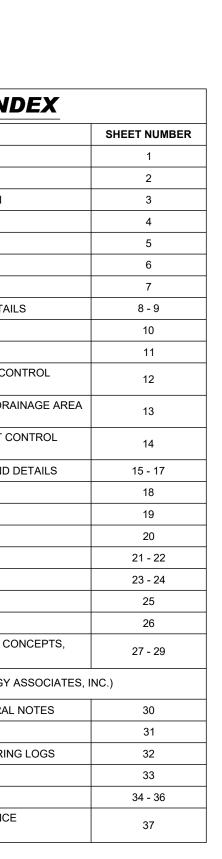
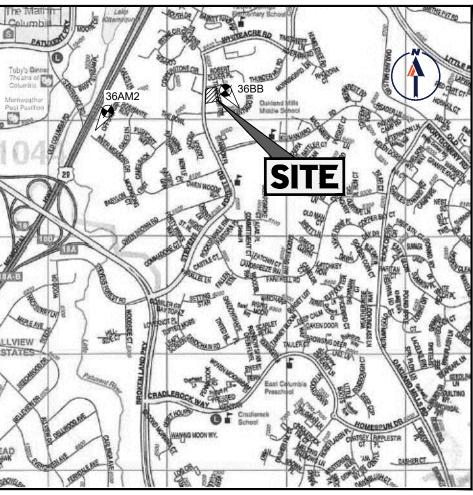
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TE DEVELOPMENT PLAN

———— FOR ————— **CROSSROADS WEST, LLC**



7-ELEVEN STEVENS FOREST LOCATION OF SITE 5901 & 5911 STEVENS FOREST ROAD COLUMBIA, MARYLAND **TAX MAP 36, GRID 10, PARCEL 300 HOWARD COUNTY 6TH ELECTION DISTRICT ZONE: NT**



LOCATION MAP Copyright ADC THE MAP PEOPLE

PERMIT USE NO. 20602153-5 SCALE: 1"=2000' ADC MAP COORDINATES 4932-E7

PERMIT INFORMATION CHART

SUBDIVISION NAME VILLAGE OF OAKLAND MILLS VILLAGE CENTER		SECTION/AREA		LOT/PARCEL NO.		
		SECTION 2, AREA 2		300		
PLAT # OR L/F 13685/223	GRID #	ZONING	TAX MAP	ELECTION		CENSUS
P.B. 15, F. 82	10	NT	36	DISTRICT	6	TRACT 6028

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATION HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKIN PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO EXCAVATION WORK BEING DONE. 4. THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT M INSTALLED BEFORE THE BASE PAVING IS COMPLETED. THE TRAFFIC CONTROL DEVICE LOCATION ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES. ALL TRA CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIO "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MD MUTCD). ALL SIGN POSTS US TRAFFIC CONTROL SIGNS INSTALLED WITHIN COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A GALVANIZED STEEL, PERFORATED (QUICK PUNCH), SQUARE TUBE POST (14 GAUGE) INSERTED IN GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SI EXTEND MORE THAN TWO QUICK PUNCH HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL P SHALL BE MOUNTED ON TOP OF EACH POST. 5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED. 6. THE PROPERTY BOUNDARY, EXISTING UTILITIES AND ON-SITE EXISTING TOPOGRAPHY (INCLUDIN 25' OF THE PROPERTY) IS BASED ON A BOUNDARY & TOPOGRAPHIC SURVEY BY BOHLER ENGINEE TITLED: "ALTA/NSPS LAND TITLE SURVEY; RELIABLE REAL ESTATE SERVICES, LLC; 5901 STEVENS ROAD; 16TH ELECTION DISTRICT; HOWARD COUNTY, MARYLAND", PROJECT NO. SD202104, DATED 7. EXISTING OFFSITE TOPOGRAPHY (>25' FROM THE PROPERTY) SHOWN HEREON IS BASED ON HOW COUNTY GIS. 8. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN T COUNTY GEODETIC SURVEY CONTROL (WHICH IS BASED ON THE MARYLAND STATE PLANE COOR SYSTEM) NO. 36BB WITH A PUBLISHED ELEVATION OF 409.248 FEET. 9. THE SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT DISTRICT. WATER AND SEWER WILL PROVIDED BY EXISTING PUBLIC FACILITIES.
- 10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPEC WATER QUALITY VOLUME WILL BE PROVIDED BY ONE (1) BIORETENTION FACILITY. RECHARGE IS REQUIRED AS THE SITE IS CONSIDERED REDEVELOPMENT. NO DESIGN MANUAL WAIVERS ARE RE FOR DISTURBANCE TO ENVIRONMENTALLY SENSITIVE AREAS AS THERE ARE NONE LOCATED ON OWNER WILL OWN AND MAINTAIN ITS ON-SITE STORMWATER MANAGEMENT FACILITIES TO COUN STANDARDS THROUGHOUT IT'S TENANCY; PROPERTY OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES SHOULD THE OWNER VACATE THE PARCEL
- 11. A FLOODPLAIN STUDY IS NOT REQUIRED FOR THIS PROJECT. THE PROPERTY IS LOCATED IN OTH ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER MAP "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS OF 235", MAP NUMBER 24027C0155D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 6, 2013.
- 12. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHAL PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODP FOREST CONSERVATION EASEMENT AREAS. 13. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY TRAFFIC CONCEPTS, INC., APPROVE
- 13.A. DATE OF REPORT: 2/15/22 13.B. DATE OF COUNTS: 2/3/22 AND 2/5/22 REPORT SUBMITTED AS PART OF PLAN NUMBER SDP-22-027
- 13.E. INTERSECTIONS STUDIED: STEVENS FOREST RD (SFR) @ WHITE ACRE RD (LOS A), SFR @ ROB OLIVER PL (LOS A), SFR @ SANTIAGO RD (LOS A), SFR @ KILIMANJARO RD (LOS A), THUNDER SOHAP LN (LOS A), THUNDER HILL RD @ WHITE ACRE RD (LOS A) 13.F. MITIGATION IS NOT REQUIRED.
- 14. SUBJECT PROPERTY ZONED NT PER THE 10/6/13 COMPREHENSIVE ZONING REGULATIONS.
- 15. SOILS INFORMATION TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND, ISSUED JUNE 12 (VERSION 15).
- 16. THERE ARE NO AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DE THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.B.
- 17. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY ECS MID-ATLANTIC, LLC, DAT REVISED 10/19/22.
- 18. THERE ARE NO AFFORESTATION, REFORESTATION, OR RETENTION REQUIREMENTS FOR THIS PRO THE NET TRACT AREA IS REDUCED BY THE EXISTING IMPERVIOUS, NO FOREST IS PRESENT ON TH AND THE AFFORESTATION/CONSERVATION THRESHOLDS ARE BOTH ZERO FOR THIS PROJECT.
- 19. NO HYDRIC SOILS, SOILS WITH HYDRIC INCLUSIONS OR SOILS WITH LESS THAN 15% SLOPES WITH SIGNIFICANT EROSION POTENTIAL EXIST ON THE SITE.
- 20. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WA
- 21. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF TH BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-5' IN H AND NO MORE THEN 6' LATERALLY FROM THE DOOR. EACH BOX SHALL BE ELECTRONICALLY SUP NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NF 10.12.1.)
- 22. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.

HAVE BEEN NOTED/APPROVED.

- 23 PRIOR TO ANY SITE EXCAVATION THAT MAY ENCOUNTER GROUNDWATER. THE CONTRACTOR IS R TO NOTIFY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT AND IMPLEMENT A SITE SPECIFIC AND SAFETY PLAN IN ACCORDANCE WITH THE "NO FURTHER REQUIREMENTS DETERMINATION" FO PROPERTY ISSUED BY THE VOLUNTARY CLEANUP PROGRAM ON MARCH 24, 2011.
- 24. PRIOR DPZ FILE NUMBERS ASSOCIATED WITH THIS PROJECT INCLUDE PB 15, F. 82, FDP-50-A-I, SDP SDP-70-011, SDP-73-118, AND ECP-22-011.
- 25. THERE ARE NO KNOWN HISTORICAL STRUCTURES OR CEMETERIES ONSITE.
- 26. THIS PLAN IS IN CONFORMANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAN DEVELOPMENT REGULATIONS.
- 27. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF THE ZONING REGULATION
- 28. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APP OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND A BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EC THAT EMITS RADIATION.
- 29. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF HOWARD COUNTY CODE AND LANDSCAPE MANUAL. FINANCIAL SURETY HAS BEEN POSTED WITH T DEVELOPER'S AGREEMENT
- 30. THIS FACILITY MEETS THE THE MOTOR VEHICLE FUELING FACILITY REGULATIONS OF SECTION 131 HCZR AND FDP-50-A-I.
- 31. STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLE SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL, VOLUME III (1993) AND AS MODIFIED BY "GUIDELINES FOR STR LIGHTS IN RESIDENTIAL DEVELOPMENTS (JUNE 1993)." A MINIMUM SPACING OF 20' SHALL BE MAINT BETWEEN ANY STREETLIGHT AND ANY TREE. NO STREET LIGHTS ARE PROPOSED.
- 32. THERE ARE NO WETLANDS ON THIS SITE.
- 33. THE OAKLAND MILLS COMMUNITY ASSOCIATION ARCHITECTURE COMMITTEE APPROVED THE SITE LANDSCAPE PLAN ON 10/19/21.



	ADDRESS CH	IART
LOT/PARCEL	BUILDING #	STREET ADDRESS
300	1 (CONVENIENCE STORE)	5901 STEVENS FOREST ROAD
300	2 (CAR WASH)	5911 STEVENS FOREST ROAD

- TRUCTION
- D BY BOHLER
- (3) SIGNATURES 2/7/23

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	 GEOTECHNICAL REPORT BY: ECS MID-ATLANTIC, LLC ENTITLED: "GEOTECHNICAL ENGINEERING REPORT; 7-ELEVEN-STEVENS FOREST ROAD; 5901 STEVENS FOREST ROAD; COLUMBIA, HOWARD COUNTY, MARYLAND" PROJECT NO: 02:9489 DATED: 06/21/21, LAST REVISED 10/19/22 AND ENTITLED "7-ELEVEN; NEW STORE W/ FUELING; STORE NO. 42063; 5901 STEVENS FOREST ROAD; COLUMBIA, MD 21045"; JOB #: C21-037; DATED: 10/11/22, LAST REVISED 12/19/22 		AND CONSULTING LAND SURVEYIN ROGRAM MANAGEN IDSCAPE ARCHITE SUSTAINABLE DES PERMITTING SERVI	E PLAN ARE PROPRIETARY AND SHALL NOT BE COPI LY APPROVED, SIGNED AND SEALED PLANS SHALL E © BOHLER
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O HOWARD DINATE BE	BAL INFORE GAS & ELECTRICCOLUMBIA, MD 210461068 N. FRONT ST. ROOM 401CONTACT: MARK S. RICHMOND, DIVISION CHIEFBALTIMORE, MD 21202PHONE: (410) 850-4620PHONE: (410) 850-4620PHONE: (410) 313-6413	Known	what's below.	
	THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.	Ca Alw	all before you dig. /AYS CALL 811	
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L BE	 B. TOTAL SITE AREA: 74,313 S.F. OR 1.71 AC. C. LIMIT OF DISTURBED AREA: 80,601 S.F. OR 1.85 AC. D. PRESENT ZONING: NT 		OR MUNICIPAL EVIEW & APPRO\	
PLAIN AND D 12/5/22	 F. FLOOR AREA: RETAIL: 3,381 S.F.; CAR WASH: 980 S.F. 	REVIEW AND APPROVAL. DOCUMENT UN	NDED FOR MUNICIPAL AND/OR AG IT IS NOT INTENDED AS A CONSTI NLESS INDICATED OTHERWISE.	RUCTION
	 G. MAXIMUM BUILDING HEIGHT (FDP-50-A-I): UNLIMITED 20' PROVIDED H. MAXIMUM NUMBER OF EMPLOYEES: N/A 	PROJECT No.: DRAWN BY: CHECKED BY:		202104 RMS AGS
BERT				12/7/22
HILL RD @	I. PARKING SPACES REQUIRED: CONVENIENCE STORE (FDP-50-A-I): 5.0 SPACES PER 1,000 S.F. X 3,381 S.F. = 17 SPACES	DATE: CAD I.D.: PROJECT:		12/7/23 NDS-3
	CONVENIENCE STORE (FDP-50-A-I): 5.0 SPACES PER 1,000 S.F. X 3,381 S.F. = 17 SPACES MOTOR VEHICLE FUELING STATION W/ CAR WASH (FDP-50-A-I) 4 SPACES CAR WASH (HCZR 133.0.D.4) 1 SPACE PER EMPLOYEE FOR CUSTOMERS, MIN. 2 TOTAL 2 SPACES	CAD I.D.: PROJECT: DEVE	c SITE LOPMENT	NDS-3
HILL RD @	CONVENIENCE STORE (FDP-50-A-I): 5.0 SPACES PER 1,000 S.F. X 3,381 S.F. = 17 SPACES MOTOR VEHICLE FUELING STATION W/ CAR WASH (FDP-50-A-I) 4 SPACES CAR WASH (HCZR 133.0.D.4) 1 SPACE PER EMPLOYEE FOR CUSTOMERS, MIN. 2 TOTAL 2 SPACES TOTAL REQUIRED: 23 SPACES J. PARKING SPACES PROVIDED: STANDARD PARKING SPACES (9'X18') = 24 SPACES	CAD I.D.: PROJECT: DEVE	c SITE	NDS-3
HILL RD @ , 2020 EFINED BY	CONVENIENCE STORE (FDP-50-A-I): 5.0 SPACES PER 1,000 S.F. X 3,381 S.F. = 17 SPACES MOTOR VEHICLE FUELING STATION W/ CAR WASH (FDP-50-A-I) 4 SPACES CAR WASH (HCZR 133.0.D.4) 1 SPACE PER EMPLOYEE FOR CUSTOMERS, MIN. 2 TOTAL 2 SPACES TOTAL REQUIRED: 23 SPACES J. PARKING SPACES PROVIDED:	CAD I.D.: PROJECT: DEVE CROSSF	SITE LOPMENT PLAN FOR FOR ROADS WES LLC	NDS-3
HILL RD @ , 2020 EFINED BY TED 6/21/21 OJECT AS HE SITE HEIGHT HEIGHT ERVISED TO FPA-1	CONVENIENCE STORE (FDP-50-A-I): 5.0 SPACES PER 1,000 S.F. X 3,381 S.F. = 17 SPACES MOTOR VEHICLE FUELING STATION W/ CAR WASH (FDP-50-A-I) 4 SPACES CAR WASH (HCZR 133.0.D.4) 1 SPACE PER EMPLOYEE FOR CUSTOMERS, MIN. 2 TOTAL 2 SPACES TOTAL REQUIRED: 23 SPACES J. PARKING SPACES PROVIDED: STANDARD PARKING SPACES (9'X18') = 24 SPACES HANDICAP (8'X18') = 2 SPACES TOTAL = 26 SPACES K. STACKING REQUIREMENTS (HO. CO. DESIGN MANUAL, VOL III, SECTION 5.2.E, TABLE 5.02) CAR WASH = 10 SPACES PER BAY/LANE (22' LONG SPACES) PROVIDED = 10 SPACES	CAD I.D.: PROJECT: DEVE CROSSF 7-ELEVEN 5901 & 5911 ST COLUM TAX MAP 36, HOW 6TH ELE	C SITE ELOPMENT PLAN FOR FOR ROADS WES	ST,
HILL RD @ , 2020 EFINED BY TED 6/21/21 OJECT AS HE SITE H AIVERS HE HEIGHT ERVISED TO	CONVENIENCE STORE (FDP-50-A-I): 5.0 SPACES PER 1,000 S.F. X 3,381 S.F. = 17 SPACES MOTOR VEHICLE FUELING STATION W/ CAR WASH (FDP-50-A-I) 4 SPACES CAR WASH (HCZR 133.0.D.4) 1 SPACE PER EMPLOYEE FOR CUSTOMERS, MIN. 2 TOTAL 2 SPACES TOTAL REQUIRED: 23 SPACES J. PARKING SPACES PROVIDED: STANDARD PARKING SPACES (9'X18') = 24 SPACES HANDICAP (8'X18') = 2 SPACES TOTAL = 26 SPACES K. STACKING REQUIREMENTS (HO. CO. DESIGN MANUAL, VOL III, SECTION 5.2.E, TABLE 5.02) CAR WASH = 10 SPACES PER BAY/LANE (22' LONG SPACES) PROVIDED = 10 SPACES L. SECTION 131.0.0.2 - LOT AREA 40,000 + 3,381 (CONV. STORE) + 980 (CAR WASH) + 1,800 (STACKING) + 5,016 (PARKING/LOADING) = 51,117 S.F. PROVIDED = 74,313 S.F. LOT FRONTAGE = 180' REQUIRED, 281.72 + 33.93 + 200 = 515.65' PROVIDED LANDSCAPE = 20% OF LOT AREA REQUIRED, 37% PROVIDED LANDSCAPE = 20% OF LOT AREA REQUIRED, 37% PROVIDED LANDSCAPE = 20% OF LOT AREA REQUIRED, 37% PROVIDED STRUCTURES = AT LEAST 100' FROM STREAMS, RIVERS, OR FLOODPLAINS (COMPLIES) PUMP LOCATIONS = 300' FROM ANY SCHOOL, PARK, DAY CARE, OR ASSISTED LIVING FACILITY (COMPLIES)	CAD I.D.: PROJECT: DEVE CROSSF 7-ELEVEN 5901 & 5911 ST COLUM TAX MAP 36, HOW 6TH ELE	SITE LOPMENT PLAN FOR FOR ROADS WES LLC STEVENS FOREST TEVENS FOREST R IBIA, MARYLAND GRID 10, PARCEL 3 LOT 8 VARD COUNTY ECTION DISTRICT	NDS-3
HILL RD @ , 2020 EFINED BY TED 6/21/21 OJECT AS HE SITE HEIGHT ERVISED TO FPA-1 REQUIRED C HEALTH OR THE	CONVENIENCE STORE (FDP-50-A-I): 5.0 SPACES PER 1,000 S.F. X 3,381 S.F. = 17 SPACES MOTOR VEHICLE FUELING STATION W/ CAR WASH (FDP-50-A-I) 4 SPACES CAR WASH (HCZR 133.0.D.4) 1 SPACE PER EMPLOYEE FOR CUSTOMERS, MIN. 2 TOTAL 2 SPACES TOTAL REQUIRED: 23 SPACES J. PARKING SPACES PROVIDED: STANDARD PARKING SPACES (9'X18') = 24 SPACES HANDICAP (8'X18') = 2 SPACES TOTAL = 26 SPACES K. STACKING REQUIREMENTS (HO. CO. DESIGN MANUAL, VOL III, SECTION 5.2.E, TABLE 5.02) CAR WASH = 10 SPACES PER BAY/LANE (22' LONG SPACES) PROVIDED = 10 SPACES L. SECTION 131.0.0.2 - LOT AREA 40,000 + 3,381 (CONV. STORE) + 980 (CAR WASH) + 1,800 (STACKING) + 5,016 (PARKING/LOADING) = 51,117 S.F. PROVIDED = 74,313 S.F. LOT FRONTAGE = 180' REQUIRED, 281.72 + 33.93 + 200 = 515.65' PROVIDED LANDSCAPE = 20% OF LOT AREA REQUIRED, 37% PROVIDED LANDSCAPE = 20% OF LOT AREA REQUIRED, 37% PROVIDED LANDSCAPE = 20% OF LOT AREA REQUIRED, 37% PROVIDED STRUCTURES = AT LEAST 100' FROM STREAMS, RIVERS, OR FLOODPLAINS (COMPLIES) PUMP LOCATIONS = 300' FROM ANY SCHOOL, PARK, DAY CARE, OR ASSISTED LIVING FACILITY (COMPLIES)	CAD I.D.: PROJECT: DEVE DEVE CROSSE 7-ELEVEN 5901 & 5911 ST COLUM TAX MAP 36, HOW 6TH ELE 3 BOB 901 DULANEY N TOWSON Phone: Fax:	SITE ELOPMENT PLAN FOR FOR COADS WES LLC STEVENS FOREST ISTEVENS FOREST ISTEVENS ISTEVENS FOREST ISTEVENS FOREST ISTEVENS FORE	NDS-3
HILL RD @ , 2020 EFINED BY TED 6/21/21 OJECT AS HE SITE HEIGHT ERVISED TO FPA-1 REQUIRED C HEALTH OR THE P-07-087, ND	CONVENENCE STORE (PD-96-0.4); 0.5 SPACES PER LOSS F. 323 B.F. e17 SPACES MOTON VEHICLE FUELING STATION W/ CAR WASH (PD-96-4.1); 4 SPACES CAR WASH (HCZR 133.0.D.4) 1.SPACE PER BMRLOYEE FOR CUSTOMERS, MIN. 2 TOTAL 2.SPACES TOTAL REQUIRED 23 SPACES 1.SPACES (SCHMANO SPACES (SVIS) = 24 SPACES HUBD/CAP (FXIS) = 25 EXCES 1.STANDARD PARKING SPACES (SVIS) = 24 SPACES HUBD/CAP (FXIS) = 25 EXCES 1.STANDARD PARKING SPACES (SVIS) = 24 SPACES HUBD/CAP (FXIS) = 25 EXCES 2.STANDARD PARKING SPACES (SVIS) = 24 SPACES HUBD/CAP (FXIS) = 25 EXCES 3.STANDARD PARKING SPACES (SVIS) = 24 SPACES HUBD/CAP (FXIS) = 25 EXCES 3.STANDARD PARKING SPACES (SVIS) = 24 SPACES HUBD/CAP (FXIS) = 25 EXCES 3.STANDARD PARKING SPACES (SVIS) = 24 SPACES HUBD/CAP (FXIS) = 10 SPACES = 10 SPACES = 10 SPACES HUBD/CAP (FXIS) = 10 SPACES = 10 SPACES = 10 SPACES HUBD/CAP (FXIS) = 10 SPACES = 10	CAD I.D.: PROJECT: DEVE CROSSE CROSSE 7-ELEVEN 5901 & 5911 S COLUM TAX MAP 36, HOW 6TH ELE BOC BOC PO1 DULANEY NOWSON Phone: Fax: MD@E R.M.S PROFESS I, RYAN M. STASOW DROFESS I, RYAN M. STASOW DROFESS I, RYAN M. STASOW DOCUMENTS WERE PIN PROFESS I, RYAN M. STASOW PROFESS I, RYAN M. STASOW PROFESS I	SITE LOPMENT PLAN FOR FOR ROADS WES LLC STEVENS FOREST RUENS FOR	NDS-3
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HILL RD @ , 2020 EFINED BY TED 6/21/21 OJECT AS HE SITE 1 AIVERS HE HEIGHT ERVISED TO FPA-1 REQUIRED C HEALTH OR THE P-07-087, ND IS. PPROVAL FACILITIES PPROVAL FACILITIES PPROVAL FACILITIES PPROVAL FACILITIES PPROVAL FACILITIES PPROVAL FACILITIES PPROVAL FACILITIES PROVAL FAC	CONVENTING E TOTEL ("DE-SALA"): SPACES PER LABOR ("DE FUEL BUG STATION WICKER MARSH (ED-SUGLA)) SPACES CAR WASH (HOR TIGAL OF FOR CLASSINGER, MIN 3 TOTAL 3 SPACES CAR WASH (HOR TIGAL OF FOR CLASSINGER, MIN 3 TOTAL 3 SPACES TOTAL REQUIRECT 3 SPACES MINORAPP PARKINGED 23 SPACES MINORAPP PARKINGED 23 SPACES MINORAPP PARKINGED 3 SPACES MINORAPP MINORAPP PARKINGED 3 MINORAPP A MINORAPPARKINGED 3 MINORAPPARKING 3 MINORAPPARKINGED 3 MINORAPPARKING 3 MINORAPPARKING 3 MINORAPPARKINGE	CAD I.D.: PROJECT: DEVE CROSSSF CROSSSF CROSSSF 7-ELEVEN 5901 & 5911 S COLUM TAX MAP 36, HOW 6TH ELE 901 DULANEY NO 01 DULANEY NO PON EAX: MD@F SHEET TITLE: C SHEET NUMBER:	SITE SITE SITE SITE SITE SITE SOADS WES COADS WES COADS WES COADS WES STEVENS FOREST STEVENS FOREST	NDS-3
HILL RD @ , 2020 EFINED BY TED 6/21/21 OJECT AS ESITE I AIVERS EEGUIRED CHEALTH P-07-087, ND IS. PPROVAL FACILITIES PPROVAL WHICH QUIPMENT THE THE 1 OF THE	CONVENTIONE STORE (FIDE-SAL4): SPACES # MOTOR VEHICLE FUELING STATION W CAR WASH (PDP-SG-AL): SPACES # CAR WASH (PDCR 1333 E.D.1): SPACE #THE INTERVIEW FOR CUBURDERS, MIN. 2 TOTAL: SPACES # CAR WASH (PDCR 1333 E.D.1): SPACE #THE INTERVIEW FOR CUBURDERS, MIN. 2 TOTAL: SPACES # SPACE #THE INTERVIEW FOR CUBURDERS, MIN. 2 TOTAL: SPACES # SPACE #THE INTERVIEW FOR CUBURDERS (MIN. 2 TOTAL: SPACES # SPACE #THE INTERVIEW FOR CUBURDERS (MIN. 2 TOTAL: SPACES # SPACE #THE INTERVIEW FOR CUBURDERS (MIN. 2 TOTAL: SPACES # SPACE #THE INTERVIEW FOR CUBURDERS (MIN. 2 TOTAL: SPACES # SPACE #THE INTERVIEW FOR CUBURDERS (MIN. 2 TOTAL: SPACES # SPACE # TOTAL REQUIRED X SPACES # MADICAL #X1400 # CAR ALAGE # SPACES # MADICAL #X1400 # CAR ALAGE # SPACES # MADICAL #X1400 # CAR ALAGE # SPACES # MADICAL #X140 # CAR ALAGE # SPACE * MADICAL #X140 # CAR ALAGE # SPACE # MADICAL #X140 # CAR ALAGE # SPACE # MADICAL #X140 # CAR ALAGE # SPACE # MULTICAL #X140 # CAR ALAGE # SPACE # MULTICAL # SPACE # MULTICAL # SPACE # MULTICAL # ALAGE # CAR ALAG	CAD I.D.: PROJECT: DEVE CROSSSF 7-ELEVEN 5901 & 5911 ST COLUM TAX MAP 36, HOW 6TH ELE 901 DULANEY NOWSON Phone: Fax: MD@E PROFESS I, RYAN M. STASOW DOCUMENTAL AMA DUCT INDER THE LAWS OF NO. 49425, FE	SITE SITE SITE SITE SITE SITE SOADS WES COADS WES COADS WES COADS WES STEVENS FOREST STEVENS FOREST	NDS-3

CONSTRUCTION GENERAL NOTES

- THESE PLANS ARE SOLELY BASED ON INFORMATION THE OWNER AND OTHERS PROVIDED TO BOHLER ENGINEERING, VA, LLC (HEREIN "BOHLER") PRIOR TO THE DATE ON WHICH THE ENGINEER OF RECORD AND BOHLER PREPARED THESE PLANS. THE CONTRACTOR MUST
- FIELD VERIFY ALL EXISTING CONDITIONS AND IMMEDIATELY NOTIFY BOHLER, IN WRITING, IF ANY ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THESE PLANS, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS/REPORTS CONTAINED HEREIN. THE CONTRACTOR MUST ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS. THESE NOTES, AND THE REQUIREMENTS ARTICULATED IN THE NOTES CONTAINED IN ALL THE OTHER DRAWINGS THAT COMPRISE THE PLAN SET OF DRAWINGS. ADDITIONAL NOTES AND SPECIFIC PLAN NOTES MAY BE FOUND ON THE INDIVIDUAL PLANS. THESE GENERAL NOTES APPLY TO THIS ENTIRE DOCUMENT PACKAGE IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE
- DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE, PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST CONFIRM WITH THE ENGINEER OF RECORD AND BOHLER THAT THE LATEST EDITION OF THE DOCUMENTS AND/OR REPORTS REFERENCED WITHIN THE PLAN REFERENCES ARE BEING USED FOR CONSTRUCTION. THIS IS THE CONTRACTOR'S SOLE AND COMPLETE RESPONSIBILITY.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED, NO CONSTRUCTION OR FABRICATION IS TO BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE CONDITIONS OF APPROVAL TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND HAS ALSO CONFIRMED THAT ALL NECESSARY AND REQUIRED PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND THE CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS. SPECIFICATIONS/REPORTS AND CONDITIONS
- OF APPROVAL AND ALL APPLICABLE REQUIREMENTS BUILES REGULATIONS STATUTORY REQUIREMENTS CODES LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT, AND ALL PROVISIONS IN AND CONDITIONS OF THE CONSTRUCTION CONTRACT WITH THE OWNER/DEVELOPER INCLUDING ALL EXHIBITS, ATTACHMENTS AND ADDENDA TO SAME. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFULLY REVIEWING THE MOST CURRENT ARCHITECTURAL, CIVIL AND STRUCTURAL CONSTRUCTION DOCUMENTS (INCLUDING, BUT NOT LIMITED TO, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLANS, WHERE APPLICABLE). THE CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND ENGINEER OF RECORD AND BOHLER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST BETWEEN THESE PLANS
- AND ANY OTHER PLANS THAT COMPRISE THE CONSTRUCTION DOCUMENTS. CONTRACTOR MUST REFER TO AND ENSURE COMPLIANCE WITH THE APPROVED ARCHITECTURAL/BUILDING PLANS OF RECORD FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS. THE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND MEASUREMENTS SHOWN ON THESE PLANS, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST IMMEDIATELY NOTIFY ENGINEER OF RECORD AND BOHLER, IN WRITING, IF ANY CONFLICTS. DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE RE-DONE OR REPAIRED DUE TO DIMENSIONS, MEASUREMENTS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO BOTH (A) THE CONTRACTOR GIVING ENGINEER OF RECORD AND BOHLER WRITTEN NOTIFICATION OF SAME AND (B) ENGINEER OF RECORD AND BOHLER, THEREAFTER, PROVIDING THE CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH
- ADDITIONAL WORK THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND MEASUREMENTS INCLUDED ON DESIGN DOCUMENTS HEREIN AND MUST NOT SCALE OFF THE DRAWINGS DUE TO POTENTIAL PRINTING INACCURACIES ALL DIMENSIONS AND MEASUREMENTS ARE TO BE CHECKED AND CONFIRMED BY THE GENERAL CONTRACTOR PRIOR TO PREPARATION OF SHOP DRAWINGS, FABRICATION/ORDERING OF PARTS AND MATERIALS AND COMMENCEMENT OF SITE WORK, SITE PLAN DRAWINGS ARE NOT INTENDED AS SURVEY DOCUMENTS, DIMENSIONS SUPERSEDE GRAPHICAL REPRESENTATIONS. THE CONTRACTOR MUST MAKE CONTRACTOR'S OWN MEASUREMENTS FOR LAYOUT OF IMPROVEMENTS. THE OWNER AND CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED
- FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. 1. WHEN INCLUDED AS ONE OF THE REFERENCED DOCUMENTS. THE GEOTECHNICAL REPORT SPECIFICATIONS AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND. IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN: (A) THE PLANS: AND (B) THE GEOTECHNICAL REPORT AND RECOMMENDATIONS, MUST TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER OF RECORD AND BOHLER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORT AND PLANS AND SPECIFICATIONS, PRIOR TO PROCEEDING WITH ANY FURTHER WORK. IF A GEOTECHNICAL REPORT WAS NOT CREATED, THEN THE CONTRACTOR MUST FOLLOW AND COMPLY WITH ALL OF THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE SPECIFICATIONS WHICH HAVE JURISDICTION OVER THIS PROJECT.
- 2. ENGINEER OF RECORD AND BOHLER ARE NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, HAS NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY. 3. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN AND WHERE SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES. ALL OF THIS WORK IS TO BE PERFORMED AT CONTRACTOR'S SOLE COST AND EXPENSE 14. THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC.
- WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT. UTILITIES. BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT. 5. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE, ALL DEMOLITION AND CONSTRUCTION WASTES, UNSUITABLE EXCAVATED MATERIAL, EXCESS SOIL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE
- AND FEDERAL LAWS AND APPLICABLE CODES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER THE CONTRACTOR. 16. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST. 7. THE CONTRACTOR MUST REPAIR, AT CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION. INCLUDING BUT NOT LIMITED TO DRAINAGE. UTILITIES. PAVEMENT. STRIPING, CURB, ETC, AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES,
- REGULATIONS. STATUTORY REQUIREMENTS AND STATUTES. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE CONTRACTOR MUST, PROMPTLY, DOCUMENT ALL EXISTING DAMAGE AND NOTIFY, IN WRITING, THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION. 18. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR AND HAVE NO CONTRACTUAL, LEGAL OR OTHER RESPONSIBILITIES FOR JOB SITE SAFETY JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME. THE ENGINEER OF RECORD AND BOHLER HAVE NOT BEEN RETAINED TO PERFORM OR TO BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER OF RECORD'S AND BOHLER SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES
- OR ANY JOB SITE CONDITIONS. AT ANY TIME. THE CONTRACTOR MUST IMMEDIATELY IDENTIFY IN WRITING, TO THE ENGINEER OF RECORD AND BOHLER , ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF THE CONTRACTOR PROCEEDS WITH CONSTRUCTION VITHOUT PROVIDING PROPER WRITTEN NOTIFICATION AS DESCRIBED ABOVE, IT WILL BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, THE CONTRACTOR MUST INDEMNIFY, DEFEND AND HOLD HARMLESS THE ENGINEER OF RECORD AND BOHLER FOR ANY AND ALL DAMAGES, COSTS, INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM OR ARE IN ANY WAY RELATED TO SAME INCLUDING, BUT NOT LIMITED TO, ANY THIRD PARTY AND FIRST PARTY CLAIMS
- 20. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM THE CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS, AND CURRENT CODES, RULES, STATUTES AND THE LIKE. IF THE CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, RULES, STATUTES, CODES AND THE LIKE, THE CONTRACTOR AND/OR OWNER AGREE TO AND MUST JOINTLY, INDEPENDENTLY, SEPARATELY, AND SEVERALLY INDEMNIFY AND HOLD THE ENGINEER OF RECORD AND BOHLER HARMLESS FOR AND FROM ALL INJURIES, CLAIMS AND DAMAGES THAT ENGINEER AND BOHLER SUFFER AND ANY AND ALL COSTS THAT ENGINEER AND BOHLER INCUR AS RELATED TO SAME
- 1. ALL CONTRACTORS MUST CARRY AT LEAST THE MINIMUM AMOUNT OF THE SPECIFIED AND COMMERCIALLY REASONABLE STATUTORY WORKER'S COMPENSATION INSURANCE. EMPLOYER'S LIABILITY INSURANCE AND COMMERCIAL GENERAL LIABILITY INSURANCE (CGL) INCLUDING ALSO AL JMBRELLA COVERAGES. ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER , AND ITS PAST, PRESENT AND FUTURE WNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSUREDS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE (DEFEND, IF APPLICABLE) AND HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED AND AGREED TO BY THE CONTRACTOR HEREIN. ALL CONTRACTORS MUST FURNISH BOHLER WITH CERTIFICATIONS OF INSURANCE OR CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE COVERAGES PRIOR TO COMMENCING ANY WORK AND UPON RENEWAL DE FACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR TWO YEARS AFTER THE COMPLETION OF CONSTRUCTION AND AFTER ALL PERMITS ARE ISSUED, WHICHEVER DATE IS LATER. IN ADDITION, ALL CONTRACTORS AGREE THAT THEY WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES. IN JURIES, CLAIMS, ACTIONS, PENALTIES EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTOR(S), ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. THE CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR
- CHANGE OF ITS INSURANCE HEREUNDER 22 THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR CONSTRUCTION METHODS. MEANS, TECHNIQUES OR PROCEDURES GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS IN SCOPE AND REVISIONS THAT RESULT FROM SAME. THE CONTRACTOR IS FULLY AND SOLELY RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- 3. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER, NOR THE PRESENCE OF BOHLER AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE (HEREIN "BOHLER PARTIES"). RELIEVES OR WILL RELIEVE THE CONTRACTOR OF AND FROM CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ALL HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER PARTIES HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER (OR ANY RESPONSIBILITY FOR) ANY CONSTRUCTION, THE CONTRACTOR OR ITS EMPLOYEES RELATING TO THEIR WORK AND ANY AND ALL HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR MUST INDEMNIFY. DEFEND, PROTECT AND HOLD HARMLESS BOHLER PARTIES FOR AND FROM ANY LIABILITY TO BOHLER PARTIES RESULTING FROM THE CONTRACTOR'S WORK. SERVICES AND/OR VIOLATIONS OF THIS NOTE, THESE NOTES OR ANY NOTES IN THE PLAN SET AND, FURTHER, THE CONTRACTOR MUST NAME BOHLER AS AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE.
- 24. WHEN IT IS CLEARLY AND SPECIFICALLY WITHIN BOHLER'S SCOPE OF SERVICES CONTRACT WITH THE OWNER/DEVELOPER, BOHLER WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF EVALUATING CONFORMANCE WITH THE DESIGN INTENT. AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME. BOHLER WILL PERFORM ITS SHOP DRAWING REVIEW WITH REASONABLE PROMPTNESS, AS CONDITIONS PERMIT. ANY DOCUMENT, DOCUMENTING BOHLER'S REVIEW OF A SPECIFIC ITEM OR LIMITED SCOPE, MUST NOT INDICATE THAT BOHLER HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER IS NOT RESPONSIBLE FOR
- ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR MUST, IN WRITING, PROMPTLY AND IMMEDIATELY BRING ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS TO BOHLER'S ATTENTION. BOHLER IS NOT REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR HOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED. 5. IF THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER OF RECORD AND BOHLER FOR ALL DEVIATIONS WITHIN ENGINEER'S SCOPE, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK PERFORMED WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, MUST DEFEND, INDEMNIFY, PROTECT, AND HOLD HARMLESS THE ENGINEER OF RECORD AND BOHLER PARTIES TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, CLAIMS, INJURIES, PENALTIES AND THE LIKE RELATED TO SAME.
- THE CONTRACTOR IS RESPONSIBLE FOR A MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS, FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE AND IS THE CONTRACTOR'S SOLE RESPONSIBILITY . OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS IN STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN; AND, FURTHER, THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE LL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND

HOLD THE ENGINEER OF RECORD AND BOHLER PARTIES, HARMLESS FOR ALL INJURIES, DAMAGES AND COSTS THAT ENGINEER OF RECORD AND

- 29. THE CONTRACTOR MUST STRICTLY COMPLY WITH THE LATEST AND CURRENT OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY
- RELATED TO EXCAVATION AND TRENCHING PROCEDURES AND WORK
- RESULT OF SAID FAILURE 31 THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLILITION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE
- CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR FAILING TO DO SO.

DEMOLITION NOTES

(Rev. 2/2021)

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY
- WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS. STREETS. SIDEWALKS. WALKWAYS. AND ALL OTHER ADJACENT FACILITIES. THE CONTRACTOR MUST OBTAIN ALL APPLICABLE PERMITS FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY(IES) PRIOR TO THE
- WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY. THE CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS
- CONDITIONS REGARDING ITEMS TO BE DEMOLISHED, REMOVED, AND/OR TO REMAIN. THE CONTRACTOR MUST ALSO REVIEW ALL CONSTRUCTION DOCUMENTS AND INCLUDE WITHIN THE DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS. THIS PLAN IS NOT INTENDED TO AND DOES NOT PROVIDE DIRECTION REGARDING THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE EMPLOYED TO ACCOMPLISH THE WORK. ALL MEANS, METHODS, SEQUENCING
- SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE FOR THE CONTRACTOR AND THE PUBLIC. THE CONTRACTOR MUST PROVIDE ALL "METHODS AND MEANS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES. AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR, AT THE CONTRACTOR'S SOLE COST, MUST REPAIR ALL DAMAGE TO ALL ITEMS AND FEATURES THAT ARE TO REMAIN, CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS, CONTRACTOR'S REPAIRS MUST INCLUDE THE
- PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. THE CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, COMPLYING WITH ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY AND SAFETY TO ALL PROPERTY ON THE SITE OR ADJACENT OR NEAR TO THE SAME THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY, WHICH MUST INCLUDE, BUT IS NOT LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING, OTHER APPROPRIATE AND/OR NECESSARY SAFETY FEATURES AND ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR MUST SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF ALL UNAUTHORIZED PERSONS AT ANY TIME, TO OR NEAR THE DEMOLITION AREA.
- PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. THE CONTRACTOR MUST. IN WRITING RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS AND/OR SPECIFICATIONS, ALL CONCERNS OR QUESTIONS REGARDING THE APPLICABLE SAFETY STANDARDS. AND/OR THE SAFETY OF THE CONTRACTOR AND/OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT. ANY SUCH CONCERNS MUST BE CONVEYED TO THE ENGINEER OF RECORD AND BOHLER, IN WRITING AND MUST ADDRESS ALL ISSUES AND ITEMS RESPONDED TO, BY THE ENGINEER OF RECORD AND BY BOHLER, IN WRITING. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.
- THE CONTRACTOR MUST BECOME FAMILIAR WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AND/OR DISCONNECTION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED, REMOVED AND/OR ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES 10 PRIOR TO COMMENCING ANY DEMOLITION THE CONTRACTOR MUST A. OBTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND ALL PUBLIC
- NOTIFY, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION JURISDICTION, AT LEAST 72 BUSINESS HOURS PRIOR TO THE COMMENCEMENT OF WORK. INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE, AND MAINTAIN SAID CONTROLS UNTIL SITE IS STABILIZED
- UTILITY MARK OUT, IN ADVANCE OF ANY EXCAVATION. LOCATE AND PROTECT ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES.
- PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ANY DEMOLITION ACTIVITIES ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS REGARDING THE OF ABANDONMENT. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WITH IMMEDIATE WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE
- WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS NECESSARY OR AS REQUIRED TO MINIMIZE THE IMPACT ON, OF, AND TO THE AFFECTED PARTIES. WORK REQUIRED TO BE PERFORMED "OFF-PEAK" IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL. THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS OR THE CONTRACT WITH THE OWNER/DEVELOPER. THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK IN THE AREA OF DISCOVERY, AND IMMEDIATELY NOTIFY, IN WRITING AND VERBALLY, THE
- COMPLIANT REMOVAL OF SAME THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE, UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, OR PURSUANT TO THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER. 12. DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE OR INCLUDE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE,
- WITH JURISDICTION 13. THE CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKEILL MATERIALS AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT ALL NEW IMPROVEMENTS AND MUST BE PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE ARTICULATED IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES AND MUST BE ERFORMED SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR COMPACTION TESTING AND MUST SUBMIT SUCH REPORTS AND RESULTS TO THE ENGINEER OF RECORD AND THE OWNER. 14 EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE NECESSARY AND REQUIRED GOVERNMENTAL AUTHORITIES. PRIOR TO COMMENCING ANY EXPLOSIVE PROGRAM AND/OR ANY
- AND EXPLOSIVE CONTROL MEASURES THAT THE FEDERAL STATE AND LOCAL GOVERNMENTS REQUIRE THE CONTRACTOR IS ALSO RESPONSIBLE TO CONDUCT AND PERFORM ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES AND THE LIKE. 5. IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS, THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR. AFTER THE DEMOLITION IS COMPLETE. THE CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS WHICH THE DEMOLITION OPERATIONS CAUSE. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION AT CONTRACTOR'S SOLE COST.
- SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS OUTSIDE OF APPROVED AREAS WILL NOT BE PERMITTED INCLUDING BUT NOT LIMITED TO. THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK, ALL OF WHICH IS AT THE CONTRACTOR'S SOLE COST

APPROVED: DEPARTMENT OF	
PLANNING AND ZONING	

BOHLER INCUR AS A RESULT OF SAID FAILURE OR FAILURE TO PRESERVE.

