRANCH.
30. THE ENVIRONMENTAL CONCEPT PLAN (ECP19-009) WAS APPROVED ON FEBRUARY 13, 2019.
31. A FINAL PLAN (F-19-061) WAS APPROVED ON JULY 25, 2019.
32. THIS LANDSCAPE PLAN FOR LOT 2 HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE LANDSCAPE MANUAL.
-FINANCIAL SURETY IN THE AMOUNT OF \$ 4,500 FOR THE 15 SHADE TREES SHALL BE POSTED WITH THE GRADING PERMIT FOR THIS PLAN. SEE SHEET 6.
33. THE PROPOSED HOME CONSTRUCTION ON LOT 2 AND RELATED CONSTRUCTION WILL NOT IMPACT ENVIRONMENTAL FEATURES OR BUFFERS.
34. SOIL TYPES SHOWN HEREON ARE IN ACCORDANCE WITH THE USDA WEB SOIL SURVEY.
35. FLOODPLAINS ARE NOT LOCATED ON SITE.
36. STEEP SLOPES OVER 20,000 SF CONTIGUOUS ARE NOT LOCATED ON SITE.
37. IN ACCORDANCE WITH DESIGN MANUAL-VOLUME 3, CHAPTER 2 - SECTION 2.9.B. PARKING IS REQUIRED AT TWO (2) SPACES PER UNIT OFF STREET PARKING TO INCLUDE GARAGE SPACE, DRIVEWAY AND PARKING PADS. GARAGES COUNT AS A FULL SPACE(S). GARAGE SPACE MAY NOT BE CONVERTED TO LIVING SPACE AND SHALL ONLY BE UTILIZED FOR VEHICULAR PARKING SPACE. REFER TO PARKING TABULATION.
38. IN ACCORDANCE WITH SECTION 121.0 OF THE 10/06/13 COMPREHENSIVE ZONING REGULATIONS, THE NEW LOT AND RESIDENTIAL UNIT IN THIS SUBDIVISION IS A SUBJECT TO MODERATE DENSITY HOUSING UNITS FEE-IN-LIEU REQUIREMENT THAT IS TO BE CALCULATED AND PAID TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT THE TIME OF BUILDING PERMIT ISSUANCE BY THE PERMIT APPLICANT.
39. MIHU AGREEMENT RECORDED IN LAND RECORDS OF HOWARD COUNTY AT L 20233 / F 441
40. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK (APPLIES FOR RESIDENTIAL SDP'S).
41. IN ACCORDANCE WITH SECTION 16.121(A)(4) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, THIS PROJECT (F-19-061) WAS EXEMPT FROM PROVIDING RECREATIONAL OPEN SPACE.
42. THIS PROJECT IS SUBJECT TO WP-18-067, ON MARCH 28, 2018; THE PLANNING DIRECTOR APPROVED THE REQUEST FOR ALTERNATIVE COMPLIANCE TO SECTION 16.120(C)(2)(1) WHICH REQUIRES 20 FEET OF ROAD FRONTAGE FOR SINGLE PIPESTEM LOTS SERVING SINGLE FAMILY DETACHED BUILDINGS, AND FROM SECTION 16.127(C)(4)(i) WHICH REQUIRES ANY EXISTING DRIVE ENTRANCES ONTO THE PUBLIC ROAD RIGHT-OF-WAY MUST BE CONNECTED TO A SINGLE USE-IN-COMMON DRIVEWAY OR ABANDONED.
APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
1. COMPLIANCE WITH ALL SUBDIVISION REVIEW COMMITTEE COMMENTS.
2. THE ALTERNATIVE COMPLIANCE WP-18-067 AND IT CONDITIONS OF APPROVAL MUST BE ADDED TO ALL SUBDIVISION PLANS AND FINAL PLAN.
3. THE PROPOSED LOT FOR THE EXISTING HOUSE MUST COMPLY WITH ALL SETBACKS PER THE R-20 ZONING REGULATIONS.
43. IN ACCORDANCE WITH SECTION 16.120(S)(1)(iv), THIS PROJECT (F-19-061) WAS EXEMPT FROM FOREST CONSERVATION OBLIGATIONS.
44. THIS PROJECT IS SUBJECT TO A DESIGN MANUAL WAVEY DMWZ-23-001, ON JULY 20, 2022; THE DIVISION CHIEF OF THE DEPARTMENT OF PUBLIC WORKS-UTILITY DESIGN DIVISION APPROVED THE REQUEST TO CREATE A PRIVATE EASEMENT TO SERVE A LOT CREATED THROUGH THE SUBDIVISION PROCESS (DMZ SECTION 5.3.A.6). APPROVAL IS CONTINGENT UPON STRICT CONFORMANCE WITH THE WATER AND SEWER HOUSE CONNECTION LAYOUT SHOWN ON THE EXHIBITS PROVIDED (SDP-22-040, SHEET 1 & 2 OF 7 DATED JULY 2022).

UTILITY NOTE:
1. ALL WATER CONNECTIONS SHALL BE 1-1/2" WITH 1" OUTSIDE METER SETTINGS, UNLESS OTHERWISE NOTED. REFER TO HOWARD COUNTY DETAILS W-3.28 OUTSIDE METER SETTINGS.

SITE DEVELOPMENT PLAN
STAMATAKIS PROPERTY
LOT 2
HIGH RIDGE ROAD, ELLICOTT CITY, MD 21043
HOWARD COUNTY, MD

BENCHMARKS
HOWARD COUNTY BENCHMARK - 18R3
N 530944.94 E 1350855.03 ELEV.: 337.61
HOWARD COUNTY BENCHMARK - 18R4
N 530494.49 E 1350872.35 ELEV.: 312.28

MINIMUM LOT SIZE CHART
LOT GROSS AREA PIPESTEM AREA NET AREA MIN. LOT SIZE
2 21,048 SF 1,042 SF 20,006 SF 20,000 SF



VICINITY MAP
SCALE: 1"=2,000'
ADC MAP COORDINATE: 21- 85

SHEET INDEX
DESCRIPTION SHEET NO.
COVER SHEET LAYOUT PLAN, NOTES AND ARCHITECTURAL DETAILS 1 OF 7
GRADING, SOIL EROSION AND SEDIMENT CONTROL PLAN AND UTILITIES PROFILES 2 OF 7
GRADING, SOIL EROSION AND SEDIMENT CONTROL PLAN SPECIFICATIONS AND SEQUENCE OF CONSTRUCTION 3 OF 7
GRADING, SOIL EROSION AND SEDIMENT CONTROL PLAN DETAILS 4 OF 7
DRIVEWAY CULVERT DRAINAGE AREA MAP & PROFILE AND TRAFFIC CONTROL DETAILS 5 OF 7
LANDSCAPE PLAN, NOTES AND DETAILS 6 OF 7
STORMWATER MANAGEMENT DRAINAGE AREA MAP, NOTES AND DETAILS 7 OF 7

LEGEND:

- EXISTING CONTOUR
PROPOSED CONTOUR
PROPOSED SPOT ELEVATION
EXISTING SPOT ELEVATION
EXISTING CURB AND GUTTER
EXISTING UTILITY POLE
EXISTING MAILBOX
EXISTING SIGN
EXISTING SANITARY MANHOLE
EXISTING SANITARY LINE
EXISTING CLEANOUT
EXISTING FIRE HYDRANT
EXISTING WATER LINE
EXISTING TRENCH
EXISTING FENCE
PROPERTY LINE
RIGHT-OF-WAY LINE
MICRO BIO-RETENTION FACILITY
EX. 35' PRIVATE USE IN COMMON ACCESS EASEMENT (PLAT 18733)
EX. 30' PRIVATE DRAINAGE & UTILITY ACCESS EASEMENT (PLAT 16168 & 16169)
EX. 20' WIDE PRIVATE SEWER EASEMENT (L. 4729 F. 212)
EX. 20' PUBLIC SEWER EASEMENT (PLAT 16168 & 16169)
EX. 30' PRIVATE SEWER, WATER, STORMWATER MANAGEMENT & UTILITY EASEMENT (PLAT #18733)
21' PRIVATE WATER, SEWER & UTILITY EASEMENT (PLAT #25635)
20' PRIVATE DRAINAGE & UTILITY EASEMENT (PLAT #25635)

MIHU AGREEMENT

PLEASE NOTE THAT ALL NEW LOTS/RESIDENTIAL UNITS IN THIS SUBDIVISION (LOT 2) ARE SUBJECT TO THE MIHU FEE-IN-LIEU REQUIREMENT THAT IS TO BE CALCULATED AND PAID TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT THE TIME OF BUILDING PERMIT ISSUANCE BY THE PERMIT APPLICANT.

OWNER/DEVELOPER

JOHN TEABO
6366 BEECHFIELD AVE
ELK RIDGE, MD 21075
(443) 492-9841

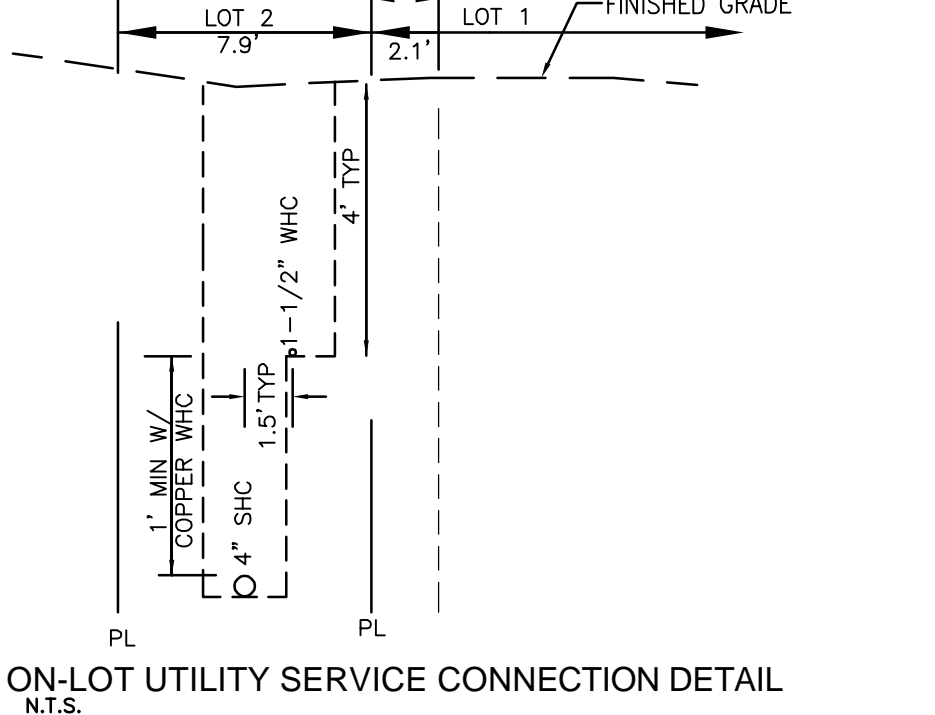


LAYOUT PLAN
SCALE: 1"=30'

SITE ANALYSIS DATA

Table with 2 columns: Item and Description. Includes total project area (0.46 AC), zoning (R-20), and other site characteristics.

EXISTING VARIABLE WIDTH PRIVATE WATER, SEWER & UTILITY EASEMENT PLAT 25635



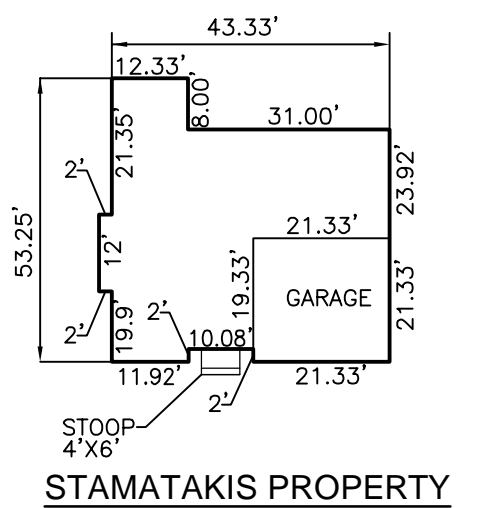
ON-LOT UTILITY SERVICE CONNECTION DETAIL
N.T.S.

MCE CHART

Table with columns: LOT#, EL @ MAIN, TYPE, DIST. TO RW, EL @ RW, DIST. ESMT. TO HOUSE, EL @ HOUSE, MCE. Shows data for Lot 2 with a drop thru slab of 2.5'.

- NOTES: 1. COPPER IS REQUIRED FOR WHC TO LOT 2.
2. IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL VOLUME II WATER & SEWER, CHAPTER 5, SECTION 5.4.C.2. VERTICAL CLEARANCE BETWEEN THE WHC AND SEWER HOUSE CONNECTION (SHC) SHALL BE 1 FOOT MINIMUM, WHO ABOVE SHC.
3. THE REQUIRED 1.5' MINIMUM HORIZONTAL CLEARANCE SHALL BE MET

- 1. THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY BUILDING RESTRICTION LINES IS RECOMMENDED.
2. A MINIMUM OF 10 FEET SHALL BE PROVIDED BETWEEN THE CHOSEN HOME MODEL AN AN ON-LOT DRYWELL, MICRO-BIODETENTION AND/OR A REQUIRED DISTANCE BETWEEN BUILDING, PROVIDING THE FEATURE HAS A MINIMUM WIDTH OF 16 FEET AS MEASURED HORIZONTALLY ALONG THE WALL FROM WHICH THE FEATURE EXTENDS.
3. EXTERIOR STAIRWAYS OR RAMPS ABOVE OR BELOW GROUND LEVEL EXCLUDING THOSE ATTACHED TO A PORCH OR DECK MAY PROJECT 10 FEET INTO A FRONT SETBACK OR A SETBACK FROM A PROJECT BOUNDARY OR DIFFERENT ZONING DISTRICT, 16 FEET INTO A REAR SETBACK, 4 FEET INTO A SIDE SETBACK OR A REQUIRED DISTANCE BETWEEN BUILDINGS.
4. OPEN AND ENCLOSED PORCHES AND DECKS, AND THE STAIRWAYS OR RAMPS ATTACHED THERETO MAY PROJECT 10 FEET INTO A FRONT OR REAR SETBACK A SETBACK FROM A PROJECT BOUNDARY, A SETBACK FROM A DIFFERENT ZONING DISTRICT, OR A REQUIRED DISTANCE BETWEEN BUILDINGS.



STAMATAKIS PROPERTY

TYP. ELEVATION
SCALE: N.T.S.

PARKING TABULATION:

TOTAL NUMBER OF DWELLING UNITS PROPOSED : 1
OFF-STREET PARKING SPACES REQUIRED: 2 SPACES PER UNIT = 2 SPACES
OVERFLOW / GUEST PARKING SPACES REQUIRED: 0.5 SPACES PER SFD UNIT X 1 = .5
SPACE TOTAL PARKING REQUIRED = 2.5 SPACES
PARKING SPACES PROVIDED: SFD = 2 GARAGE/2 DRIVEWAY
2 SPACE IN GARAGE = 2 SPACES (FOR 1 UNIT)
2 SPACES ON DRIVEWAY = 2 SPACES (FOR 1 UNIT)
TOTAL PARKING SPACES PROVIDED: = 4 SPACES OFF-STREET

STORMWATER MANAGEMENT PRACTICE CHART

Table with columns: LOT#, STREET ADDRESS, ESD PRACTICE. Shows Lot 2 at 8414 High Ridge Road with practices (3) Dry Well M-5 and (1) Micro-BioRetention M-6.

ADDRESS CHART and PERMIT INFORMATION CHART showing building details and permit information for the project.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division: 8/24/2022
Chief, Division of Land Development: 8/24/2022
Director: 8/24/2022

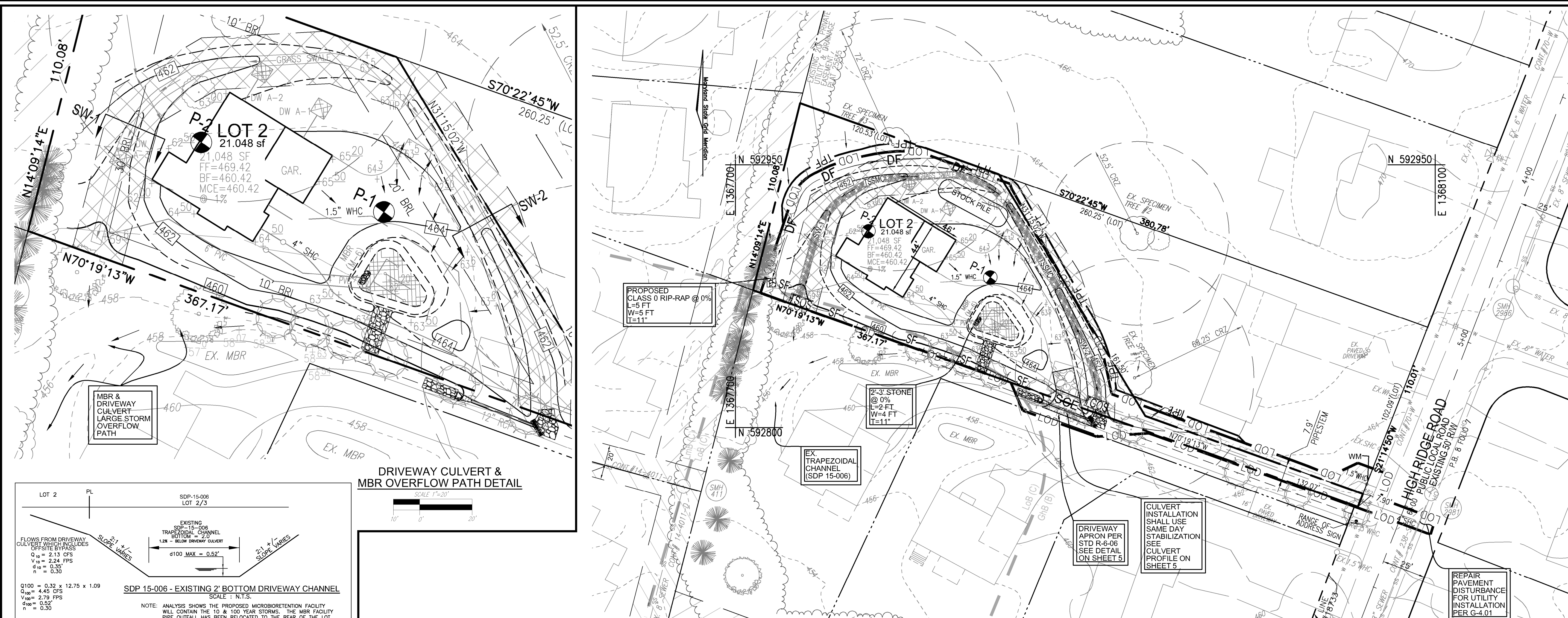
Table with columns: NO., REVISION, DATE.

SITE DEVELOPMENT PLAN
COVER SHEET LAYOUT PLAN, NOTES AND ARCHITECTURAL DETAILS
STAMATAKIS PROPERTY
LOT 2
HIGH RIDGE ROAD, ELLICOTT CITY, MD 21043
PLAT 25635

TAX MAP: 18 PARCEL: 263
2ND ELECTION DISTRICT
BLOCK: 13 ZONING: R-20
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE
DESIGN BY: RHV
DRAWN BY: ONB
CHECKED BY: RHV
DATE: JULY 2022
SCALE: AS SHOWN
W.O. NO.: 05-09/40398
1 SHEET OF 7



**LEGEND:**

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- STORM DRAIN
- EXISTING TRENCH
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- SOILS BOUNDARY
- MICRO SCALE PRACTICE BIO-RETENTION FACILITIES
- EX. 35' PRIVATE USE IN COMMON ACCESS EASEMENT (PLAT 16168)
- EX. 30' PRIVATE DRAINAGE & UTILITY ACCESS EASEMENT (PLAT 16168 & 16169)
- EX. 20' WIDE PRIVATE SEWER EASEMENT (L. 4725 F. 212)
- EX. 20' PUBLIC EASEMENT (PLAT 16168 & 16169)
- EX. 30' PRIVATE SEWER, WATER, STORMWATER, DRAINAGE & UTILITY EASEMENT (PLAT 16168)
- LOD - LIMIT OF DISTURBANCE
- STABILIZED CONSTRUCTION ENTRANCE
- SILT FENCE
- DIVERSION FENCE
- TPE - TREE PROTECTION FENCE
- TEMPORARY SOIL STABILIZATION MATTING ON SLOPE
- TEMPORARY STONE OUTLET STRUCTURE
- TEMPORARY GABION OUTLET STRUCTURE
- WM - PROPOSED WATER METER

**NOTE:**  
 1. STABILIZATION IS TO BE DONE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE INTERVALS REQUIRED BY THE 2011 STDS. & SPECS. WHICH EVER IS MORE RESTRICTIVE.  
 2. LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. ANY STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED.  
 3. SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.  
 4. SILT FENCE SHALL BE CURLED UPHILL. NO MORE THAN 35 FEET APART  
 5. DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

**SOILS LEGEND**  
 HOWARD COUNTY SOILS MAP #14

SYMBOL	NAME / DESCRIPTION	GROUP	K FACTOR	ERODIBLE	HYDROIC
GhB	Glennelg-Urban land complex, 0 to 8 percent slopes	B	0.43 NO	NO	NO
LoB	Legore-Montalto-Urban land complex, 0 to 8 percent slopes	C	0.64 NO	NO	NO
LmB	Legore-Montalto-Urban silt loams, 3 to 8 percent slopes	C	0.64 NO	NO	NO

- TAKEN FROM: USDA, SCS-WEB SOIL SURVEY, HOWARD COUNTY.  
 - K VALUES PER <https://www.howardoc.org/documents> - \*K FACTORS (USE KW)\*  
 - HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

**EROSION AND SEDIMENT CONTROL NOTES:**

- EITHER PERMANENT OR TEMPORARY STABILIZATION IS TO BE APPLIED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR REGARDLESS OF DAYS/DATES IN THE STANDARD SEDIMENT CONTROL NOTES AND/OR SEEDING SPECIFICATIONS.
- AT NO TIME DURING CONSTRUCTION WILL FENCING BE ALLOWED TO INTERCEPT CONCENTRATED FLOWS
- SOILS CONSIDERED HIGHLY ERODIBLE BY THE HOWARD SOIL CONSERVATION DISTRICT MAY REQUIRE MORE STRINGENT SEEDING AND STABILIZATION METHODS.

