

- GENERAL NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
 2. THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST 48 HOURS PRIOR TO THE START OF WORK.
 3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-251-7111 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
 4. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF UTILITIES AT (410) 313-4100 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
 5. A) IF REQUIRED, ANY "R-1" (STOP) SIGN OR THE STREET NAME SIGN (S/N) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
 - B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
 - C) ALL TRAFFIC CONTROL DEVICES MUST BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
 - D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL PERFORATED "QUICK PUNCH" TYPE SQUARE TUBE POST (4 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL PERFORATED SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.

6. PROJECT BACKGROUND:

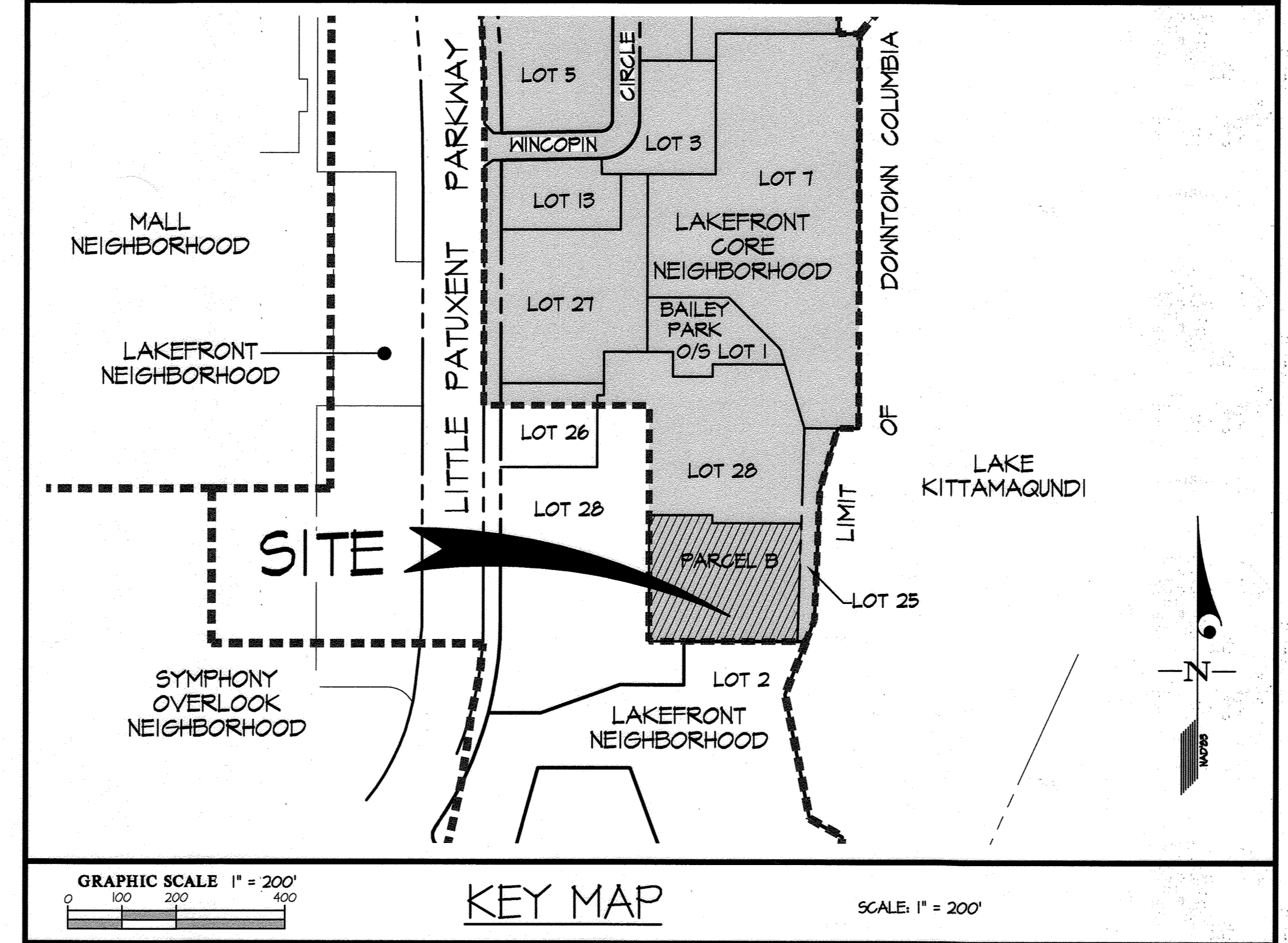
LOCATION: TAX MAP 36
 ZONING: PROPERTY IS ZONED NEW TOWN PER THE 2013 COMPREHENSIVE ZONING PLAN AND IS DESIGNATED AS DOWNTOWN MIXED USE AREA. ADDITIONALLY, THE PROJECT AREA IS SUBJECT TO THE DOWNTOWN COLUMBIA PLAN - A GENERAL PLAN AMENDMENT EFFECTIVE APRIL 6, 2010 AS AMENDED 11/4/2016