2/21/2024 (Hal) Edmondson DATE 2/21/2024 CHIEF, DIVISION OF EE MAND2日程》ELOPMEN DATE 2/27/2024 ynda Eisenberg DATE

APPROVED PLANNING BOARD OF HOWARD COUNTY August 11, 2023 DATE

28. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES AND MATERIALS COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL RULES AND REGULATIONS, LAWS, ORDINANCES, AND CODES, AND ALL APPLICABLE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 ET SEQ.) AS AMENDED, AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO

WITH JURISDICTION OVER EXCAVATION AND TRENCHING PROCEDURES. ENGINEER OF RECORD AND BOHLER HAS NO RESPONSIBILITY FOR OR AS 30. THE CONTRACTOR AND THE OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF THE CONTRACTOR AND/OR OWNER FAIL TO DO SO THEY AGREE TO JOINTLY INDEPENDENTLY SEPARATELY COLLECTIVELY AND SEVERALLY INDEMNIEY DEFEND PROTECT AND HOLD ENGINEER OF RECORD AND BOHLER PARTIES HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A

ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS OR LOCAL GOVERNING AGENCY FOR SITES WHERE ONE (1) ACRE OR MORE IS DISTURBED BY CONSTRUCTION ACTIVITIES (UNLESS THE LOCAL JURISDICTION REQUIRES A DIFFERENT THRESHOLD). THE CONTRACTOR MUST ENSURE THAT ALL ACTIVITIES. INCLUDING THOSE OF ALL SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE AND FURTHER, THE

32. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED DOCUMENTS PREPARED BY THE ENGINEER OF RECORD AND BOHLER. THE USE OF THE WORDS 'CERTIEY' OR 'CERTIFICATION' CONSTITUTE(S) AN EXPRESSION ONLY OF PROFESSIONAL OPINION REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE ENGINEER OF RECORD'S AND BOHLER KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON AND ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY NATURE OR TYPE, EITHER EXPRESSED OR IMPLIED, UNDER ANY CIRCUMSTANCES.

(Rev. 2/2021)

COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY

COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.

4. THE DEMOLITION (AND/OR REMOVALS) PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION AND TO IDENTIFY ONLY

TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE AND CONFORMANCE WITH ALL STATE FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER

RESTORATION OF ALL ITEMS AND FEATURES REPAIRED TO THEIR PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR MUST

AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.

IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR

METHODS AND MEANS TO CONSTRUCT SAME. THESE ARE NOT THE ENGINEER OF RECORD'S RESPONSIBILITY. IN THE EVENT

DWNER AND ENGINEER OF RECORD AND BOHLER, THE DISCOVERY OF SUCH MATERIALS TO PURSUE PROPER AND

WITHOUT SPECIFIC WRITTEN PERMISSION AND AUTHORITY OF AND FROM THE OWNER AND ALL GOVERNMENTAL AGENCIES

DEMOLITION ACTIVITIES, THE CONTRACTOR MUST ENSURE AND OVERSEE THE INSTALLATION OF ALL OF THE REQUIRED PERMIT

6. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE

18 THE CONTRACTOR MUST EMPTY CLEAN AND REMOVE FROM THE SITE ALL UNDERGROUND STORAGE TANKS IF ENCOUNTERED. IN ACCORDANCE WITH FEDERAL, STATE, COUNTY AND LOCAL REQUIREMENTS, PRIOR TO CONTINUING CONSTRUCTION IN THE AREA AROUND THE TANK WHICH EMPTYING, CLEANING AND REMOVAL ARE AT THE CONTRACTOR'S SOLE COST.

SITE LAYOUT NOTES

THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN. AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY, THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL

- EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE RIGHT OF WAY ALL DIRECTIONAL/TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON
- UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS, GUIDELINES, RULES, REGULATIONS, STANDARDS AND THE LIKE.
- THE LOCATIONS OF PROPOSED UTILITY POLES AND TRAFFIC SIGNS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD-VERIFYING THEIR LOCATION. THE CONTRACTOR MUST COORDINATE THE RELOCATION OF TRAFFIC SIGNS WITH THE ENTITY WITH JURISDICTION OVER THE PROJECT ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, EXCEPT WHEN DIMENSION IS TO A PROPERTY LINE, STAKE OUT OF LOCATIONS OF INLETS, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE DETAILS, UNLESS NOTED CLEARLY OTHERWISE.

GRADING NOTES

- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES
- SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AS REFERENCED IN THIS PLAN SET. IF NO GEOTECHNICAL REPORT HAS BEEN REFERENCED, THE CONTRACTOR MUST HAVE A GEOTECHNICAL ENGINEER PROVIDE WRITTEN SPECIFICATIONS AND RECOMMENDATIONS PRIOR TO THE CONTRACTOR COMMENCING THE GRADING WORK. THE CONTRACTOR MUST FOLLOW THE REQUIREMENTS OF ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS, WHICH HAVE JURISDICTION OVER THIS PROJECT.
- THE CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. THE CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO THE ENGINEER OF RECORD AND THE OWNER PRIOR TO THE CONTRACTOR COMMENCING ANY WORK. . THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. SHOULD DISCREPANCIES BETWEEN THE PLANS AND INFORMATION
- OBTAINED THROUGH FIELD VERIFICATIONS BE IDENTIFIED OR EXIST, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD. IN WRITING. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING ALL UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. THE CONTRACTOR MUST COMPACT ALL EXCAVATED OR FILLED AREAS IN STRICT ACCORDANCE WITH THE GEOTECHNICAL REPORT'S GUIDANCE, MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE
- WHERE THE WORK IS PERFORMED. THIS REPORT MUST VERIFY THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS. SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS. RULES. STATUTES, LAWS, ORDINANCES AND CODES WHICH ARE IN EFFECT AND WHICH ARE APPLICABLE TO THE PROJECT. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE MUST BE
- REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS THE GEOTECHNICAL REPORT DIRECTS FARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS BUILES STATUTES LAWS ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETC
- IN THE EVENT OF A DISCREPANCY(IES) AND/OR A CONFLICT(S) BETWEEN PLANS, OR RELATIVE TO OTHER PLANS, THE GRADING PLAN TAKES PRECEDENCE AND CONTROLS. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING OF ANY DISCREPANCY(IES) AND/OR CONFLICT(S) THE CONTRACTOR IS RESPONSIBLE TO IMPORT FILL OR EXPORT EXCESS MATERIAL AS NECESSARY TO CONFORM TO THE PROPOSED GRADING, AND TO BACKFILL EXCAVATIONS FOR THE INSTALLATION OF UNDERGROUND IMPROVEMENTS.

ACCESSIBILITY DESIGN GUIDELINES

- 1. ALL ACCESSIBLE (A.K.A. ADA) COMPONENTS AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET. AT A MINIMUM. THE MORE STRINGENT OF: (A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.); AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS TO BOTH, WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED . THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE AND CONSISTENCY WITH INDUSTRY GUIDELINES.
- THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (ADA) COMPONENTS AND ACCESSIBLE ROUTES FOR THE SITE. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, AND INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THE ACCESSIBLE GUIDELINES AND REQUIREMENTS WHICH INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING.
- ACCESSIBLE PARKING SPACES AND ACCESS AISLES SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCHES MINIMUM WIDTH (48-INCHES PREFERRED), OR AS SPECIFIED BY THE GOVERNING AGENCY. UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS) MUST NOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST NOT EXCEED 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE ACCESSIBLE PATH OF TRAVEL IS GREATER THAN 1:20 (5.0%), AN ACCESSIBLE RAMP MUST BE PROVIDED ALONG THE ACCESSIBLE PATH OF TRAVEL OPENINGS MUST NOT EXCEED 1/2-INCH IN WIDTH VERTICAL CHANGES OF UP TO 1/2-INCH ARE PERMITTED ONLY IF THEY INCLUDES A 1/4-INCH BEVEL AT A SLOPE NOT
- STEEPER THAN 1:2. NO VERTICAL CHANGES OVER 1/4-INCH ARE PERMITTED. ACCESSIBLE RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISE OF 30-INCHES. LEVEL LANDINGS MUST BE ROVIDED AT EACH END OF ACCESSIBLE RAMPS. LANDING MUST PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES, AND MUST NOT EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS MUST HAVE A CLEAR LANDING OF A MINIMUM OF 60-INCHES BY 60-INCHES. HAND RAILS ON BOTH SIDES OF THE RAMP MUST BE PROVIDED ON AN ACCESSIBLE RAMP WITH A RISE GREATER THAN 6-INCHES.
- ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%). WHERE FLARED SIDES ARE PROVIDED, THEY MUST OT EXCEED 1:10 (10%) SLOPE. LEVEL LANDING MUST BE PROVIDED AT RAMPS TOP AT A MINIMUM OF 36-INCHES LONG (48-INCHES PREFERRED). IN ALTERATIONS, WHEN THERE IS NO LANDING AT THE TOP, FLARE SIDES SLOPES MUST NOT EXCEED A SLOPE OF 1:12 (8.3%). DOORWAY LANDINGS AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH DE TRAVEL THIS LANDING MUST BE SLOPED AWAY FROM THE DOOR NO MORE THAN 1.50 (2.0%) FOR POSITIVE DRAINAGE
- THIS LANDING AREA MUST BE NO FEWER THAN 60-INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE CLEARLY PERMITTED BY ACCESSIBLE STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2009 AND OTHER REFERENCES INCORPORATED BY CODE). F. WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO CCESSIBLE COMPONENTS FROM EXISTI ELEVATIONS SHOWN ON THE PLAN, NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES. IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT
- DIFFER IN ANY WAY OR IN ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS BEFORE COMMENCING ANY WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ACCESSIBLE GUIDELINES. THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE EXISTS OR IS OBSERVED OR DISCOVERED, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, PRIOR TO POURING CONCRETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL
- OSTS TO REMOVE, REPAIR AND/OR REPLACE NON-CONFORMING CONCRETE AND/OR PAVEMENT SURFACES 4. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION TO ENSURE SAME IS CONSISTENT WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCING CONSTRUCTION.

DRAINAGE AND UTILITY NOTES

- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY, THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
- LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE, AND THE CONTRACTOR MUST INDEPENDENTLY VERIFY AND CONFIRM THOSE LOCATIONS AND SERVICES WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCING ANY CONSTRUCTION OR EXCAVATION. THE CONTRACTOR MUST INDEPENDENTLY VERIFY AND CONFIRM ALL SANITARY CONNECTION POINTS AND ALL OTHER LITH ITY SERVICE CONNECTION POINTS IN THE FIELD. PRIOR TO COMMENCING ANY CONSTRUCTION, THE CONTRACTOR MUST REPORT ALL DISCREPANCIES. ERRORS AND OMISSIONS IN WRITING. TO THE ENGINEER OF RECORD. THE CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED D, GAS, WATER, ELECTRIC, SANITARY AND STORM, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF
- DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL OF THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES WHICH OCCUR DURING. CONSTRUCTION, AT NO COST TO THE OWNER AND AT CONTRACTOR'S SOLE COST AND EXPENSE. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES WHICH OCCURS DURING CONSTRUCTION. 4. THE CONTRACTOR MUST FIELD VERIFY THE PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND
- UTILITIES BY USING A TEST PIT TO CONFIRM EXACT DEPTH, PRIOR TO COMMENCEMENT OF CONSTRUCTION. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF SAME BASED UPON FINAL ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING SITE PLAN DOCUMENTS AND ARCHITECTURAL PLANS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS; GREASE TRAP REQUIREMENTS; AND DETAILS, DOOR ACCESS, AND EXTERIOR
- GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITY SERVICES WITH THE INDIVIDUAL COMPANIES TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS OF THE APPLICABLE. JURISDICTION AND REGULATORY AGENCIES AND ALL OTHER APPLICABLE. REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE DOCUMENTS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, AND PRIOR TO
- CONSTRUCTION, MUST RESOLVE SAME. ALL FILL COMPACTION AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE EXACTLY AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND THE CONTRACTOR MUST COORDINATE SAME WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST COMPLY WITH APPLICABLE REQUIREMENTS AND SPECIFICATIONS. ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR DESIGN OF TRENCH BACKFILL OR FOR COMPACTION REQUIREMENTS
- DURING THE INSTALLATION OF SANITARY, STORM, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE. IN ANY RESPECT FROM THE INFORMATION CONTAINED IN THESE PLANS. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE APPROPRIATE PLAN(S), WHICH THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION OF WORK.
- THE CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SANITARY, WATER AND STORM SYSTEMS, ARE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND OR STATE DOT DETAILS AS APPLICABLE. THE CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME. 10. FINAL LOCATIONS OF PROPOSED UTILITY POLES, AND/ OR POLES TO BE RELOCATED ARE AT THE SOLE DISCRETION OF THE
- RESPECTIVE UTILITY COMPANY, REGARDLESS OF WHAT THIS PLAN DEPICTS. 11. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. THE CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION. 12. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT MUST BE ADJUSTED, AS NECESSARY, TO
- MATCH PROPOSED FINISHED GRADES WITH NO TRIPPING OR SAFETY HAZARD IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

(Rev. 1/2020)

- INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS
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(Rev.2/2021)

LIGHTING NOTES

(Rev. 1/2020)

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN. AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. THE LIGHTING CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS,

THE LIGHTING PLAN DEPICTS PROPOSED. SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC

PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDLES (FC). THE LUMINAIRES. LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY, THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND RE-LAMPING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNER'S. . THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES. POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S. MECHANICAL ENGINEER'S AND/OR LIGHTING CONTRACTOR'S RESPONSIBILITY. AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE LIGHTING CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR FLECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.

THE CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE. UTILITIES OR OTHER STRUCTURE(S) TO THE ENGINEER OF RECORD'S ATTENTION. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.

SOIL EROSION & SEDIMENT CONTROL PLAN NOTES

(Rev. 1/2020)

THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

12. THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES, MEASURES AND STRUCTURES. ADDITIONAL FACILITIES, MEASURES AND STRUCTURES MUST BE INSTALLED WHERE NECESSARY TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND/OR TO PREVENT ANY. INCLUDING THE INCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE. 13. THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE AND/OR DEMOLITION PLAN(S) FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS.

14. THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIONAL INFORMATION. 15. THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFF-SITE AS THE JURISDICTIONAL AGENCY REQUIRES. BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT. 16. SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE OBSERVATION IN ORDER TO MAINTAIN THE COMPLETE EFFECTIVENESS OF ALL CONTROL MEASURES.

18. EROSION CONTROL MEASURES MUST CONFORM TO THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL UNLESS OTHERWISE NOTED, OR AS UNLESS OTHERWISE CLEARLY AND SPECIFICALLY DIRECTED BY ENGINEER. INSTALLATION OF EROSION CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES. . REFER TO THE APPROVED EROSION AND SEDIMENT CONTROL PLANS FOR THE DISTURBED LAND AREA OF THIS SITE.

20. REFER TO THE APPROVED EROSION AND SEDIMENT CONTROL PLANS FOR THE EROSION CONTROL MEASURES PROPOSED FOR 21. INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S

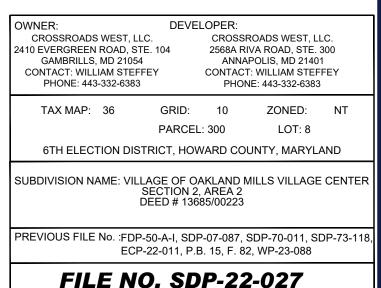
RECOMMENDATIONS AND APPROVED DETAILS AS SHOWN ON THE APPROVED EROSION AND SEDIMENT CONTROL PLANS. CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER EVERY RAIN EVENT. CONTRACTOR MUST IMMEDIATELY CLEAR AND REMOVE ANY SILT AS RECOMMENDED BY THE APPROVED DETAILS ON THE APPROVED EROSION AND SEDIMENT CONTROL PLANS OR AS OUTLINED IN THE SPECIFICATIONS LISTED IN NOTE #18. 23. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, CONTRACTOR MUST COMPLETE PERMANENT OR TEMPORARY

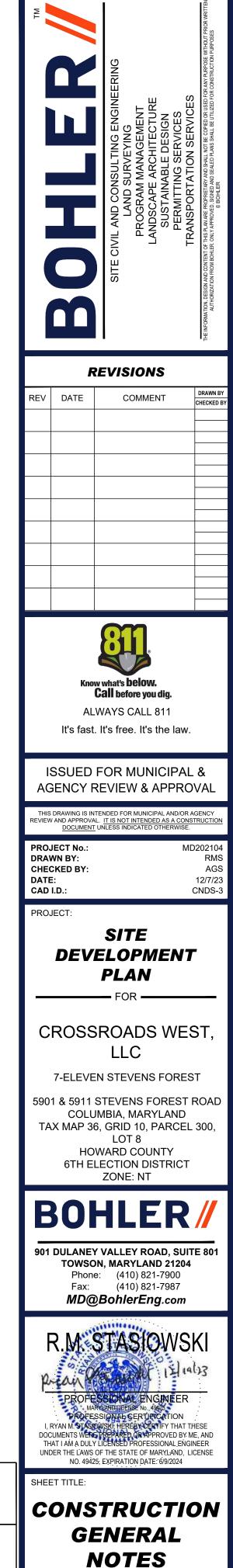
STABILIZATION WITHIN: A) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN THREE HORIZONTAL TO ONE VERTICAL (3:1), AND B) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING. WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

24. CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF REQUIRED BY THE ENGINEER OR THE LOCAL EROSION AND SEDIMENT CONTROL INSPECTOR, TO PREVENT THE INCIDENTAL AND ANY DISCHARGE OF SILT-LADEN RUNOFF

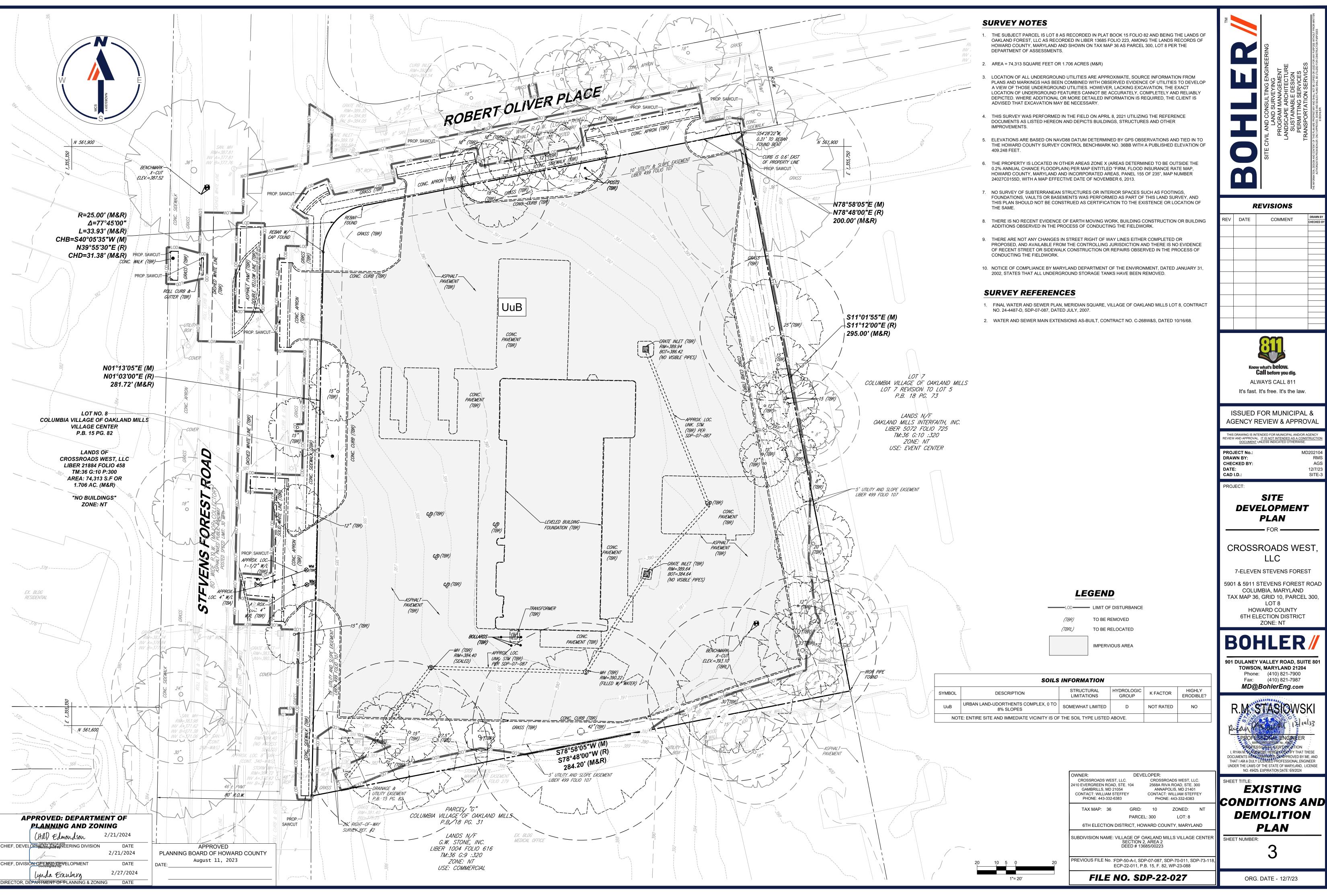
25. THE CONTRACTOR MUST BE RESPONSIBLE FOR ALL INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT PAVING AND TURF/LANDSCAPING IS ESTABLISHED AND UPON APPROVAL OF THE LOCAL EROSION AND SEDIMENT CONTROL INSPECTOR THE COSTS OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS RESPONSIBLE FOR ALL SUCH COSTS. . CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE COMPLETION OF CONSTRUCTION AND THE ESTABLISHMENT OF VEGETATION AND UPON THE APPROVAL OF THE LOCAL EROSION AND SEDIMENT CONTROL INSPECTOR. 27. CONTRACTOR MUST REMOVE EROSION CONTROL MEASURES. SILT AND DEBRIS AFTER ESTABLISHING PERMANENT VEGETATION OVER OR OTHER SPECIFIED METHOD OF STABILIZATION AND UPON THE APPROVAL OF THE LOCAL EROSION AND S CONTROL INSPECTOR

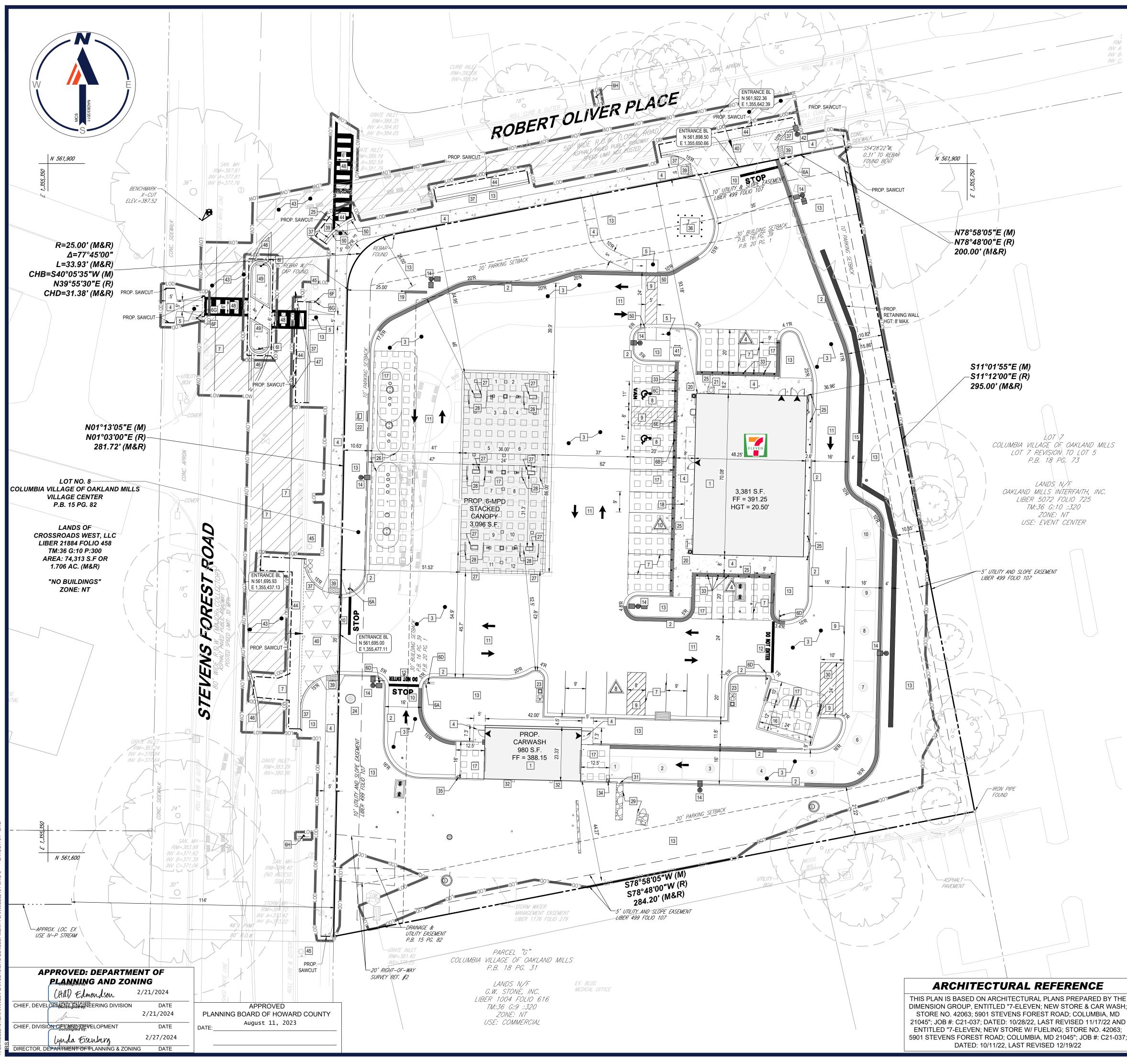
28. WITHOUT WRITTEN APPROVAL OF THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) OR LOCAL SOIL CONSERVATION DISTRICT (SCD), UNSTABILIZED AREAS OF DISTURBANCE THROUGHOUT THE SITE MUST NOT BE MORE THAN AS APPROVED BY MDE OR THE LOCAL SCD AT ANY TIME ADDITIONAL INSPECTION REQUIREMENTS AS STIPULATED BY THE JURISDICTIONAL AGENCY MUST BE ADOPTED AS REQUIRED FOR DISTURBANCE MORE THAN AS APPROVED BY MDE OR THE LOCAL SCD.



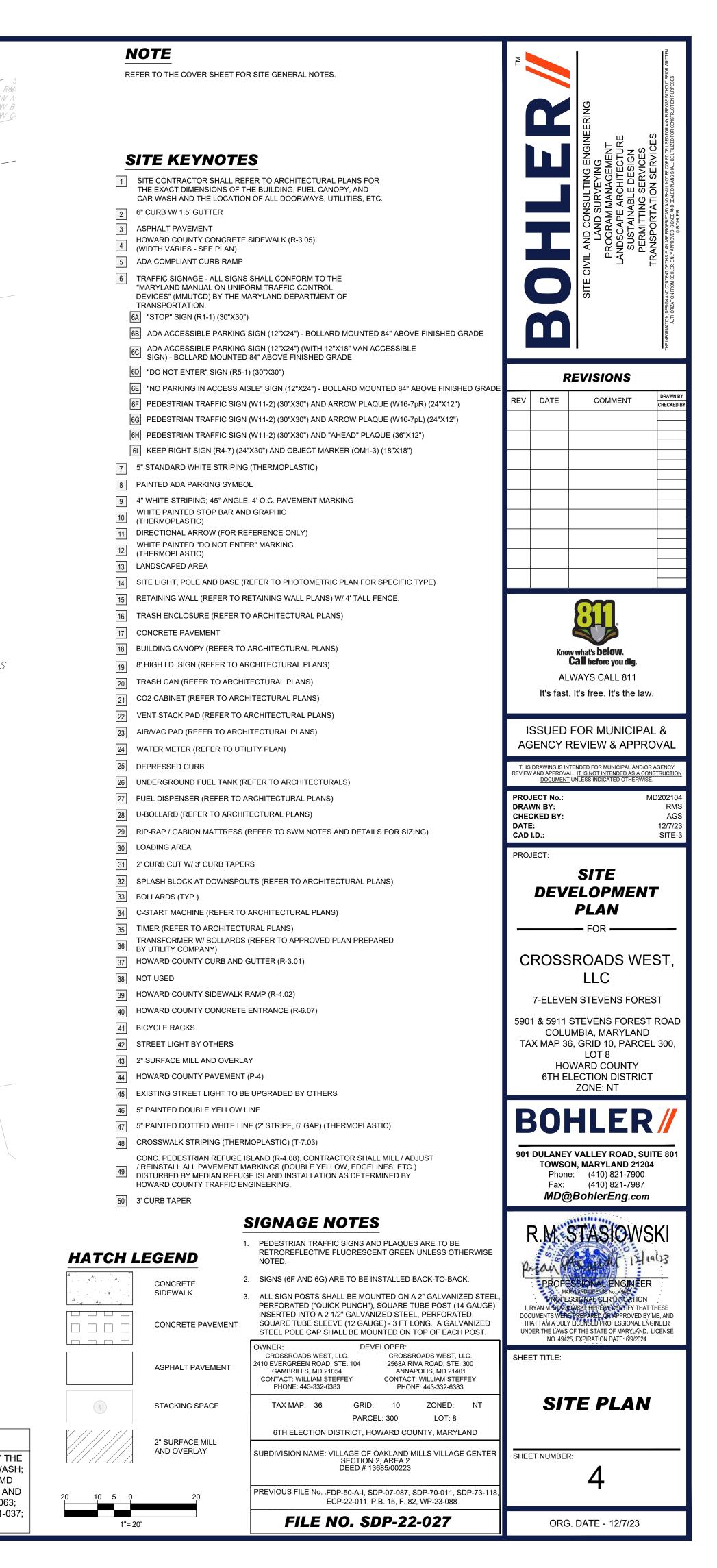


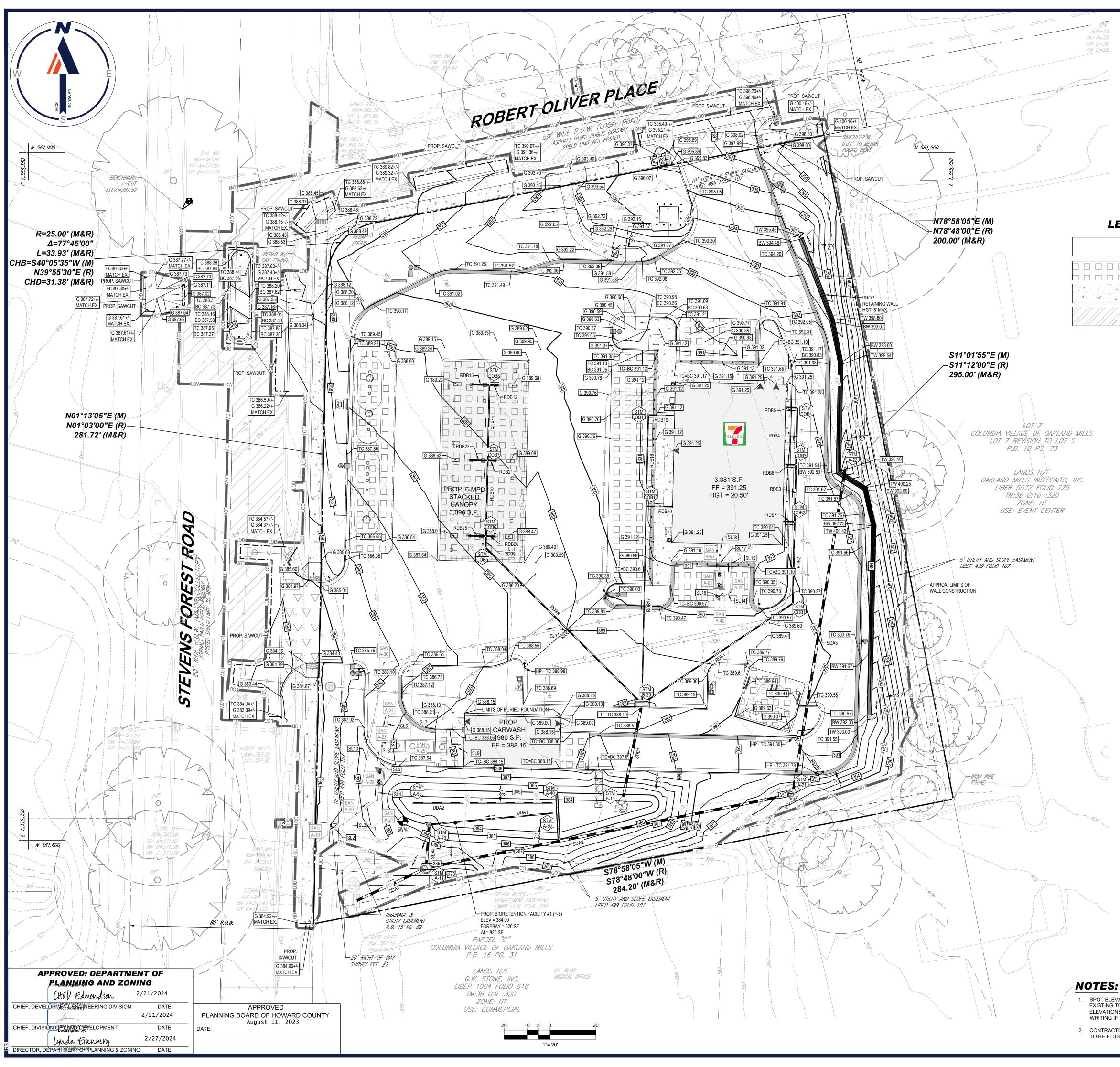
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LEGEND

ASPHALT PAVEMENT

CONCRETE PAVEMENT

CONCRETE SIDEWALK

2" SURFACE MILL AND OVERLAY

NAME	TYPE	RIM ELEV. (FT.)	INVERTS
A-11	PRECAST MANHOLE (HO. CO. STD. G-5.12)	384.27'	INV IN = 379.78' (12' INV IN = 379.78' (12' INV OUT = 379.68' (12'
A-20	24" NYLOPLAST DRAIN BASIN W/ DOME GRATE	385.00'	INV IN = 380.67' (6" INV OUT = 380.17' (1
A-21	PRECAST MANHOLE (HO. CO. STD. G-5.12)	393.07'	INV IN = 386.00' (12 INV OUT = 385.90' (1
A-22	12" NYLOPLAST DRAIN BASIN W/ DOME GRATE	395.55'	INV OUT = 388.20' (1
A-30	CLEANOUT	384.50'	INV OUT = 380.67' (6
A-40	CLEANOUT W/ DOME GRATE	384.75'	INV OUT = 380.67' (6
A-50	CLEANOUT W/ DOME GRATE	384.75'	INV IN = 380.67' (6"
B-10	ADS END SECTION	-	INV IN = 384.00' (12
B-20	PRECAST DOUBLE TYPE S INLET (HO. CO. STD. D-4.31)	387.95'	INV IN = 385.00' (6' INV IN = 384.71' (6' INV IN = 385.52' (4' INV OUT = 384.50' (1
COB1	CLEANOUT	389.87'	INV IN = 387.24' (6' INV OUT = 387.24' (6
COB2	CLEANOUT	390.23'	INV IN = 387.55' (6' INV IN = 387.55' (6' INV OUT = 387.55' (6
COB3	CLEANOUT	390.50'	INV IN = 387.80' (6' INV IN = 387.80' (6' INV OUT = 387.80' (6
COB4	CLEANOUT	390.75'	INV IN = 388.05' (6' INV OUT = 388.05' (6
COB5	CLEANOUT	388.19'	INV IN = 385.68' (6' INV OUT = 385.68' (6
COB6	CLEANOUT	388.28'	INV IN = 385.73' (6" INV IN = 385.73' (6" INV IN = 385.73' (6" INV OUT = 385.73' (6"
COB7	CLEANOUT	388.88'	INV IN = 386.33' (6' INV IN = 386.33' (6' INV IN = 386.33' (6' INV OUT = 386.33' (6'
COB8	CLEANOUT	389.49'	INV IN = 386.75' (6' INV IN = 386.75' (6' INV OUT = 386.75' (6
COB12	CLEANOUT	390.96'	INV IN = 387.87' (4' INV IN = 387.87' (4' INV OUT = 387.87' (4
COB13	CLEANOUT	391.06'	INV IN = 388.67' (4' INV OUT = 388.67' (4

STORM SEWER PIPE SCHEDULE

FROM	FROM INV	то	TO INV	PIPE LENGTH	SLOPE (%)	DIAMETER (IN.)	MATERIAL	NO
B-20	385.00'	COB1	387.24'	79.02'	2.83%	6"	HDPE	RDB1
COB1	387.24'	COB2	387.55'	35.72'	0.87%	6"	HDPE	RDB2
COB2	387.55'	COB3	387.80'	24.83'	1.01%	6"	HDPE	RDB3
COB3	387.80'	COB4	388.05'	24.83'	1.01%	6"	HDPE	RDB4
COB4	388.05'	BLDG	388.15'	5.00'	2.00%	6"	HDPE	RDB5
COB3	387.80'	BLDG	387.90'	5.00'	2.00%	6"	HDPE	RDB6
COB2	387.55'	BLDG	387.65'	5.00'	2.00%	6"	HDPE	RDB7
B-20	384.71'	COB5	385.68'	96.37'	1.01%	6"	HDPE	RDB8
COB5	385.68'	COB6	385.73'	5.00'	1.00%	6"	HDPE	RDB
COB6	385.73'	COB7	386.33'	33.00'	1.82%	6"	HDPE	RDB1
COB7	386.33'	COB8	386.75'	33.00'	1.27%	6"	HDPE	RDB ²
COB8	386.75'	CNPY5	386.81'	4.00'	1.50%	6"	HDPE	RDB1
COB8	386.75'	CNPY6	386.83'	8.00'	1.00%	6"	HDPE	RDB [,]
B-20	385.52'	COB12	387.87'	86.25'	2.72%	4"	HDPE	RDB ²
COB12	387.87'	COB13	388.67'	39.83'	2.01%	4"	HDPE	RDB ²
COB13	388.67'	CNPY8	388.90'	11.50'	2.00%	4"	HDPE	RDB [,]
COB12	387.87'	CNPY7	388.10'	11.50'	2.00%	4"	HDPE	RDB2
COB7	386.33'	CNPY3	386.39'	4.00'	1.50%	6"	HDPE	RDB2
COB7	386.33'	CNPY4	386.41'	8.00'	1.00%	6"	HDPE	RDB2
COB6	385.73'	CNPY2	385.81'	8.00'	1.00%	6"	HDPE	RDB2
COB6	385.73'	CNPY1	385.79'	4.00'	1.50%	6"	HDPE	RDB2
A-10	378.25'	A-11	379.68'	33.63'	4.25%	12"	HDPE	SDA1
A-11	379.78'	A-21	385.90'	162.96'	3.76%	12"	HDPE	SDA2
A-21	386.00'	A-22	388.20'	143.85'	1.53%	12"	HDPE	SDA3
A-11	379.78'	A-20	380.17'	18.96'	2.06%	12"	HDPE	SDA4
B-10	384.00'	B-20	384.50'	43.28'	1.16%	12"	HDPE	SDB1
A-20	380.67'	A-30	380.67'	53.85'	0.00%	6"	PERF. PVC	UDA'
A-50	380.67'	A-40	380.67'	61.00'	0.00%	6"	PERF. PVC	UDA2
			•					

TOTAI SCHE	
TYPE	LENGTH
4" HDPE	153.08'
6" HDPE	388.77'
6" PERF. PVC	114.85'
12" HDPE	402.68'

SPOT ELEVATIONS NOTED AS ± HAVE BEEN INTERPOLATED FROM EXISTING TOPOGRAPHY. CONTRACTOR IS TO VERIFY THESE SPOT ELEVATIONS PRIOR TO CONSTRUCTION, AND TO NOTIFY BOHLER IN WRITING IF THE ACTUAL ELEVATIONS DIFFER.

2. CONTRACTOR TO ENSURE TOP OF GABION INFLOW PROTECTIONS TO BE FLUSH WITH TOP OF PAVEMENT AT CURB CUTS.

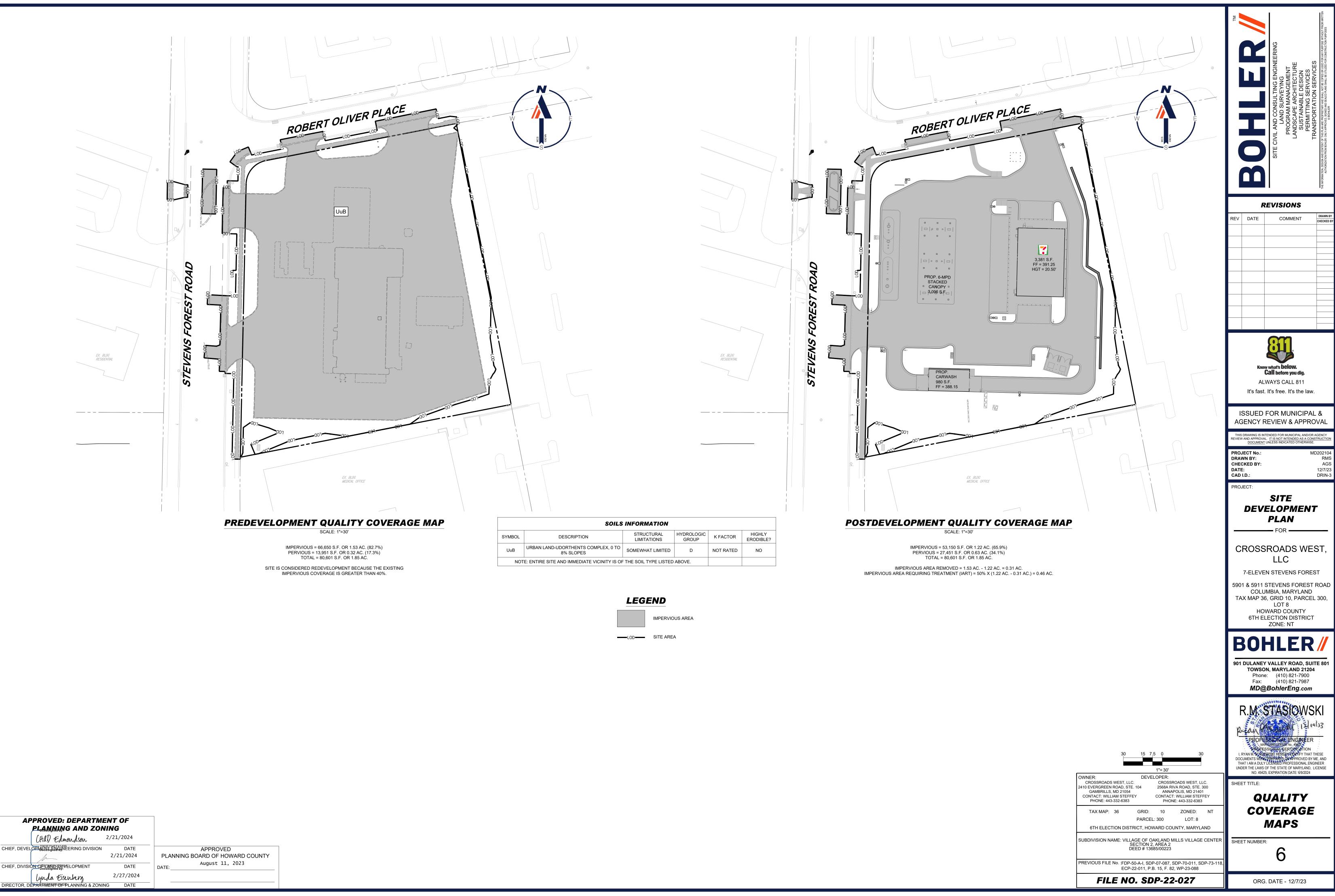
OWNER: DEVELOPER: CROSSROADS WEST, LLC. CROSSROADS WEST, LLC. 410 EVERGREEN ROAD, STE. 104 2568A RIVA ROAD, STE. 300 GAMBRILLS, MD 21054 ANNAPOLIS, MD 21401 CONTACT: WILLIAM STEFFEY CONTACT: WILLIAM STEFFE PHONE: 443-332-6383 PHONE: 443-332-6383 TAX MAP: 36 GRID: 10 ZONED: PARCEL: 300 LOT: 8 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAN

SUBDIVISION NAME: VILLAGE OF OAKLAND MILLS VILLAGE CE SECTION 2, AREA 2 DEED # 13685/00223

PREVIOUS FILE No. :FDP-50-A-I, SDP-07-087, SDP-70-011, SDP-ECP-22-011, P.B. 15, F. 82, WP-23-088

FILE NO. SDP-22-027

7' (6") 7' (12") 9' (12") 90' (12") 60' (12") 67' (6") 67' (6") 7' (6") 7' (6") 1' (6") 1' (6") 2' (4") 60' (12")			SITE CIVIL AND CONSULTING LAND SURVEYIN PROGRAM MANAGE LANDSCAPE ARCHITE SUSTAINABLE DES PERMITTING SERV TRANSPORTATION SE	THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE AUTHORIZATION PROM BOHLER, ONLY APPROVED SIGNED AND SEALED PLANS SH © BOHLER
4' (6") 24' (6")		R	EVISIONS	
5' (6") 5' (6") 55' (6")	REV	DATE	COMMENT	DRAWN BY CHECKED BY
0' (6") 0' (6") 80' (6")				
5' (6") 05' (6") 8' (6") 68' (6")			-	_
3' (6") 3' (6")				
3' (6") 73' (6") 3' (6") 3' (6") 3' (6")				
33' (6") 5' (6") 5' (6")			811.	
75' (6") 7' (4") 7' (4") 87' (4")		Knor	w what's below. Call before you dig.	
7' (4") 67' (4")		AL	WAYS CALL 811 . It's free. It's the law.	
			FOR MUNICIPAL REVIEW & APPROV	
		AND APPROVA	TENDED FOR MUNICIPAL AND/OR AC L. IT IS NOT INTENDED AS A CONST UNLESS INDICATED OTHERWISE.	
NO		JECT No.: WN BY:	MD	202104 RMS
RDB1 RDB2	DATE			AGS 12/7/23
RDB3		I.D.: JECT:		SITE-3
RDB4	FILO			
			SITE	
RDB5		DEV	SITE ELOPMENT	
RDB5 RDB6 RDB7		DEV		
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RDB5 RDB6 RDB7 RDB8 RDB9			ELOPMENT PLAN	-
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APPROVED: DEPARTM PLANNING AND ZON		
(HD Edmondson	2/21/2024	
CHIEF, DEVELOPMENTS HERING DIVISION	DATE	
h	2/21/2024	PLANNING
CHIEF, DIVISION CLEAT MR 1922 ELOPMENT	DATE	DATE:
	2/27/2024	

	30/23				
SYMBOL	DESCRIPTION	STRUCTURAL LIMITATIONS	HYDROLOGIC GROUP	K FACTOR	HIGHLY ERODIBLE?
UuB	URBAN LAND-UDORTHENTS COMPLEX, 0 TO 8% SLOPES	SOMEWHAT LIMITED	D	NOT RATED	NO
NOT	E: ENTIRE SITE AND IMMEDIATE VICINITY IS OF	ABOVE.			