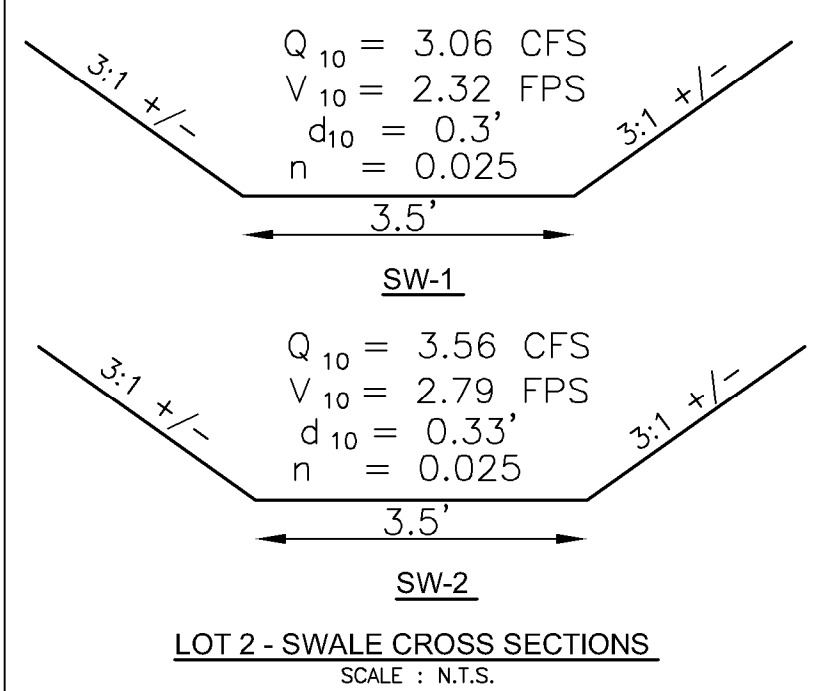
**OWNER/DEVELOPER**

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**STORMWATER MANAGEMENT TEST PIT DATA**

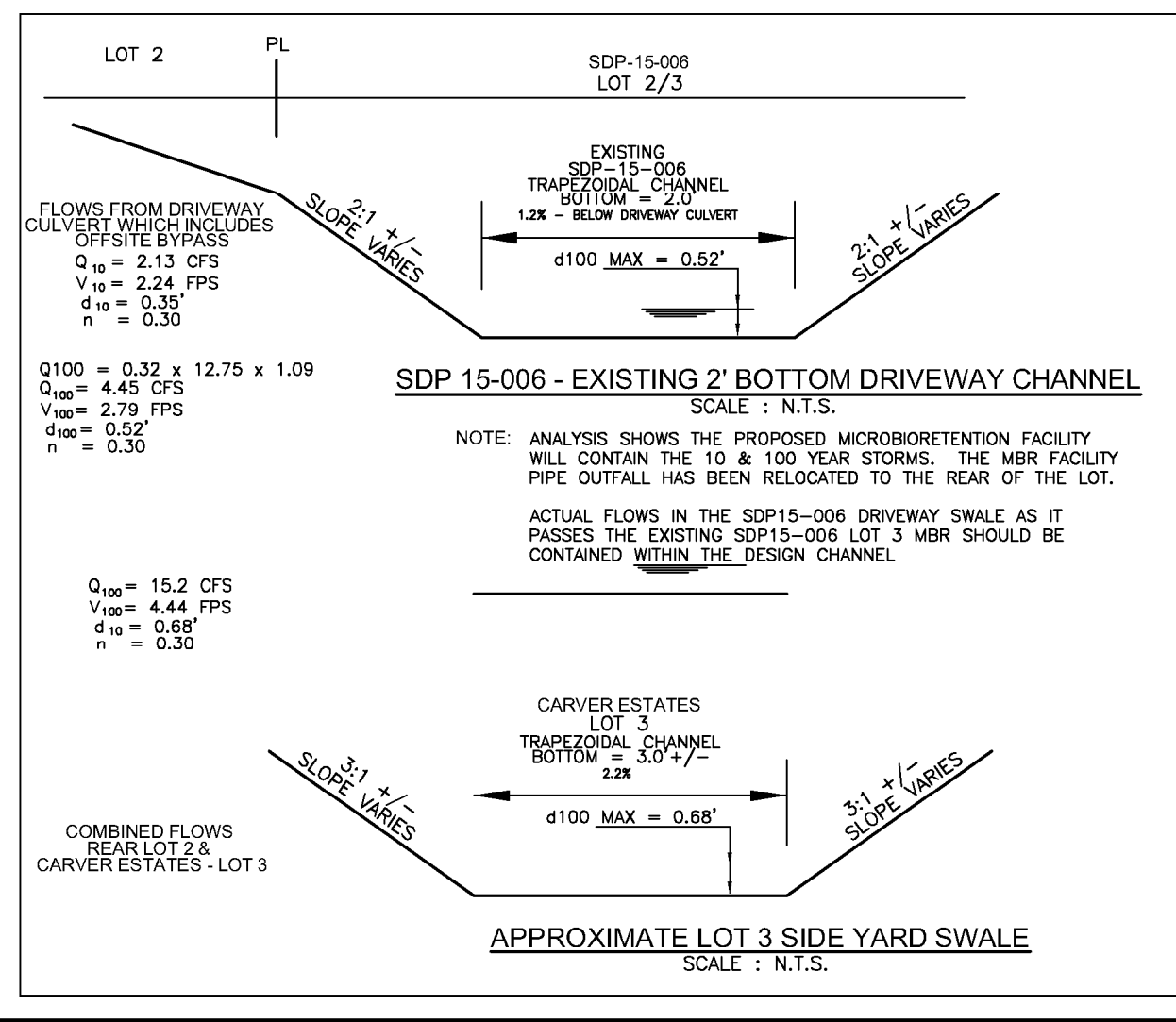
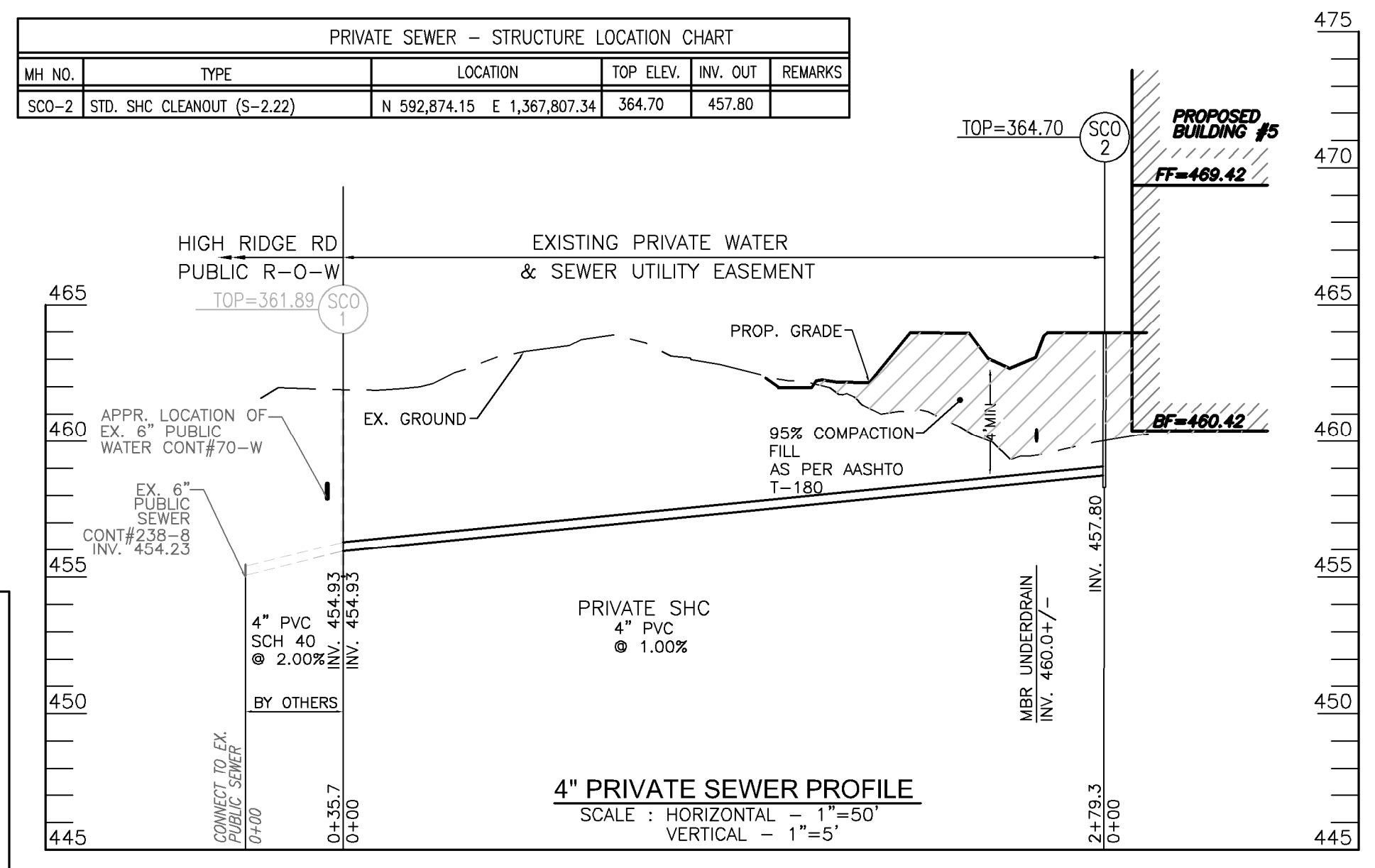
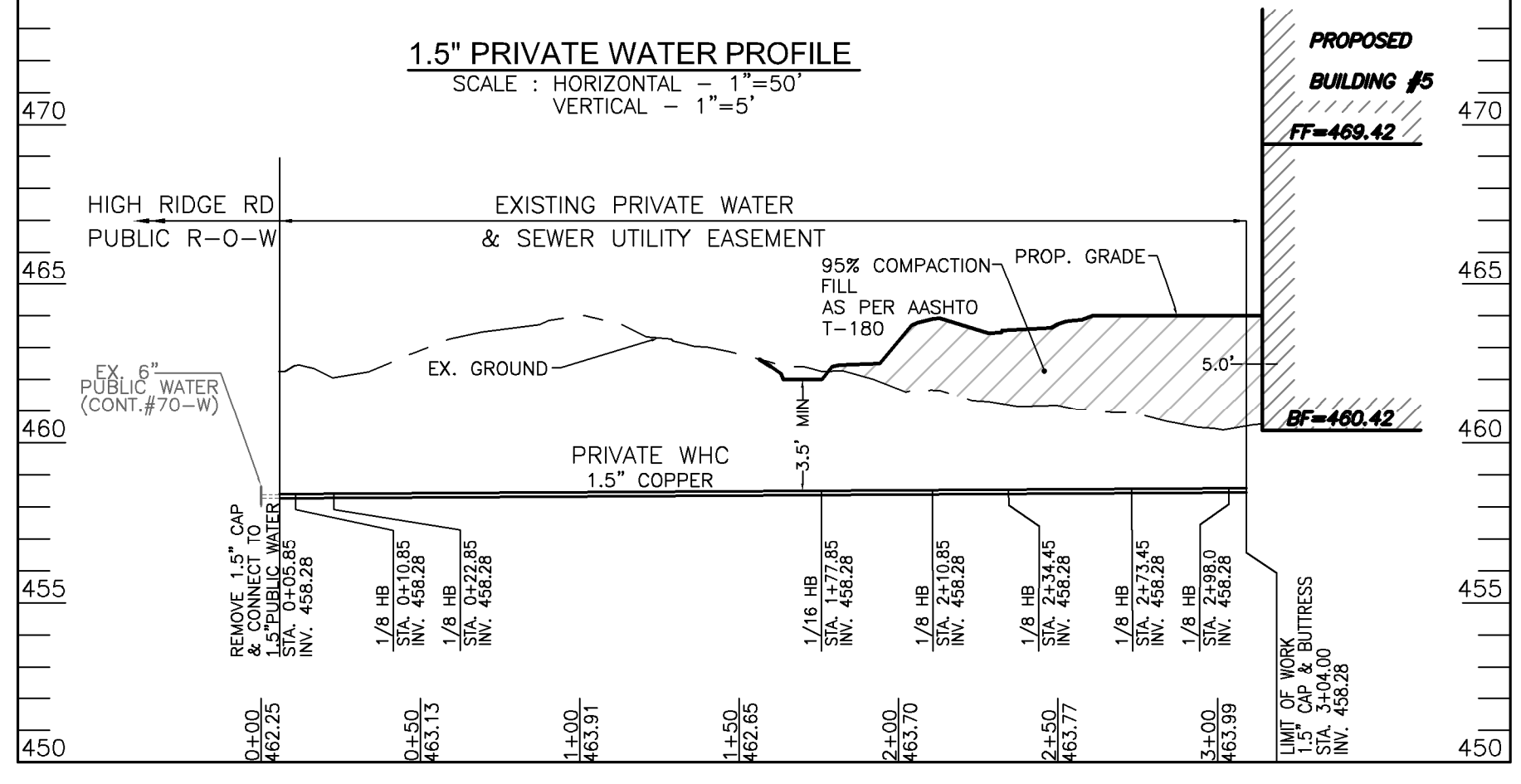
BORING #	APPROX. EXIST. GROUND ELEV.	APPROX. PROP. GROUND ELEV.	INVERT FACILITY PRACTICE	MIN. DEPTH TO GROUNDWATER	BOTTOM PIT	REQ. PIT DEPTH*
TEST PIT#						
P-1	461.00	462.20	457.20	4	453.2	8
P-2	462.00	462.00	456.00	4	452.0	10

CERTIFIED TEST PITS HAVE BEEN PROVIDED TO VERIFY THE LOCATIONS OF GROUNDWATER AND/OR ROCK. OPEN TEST PITS WERE OBSERVED BY VOGEL ENGINEERING+TIMMONS GROUP, FEBRUARY 2019. THE WITNESSED PITS REVEALED NO GROUNDWATER OR LIMITING ROCK AT THE REQUIRED DEPTHS.



**PRIVATE WATER MAIN LOCATION CHART**

WL STA.	APPURTENANCE	NORTHING	EASTING
0+5.85	BEGIN 1.5" WATER @ WATER METER	592,767.68	1,368,060.93
0+10.85	1.5" - 1/8" HORIZONTAL BEND	592,769.36	1,368,056.22
0+22.85	1.5" - 1/8" HORIZONTAL BEND	592,764.23	1,368,045.37
1+77.85	1.5" - 1/16" HORIZONTAL BEND	592,815.75	1,367,901.31
2+10.85	1.5" - 1/8" HORIZONTAL BEND	592,839.25	1,367,875.37
2+34.45	1.5" - 1/8" HORIZONTAL BEND	592,862.83	1,367,874.21
2+73.45	1.5" - 1/8" HORIZONTAL BEND	592,884.10	1,367,841.08
2+98.00	1.5" - 1/8" HORIZONTAL BEND	592,882.82	1,367,811.05
3+04.00	1.5" CAP & BUTTRISS	592,885.76	1,367,805.95



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Decided by: Alexander Bratovic 8/22/2022  
 HOWARD S.C.D. DATE

**OWNER/DEVELOPER CERTIFICATION:**  
 "I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERMITS/SHARE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."

John Teabo 8/9/2022  
 OWNER/DEVELOPER SIGNATURE DATE  
 John Teabo  
 PRINTED NAME & TITLE

**DESIGN CERTIFICATION:**  
 "I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Rob Vogel 8/12/2022  
 DESIGNER'S SIGNATURE DATE  
 ROBERT H. VOGEL MD REGISTRATION NO. 16193 (P.E.) R.L.S. OR R.L.A. (circle one)  
 PRINTED NAME

**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING**

Decided by: Neil Edmondson 8/24/2022  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Decided by: Neil Edmondson 8/24/2022  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Decided by: Amy Orman 8/24/2022  
 DIRECTOR DATE

SITE DEVELOPMENT PLAN  
 GRADING, SOIL EROSION AND SEDIMENT CONTROL PLAN  
 AND UTILITIES PROFILES  
**STAMATAKIS PROPERTY**  
 LOT 2  
 HIGH RIDGE ROAD, ELLICOTT CITY, MD 21043  
 PLAT 25635

TAX MAP: 18 PARCEL: 283  
 2ND ELECTION DISTRICT

BLOCK: 13 ZONING: R-20  
 HOWARD COUNTY, MARYLAND

**VOGEL ENGINEERING**  
  
**TIMMONS GROUP**  
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

DESIGN BY: RHV  
 DRAWN BY: ONB  
 CHECKED BY: RHV  
 DATE: JULY 2022  
 SCALE: AS SHOWN  
 W.O. NO.: 05-09/40398

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2022

2 SHEET OF 7

HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES

- 1. A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS... PRIOR TO THE START OF EARTH DISTURBANCES...

OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE...

- 2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL...

Table with 2 columns: Description and Value. Includes rows for Total Area of Site, Area to be Eroded or Paved, Area to be Vegetatively Stabilized, Total Cut, Total Fill, and Offsite Waste/Borrow Area Location.

- (1) REFER TO ITEM 11 BELOW
7. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE...

- 11. SEQUENCING SHALL NOT OCCUR OUTSIDE THE L.O.D. A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT...

- 16. A COPY OF THIS PLAN, THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND ASSOCIATED PERMITS SHALL BE ON-SITE AND AVAILABLE WHEN THE SITE IS ACTIVE.

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

- DEFINITION TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.
PURPOSE TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CRITERIA A. SEED MIXTURES
1. GENERAL USE
A. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2...

- 2. TURFGRASSES
A. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.

Table with 2 columns: Description and Value. Includes rows for Total Area of Site, Area to be Eroded or Paved, Area to be Vegetatively Stabilized, Total Cut, Total Fill, and Offsite Waste/Borrow Area Location.

- 3. SOIL MAINTENANCE
A. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER SHALL DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST TO A DEPTH OF 4 INCHES...

- DEFINITION TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.
PURPOSE TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CRITERIA A. SEED MIXTURES
1. GENERAL USE
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- 2. TURFGRASSES
A. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.

PERMANENT SEEDING SUMMARY

Table with columns: No, Species, Application Rate (lb/ac), Seeding Dates, Seeding Depths, N, P2O5, K2O, Lime Rate, and Fertilizer Rate (10-20-20).

FOR ALTERNATES, REFER TO THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL - PAGES B.26 - B.32

B-4-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS

- DEFINITION THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.
PURPOSE TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

CRITERIA A. SOIL PREPARATION
1. TEMPORARY STABILIZATION
A. SEEDING PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT...

- 2. PERMANENT STABILIZATION
A. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE AT-1/2 POINTS PER 1000 SQUARE FEET (50 POINTS PER ACRE) ARE TO BE TAKEN AT THE TIME OF SEEDING...

- 3. SOIL MAINTENANCE
A. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER SHALL DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST TO A DEPTH OF 4 INCHES...

- 4. WATER THE SOIL IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET... COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN EIGHT HOURS.

- 5. SOIL MAINTENANCE
A. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER SHALL DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST TO A DEPTH OF 4 INCHES...