ELECTION DISTRICT: FIFTH ELECTION DISTRICT
 DOWNTOWN MIXED USE AREA
 AREA OF BUILDABLE LOTS: PARCEL B: 1.42 AC
 DPT REF. FILE NO.: FDP-DC-L-1, SDP-13-23, SDP-19-020, NP-22-018, ECP-22-005, F-22-024, SDP-19-031, F-23-014, F-23-015

7. TOPOGRAPHIC AERIAL SURVEY WAS PERFORMED ON APRIL, 2011 BY MCKENZIE SANDER AND SUPPLEMENTED BY TOPOGRAPHIC FIELD SURVEY IN JUNE, 2021 BY GUTSCHICK, LITTLE AND WEBER.
8. COORDINATES ARE BASED ON NAD 83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS: 36AA AND 306A.
9. THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS AND FIELD LOCATED MISS UTILITY MARKINGS BY GUTSCHICK LITTLE & WEBER, P.A. THE CONTRACTOR SHALL TEST FIT ALL TRAFFIC CONTROL DEVICES AT LEAST 5 DAYS PRIOR TO STARTING ANY WORK SHOWN ON THESE DRAWINGS AND NOTIFY THE ENGINEER OF ANY CONFLICTS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
10. SPOT ELEVATIONS SHOWN FOR CURB ARE BOTTOM OF CURB UNLESS OTHERWISE NOTED.
11. ALL PLAN DIMENSIONS ARE TO THE FACE OF BUILDING OR CURB UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS UNLESS NOTED OTHERWISE. CURB RADII ARE 5' UNLESS NOTED OTHERWISE.
12. THE CEMETERY INVENTORY MAP DOES NOT SHOW ANY CEMETERIES WITHIN THE PROJECT LIMITS.
13. THE SCENIC ROADS MAP DOES NOT INDICATE ANY SCENIC ROADS IN THE VICINITY.
14. THERE ARE NO DESIGNATED HISTORIC OR CULTURALLY SIGNIFICANT EXISTING SITES, BUILDINGS, OR STRUCTURES OR PUBLIC ART WITHIN THE SITE AREA. HOWEVER, THE ADJACENT WHOLE FOODS (FORMER ROUSE COMPANY HEADQUARTERS) IS DESIGNATED AS AN EXISTING SIGNATURE BUILDING. SEE THE ROUSE COMPANY HEADQUARTERS PRESERVATION GUIDELINES IN THE LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES.
15. THE GEO-TECHNICAL REPORT WAS PROVIDED BY EGS MID ATLANTIC, LLC DATED OCTOBER 8, 2021.
16. A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
17. THE REGULATED WATER RESOURCES VERIFICATION FOR THIS PROJECT WAS PREPARED BY DAFT-MCGUINE-WALKER, INC., DATED JULY 20, 2021 AND SUPPLEMENTED BY AN EMAIL FROM MDE DATED DECEMBER 14, 2021.
18. SOILS DATA WAS TAKEN FROM THE SOIL SURVEY OF HOWARD COUNTY, MARYLAND ISSUED MARCH, 2008.
19. THE TRANSPORTATION AND PARKING STUDY FOR THIS PROJECT WAS PREPARED BY KELLS AND ASSOCIATES, DATED APRIL 8, 2022, REVISED JUNE 4, 2022, AND WAS APPROVED WITH THIS SDP. OFFSITE IMPROVEMENTS AT LITTLE PATUXENT PARKWAY AND SYMPHONY WOODS ROAD WILL BE PROVIDED ON SDP-19-020. THE DOUBLE LEFT LANE CONFIGURATION AND STRIPING SHOWN IS AN INTERIM CONDITION THAT HAS BEEN DETERMINED TO BE ADEQUATE FOR THE SOUTH LAKE MOB (SDP-22-018) AND LAKEFRONT NORTH FDP (BUILDOUT (FDP-DC-L-1)). ANY FURTHER DEVELOPMENT IN THE LAKEFRONT CORE (FDP-DC-L-1) WILL REQUIRE THE INTERSECTION TO BE RE-EVALUATED. A FEE HAS ALSO BEEN COLLECTED WITH SDP-19-020. INTERIM IMPROVEMENTS THAT DIRECTS FUNDS TOWARDS THE ULTIMATE REALIGNMENT (BASED ON MEASURABLE HUNT STUDY) OF SYMPHONY WOODS ROAD AS DOWNTOWN COLUMBIA FURTHER DEVELOPS.
20. THE PARKING STUDY FOR THIS PROJECT WAS PREPARED BY KELLS AND ASSOCIATES, DATED APRIL 8, 2022, REVISED JUNE 4, 2022, AND WAS APPROVED WITH THIS SDP. SEE SHEET 3 FOR ADDITIONAL INFORMATION.