	00//0								
SOILS INFORMATION									
SYMBOL	DESCRIPTION	STRUCTURAL LIMITATIONS	HYDROLOGIC GROUP	K FACTOR	HIGHLY ERODIBLE?				
UuB	URBAN LAND-UDORTHENTS COMPLEX, 0 TO 8% SLOPES	SOMEWHAT LIMITED	D	NOT RATED	NO				
NOT	NOTE: ENTIRE SITE AND IMMEDIATE VICINITY IS OF THE SOIL TYPE LISTED ABOVE.								

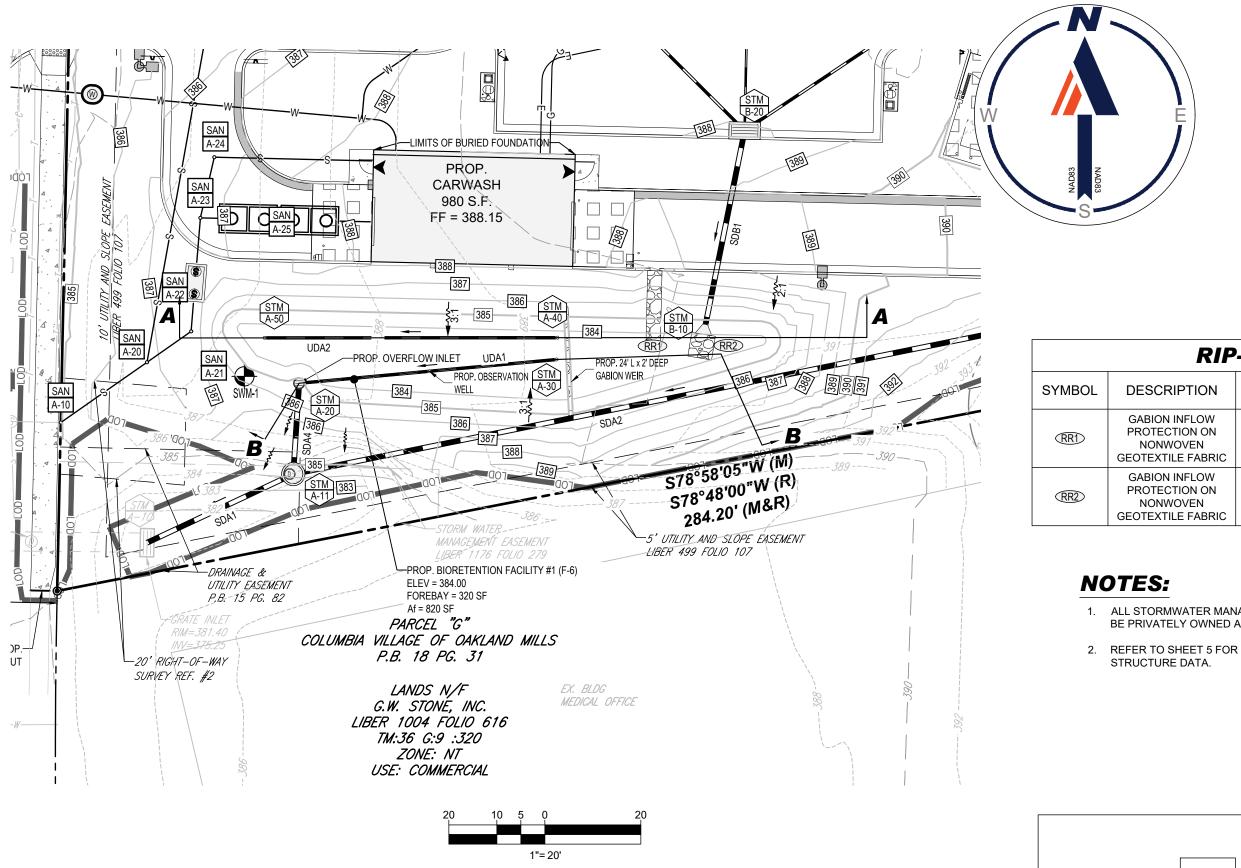
IART 19,100 S.F. UR 0.44 AU.	
IMPERVIOUS 22,216 S.F. OR 0.51 AC.	
PERVIOUS 15,246 S.F. OR 0.35 AC.	
(1) WOODS 0 S.F. OR 0.00 AC.	
TOTAL 37,462 S.F. OR 0.86 AC.	
ESDv REQUIRED 1,811 CF	
ESDv PROVIDED 1,980 CF	

STOP	RMDRAIN D	RAINA	GE
	AREAS		
AREA	COVERAGE	ACREAGE	С
_	IMPERVIOUS	0.51 AC.	
(A-20)	PERVIOUS	0.35 AC.	0.61
1120	TOTAL (INCL AREA B-20+CC)	0.86 AC.	
\frown	IMPERVIOUS	0.38 AC.	
(A-22)	PERVIOUS	0.07 AC.	0.76
	TOTAL	0.45 AC.	
\frown	IMPERVIOUS	0.37 AC.	
(B-20)	PERVIOUS	0.19 AC.	0.65
	TOTAL	0.56 AC.	
\frown	IMPERVIOUS	0.04 AC.	
(CC)	PERVIOUS	0.00 AC.	0.55
	TOTAL	0.04 AC.	



CROSSROADS WEST, LLC. 2568A RIVA ROAD, STE. 300 ANNAPOLIS, MD 21401 CONTACT: WILLIAM STEFFEY PHONE: 443-332-6383 GRID: 10 ZONED: NT LOT: 8 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND SUBDIVISION NAME: VILLAGE OF OAKLAND MILLS VILLAGE CENTER SECTION 2, AREA 2 DEED # 13685/00223

PREVIOUS FILE No. :FDP-50-A-I, SDP-07-087, SDP-70-011, SDP-73-118 ECP-22-011, P.B. 15, F. 82, WP-23-088 **FILE NO. SDP-22-027**



CLIENT:							PROJECT NO.:		BORING	NO	SHEET:		
Reliable PROJEC		in fact	ervices	, ЩС			02:9489 DRILLER/CON		SW M-1		1 of 1		-EC
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		orest F	Road, C	1	a, Maryland 21045	denigo prime and a second		91	5 1000000000000000000000000000000000000		Ļ		
NORTH					ASTING:	STATION:				ELEVATION:		BOTTOM OF CASI	NG
61612.				13	55509.9			3	87		Direction		
Ê	SAMPLE NUMBER	ΥPE	SAMPLE DIST. (IN)	(IN)			/ELS	ELEVATION (FT)	Īo		x•-	4	
DEPTH (FT)	INN	SAMPLE TYPE	DIS	RECOVERY (IN)	DESCRIPTION OF MATERIAL			WATER LEVELS	NOI	BLOWS/6"		STANDARD PENET	RATION BLOWS/FT ATION & RECOVERY
DEPT	1PLE	AMP	1PLE	8				ATEF	EVAT	BLO		RQD	
	SAN	S	SAN	RE				N	ELI			- REC CALIBRATED PENET	
												VES CONTENT] %	ROWETER TOW/SP
, <u>-</u>			-		Asphalt Thickness[4 Gravel Thickness[3"]		/°	1.		12 - 12			
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	-		-		brown, moist, loose			//	6 	1999 S			
-							//	//	-	2-2-3			
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-	S-3	SS	18	18	to soft		- KZ	[]		(10)	Ø10		
-								[]	8				
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(HAD Edmondson 2/21/2024 CHIEF, DEVELOPMENSigner CHIEF, DEVELOPMENSigner DATE 2/21/2024 CHIEF, DIVISION OF BTAKE 22 PEVELOPMENT DATE 2/27/2024 lynda Eisenberg DIRECTOR. DEPAR 初肥料师创作PLANNING & ZONING DATE

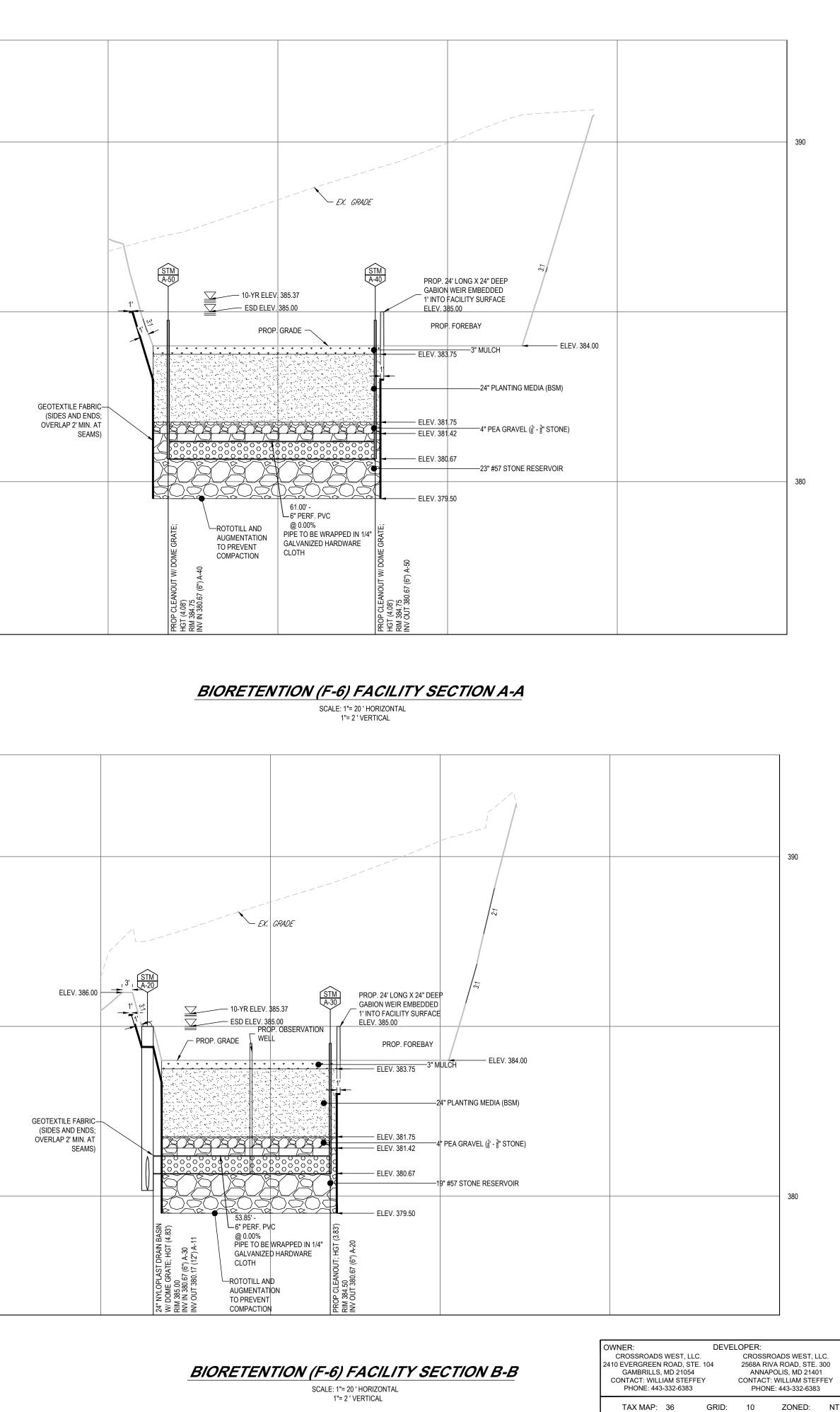
APPROVED PLANNING BOARD OF HOWARD COUNTY August 11, 2023 DATE:

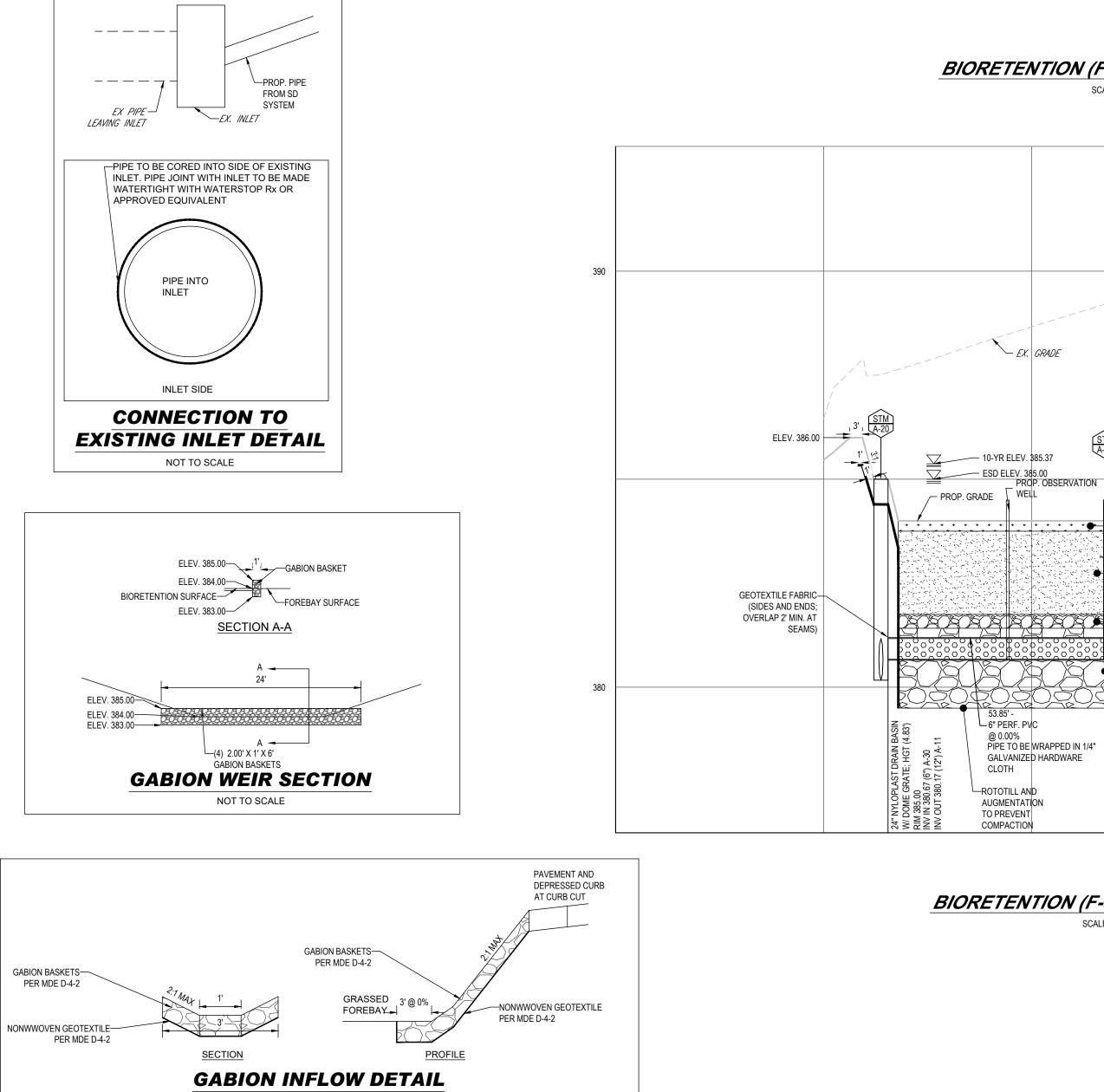
GABION BASKETS-PER MDE D-4-2

NOT TO SCALE

RIP-RAP SCHEDULE								
(MBOL	DESCRIPTION	LENGTH	BOTTOM WIDTH	THICKNES S	D ₅₀	D _{MAX}		
(RR1)	GABION INFLOW PROTECTION ON NONWOVEN GEOTEXTILE FABRIC	16'	3'	12"	5.5"	7"		
RR2	GABION INFLOW PROTECTION ON NONWOVEN GEOTEXTILE FABRIC	5'	5'	12"	5.5"	7"		

1. ALL STORMWATER MANAGEMENT FACILITIES ON-SITE ARE TO BE PRIVATELY OWNED AND MAINTAINED. 2. REFER TO SHEET 5 FOR STORM DRAIN INVERTS AND STORM







ORG. DATE - 12/7/23

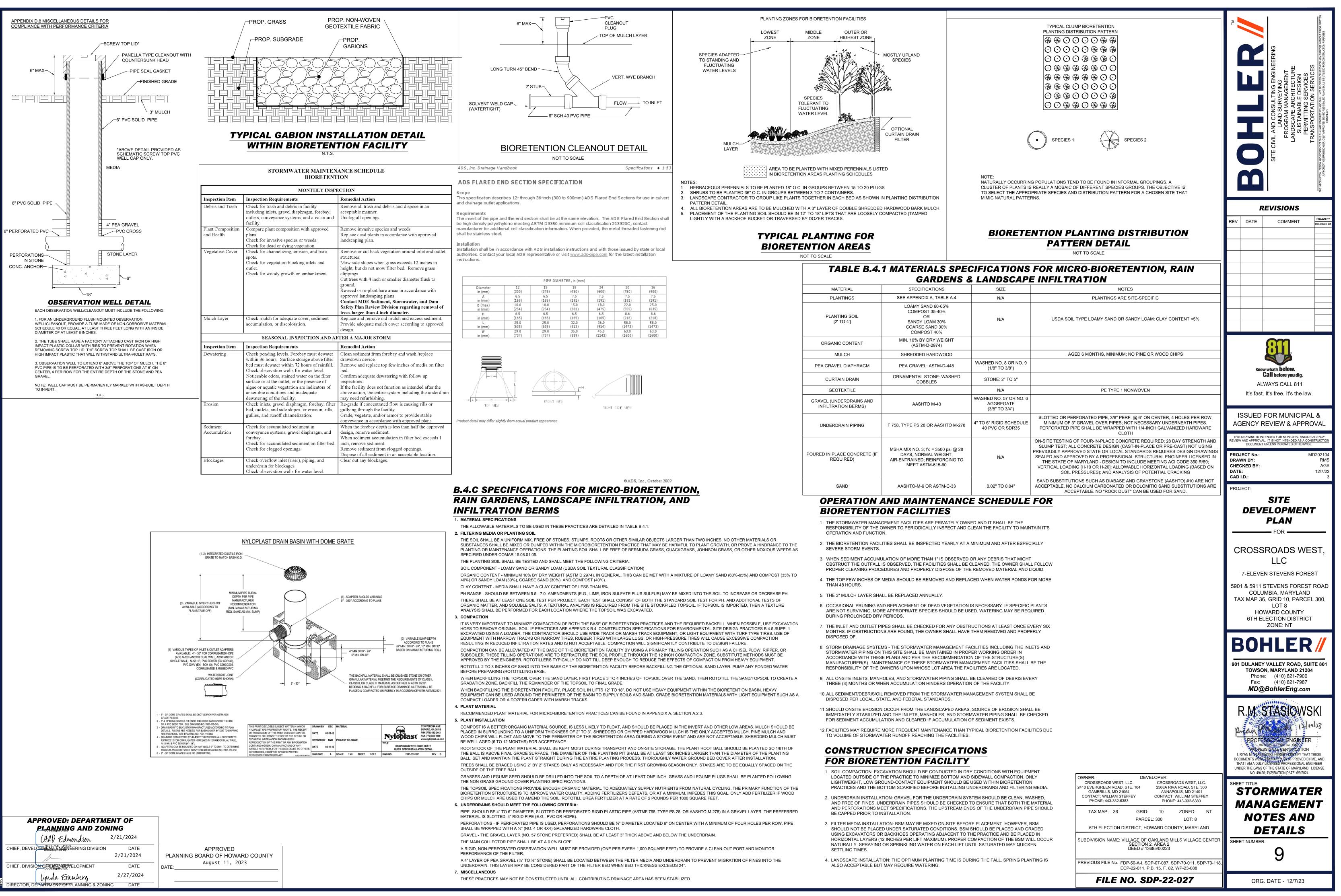
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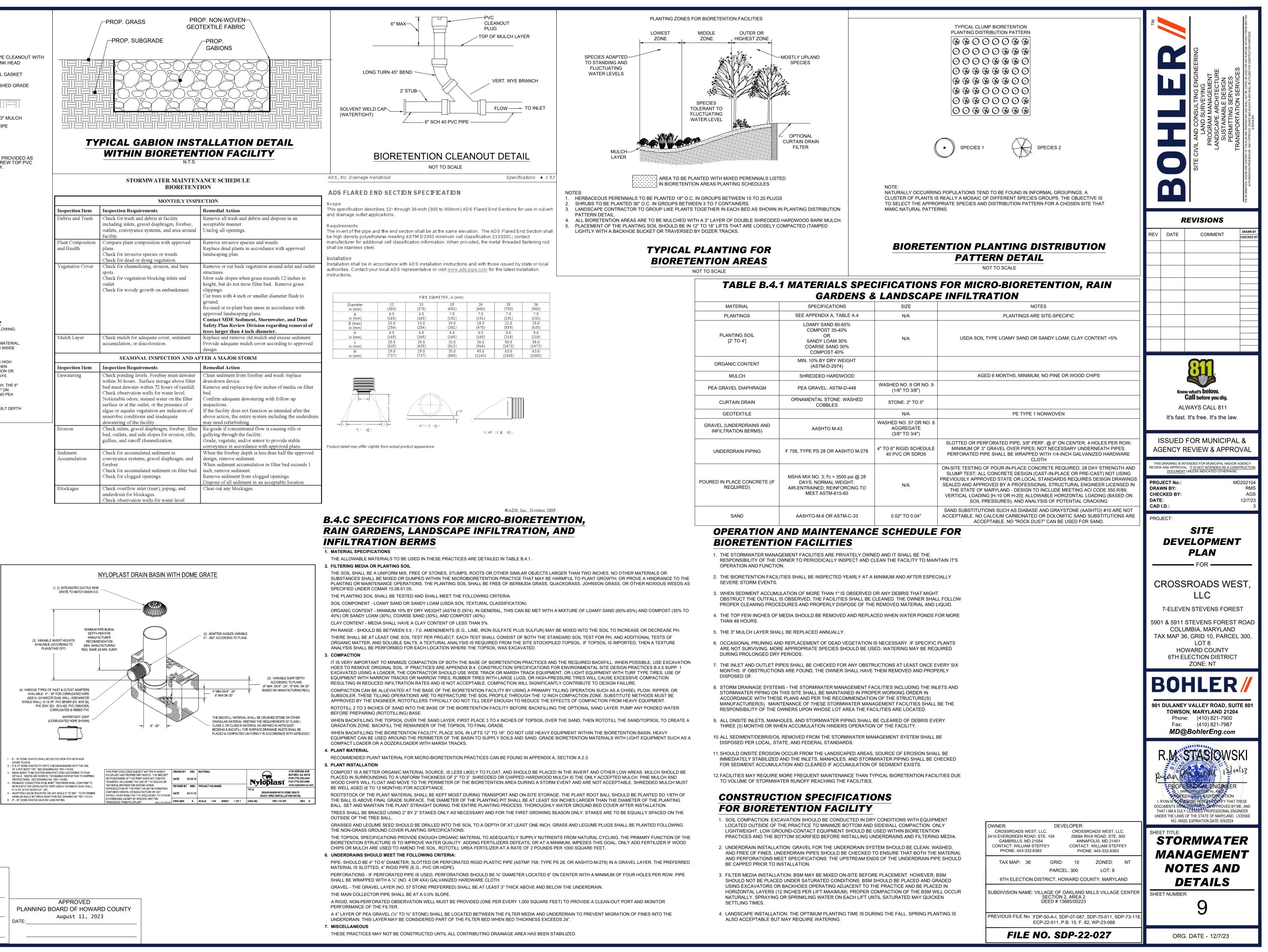
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6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

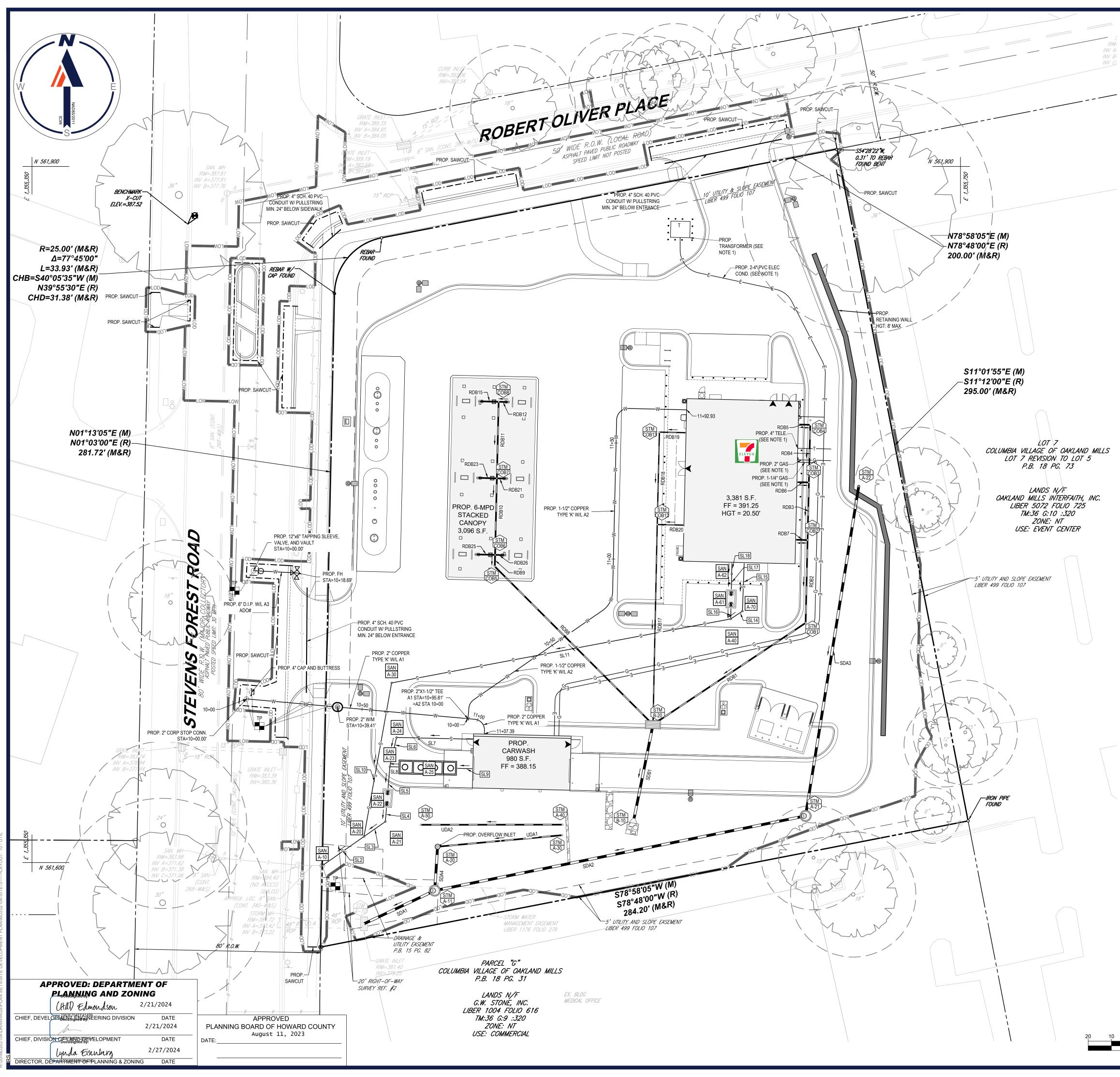
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(HAD Edmondson	2/21/2024	
	DATE 2/21/2024	APPROVED PLANNING BOARD OF HOWARD COUNTY
	DATE	- August 11, 2023
Lynda Eisenburg	2/27/2024	



16.21, 2023 1:30:MD202104:DBAWINGS\PI AN SETS\SITE DEVELOPMENT PI ANIMD202104-SITE-3-

SA	NITARY STRU	CTURE S	CHEDULE
NAME	TYPE	RIM ELEV. (FT.)	INVERTS
A-10	CLEANOUT	385.09'	INV IN = 381.31' (6") INV OUT = 373.20' (8")
A-20	CLEANOUT	386.71'	INV IN = 381.53' (6") INV IN = 381.95' (6") INV OUT = 381.53' (6")
A-21	CLEANOUT	387.06'	INV IN = 382.06' (6") INV OUT = 382.06' (6")
A-22	OIL/WATER SEPARATOR	VARIES	INV IN = 382.41' (6") INV OUT = 382.16' (6")
A-23	CLEANOUT	386.87'	INV IN = 383.11' (6") INV IN = 382.55' (6") INV OUT = 382.55' (6")
A-24	CLEANOUT	386.77'	INV IN = 382.83' (6") INV OUT = 382.83' (6")
A-25	RECLAIM TANKS	VARIES	INV IN = 383.73' (6") INV OUT = 383.48' (6")
A-30	CLEANOUT	385.77'	INV IN = 382.21' (6") INV OUT = 382.21' (6")
A-40	CLEANOUT	390.29'	INV IN = 386.01' (6") INV IN = 386.03' (6") INV OUT = 384.60' (6")
A-61	GREASE TRAP	VARIES	INV IN = 386.49' (6") INV OUT = 386.49' (6")
A-62	CLEANOUT	391.16'	INV IN = 386.94' (6") INV OUT = 386.94' (6")
A-70	CLEANOUT	390.46'	INV IN = 386.55' (6") INV OUT = 386.55' (6")

	SANITARY PIPE SCHEDULE									
FROM	FROM INV	то	TO INV	PIPE LENGTH	SLOPE (%)	DIAMETER (IN.)	MATERIAL	NO.		
A-10	381.31'	A-20	381.53'	21.92'	1.01%	6"	SDR-35 PVC	SL2		
A-20	381.95'	A-21	382.06'	11.22'	1.00%	6"	SDR-35 PVC	SL3		
A-21	382.06'	A-22	382.16'	6.25'	1.60%	6"	SDR-35 PVC	SL4		
A-22	382.41'	A-23	382.55'	9.65'	1.45%	6"	SDR-35 PVC	SL5		
A-23	382.55'	A-24	382.83'	12.96'	2.16%	6"	SDR-35 PVC	SL6		
A-24	382.83'	CWSH	384.15'	33.18'	3.98%	6"	SDR-35 PVC	SL7		
A-23	383.11'	A-25	383.48'	3.95'	9.38%	6"	SDR-35 PVC	SL8		
A-20	381.53'	A-30	382.21'	67.28'	1.01%	6"	SDR-35 PVC	SL10		
A-30	382.21'	A-40	384.60'	148.69'	1.61%	6"	SDR-35 PVC	SL11		
A-40	386.01'	A-70	386.55'	6.03'	8.95%	6"	SDR-35 PVC	SL14		
A-70	386.55'	BLDG	387.00'	20.95'	2.15%	6"	SDR-35 PVC	SL15		
A-40	386.03'	A-61	386.49'	4.70'	9.79%	6"	SDR-35 PVC	SL16		
A-61	386.74'	A-62	386.94'	6.87'	2.91%	6"	SDR-35 PVC	SL17		
A-62	386.94'	BLDG	387.00'	5.00'	1.20%	6"	SDR-35 PVC	SL18		

SPECIFIC UTILITY NOTES

- 1. REFER TO APPROVED PLANS PREPARED BY UTILITY COMPANIES FOR ALL ELECTRIC, GAS, AND TELEPHONE/DATA CONDUIT AND STRUCTURE (MANHOLE, HANDHOLE, TRANSFORMER, ETC.) DESIGNS.
- 2. WATERLINES SHALL NORMALLY HAVE A MINIMUM 4' OF COVER, EXCEPT WHERE CROSSING A UTILITY, WHERE THEY MAY HAVE 3' OF COVER.
- THE PUBLIC FIRE HYDRANT, 6" WATERLINE, AND 2" WATERLINE WITHIN STEVENS FOREST ROAD AS WELL AS THE 2" WATER METER IS TO BE INSTALLED WITH ADO #2848 APPROVED ON 3/29/23.

TEST PIT NOTE

1"=20

TP EXISTING UTILITY OR 2' BELOW PROPOSED UTILITY AND SUBMIT ANY DISCREPANCIES TO BOHLER ENGINEERING VA, LLC. IN WRITING.

OWNER:	DEVE	LOPER:			
CROSSROADS WEST, 410 EVERGREEN ROAD, GAMBRILLS, MD 210 CONTACT: WILLIAM STE PHONE: 443-332-63	2568A R ANNA CONTAC	ROADS WEST, LL IVA ROAD, STE. 3 APOLIS, MD 21401 T: WILLIAM STEF NE: 443-332-6383	300 I		
TAX MAP: 36	GRID:	10	ZONED:	NT	
	PARCEL	_: 300	LOT: 8		
6TH ELECTION D	ISTRICT, HOV	WARD CC	UNTY, MARYLA	AND	
SUBDIVISION NAME: VILLAGE OF OAKLAND MILLS VILLAGE CENTER SECTION 2, AREA 2 DEED # 13685/00223					
PREVIOUS FILE No. :FDP-50-A-I, SDP-07-087, SDP-70-011, SDP-73-118,					

ECP-22-011, P.B. 15, F. 82, WP-23-088 FILE NO. SDP-22-027



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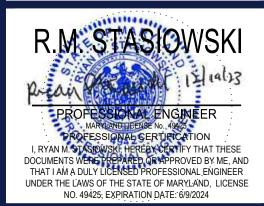
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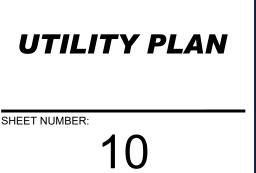
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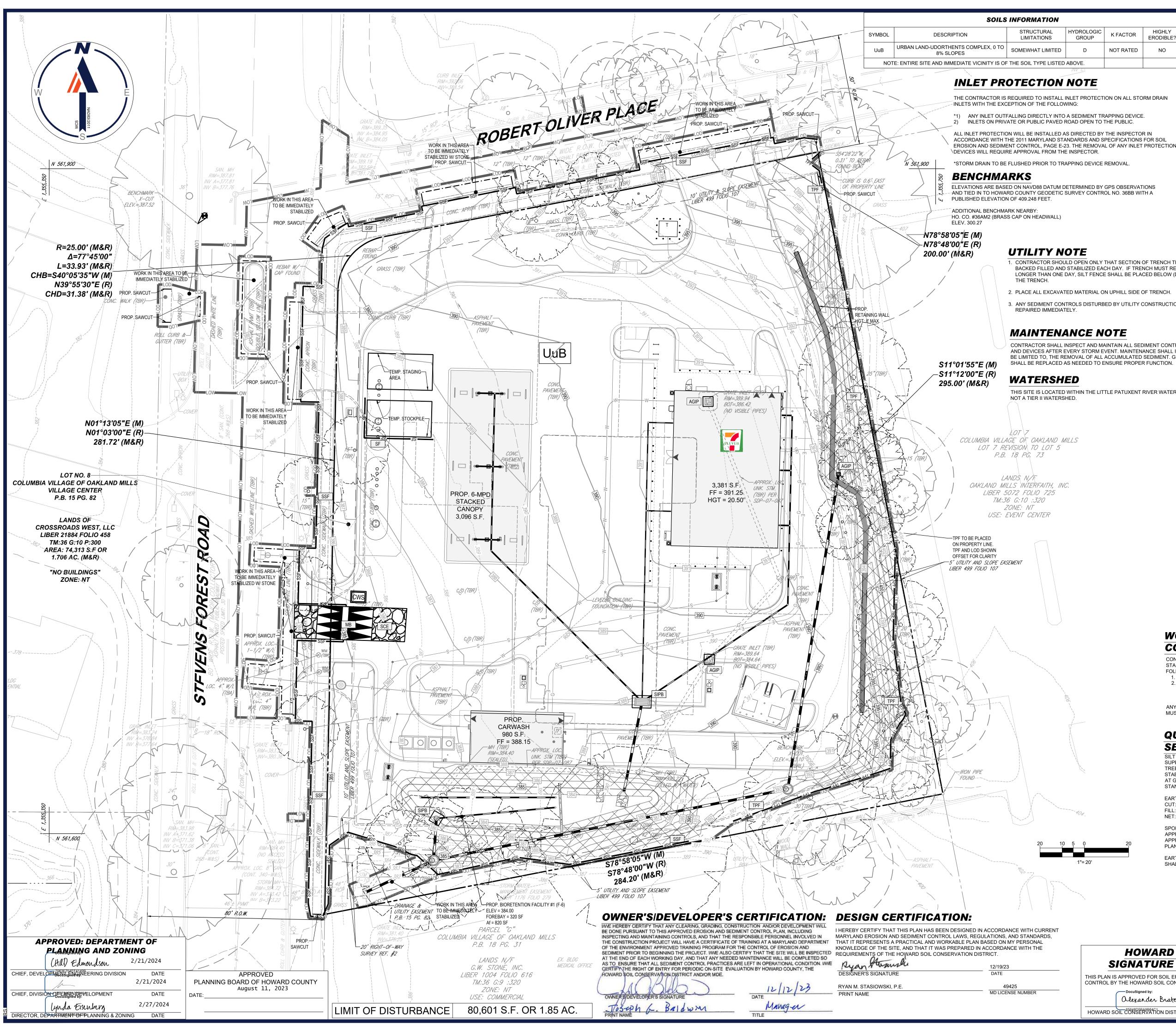
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901 DULANEY VALLEY ROAD, SUITE 801 TOWSON, MARYLAND 21204 Phone: (410) 821-7900 Fax: (410) 821-7987 MD@BohlerEng.com

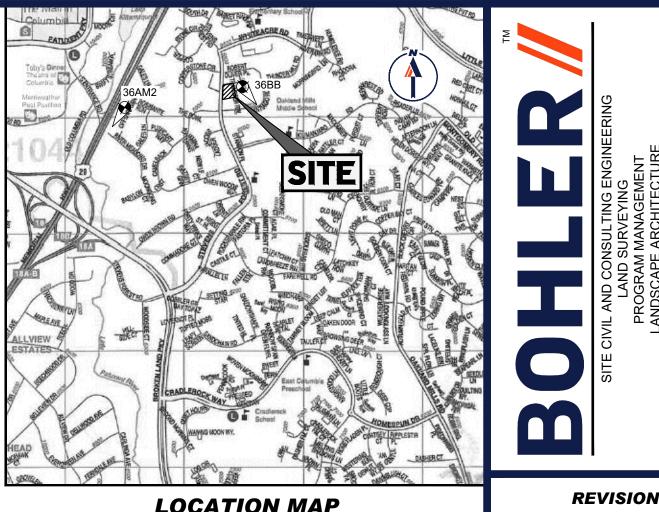


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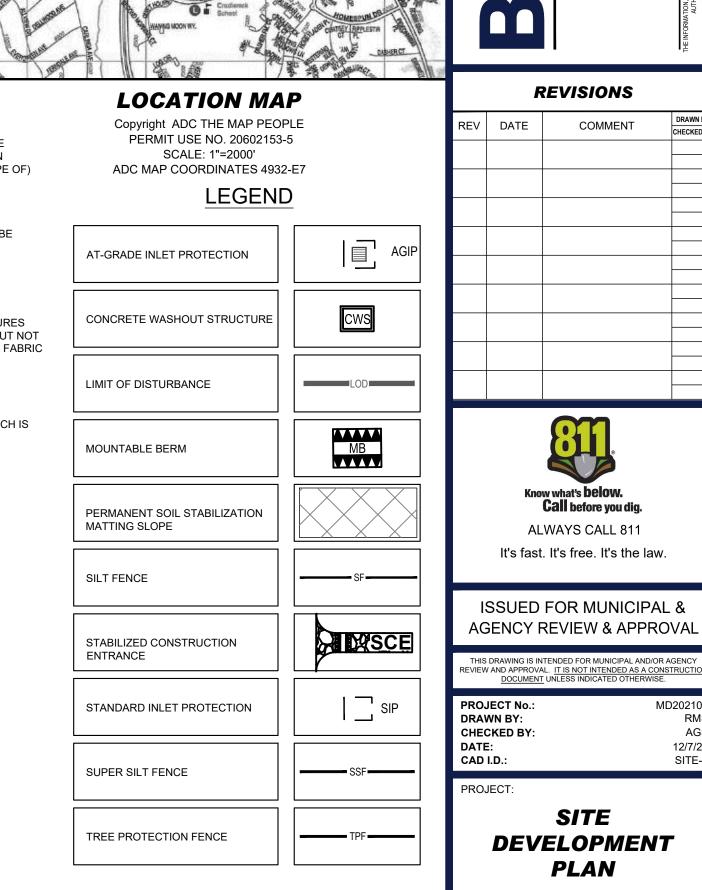


1. CONTRACTOR SHOULD OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKED FILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF)

2. PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH. 3. ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE

CONTRACTOR SHALL INSPECT AND MAINTAIN ALL SEDIMENT CONTROL MEASURES AND DEVICES AFTER EVERY STORM EVENT. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, THE REMOVAL OF ALL ACCUMULATED SEDIMENT. GEOTEXTILE FABRIC SHALL BE REPLACED AS NEEDED TO ENSURE PROPER FUNCTION.

THIS SITE IS LOCATED WITHIN THE LITTLE PATUXENT RIVER WATERSHED, WHICH IS



WORK OUTSIDE PERIMETER **CONTROLS NOTES**

CONTRACTOR SHALL ONLY DISTURB THAT AREA WHICH CAN BE COMPLETED AND STABILIZED BY THE END OF EACH WORKING DAY. STABILIZATION SHALL BE AS FOLLOWS:

1. FOR AREAS TO BE PAVED, THE APPLICATION OF STONE BASE 2. FOR AREAS TO BE VEGETATIVELY STABILIZED

a. PERMANENT SEED AND SOIL STABILIZATION MATTING OR SOD FOR ALL

STEEP SLOPES, CHANNELS OR SWALES b. PERMANENT SEED AND MULCH FOR ALL OTHER AREAS. ANY AREAS WHICH CAN NOT BE STABILIZED BY THE END OF EACH WORKING DAY MUST HAVE SILT FENCE INSTALLED ON THE DOWN SLOPE SIDE.