- DEFINITION THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.
PURPOSE TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

PERMANENT SEEDING SUMMARY

Table with columns: No, Species, Application Rate (lb/ac), Seeding Dates, Seeding Depths, N, P2O5, K2O, Lime Rate, and Fertilizer Rate (10-20-20).

FOR ALTERNATES, REFER TO THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL - PAGES B.26 - B.32

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

- DEFINITION THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.
PURPOSE TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

CRITERIA A. EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL...

- 2. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT...

- 3. MULCH MATERIALS MUST BE GROUND LIMESTONE (HYDRATED) OR BURNT LIME... SUBSTITUTED EXCEPT WHEN HYDROSEEDING WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE)...

- 1. MULCH MATERIALS (IN ORDER OF PREFERENCE)
A. STRAW CONSTITUTES OF THOROUGHLY THRESHED WHEAT, LIME, OAT, OR BARLEY AND SEASONALLY BRIGHT IN COLOR...

- 2. APPLICATION
A. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING...

- 3. MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE... WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE...

- 4. MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE... WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE...

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

- DEFINITION TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.
PURPOSE TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.

CRITERIA 1. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3)...

- 2. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING... WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE...

- 3. MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE... WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE...

- 4. MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE... WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE...

- 5. MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE... WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE...

- 6. MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE... WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE...

- 7. MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE... WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE...

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

- DEFINITION TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.
PURPOSE TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.

CRITERIA 1. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3)...

- 2. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING... WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE...

- 3. MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE... WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE...

- 4. MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE... WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE...

- 5. MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE... WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE...

- 6. MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE... WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE...

- 7. MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE... WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE...

B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

- DEFINITION A MOUND OR PILE OF SOIL PROTECTED BY APPROPRIATELY DESIGNED EROSION AND SEDIMENT CONTROL MEASURES.
PURPOSE TO PROVIDE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION, AND CHANGES TO DRAINAGE PATTERNS.

CRITERIA 1. THE STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE CLEARLY INDICATED ON THE EROSION AND SEDIMENT CONTROL PLAN...

- 2. THE FOOTPRINT OF THE STOCKPILE MUST BE SIZED TO ACCOMMODATE THE ANTICIPATED VOLUME OF MATERIAL AND BASED ON A SIDE SLOPE RATIO NO STEEPER THAN 2:1...

- 3. WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH AS PRESCRIBED IN SECTION B-4-3A.1.B AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

- 4. ACCESS THE STOCKPILE AREA FROM THE UPRIDE SIDE. CLEAR WATER RUNOFF INTO THE STOCKPILE AREA MUST BE MINIMIZED BY USE OF A DIVERSION DEVICE SUCH AS AN EARTH DIKE, TEMPORARY SHALE OR DIVERSION FENCE...

- 5. WHERE RUNOFF CONCENTRATES ALONG THE TOE OF THE STOCKPILE FILL, AN APPROPRIATE EROSION/SEDIMENT CONTROL PRACTICE MUST BE USED TO INTERCEPT THE DISCHARGE.

- 6. STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 3/7 DAY VEGETATIVE ESTABLISHMENT FROM AS WELL AS STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION.

- 7. STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 3/7 DAY VEGETATIVE ESTABLISHMENT FROM AS WELL AS STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION.

TEMPORARY SEEDING SUMMARY table with columns: No, Species, Application Rate (lb/ac), Seeding Dates, Seeding Depths, Lime Rate, and Fertilizer Rate (10-20-20).

FOR ALTERNATES, REFER TO THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL PAGE B.20, TABLE B.1, SHOWN ON SHEET X

SEQUENCE OF CONSTRUCTION

- 1. OBTAIN GRADING PERMIT. - 1 DAY
2. DEVELOPER / CONTRACTOR SHALL REQUEST A PRE-CONSTRUCTION MEETING WITH THE APPROPRIATE ENFORCEMENT AUTHORITY PRIOR TO BEGINNING CONSTRUCTION.(1 DAY)
3. NOTIFY HOWARD COUNTY BUREAU OF INSPECTIONS AND PERMITS (410-313-1880) AT LEAST 24 HOURS BEFORE STARTING ANY WORK.(1 DAY)
4. STAKEOUT LIMITS OF DISTURBANCE. (0.5 DAY)
5. TO OBTAIN ACCESS TO PROJECT SITE, INSTALL DRIVEWAY CULVERT PER DETAILS HEREIN (1 DAY) NOTE: CULVERT INSTALLATION SHALL USE SAME DAY STABILIZATION.
6. INSTALL STABILIZED CONSTRUCTION ENTRANCE AS SHOWN (1 DAY)
7. COMPLETE ANY REQUIRED CLEARING AND GRUBBING ONSITE AREA FOR THE INSTALLATION OF PERMETER CONTROLS. (1 DAY)
8. INSTALL PERIMETER FENCING, DIVERSION FENCING, ASSOCIATED DIVERSION FENCE OUTLET PROTECTION AND TREE PROTECTION FENCE AS SHOWN. (1 DAY)
9. INSTALL TEMPORARY STONE AND GABION OUTLET STRUCTURES. CONSTRUCT PROPOSED SWALE SW-2 WITH TEMPORARY SOIL STABILIZATION MATTING FROM DOWNSTREAM TO UPSTREAM END. (1DAY)
10. BEGIN HOME CONSTRUCTION. THE FIRST FLOOR ELEVATIONS CANNOT BE MORE THAN 1' HIGHER OR 0.2' LOWER THAN THE ELEVATIONS SHOWN ON THIS PLAN. (6 MONTHS)
11. COMPLETE THE INSTALLATION OF THE WATER & SEWER SERVICE CONNECTIONS. (3 MONTHS)
12. WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, INSTALL ESD/F FACILITIES TO INCLUDE MICRO BIO-RETENTION AND THREE DRY WELLS (1 DAY)
NOTE: PROTECT ESD FACILITIES FROM RECEIVING "DIRTY" RUNOFF.
13. FINE GRADING SITE TO INCLUDE PROPOSED SWALE SW-1 WITH TEMPORARY SOIL STABILIZATION AND COMPLETE ANY REMAINING FINE GRADING IN ACCORDANCE WITH STORMWATER MANAGEMENT CRITERIA, ADD TOPSOIL PER THE SPECIFICATIONS SHOWN HEREON, AND STABILIZE DISTURBED AREAS WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH (2 DAYS)
14. COMPLETE THE INSTALLATION OF THE WATER & SEWER SERVICE CONNECTIONS. (3 MONTHS)
15. WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, INSTALL ESD/F FACILITIES TO INCLUDE MICRO BIO-RETENTION AND THREE DRY WELLS (1 DAY)
NOTE: PROTECT ESD FACILITIES FROM RECEIVING "DIRTY" RUNOFF.
16. FINE GRADING SITE TO INCLUDE PROPOSED SWALE SW-1 WITH TEMPORARY SOIL STABILIZATION AND COMPLETE ANY REMAINING FINE GRADING IN ACCORDANCE WITH STORMWATER MANAGEMENT CRITERIA, ADD TOPSOIL PER THE SPECIFICATIONS SHOWN HEREON, AND STABILIZE DISTURBED AREAS WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH (2 DAYS)
17. INSTALL PROJECT LANDSCAPING (3 DAYS)
18. AFTER PERMISSION HAS BEEN GIVEN BY SEDIMENT CONTROL INSPECTOR, REMOVE ANY REMAINING E/S CONTROLS AND STABILIZE THE DISTURBED AREAS FROM THE AFOREMENTIONED DISTURBANCES WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH (1 WEEK)
NOTE: ANY CHANGES OR REVISIONS TO THE SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE PLAN APPROVAL AUTHORITY PRIOR TO PROCEEDING WITH CONSTRUCTION