21. BOUNDARY INFORMATION IS FROM BOUNDARY SURVEYS BY GLX, DATED MARCH, 2017.
22. A FLOODPLAIN STUDY FOR THIS PROJECT WAS PREPARED BY GLX DATED DECEMBER, 2021, AND WAS APPROVED WITH THIS SDP.
23. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, OR PLACEMENT OF NEW STRUCTURES IS PERMITTED WITHIN LIMITS OF WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS, OR 100 YEAR FLOODPLAIN AREAS, UNLESS PERMITTED UNDER AN APPROVED MAJOR FLOOD CONTROL OR DETERMINED TO BE ESSENTIAL OR NECESSARY BY DPZ. THE ENVIRONMENTAL DISTURBANCES SHOWN ON THESE PLANS ARE COVERED BY NP-22-018 AND MDE PERMIT NO. AI #11435/202206045.
24. THE PROJECT IS WITHIN THE METROPOLITAN DISTRICT WATER AND SEWER SERVICE IS PUBLIC (CONTR. #24-3140-D).
25. THIS SITE, WHICH IS SUBJECT TO A DEVELOPMENT RIGHTS AND RESPONSIBILITIES AGREEMENT (L. 1994, F. 365), IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS OF SECTION 161202 OF THE HOWARD COUNTY CODE SECTION IN ACCORDANCE WITH THE SINGLE REVISED SECTION 1202 (B)(VI)(F) (FIND WITH A FDP APPROVED PRIOR TO 12/31/22) WHICH WAS IN PLACE AT THE TIME THE DEVELOPMENT RIGHTS AND RESPONSIBILITIES AGREEMENT WAS RECORDED IN FEBRUARY 2017.
26. ALL OUTDOOR LIGHTING SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS ON-SITE AWAY FROM ALL ADJOINING PUBLIC ROADS AND IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
27. TRASH COLLECTION FOR THE SITE WILL BE PRIVATE AND SHARED WITH THE ADJACENT ROUSE BUILDING.
28. THE LANDSCAPE PLAN WAS PREPARED ACCORDING TO THE ALTERNATIVE COMPLIANCE SECTION OF THE LANDSCAPE MANUAL. THE LANDSCAPE PLANS HAVE BEEN PREPARED BY A REGISTERED LANDSCAPE ARCHITECT AND IS CERTIFIED TO MEET THE DESIGN INTENT OF THE LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES. SURETY FOR THE REQUIRED LANDSCAPE, \$26,040 SHALL BE POSTED WITH THE DEVELOPER'S AGREEMENTS.
29. THE MINIMUM BUILDING SETBACKS RESTRICTIONS FROM PROPERTY LINES AND PUBLIC ROAD RIGHTS OF WAY ARE TO BE IN ACCORDANCE WITH FDP-DC-L-1 AND LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES.
30. THE PROPOSED BUILDINGS WILL HAVE AN AUTOMATIC FIRE SUPPRESSION SPRINKLER SYSTEM.
31. THIS PROPERTY IS SUBJECT TO THE LAKEFRONT CORE NEIGHBORHOOD SPECIFIC DESIGN GUIDELINES (NSDG), RECORDED IN L. 10340, F. 330. THE LAKEFRONT CORE NEIGHBORHOOD SPECIFIC IMPLEMENTATION PLAN (NIP), RECORDED IN L. 10340, F. 300. THE LAKEFRONT CORE NEIGHBORHOOD CONCEPT PLAN (NCP) RECORDED AS PLAT NOS. 24710-24711 AND THE LAKEFRONT CORE FINAL DEVELOPMENT PLAN (FDP-DC-L-1), RECORDED AS PLAT NOS. 26170 THRU 26176.
32. THE PROPOSED BUILDING FOR THIS PROJECT IS REGISTERED WITH THE GREEN BUILDING CERTIFICATION INSTITUTE FOR LEED CERTIFICATION, PROJECT ID: #1000145664.
33. AT THE TIME OF SDP APPROVAL, THE SITE IS UNDER PHASE 1 OF THE DOWNTOWN REVITALIZATION PHASING PROGRESSION.
34. EACH OWNER OF PROPERTY DEVELOPED WITH COMMERCIAL USES PURSUANT TO SECTION 125.0A.9 OF THE ZONING REGULATIONS SHALL PROVIDE AN ANNUAL PER SQUARE FOOT CHARGE IN AN AMOUNT OF \$0.25 PER SQUARE FOOT OF GROSS LEASABLE AREA FOR OFFICE AND RETAIL USES AND \$0.25 PER SQUARE FOOT OF NET FLOOR AREA FOR HOTELS TO THE DOWNTOWN COLUMBIA PARTNERSHIP ADJUSTED, CALCULATED AND PAYABLE IN ACCORDANCE WITH SECTION 28.15 OF THE COUNTY CODE (CEPPA, 25).