QUANTITY TAKEOFF OF SEDIMENT CONTROL MEASURES

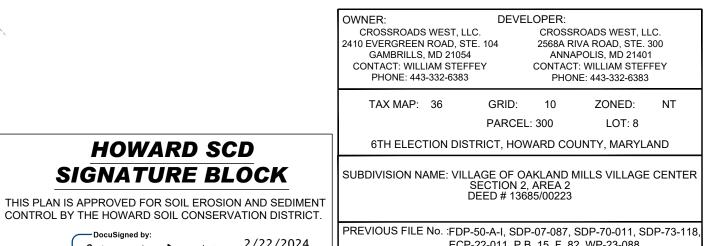
SILT FENCE: SUPER SILT FENCE: TREE PROTECTION FENCE STABILIZED CONSTRUCTION ENTRANCE: AT GRADE INLET PROTECTION: STANDARD INLET PROTECTION EARTH WORK

593 L.F 363 L.F. 1 EA. 3 EA. 2 EA.

2,560 C.Y. 370 C.Y. 2,190 C.Y. (CUT)

SPOIL MATERIAL SHALL BE DISCARDED AT A SITE WITH AN ACTIVE GRADING PERMIT AND APPROVED SEDIMENT CONTROL PLAN. BORROW MATERIAL SHALL BE OBTAINED FROM AN APPROVED SITE WITH AN ACTIVE GRADING PERMIT AND AN APPROVED SEDIMENT CONTROL

EARTH QUANTITIES LISTED ABOVE ARE FOR SEDIMENT CONTROL USE ONLY. CONTRACTOR SHALL NOT RELY ON THESE FIGURES FOR ESTIMATING AND BONDING PURPOSES.



ECP-22-011, P.B. 15, F. 82, WP-23-088 **FILE NO. SDP-22-027**

CROSSROADS WEST LLC 7-ELEVEN STEVENS FOREST 5901 & 5911 STEVENS FOREST ROAD COLUMBIA. MARYLAND TAX MAP 36, GRID 10, PARCEL 300,

LOT 8 HOWARD COUNTY **6TH ELECTION DISTRICT** ZONE: NT

BOHLER

901 DULANEY VALLEY ROAD, SUITE 80 TOWSON, MARYLAND 21204 Phone: (410) 821-7900 Fax: (410) 821-7987 MD@BohlerEng.com



NO. 49425; EXPIRATION DATE: 6/9/2024 SHEET TITLE:



SHEET NUMBER: 1.

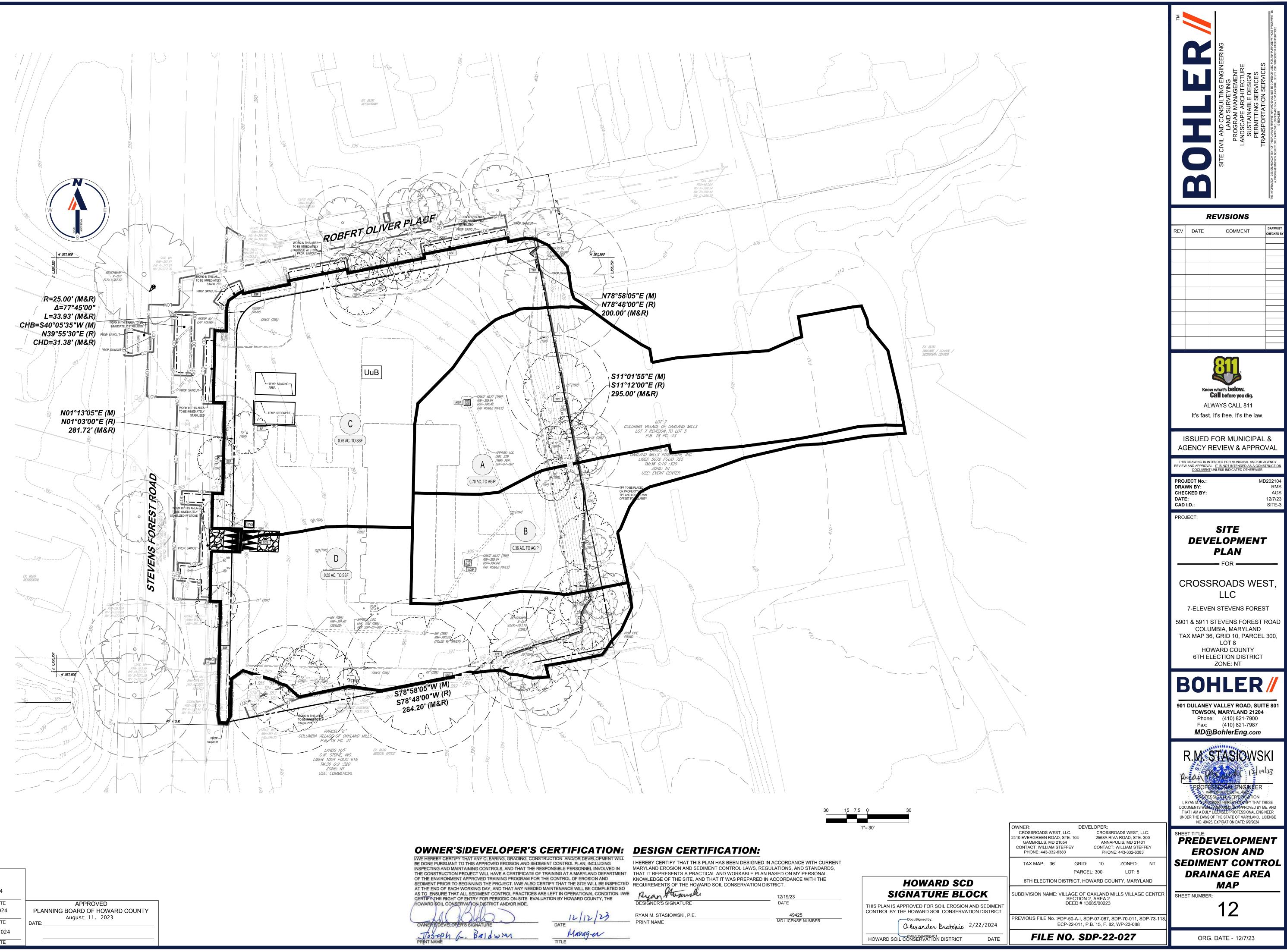
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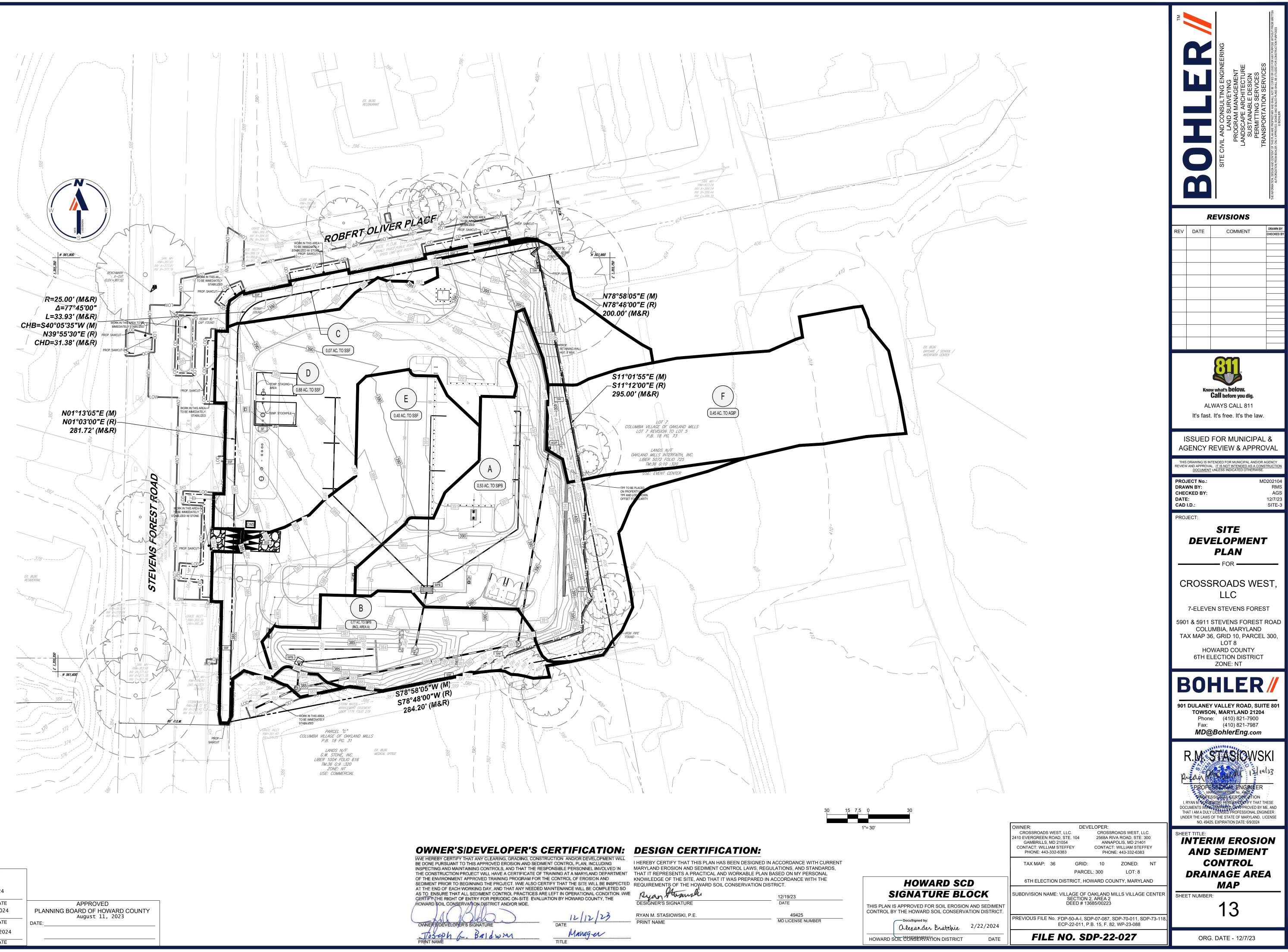
	Olexander Bratchie	2/22/2024
HOWARD SO	DIL CONSERVATION DISTRICT	DATE



AP	PROVED: DEPARTM PLANNING AND ZON	
	(HAD Edmondson	2/21/2024
CHIEF, DEVEL	OPMEANSIGHT OF THE PATHON DIVISION	DATE
	M	2/21/2024
CHIEF, DIVISIO		DATE
	lynda Eisenberg	2/27/2024
DIRECTOR, DE	È₱₳₱৾₮₩₽₽₦₱®₽₽₽LANNIÑG & ZONIN	NG DATE

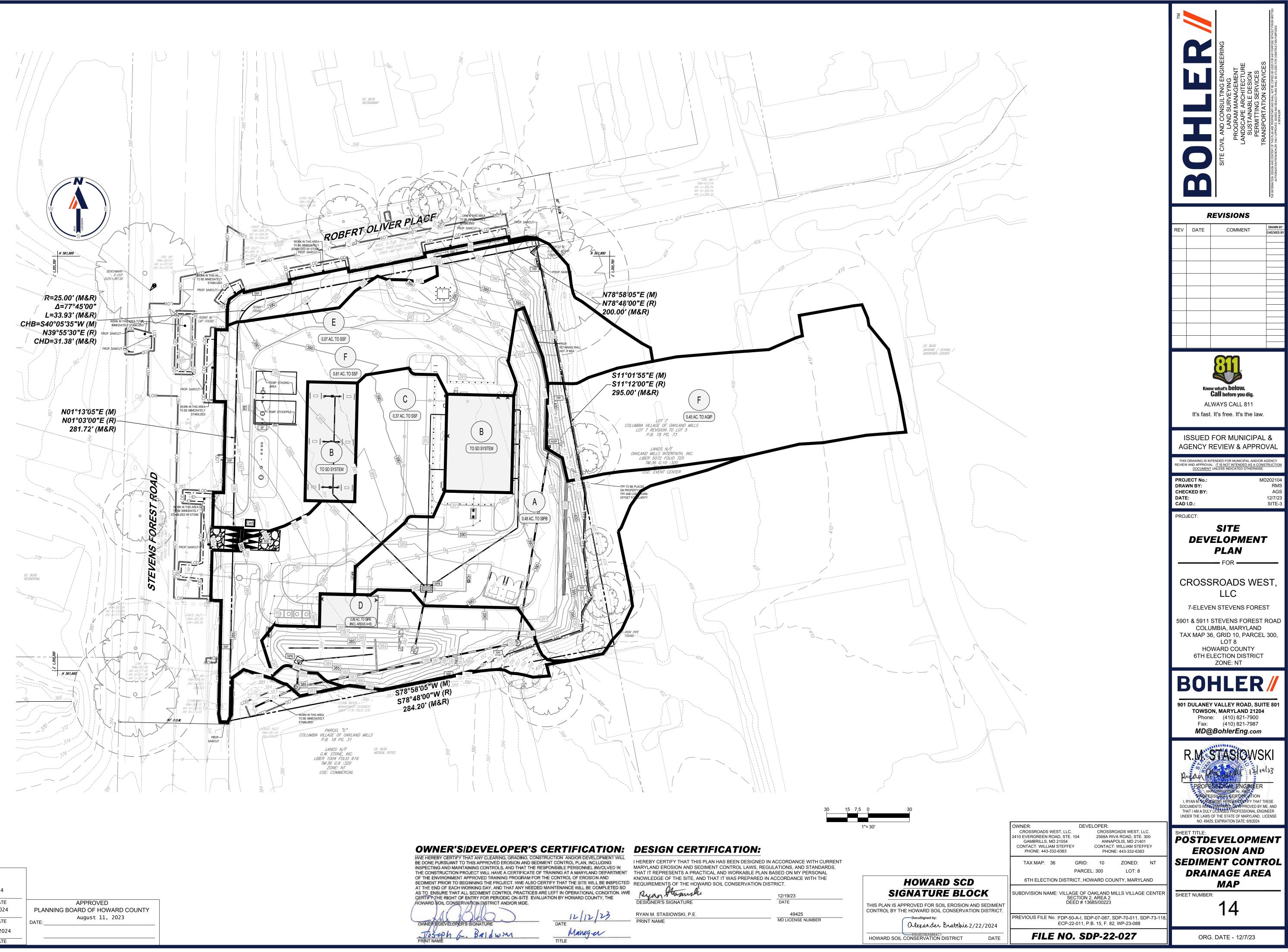
WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL	
E DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING	I
ISPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN	N
HE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT	Т
F THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND	Κ
EDIMENT PRIOR TO BEGINNING THE PROJECT. I/WE ALSO CERTIFY THAT THE SITE WILL BE INSPECTED	R
T THE END OF EACH WORKING DAY, AND THAT ANY NEEDED MAINTENANCE WILL BE COMPLETED SO	
S TO ENSURE THAT ALL SEDIMENT CONTROL PRACTICES ARE LEFT IN OPERATIONAL CONDITION. I/WE	
COTIES THE DIGHT OF ENTRY FOR REPIONS ON SITE EVALUATION BY HOMARD COUNTY THE	

NDITION. INVE	Ryan Humsli
	DESIĞNER'S SIGNATURE
3	RYAN M. STASIOWSKI, P.E.
/	PRINT NAME



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	DATE	
h	2/21/2024	
	DATE	D
lynda Eisenberg	2/27/2024	
DIRECTOR. DEPAR 4991 1997 1998 1998 2001	NG DATE	

L	I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN A	ACCORDANCE WITH CURREN
	MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGUL	LATIONS, AND STANDARDS,
TI	THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BA	ASED ON MY PERSONAL
	KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN A	CCORDANCE WITH THE
ED	REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DIST	RICT.
0	a OA A	
WE	Ryan Damiser	12/19/23
	DESIGNER'S SIGNATURE	DATE
	RYAN M. STASIOWSKI, P.E.	49425
		MD LICENSE NUMBER



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lynda Eisenberg	2/27/2024	
DIRECTOR, DEPAR ୩୩୭୭୭୭୭୫୭୫୭୫ ଅନ୍ୟାର୍ମ & ZONII	NG DATE	

NT WILL		
G	I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN A	ACCORDANCE WITH CURREN
ED IN	MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGUL	ATIONS, AND STANDARDS,
ARTMENT	THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BA	SED ON MY PERSONAL
	KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN A	CCORDANCE WITH THE
ISPECTED	REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DIST.	RICT.
ETED SO	a OA a	
HE	syan turnisti	12/19/23
	DESIGNER'S SIGNATURE	DATE
5	RYAN M. STASIOWSKI, P.E.	49425

B-4 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

JSING VEGETATION AS COVER TO PROTECT EXPOSED SOIL FROM EROSION.

TO PROMOTE THE ESTABLISHMENT OF VEGETATION ON EXPOSED SOIL.

CONDITIONS WHERE PRACTICE APPLIES

ON ALL DISTURBED AREAS NOT STABILIZED BY OTHER METHODS. THIS SPECIFICATION IS DIVIDED INTO SECTIONS ON INCREMENTAL STABILIZATION; SOIL PREPARATION, SOIL AMENDMENTS AND TOPSOILING; SEEDING AND MULCHING; TEMPORARY STABILIZATION; AND PERMANENT STABILIZATION. EFFECTS ON WATER QUALITY AND QUANTIT

STABILIZATION PRACTICES ARE USED TO PROMOTE THE ESTABLISHMENT OF VEGETATION ON EXPOSED SOIL. WHEN SOIL IS STABILIZED WITH VEGETATION, THE SOIL IS LESS LIKELY TO ERODE AND MORE LIKELY TO ALLOW INFILTRATION OF RAINFALL, THEREBY REDUCING SEDIMENT LOADS AND RUNOFF TO DOWNSTREAM AREAS. PLANTING VEGETATION IN DISTURBED AREAS WILL HAVE AN EFFECT ON THE WATER BUDGET, ESPECIALLY ON VOLUMES AND RATES OF RUNOFF, INFILTRATION, EVAPORATION, TRANSPIRATION, PERCOLATION, AND GROUNDWATER RECHARGE, OVER TIME, VEGETATION WILL INCREASE ORGANIC MATTER CONTENT AND IMPROVE THE WATER HOLDING CAPACITY OF THE SOIL AND SUBSEQUENT PLANT GROWTH VEGETATION WILL HELP REDUCE THE MOVEMENT OF SEDIMENT, NUTRIENTS, AND OTHER CHEMICALS CARRIED BY RUNOFF TO RECEIVING WATERS. PLANTS WILL ALSO HELP

PROTECT GROUNDWATER SUPPLIES BY ASSIMILATING THOSE SUBSTANCES PRESENT WITHIN THE ROOT ZONE. SEDIMENT CONTROL PRACTICES MUST REMAIN IN PLACE DURING GRADING, SEEDBED PREPARATION, SEEDING, MULCHING, AND VEGETATIVE ESTABLISHMENT.

ADEQUATE VEGETATIVE ESTABLISHMENT INSPECT SEEDED AREAS FOR VEGETATIVE ESTABLISHMENT AND MAKE NECESSARY REPAIRS, REPLACEMENTS, AND RESEEDINGS WITHIN THE PLANTING SEASON.

- ADEQUATE VEGETATIVE STABILIZATION REQUIRES 95 PERCENT GROUNDCOVER. 2. IF AN AREA HAS LESS THAN 40 PERCENT GROUNDCOVER, RESTABILIZE FOLLOWING THE ORIGINAL RECOMMENDATIONS FOR LIME, FERTILIZER, SEEDBED PREPARATION, AND
- SEEDING 3. IF AN AREA HAS BETWEEN 40 AND 94 PERCENT GROUNDCOVER, OVER-SEED AND FERTILIZE USING HALF OF THE RATES ORIGINALLY SPECIFIED.

4. MAINTENANCE FERTILIZER RATES FOR PERMANENT SEEDING ARE SHOWN IN TABLE B.6. **B-4-1 STANDARDS AND SPECIFICATIONS FOR INCREMENTAL STABILIZATION**

ESTABLISHMENT OF VEGETATIVE COVER ON CUT AND FILL SLOPES.

O PROVIDE TIMELY VEGETATIVE COVER ON CUT AND FILL SLOPES AS WORK PROGRESSES.

CONDITIONS WHERE PRACTICE APPLIES ANY CUT OR FILL SLOPE GREATER THAN 15 FEET IN HEIGHT. THIS PRACTICE ALSO APPLIES TO STOCKPILES.

A. INCREMENTAL STABILIZATION - CUT SLOPES

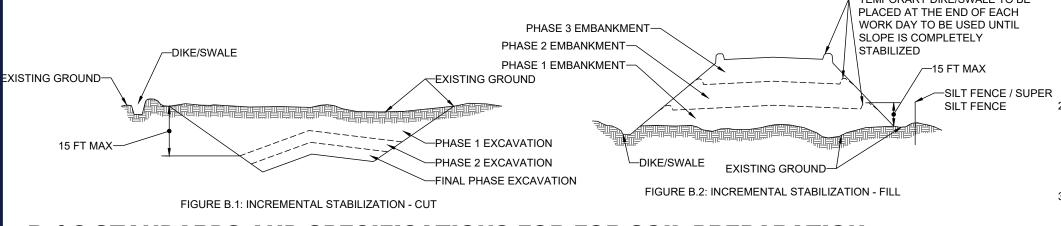
- 1. EXCAVATE AND STABILIZE CUT SLOPES IN INCREMENTS NOT TO EXCEED 15 FEET IN HEIGHT, PREPARE SEEDBED AND APPLY SEED AND MULCH ON ALL CUT SLOPES AS THE WORK PROGRESSES 2. CONSTRUCTION SEQUENCE EXAMPLE (REFER TO FIGURE B.1):
- a. CONSTRUCT AND STABILIZE ALL TEMPORARY SWALES OR DIKES THAT WILL BE USED TO CONVEY RUNOFF AROUND THE EXCAVATION. b. PERFORM PHASE 1 EXCAVATION, PREPARE SEEDBED, AND STABILIZE.
- c. PERFORM PHASE 2 EXCAVATION, PREPARE SEEDBED, AND STABILIZE. OVERSEED PHASE 1 AREAS AS NECESSARY.
- d. PERFORM FINAL PHASE EXCAVATION, PREPARE SEEDBED, AND STABILIZE. OVERSEED PREVIOUSLY SEEDED AREAS AS NECESSARY.

NOTE: ONCE EXCAVATION HAS BEGUN THE OPERATION SHOULD BE CONTINUOUS FROM GRUBBING THROUGH THE COMPLETION OF GRADING AND PLACEMENT OF TOPSOIL (IF REQUIRED) AND PERMANENT SEED AND MULCH. ANY INTERRUPTIONS IN THE OPERATION OR COMPLETING THE OPERATION OUT OF THE SEEDING SEASON WILL NECESSITATE THE APPLICATION OF TEMPORARY STABILIZATION.

B. INCREMENTAL STABILIZATION - FILL SLOPES

- 1. CONSTRUCT AND STABILIZE FILL SLOPES IN INCREMENTS NOT TO EXCEED 15 FEET IN HEIGHT. PREPARE SEEDBED AND APPLY SEED AND MULCH ON ALL SLOPES AS THE WORK PROGRESSES
- 2. STABILIZE SLOPES IMMEDIATELY WHEN THE VERTICAL HEIGHT OF A LIFT REACHES 15 FEET. OR WHEN THE GRADING OPERATION CEASES AS PRESCRIBED IN THE PLANS. 3. AT THE END OF EACH DAY, INSTALL TEMPORARY WATER CONVEYANCE PRACTICE(S), AS NECESSARY, TO INTERCEPT SURFACE RUNOFF AND CONVEY IT DOWN THE SLOPE IN A NON-EROSIVE MANNEF
- 4. CONSTRUCTION SEQUENCE EXAMPLE (REFER TO FIGURE B.2): a. CONSTRUCT AND STABILIZE ALL TEMPORARY SWALES OR DIKES THAT WILL BE USED TO DIVERT RUNOFF AROUND THE FILL. CONSTRUCT SILT FENCE ON LOW SIDE OF FILL UNLESS OTHER METHODS SHOWN ON THE PLANS ADDRESS THIS AREA. b. AT THE END OF EACH DAY, INSTALL TEMPORARY WATER CONVEYANCE PRACTICE(S), AS NECESSARY, TO INTERCEPT SURFACE RUNOFF AND CONVEY IT DOWN THE SLOPE
- IN A NON-EROSIVE MANNER. c PLACE PHASE 1 FILL, PREPARE SEEDBED, AND STABILIZE.
- d. PLACE PHASE 2 FILL, PREPARE SEEDBED, AND STABILIZE
- e. PLACE FINAL PHASE FILL, PREPARE SEEDBED, AND STABILIZE. OVERSEED PREVIOUSLY SEEDED AREAS AS NECESSARY

NOTE: ONCE THE PLACEMENT OF FILL HAS BEGUN THE OPERATION SHOULD BE CONTINUOUS FROM GRUBBING THROUGH THE COMPLETION OF GRADING AND PLACEMENT OF TOPSOIL (IF REQUIRED) AND PERMANENT SEED AND MULCH. ANY INTERRUPTIONS IN THE OPERATION OR COMPLETING THE OPERATION OUT OF THE SEEDING SEASON WILL NECESSITATE THE APPLICATION OF TEMPORARY STABILIZATION. EMPORARY DIKE/SWALE TO BE



B-4-2 STANDARDS AND SPECIFICATIONS FOR FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

CONDITIONS WHERE PRACTICE APPLIES WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

A. SOIL PREPARATION 1. TEMPORARY STABILIZATION

- a. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOWS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENED, IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION. SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE.
- b. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS.
- 2. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. 2. PERMANENT STABILIZATION
- a. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT i SOIL PH BETWEEN 6.0 AND 7.0
- ii. SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM).
- iii. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN EXCEPTION: IF LOVEGRASS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD BE ACCEPTABLE. iv. SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT v. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.
- b. APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE CONDITIONS.
- c. GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES d. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS OF A SOIL TEST.
- e. MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. RAKE LAWN AREAS TO SMOOTH THE SURFACE, REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES, AND READY THE AREA FOR SEED APPLICATION. LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION. TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRIABLE. SEEDBED LOOSENING MAY BE UNNECESSARY ON NEWLY DISTURBED AREAS.

B TOPSOILING

- TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL
- GRADATION . TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-NRCS.
- 3. TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
- b. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS
- c. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH d. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
- AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN.
- 5 TOPSOIL SPECIFICATIONS SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA a. TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. TOPSOIL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1/2 INCHES IN DIAMETER
- b. TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACK GRASS, JOHNSON GRASS, NUT SEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED c. TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.

APPROVED: DEPARTMENT OF DI ANNING AND ZONING

PLANNING AND ZON	ING		HOWARD SCD		
(HAD Edmondson	2/21/2024		SIGNATURE BLOCK		
	DATE	APPROVED			
h	2/21/2024	PLANNING BOARD OF HOWARD COUNTY August 11, 2023	THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.		
	DATE	DATE:	DocuSigned by:		
lynda Eisenberg	2/27/2024		Olexander Bratchie 2/22/2024 		
DIRECTOR, DEPAR ୩୩୦୭୩୭୦୦୦୦୦୦୦୦୦୦୦୦୦୦୦୦୦୦୦୦୦୦୦୦୦୦୦୦୦୦୦୦	G DATE		HOWARD SOIL CONSERVATION DISTRICT DATE		

REQUIRED.

SEEDING

a. EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL.

b. UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. c. TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

1. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSES.

2. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME OR TRADEMARK AND WARRANTY OF THE PRODUCER. 3. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A #100 MESH SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH A #20 MESH SIEVE.

4. LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. 5. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS PER 1.000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL.

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

PURPOSE TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

<u>CONDITIONS WHERE PRACTICE APPLIES</u> TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.

1. SPECIFICATIONS

A. SEEDING

B. MULCHING

6. TOPSOIL APPLICATION

C. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)

a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REFER TO TABLE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE. b. MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE

APPLIED WHEN THE GROUND THAWS. . INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER, ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS EFFECTIVE

d. SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS. 2. APPLICATION

a. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS. INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.1, PERMANENT SEEDING TABLE B.3, OR SITE-SPECIFIC SEEDING SUMMARIES. ii. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDED AREA WITH A WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT

b. DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL. I. CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED MUST BE FIRM AFTER PLANTING.

ii. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. c. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND FERTILIZER).

I. IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN; P2O5 (PHOSPHOROUS), 200 POUNDS PER ACRE; K2O (POTASSIUM), 200 POUNDS PER ACRE. ii. LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING. iii. MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT INTERRUPTION.

1. MULCH MATERIALS (IN ORDER OF PREFERENCE

iv. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

a. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED, DECAYED, OR EXCESSIVELY DUSTY, NOTE: USE ONLY STERILE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED. b. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE.

WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNIFORMI Y SPREAD SI URRY ii. WCFM. INCLUDING DYE. MUST CONTAIN NO GERMINATION OR GROWTH INHIBITING FACTORS.

ii. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED, FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER, ON APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS

iv. WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE PHYTO-TOXIC. V. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH OF APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER. PH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER HOLDING CAPACITY OF 90 PERCENT MINIMUM. 2. APPLICATION

a APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING . WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES, APPLY MULCH TO

ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL. INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE. c. WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATEF 3. ANCHORING

a. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE) DEPENDING UPON THE SIZE OF THE AREA AND EROSION HAZARD i. A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS PRACTICE SHOULD FOLLOW THE CONTOUR. ii. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.

iii. SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-70, PETROSET, TERRA TAX II, TERRA TACK AR OR OTHER APPROVED EQUAL MAY BE USED. FOLLOW APPLICATION RATES AS SPECIFIED BY THE MANUFACTURER. APPLICATION OF LIQUID BINDERS NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE OF ASPHALT BINDERS IS STRICTLY PROHIBITED. iv. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET LONG.

		ZONE (from Figure B.3) ED MIXTURE (from Tabl			FERTILIZER RATE		
NO.	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	(10-20-20)	LIME RATE	
			COOL SEASON GRAS	SES			
1	ANNUAL RYEGRASS	40	2/15 - 4/30 8/15 - 11/30	0.5"			
2	BARLEY	96	2/15 - 4/30 8/15 - 11/30	1"			
3	OATS	72	2/15 - 4/30 8/15 - 11/30	1"	436 LB/AC (10 LB/1000 SF) (9	2 TONS/AC (90 LB/1000 SF	
4	WHEAT	120	2/15 - 4/30 8/15 - 11/30	1"			
5	CEREAL RYE	112	2/15 - 4/30 8/15 - 12/15	1"			
			WARM SEASON GRAS	SES			
6	FOXTAIL MILLET	30	5/1 - 8/14	0.5"	436 LB/AC	2 TONS/AC (90 LB/1000 SF)	
7	PEARL MILLET	20	5/1 - 8/14	0.5"	(10 LB/1000 SF)		
RMINATIO EDING RA TE LISTED EIGHT) OF E SEEDING USED AS	RATES FOR THE WARM-SEASON GR IN AND PURITY, AS TESTED. ADJUS TES LISTED ABOVE ARE FOR TEMP O ABOVE FOR BARLEY, OATS, AND V THE OVERALL PERMANENT SEEDIN G DATES FOR OTHER TEMPORARY A NURSE CROP, SEED AT 1/3 OF TH HE RECOMMENDED NURSE CROP F	TMENTS ARE USUALLY NOT N ORARY SEEDINGS, WHEN PL VHEAT. FOR SMALLER-SEEDE IG MIX. CEREAL RYE GENER/ SEEDINGS. CEREAL RYE HAS IE RATE LISTED ABOVE.	NEEDED FOR THÈ COOL-SEAS ANTED ALONE. WHEN PLANTI ED GRASSES (ANNUAL RYEGF ALLY SHOULD NOT BE USED A S ALLELOPATHIC PROPERTIES	SON GRASSES. ED AS A NURSE CROP RASS, PEARL MILLET, I AS A NURSE CROP, UN	WITH PERMANENT SEED MIXES FOXTAIL MILLET), DO NOT EXCEI ILESS PLANTING WILL OCCUR IN	; USE 1/3 OF THE SEEDI ED MORE THAN 5% (BY I VERY LATE FALL BEYO	

TEMPORARY SEEDING SUMMARY

3. THE PLANTING DATES LISTED ARE AVERAGES FOR EACH ZONE AND MAY REQUIRE ADJUSTMENT TO REFLECT LOCAL CONDITIONS. ESPECIALLY NEAR THE BOUNDARIES OF THE ZONE

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE

SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TABLE B.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN. 2. FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY. SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY

3. WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

A. SEED MIXTURES 1. GENERAL USE

- SUMMARY IS TO BE PLACED ON THE PLAN.

- 2 TUREGRASS MIXTURES
- MAINTENANCE

- SEEDING RATE: 11/2 TO 3 POUNDS PER 1000 SQUARE FEET NOTES
- RECOMMENDATIONS FOR MARYLAND'
- c. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES
- SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONES: 7A, 7B)
- WILL POSE NO DIFFICULTY
- OR ON ADVERSE SITES.

				PE
			NE (from Figure B.3) TURE (from Table B	
	NO.	SPECIES	APPLICATION RATE (LB/AC)	*SE D/
	9	TALL FESCUE KENTUCKY BLUEGRASS PERENNIAL RYE GRASS	60 40 20	2/15 8/15
	5	HARD FESCUE PERENNIAL RYE GRASS FLAT PEA	20 10 15	3/1 8/1
	1	SWITCH GRASS CREEPING RED FESCUE PARTRIDGE PEA	10 15 4	2/1
1. GENER/ a. CLAS b. SOD EXCL c. STAN WITH d. SOD e. SOD AGR 2. SOD INS a. DURI	ESPEC EXPEC PLANT 2. WHI PLANT • ADD ADDIN • ADD ADDIN • ADD THAN PLANT * ADD © FRE SUFFI SOD U PLANT ** FOF COVIDE AL SPEC SS OF TI MUST E UDE TO IDARD S I A FIRM MUST N MUST E ONOMIS STALLAT	E PLANTING DATES LISTED A CIALLY NEAR THE BOUNDAR CTED TO BE LESS THAN OPT TOGETHER WITH THE PERI EN PLANTED DURING THE G TING. BARE-ROOT GRASSES ITIONAL PLANTING DATES F IG A NURSE CROP, AS NOTE RM-SEASON GRASSES NEED 50 DEGREES, OR MOISTURE 50 DEGREES, OR MOISTURE TING DURING THE LATTER PH I SELECTING A PLANTING DA FINGS, ESPECIALLY ON DRO ITIONAL PLANTING DATES D EQUENT FREEZING AND THA CIENTLY ROOTED IN PLACE. ISUALLY NEEDS 4 TO 6 WEE TO THE VINTER MONT R THE PERIOD 5/1 - 8/14 ADD CUICK COVER ON DISTURE CUICK COVER ON DISTURE CIFICATIONS URFGRASS SOD MUST BE M BE MACHINE CUT AT A UNIFO OP GROWTH AND THATCH. B SIZE SECTIONS OF SOD MUS I GRASP ON THE UPPER 10 F IOT BE HARVESTED OR TRA BE HARVESTED, DELIVERED, ST OR SOIL SCIENTIST PRIOF	IES OF THE ZONE: IMAL, SELECT AN MANENT SEEDING ROWING SEASON ARE THE EXCEPT OR THE LOWER C D ABOVE, IF PLAN D A SOIL TEMPERA E IS NOT ADEQUAT TO ADEQUAT STES. URING WHICH SUF WING OF WET SC WING OF WET SC WING OF WET SC WING OF WET SC WING OF WET SC C C C C C C C C C C C C C C C C C C	S. WHE APPRO MIX. , MOST ION-7 OASTA TURG I TURG I TURG I PERIOD IE NEE PLEM ILS MA JFFICII HE GF DR PEA ADE O CERTIF ESS OF OUGH SECTION. TION. TION.
ORDI c. WHE SOD d. WAT WET 3. SOD MA	ER TO F REVER TO PRE ER THE COMPI	PROMOTE MORE UNIFORM G PREVENT VOIDS WHICH WOL POSSIBLE, LAY SOD WITH T VENT SLIPPAGE ON SLOPES SOD IMMEDIATELY FOLLOW LETE THE OPERATIONS OF L NCE NCE OF ADEQUATE RAINFA	JLD CAUSE AIR DF HE LONG EDGES F S. ENSURE SOLID /ING ROLLING ANE .AYING, TAMPING /	RYING (PARALI CONTA) TAMF AND IR
a. IN IF		INCE OF ADEQUATE RAINFA	LL, WATER DAILY	DOKIN



OF THE ENVIRONMENT AFFROVED TRAINING FROOMAN
SEDIMENT PRIOR TO BEGINNING THE PROJECT. I/WE AL
AT THE END OF EACH WORKING DAY, AND THAT ANY NE
AS TO ENSURE THAT ALL SEDIMENT CONTROL PRACTI
CERTIFY THE RIGHT OF ENTRY FOR PERIODIC ON-SITE
HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.
(tok holder)
OWNER'S/DEVELOPER'S SIGNATURE

DESIGN CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE. AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Ryan Humsli
DESIGNER'S SIGNATURE
RYAN M. STASIOWSKI, P.E.

PRINT NAME

TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE b. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 - CRITICAL AREA PLANTING. c. FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY.

d. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 ½ POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY

a. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF b. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATE

AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN. . KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT. IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM (FHREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT ii. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT. iii. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FUL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURE INCLUDES: CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT. CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED.

IV. KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS, FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA. MIXTURE INCLUDES; CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR

CHOOSE CERTIFIED MATERIAL CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE

WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES: 5B, 6A) CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: 6B)

d. TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 11/2 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES e. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (½ TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON. IN ABNORMALLY DRY OR HOT SEASONS.

	PERMANENT SEEDING SUMMARY								
3 ZONE (from Figure B.3): ZONE 7A D MIXTURE (from Table B.3)									
	APPLICATION RATE (LB/AC)	*SEEDING SEEDING DEPTHS N P205 K20				LIME RATE			
SS SS	60 40 20	2/15 - 4/30 8/15 - 10/31	1/4" - 1/2"						
SS	20 10 15	3/1 - 5/15 8/1 - 10/15	1/4" - 1/2"	45 LB/AC (1.0 LB/1000 SF)	90 LB/AC (2 LB/1000 SF)	90 LB/AC (2 LB/1000 SF)	2 TONS/AC (90 LB/1000 SF)		
JE	10 15 4	2/15 - 5/31	1/4" - 1/2"						

ED ARE AVERAGES FOR EACH ZONE. THESE DATES MAY REQUIRE ADJUSTMENT TO REFLECT LOCAL CONDITIONS, DARIES OF THE ZONES. WHEN SEEDING TOWARD THE END OF THE LISTED PLANTING DATES, OR WHEN CONDITIONS ARE OPTIMAL, SELECT AN APPROPRIATE NURSE CROP FROM TABLE B.1 TEMPORARY SEEDING FOR SITE STABILIZATION AND

PERMANENT SEEDING MIX IE GROWING SEASON, MOST OF THESE MATERIALS MUST BE PURCHASED AND KEPT IN A DORMANT CONDITION UNTIL SES ARE THE EXCEPTION—THEY MAY BE SUPPLIED AS GROWING (NON-DORMANT) PLANTS. ES FOR THE LOWER COASTAL PLAIN, DEPENDENT ON ANNUAL RAINFALL AND TEMPERATURE TRENDS. RECOMMEND OTED ABOVE. IF PLANTING DURING THIS PERIOD. IEED A SOIL TEMPERATURE OF AT LEAST 50 DEGREES F IN ORDER TO GERMINATE. IF SOIL TEMPERATURES ARE COLDER URE IS NOT ADEQUATE, THE SEEDS WILL REMAIN DORMANT UNTIL CONDITIONS ARE FAVORABLE. IN GENERAL, R PORTION OF THIS PERIOD ALLOWS MORE TIME FOR WEED EMERGENCE AND WEED CONTROL PRIOR TO PLANTING.

G DATE, CONSIDER THE NEED FOR WEED CONTROL VS. THE LIKELIHOOD OF HAVING SUFFICIENT MOISTURE FOR LATER DROUGHTY SITES. S DURING WHICH SUPPLEMENTAL WATERING MAY BE NEEDED TO ENSURE PLANT ESTABLISHMENT. THAWING OF WET SOILS MAY RESULT IN FROST-HEAVING OF MATERIALS PLANTED IN LATE FALL. IF PLANTS HAVE NOT

VEEKS TO BECOME SUFFICIENTLY ROOTED. LARGE CONTAINERIZED AND BALLED-AND-BURLAPPED STOCK MAY BE IONTHS AS LONG AS THE GROUND IS NOT FROZEN AND SOIL MOISTURE IS ADEQUATE. ADD EITHER FOXTAIL OR PEARL MILLET - 6 LBS/AC. TO MIX NO. 9, 2.25 LBS/AC. TO MIX NO. 5

URBED AREAS (2:1 GRADE OR FLATTER).

E MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR. NIFORM SOIL THICKNESS OF ¾ INCH. PLUS OR MINUS ¼ INCH. AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST CH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY **10 PERCENT OF THE SECTION** TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL RED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN

HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL. LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD. RAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL RM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN WOULD CAUSE AIR DRYING OF THE ROOTS. I'H THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE DPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS AND THE UNDERLYING SOIL SURFACE. LOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN EIGHT HOURS

INFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING. b. AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT.

c. DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

OWNER'S/DEVELOPER'S CERTIFICATION:

I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT ONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND DJECT. IWE ALSO CERTIFY THAT THE SITE WILL BE INSPECTED THAT ANY NEEDED MAINTENANCE WILL BE COMPLETED SO ITROL PRACTICES ARE LEFT IN OPERATIONAL CONDITION. I/WE ODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE

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9/23	
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LICENSE NUMBER	

OWNER: DEVELOPER: CROSSROADS WEST, LLC. CROSSROADS WEST, LLC. 10 EVERGREEN ROAD, STE. 104 2568A RIVA ROAD, STE. 300 GAMBRILLS, MD 21054 ANNAPOLIS MD 21401 CONTACT: WILLIAM STEFFEY CONTACT: WILLIAM STEFFEY PHONE: 443-332-6383 PHONE: 443-332-6383 TAX MAP: 36 GRID: 10 ZONED: NT PARCEL: 300 LOT: 8 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND SUBDIVISION NAME: VILLAGE OF OAKLAND MILLS VILLAGE CENTER SECTION 2. AREA 2 DEED # 13685/00223

PREVIOUS FILE No. :FDP-50-A-I, SDP-07-087, SDP-70-011, SDP-73-118 ECP-22-011, P.B. 15, F. 82, WP-23-088 **FILE NO. SDP-22-027**

E S S DF C			SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE SUSTAINABLE DESIGN PERMITTING SERVICES	THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL OF DETAY OF CONSTRUCTION PURPOSE WITHOUT PRICAT AUTHORIZATION FROM BOHLER, ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES @ BOHLER @ BOHLER
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		TOWSON Phone Fax:	N, MARYLAND 21204 : (410) 821-7900 (410) 821-7987 BohlerEng.com	
	р , , , , , , , , , , , , , , , ,	DROFES RYAN M. STASIO CUMENTS WERE IAT I AM A DULY I DER THE LAWS O	STASIONS SIGNAL ENGINEER NAME LICENSE No. 49425 SIGNAL GERTIFICATION WSKI HEREBY CERTIFY THAT T PREPARED OR APPROVED BY I LICENSED PROFESSIONAL ENG F THE STATE OF MARYLAND, L EXPIRATION DATE: 69/2024	HESE ME, AND INEER
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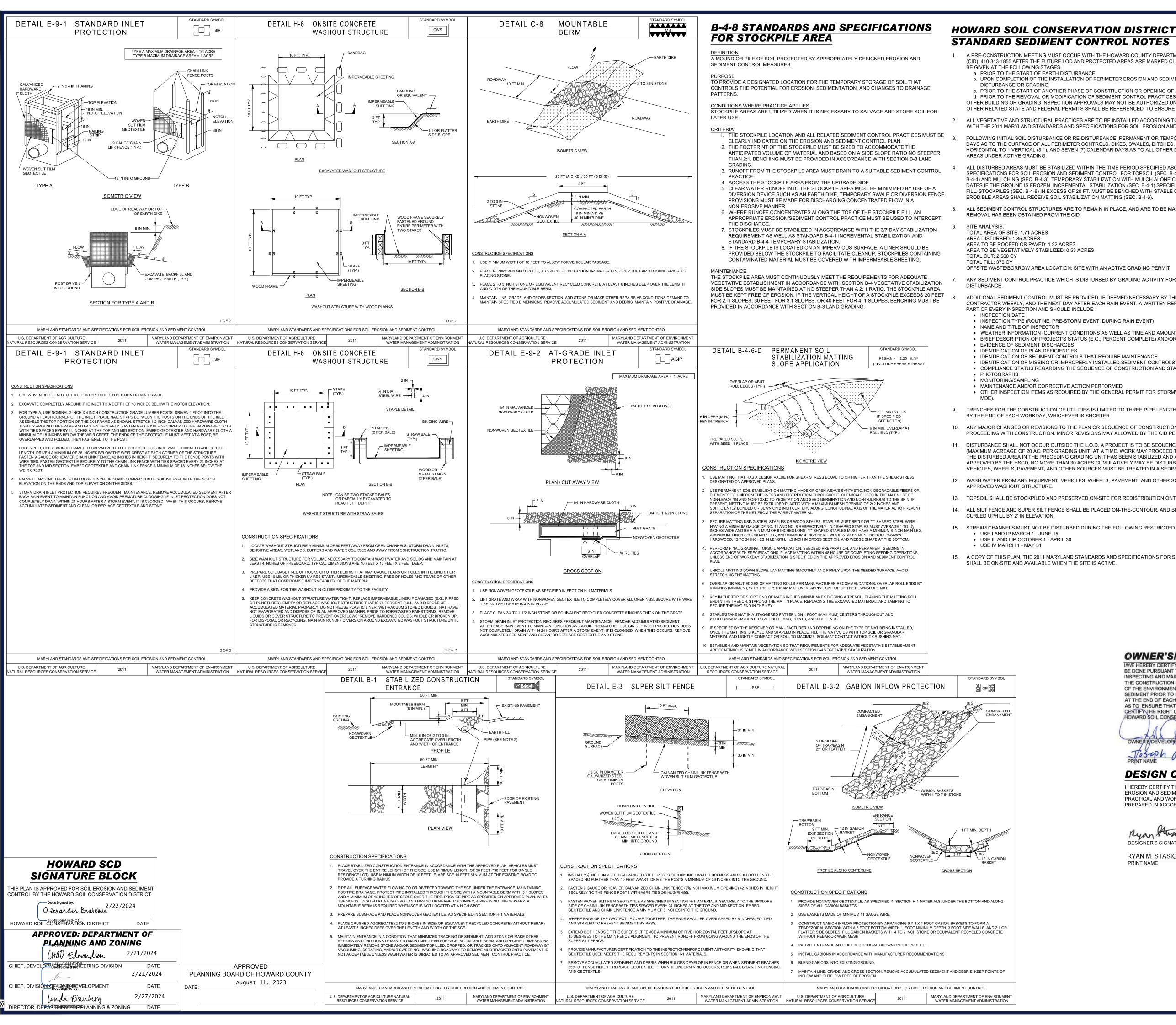
NOTES AND

DETAILS

15

ORG. DATE - 12/7/23

SHEET NUMBER



HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES

A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER THE FUTURE LOD AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MINIMUM OF 48 HOUR NOTICE TO CID MUST

b. UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH c. PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF ANOTHER GRADING UNIT

d. PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL PRACTICES. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE. OTHER RELATED STATE AND FEDERAL PERMITS SHALL BE REFERENCED, TO ENSURE COORDINATION AND TO AVOID CONFLICTS WITH THIS PLAN.

ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. AND REVISIONS THERETO.

FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE

ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL FROSION AND SEDIMENT CONTROL FOR TOPSOIL (SEC, B-4-2) PERMANENT SEEDING (SEC, B-4-5) TEMPORARY SEEDING (SEC, B-4-4) AND MULCHING (SEC. B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES IF THE GROUND IS FROZEN. INCREMENTAL STABILIZATION (SEC. B-4-1) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH >15' OF CUT AND/OR FILL. STOCKPILES (SEC. B-4-8) IN EXCESS OF 20 FT. MUST BE BENCHED WITH STABLE OUTLET. ALL CONCENTRATED FLOW, STEEP SLOPE, AND HIGHLY

ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR

OFFSITE WASTE/BORROW AREA LOCATION: SITE WITH AN ACTIVE GRADING PERMIT

ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF

ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED. IF DEEMED NECESSARY BY THE CID. THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY; AND THE NEXT DAY AFTER EACH RAIN EVENT. A WRITTEN REPORT BY THE CONTRACTOR, MADE AVAILABLE UPON REQUEST, IS

INSPECTION TYPE (ROUTINE, PRE-STORM EVENT, DURING RAIN EVENT)

 WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST RECORDED PRECIPITATION) BRIEF DESCRIPTION OF PROJECT'S STATUS (E.G., PERCENT COMPLETE) AND/OR CURRENT ACTIVITIES

IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAINTENANCE

COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTRUCTION AND STABILIZATION REQUIREMENTS

OTHER INSPECTION ITEMS AS REQUIRED BY THE GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES (NPDES,

TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED

10. ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE HSCD PRIOR TO PROCEEDING WITH CONSTRUCTION. MINOR REVISIONS MAY ALLOWED BY THE CID PER THE LIST OF HSCD-APPROVED FIELD CHANGES.

DISTURBANCE SHALL NOT OCCUR OUTSIDE THE L.O.D. A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE CID. UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE HSCD, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME. WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT STRUCTURE.

WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER

13. TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDISTRIBUTION ONTO FINAL GRADE.

14. ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON-THE-CONTOUR, AND BE IMBRICATED AT 25' MINIMUM INTERVALS, WITH LOWER ENDS

15. STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS (INCLUSIVE):

15. A COPY OF THIS PLAN, THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND ASSOCIATED PERMITS

I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN

OWNER'S/DEVELOPER'S CERTIFICATION:

THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I/WE ALSO CERTIFY THAT THE SITE WILL BE INSPECTED AT THE END OF EACH WORKING DAY, AND THAT ANY NEEDED MAINTENANCE WILL BE COMPLETED SO AS TO ENSURE THAT ALL SEDIMENT CONTROL PRACTICES ARE LEFT IN OPERATIONAL CONDITION. I/WE CERTIFY, THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE IOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

Manager

DESIGN CERTIFICATION:

HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE. AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

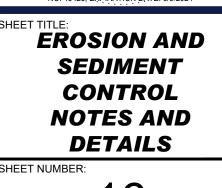
RYAN M. STASIOWSKI, P. PRINT NAME

49425 MD LICENSE NUMBER

OWNER: DEVELOPER: CROSSROADS WEST, LLC. CROSSROADS WEST, LLC 410 EVERGREEN ROAD, STE. 104 2568A RIVA ROAD, STE. 300 GAMBRILLS MD 21054 ANNAPOLIS MD 21401 CONTACT: WILLIAM STEFFEY CONTACT: WILLIAM STEFFEY PHONE: 443-332-6383 PHONE: 443-332-6383 TAX MAP: 36 GRID: 10 ZONED: PARCEL: 300 LOT: 8 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND SUBDIVISION NAME: VILLAGE OF OAKLAND MILLS VILLAGE CENTER SECTION 2. AREA 2 DEED # 13685/00223

PREVIOUS FILE No. :FDP-50-A-I, SDP-07-087, SDP-70-011, SDP-73-11 ECP-22-011, P.B. 15, F. 82, WP-23-088 **FILE NO. SDP-22-027**

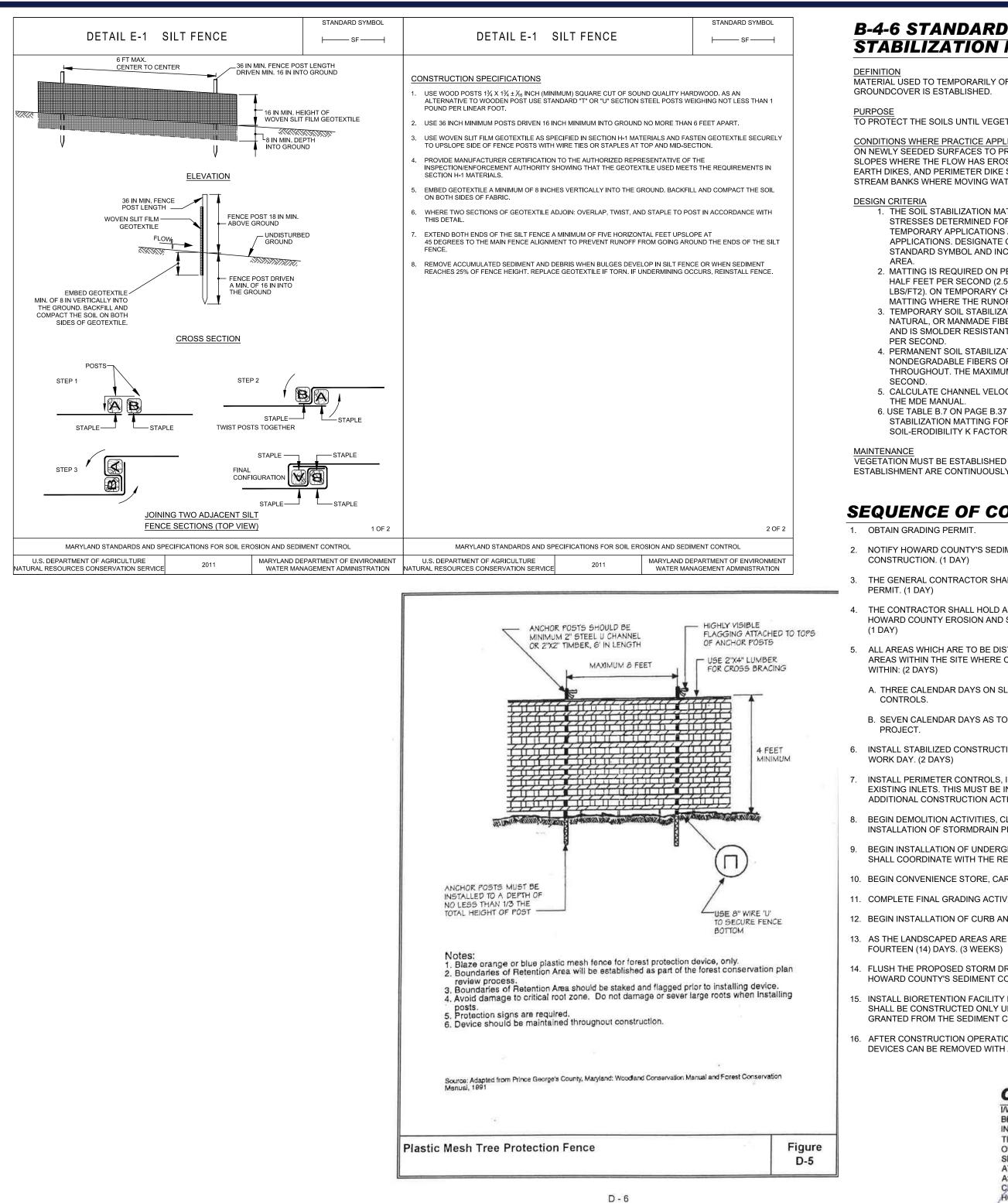
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	AND APPROVAL	ENDED FOR MUNICIPAL AND/OR AGENCY IT IS NOT INTENDED AS A CONSTRUCTION INLESS INDICATED OTHERWISE.					
DRA		MD202104 RMS AGS 12/7/23 CNDS-3					
_	PROJECT: SITE DEVELOPMENT PLAN FOR						
590	7-ELEVEN 1 & 5911 S COLUI X MAP 36 HOV	ROADS WEST, LLC N STEVENS FOREST GTEVENS FOREST ROAD MBIA, MARYLAND , GRID 10, PARCEL 300, LOT 8 VARD COUNTY ECTION DISTRICT ZONE: NT					
_	DULANEY TOWSOI Phone Fax:	HLER // VALLEY ROAD, SUITE 801 N, MARYLAND 21204 (410) 821-7987 BohlerEng.com					



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HOWARD SCD	
SIGNATURE BLO	CK
THIS PLAN IS APPROVED FOR SOIL EROSION AN CONTROL BY THE HOWARD SOIL CONSERVATIO	
Docusigned by: Olexander Bratch 20/22/	2024
HOWARD SOIL CONSERVATION DISTRICT	DATE
APPROVED: DEPARTM	-
<u>PLANNIN</u> G AND ZON	IING
CHAD Edmondson	2/21/2024
CHIEF, DEVELOPING DIVISION	DATE
the	2/21/2024
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lynda Eisenberg	2/27/2024
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APPROVED PLANNING BOARD OF HOWARD COUNTY August 11, 2023 DATE



B-4-6 STANDARDS AND SPECIFICATIONS FOR SOIL STABILIZATION MATTING

DEFINITION MATERIAL USED TO TEMPORARILY OR PERMANENTLY STABILIZE CHANNELS OR STEEP SLOPES UNTIL GROUNDCOVER IS ESTABLISHED.

TO PROTECT THE SOILS UNTIL VEGETATION IS ESTABLISHED.

CONDITIONS WHERE PRACTICE APPLIES ON NEWLY SEEDED SURFACES TO PREVENT THE APPLIED SEED FROM WASHING OUT; IN CHANNELS AND ON STEEP SLOPES WHERE THE FLOW HAS EROSIVE VELOCITIES OR CONVEYS CLEAR WATER; ON TEMPORARY SWALES, EARTH DIKES, AND PERIMETER DIKE SWALES AS REQUIRED BY THE RESPECTIVE DESIGN STANDARD; AND, ON STREAM BANKS WHERE MOVING WATER IS LIKELY TO WASH OUT NEW VEGETATIVE PLANTINGS.

1. THE SOIL STABILIZATION MATTING THAT IS USED MUST WITHSTAND THE FLOW VELOCITIES AND SHEAR STRESSES DETERMINED FOR THE AREA, BASED ON THE 2-YEAR, 24-HOUR FREQUENCY STORM FOR TEMPORARY APPLICATIONS AND THE 10-YEAR, 24-HOUR FREQUENCY STORM FOR PERMANENT APPLICATIONS. DESIGNATE ON THE PLAN THE TYPE OF SOIL STABILIZATION MATTING USING THE STANDARD SYMBOL AND INCLUDE THE CALCULATED SHEAR STRESS FOR THE RESPECTIVE TREATMENT AREA.

2. MATTING IS REQUIRED ON PERMANENT CHANNELS WHERE THE RUNOFF VELOCITY EXCEEDS TWO AND HALF FEET PER SECOND (2.5 FPS) OR THE SHEAR STRESS EXCEEDS TWO POUNDS PER SQUARE FOOT (2 LBS/FT2). ON TEMPORARY CHANNELS DISCHARGING TO A SEDIMENT TRAPPING PRACTICE, PROVIDE MATTING WHERE THE RUNOFF VELOCITY EXCEEDS FOUR FEET PER SECOND (4 FPS). 3. TEMPORARY SOIL STABILIZATION MATTING IS MADE WITH DEGRADABLE (LASTS 6 MONTHS MINIMUM), NATURAL, OR MANMADE FIBERS OF UNIFORM THICKNESS AND DISTRIBUTION OF FIBERS THROUGHOUT

AND IS SMOLDER RESISTANT. THE MAXIMUM PERMISSIBLE VELOCITY FOR TEMPORARY MATTING IS 6 FEET PER SECOND. 4. PERMANENT SOIL STABILIZATION MATTING IS AN OPEN WEAVE, SYNTHETIC MATERIAL CONSISTING OF NONDEGRADABLE FIBERS OR ELEMENTS OF UNIFORM THICKNESS AND DISTRIBUTION OF WEAVE THROUGHOUT. THE MAXIMUM PERMISSIBLE VELOCITY FOR PERMANENT MATTING IS 8.5 FEET PER

SECOND. 5. CALCULATE CHANNEL VELOCITY AND SHEAR STRESS USING THE PROCEDURE OUTLINED ON PAGE B:36 OF THE MDE MANUAL. 6. USE TABLE B.7 ON PAGE B.37 OF THE MDE MANUAL TO ASSIST IN SELECTING THE APPROPRIATE SOIL STABILIZATION MATTING FOR SLOPE APPLICATIONS BASED ON THE SLOPE, THE SLOPE LENGTH, AND THE

SOIL-ERODIBILITY K FACTOR.

VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT. 2. NOTIFY HOWARD COUNTY'S SEDIMENT CONTROL INSPECTOR AT 410-313-1855 AT LEAST 48 HOURS PRIOR TO THE START OF

CONSTRUCTION. (1 DAY)

3. THE GENERAL CONTRACTOR SHALL NOT COMMENCE ANY LAND DISTURBING ACTIVITIES PRIOR TO OBTAINING A GRADING PERMIT. (1 DAY)

4. THE CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION MEETING WITH DEVELOPER'S CONSTRUCTION MANAGER AND THE HOWARD COUNTY EROSION AND SEDIMENT CONTROL INSPECTOR PRIOR TO COMMENCING ANY LAND DISTURBANCE ACTIVITIES.

5. ALL AREAS WHICH ARE TO BE DISTURBED SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO CONSTRUCTION. DISTURBED AREAS WITHIN THE SITE WHERE CONSTRUCTION ACTIVITY HAS CEASED SHALL BE PERMANENTLY OR TEMPORARILY STABILIZED WITHIN: (2 DAYS)

A. THREE CALENDAR DAYS ON SLOPES GREATER THAN 3:1, ALL WATERWAYS AND TO THE SURFACE OF ALL PERIMETER CONTROLS.

B. SEVEN CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS OF THE

6. INSTALL STABILIZED CONSTRUCTION ENTRANCE. ALL HARD SURFACE PUBLIC ROADS SHALL BE CLEANED AT THE END OF EACH

WORK DAY. (2 DAYS) 7. INSTALL PERIMETER CONTROLS, INCLUDING SUPER SILT FENCE, TREE PROTECTION FENCE AND INLET PROTECTION ON ALL

EXISTING INLETS. THIS MUST BE INSPECTED AND APPROVED BY HOWARD COUNTY'S SEDIMENT CONTROL INSPECTOR. NO ADDITIONAL CONSTRUCTION ACTIVITY WILL BE AUTHORIZED WITHOUT APPROVAL. (2 DAYS)

8. BEGIN DEMOLITION ACTIVITIES, CLEARING, GRUBBING, AND PRELIMINARY GRADING ACTIVITY, INCLUDING GRADING AND INSTALLATION OF STORMDRAIN PIPES FOR BIORETENTION FACILITY. BEGIN RETAINING WALL CONSTRUCTION (2 WEEKS)

9. BEGIN INSTALLATION OF UNDERGROUND FUEL STORAGE TANKS AND REMAINING UTILITIES AS SHOWN, GENERAL CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES. (4 WEEKS)

10. BEGIN CONVENIENCE STORE, CAR WASH AND FUEL CANOPY CONSTRUCTION. (6 WEEKS)

11. COMPLETE FINAL GRADING ACTIVITIES WITHIN PAVED AREAS. (2 WEEKS)

12. BEGIN INSTALLATION OF CURB AND GUTTER AND APPLY BASE STONE FOR ALL PAVED AREAS. (5 WEEKS)

13. AS THE LANDSCAPED AREAS ARE BROUGHT TO FINAL GRADE, PERMANENTLY STABILIZE ALL DISTURBED AREAS WITHIN

14. FLUSH THE PROPOSED STORM DRAIN SYSTEM TO REMOVE ANY SEDIMENT. THIS MUST BE INSPECTED AND APPROVED BY

HOWARD COUNTY'S SEDIMENT CONTROL INSPECTOR. (1 DAY) 15. INSTALL BIORETENTION FACILITY MEDIA LAYERS AND ALL PERMANENT LANDSCAPING. THE PROPOSED BIORETENTION FACILITY SHALL BE CONSTRUCTED ONLY UPON PERMANENT STABILIZATION OF THE CONTRIBUTING DRAINAGE AREA AND PERMISSION GRANTED FROM THE SEDIMENT CONTROL INSPECTOR. (2 WEEKS)

16. AFTER CONSTRUCTION OPERATIONS HAVE ENDED AND ALL DISTURBED AREAS HAVE BEEN STABILIZED, SEDIMENT CONTROL DEVICES CAN BE REMOVED WITH APPROVAL OF THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR. (2 DAYS)

OWNER'S/DEVELOPER'S CERTIFICATION:

I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN. INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. IWE ALSO CERTIFY THAT THE SITE WILL BE INSPECTED AT THE END OF EACH WORKING DAY, AND THAT ANY NEEDED MAINTENANCE WILL BE COMPLETED SO AS TO ENSURE THAT ALL SEDIMENT CONTROL PRACTICES ARE LEFT IN OPERATIONAL CONDITION. I/WE CERTIFY THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

Baldwin

12/12/2 DATE

Manager TITLE

DESIGN CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

RYAN M. STASIOWSKI, P.E PRINT NAME

OWNER:	DEVE	LOPER:			
CROSSROADS WEST, L	LC.	CROSS	ROADS WEST, LL	.C.	
2410 EVERGREEN ROAD, S	2568A R	IVA ROAD, STE. 3	300		
GAMBRILLS, MD 2105	ANNAPOLIS, MD 21401				
CONTACT: WILLIAM STEP	CONTACT: WILLIAM STEFFEY				
PHONE: 443-332-6383	3	PHO	NE: 443-332-6383		
TAX MAP: 36	GRID:	10	ZONED:	NT	
	.: 300	LOT: 8			
6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND					

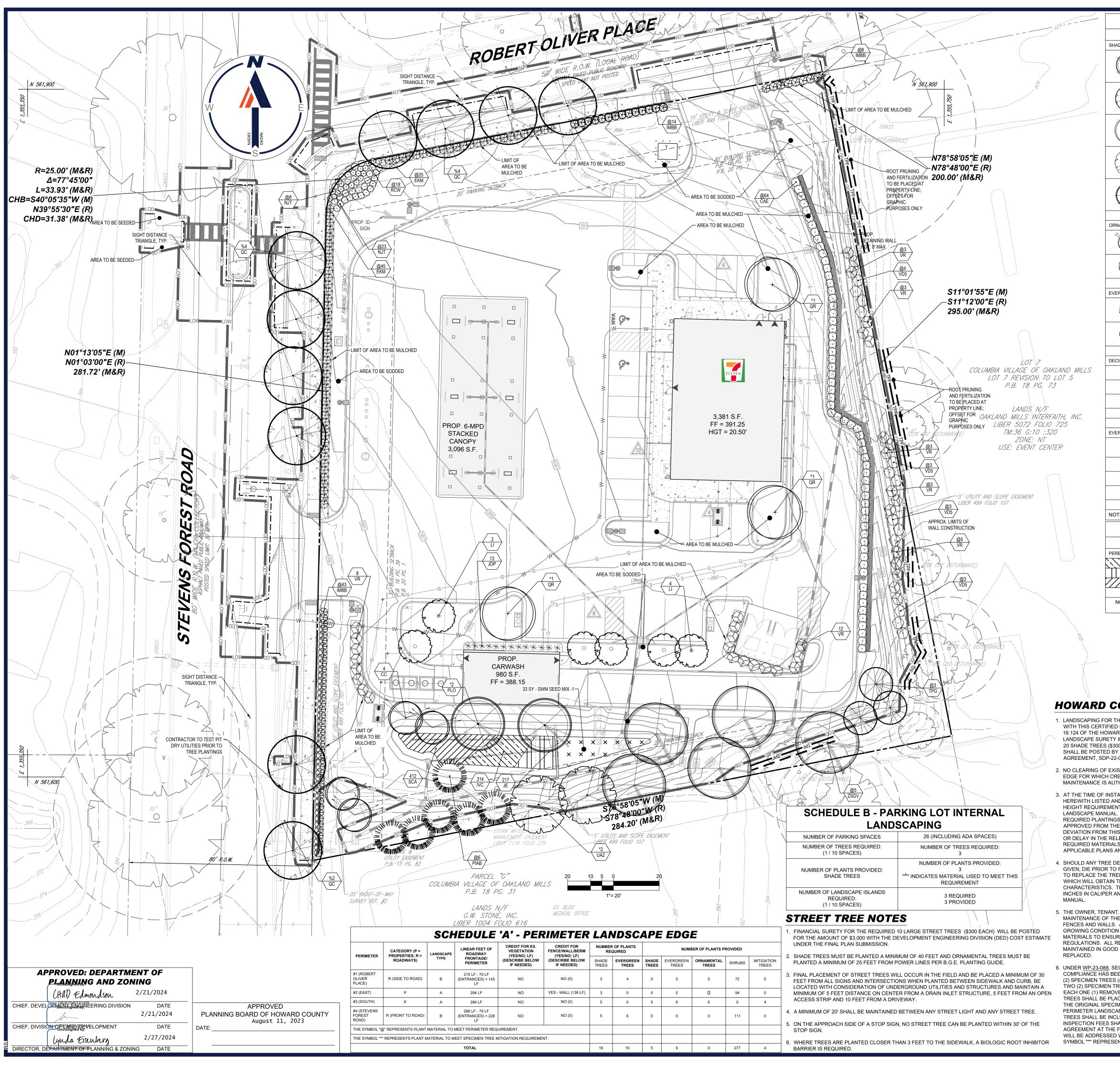
49425

MD LICENSE NUMBER

SUBDIVISION NAME: VILLAGE OF OAKLAND MILLS VILLAGE CENTE SECTION 2, AREA 2 DEED # 13685/00223

PREVIOUS FILE No. :FDP-50-A-I, SDP-07-087, SDP-70-011, SDP-73-1 ECP-22-011, P.B. 15, F. 82, WP-23-088 **FILE NO. SDP-22-027**

		SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES	THE INFORMATION DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITH AUTHORIZATION FROM BOHLER, ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURP © BOHLER					
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CROSSROADS WEST, LLC								
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LANDSCAPE SCHEDULE								5		I	LITTEN
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LANDSCAPE SPECIFICATIONS

SCOPE OF WOR

- HE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.
- A. GENERAL ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS
- B. TOPSOIL NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
- C. LAWN ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM SIX INCH (6") THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES. 1.1. LAWN SEED MIXTURE SHALL BE FRESH. CLEAN NEW CROP SEED
- 1.2. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS. 1.3. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.
- D. MULCH THE MULCH AROUND THE PERIMETER OF THE BUILDING SHALL BE A 3" LAYER OF DOUBLE SHREDDED BLACK CEDAR MULCH ONLY. ALL OTHER AREAS SHALL BE MULCHED WITH A 3" LAYER OF DOUBLE SHREDDED DARK BROWN HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN.
- F FFRTILIZER 1.1. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT
- CAN BE KEPT DRY PRIOR TO USE 1.2. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY
- F PLANT MATERIAL 1.1. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- 1.2. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL 1.3. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
- 1.4. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/4", WHICH HAVE NOT BEEN COMPLETELY CALLUSED, SHALL BE REJECTED.PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS
- TO DAMAGE THE BARK OR BREAK BRANCHES. 1.5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH: WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS
- OR LARVAE. 1.6. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE
- THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE. 1.7. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH. 1.8. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL

3. GENERAL WORK PROCEDURES CTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED STOCKPILED OR DISPOSED OF

B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE. SITE PREPARATION

- A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
- B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN. SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
- C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.
- A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED. B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY 'VISI-FENCE', OR APPROVED EQUAL,
- MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.
- C WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED. IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN

THE TREE PROTECTION ZONE

- CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATOR'
- B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS. C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF
- LABORATORY 1.1. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER
- 1.2. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO **INCREASE DRAINAGE**
- 1.3. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX. . FINISHED GRADING A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL
- AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE
- SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1"+) C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF
- SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT. D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE
- PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS. 3. TOPSOILIN A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR
- CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF
- IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.
-). ALL PLANTING AND LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA): 1.1. 20 POUNDS 'GROW POWER' OR APPROVED EQUAL 1.2. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIF
- THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

SWM SEED MIX 1:

Retention Basin Floor Mix - Low Maintenance

- **Mix Composition** 20.0% Panicum clandestinum, Tioga (Deertongue, Tioga)
- 20.0% Puccinellia distans, Fults (Alkaligrass, Fults) 18.0% Elymus virginicus, Madison-NY Ecotype (Virginia Wildrye, Madison-NY Ecotype) 15.0% Agrostis stolonifera, 'Penncross' (Creeping Bentgrass, 'Penncross') 15.0% Poa palustris (Fowl Bluegrass
- 10.0% Carex vulpinoidea, PA Ecotype (Fox Sedge, PA Ecotype) 1.0% Carex scoparia, PA Ecotype (Blunt Broom Sedge, PA Ecotype) 1.0% Juncus effusus (Soft Rush)

General Product Information:

Product Categories:

Seeding Rate: 20-40 lbs per acre, or 0.5-1 lb/1.000 so ft with a cover crop. For a cover crop use one of the following: grain rye (Sep to 30 Apr; 30 lbs/acre), Japanese millet (1 May to 31 Aug; 10 lbs/acre), or barnyard grass (1 May to 31 Aug; 10 lbs/acre).

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APPROVED: DEPARTMENT OF				
PLANNING AND Z	ONING			
(HAD Edmondson	2/21/2024			

APPROVED PLANNING BOARD OF HOWARD COUNTY August 11, 2023 DATE

- 9. PLANTING A. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
- B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION
- C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
- D. ALL PLANTING CONTAINERS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING
- E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS. MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
- F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS: 1.1. PLANTS: MARCH 15 TO DECEMBER 15 1.2. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1
- G. PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT
- H. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT
- RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON: ACER RUBRUM PLATANUS X ACERIFOLIA BETULA VARIETIES POPULOUS VARIETIES
- PRUNUS VARIETIES CARPINUS VARIETIES PYRUS VARIETIES CRATAEGUS VARIETIES **KOELREUTERIA** QUERCUS VARIETIES
- LIQUIDAMBER STYRACIFLUA TILIA TOMENTOSA LIRIODENDRON TULIPIFERA ZELKOVA VARIETIES
- I. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL
- SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY • 1 PART PEAT MOSS
- 1 PART COMPOSTED COW MANURE BY VOLUME • 3 PARTS TOPSOIL BY VOLUME
- 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS: A) 2 TABLETS PER 1 GALLON PLAN B) 3 TABLETS PER 5 GALLON PLANT
- C) 4 TABLETS PER 15 GALLON PLANT D) LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK
- J. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER HOROUGHLY
- K. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT
- GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL L. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM
- BRANCHING HEIGHT OF 7' FROM GRADE M GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING
- ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION N. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING
- STRUCTURES AND SIDEWALKS O. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER.
- NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUE P. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING
- SPECIFICATIONS AS LISTED HEREIN.
- 10. TRANSPLANTING (WHEN REQUIRED A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT
- B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
- C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
- D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE. E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN
- F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES

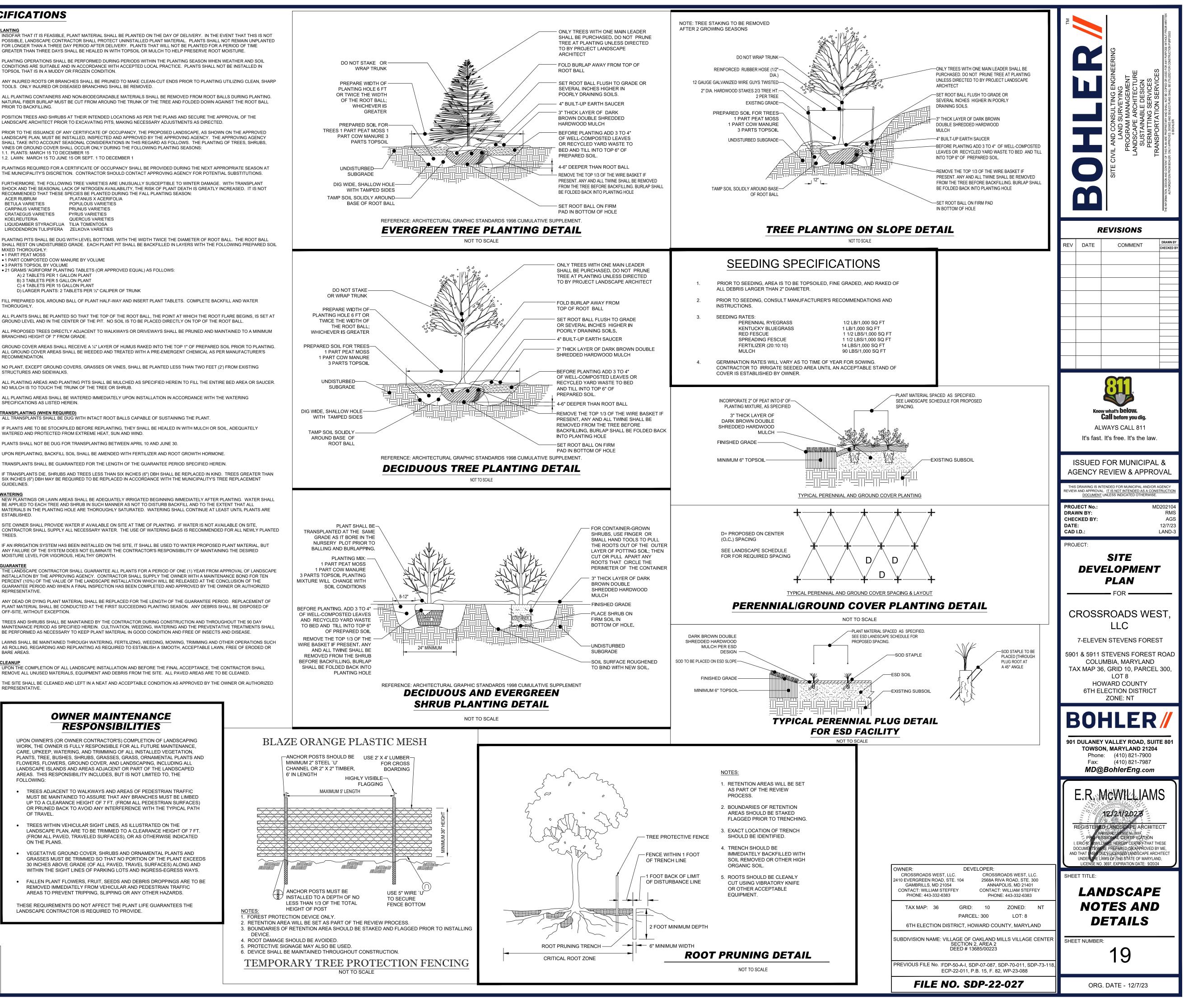
WATERING

- A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.
- B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED C. IE AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE IT SHALL BE LISED TO WATER PROPOSED PLANT MATERIAL, BUT
- ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH
- A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
- B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION
- C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE
- D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS
- A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL
- REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED. B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE

OWNER MAINTENANCE RESPONSIBILITIES

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK. THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE. CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

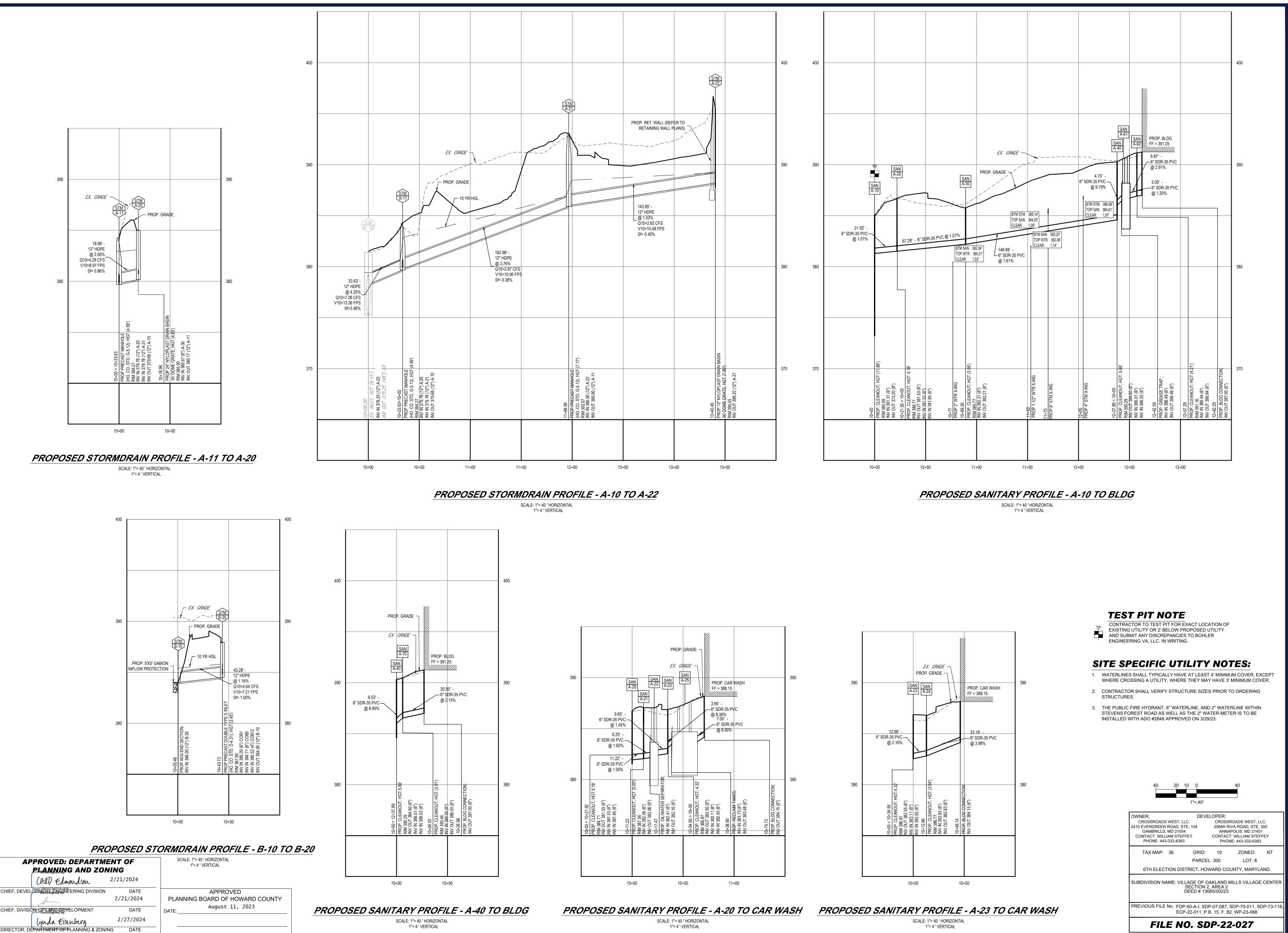
- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL
- TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.
- THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.