OWNER/DEVELOPER

JOHN TEABO
6366 BEECHFIELD AVE
ELLCOTT CITY, MD 21115
(443) 492-9841

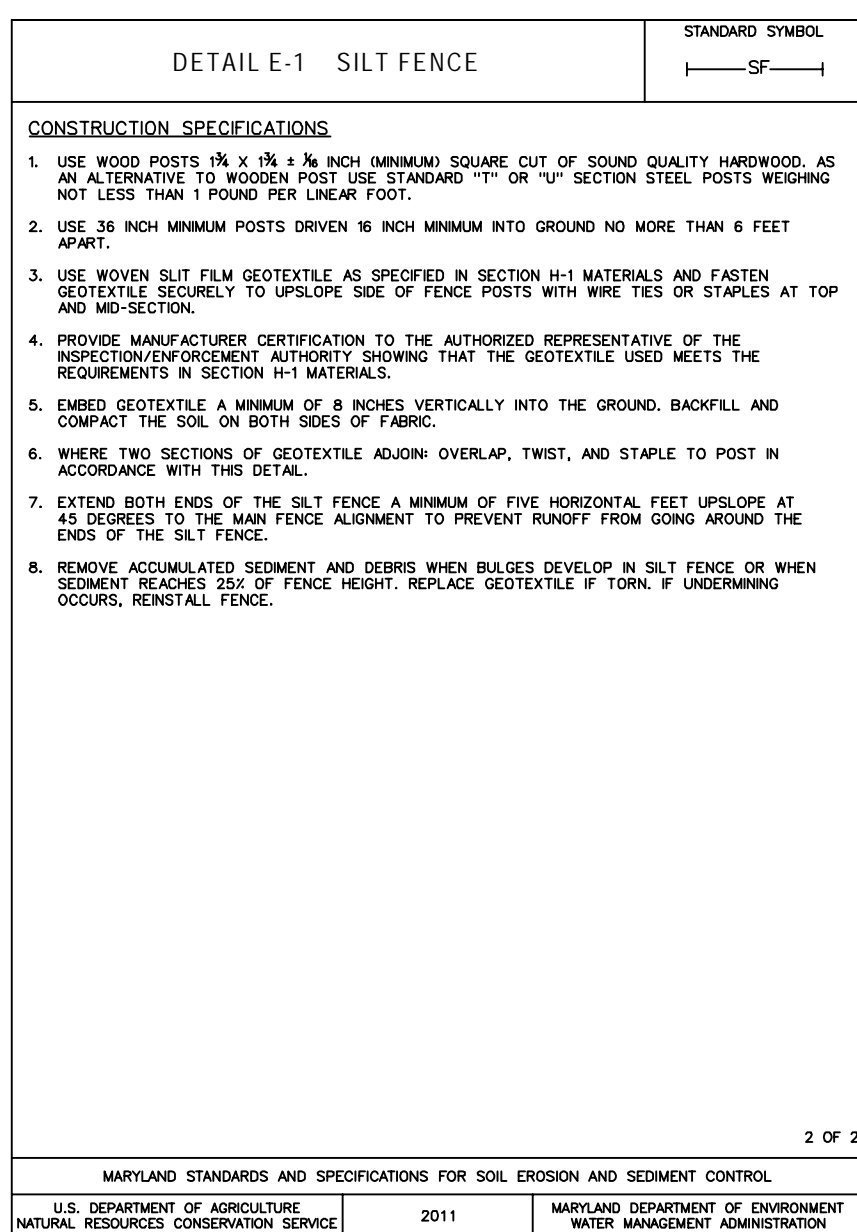
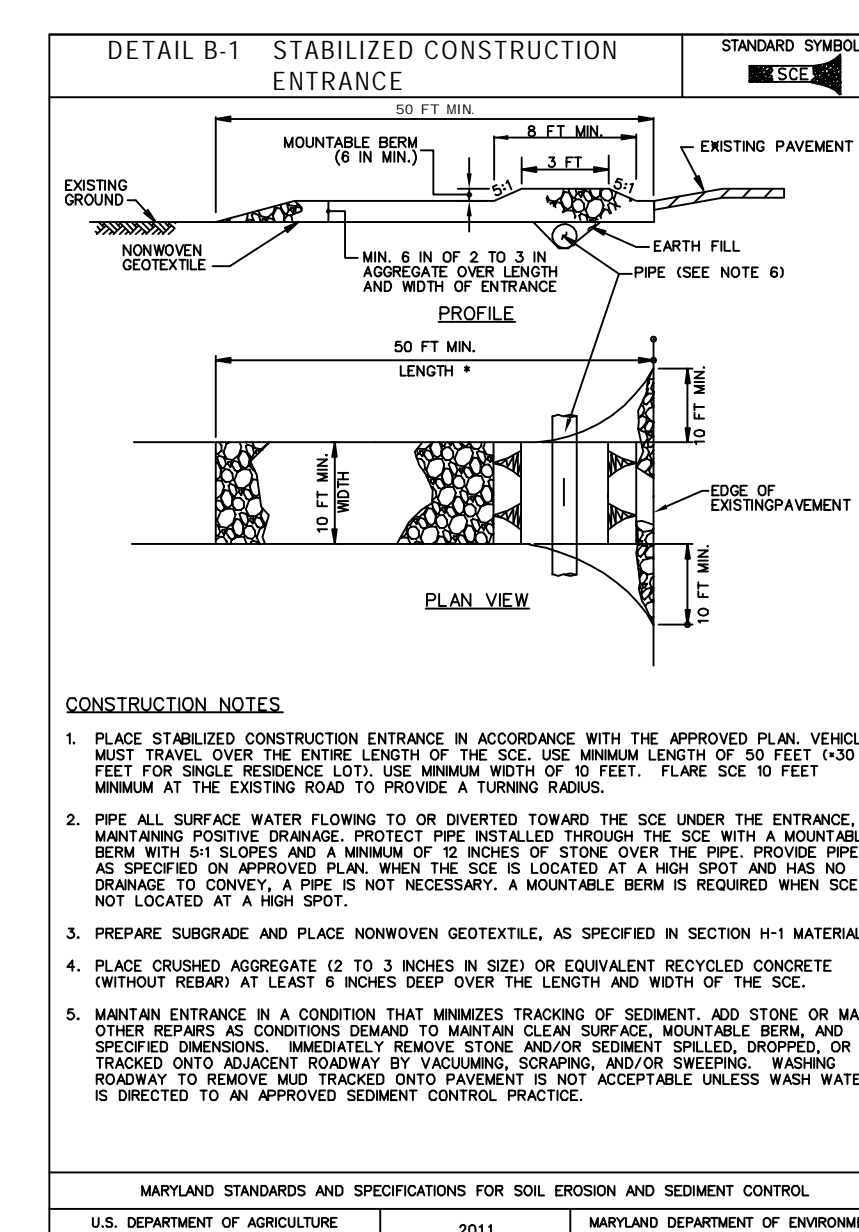
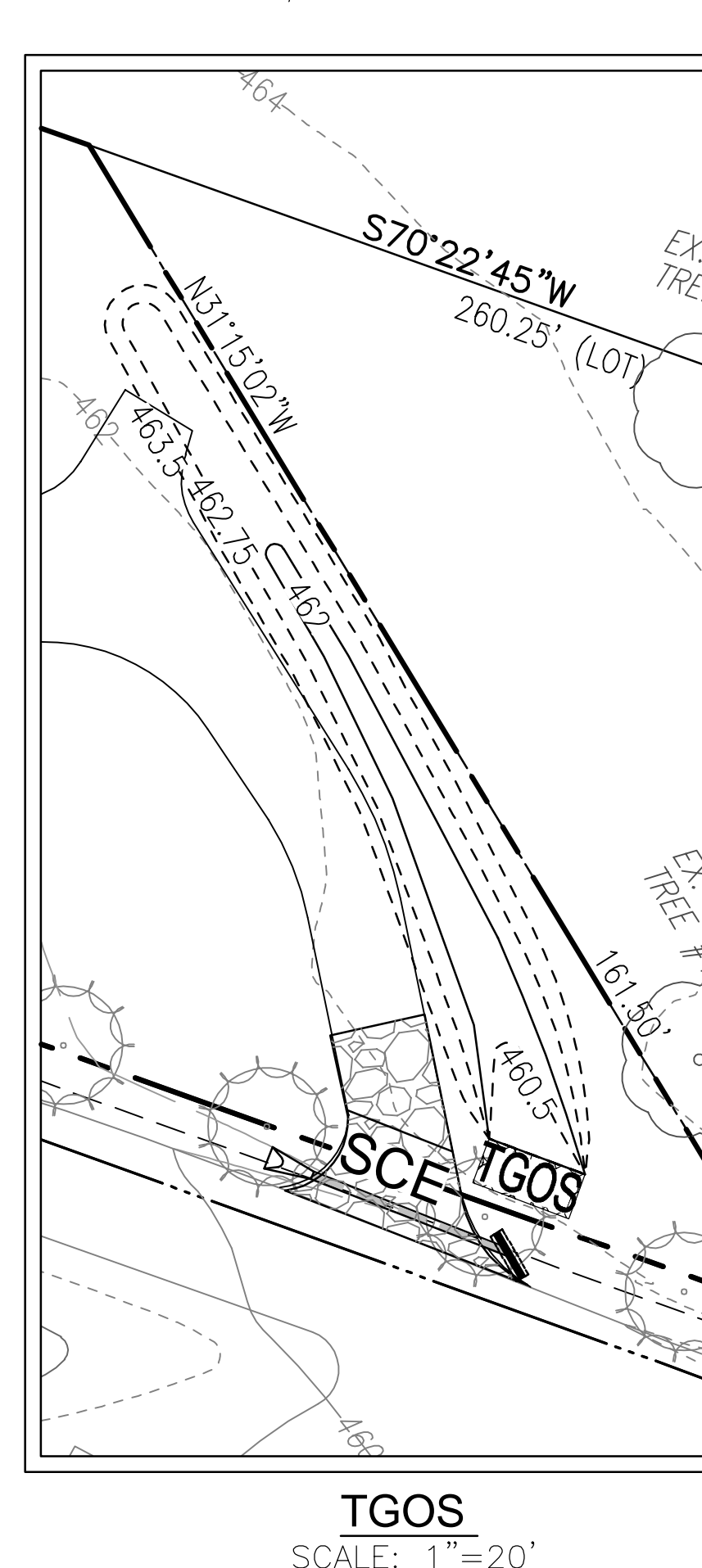
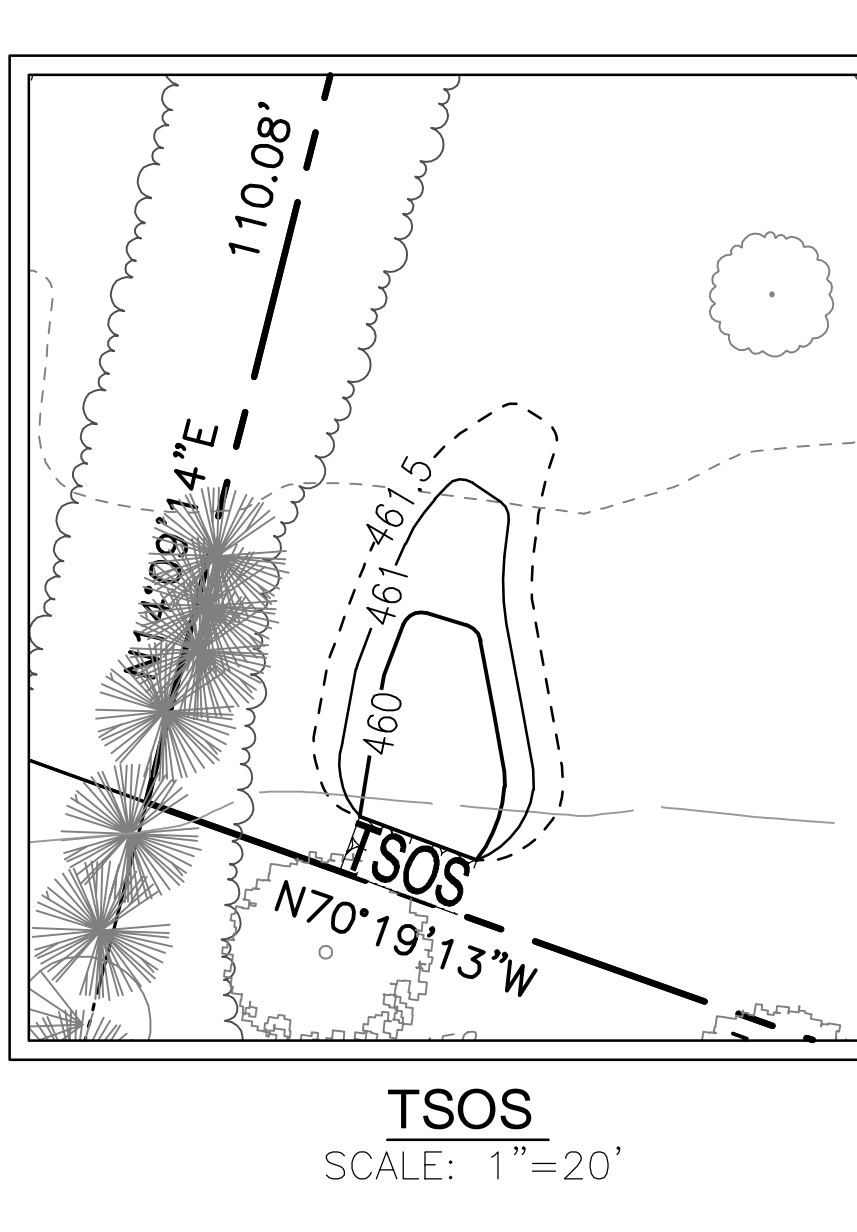
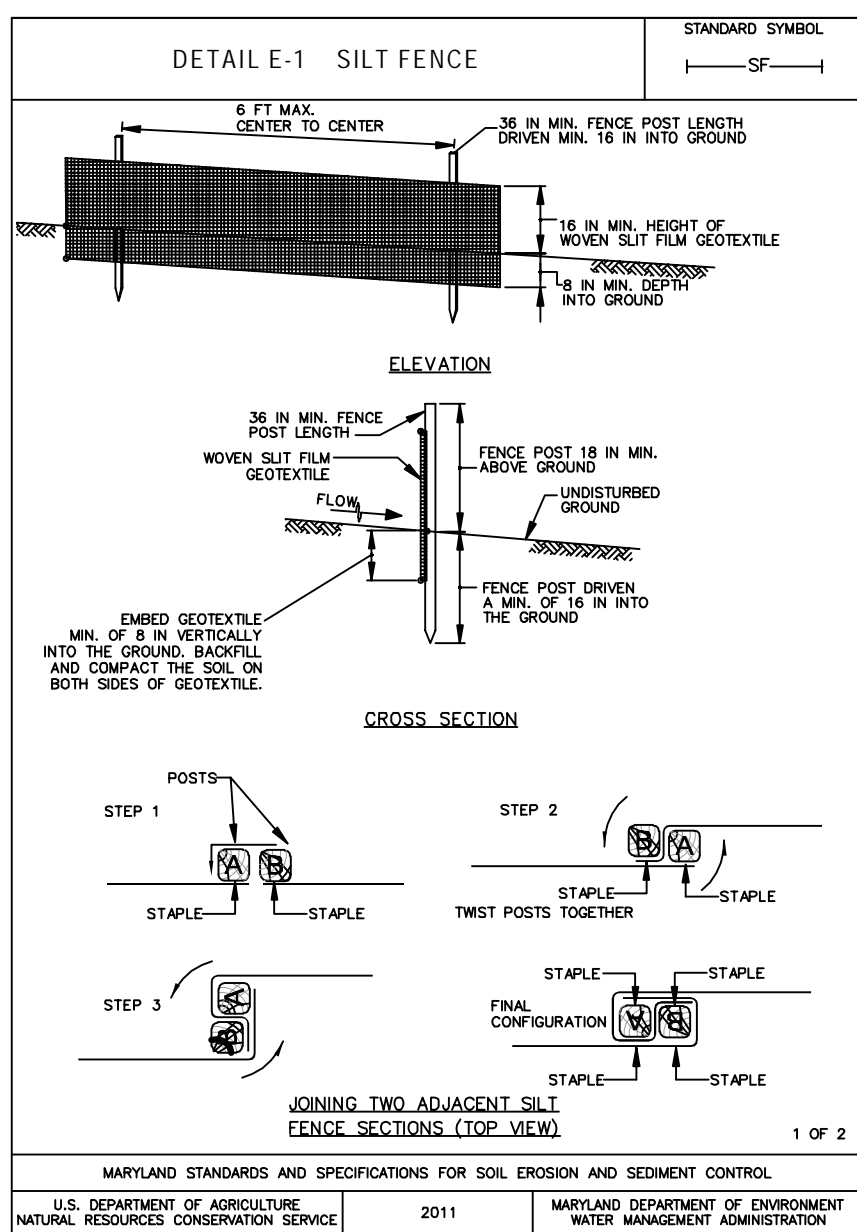
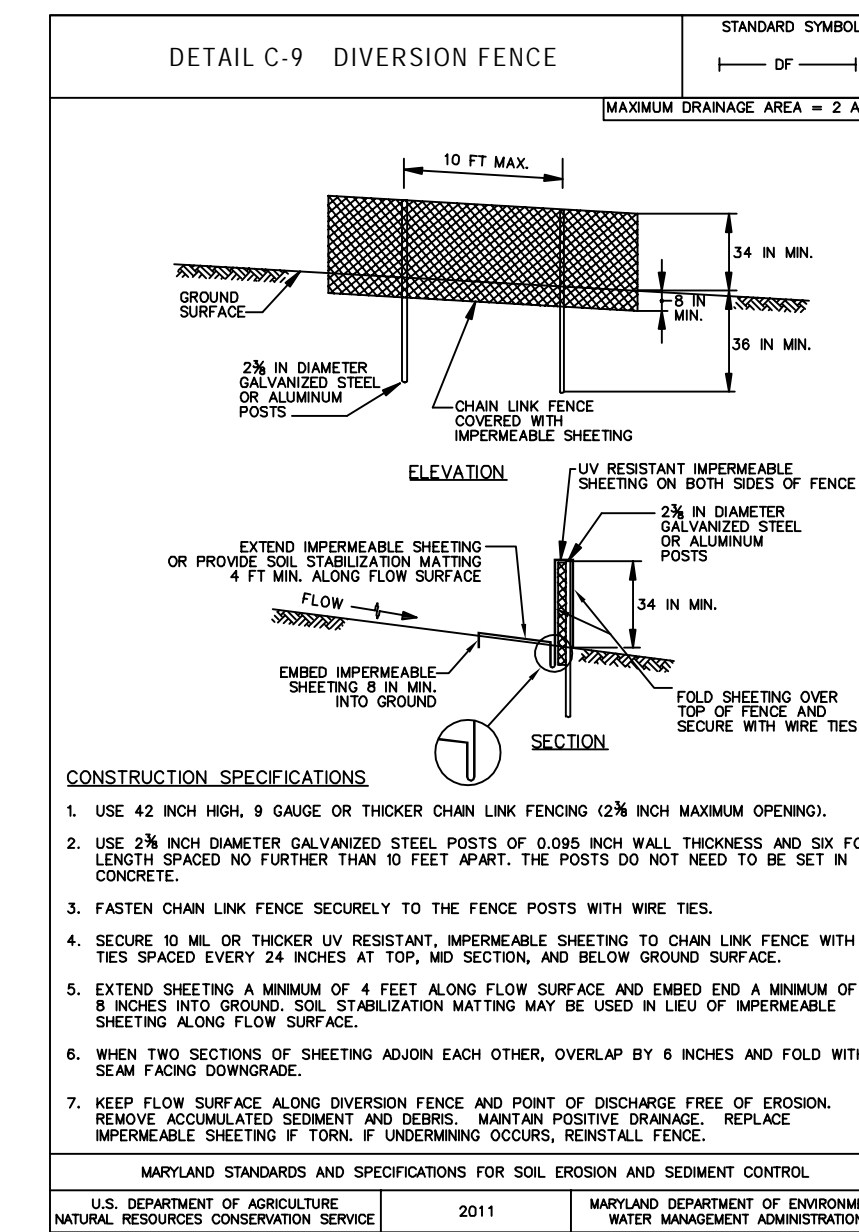
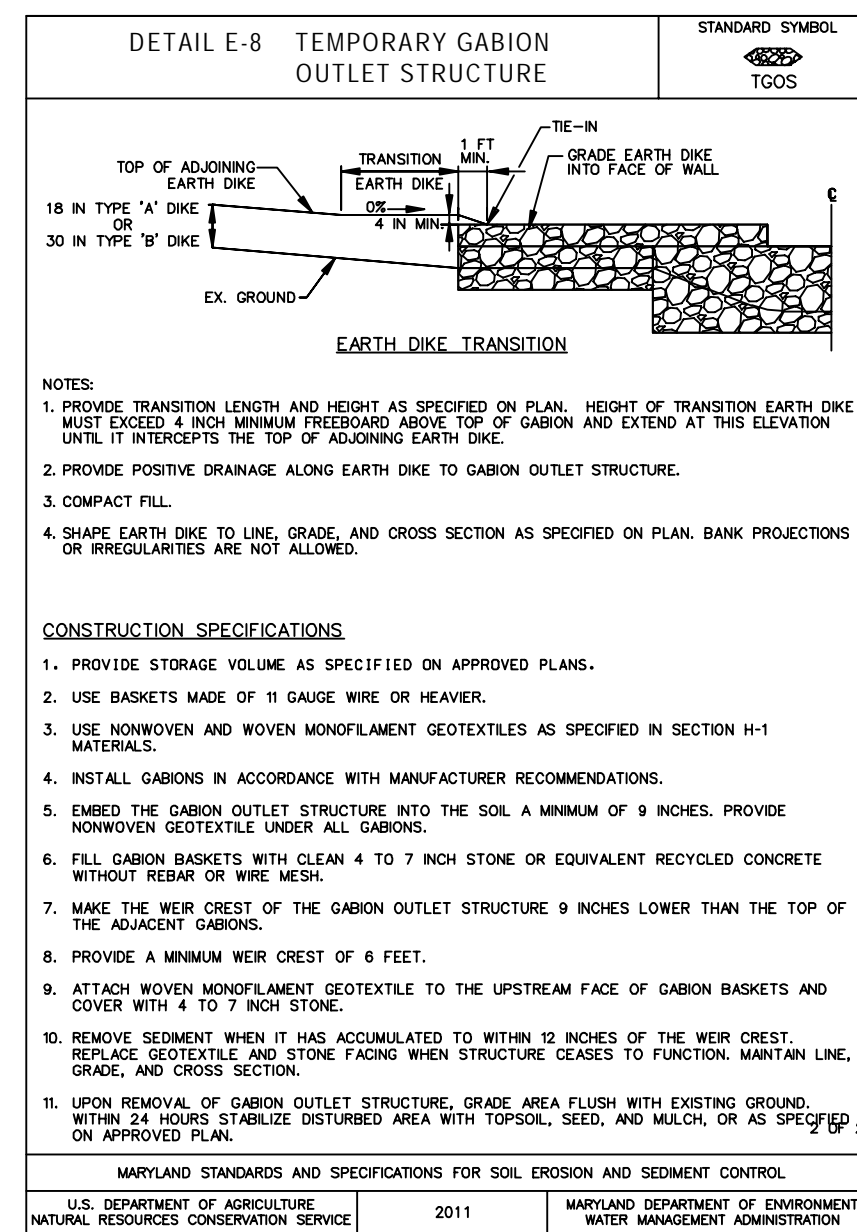
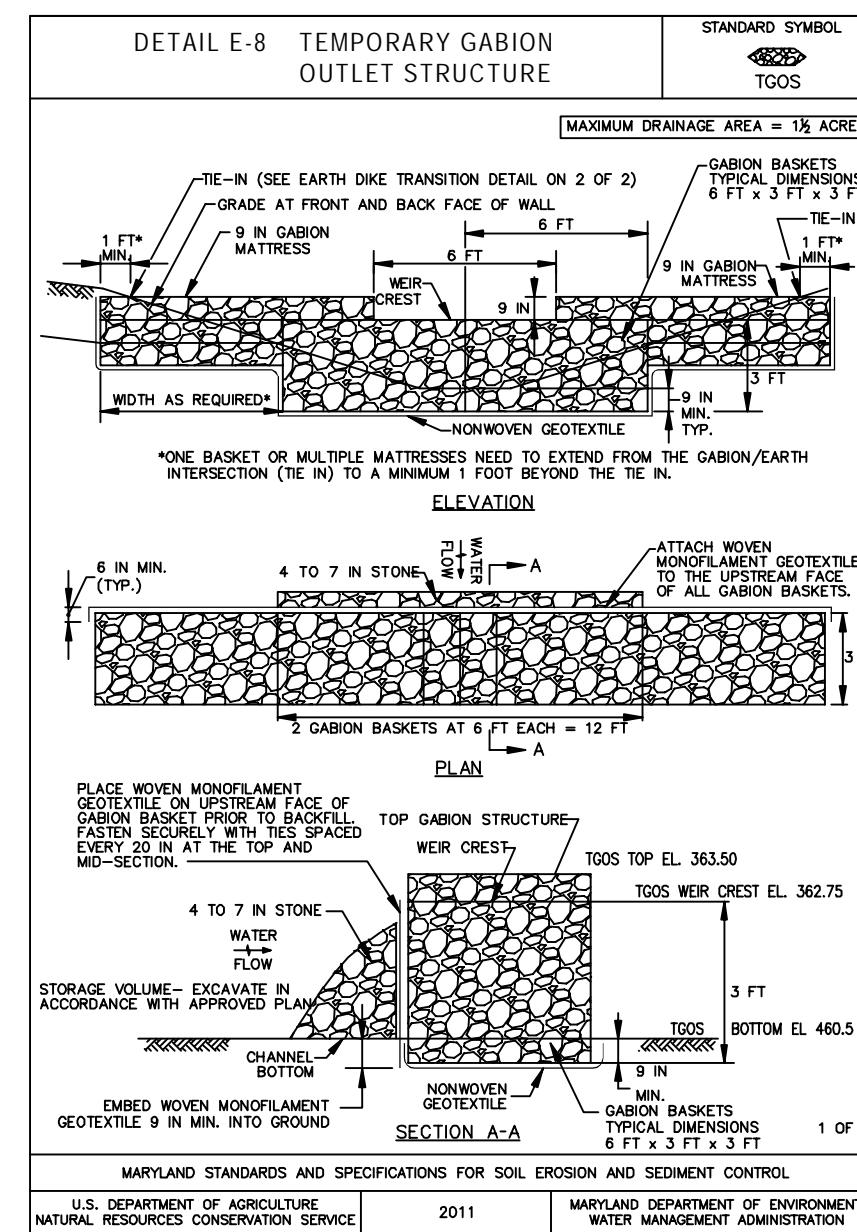
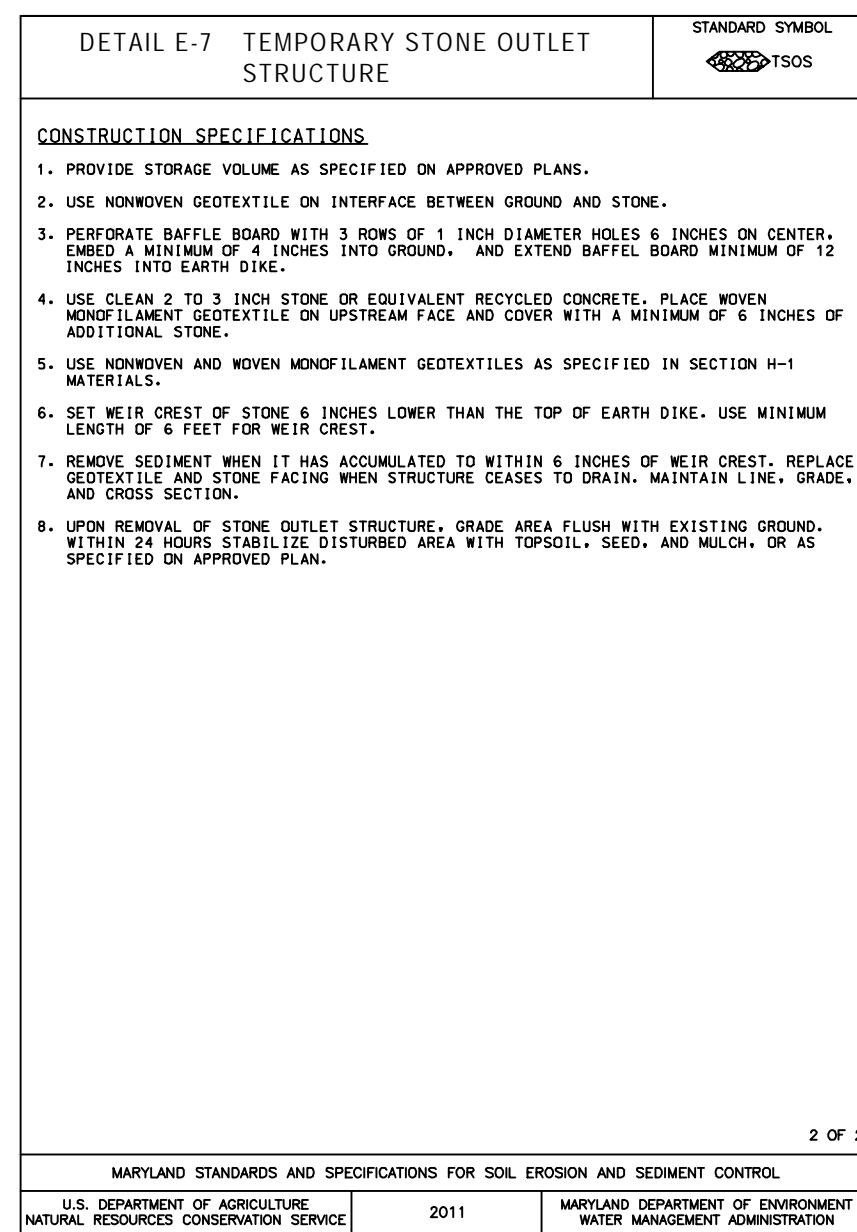
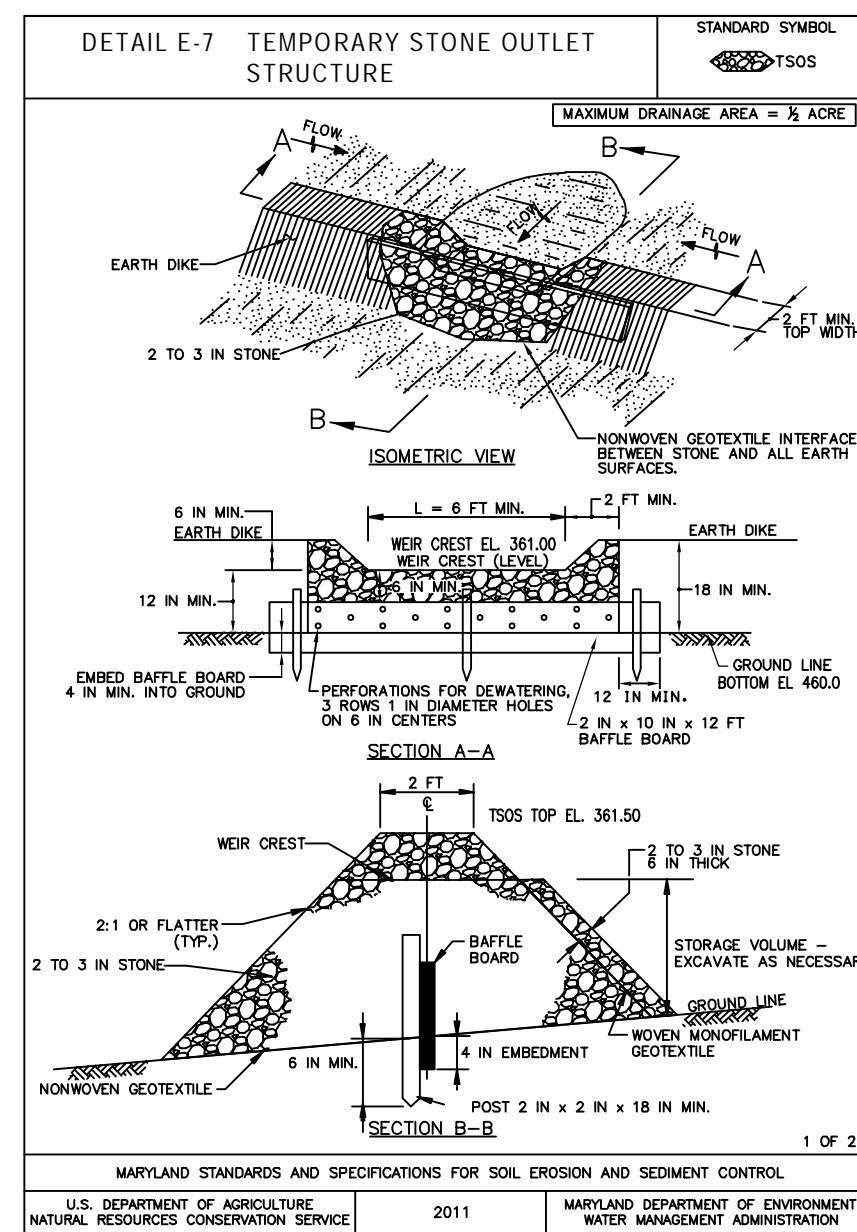
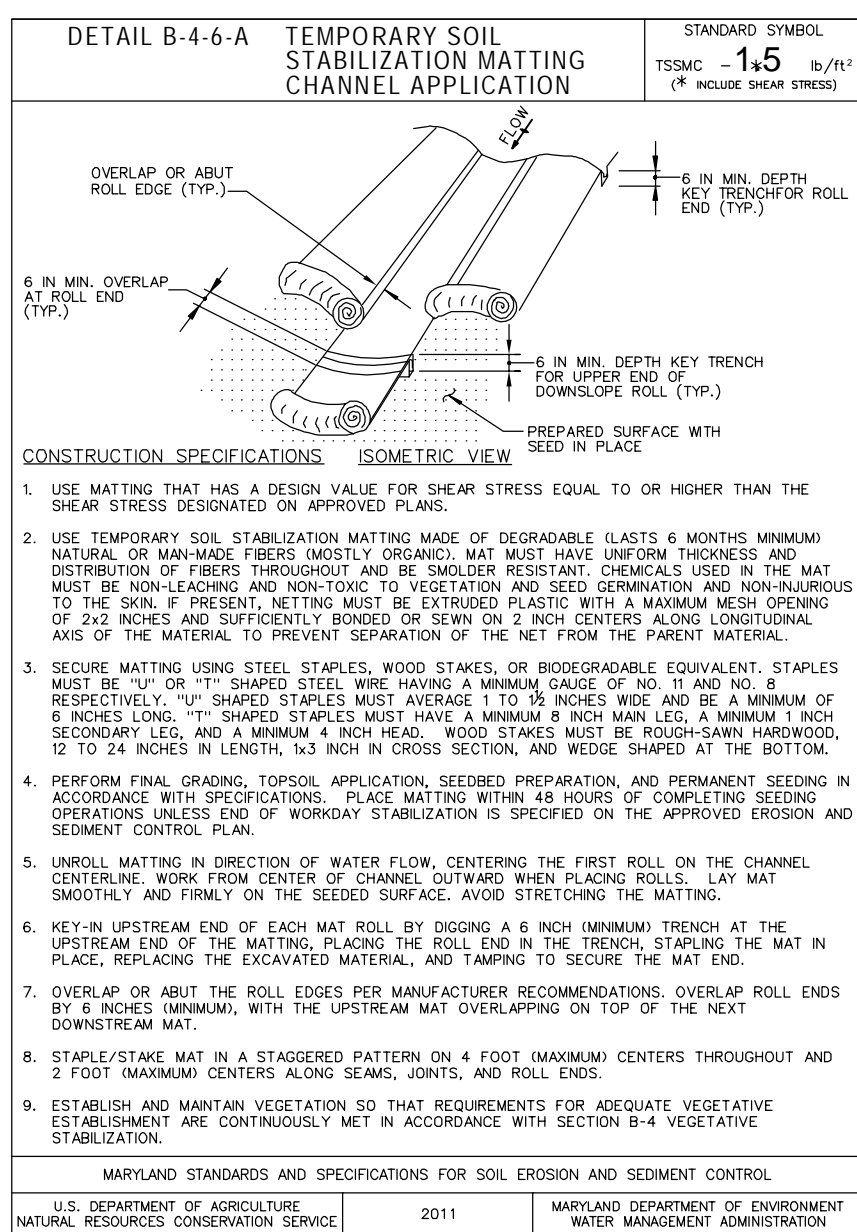
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Date: 8/24/2022
Chief, Division of Land Development
Date: 8/24/2022
Director
Date: 8/24/2022