35. TO ADDRESS AFFORDABLE HOUSING, THE PROPERTY HAS BEEN INCLUDED IN A DEVELOPMENT RIGHTS AND RESPONSIBILITIES AGREEMENT BETWEEN THE COUNTY AND PETITIONER, RECORDED AMONG THE HOWARD COUNTY LAND RECORDS IN BOOK 11451 AT PAGE 265. ADDITIONALLY, EACH OWNER WITHIN THE FDP AREA WILL MAKE THE APPLICABLE ANNUAL PAYMENTS REQUIRED BY CEPPA 21, ADJUSTED, CALCULATED AND PAYABLE IN ACCORDANCE WITH SECTION 28.15 OF THE HOWARD COUNTY CODE.
36. IN ACCORDANCE WITH FDP-DC-L-1 THERE IS A 4 STORY BUILDING HEIGHT LIMIT (NOT TO EXCEED 120 FEET).
37. PRIOR TO SUBMITTING THIS SITE DEVELOPMENT PLAN, A PRE-SUBMISSION COMMUNITY MEETING WAS HELD ON AUGUST 31, 2021 AT SLAYTON HOUSE AT THE WILDE LAKE COMMUNITY ASSOCIATION. NOTICE OF THE MEETING WAS PROVIDED IN ACCORDANCE WITH SECTION 16120 OF THE ZONING REGULATIONS.
38. PRIOR TO SUBMITTING THIS SITE DEVELOPMENT PLAN, A SUBMISSION TO THE HOWARD COUNTY DESIGN ADVISORY PANEL WAS MADE IN ACCORDANCE WITH SECTION 125.11b. THE DESIGN ADVISORY PANEL CONSIDERED THE APPLICATION AT ITS MEETINGS ON SEPTEMBER 22, 2021 AND NOVEMBER 10, 2021. AFTER THE NOVEMBER 10, 2021 MEETING, THE DAP ADOPTED ONE RECOMMENDATION TO THE PLANNING BOARD FOR THE PROJECT AS NOTED IN THE MINUTES.
39. ART FOR THIS PROJECT WILL BE PROVIDED EQUIVALENT IN VALUE TO 1% OF THE CONSTRUCTION COST OF THE BUILDING, EXCLUDING THE GARAGE, OR A FEE IN LIEU WILL BE PAID AS PROVIDED IN SECTION 125.A.5.F(2). POTENTIAL LOCATIONS ARE SHOWN ON SHEET 32.
40. PER SECTION 125.04.H OF THE ZONING REGULATIONS, MINOR ADJUSTMENTS TO THE PESTERIAN, BICYCLE, TRANSIT CIRCULATION, ROAD NETWORK, BLOCK CONFIGURATION AND DOWNTOWN COMMUNITY COMMONS MAY BE APPROVED AS A PART OF THE SITE DEVELOPMENT PLAN.
41. THE PLANNING BOARD HAS APPROVED APPROXIMATELY 240,000 SQUARE FEET AND ISSUED BUILDING PERMITS FOR ABOUT 280,000 SQUARE FEET OF NET NEW DEVELOPMENT DOWNTOWN. FINAL SQUARE FOOTAGES WILL BE MAINTAINED IN THE DOWNTOWN COLUMBIA DATABASE MAINTAINED BY THE COUNTY.
42. THIS SITE QUALIFIES FOR REDEVELOPMENT UNDER MDE CRITERIA. HOWEVER AS PART OF AN AGREEMENT WITH DPZ, THIS SITE WILL REQUIRE SWM IN EXCESS OF THE MINIMUM MDE REQUIREMENTS. SEE NOTE 46 FOR ADDITIONAL INFORMATION. TO FULFILL THE STORMWATER MANAGEMENT REQUIREMENTS A STORMWATER STORAGE CHAMBER AND UNDERGROUND STORMWATER (F-2) WILL BE USED. ALL STORMWATER DEVICES WILL BE PRIVATELY OWNED AND MAINTAINED. THERE ARE NO MAJOR STORMWATER MANAGEMENT FACILITIES WITHIN THE PLAN AREA OR ADJOINING LAND.
43. THIS SITE IS A REDEVELOPMENT OF AN EXISTING PARKING LOT. ALL STEEP SLOPES IN THE VICINITY OF THE LOD ARE MAN-MADE.
44. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL, PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
45. EXISTING DRY UTILITY INFORMATION TAKEN FROM SUBSURFACE UTILITY DESIGNATING WORKSHEET BY ACCURATE INFRASTRUCTURE DATA, INC DATED JUNE 1, 2017 SEE SHEET 2 FOR ADDITIONAL NOTES