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FXTURE MOUNTING HEIGHTS AS SHOWN POLES MOUNTED ON 3'BASE 522 0.3 area 305 0.1 0.2 0.2 0.1 0.2 0.2 0.1 0.1 0.2 0.2 0.1 0.1 0.2 0.2 0.1 0.1 0.2 0.2 0.1 0.1 0.2 0.2 0.1 0.1 0.2 0.2 0.1 0.1 0.2 0.1 0.1 0.2 0.1 0.1 0.2 0.1 0.1 0.2 0.1 0.1 0.2 0.1 0.1 0.2 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1
POLES MOUNTED ON 3 BASE b.1 b.2 bit 5
ADDITIONAL EQUIPMENT REQUIRED: (8) SSS-4-11-CW-BS-CT-NBZ (17" X 4" X 0.125" STEEL SQUARE POLE, TENON MOUNT (4) PD-2H4(90) (DOUBLE TENON 2090) (b) 5.2 (b) 5.2 (b) 5.4 (b) 5.4 (b) 5.2 (b) (b) 5.2 (b) 5.4 (b)
(a) SSS-4-11-CW-BS-OT-N-BZ (17' X 4' 0.125' STEEL SQUARE POLE, TENON MOUNT) (b) Control of the second state of the secon
(4) PD-1H4 (SINGLE TENON) (3) PD-2H4(90) (DUBLE TENON 2@90) (1) PD-2H4(90) (DUBLE TENON 2@90) (1) D.2 D.4 (180) (DUBLE TENON 2@180) PROPOSED POLES MEET 140MPH SUSTAINED WIND LOADS (1) D.2 D.3 (1) D.2 D.4 (10) (D.1 D.2 D.4 (10) (
(1) PD-2H4(180) (DOUBLE TENON 2@180) 0.1 0.2 0.3 0.4 0.4 0.0 1.5 2.4 PROPOSED POLES MEET 140MPH SUSTAINED WIND LOADS 0.1 0.1 0.2 0.3 0.4 0.0 0.0 0.4 0.4 0.4 0.4 ****CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE 0.1 0.1 0.2 0.3 0.4 0.0 0.4 0.4 0.4 0.4 NUMBER PRIOR TO PLACING ORDER***** 0.1 0.1 0.1 0.2 0.4 0.4 0.4 0.4 0.4 0.4 0.4 0.4 0.4 0.4
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APPROVED: DEPARTMENT OF PLANNING AND ZONING (MPL Chard, State) 0.1 0.1 0.1 0.1 0.2 0.4 0.6 0.9 1.3 1.9 0.1 0.1 0.1 0.2 0.4 0.6 1.1 1.5 1.9 0.0 0.1 0.1 0.1 0.2 0.4 0.6 1.1 1.5 1.9 0.0 0.1 0.1 0.1 0.2 0.4 0.6 1.7 0.0 0.0 0.0 0.1 0.1 0.1 0.2 0.4 0.6 1.7 0.0 0.0 0.0 0.1 0.1 0.1 0.2 0.4 0.6 1.7 0.0 0.0 0.0 0.1 0.1 0.1 0.2 0.4 0.6 1.7 0.0 0.0 0.0 0.1 0.1 0.1 0.2 0.4 0.6 1.7 0.0 0.0 0.0 0.1 0.1 0.1 0.2 0.4 0.6 1.7 0.0 0.0 0.0 0.1 0.1 0.1 0.2 0.4 0.6 1.7 0.0 0.0 0.0 0.1 0.1 0.1 0.2 0.4 0.6 1.7 0.0 0.0 0.0 0.1 0.1 0.1 0.2 0.4 0.6 1.7 0.0 0.0 0.0 0.1 0.1 0.1 0.2 0.4 0.6 1.7 0.0 0.0 0.0 0.1 0.1 0.1 0.1 0.2 0.4 0.6 1.7 0.0 0.0 0.0 0.1 0.1 0.1 0.1 0.2 0.4 0.6 1.7 0.0 0.0 0.0 0.1 0.1 0.1 0.1 0.2 0.4 0.6 1.7 0.0 0.0 0.0 0.1 0.1 0.1 0.1 0.2 0.4 0.6 1.7 0.0 0.0 0.0 0.1 0.1 0.1 0.1 0.2 0.4 0.6 1.7 0.0 0.0 0.0 0.0 0.1 0.1 0.1 0.1 0.2 0.4 0.6 1.7 0.0 0.0 0.0 0.0 0.1 0.1 0.1 0.1 0.1 0.2 0.4 0.6 1.7 0.0 0.0 0.0 0.0 0.1 0.1 0.1 0.1 0.2 0.4 0.6 0.7 0.0 0.0 0.0 0.0 0.1 0.1 0.1 0.1 0.2 0.4 0.6 0.7 0.0 0.0 0.0 0.0 0.1 0.1 0.1 0.1 0.1 0.2 0.4 0.6 0.7 0.0 0.0 0.0 0.0 0.1 0.1 0.1 0.1 0.1 0.2 0.4 0.6 0.7 0.0 0.0 0.0 0.0 0.1 0.1 0.1 0.1 0.1 0.1
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Approved: Department of Planning and zoring (MP Chancing 2/2/2/224 Approved Planning Board of PHOWARD COUNTY Date Development Planning Board of PHOWARD COUNTY Date Date Date Date Date Date
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APPROVED: DEPARTMENT OF PLANNING AND ZONING (LHLD) ELMONISON 2/21/2024 APPROVED CONTACT: WILLAW STEFFEY PHONE: 443-332-6383 O 0.1 0.1 0.1 0.2 0.4 0.9 CHIEF, DEVELOPMENT DATE CHIEF, DIVISION CELEMANT OF PLANNING BOARD OF HOWARD COUNTY CHIEF, DIVISION CELEMANT OF PLANNING BOARD OF HOWARD COUNTY DATE: APPROVED ANNAPOLS ARE 2 0 0.1 0.1 0.1 0.1 0.2 0.4 0.9 Image: Chief, DEVELOPMENT DATE CHIEF, DIVISION CELEMANT OF PLANNING BOARD OF HOWARD COUNTY CHIEF, DIVISION CELEMANT OF PLANNING BOARD OF HOWARD COUNTY DATE: APPROVED PLANNING BOARD OF HOWARD COUNTY DATE: 0 0.0 0.0 0.1 0.1 0.1 0.2 0.4 0.9 CHIEF, DIVISION CELEMANT OF PLANNING BOARD OF HOWARD COUNTY CHIEF, DIVISION DATE 2/21/2024 APPROVED PLANNING BOARD OF HOWARD COUNTY DATE: AUgust 11, 2023 0 0 0.0 0.0 0.0 0.1
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2/21/2024 PLANNING BOARD OF HOWARD COUNTY CHIEF, DIVISION CHERGINAL ENDURY DATE Unda Eisenburg 2/27/2024 PLANNING BOARD OF HOWARD COUNTY August 11, 2023 DATE SDP-73-118, ECP-22-011 SDP-73-118, ECP-22-011 SDP-72-027
CHIEF, DIVISION DECLAMENT DATE DATE
(Michai Eischnerg) SDP-22-027
Illumination results shown on this lighting design are based on project parameters provided to
CREE CIGHTING CREE CONTINUE LIGHTING CREATER STRUCTURE CONTINUE CONTINUE CONTINUE CREATER STRUCTURE CONTINUE CONTINUE CONTINUE CREATER STRUCTURE CONTINUE CREATER STRUCTURE CONTINUE CREATER STRUCTURE STRUCTURE CREATER STRUCTURE STRUCTURE STRUCTURE CREATER STRUCTURE
from these design parameters may affect field results. The customer is responsible for
A COMPANY OF IDEAL INDUSTRIES, INC. Verifying dimensional accuracy along with SR-35324

	BUG Rating					
-UL-57K-WH-HZ	B3-U0-G1					
IL-57K-BZ-HZ	B2-U0-G1	0.0 0.0 0.0	0.0 0.0 0	0.0 0.0 0.0	0.0 0.0 0.0 0.	0 0.0 0.0 0.0 0.0
4L-57K7-UL-BZ-N	B3-U0-G4					
4L-57K7-UL-BZ-N	B4-U0-G3	0.0 0.1 0.1	0.0 0.0 0	0.0 0.0 0.0	0.0 0.0 0.0 0.	0 0.0 0.1 0.1 0.1
4L-57K7-UL-BZ-N	B4-U0-G3					
4L-57K7-UL-BZ-N	B4-U0-G3	0.1 0.1 0.1	0.1 0.0 0	0.0 0.0 0.0	0.0 0.0 0.1 0.	1 0.1 0.1 0.1 0.1
L-57K-UL-BZ	B1-U0-G1					1 0.1 0.1 0.2 0.2
L-57K-UL-BZ	B1-U0-G1	0.1 0.1 0.1		0.0 0.0	0.0 0.1 0.1 0.	1 0.1 0.1 0.2 0.2
L-57K-UL-BZ	B1-U0-G1	0.2 0.2 0.1	0.1 0.1 0	0.1 0.1 0.1	0.1 0.1 0.1 0.	1 0.2 0.2 0.4 0.4
		0.3 0.2 0.2	2 0.1 0.1 0	0.1 0.1 0.1	0.1 0.1 0.2 0.	2 0.3 0.4 0.6 0.9
0 0.1 0.1 0.1 0.2 0.3	0.4 0.5 0.6 0.6	0.5 0.3 0.3	3 0.2 0.2 0	0.2 0.2 0.2	0.3 0.3 0.4 0.	5-0.6 0.7 1.1 XSP
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ARYLAND .0 0.0 0.0 0.1	0.1 0.1 0.2 0.3	0.4 0.4 0.4	4 0.4 0.4 0	0.5 0.5 0.7	0.7 0.7 0.8 0.	6 0.7 1.0 1.8 2.2
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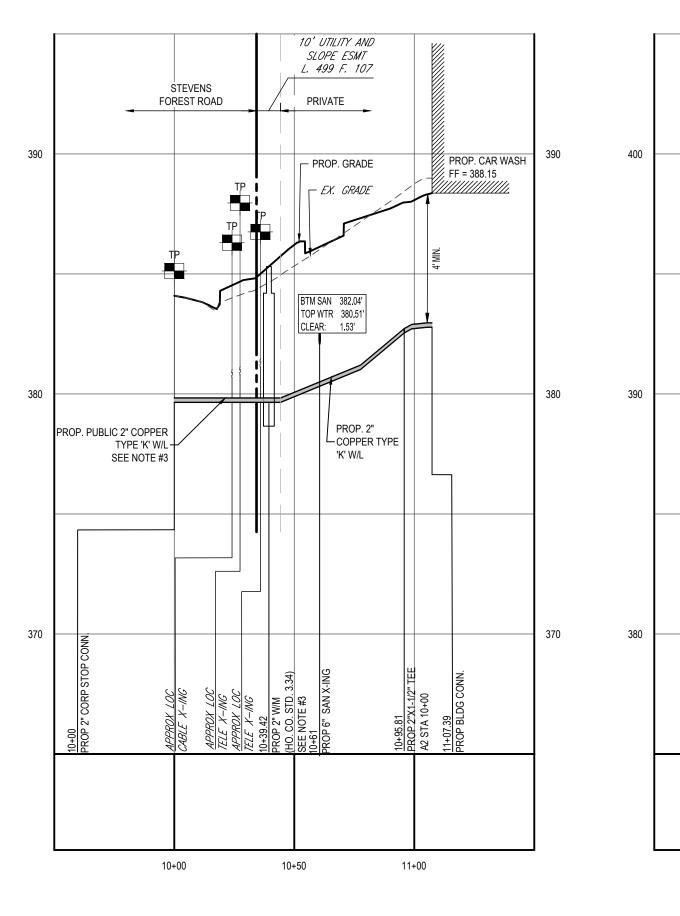
FILE NO. SDP-22-027



REVISIONS REV DATE COMMENT Know what's **below.** Call before you dig ALWAYS CALL 811 It's fast. It's free. It's the law. **ISSUED FOR MUNICIPAL &** AGENCY REVIEW & APPROVAL THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE. PROJECT No.: MD202104 RMS DRAWN BY: CHECKED BY: AGS DATE: CAD I.D.: 12/7/23 PUTL-3 PROJECT: SITE DEVELOPMENT PLAN FOR -CROSSROADS WEST LLC 7-ELEVEN STEVENS FOREST 5901 & 5911 STEVENS FOREST ROAD COLUMBIA. MARYLAND TAX MAP 36, GRID 10, PARCEL 300, LOT 8 HOWARD COUNTY **6TH ELECTION DISTRICT** ZONE: NT **BOHLER** 901 DULANEY VALLEY ROAD, SUITE 80' TOWSON, MARYLAND 21204 Phone: (410) 821-7900 Fax: (410) 821-7987 MD@BohlerEng.com STASIOWS SIGNAL FNGINEE PROFESSIONAL CERTIFICATIO I, RYAN M. STASJOWSKI, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 49425, EXPIRATION DATE: 6/9/2024 SHEET TITLE: UTILITY PROFILES SHEET NUMBER:

ORG. DATE - 12/7/23

21

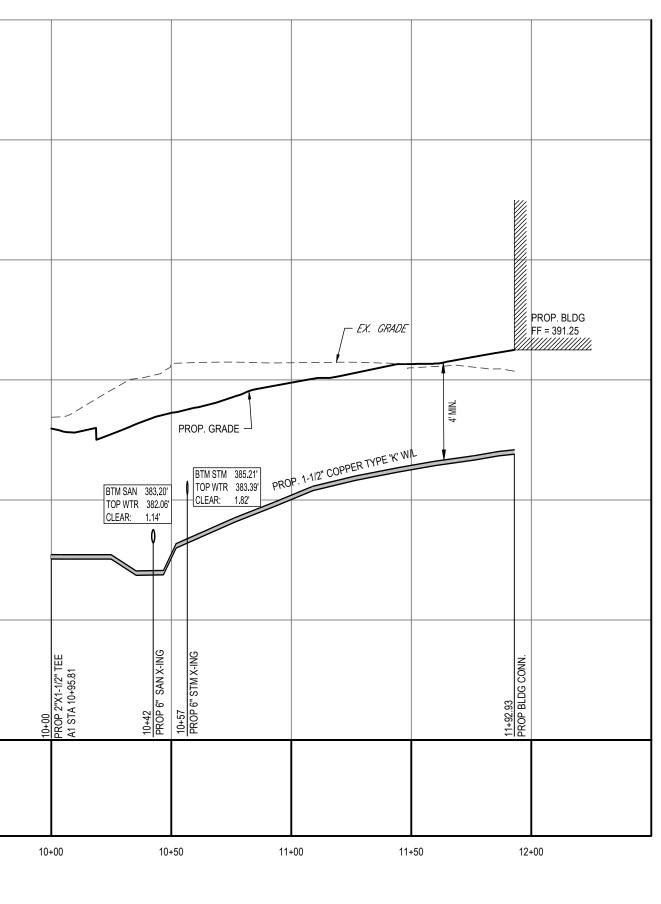


PROPOSED WATERLINE PROFILE - A1 SCALE: 1"= 40 ' HORIZONTAL 1"= 4 ' VERTICAL

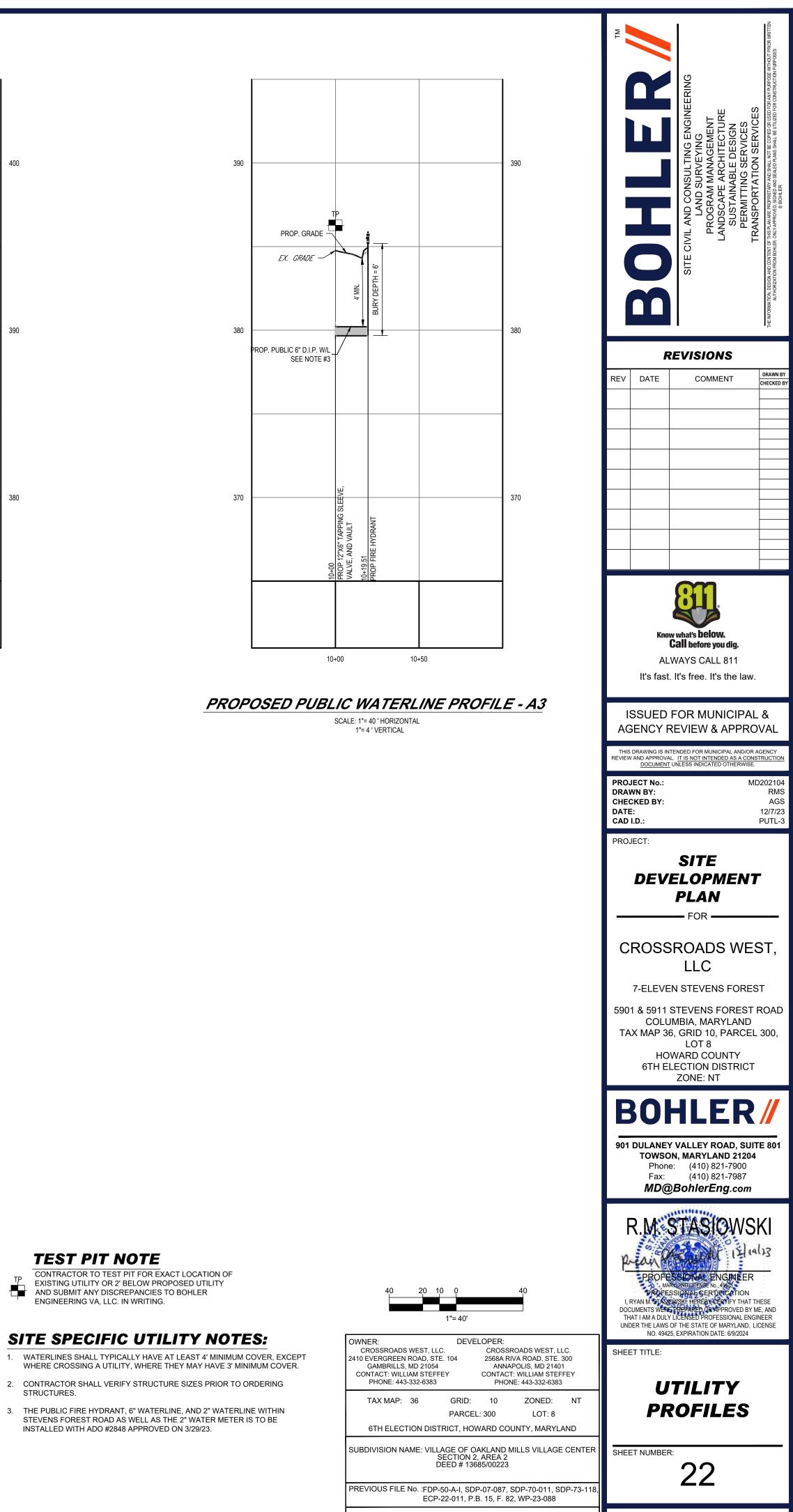
APPROVED: DEPARTMENT OF		
	PLANNING AND ZON	IING
	(HAD Edmondson	2/21/2024
CHIEF, DEVEL	OPAGE/54EF41499 OPAGE/15igner/09/NEERING DIVISION	DATE
	In	2/21/2024

2024 CHIEF, DIVISION OF BTAKED 2012 VELOPMENT DATE 2/27/2024 ليسلم Eisenburg ² DIRECTOR, DEPARTMENT® 22 DIRECTOR, DEPARTMENT® DATE

APPROVED PLANNING BOARD OF HOWARD COUNTY August 11, 2023 DATE:

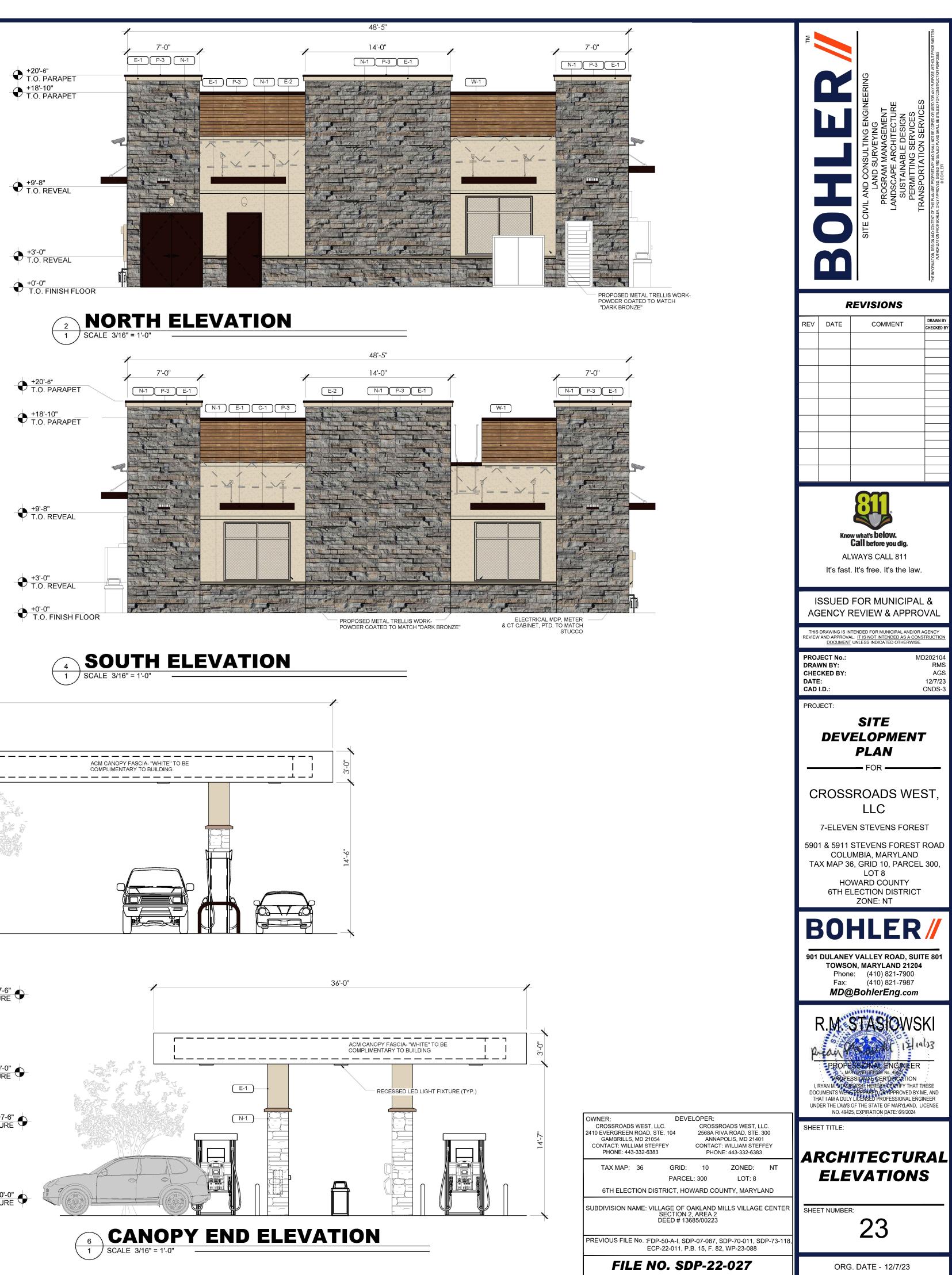


POROPOSED WATERLINE PROFILE - A2 SCALE: 1"= 40 ' HORIZONTAL 1"= 4 ' VERTICAL



FILE NO. SDP-22-027





		<u> </u>
	Carwash	14'-0" Ψ
		T.O. OVERHEAD DOOR 10'-0"
P-6		
		FINISH TRANSITION 3'-0"
		0" \





WEST ELEVATION

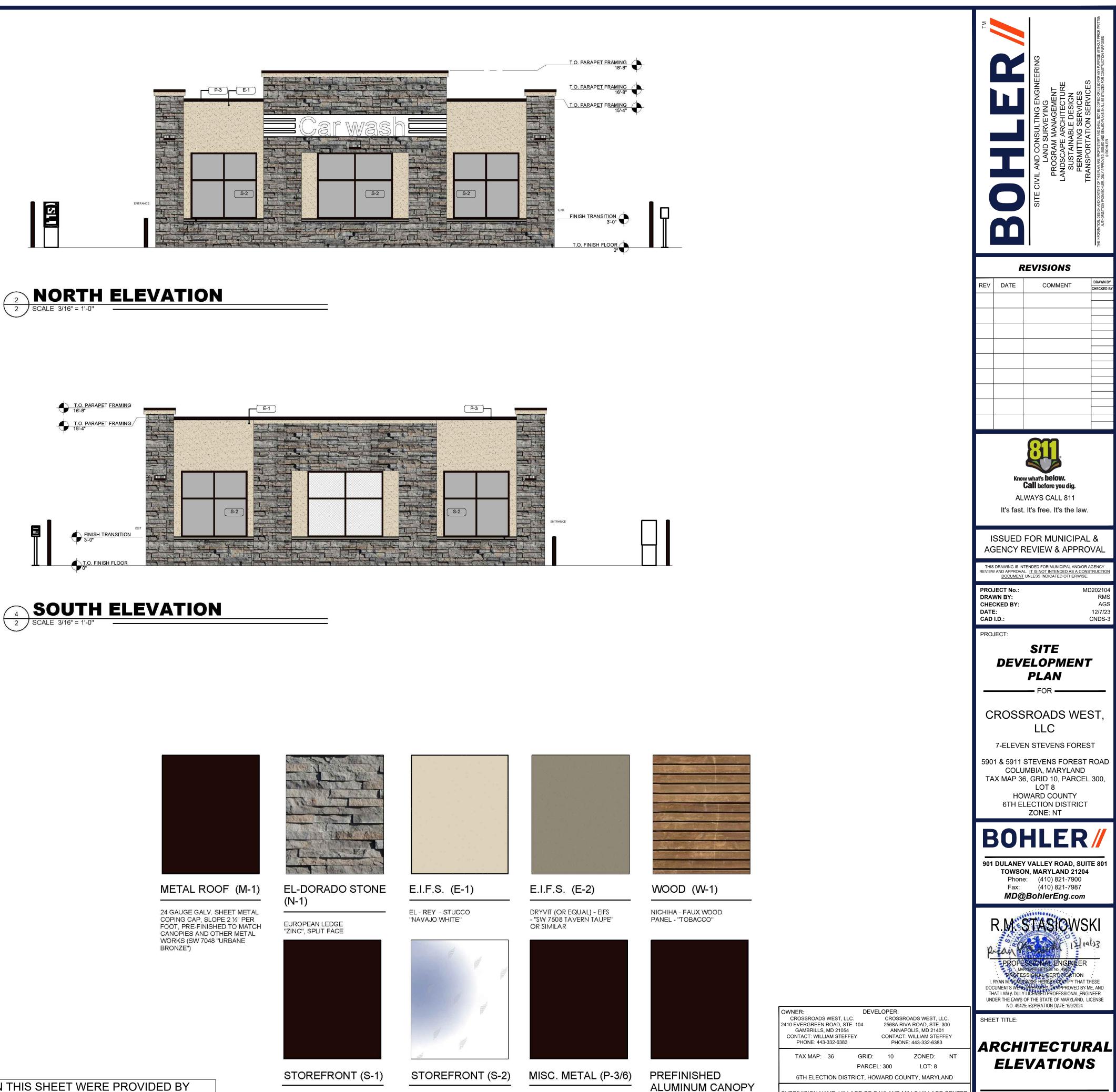
2 / SCALE 3/16" = 1'-0"



RETAINING WALL WITH FENCE ILLUSTRATION NOT TO SCALE

AF	PROVED: DEPARTMI PLANNING AND ZON	-	
	(HAD Edmondson	2/21/2024	
CHIEF, DEVEL		DATE	
	M	2/21/2024	F
CHIEF, DIVISIO		DATE	_ DA ⁻
	lynda Eisenberg	2/27/2024	
DIRECTOR, DI	ÈPAR 4991E1916@f2PLANNIÑG & ZONI	NG DATE	-

APPROVED PLANNING BOARD OF HOWARD COUNTY August 11, 2023



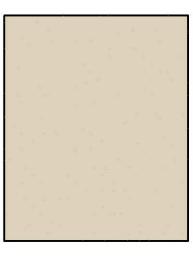


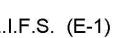


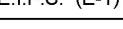




KAWNEER DARK BRONZE NO. 40 STOREFRONT, FRAMES

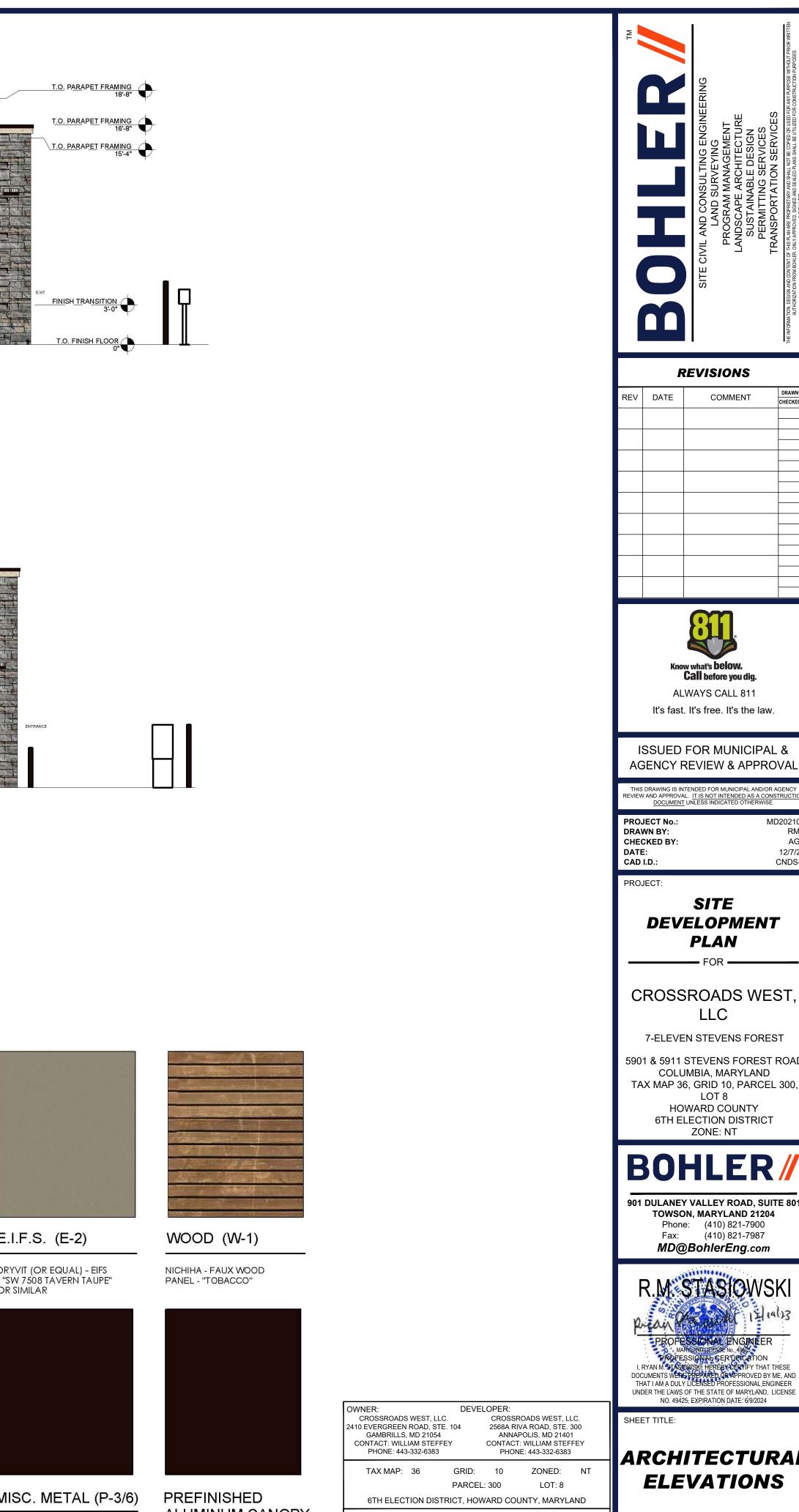


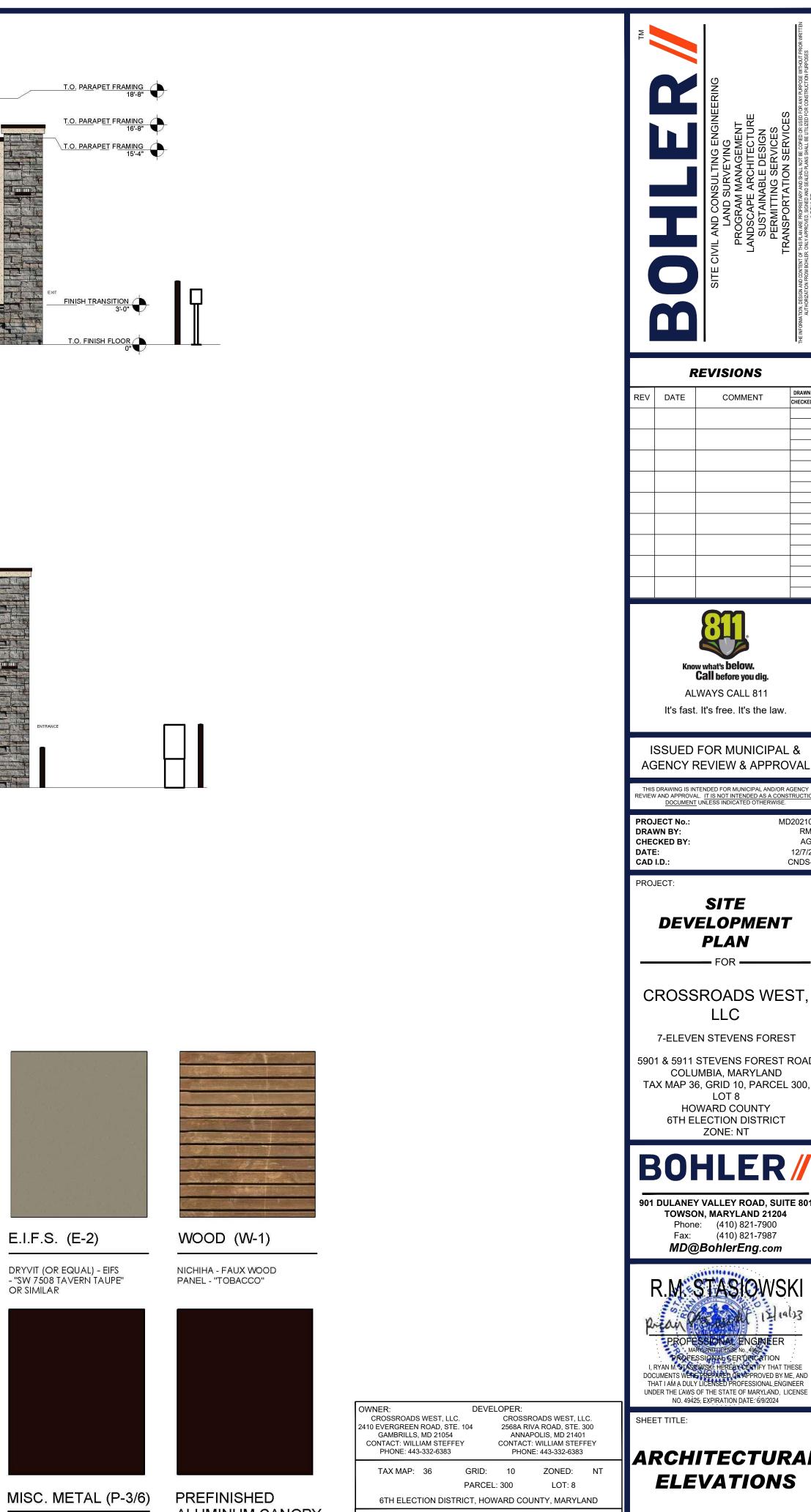






CLEAR GLAZING BY OLDCASTLE OR EQUAL





20 GA. PREFINISHED METAL PARAPET CAP - DARK BRONZE FRAMES, HM DOORS, TRASH ENCLOSURE GATE (P-6): SHERWIN WILLIAMS - "ŚEAL

SKIN'' SW 7675

ALL DETAILS ON THIS SHEET WERE PROVIDED BY 7-ELEVEN AND ARE FOR INFORMATIONAL PURPOSES ONLY. BOHLER SHALL BE HELD HARMLESS IN THE EVENT OF ERRONEOUS INFORMATION CONTAINED WITHIN THESE DETAILS AND/OR STRUCTURAL FAILURE.

MAPES LUMISHADE CANOPY - ALUMINUM -BAKED ENAMEL W/ REAR GUTTER CONNECTIONS; OPAQUE

(C-1)

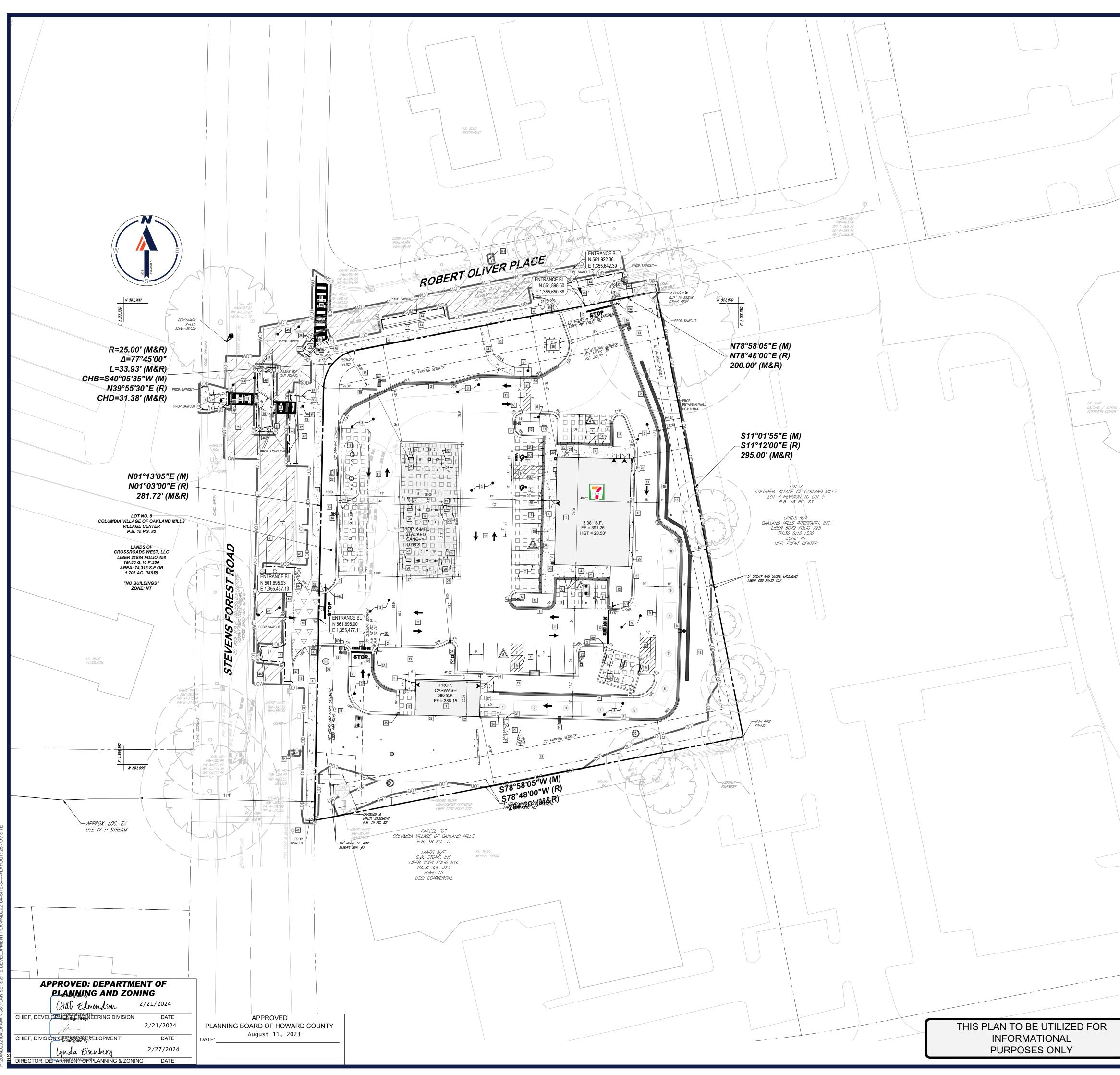
PREVIOUS FILE No. :FDP-50-A-I, SDP-07-087, SDP-70-011, SDP-73-118 ECP-22-011, P.B. 15, F. 82, WP-23-088 FILE NO. SDP-22-027

SUBDIVISION NAME: VILLAGE OF OAKLAND MILLS VILLAGE CENTER SECTION 2, AREA 2 DEED # 13685/00223

ORG. DATE - 12/7/23

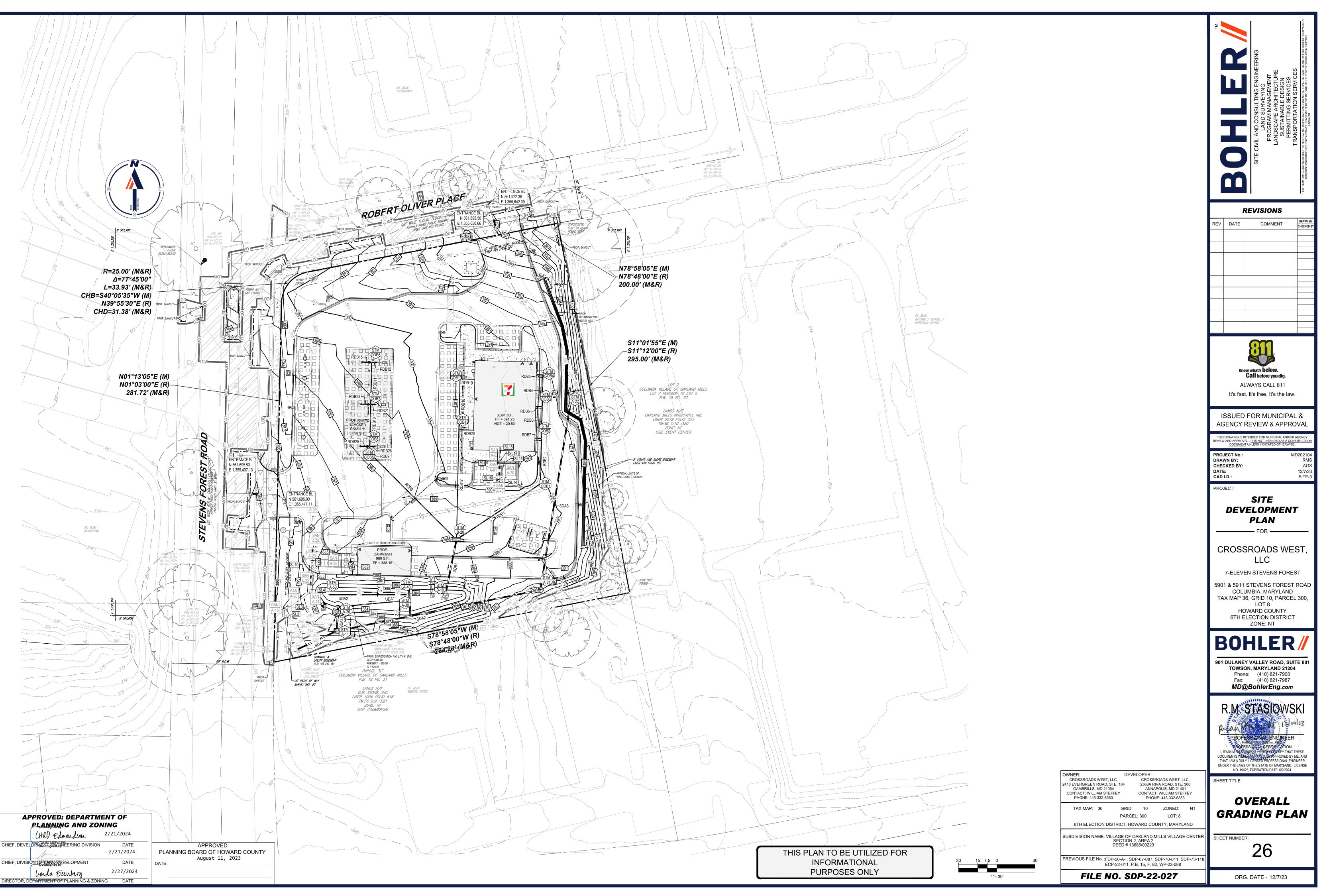
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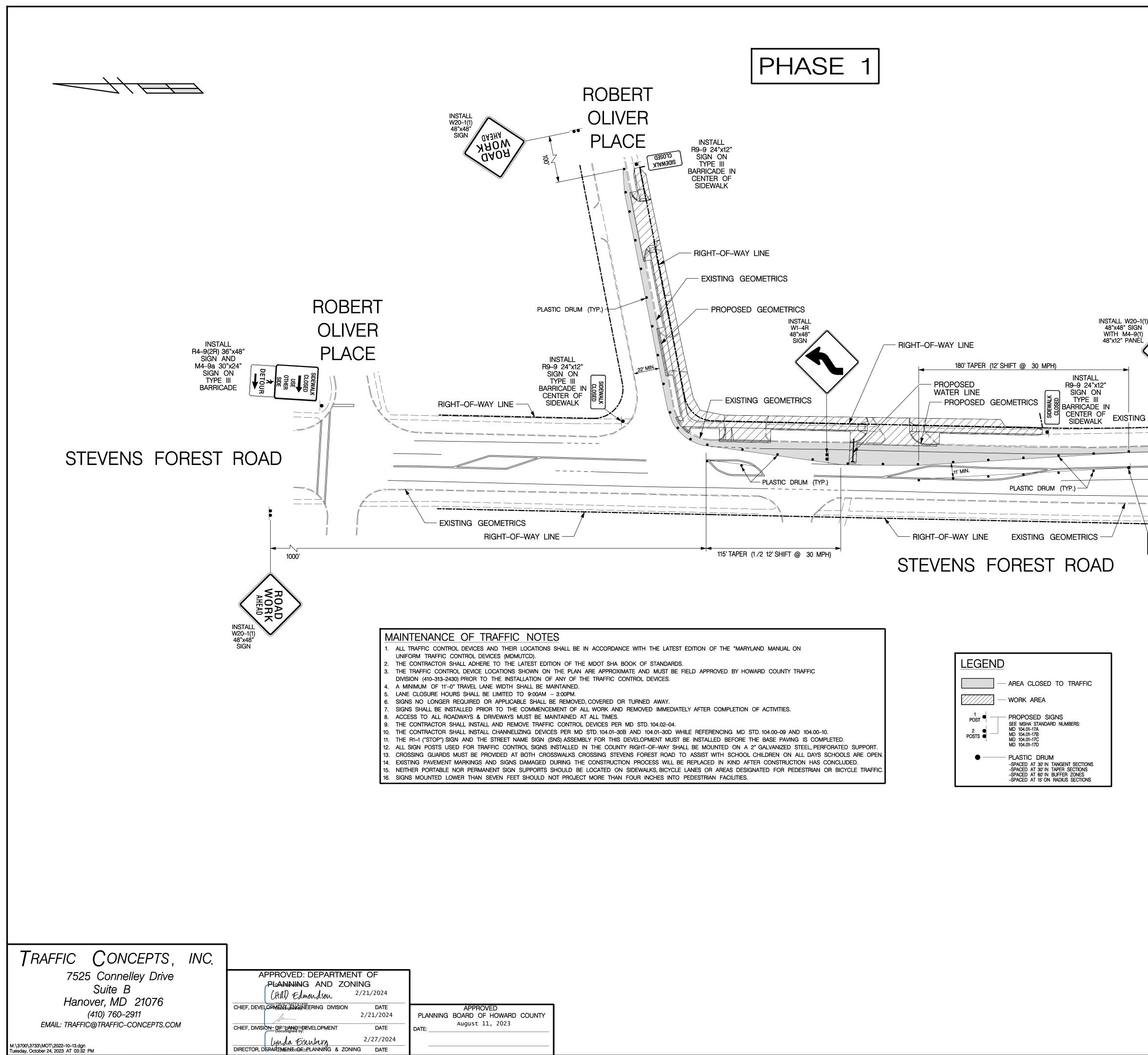
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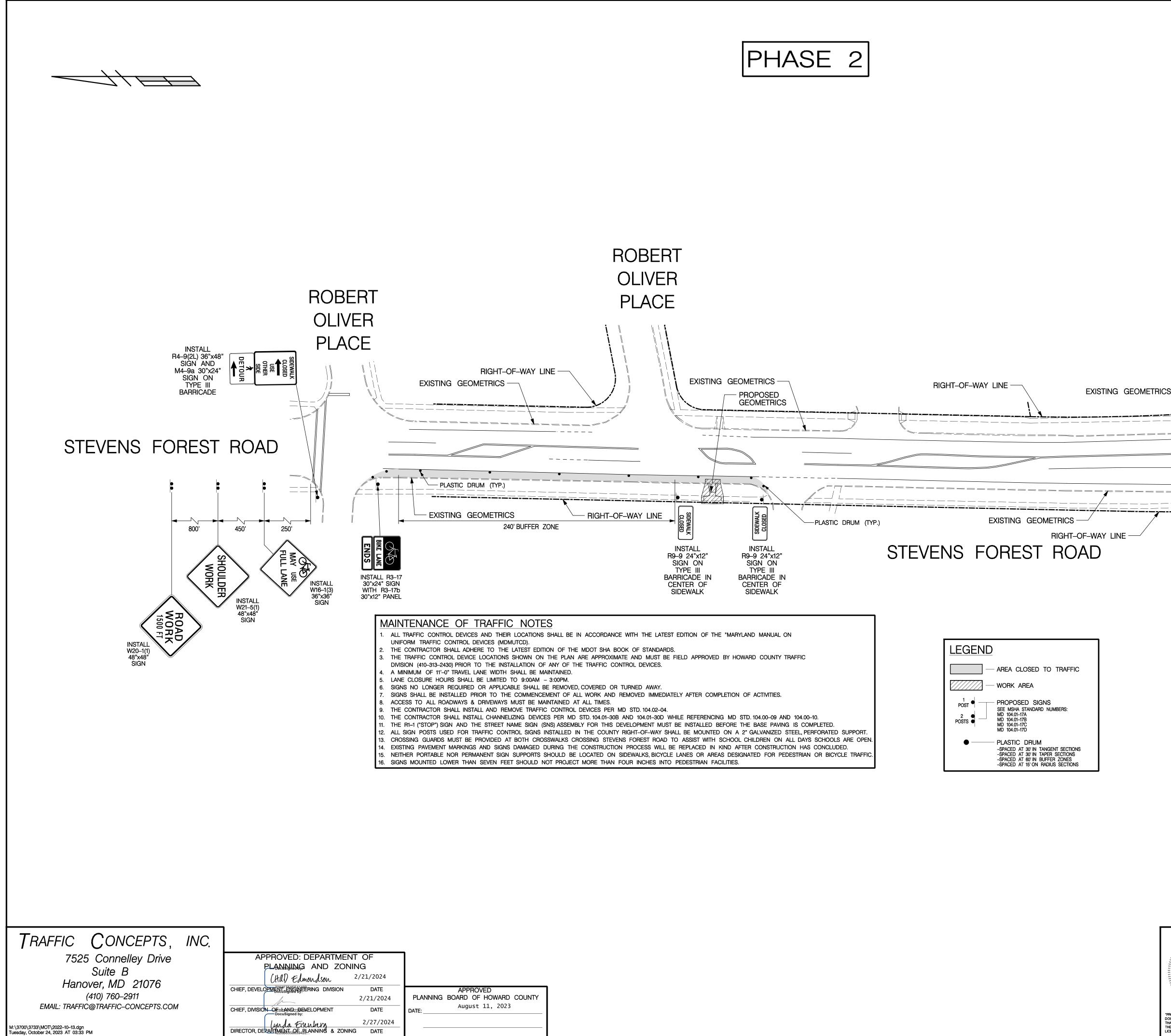
Dec 21, 2023