OWNER/DEVELOPER CERTIFICATION
I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR EROSION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.
Date: 8/9/2022

DESIGN CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
Date: 8/12/2022

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
Date: 8/22/2022

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21143
P: 410.461.7666 F: 410.461.8961 www.timmons.com
SITE DEVELOPMENT PLAN
GRADING, EROSION AND SEDIMENT CONTROL PLAN
SPECIFICATIONS AND SEQUENCE OF CONSTRUCTION
STAMATAKIS PROPERTY
LOT 2
HIGH RIDGE ROAD, ELLICOTT CITY, MD 21043
PLAT 25635
BLOCK: 13 ZONING: R-20
HOWARD COUNTY, MARYLAND



**OWNER/DEVELOPER**  
JOHN TEABO  
6366 BEECHFIELD AVE  
ELKRDGE, MD 21075  
(443) 492-9841

NO.	REVISION	DATE

**SITE DEVELOPMENT PLAN**  
GRADING, SOIL EROSION, AND  
SEDIMENT CONTROL PLAN DETAILS  
**STAMATAKIS PROPERTY**  
LOT 2  
HIGH RIDGE ROAD, ELLICOTT CITY, MD 21043  
PLAT 25635

TAX MAP: 18 PARCEL: 263 BLOCK: 13 ZONING: R-20  
2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND

**VOGEL ENGINEERING**  
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3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: *Neil Anderson* 8/24/2022  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by: *Neil Anderson* 8/24/2022  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by: *Neil Anderson* 8/24/2022  
DIRECTOR DATE

**OWNER/DEVELOPER CERTIFICATION**  
I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR CONSTRUCTION HAS BEEN EVALUATED BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

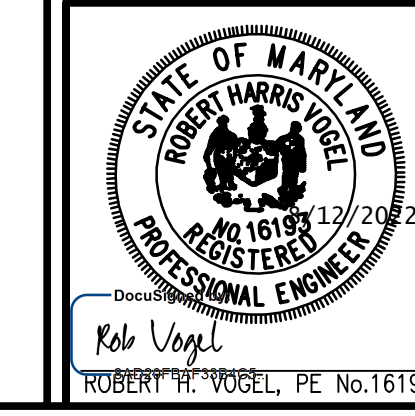
DocuSigned by: *John Teabo* 8/9/2022  
OWNER/DEVELOPER SIGNATURE DATE  
John Teabo  
PRINTED NAME & TITLE

**DESIGN CERTIFICATION**  
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS; THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DocuSigned by: *Robert H. Vogel* 8/12/2022  
DESIGNER SIGNATURE DATE  
ROBERT H. VOGEL MO REGISTRATION NO. 16193  
PRINTED NAME (E.D. P.L.S., OR R.L.A. (circle one))  
HOWARD S.C.D. DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

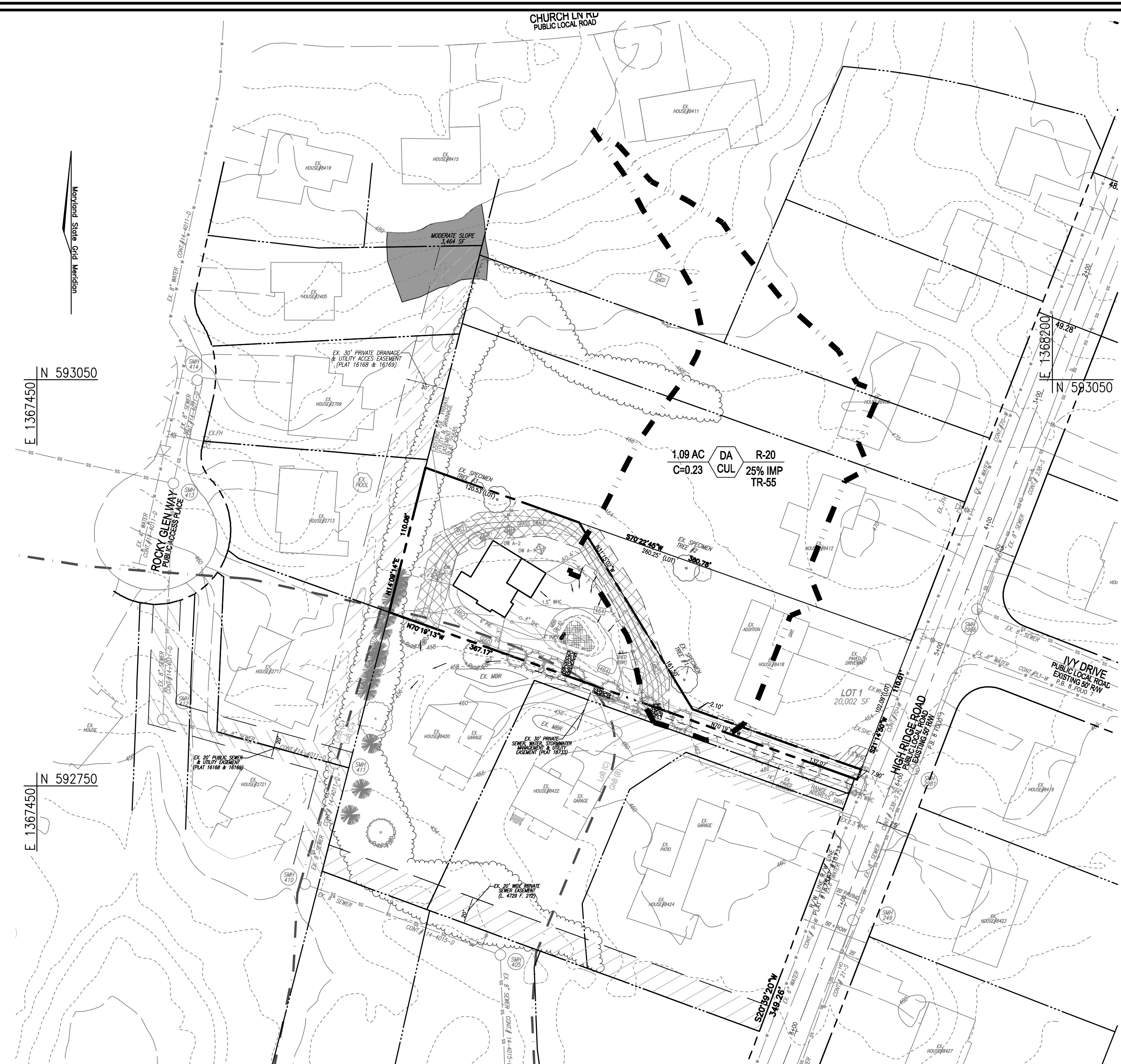
DocuSigned by: *Alexander Bratchev* 8/22/2022  
DATE  
06648058488461  
DATE



DESIGN BY:   RHV    
DRAWN BY:   ONB    
CHECKED BY:   RHV    
DATE:   JULY 2022    
SCALE:   AS SHOWN    
W.O. NO.:   05-09/40398  

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2022

4 SHEET OF 7



DRIVEWAY CULVERT DRAINAGE AREA MAP  
SCALE 1"=50'

PIPE SCHEDULE		
SIZE	MATERIAL	LENGTH
12"	RCP	36 LF

STRUCTURE SCHEDULE						
STR #	TYPE	INV. IN	INV. OUT	TOP OF STRUCTURE	DETAIL	LOCATION
H11	TYPE C HEADWALL (12")	460.30	460.30	462.05	D.5.21	TBD
E50.1	12" RCP	458.80	458.80	458.80	D.5.11	TBD

SOILS LEGEND HOWARD COUNTY SOILS MAP #14				
SYMBOL / DESCRIPTION	GROUP	K FACTOR	ERODIBLE	HYDRIC
GhB Glenelg-Urban land complex, 0 to 8 percent slopes	B	0.43	NO	NO
LoB Lagore-Montalto-Urban land complex, 0 to 8 percent slopes	C	0.64	NO	NO
LnB Lagore-Montalto-Urban silt loams, 3 to 8 percent slopes	C	0.64	NO	NO

-TAKEN FROM: USDA, SCS-WEB SOIL SURVEY, HOWARD COUNTY.  
-K VALUES PER <https://www.howardcountygov.org/documents/11474/11474.pdf> (USE KW).  
-HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:  
*Phil Edmondson*  
8/24/2022

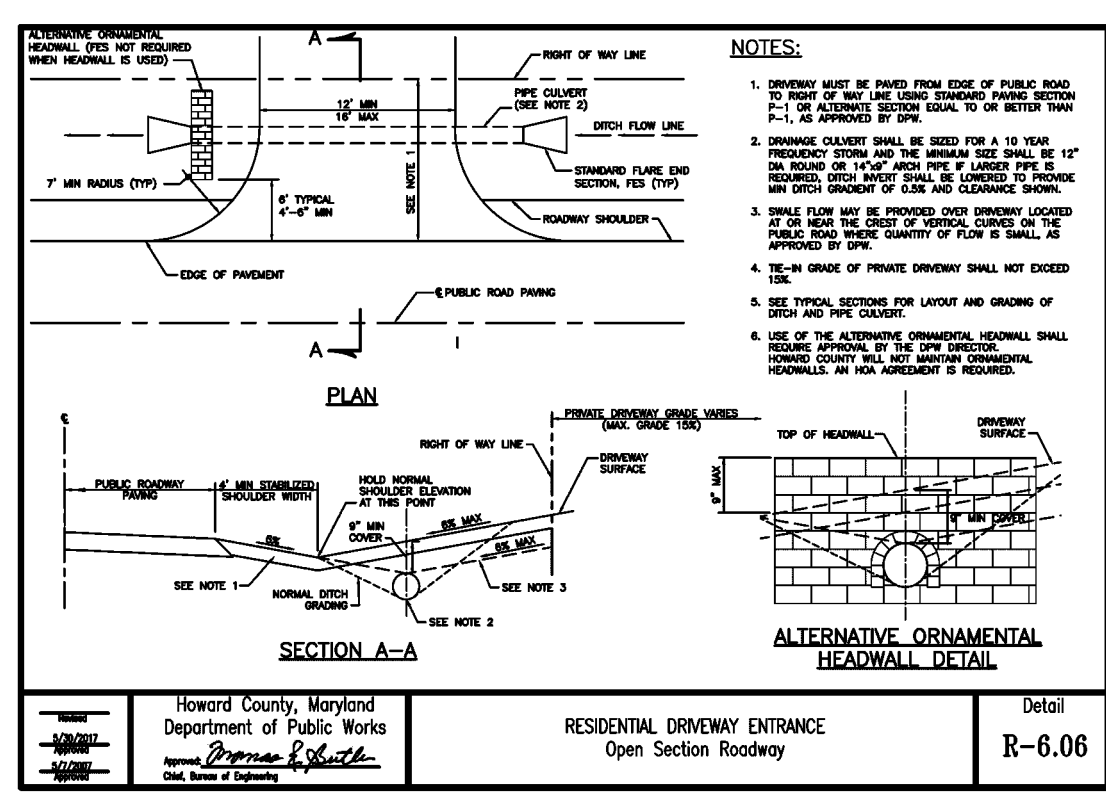
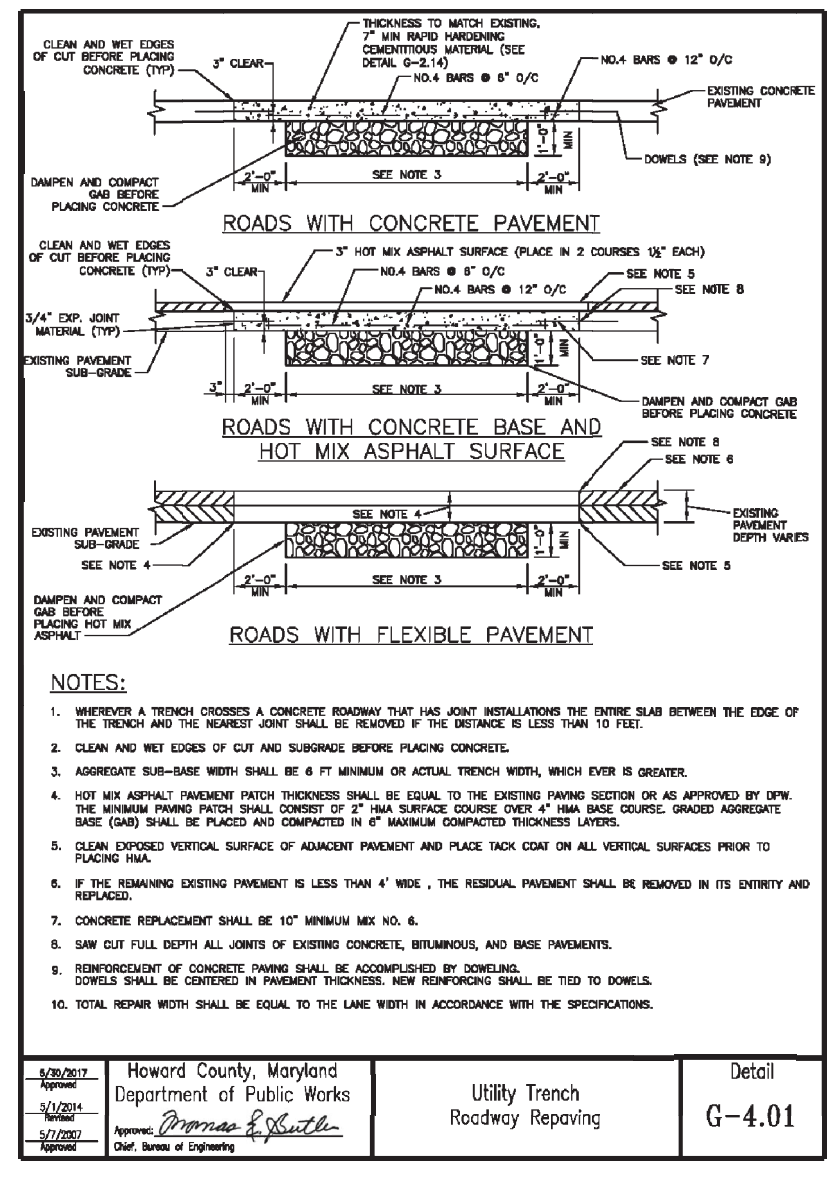
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:  
*Phil Edmondson*  
8/24/2022