SITE DEVELOPMENT PLAN DOWNTOWN COLUMBIA LAKEFRONT CORE NEIGHBORHOOD PHASE 1

PARCEL B - MEDICAL OFFICE BUILDING



CUMULATIVE DOWNTOWN COMMUNITY COMMONS TRACKING CHART

LAKEFRONT CORE NEIGHBORHOOD (FDP-DC-L-1)
 5% Downtown Community Commons (DCC) Requirement: 24,022 SF

SDP No.	Parcel	DCC Area (to be) Provided (SF)	NOTES
SDP 19-031	O/S LOT 1	26,255	SEE NOTE 1.
SDP 22-019	PARCEL B	0	SUBJECT PROPERTY
FUTURE SDP	PARCEL E/F	35,195 (min)	SEE NOTES 2 & 3
CUMULATIVE TOTALS (SF)		62,050 SF	
ANTICIPATED SURPLUS (SF)		38,028 SF	

DOWNTOWN COMMUNITY COMMONS NOTES:

1. THE LAKEFRONT CORE NEIGHBORHOOD SQUARE IS LOCATED ON OPEN SPACE LOT 1 (SDP-19-031). A DOWNTOWN NEIGHBORHOOD SQUARE MUST CONTAIN AT LEAST 25,000 SF PER SECTION 103 & SECTION 125.0A.9(a)(4)(a). THIS NEIGHBORHOOD SQUARE HAS BEEN DEEDED TO HOWARD COUNTY TO SATISFY CEPPA #22.
2. THE LAKEFRONT CONNECTION, A PRIMARY AMENITY SPACE, IS PARTIALLY LOCATED WITHIN THE LAKEFRONT CORE NEIGHBORHOOD. THE 68,600 SF REQUIRED IN THE DOWNTOWN COLUMBIA PLAN FOR THE LAKEFRONT CONNECTION IS PROPORTIONED BETWEEN THE LAKEFRONT CORE AND LAKEFRONT NEIGHBORHOODS. SEE EXHIBIT 6 IN THE DOWNTOWN COLUMBIA PLAN. 30,442 SF IS THE MINIMUM AREA THAT IS REQUIRED FOR THE PERCENTAGE OF THE LAKEFRONT CONNECTION WITHIN THE LIMITS OF FDP-DC-L-1. 35,195 SF OF THE 30,442 SF HAS BEEN DESIGNATED AS NET NEW DOWNTOWN COMMUNITY COMMONS AS SHOWN ON FDP-DC-L-1. SEE NEIGHBORHOOD DESIGN GUIDELINES FOR MORE INFORMATION AND SEE TIMING NOTE BELOW.
3. PER SECTION 125.0A.9(a)(4)(f) AND IN ACCORDANCE WITH ALTERNATIVE CEPPA TIMING APPROVED 6/21/19, NET DOWNTOWN COMMUNITY COMMONS SHOWN WITHIN THE LIMITS OF FDP-DC-L-1 WILL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING PHASING PLAN:

- A. THE DOWNTOWN NEIGHBORHOOD SQUARE (OPEN SPACE LOT 1) MUST BE COMPLETED AND DEEDED TO HOWARD COUNTY PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THE 2,600,000TH NET NEW SQUARE FOOT OF DEVELOPMENT. (SATISFIED, L114135 F.54)
- B. THE LAKEFRONT CONNECTION WILL BE CONSTRUCTED AFTER THE AMERICAN CITY BUILDING IS DEMOLISHED AND MUST BE COMPLETED (LANDSCAPE PLANTING SUBJECT TO WEATHER CONDITIONS) PRIOR TO OCCUPANCY OF MORE THAN 50% OF THE DEVELOPMENT TO BE LOCATED ON PARCEL E.

1. GENERAL SITE DATA
 - A. TOTAL SITE AREA (PARCEL B): 1.42 AC.
 - B. LIMIT OF DISTURBED AREA: 2.6 AC.
 - C. PRESENT ZONING: NT-DMA (FDP DC-L-1)
 - D. PROPOSED USE OF SITE: MEDICAL OFFICE, PARKING GARAGE
 - E. FLOOR SPACE:

LEVEL	GROSS AREA (SF)
1	16,164
2	23,094
3	23,094
4	23,094
TOTAL	85,450
2. PARCEL B DEVELOPMENT DATA
 - A. MEDICAL OFFICE
 1. PROPOSED AREA: 85,131 square feet
 - B. PARKING REQUIREMENTS:
 1. THE LAKEFRONT CORE NEIGHBORHOOD REQUIRES 485 PARKING SPACES. SEE SHEET 3 FOR ADDITIONAL INFORMATION
 - C. PARKING PROVIDED:
 1. THE LAKEFRONT CORE NEIGHBORHOOD HAS 1,064 PARKING SPACES. SEE SHEET 3 FOR ADDITIONAL INFORMATION

PARCEL	Uses ¹												Residential (DU)							
	Existing			Demolition			Proposed			NET NEW ²			Ultimate		Existing	Proposed	Net			
Parcel	Area (SF)	Area (Acres)	Retail/Rest	Office	Other	Total	Retail/Rest	Office	Other	Total	Retail/Rest	Office	Other	Total	Retail/Rest	Office	Other	Total		
B	61,953	1.42	0	0	0	0	0	0	0	0	85,731	0	0	0	0	85,731	0	0	0	
Lakefront Core Total This SDP	61,953	1.42	0	0	0	0	0	0	0	0	85,731	0	0	0	0	85,731	0	85,731	0	0

(1) THE NON-RESIDENTIAL AND RESIDENTIAL GROSS FLOOR AREA, THE NUMBER OF RESIDENTIAL UNITS AND/OR THE LAND USE APPROVED FOR AN INDIVIDUAL PARCEL MAY BE REALLOCATED AMONG OTHER PARCELS WITHIN THE FDP AREA AND/OR EXCEEDED ON A SUBSEQUENT SITE DEVELOPMENT PLAN WITHOUT AMENDING THE FDP, PROVIDED THE TOTAL NON-RESIDENTIAL AND RESIDENTIAL GROSS FLOOR AREA AND THE TOTAL NUMBER OF RESIDENTIAL UNITS APPROVED FOR ALL PARCELS WITHIN THE FDP AREA IS NOT EXCEEDED.