A GEOMETRICS INSTALL R-SICU STAR HISTOLADE HISTOLAD
SUBDIVISION NAME: VILLAGE OF OAKLAND MILLS VILLAGE CENTER SECTION 2, AREA 2 DEED# 13685/00223
PREVIOUS FILE No.: FDP-50-A-I, SDP-07-087, SDP-70-011 SDP-73-118, ECP-22-011 FILE NO. SDP-22-027
MAINTENANCE OF TRAFFIC PLAN
STEVENS FOREST ROAD AND ROBERT OLIVER PLACE HOWARD COUNTY

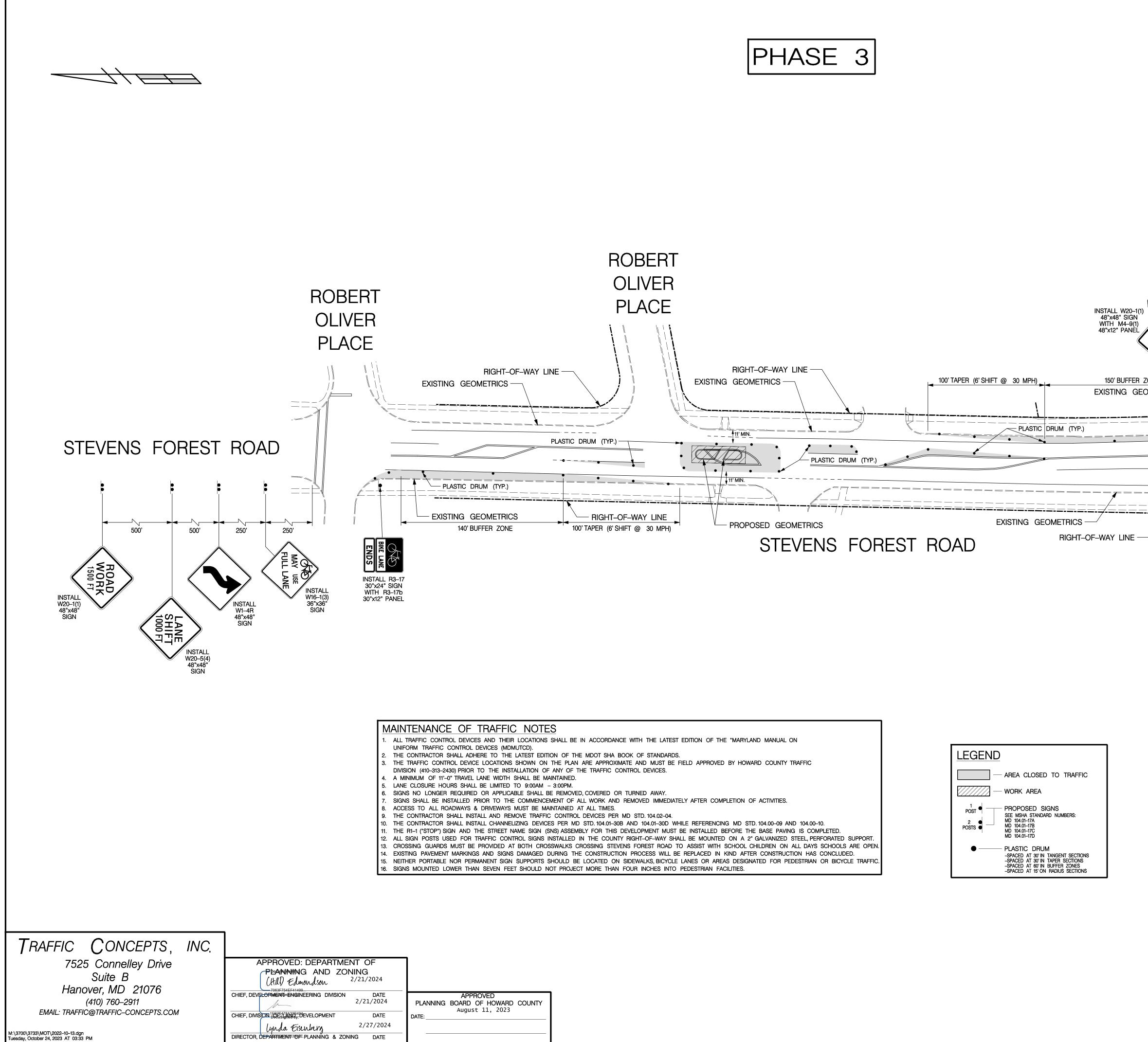




	DET OUR				
	ELBACK ^{R4-91} SIC M4-1 SIC NF	NSTALL (2R) 36"x4 GN AND 9a 30"x24 IGN ON IYPE III .RRICADE			
			OWNER: OAKLAND FOREST LLC 12620 CLARKSVILLE PIKE CLARKSVILLE, MD 20777 CONTACT: KIRIT PARMAR PHONE: 443–332–6383	2410 EVERGRE GAMBRIL CONTACT: W	STATE SERVICES, LLC. EN ROAD, STE. 200 LS, MD 21054 ILLIAM STEFFEY 143-332-6383
			TAX MAP: 36 F 2ND ELECTION DISTRIC	GRID: 10 PARCEL: 300 CT, HOWARD COUNTY	ZONED: NT LOT: 8 , MARYLAND
				of Oakland Mills Ton 2, area 2 D# 13685⁄00223	VILLAGE CENTER
			PREVIOUS FILE No.: FO SC FILE NO. S)P-73-118, ECP-22-011	
OF MARY K. Schmit	MAINTENAN	NCE			
	R	OBEF	FOREST ROAD	CE	
PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. <u>42413</u> , EXPIRATION DATE: <u>6/6/2024</u> .	DRAWN BY: B. SCHMID DATE: 10-24-2023		ARD COUNT INED BY: B. SCHMID I NO: 28	1	Y: J. K. SCHMID 40'

SANTIAGO

ROAD





N.S.chnix	OWNER: DEVELOPER: OAKLAND FOREST LLC 240 EVELOPER: CLARKSVILLE, MD. 2015 CARRSVILLE, MD. 2015 CONTACT: KIRIT PARMAR PHONE: 443-332-6383 TAX MAP: 36 GRID: 10 ZONED: NT PHONE: 443-332-6383 GRID: 10 ZONED: NT PHONE: 443-332-6383 GRID: 10 ZONED: NT PHONE: 443-332-6383 GRID: 10 ZONED: NT PARCEL: 300 LOT: 8 2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND SUBDIVISION NAME: VILLAGE OF OAKLAND MILLS VILLAGE CENTER SECTION 2. AREA 2 DEED# 1368500223 PREVIOUS FILE NO: FDP-50-A-I, SDP-07-087, SDP-70-011 SDP-73-118, ECP-22-011 FLEE NO: SDP-22-027 FLEE NO. SDP-22-027 MAINTEENAANCE OF TRAFFIC PLAN
PROFESSIONAL CENTER OF MARYLAND. LICENSE NO. 4243, 10/24/2023 PROFESSIONAL CENTER THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT IAM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 42413, EXPIRATION DATE: 6/6/2024.*	STEVENS FOREST ROAD AND ROBERT OLIVER PLACE HOWARD COUNTYDRAWN BY: B. SCHMIDDESIGNED BY: B. SCHMIDCHECKED BY: J. K. SCHMIDDATE: 10-24-2023SHEET NO: 29SCALE: 1" = 40'

SEGMENTAL RETAINING WALL SPECIFICATIONS

PART 1 - GENERAL

1.1 WORK INCLUDES

FURNISHING AND INSTALLING SEGMENTAL RETAINING WALL UNITS, GEOGRID REINFORCEMENT, WALL FILL, AND BACKFILL TO THE LINES AND GRADES SHOWN ON THE CONSTRUCTION DRAWINGS AND AS SPECIFIED HEREIN. THE CONTRACT ALSO INCLUDES FURNISHING AND INSTALLING ALL APPURTENANT MATERIALS, EQUIPMENT, AND LABOR REQUIRED FOR CONSTRUCTION OF THE GEOGRID REINFORCED SEGMENTAL RETAINING WALL. ALL EXISTING AND PROPOSED CONSTRUCTION AND SITE GRADING INFORMATION WAS REFERENCED FROM THE ELECTRONIC VERSION OF THE UNTITLED, UNDATED, SITE PLAN, PREPARED BY BOHLER ENGINEERING, AND ELECTRONICALLY PROVIDED TO GTA ON OCTOBER 18, 2022. SOIL DESIGN PARAMETERS ARE BASED ON LIMITED SUBSURFACE DATA PRESENTED IN THE GEOTECHNICAL ENGINEERING REPORT, DATED JUNE 21, 2021, PREPARED BY ECS MID-ATLANTIC, LLC AND SHOULD BE VERIFIED DURING CONSTRUCTION.

1.2 REFERENCE STANDARDS

- A. ASTM C90 STANDARD SPECIFICATION FOR LOADBEARING CONCRETE MASONRY UNITS B. ASTM C1262 - STANDARD TEST METHOD FOR EVALUATING THE FREEZE-THAW DURABILITY OF DRY-CAST SEGMENTAL RETAINING WALL UNITS AND RELATED
- CONCRETE UNITS ASTM C1372 - STANDARD SPECIFICATION FOR DRY-CASE SEGMENTAL RETAINING WALL UNITS
- ASTM D698 STANDARD TEST METHODS FOR LABORATORY COMPACTION CHARACTERISTICS OF SOIL USING STANDARD EFFORT
- ASTM D2487 STANDARD PRACTICE FOR CLASSIFICATION OF SOILS FOR ENGINEERING PURPOSES (UNIFIED SOIL CLASSIFICATION SYSTEM) ASTM D3034 - STANDARD SPECIFICATION FOR TYPE PSM POLY(VINYL CHLORIDE) (PVC) SEWER PIPE AND FITTINGS
- ASTM STP399 VANE SHEAR AND CONE PENETRATION RESISTANCE TESTING OF IN-SITU SOILS
- 2018 INTERNATIONAL BUILDING CODE (IBC) NATIONAL CONCRETE MASONRY ASSOCIATION - DESIGN MANUAL FOR SEGMENTAL RETAINING WALLS, 3RD EDITION MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION (MDOT SHA) - STANDARD SPECIFICATION FOR CONSTRUCTION AND
- MATERIALS, JULY 2018
- 1.3 DELIVERY, STORAGE AND HANDLING
- A. CONTRACTOR SHALL CHECK THE MATERIALS UPON DELIVERY TO ENSURE THAT PROPER MATERIAL HAS BEEN RECEIVED. B. CONTRACTOR SHALL PREVENT EXCESSIVE MUD, WET CEMENT, EPOXY, AND LIKE MATERIALS WHICH MAY AFFIX THEMSELVES, FROM COMING IN CONTACT
- WITH THE MATERIALS. GEOGRIDS SHALL BE STORED ABOVE -20° F.
- CONTRACTOR SHALL PROTECT THE MATERIALS FROM DAMAGE. DAMAGED MATERIAL SHALL NOT BE INCORPORATED INTO THE REINFORCED RETAINING WALL. 1.4 SUBMITTALS/CERTIFICATION
- A. IF REQUESTED BY GTA OR THE OWNER, CONTRACTOR SHALL SUBMIT QUALIFICATIONS AND DOCUMENTATION OF PRIOR EXPERIENCE TO SHOW THE NECESSARY SKILL AND EXPERIENCE. PRIOR EXPERIENCE SHALL INCLUDE RETAINING WALL CONSTRUCTION OF SIMILAR SIZE/TYPE TO THOSE SHOWN ON THIS PLAN (MINIMUM THREE PROJECTS IN THE LAST FIVE YEARS).
- CONTRACTOR SHALL SUBMIT MANUFACTURER'S CATALOG FOR THE PROPOSED MATERIALS TO GTA FOR APPROVAL A MINIMUM OF SEVEN DAYS BEFORE START OF CONSTRUCTION.
- C. IF REQUESTED BY GTA OR THE OWNER, CONTRACTOR SHALL SUBMIT SAMPLES OF PROPOSED MATERIALS TO GTA A MINIMUM OF SEVEN DAYS BEFORE START OF CONSTRUCTION.
- D. MATERIALS SHALL BE TRANSPORTED TO THE SITE ONLY AFTER APPROVAL OF THE PROPOSED MATERIAL BY GTA.

PART 2 - PRODUCTS

2.1 DEFINITIONS

- A. CONCRETE UNITS ARE DRY-STACKED, CONCRETE MASONRY UNITS THAT FORM THE FACE OF THE RETAINING WALL. B. CAP UNITS ARE CONCRETE MASONRY UNITS PLACED ON THE TOP COURSE OF THE CONCRETE UNITS.
- LEVELING PAD IS A COMPACTED, AGGREGATE LAYER SUPPORTING THE BOTTOM CONCRETE UNITS.
- FIBERGLASS CONNECTION PINS ARE PLACED BETWEEN SUCCESSIVE CONCRETE UNIT COURSES TO CONNECT CONCRETE UNITS AND SECURE GEOGRID TO THE CONCRETE UNITS. GEOGRID IS A HIGH-DENSITY POLYETHYLENE, POLYESTER, OR POLYPROPYLENE GRID, SPECIFICALLY FABRICATED FOR USE AS A SOIL REINFORCEMENT.
- GRAVEL FILL IS DRAINAGE AGGREGATE THAT IS PLACED WITHIN AND IMMEDIATELY BEHIND THE CONCRETE UNITS. REINFORCED BACKFILL IS COMPACTED, STRUCTURAL FILL PLACED BEHIND THE CONCRETE UNITS, EXTENDING THE FULL LENGTH OF THE GEOGRID ZONE. CONTROLLED FILL IS COMPACTED, STRUCTURAL FILL PLACED BEHIND THE REINFORCED BACKFILL AND/OR SUPPORTING THE LEVELING PAD AND
- REINFORCED BACKFILL. LOW-PERMEABILITY SOIL IS A LAYER OF COMPACTED, LOW-PERMEABILITY SOIL FILL PLANNED AT THE GROUND SURFACE, EXTENDING FROM JUST BEHIND
- THE CAP UNIT TO THE BACK OF THE REINFORCED BACKFILL ZONE. DRAINAGE PIPE IS PVC OR HDPE PIPING PLACED BEHIND AND/OR THROUGH THE CONCRETE UNITS TO FACILITATE DRAINAGE OF WATER FROM BEHIND THE RFTAINING WALL
- K. FILTER FABRIC IS A NON-WOVEN, POLYPROPYLENE GEOTEXTILE USED TO PROVIDE SEPARATION BETWEEN GRAVEL FILL AND REINFORCED BACKFILL L. DRAINAGE COMPOSITES ARE POLYETHYLENE NET STRUCTURE WITH NON-WOVEN GEOTEXTILES BONDED TO BOTH SIDES.

2.2 MATERIALS

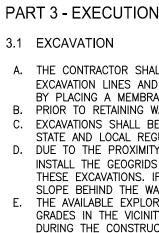
A. CONCRETE UNITS

- 1. CONCRETE UNITS SHALL BE KEYSTONE COMPAC III RETAINING WALL UNITS. SUBSTITUTION OF OTHER CONCRETE UNITS OF SIMILAR SIZE AND WEIGHT MAY BE ALLOWED WITH THE PRIOR APPROVAL OF GTA AND THE OWNER. 2. CONCRETE WALL UNITS SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI, IN ACCORDANCE WITH ASTM C90. THE CONCRETE
- SHALL HAVE ADEQUATE FREEZE/THAW PROTECTION, WITH A MAXIMUM MOISTURE ABSORPTION OF 8 PERCENT. 3. CONCRETE UNIT MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C1372.
- H. CONCRETE UNITS SHALL PASS 100 FREEZE/THAW CYCLES IN WATER WITH LESS THAN 1% WEIGHT LOSS IN ACCORDANCE WITH ASTM C1262.
- CONCRETE UNITS SHALL HAVE ANGLED SIDES AND BE CAPABLE OF ATTAINING THE REQUIRED CONCAVE AND CONVEX ALIGNMENT CURVES. EXTERIOR CONCRETE UNIT DIMENSIONS MAY VARY. CONCRETE UNITS SHALL HAVE A MINIMUM OF ONE SQUARE FOOT OF FACE AREA EACH.
- CONCRETE UNITS SHALL BE INTERLOCKED WITH NON-CORROSIVE REINFORCED FIBERGLASS PINS.
- 8. CONCRETE UNITS SHALL BE INTERLOCKED AS TO PROVIDE A NOMINAL 1-1/8-INCH OF SETBACK PER COURSE.
- B. CAP UNITS
- 1. CAP UNITS SHALL BE KEYSTONE CAP UNITS. SUBSTITUTION OF OTHER CAP UNITS OF SIMILAR SIZE AND WEIGHT MAY BE ALLOWED WITH THE PRIOR APPROVAL OF GTA. 2. CAP UNITS SHALL CONFORM TO THE REQUIREMENTS STATED IN NOTES 2.2.A.2 AND 2.2.A.5.
- C. LEVELING PAD
- 1. LEVELING PAD MATERIALS SHALL CONSIST OF COMPACTED, FREE-DRAINING, COARSE AGGREGATES MEETING THE REQUIREMENTS OF MARYLAND SHA NO. 57 STONE 2. LEVELING PAD SHALL BE A MINIMUM OF 6 INCHES DEEP AND 24 INCHES WIDE

D. FIBERGLASS CONNECTION PINS

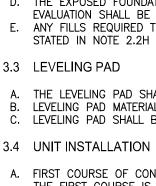
- 1. FIBERGLASS CONNECTING PINS SHALL BE THERMOSET, ISOPTHALIC, POLYESTER RESIN PULTRUDED, REINFORCEMENT RODS, 1/2 INCH IN DIAMETER.
- PINS SHOULD HAVE A MINIMUM FLEXURAL STRENGTH OF 128,000 PSI AND SHORT BEAM SHEAR OF 6,400 PSI. 3. FOR SUBSTITUTE CONCRETE UNITS, USE OF OTHER COMPATIBLE CONNECTOR SYSTEMS MAY BE ALLOWED WITH THE PRIOR APPROVAL OF GTA.
- E. GEOGRID
- 1. GEOGRID SHALL BE MIRAGRID 3XT MANUFACTURED BY TENCATE GEOSYNTHETICS AMERICAS. EQUIVALENT MATERIALS MAY BE SUBSTITUTED WITH PRIOR
- APPROVAL OF GTA. 2. THE GEOGRID SHALL HAVE A MINIMUM LONG TERM DESIGN STRENGTH (LTDS) OF 1,999 POUNDS PER FOOT. LTDS IS DEFINED AS THE ULTIMATE STRENGTH DIVIDED BY REDUCTION FACTORS FOR CREEP, DURABILITY, AND INSTALLATION DAMAGE.
- F. GRAVEL FILL
- 1. GRAVEL FILL SHALL CONSIST OF CLEAN, 1 INCH MINUS CRUSHED STONE OR CRUSHED GRAVEL WITH 100 PERCENT PASSING THE 1-INCH SIEVE, 75 TO 100 PERCENT PASSING THE 3/4-INCH SIEVE, 0 TO 10 PERCENT PASSING THE NO. 4 SIEVE, AND 0 TO 5 PERCENT PASSING THE NO. 50 SIEVE.
- G. REINFORCED BACKFILL
- 1. REINFORCED BACKFILL SOILS SHALL BE NON-PLASTIC SOIL MEETING THE REQUIREMENTS OF AASHTO A-2-4 OR MORE GRANULAR. IF ADEQUATE QUANTITIES ARE NOT AVAILABLE ON-SITE, MATERIALS MEETING THESE REQUIREMENTS WILL NEED TO BE IMPORTED. 2. REINFORCED BACKFILL SHALL BE PLACED IN MAXIMUM 8-INCH LIFTS AND COMPACTED TO 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698.
- H. CONTROLLED FILL
- 1. CONTROLLED FILLS TO BE PLACED OUTSIDE OF THE REINFORCED BACKFILL ZONE SHALL CONSIST OF ON-SITE OR BORROW SOILS MEETING THE REQUIREMENT OF AASHTO A-4 OR MORE GRANULAR.
- 2. CONTROLLED FILLS SHALL BE PLACED IN MAXIMUM 8-INCH LIFTS AND COMPACTED TO 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, OR HIGHER IF REQUIRED BY THE GEOTECHNICAL REPORT.
- I. LOW-PERMEABILITY SOIL
- 1. LOW-PERMEABILITY SOILS TO BE PLACED AT THE TOP OF THE WALL, WHERE SPECIFIED, SHALL CONSIST OF SANDY, SILTY OR CLAYEY SOILS MEETING THE UNIFIED SOILS CLASSIFICATION SYSTEM CRITERIA FOR ML, CL, SM, OR SC, WITH A MINIMUM OF 25% PASSING THE #200 SIEVE.

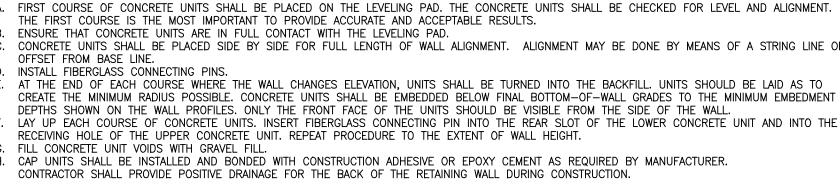
APPROVED: DEPARTMENT PLANNING AND ZONING	OF		
CHAD Edmondson	2/21/2024		
CHEIF, DEVELOPMENT ENGINEERING DIVISION	DATE		
DocuSigned by: 1EB75478A22B49A	2/21/2024	PLANNING	APPROVED G BOARD OF HOWARD
CHEIF, DIVISION OF LAND DEVELOPMENT	DATE	DATE:	August 11, 2023
Docusigned by: Lynda Eisenberg	2/27/2024		
DIRECTOR, DEPARTMENT OF PLANNING AND ZONNING	DATE		



J. DRAINAGE PIPE

K. FILTER FABRIC





•	FIBERGLASS CONNECTING PIN. PULL TAUT. AND ANCHOR BEFORE REINFORCED BACKFILL IS PLACED ON THE GEOGRID.
	SLACK IN THE GEOGRID AT THE WALL UNIT CONNECTIONS SHALL BE REMOVED IN A MANNER, AND TO SUCH A DEGREE, AS APPROVED BY THE TESTING
	AGENCY.
•	GEOGRID SHALL BE LAID AT THE PROPER ELEVATION AND ORIENTATION AS SHOWN ON THE CONSTRUCTION DRAWINGS OR AS DIRECTED BY THE TESTING
	AGENCY.
	ADDITIONAL GEOGRID IS REQUIRED IN WALL CURVES OR BENDS AS SHOWN ON THE TYPICAL DETAILS.
•	CORRECT ORIENTATION (ROLL DIRECTION) OF THE GEOGRID SHALL BE VERIFIED BY THE CONTRACTOR.
•	GEOGRID SHALL BE SECURED IN PLACE WITH STAPLES, PINS, SAND BAGS, OR BACKFILL AS REQUIRED BY FILL PROPERTIES, FILL PLACEMENT
	PROCEDURES, OR WEATHER CONDITIONS, OR AS DIRECTED BY THE TESTING AGENCY.
	OVERLAPS.
1.	UNIAXIAL GEOGRID DOES NOT NEED TO BE OVERLAPPED IN THE ACROSS THE ROLL DIRECTION, EXCEPT TO CONTAIN THE FILL AT THE SLOPE FACE
	WHEN WRAP-AROUND FACING IS USED. UNIAXIAL GRID SHOULD BE OVERLAPPED 48" IN THE ROLLED DIRECTION.
2.	LAYER OF SOIL A MINIMUM OF 4 INCHES IN THICKNESS SHOULD BE SPREAD BETWEEN UNIAXIAL GEOGRID LAYERS IN THE AREA TO BE OVERLAPPED, O
	AS DIRECTED.
)	FILL PLACEMENT

3.6 A. REINFORCED BACKFILL AND CONTROLLED FILL SHALL BE PLACED AND COMPACTED AS DESCRIBED IN SECTION 2.2 AND IN ACCORDANCE WITH APPLICABLE

	COUNTY REQUIREMENTS.
в.	REINFORCED BACKFILL SHALL BE PLACED, SPREAD, AND COMPACTED IN SUCH A MANNER THAT MINIMIZES
	MOVEMENT OF THE GEOGRID.
C.	ONLY HAND-OPERATED COMPACTION EQUIPMENT SHALL BE ALLOWED WITHIN 4 FEET OF THE WALL FACE.
D.	REINFORCED BACKFILL SHALL BE PLACED FROM THE WALL OUTWARD TO ENSURE THAT THE GEOGRID REI
E.	TRACKED CONSTRUCTION EQUIPMENT SHALL NOT BE OPERATED BEHIND OR ABOVE THE WALL.
F.	RUBBER-TIRED EQUIPMENT MAY PASS OVER THE GEOGRID REINFORCEMENT AT SLOW SPEEDS, LESS THAN
	TURNING SHALL BE AVOIDED.

G.	PLACE FILTER MINIMUM OF 1
3.7	DRAINAGE
Α.	GRAVEL FILL S

C.	POSITIVE DRAI
	BE DRIED ANI
D.	INSTALL THE
	PLACEMENT O
–	

A. THE RETAINING WALLS SHALL ONLY BE CONSTRUCTED UNDER THE OBSERVATION OF GTA TO CONFIRM THAT THE SOILS AND MATERIALS USED DURING CONSTRUCTION MEET THE REQUIREMENTS SPECIFIED HEREIN. IF GTA IS NOT CONTRACTED TO PROVIDE CONSTRUCTION OBSERVATION AND TESTING

	SERVICES DURING WALL CONSTRUCTION, GTA IS RELIEVED OF ALL RESPONSIBILITY FOR THE PERFORMANCE OF THE WALLS.
в.	THE REQUIRED BEARING PRESSURE BENEATH THE FOOTING OF THE WALL SHALL BE VERIFIED IN THE FIELD BY A CERTIFIED SOILS TECHNICIAN. TESTING
	DOCUMENTATION MUST BE PROVIDED TO GTA PRIOR TO THE START OF WALL CONSTRUCTION. THE REQUIRED TEST PROCEDURE SHALL BE THE DYNAMIC
	CONE PENETROMETER (DCP) TEST ASTM STP399.
C.	THE SUITABILITY OF FILL MATERIAL SHALL BE CONFIRMED BY THE ON-SITE TESTING AGENCY REPRESENTATIVE.
C.	THE SUITABILITY OF FILL MATERIAL SHALL BE CONFIRMED BY THE ON-SITE TESTING AGENCY REPRESENTATIVE.

2 ART 5-	DESIGN	CRITERIA

COUNTY

REINFORCED SOIL INTERNAL FRICTION ANGLE = 30 DEGREES AND COHESION = 0 PSF. REINFORCED SOIL MOIST UNIT WEIGHT = 120 PCF FOUNDATION SOIL INTERNAL FRICTION ANGLE = 34 DEGREES AND COHESION = 0 PSF. FOUNDATION SOIL MOIST UNIT WEIGHT = 120 PCF. RETAINED SOIL INTERNAL FRICTION ANGLE = 30 DEGREES AND COHESION = 0 PSF RETAINED SOIL MOIST UNIT WEIGHT = 120 PCF H. RETAINING WALLS ARE NOT DESIGNED TO RESIST HYDROSTATIC PRESSURE.

. REQUIRED MINIMUM ALLOWABLE FOUNDATION BEARING PRESSURE IS 2,500 PSF.

F REINFORCED BACKFILL GEOCOMPOSITE AND LATERAL DRAINAGE PIPES SHALL BE ORIENTED TO PROVIDE DRAINAGE THROUGH THE FRONT OF THE WALL. PART 4 - CONSTRUCTION OBSERVATION AND TESTING

D RECOMPACTED, OR REMOVED AND REPLACED WITH NEW REINFORCED BACKFILL. PERFORATED DRAINAGE PIPES AND LATERAL DRAINAGE PIPES INCREMENTALLY ALONG WITH THE INSTALLATION OF CONCRETE UNITS AND E. INSTALL THE DRAINAGE GEOCOMPOSITE AT THE BACK OF THE REINFORCED BACKFILL ZONE AS SHOWN ON THE TYPICAL SECTION. DRAINAGE

SHALL BE PLACED BEHIND THE CONCRETE UNITS TO THE LIMITS SHOWN. THE GRAVEL FILL SHALL EXTEND MINIMUM 12 INCHES BEHIND THE E CONCRETE UNITS. INCREASED GRAVEL FILL THICKNESS IS REQUIRED IN CURVES AND CORNERS AS SHOWN ON THE TYPICAL DETAILS. B. PLACE FILTER FABRIC BEHIND THE GRAVEL FILL AS DESCRIBED IN SECTION 3.6. INAGE SHALL BE MAINTAINED DURING AND AFTER CONSTRUCTION. REINFORCED BACKFILL THAT BECOME WET DURING CONSTRUCTION SHALL

BACKFILL SHALL BE PLACED FROM THE WALL OUTWARD TO ENSURE THAT THE GEOGRID REMAINS TAUT. ISTRUCTION EQUIPMENT SHALL NOT BE OPERATED BEHIND OR ABOVE THE WALL. D EQUIPMENT MAY PASS OVER THE GEOGRID REINFORCEMENT AT SLOW SPEEDS, LESS THAN 10 MPH. SUDDEN BRAKING AND SHARP ALL BE AVOIDED. R FABRIC BETWEEN THE GRAVEL FILL AND THE REINFORCED BACKFILL AS SHOWN ON PLANS. THE FILTER FABRIC SHALL BE EMBEDDED A TWO FEET INTO THE REINFORCED FILL.

BACKFILL SHALL BE PLACED, SPREAD, AND COMPACTED IN SUCH A MANNER THAT MINIMIZES THE DEVELOPMENT OF WRINKLES IN AND/OR

RECEIVING HOLE OF THE UPPER CONCRETE UNIT. REPEAT PROCEDURE TO THE EXTENT OF WALL HEIGHT. G. FILL CONCRETE UNIT VOIDS WITH GRAVEL FILL. H. CAP UNITS SHALL BE INSTALLED AND BONDED WITH CONSTRUCTION ADHESIVE OR EPOXY CEMENT AS REQUIRED BY MANUFACTURER. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE FOR THE BACK OF THE RETAINING WALL DURING CONSTRUCTION. 3.5 GEOGRID INSTALLATION A. ALL UTILITIES IN THE VICINITY OF ANY RETAINING WALL OR GEOGRID SHALL BE INSTALLED AND PROPERLY BACKFILLED PRIOR TO PLACING THE GEOGRID OR CONSTRUCTING THE WALL. B. THE GEOGRID SHALL BE LAID HORIZONTALLY ON COMPACTED REINFORCED BACKFILL, CONNECTED TO THE CONCRETE UNITS. HOOK GEOGRID OVER THE CONNECTING PIN, PULL TAUT, AND ANCHOR BEFORE REINFORCED BACKFILL IS PLACED ON THE GEOGRID.

THE FIRST COURSE IS THE MOST IMPORTANT TO PROVIDE ACCURATE AND ACCEPTABLE RESULTS. . ENSURE THAT CONCRETE UNITS ARE IN FULL CONTACT WITH THE LEVELING PAD. CONCRETE UNITS SHALL BE PLACED SIDE BY SIDE FOR FULL LENGTH OF WALL ALIGNMENT. ALIGNMENT MAY BE DONE BY MEANS OF A STRING LINE OR INSTALL FIBERGLASS CONNECTING PINS. AT THE END OF EACH COURSE WHERE THE WALL CHANGES ELEVATION, UNITS SHALL BE TURNED INTO THE BACKFILL. UNITS SHOULD BE LAID AS TO CREATE THE MINIMUM RADIUS POSSIBLE. CONCRETE UNITS SHALL BE EMBEDDED BELOW FINAL BOTTOM-OF-WALL GRADES TO THE MINIMUM EMBEDMENT

A. FIRST COURSE OF CONCRETE UNITS SHALL BE PLACED ON THE LEVELING PAD. THE CONCRETE UNITS SHALL BE CHECKED FOR LEVEL AND ALIGNMENT.

. LEVELING PAD MATERIALS SHALL BE PLACED ON A SUBGRADE PREPARED AS DESCRIBED IN SECTION 3.2 AND APPROVED BY THE TESTING AGENCY. . LEVELING PAD SHALL BE PREPARED TO ENSURE COMPLETE CONTACT OF RETAINING WALL UNIT WITH BASE. GAPS SHALL NOT BE ALLOWED.

THE LEVELING PAD SHALL BE PLACED AS SHOWN ON THE CONSTRUCTION DRAWINGS WITH A MINIMUM THICKNESS OF 6 INCHES.

THE ALLOWABLE BEARING PRESSURE FOR NATURAL AND CONTROLLED FILL SOILS SHALL BE AS SPECIFIED IN PART 5. THE EXPOSED FOUNDATION SUBGRADE SHALL BE PROOFROLLED WITH A LOADED DUMP TRUCK. ANY SOFT OR UNSTABLE AREAS IDENTIFIED DURING THIS EVALUATION SHALL BE OVEREXCAVATED AND BACKFILLED WITH CONTROLLED FILL. ANY FILLS REQUIRED TO ESTABLISH SLOPING SURFACES IN FRONT OF THE WALLS SHALL CONSIST OF CONTROLLED FILL MEETING THE REQUIREMENTS STATED IN NOTE 2.2H AND SHALL BE TESTED BY THE TESTING AGENCY.

3.2 FOUNDATION SUBGRADE PREPARATION A. FOUNDATION SOIL SHALL BE EXCAVATED AS REQUIRED FOR INSTALLATION OF THE LEVELING PAD, GEOGRID, AND OTHER ELEMENTS AS SHOWN ON THE CONSTRUCTION DRAWINGS. B. FOUNDATION SOIL SHALL BE EXAMINED BY THE TESTING AGENCY TO ENSURE THAT THE ACTUAL FOUNDATION SOIL STRENGTH MEETS OR EXCEEDS ASSUMED DESIGN STRENGTH. SOILS NOT MEETING REQUIRED STRENGTH SHALL BE REMOVED AND REPLACED WITH CONTROLLED FILL, MEETING THE MATERIAL AND COMPACTION REQUIREMENTS STATED IN NOTE 2.2H.

GRADES IN THE VICINITY OF THE RETAINING WALL. THEREFORE, THE CONTRACTOR SHOULD BE PREPARED TO IMPLEMENT ROCK EXCAVATION METHODS DURING THE CONSTRUCTION OF THE RETAINING WALL AND OTHER IMPROVEMENTS.

EXCAVATIONS SHALL BE SLOPED OR OTHERWISE SUPPORTED IN ACCORDANCE WITH OCCUPATION SAFETY AND HEALTH ADMINISTRATION (OSHA) AND OTHER STATE AND LOCAL REGULATIONS. D. DUE TO THE PROXIMITY OF THE PROPOSED RETAINING WALL ALIGNMENT TO THE ADJACENT PROPERTY, AND THE CUT SLOPE THAT WILL BE REQUIRED TO INSTALL THE GEOGRIDS TO THE REQUIRED LENGTHS, THE LIMIT OF DISTURBANCE (I.E. THE PROPERTY LINE) BEHIND THE WALL WILL BE IMPACTED BY THESE EXCAVATIONS. IF THESE IMPACTS TO THE ADJACENT PROPERTY LINE ARE NOT ACCEPTABLE, SHORING WILL BE REQUIRED TO STABILIZE THE CUT SLOPE BEHIND THE WALL. SHORING SHOULD BE PERFORMED BY THE CONTRACTOR ON A DESIGN-BUILD BASIS, AS REQUIRED. THE AVAILABLE EXPLORATION LOGS INDICATE THAT VERY DENSE, HIGHLY TO RELATIVELY UNWEATEHRED ROCK WAS ENCOUNTERED ABOVE THE PROPOSED

A. THE CONTRACTOR SHALL EXCAVATE TO THE LINES AND GRADES SHOWN ON THE CONSTRUCTION DRAWINGS. UNDER NO CIRCUMSTANCES SHALL THE EXCAVATION LINES AND GRADES BE EXCEEDED, EXCEPT WITH OWNER'S APPROVAL. THE CONTRACTOR SHALL PROTECT THE EXCAVATION FROM SLOUGHING BY PLACING A MEMBRANE OVER THE FACE OF THE EXCAVATION B. PRIOR TO RETAINING WALL CONSTRUCTION AND THE PLACEMENT OF FILL, ALL TOPSOIL SHALL BE STRIPPED AND REMOVED FROM THE SITE.

1. DRAINAGE COMPOSITE SHALL BE TENDRAIN 750/2 GEOCOMPOSITE MANUFACTURED BY TENAX, MIRAFI G100N MANUFACTURED BY TENCATE GEOSYNTHETICS AMERICAS, OR SITEDRAIN 183-B MANUFACTURED BY AMERICAN WICK DRAIN. EQUIVALENT MATERIALS MAY BE SUBSTITUTED WITH PRIOR APPROVAL OF

1. THE DRAINAGE PIPES SHALL BE PERFORATED OR SLOTTED PVC PIPE MANUFACTURED IN ACCORDANCE WITH ASTM D3034

L. DRAINAGE COMPOSITE

1. FILTER FABRIC SHALL BE NON-WOVEN, POLYPROPYLENE GEOTEXTILE MIRAFI 140N MANUFACTURED BY TENCATE GEOSYNTHETICS AMERICAS OR TERRATEX NO4.5 MANUFACTURED BY HANES GEO COMPONENTS. EQUIVALENT MATERIALS MAY BE SUBSTITUTED WITH PRIOR APPROVAL OF GTA.