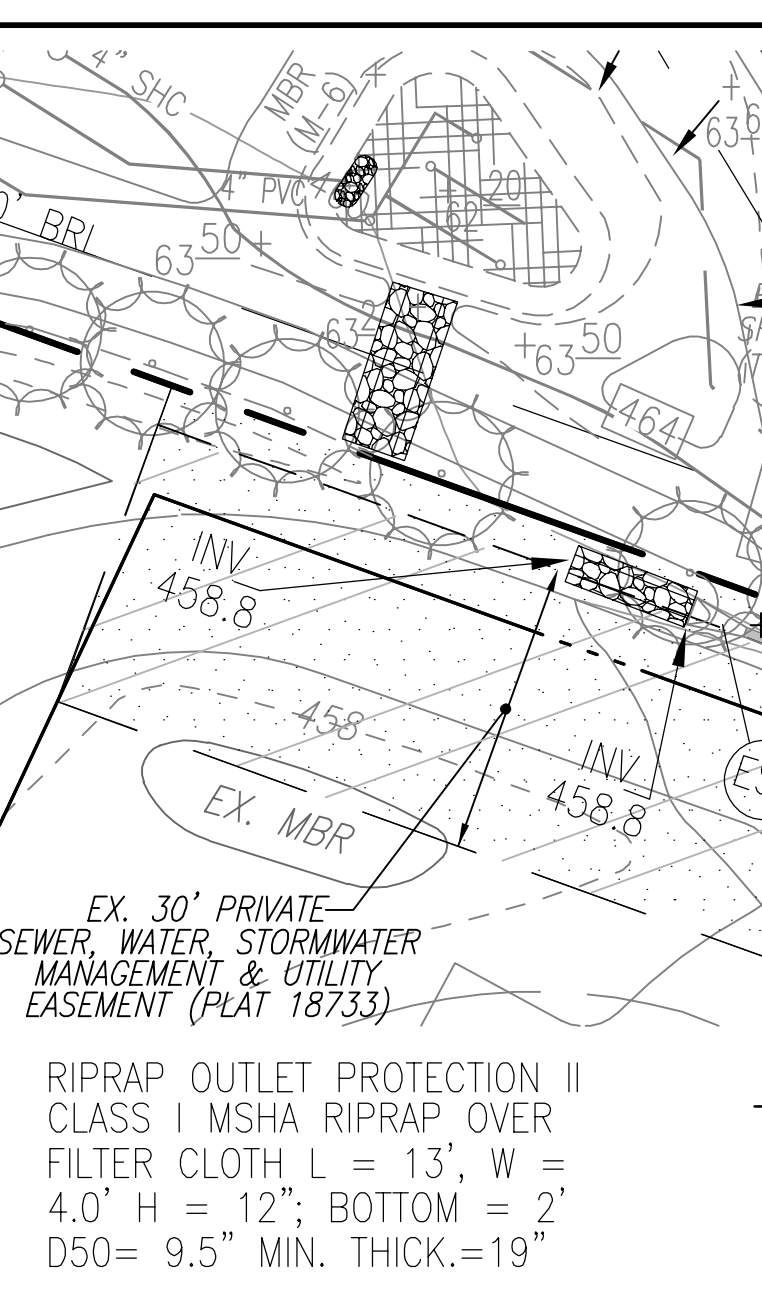
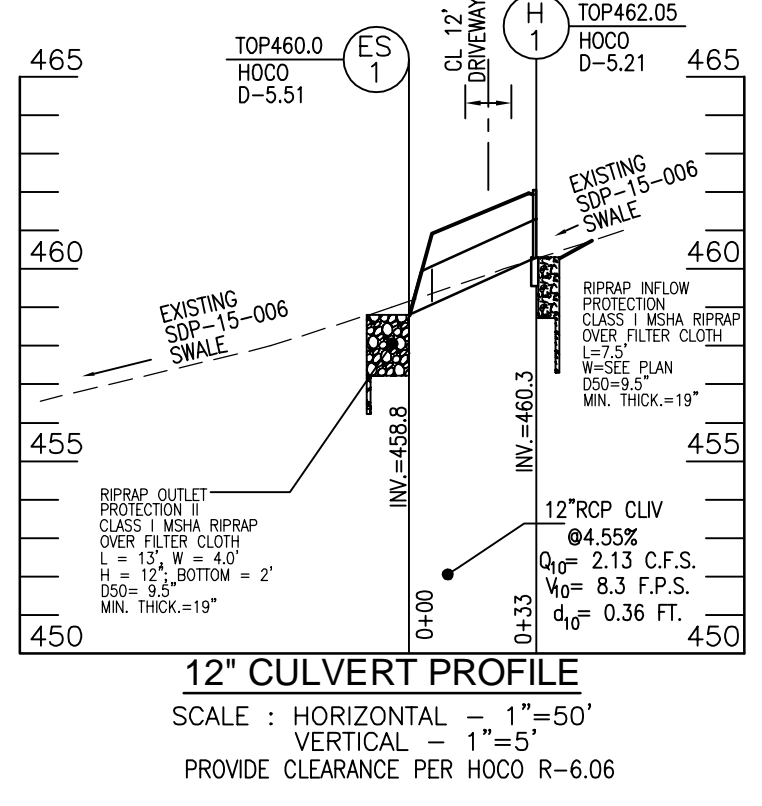
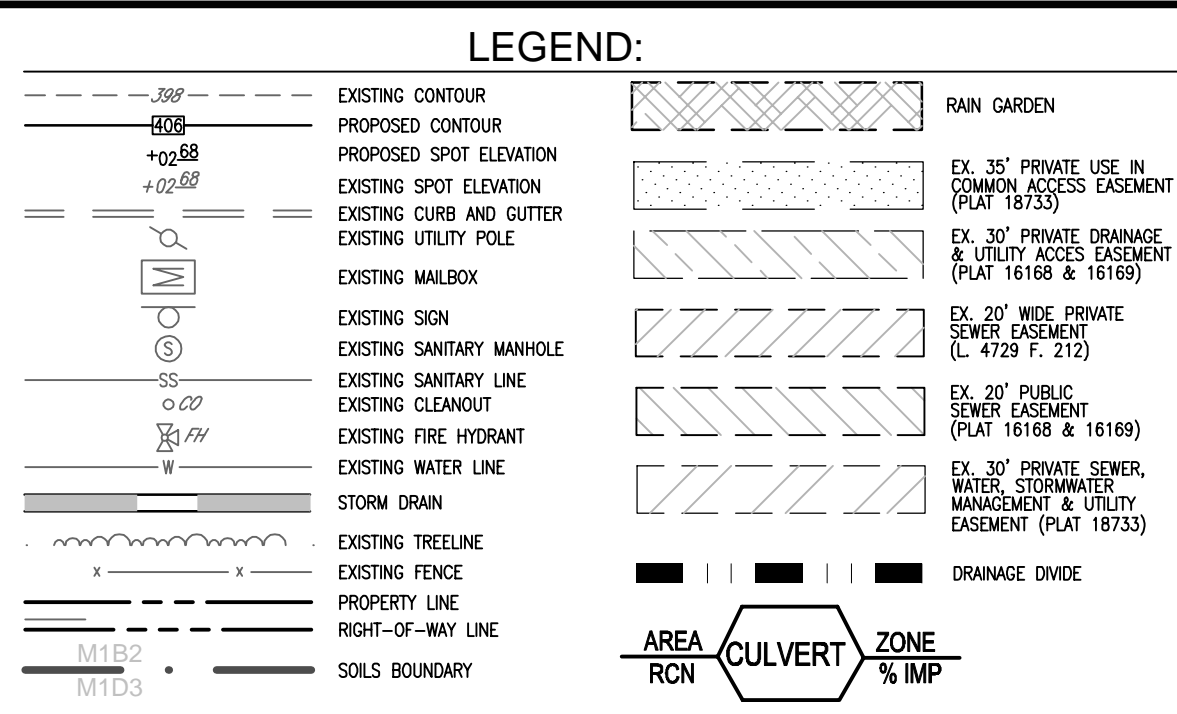
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:  
*Phil Edmondson*  
8/24/2022

DIRECTOR DATE

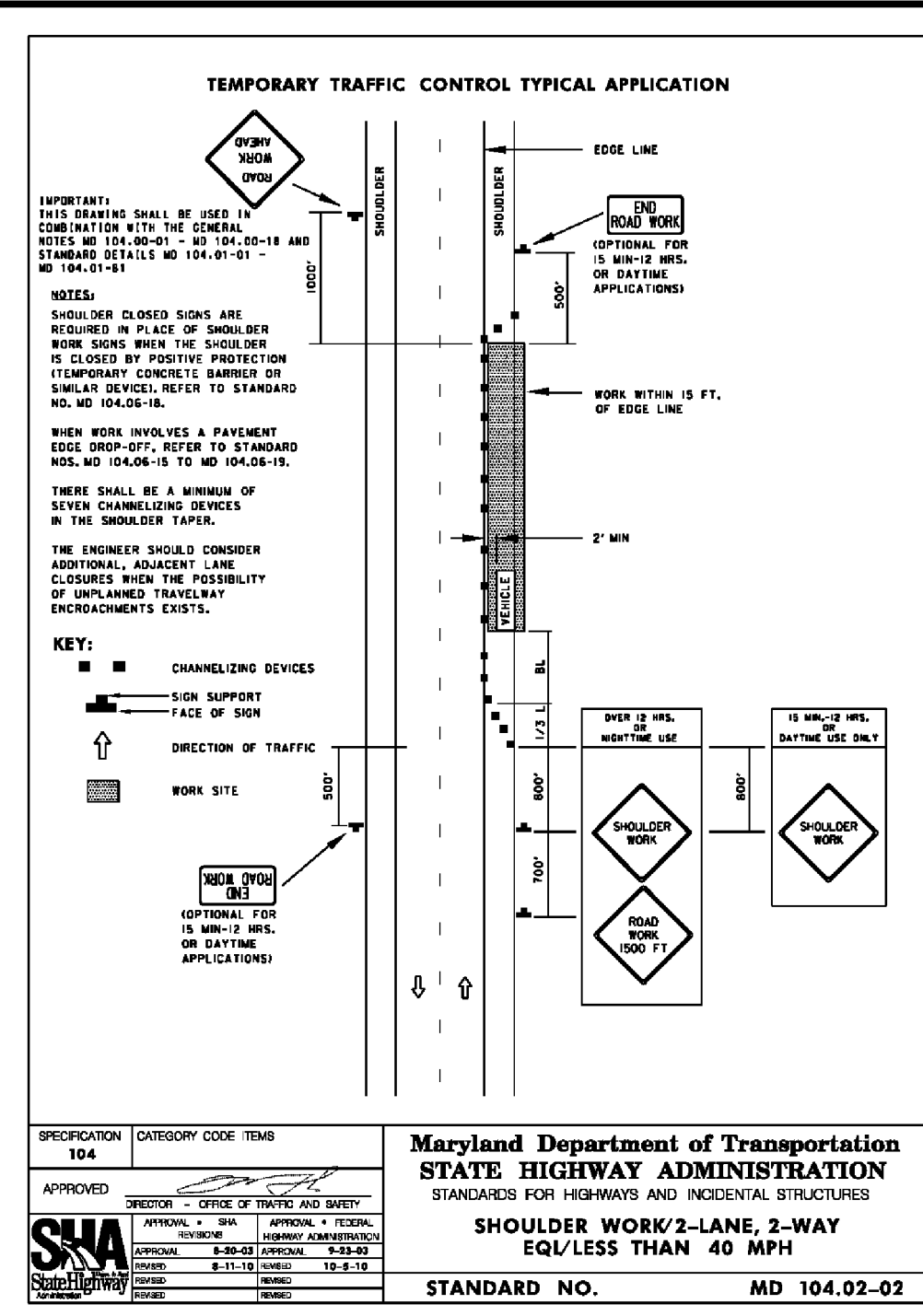


SECTION	ROAD AND STREET NUMBER	CULVERTS PER ROW (FOOT)						
		1	2	3	4	5	6	7
P-1	...	...	...	...	...	...	...	...
P-2	...	...	...	...	...	...	...	...
P-3	...	...	...	...	...	...	...	...
P-4	...	...	...	...	...	...	...	...

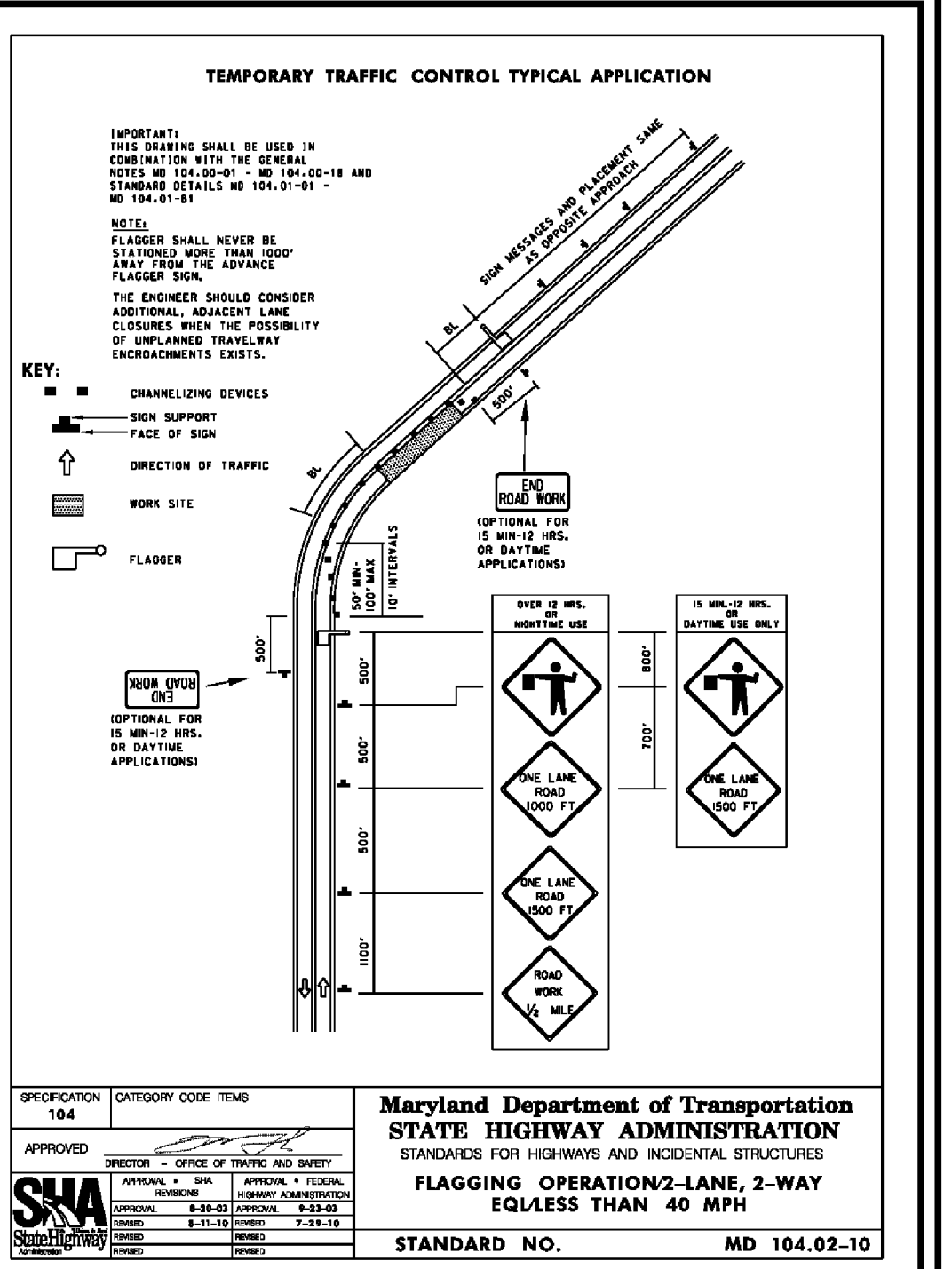


**CULVERT COMPUTATIONS**

D.A. = 1.09 ACRES  
C FACTOR = 0.23  
TC = 5 MIN (WORST CASE)  
Q = C x I x A  
Q10 = 0.23 x 8.5 x 1.09  
Q10 = 2.13 CFS



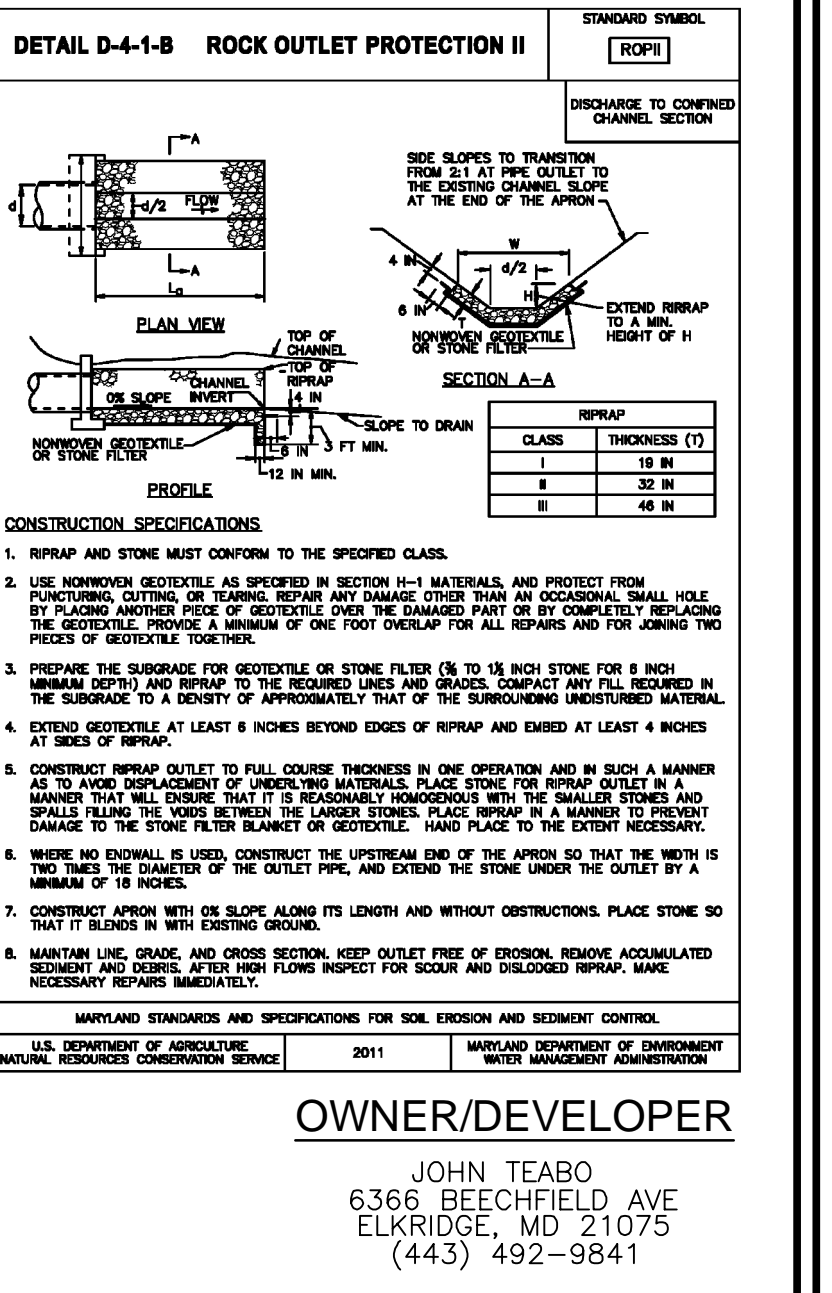
Maryland Department of Transportation  
**STATE HIGHWAY ADMINISTRATION**  
STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES  
**SHOULDER WORK 2-LANE, 2-WAY  
LESS THAN 40 MPH**  
STANDARD NO. MD 104.02-02



Maryland Department of Transportation  
**STATE HIGHWAY ADMINISTRATION**  
STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES  
**FLAGGING OPERATION 2-LANE, 2-WAY  
LESS THAN 40 MPH**  
STANDARD NO. MD 104.02-10

**HIGH RIDGE ROAD  
TYPICAL WORK ZONE  
TRAFFIC CONTROL DETAILS**

ALL WORK WITHIN THE HIGH RIDGE ROAD PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE STANDARD MARYLAND STATE HIGHWAY ADMINISTRATION DETAILS: MD 104.02-02 & MD 104.02-10 OR AS DIRECTED BY THE HOWARD COUNTY - TRAFFIC ENGINEERING DIVISION.



**OWNER/DEVELOPER**

JOHN TEABO  
6366 BEECHFIELD AVE  
ELKRIDGE, MD 21075  
(443) 492-9841

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN  
DRIVEWAY CULVERT  
DRAINAGE AREA MAP & PROFILE  
TRAFFIC CONTROL DETAILS  
**STAMATAKIS PROPERTY**