C 580.65 Z**I** _____

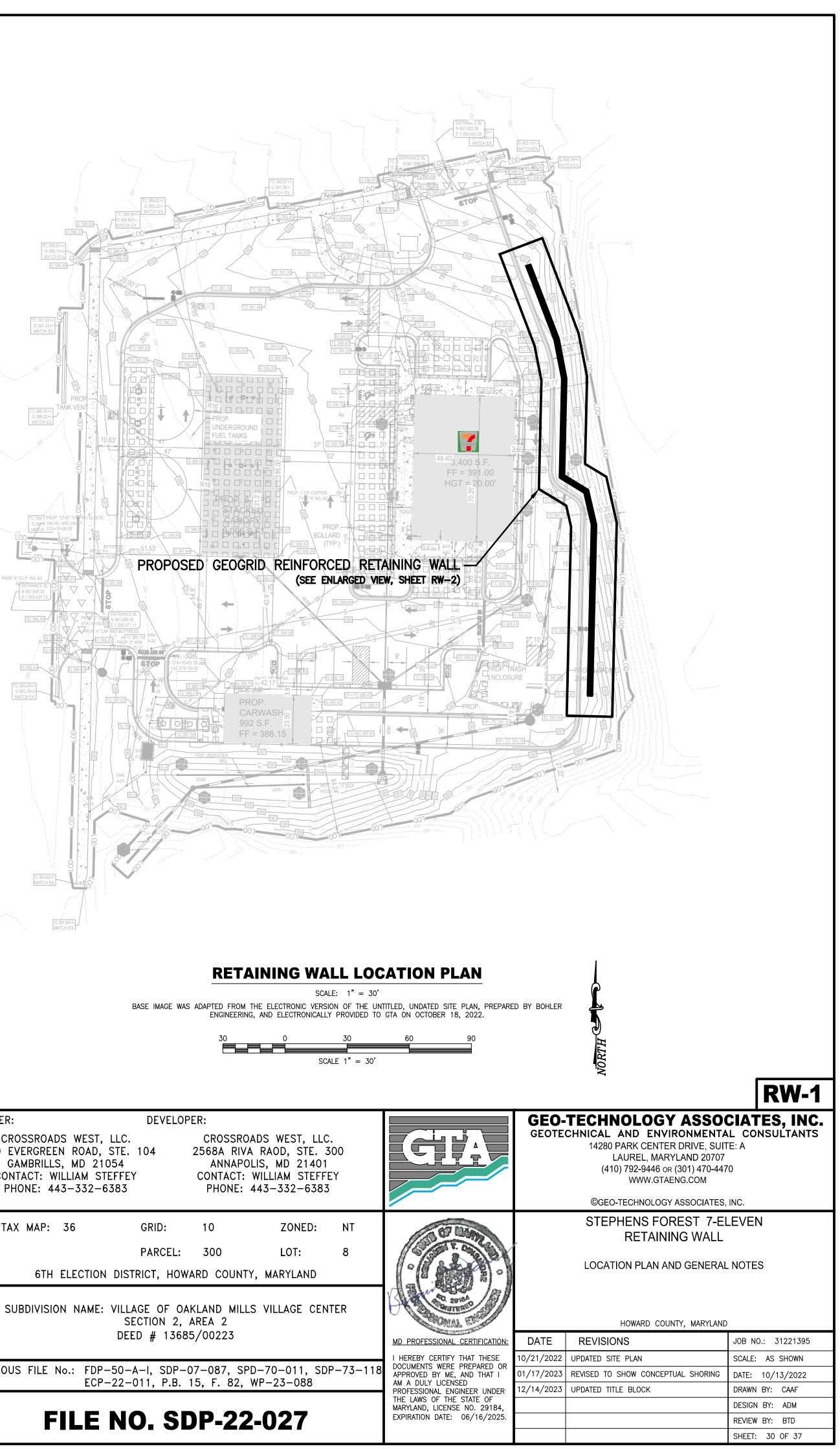
OWNER: DEVELOPER: CROSSROADS WEST, LLC. 2410 EVERGREEN ROAD, STE. 104 GAMBRILLS, MD 21054 CONTACT: WILLIAM STEFFE PHONE: 443-332-6383 TAX MAP: 36 GRID: PARCEL: 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

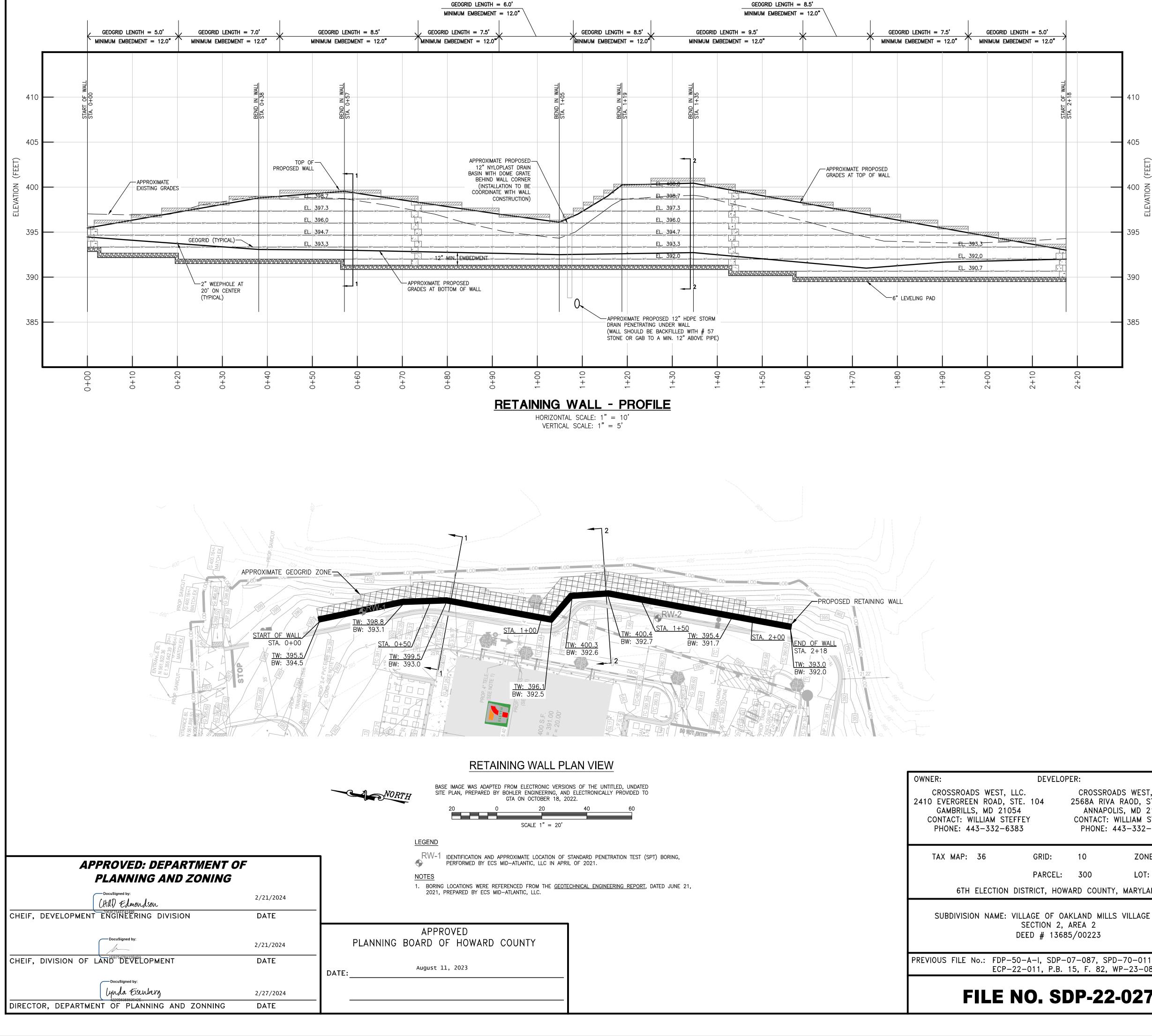
G 384.96+/-

SECTION 2, AREA 2 DEED # 13685/00223

PREVIOUS FILE No.: FDP-50-A-I, SDP-07-087, SPD-70-011, SDP-73-1

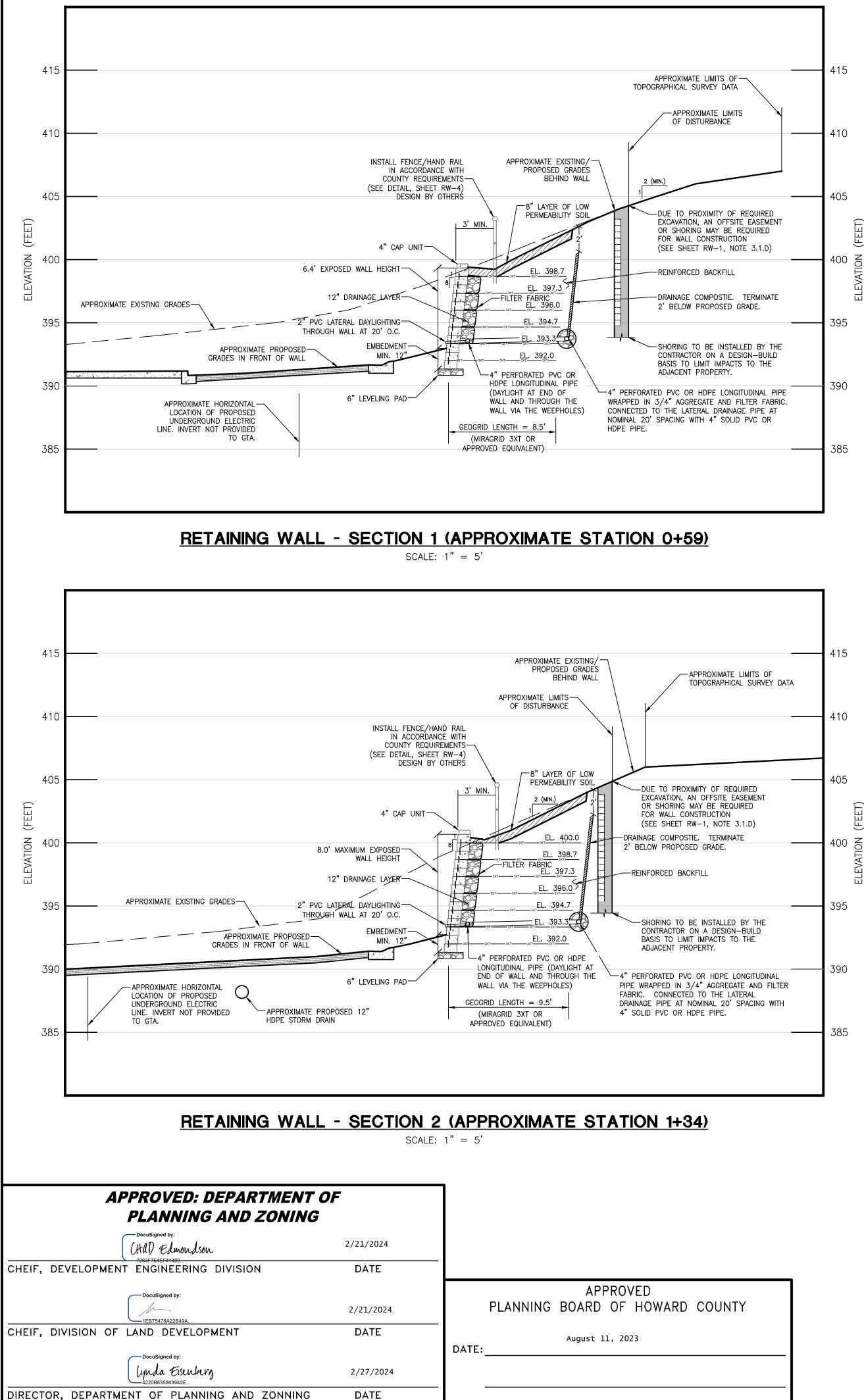
FILE NO. SDP-22-027





CROSSROADS WEST, LLC. 2568A RIVA RAOD, STE. 300 ANNAPOLIS, MD 21401 CONTACT: WILLIAM STEFFEY PHONE: 443-332-6383		GEO-TECHNOLOGY ASSOCIATES, INC. GEOTECHNICAL AND ENVIRONMENTAL CONSULTANTS 14280 PARK CENTER DRIVE, SUITE: A LAUREL, MARYLAND 20707 (410) 792-9446 or (301) 470-4470 WWW.GTAENG.COM ©GEO-TECHNOLOGY ASSOCIATES, INC.				
10 ZONED: NT II: 300 LOT: 8 IOWARD COUNTY, MARYLAND		STEVEN'S FOREST 7-ELEVEN RETAINING WALL PLAN VIEW AND PROFILE				
OAKLAND MILLS VILLAGE CENTER 2, AREA 2 3685/00223	MD_PROFESSIONAL_CERTIFICATION:	HOWARD COUNTY, MARYLAND DATE REVISIONS JOB NO.: 31221395				
)P-07-087, SPD-70-011, SDP-73-118 B. 15, F. 82, WP-23-088	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER	10/21/2022 01/17/2023 12/14/2023	REVISED TO SHOW CONCEPTUAL SHORING	SCALE: AS SHOWN DATE: 10/13/2022 DRAWN BY: CAAF		
SDP-22-027	THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 29184, EXPIRATION DATE: 06/16/2025.			DESIGN BY: ADM REVIEW BY: BTD SHEET: 31 OF 37		

RW-2



COUNTY	

PREVIOUS FILE No.: FDP-50-A-I, SDP-07-087, SPD-70-011, SDP-73-1

DEED # 13685/00223

SECTION 2, AREA 2

TAX MAP: 36 GRID: PARCEL:

GAMBRILLS, MD 21054 PHONE: 443-332-6383

OWNER: CROSSROADS WEST, LLC. 2410 EVERGREEN ROAD, STE. 104 CONTACT: WILLIAM STEFFEY

CLIENT:

PROJECT NAME:

SITE LOCATION:

NORTHING:

561843.7

Reliable Real Estate Services, LLC

7-Eleven - Stevens Forest Road

5901 Stevens Forest Road, Columbia, Maryland 21045

S-2 SS 18 18

5

10-

15-

20 -

25 -

30 -

 ∇ WL (First Encountered)

☑ WL (Seasonal High Water)

▼ WL (Completion)

☑ WL (Stabilized)

EASTING:

1355693.4

S-1 S-1 SS 18 18 medium dense to dense

S-3 SS 18 18 medium dense

S-5 SS 5 5 [Weathered]

PROJECT NO .:

DRILLER/CONTRACTOR:

D And S Drilling, Inc.

02:9489

STATION:

DESCRIPTION OF MATERIAL

(SM) SILTY SAND, light brown, moist,

(SM) SILTY SAND, light brown, moist,

SILTY SAND, tan, moist, very dense

(WR) WEATHERED ROCK SAMPLED AS

SILTY SAND, white, moist, very dense

DRY

DRY

DRY

AUGER AND SPT REFUSAL AT 13.9 FT

Topsoil Thickness[4"]

S-4 SS 3 3 (WR) WEATHERED ROCK SAMPLED AS

[Weathered]

BORING NO .:

SURFACE ELEVATION:

4-7-6

(13)

11-14-17

(31)

10-12-13

(25)

50/3"

(50/3")

50/5"

(50/5")

394-

389

384-

379-

374-

369-

Apr 29 2021

LOGGED BY:

CAVE IN DEPTH: 9.3

HAMMER TYPE: Auto

DRILLING METHOD: HSA

THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY LINES BETWEEN SOIL TYPES. IN-SITU THE TRANSITION MAY BE GRADUAL

GEOTECHNICAL BOREHOLE LOG

BORING

ATV

COMPLETED:

EQUIPMENT:

BORING STARTED: Apr 29 2021

RW-1

399

SHEET

1 of 1

LOSS OF CIRCULATION

BOTTOM OF CASING

Plastic Limit Water Content Liquid Limit

х______Ф_______

STANDARD PENETRATION BLOWS/FT

ROCK QUALITY DESIGNATION & RECOVERY

CALIBRATED PENETROMETER TON/SF

[25.1%]

RQD - REC

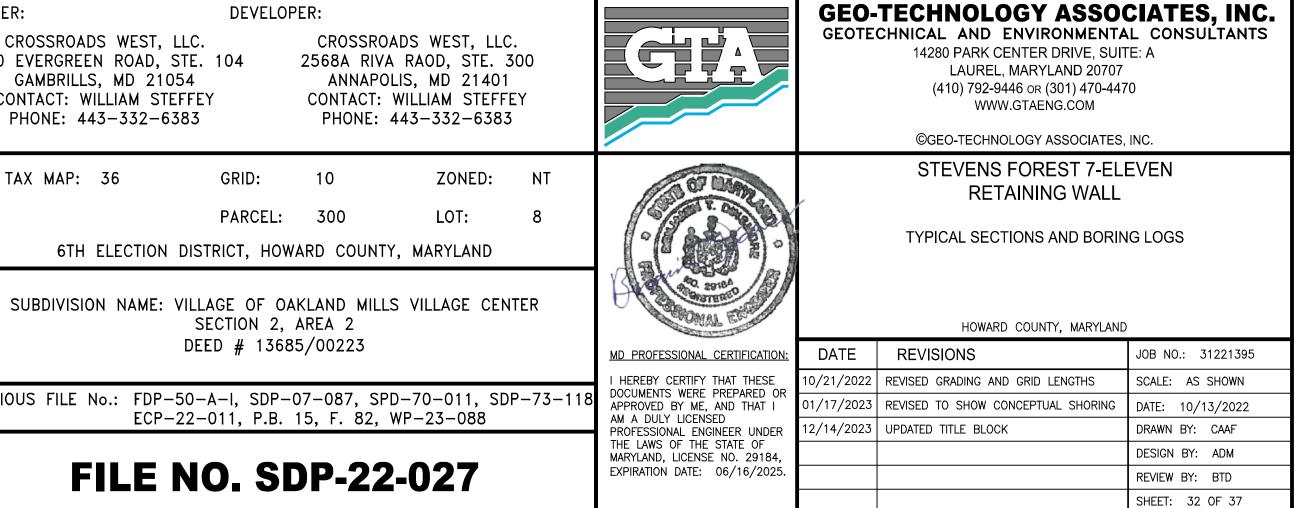
Q1313-8

13.5

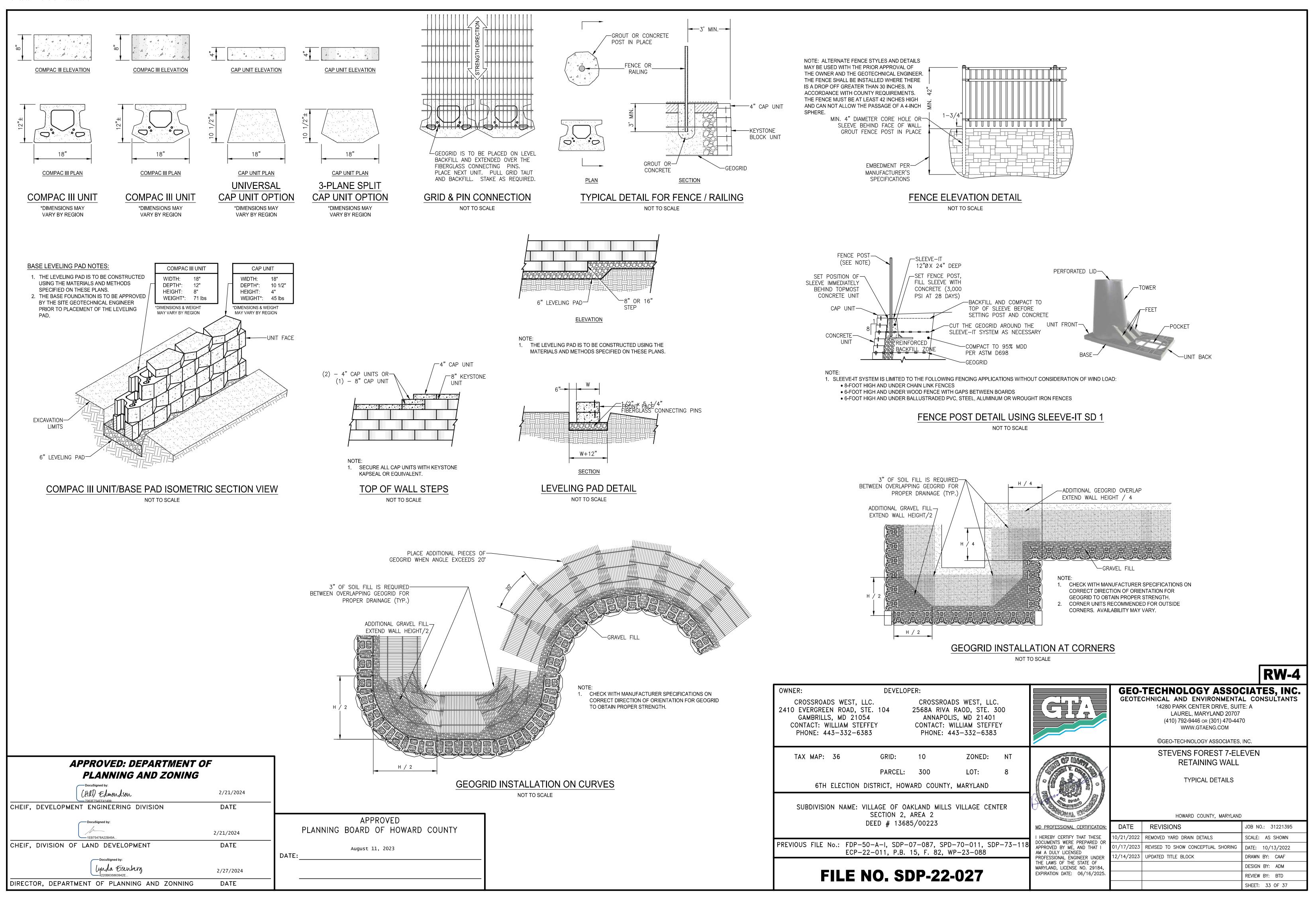
[FINES CONTENT] %

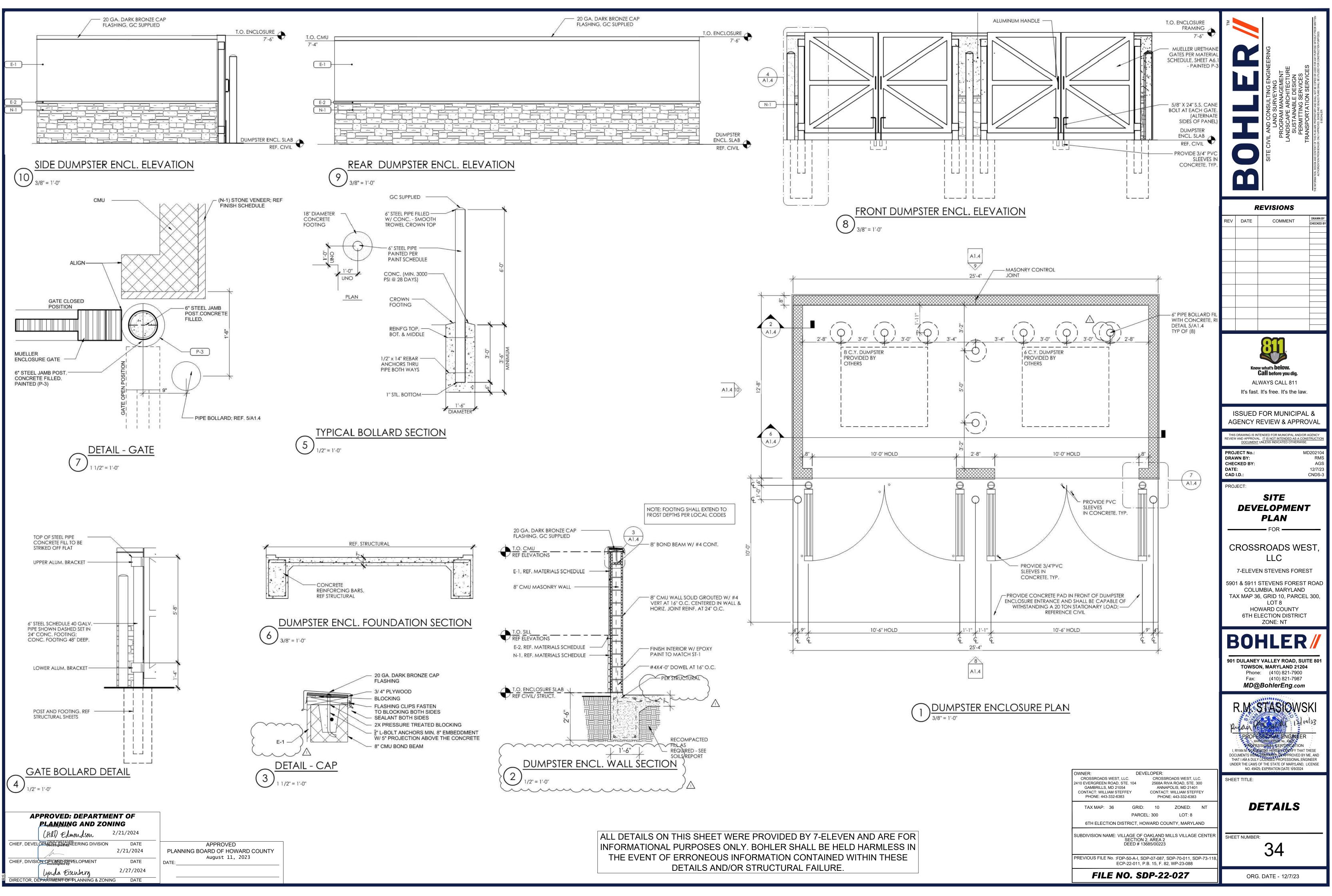
	415	
PROXIMATE LIMITS OF POGRAPHICAL SURVEY DATA	410	
	110	
IITY OF REQUIRED OFFSITE EASEMENT AY BE REQUIRED	405	T)
STRUCTION 	400	FVATION (FFFT
FILL		FI FVA
INSTALLED BY THE A DESIGN-BUILD IMPACTS TO THE	395	
PERTY. OR HDPE LONGITUDINAL 4" AGGREGATE AND FILTER TO THE LATERAL	390	
MINAL 20' SPACING WITH PE PIPE.		

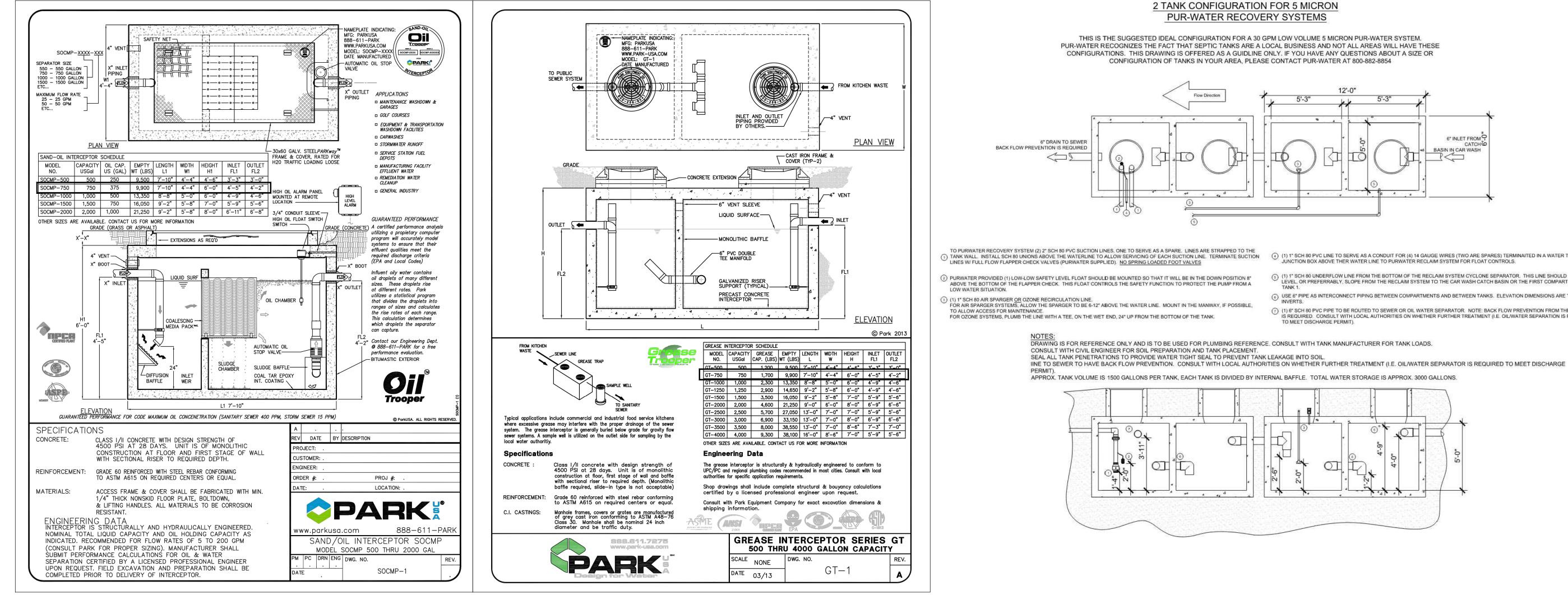
PROJE	T: le Real E ECT NAN en - Stev	ME:					PROJECT NO. 02:9489 DRILLER/CON D And S Drillin	ITRACT	BORING N RW-2 OR:	NO.:	SHEET: 1 of 1	-E	C
	HING:		Road, C	EAS	, Maryland 21045 TING: 5711.1	STATION:			SURFACE E	LEVATION:	LOSS OF CIF BOTTOM C		
DEPTH (FT)	SAMPLE NUMBER	SAMPLE TYPE	SAMPLE DIST. (IN)	RECOVERY (IN)	DESCRIPTION	DF MATERIAL		WATER LEVELS	ELEVATION (FT)	BLOWS/6"	X	ter Content Liquid L PENETRATION BLOWS/ DESIGNATION & RECOV	FT ERY
5-		SS SS		5	Asphalt Thickness[2" Gravel Thickness[5"] (WR) WEATHERED RC SILTY SAND, gray, mo [Weathered ROCK] AUGER AND SPT F	OCK SAMPLE st, very den	D AS se		397-	50/5" (50/5") 50/1" (50/1")	[FINES CONTEN		\$50 \$50
10-									392-				
15- - - - - - - - - - - - - - - - - - -									387				
									377-				
30-									372-				
▼ .	TH WL (Firs WL (Cor WL (Sea	st Enco mpleti	ountere on)	ed)	ES REPRESENT THE APPROX DRY DRY	BORIN	NG STARTED:	Apr 2	UL TYPES. IN 29 202 1 29 202 1	CAVE IN	DEPTH: 1.8		
-	WL (Sta				dry GE	EQUIF ATV	PMENT: AL BOREH	GJC		DRILLING	g method: hsa		



RW-3







AF	PROVED: DEPARTMI	ENT OF
	PLANNING AND ZON	IING
	(HAD Edmondson	2/21/2024
CHIEF, DEVEL	OPM 063E754EF41499 OPM 63E754EF41499 NEERING DIVISION	DATE
	M	2/21/2024
CHIEF, DIVISIO		DATE

lynda Eisenberg

IRECTOR, DEPAR 44W PAR 10 PLANNING & ZONING

2/27/2024

DATE

APPROVED PLANNING BOARD OF HOWARD COUNTY August 11, 2023 DATE

ALL DETAILS ON THIS SHEET WERE PROVIDED BY 7-ELEVEN AND ARE FOR INFORMATIONAL PURPOSES ONLY. BOHLER SHALL BE HELD HARMLESS IN THE EVENT OF ERRONEOUS INFORMATION CONTAINED WITHIN THESE DETAILS AND/OR STRUCTURAL FAILURE.

(1) 1" SCH 80 PVC LINE TO SERVE AS A CONDUIT FOR (4) 14 GAUGE WIRES (TWO ARE SPARES) TERMINAITED IN A WATER TIGHT JUNCTION BOX ABOVE THER WATER LINE TO PURWATER RECLAIM SYSTEM FOR FLOAT CONTROLS.

(5) (1) 1" SCH 80 UNDERFLOW LINE FROM THE BOTTOM OF THE RECLAIM SYSTEM CYCLONE SEPARATOR. THIS LINE SHOULD BE LEVEL, OR PREFERRABLY, SLOPE FROM THE RECLAIM SYSTEM TO THE CAR WASH CATCH BASIN OR THE FIRST COMPARTMENT OF TANK 1. (a) USE 6" PIPE AS INTERCONNECT PIPING BETWEEN COMPARTMENTS AND BETWEEN TANKS. ELEVATION DIMENSIONS ARE TO PIPE

(1) 6" SCH 80 PVC PIPE TO BE ROUTED TO SEWER OR OIL WATER SEPARATOR. NOTE: BACK FLOW PREVENTION FROM THE SEWER IS REQUIRED. CONSULT WITH LOCAL AUTHORITIES ON WHETHER FURTHER TREATMENT (I.E. OIL/WATER SEPARATION IS REQUIRED

MT		SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES	THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PROR WRITTEN AUTHORIZATION FROM BOHLER, ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES © BOHLER				
	R	EVISIONS					
REV	DATE	COMMENT	DRAWN BY CHECKED BY				
-							
		M					
Know what's below. Call before you dig. ALWAYS CALL 811 It's fast. It's free. It's the law.							
	-	FOR MUNICIPAL REVIEW & APPRO					
	V AND APPROVA	TENDED FOR MUNICIPAL AND/OR A L. <u>IT IS NOT INTENDED AS A CONST</u> UNLESS INDICATED OTHERWISE.					
DRA			202104 RMS AGS 12/7/23 CNDS-3				
PROJECT: SITE DEVELOPMENT PLAN FOR							
С		ROADS WES					
7-ELEVEN STEVENS FOREST 5901 & 5911 STEVENS FOREST ROAD COLUMBIA, MARYLAND TAX MAP 36, GRID 10, PARCEL 300, LOT 8 HOWARD COUNTY 6TH ELECTION DISTRICT ZONE: NT							
E	BOI	HLER					
901 DULANEY VALLEY ROAD, SUITE 801 TOWSON, MARYLAND 21204 Phone: (410) 821-7900 Fax: (410) 821-7987 MD@BohlerEng.com							
R.M. STASIOWSKI Dialog PROFESSIONAL ENGINEER MARLAND LICENSE No. 49425 PROFESSIONAL GERTIFICATION I. RYAN M. STASIOWSKI, HEREBY CERTIFY THAT THESE DOCUMENTS WERE DROPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSED NO. 49425, EXPIRATION DATE: 6/9/2024							
	D	ETAILS					

35

ORG. DATE - 12/7/23

ĺ	FIL	EN	0. SD	P-22	2-027			
	PREVIOUS FILE No. :FDP-50-A-I, SDP-07-087, SDP-70-011, SDP-73-118, ECP-22-011, P.B. 15, F. 82, WP-23-088							
	SUBDIVISION NAME: VILLAGE OF OAKLAND MILLS VILLAGE CENTER SECTION 2, AREA 2 DEED # 13685/00223							
	6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND							
	TAX MAP:	36	GRID: PARCEL	10 : 300	ZONED: LOT: 8	NT		
İ		20		10		NT		
		CONTACT: WILLIAM STEFFEY PHONE: 443-332-6383 PHONE: 443-332-6383						

DEVELOPER:

CROSSROADS WEST, LLC.

2568A RIVA ROAD, STE. 300

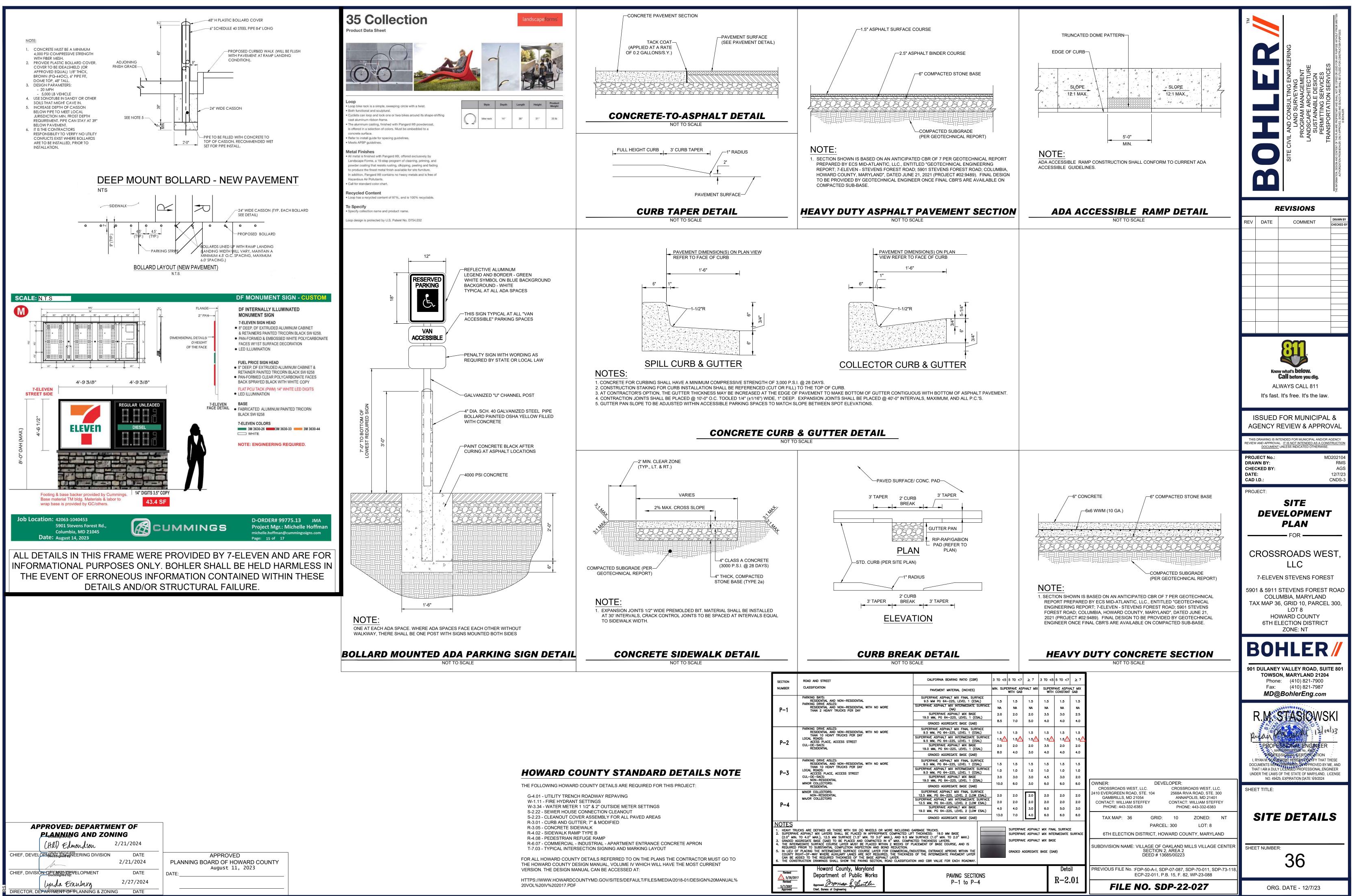
ANNAPOLIS, MD 21401

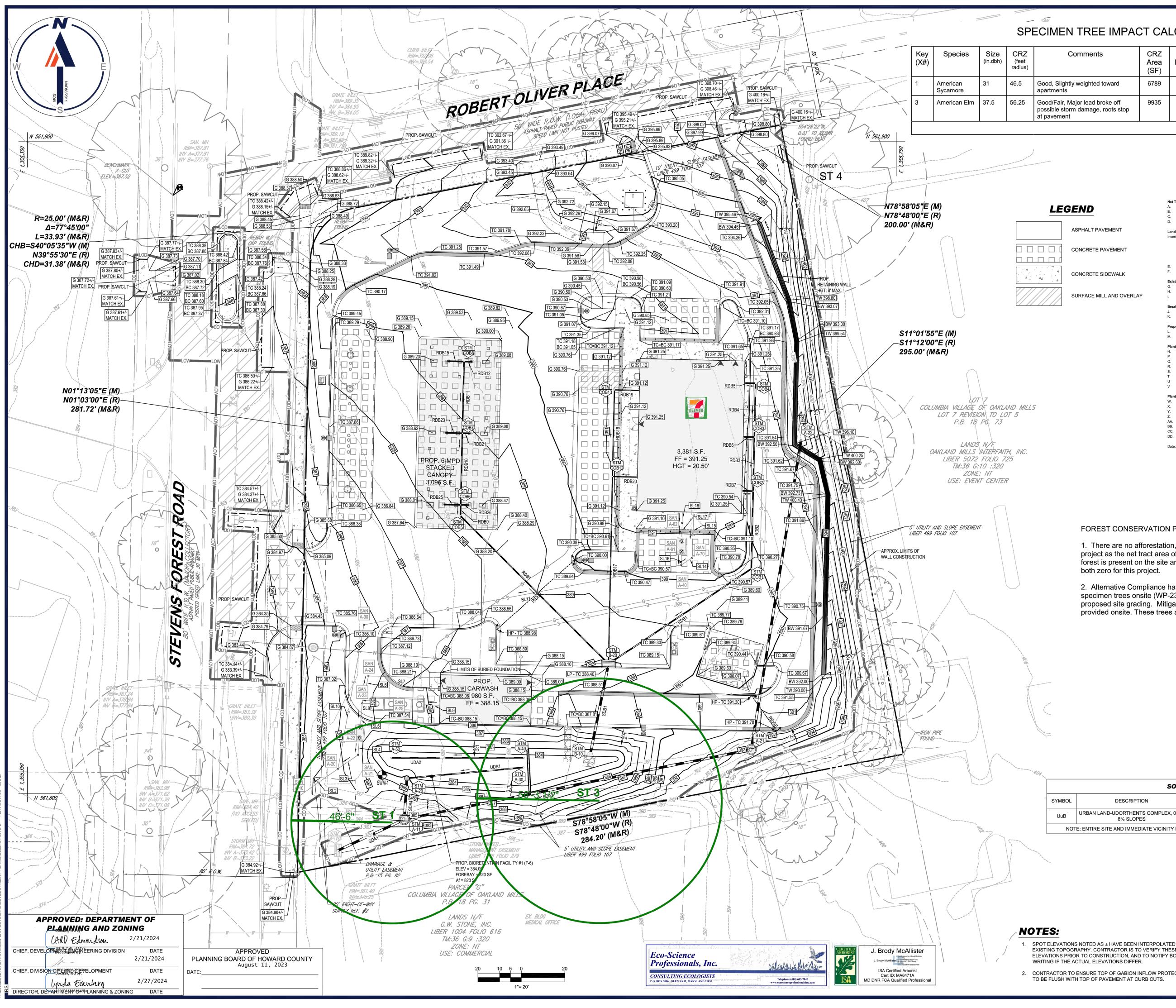
OWNER:

CROSSROADS WEST, LLC.

GAMBRILLS, MD 21054

2410 EVERGREEN ROAD, STE. 104





SPECIMEN TREE IMPACT CALCULATION CHART

Comments	CRZ Area (SF)	CRZ Impact (SF)	Percent CRZ Impact	To Be Retained (Y/N)	Mitigation Requirement (# replacement 3" trees)
ood, Slightly weighted toward partments	6789	6789	100	Ν	2
ood/Fair, Major lead broke off ossible storm damage, roots stop pavement	9935	9935	100	Ν	2
	4				

LEGEND

ASPHALT PAVEMENT

] [] [CONCRETE PAVEMENT
4	CONCRETE SIDEWALK

SURFACE MILL AND OVERLAY

Net Tra	act Area			
A.	Total (Gross) Tract Area		A =	1.7
B.	Area within 100-year Floodplain		в =	
C.	Other Deductions (Identify: IMPERVIOUS SURFACE)	C =	1.4
D.	Net Tract Area		D =	0.3
	Ise Category he number "1" under the appropriate land use (limit to only one entry)			
	Resid. Resid. Resid. Inst./ Retail/Ind./ Mixed Use/			
	Rural LD Rural MD Suburban Linear Office PUD			
	0 0 0 0 1 0			
	Afforestation Threshold (Net Tract Area x 15%)	E =	0.0
с. F.	Reforestation Threshold (Net Tract Area x 15%)	F=	0.0
	(,		
	g Forest Cover		~	0.0
G.	Existing Forest Cover within the Net Tract Area		G =	0.0
H.	Area of Forest above Afforestation Threshold		H =	0.0
•	Area of Forest above Reforestation Threshold		1 =	0.0
Break E	Even Point			
J.	Break Even Point		J =	0.0
κ.	Forest Clearing Permitted without Mitigation		K =	0.0
Propos	sed Forest Clearing			
	Total Area of Forest to be Cleared		L =	0.0
М.	Total Area of Forest to be Retained		M =	0.0
Plantin	g Requirements Inside Watershed			
N.	Reforestation for Clearing above the Reforestation Threshold		N =	0.0
-	Reforestation for Clearing below the Reforestation Threshold		P =	0.0
Q .	Credit for Retention above the Reforestation Threshold		Q =	0.0
۲.	Total Reforestation Required		R =	0.0
5.	Total Afforestation Required		S =	0.0
Г	Total Reforestation and Afforestation Requirement		T=	0.0
J	75% of Total Obligation (Retention + Planting)		U=	0.0
/	Planting Required Onsite to meet 75% Obligation		V=	0.0
Plantin	g Requirements Outside Watershed			
N.	Total Planting within Development Site Watershed		W=	0.0
κ.	Total Afforestation Required		X=	0.0
ί.	Remaining Planting within Watershed for Reforestation Credit		Y=	0.0
<u>z</u> .	Reforestation for Clearing above the Reforestation Threshold		Z=	0.0
٩A.	Reforestation for Clearing below the Reforestation Threshold		AA=	0.0
3B.	Credit for Retention above the Reforestation Threshold		BB=	0.0
CC.	Total Reforestation Required		CC=	0.0
DD.	Total Afforestation and Reforestation Requirement		DD=	0.0

REV DATE

REVISIONS

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APPROVED FOR

CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENC' REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCT DOCUMENT UNLESS INDICATED OTHERWISE.

SITE

DEVELOPMENT

PLAN

CROSSROADS WEST

LLC.

7-ELEVEN STEVENS FOREST

5901 & 5911 STEVENS FOREST ROAD COLUMBIA, MARYLAND

TAX MAP 36, GRID 10, PARCEL 300,

LOT 8

HOWARD COUNTY

6TH ELECTION DISTRICT

ZONE: NT

901 DULANEY VALLEY ROAD, SUITE 80⁷ TOWSON, MARYLAND 21204 Phone: (410) 821-7900 Fax: (410) 821-7987 MD@BohlerEng.com

BOHLER

MD202104

RM

8/29/23

SITE-3

AGS

PROJECT No.:

CHECKED BY:

DRAWN BY:

PROJECT:

DATE: CAD I.D.:

COMMENT

FOREST CONSERVATION PLAN NOTES

1. There are no afforestation, reforestation or retention requirements for this project as the net tract area of the site is reduced by the existing impervious. No forest is present on the site and the afforestation/conservation thresholds are both zero for this project.

2. Alternative Compliance has been granted to allow for the removal of two specimen trees onsite (WP-23-088) . These trees will be removed by the proposed site grading. Mitigation of four 3" caliper landscaping trees will be provided onsite. These trees are shown on the landscape plans.

SOILS INFORMATION

SYMBOL	DESCRIPTION	STRUCTURAL LIMITATIONS	HYDROLOGIC GROUP	K FACTOR	HIGHLY ERODIBLE?
UuB	URBAN LAND-UDORTHENTS COMPLEX, 0 TO 8% SLOPES	SOMEWHAT LIMITED	D	NOT RATED	NO
NOT	E: ENTIRE SITE AND IMMEDIATE VICINITY IS OF				

	OWNER:	DEVELOPER:]	
	CROSSROADS WEST, LLC. 2410 EVERGREEN ROAD, STE. 104 CROSSROADS WEST, LLC. 2568A RIVA ROAD, STE. 300			300	SHEET TITLE:
	GAMBRILLS, MD 21054 ANNAPOLIS, MD 21401 CONTACT: WILLIAM STEFFEY CONTACT: WILLIAM STEFFEY PHONE: 443-332-6383 PHONE: 443-332-6383		FEY	FOREST	
	TAX MAP: 36	GRID: 10 PARCEL: 300	ZONED: LOT: 8	NT	CONSERVATION
	6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND			PLAN	
D FROM SE SPOT 30HLER IN	SUBDIVISION NAME: VILLAGE OF OAKLAND MILLS VILLAGE CENTER SECTION 2, AREA 2 DEED # 13685/00223				SHEET NUMBER: 37

EXISTING TOPOGRAPHY. CONTRACTOR IS TO VERIFY THESE ELEVATIONS PRIOR TO CONSTRUCTION, AND TO NOTIFY BOH WRITING IF THE ACTUAL ELEVATIONS DIFFER. CONTRACTOR TO ENSURE TOP OF GABION INFLOW PROTECTIONS

TO BE FLUSH WITH TOP OF PAVEMENT AT CURB CUTS.

FILE NO. SDP-22-027

PREVIOUS FILE No. :FDP-50-A-I, SDP-07-087, SDP-70-011, SDP-73-118,

ECP-22-011, P.B. 15, F. 82, WP-23-088

U

ORG. DATE - 8/29/23