2  
HIGH RIDGE ROAD, ELLICOTT CITY, MD 21043  
PLAT 25635

TAX MAP: 18 PARCEL: 263  
2ND ELECTION DISTRICT

BLOCK: 13 ZONING: R-20  
HOWARD COUNTY, MARYLAND

**VOGEL ENGINEERING**  
TIMMONS GROUP

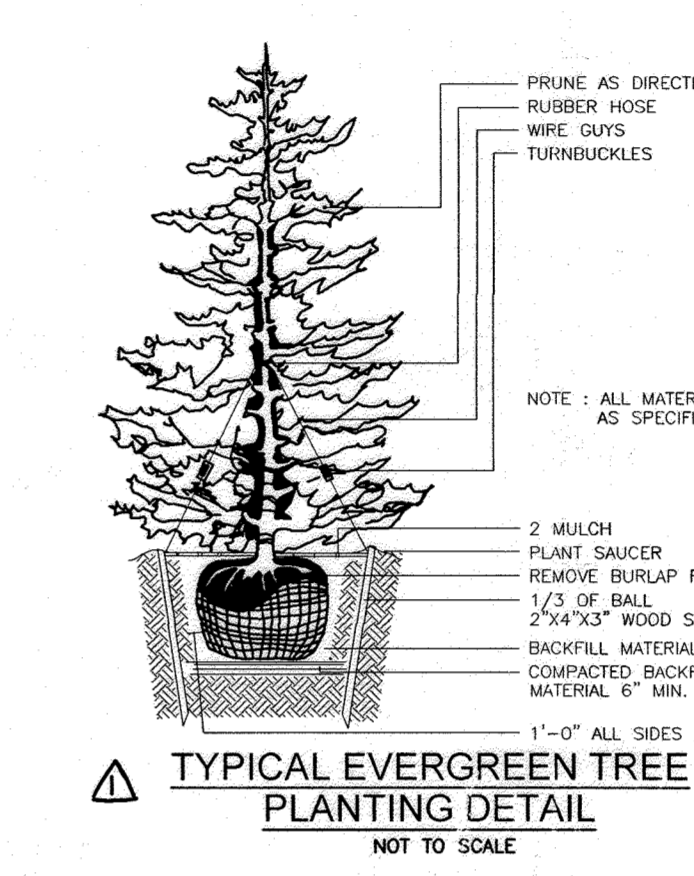
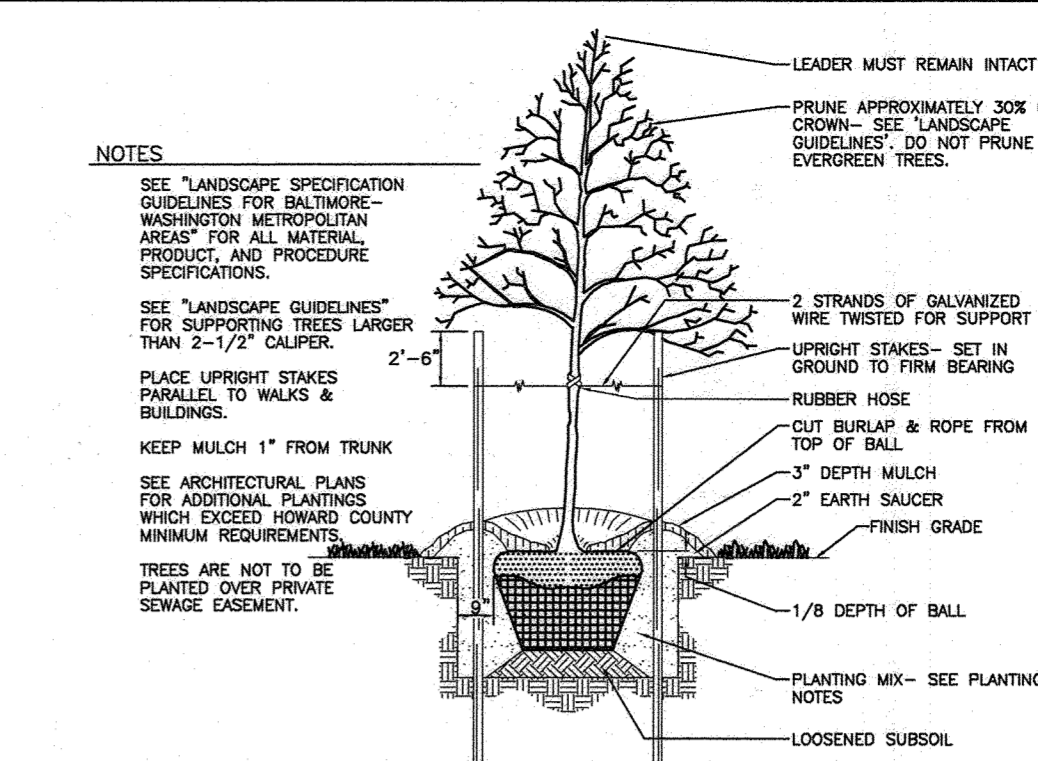
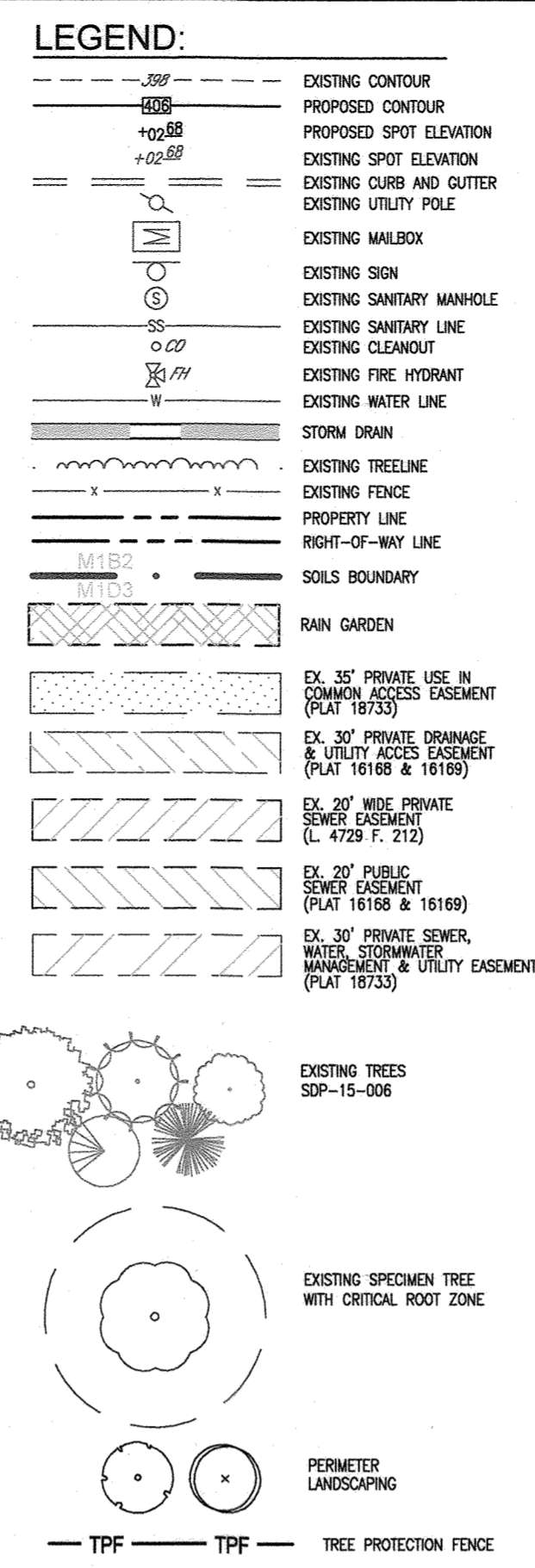
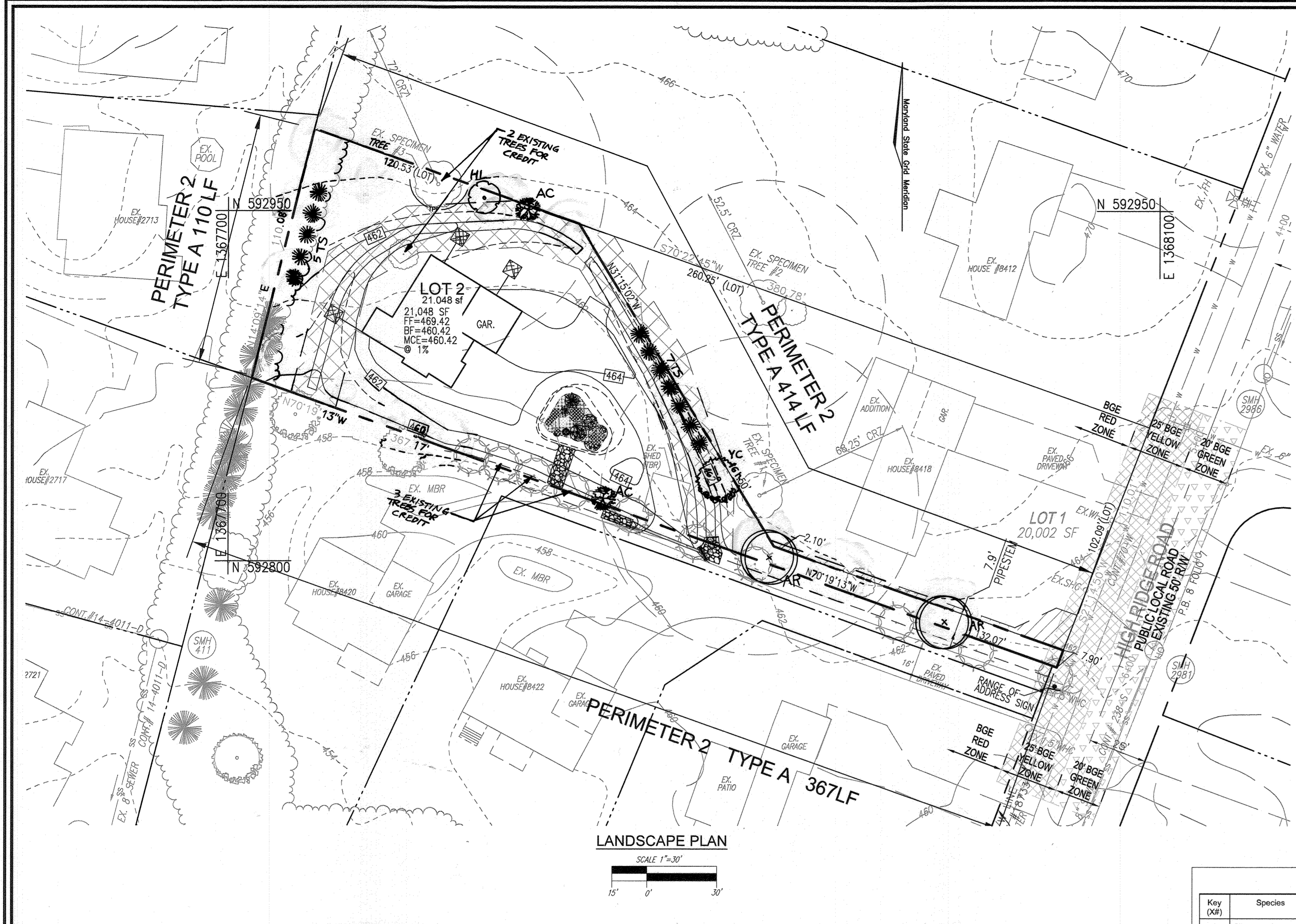
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2022

DESIGN BY: RHV  
DRAWN BY: ONB  
CHECKED BY: RHV  
DATE: JULY 2022  
SCALE: AS SHOWN  
W.O. NO.: 05-09/40398

5 SHEET OF 7



**SCHEDULE A PERIMETER LANDSCAPE EDGE**

CATEGORY	ADJACENT TO ROADWAYS AND PERIMETER PROPERTIES	TOTAL
PERIMETER FRONTAGE DESIGNATION	N/A	A
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	8'	891'
CREDIT FOR EXISTING VEGETATION (YES/NO LINEAR FEET DESCRIBE BELOW IF NEEDED)	NO	YES**
CREDIT FOR WALL, FENCE OR BERM (YES/NO LINEAR FEET DESCRIBE BELOW IF NEEDED)	NO	NO
NUMBER OF PLANTS REQUIRED	160	15
SHADE TREES	1	1
EVERGREEN TREES	159	14
NUMBER OF PLANTS PROVIDED	3	3
SHRUBS (1:1 SUBSTITUTION)	12	6
OTHER TREES (2:1 SUBSTITUTION)	3	1.5
SHRUBS (1:1 SUBSTITUTION)	1	1
EX. SPECIMEN TREES TO REMAIN	1	1
DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED		

**LANDSCAPE SCHEDULE - REQUIRED PLANTING**

SYMB.	KEY	QUAN.	BOTANICAL NAME	SIZE	CAT
AR	9	2	ACER RIBRISAN 'OCTOBER GLORY'	2.5"-3" CAL	B & B
AR	9	2	OCTOBER GLORY RED MAPLE	2 1/2" CAL	B & B
AR	6	1	QUERCUS COCONEA SCARLET OAK		B & B

**LANDSCAPE SCHEDULE NOTE:**

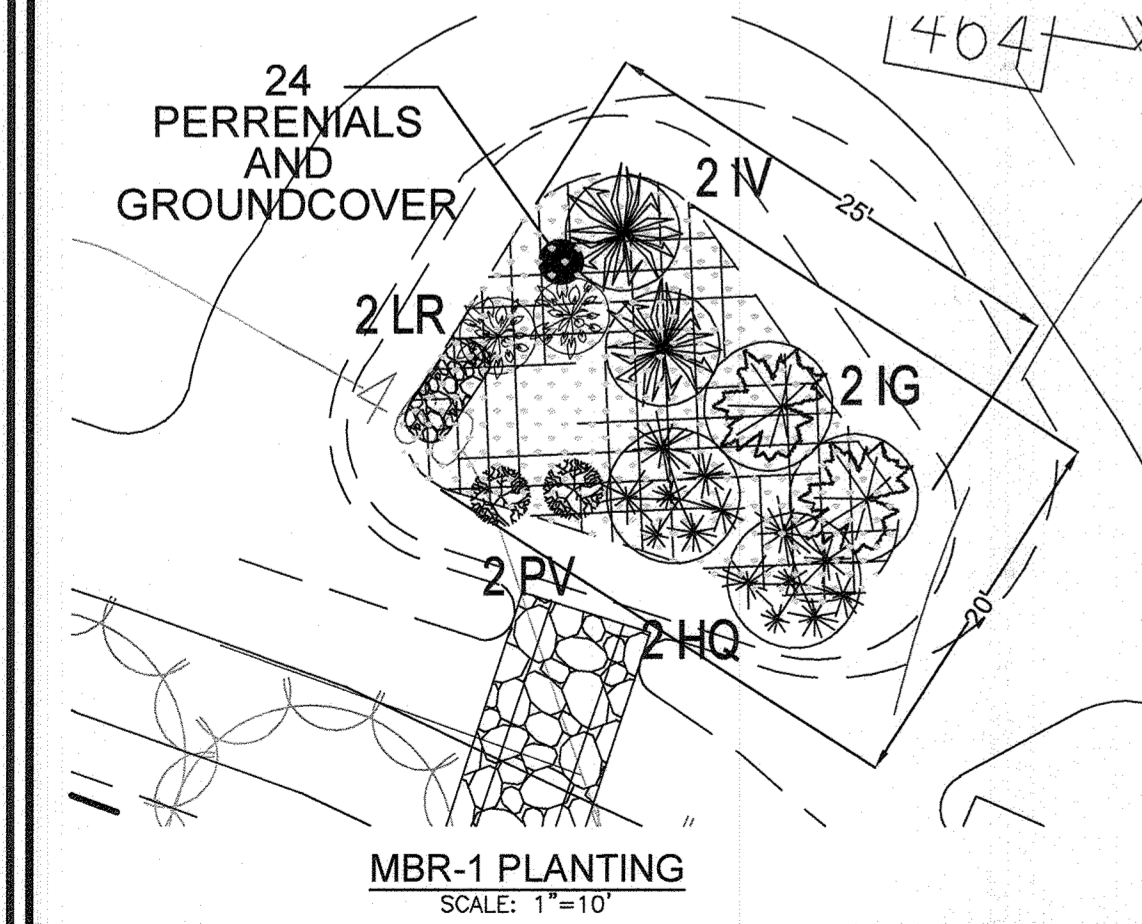
- ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT AN SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH HOWARD COUNTY LANDSCAPE MANUAL.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

**LANDSCAPING NOTES:**

- AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
- THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS GIVEN, DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD, AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE HOWARD COUNTY LANDSCAPE MANUAL.
- PLANTINGS SHOWN HEREON ARE THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL DURING THE CONSTRUCTION OF THE FINAL PLAN.
- SURETY FOR THE PROPOSED LANDSCAPING SHALL BE BASED ON THE NUMBER OF PLANTS REQUIRED.
- THE REMOVAL OF TREES 30" OR GREATER DBH IS PROHIBITED WITHOUT COUNTY APPROVAL.

**"MICRO-BIORETENTION" PLANTING SCHEDULE NOTES:**

- ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT AN SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH HOWARD COUNTY LANDSCAPE MANUAL.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.
- MICROBIORETENTION AREAS ARE TO BE PLANTED BASED ON A MINIMUM DENSITY OF 1000 STEMS PER PLANTED ACRE (0.229 STEMS PER SQUARE FOOT), ABOVE PLANTING RATIOS ARE TO BE APPLIED TO THE AREAS PROVIDED IN THE ESDV SUMMARY.
- FILTER AREA SHALL BE 50% COVERED BY PLANTINGS AT FULL GROWTH.



**MBR PLANTING SCHEDULE (SHRUB/ORNAMENTAL GRASSES)**

LEGEND/KEY	QTY	BOTANICAL NAME/COMMON NAME	SIZE	REMARKS
IG	2	ILEX GLABRA 'SHAMROCK' INKBERRY HOLLEY	1 GALLON	-
IV	2	ITEA VIRGINICA 'HENRY'S GARNETT' VIRGINIA SWETSPIRE	1 GALLON	-
HQ	2	HYDRANGEA QUERCIFOLIA OAKLEAF HYDRANGEA	1 GALLON	-
LR	2	LEUCOTHEA RAEMOSA FETTERBUSH	1 GAL.	-
PV	2	PANICUM VIRGATUM SWITCHGRASS	1 GAL.	-

**MBR PERENNIALS/GROUND COVER PLANTING SCHEDULE**

LEGEND	QTY	BOTANICAL NAME/COMMON NAME	SIZE	REMARKS
IG	12	BAPTISIA AUSTRALIS FALSE INDIGO	4" POT	12"-15" O.C. FOR SIDES AND BOTTOM OF MBR. MIX ALL VARIETIES IN A NATURALIZED RANDOM PATTERN THROUGHOUT. PLANT IN GROUPS OF NO LESS THAN 9 PLANTS PER CLUMP.
HQ	12	ACORUS GRAMINEUS 'OGON' GOLDEN VARIEGATED SWEET FLAG	1 QT.	

**MICROBIORETENTION PLANTING REQUIREMENTS**

ROW	LF	AREA	STEMS REQUIRED (0.0227)	STEMS PROVIDED	IG	IV	HQ	LR	PV	BA	AG	TOTAL
SWM#1	26	349	8	10	2	2	2	2	2	2	2	12
TOTALS:	26	349	8	10	2	2	2	2	2	2	2	12

**Appendix A. Landscaping Guidance for Stormwater BMPs - Specific Landscaping Criteria**

Tree	Shrub	Herbaceous Species
<i>Acer rubrum</i>	<i>Acerola parviflora</i>	<i>Andropogon virginicus</i>
<i>Red Maple</i>	<i>Bottlebrush Buckeye</i>	<i>Bromus</i>
<i>Black Walnut</i>	<i>Cephaelis occidentalis</i>	<i>Equisetum perfoliatum</i>
<i>River Birch</i>	<i>Burns Bush</i>	<i>Joe Pye Weed</i>
<i>Juniper virginiana</i>	<i>Hamamelis virginiana</i>	<i>Scirpus pungens</i>
<i>Eastern Red Cedar</i>	<i>Witch Hazel</i>	<i>Three Square Balm</i>
<i>Chionodoxa virginica</i>	<i>Vaccinium corymbosum</i>	<i>Iris versicolor</i>
<i>Potamogeton</i>	<i>Highbush Blueberry</i>	<i>Blue Flag</i>
<i>Nyssa sylvatica</i>	<i>Ilex glabra</i>	<i>Lobelia cardinalis</i>
<i>Black Gum</i>	<i>Laberry</i>	<i>Cardinal Flower</i>
<i>Diostyris virginiana</i>	<i>Ilex verticillata</i>	<i>Panicum virginatum</i>
<i>Persea</i>	<i>Winterberry</i>	<i>Switchgrass</i>
<i>Platanus occidentalis</i>	<i>Viburnum dentatum</i>	<i>Dichostemum scoparium</i>
<i>Syringa</i>	<i>Arrowwood</i>	<i>Broom Pansy Grass</i>
<i>Quercus palustris</i>	<i>Lindera benzoin</i>	<i>Rudbeckia lactinosa</i>
<i>Pine Oak</i>	<i>Spicebush</i>	<i>Tall Coneflower</i>
<i>Quercus phellos</i>	<i>Scirpus cyperatus</i>	<i>Woodgrass</i>
<i>Yellow Oak</i>	<i>Myrtilus pennsylvanica</i>	<i>Vernonia noveboracensis</i>
<i>Ilex nigra</i>	<i>Bayberry</i>	<i>New York Ironweed</i>
<i>Black Willow</i>		

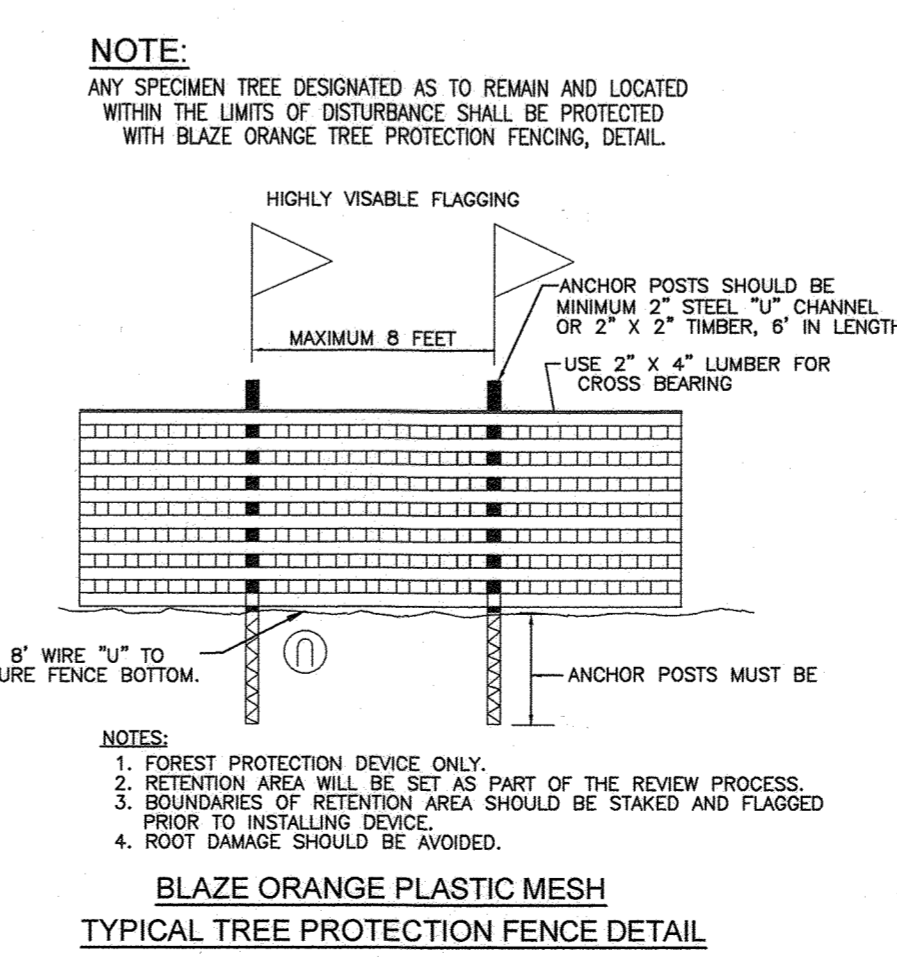
**NOTES:**

- TABLE A.4 IS TAKEN FROM THE "2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II - APPENDIX A"
- CONTRACTOR SHALL BE FAMILIAR WITH APPENDIX B.4.C. CONSTRUCTION SPECIFICATIONS AND TABLE B.4.1 MATERIAL SPECIFICATIONS. IN ADDITION THE "2000 MARYLAND STORMWATER DESIGN MANUAL - VOLUME II - APPENDIX A OFFERS ADDITIONAL HELPFUL INFORMATION."
- NO TREES SHALL BE PLANTED WITHIN A MBR FACILITY, USE ONLY SHRUB OR HERBACEOUS SPECIES.
- ABOVE TABLE A.4. IS FOR INFORMATIONAL PURPOSES ONLY. LANDSCAPE CONTRACTOR SHALL INSTALL PLANTINGS SPECIFIED OR USE APPROVED EQUIVALENT SPECIES WHICH ARE TOLERANT TO FLUCTUATING WATER LEVELS.
- PLANTINGS SHOWN HEREON ARE THE RESPONSIBILITY OF THE OWNER/DEVELOPER TO INSTALL DURING THE CONSTRUCTION OF THIS PLAN.

**Specimen Tree Chart**

Key (X#)	Species	Size (H-DBH)	CRZ (ft-Radius)	Comments
1	Silver maple	45.5	68.25	fair condition, limited crown
2	White pine	35	52.5	good condition
3	Silver maple	48	72	fair condition, good shape but trunk rot noted

**NOTE:** SPECIMEN TREES TO REMAIN UNDISTURBED.



**B & E NOTES:**

- BEE RESERVES THE RIGHT TO TRIM, TOP OR CUT DOWN ANY TREE IN PROXIMITY TO THE LINE THAT IN THE OPINION OF BEE SHALL BE DEEMED A HAZARD TO THE SAFE AND RELIABLE DELIVERY OF ELECTRICITY.
- THE DEPARTMENT OF PLANNING AND ZONING MAY AUTHORIZE THE TRIMMING OR REMOVAL OF TREES OR VEGETATION IMMEDIATELY ADJACENT TO THE BEE R/W OR EASEMENT, IF BEE DETERMINES THE TREES ARE COMPROMISING THE SAFETY OF A TRANSMISSION LINE LOCATED WITHIN THEIR UTILITY R/W OR EASEMENT, IF BEE INTENDS TO TRIM OR REMOVE TREES WITHIN A FOREST CONSERVATION EASEMENT, A LETTER SPECIFYING THE LOCATION AND SCOPE OF WORK NEEDS TO BE SENT TO DPZ AT LEAST 30 DAYS IN ADVANCE OF UNDERGOING THE WORK. DPZ UNDERSTANDS CONSULTATION ENERGY'S NEED TO PROTECT ITS TRANSMISSION LINE.
- CALL AND UTILITY TO MARK UP THE LOCATION OF EXISTING GAS LINE BEFORE PLANTING ALONG TREES THE USE-IN-COMMON DRIVEWAY AND HIGH RIDGE ROAD & PLANT STREET TREES AWAY FROM EXISTING GASLINE AS REQUIRED.

DPZ'S POLICIES GOVERNING THE PLACEMENT OF LANDSCAPING AND STREET TREES IN PROXIMITY TO BEE'S POWER LINES OR TRANSMISSION RIGHT-OF-WAY ARE BASED ON BEE'S PUBLISHED "PLANTING ZONE CONCEPT" WHICH STIPULATES THE MAXIMUM ALLOWABLE SIZE OF PLANT MATERIALS FOR THREE DEFINED ZONES. AS THE DISTANCE FROM BEE EQUIPMENT INCREASES, SO DOES THE SIZE OF THE ALLOWABLE PLANT MATERIALS. THESE THREE ZONES ARE DEFINED AS FOLLOWS:

ZONE	DISTANCE FROM THE BEE POWER LINE OR TRANSMISSION RIGHT-OF-WAY	MAXIMUM HEIGHT OF VEGETATION
GREEN	UP TO 20 FEET	25 FEET
YELLOW	BETWEEN 20 FEET AND 45 FEET	40 FEET
RED	BEYOND 45 FEET	ABOVE 40 FEET

**FOREST CONSERVATION NOTE**  
IN ACCORDANCE WITH SECTION 18.1202(b)(1)(vi), THIS PROJECT IS EXEMPT FROM FOREST CONSERVATION OBLIGATIONS.

**OWNER/DEVELOPER**

JOHN TEABO  
6366 BEECHFIELD AVE  
ELK RIDGE, MD 21075  
(443) 492-9841

**SITE DEVELOPMENT PLAN LANDSCAPE PLAN, NOTES AND DETAILS**

**STAMATAKIS PROPERTY**  
LOT 2  
HIGH RIDGE ROAD, ELLICOTT CITY, MD 21043  
PLAT 25635

**VOGEL ENGINEERING**  
**TIMMONS GROUP**  
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com

**DESIGN BY:** RHY  
**DRAWN BY:** ONB  
**CHECKED BY:** RHY  
**DATE:** JULY 2022  
**SCALE:** AS SHOWN  
**W.O. NO.:** 05-09/40398

**PROFESSIONAL CERTIFICATE**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 18193, EXPIRATION DATE 09-27-2022.

**6** SHEET **7**

**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING**

8/24/2022  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
8/24/2022  
CHIEF, DIVISION OF LAND DEVELOPMENT  
8/24/2022  
DIRECTOR

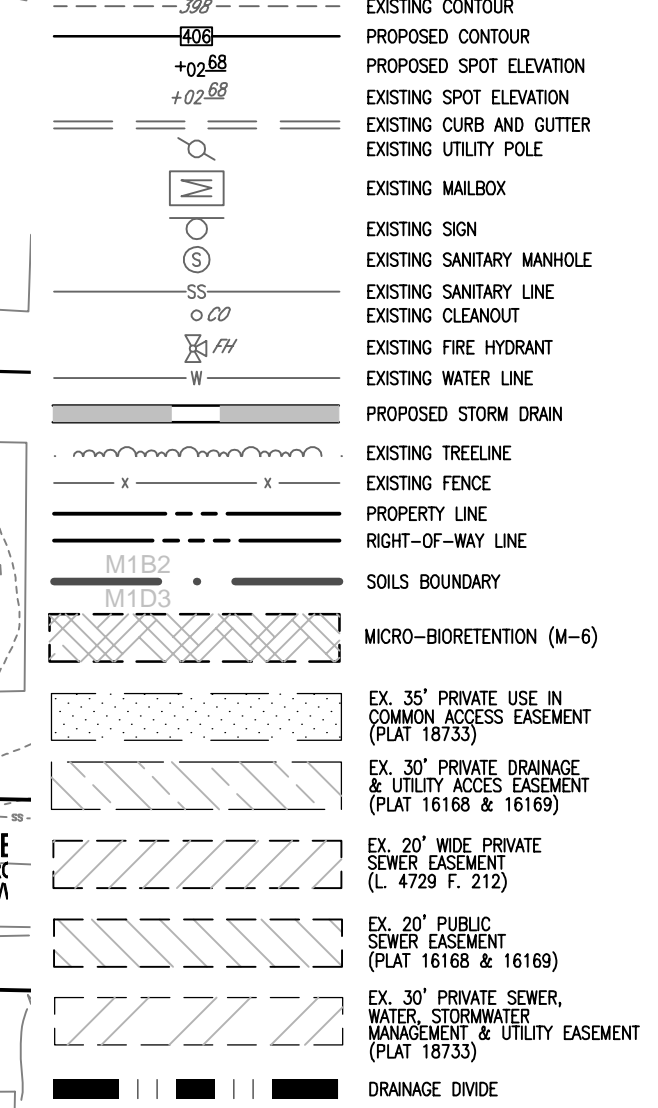
**DEVELOPER'S/BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 18.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

8/15/2022  
SIGNATURE OF DEVELOPER  
DATE



LEGEND:

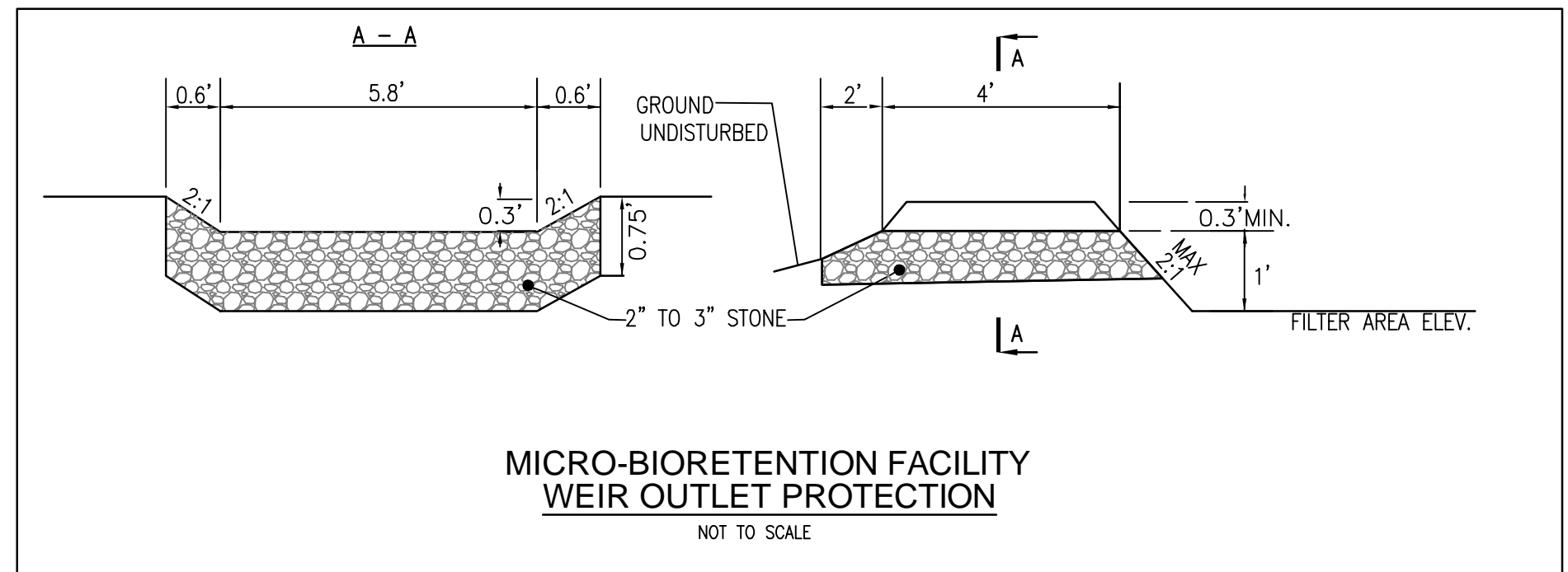


Appendix B.4.C Construction Specifications for Environmental Site Design Practices

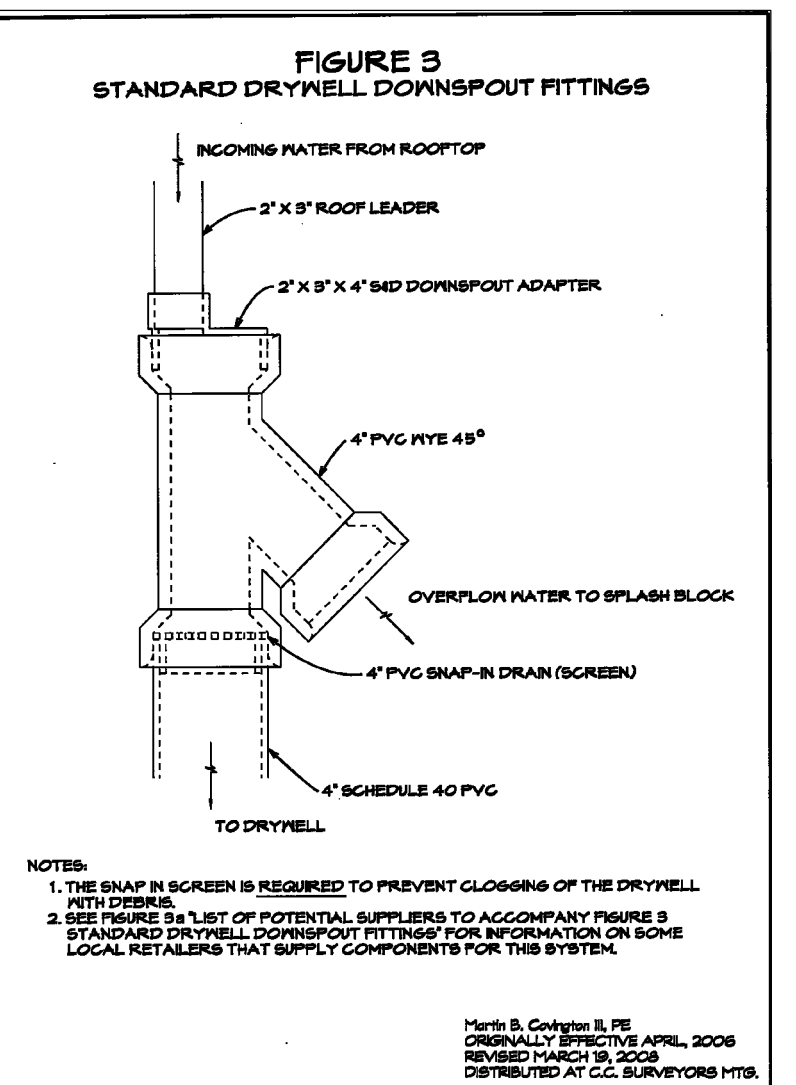
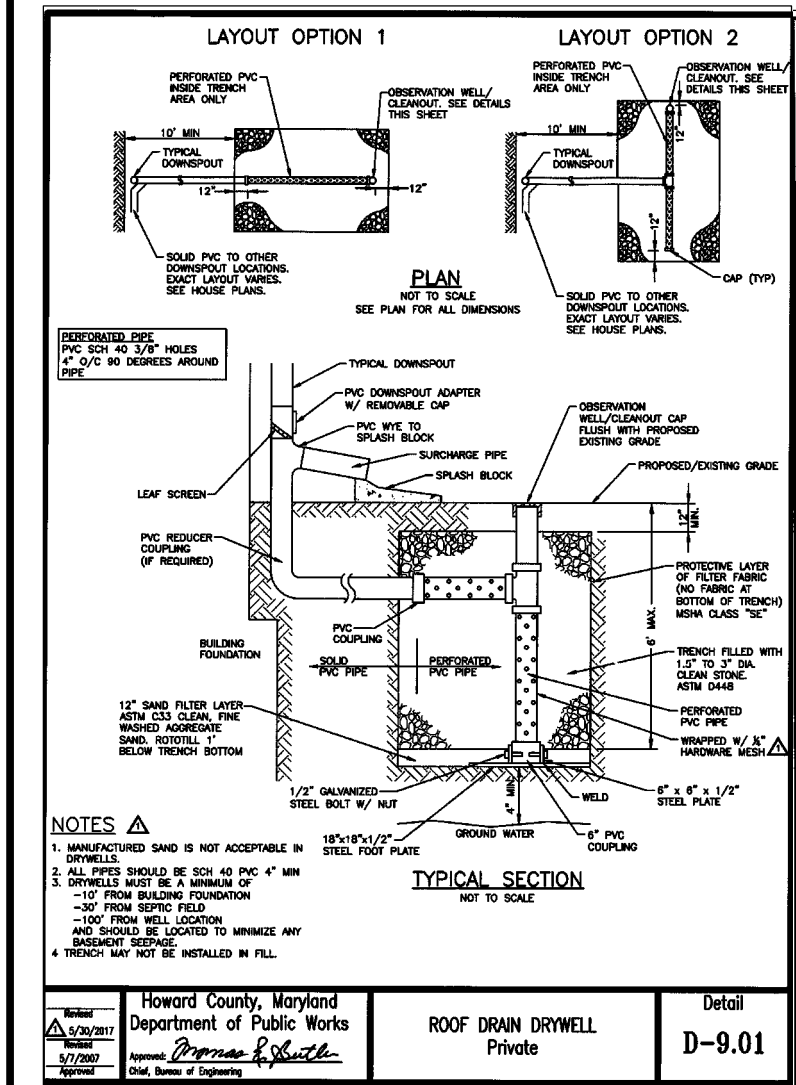
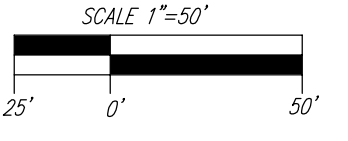
Table B.4.1 Materials Specifications for Micro-Bioretentation, Rain Gardens & Landscape Infiltration. Columns include Material, Specification, Size, and Notes.

APPENDIX B.4.C SPECIFICATIONS FOR MICRO-BIORETENTION, RAIN GARDEN, LANDSCAPE INFILTRATION & INFILTRATION BERMS

- 1. MATERIAL SPECIFICATIONS
2. FILTERING MEDIA OR PLANTING SOIL
3. COMPACTION
4. PLANT MATERIAL
5. PLANT INSTALLATION



PLAN VIEW



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Date: 8/24/2022

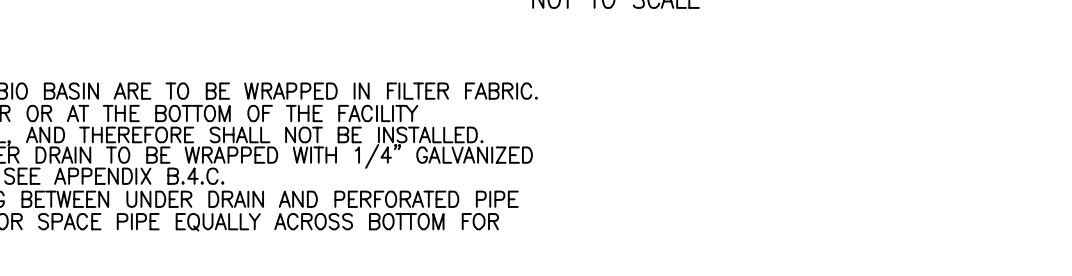
STAMATAKIS PROPERTY - SDP ESDv COMPUTATIONS. Table with columns for DA, S, DA, DA, MINIMUM VOLUME, MAXIMUM VOLUME, 14" VOLUME PROVIDED, IMPERV, PERV, GREEN AREA, and REMARKS.

STAMATAKIS PROPERTY - SDP ESDv COMPUTATIONS. Table with columns for DA, S, DA, DA, MINIMUM VOLUME, MAXIMUM VOLUME, 14" VOLUME PROVIDED, IMPERV, PERV, GREEN AREA, and REMARKS.

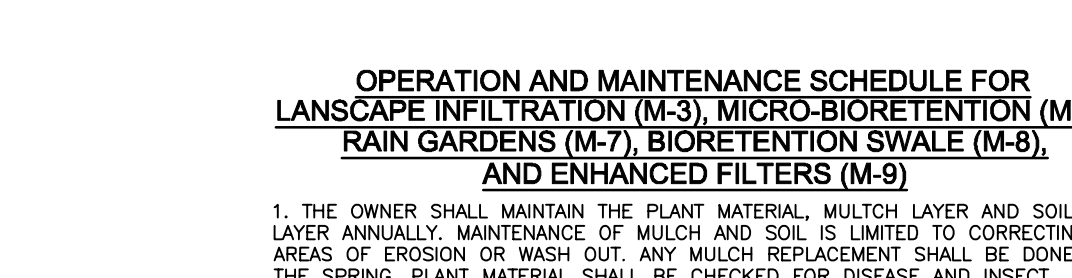
MICRO-BIORETENTION

- 1. ONLY THE SIDES OF MICRO-BIO BASIN ARE TO BE WRAPPED IN FILTER FABRIC.
2. PERFORATED PVC/HOPE UNDER DRAIN TO BE WRAPPED WITH 1/4" GALVANIZED HARDWARE CLOTH OR EQUAL.
3. PROVIDE 5" MINIMUM SPACING BETWEEN UNDER DRAIN AND PERFORATED PIPE THROUGH STONE RESERVOIR OR SPACE PIPE EQUALLY ACROSS BOTTOM FOR SMALL BIOS.

(M-6) MICRO-BIORETENTION (UNDERDRAIN)



(M-6) MICRO-BIORETENTION (OVERFLOW)



MICRO BIORETENTION DATA CHART. Table with columns for MBR Facility, ELEV, Ponding Elevation, Top of Mulch, Bottom of Mulch, Depth of Plant Mix, Bottom of Plant Mix, Bottom of Invert of Underdrain, and Bottom of Stone.

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SITE DEVELOPMENT PLAN
STORMWATER MANAGEMENT
DRAINAGE AREA MAP, NOTES AND DETAILS
STAMATAKIS PROPERTY
LOT 2
HIGH RIDGE ROAD, ELLICOTT CITY, MD 21043
PLAT 25635

TAX MAP: 18 PARCEL: 263
2ND ELECTION DISTRICT
BLOCK: 13 ZONING: R-20
HOWARD COUNTY, MARYLAND

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PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2022