(2) NET NEW AREA TO BE USED TO CALCULATE DOWNTOWN REVITALIZATION SQUARE FOOTAGE FOR PHASING AND CEPPA'S

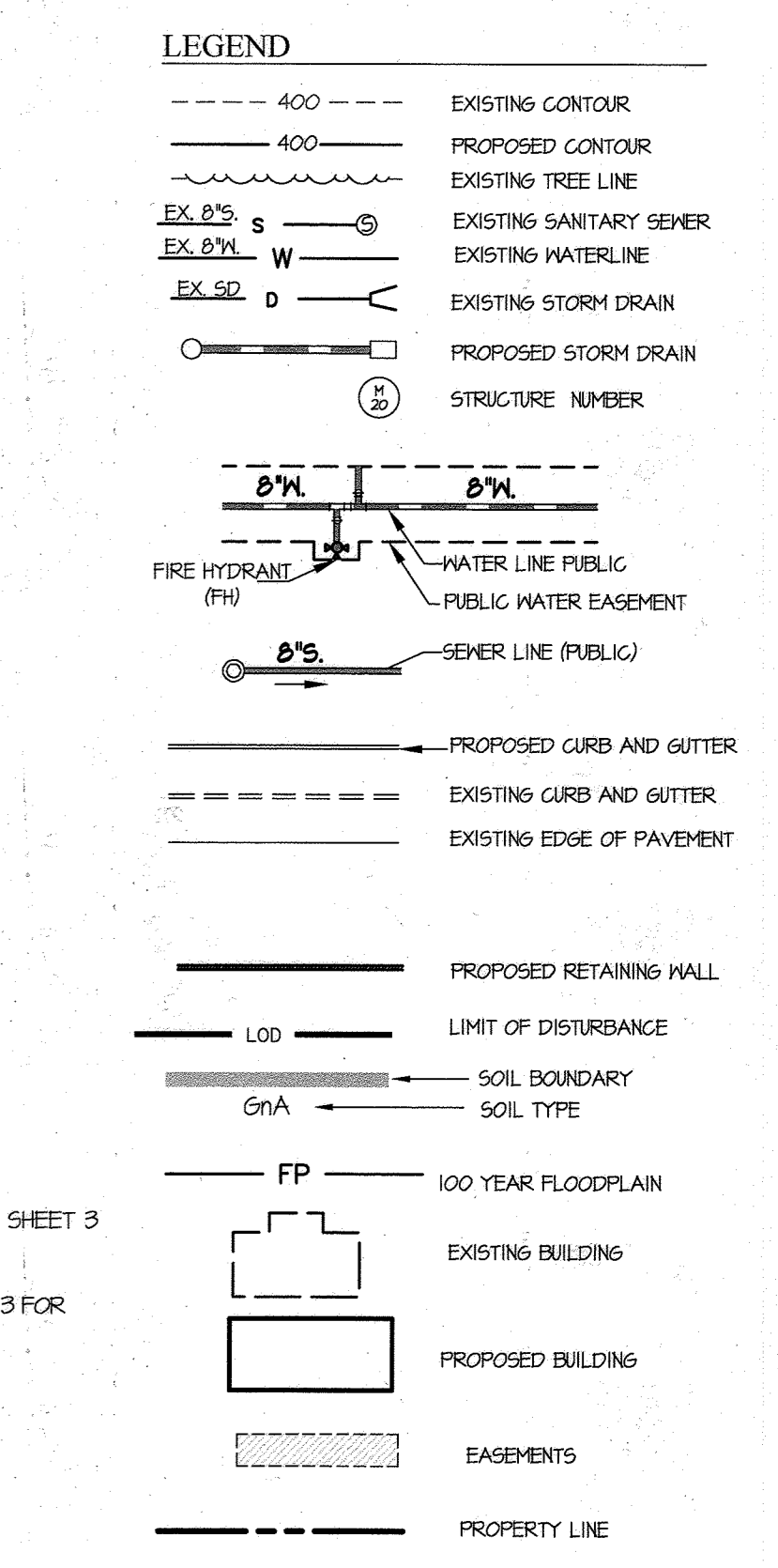
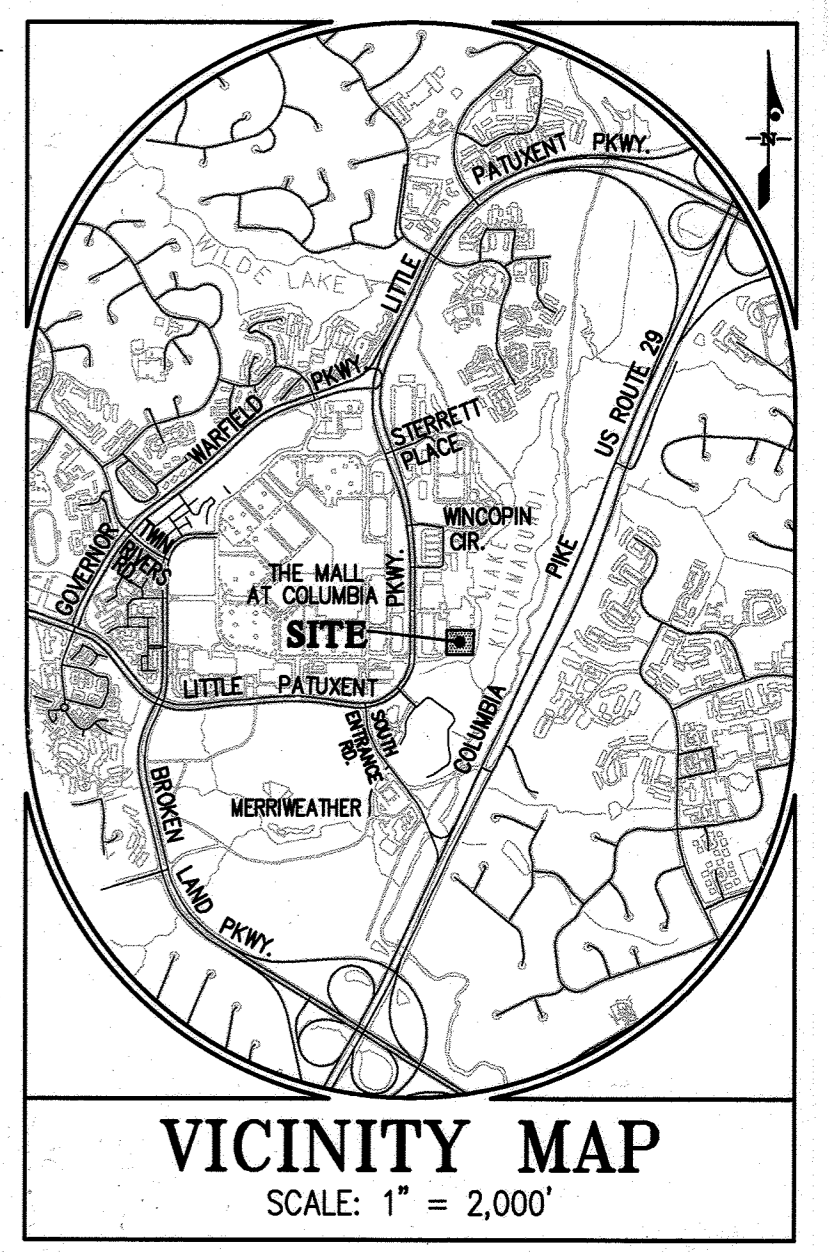
(3) THE AMERICAN CITY BUILDING, LOCATED ON LOT 13 (FUTURE PARCELS E & F) WAS DEMOLISHED IN MAY, 2014 PER COMMERCIAL DEMOLITION PERMIT #B9001935. THIS PROVIDED AN OFFICE DEMOLITION CREDIT OF 117,040 SF PER FDP-DC-L-1. THE OFFICE BUILDING ON PARCEL B WILL USE 85,131 SF OF THIS CREDIT, LEAVING 31,909 SF OF OFFICE DEMOLITION CREDIT FROM THIS BUILDING AVAILABLE FOR FUTURE SITE DEVELOPMENT PLANS WITHIN THE LIMITS OF THE FDP-DC-L-1 BOUNDARY.

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51. MAINTENANCE OF TRAFFIC PLAN
52. SEDIMENT CONTROL DETAILS

*Redline Purpose Note (Aug. 2023):
The purpose of this redline is to relocate retaining wall #1 to eliminate the cantilever sidewalk.*

53. Retaining Wall Details
 54. Retaining Wall Details



STORMWATER MANAGEMENT INFORMATION CHART

LOT/PARCEL	FACILITY NAME/NO.	PRACTICE TYPE (QUANTITY)	PUBLIC/PRIVATE	MISC.
PARCEL B	STORMCEPTOR (M-10B)	SC (1)	PRIVATE	
PARCEL B	STORM FILTER (M-107)	F-2 (1)	PRIVATE	

ADDRESS CHART

BUILDING	ADDRESS
	10285 LITTLE PATUXENT PARKWAY

PERMIT INFORMATION CHART

SUBDIVISION NAME:		SECTION/AREA	PARCEL			
DOWNTOWN COLUMBIA		N/A	PARCEL B			
LAKEFRONT CORE NEIGHBORHOOD - PHASE I						
PLAT No.	PARCEL	ZONE	TAX MAP	BLOCK	ELEC. DIST.	CENSUS TRACT
26221	321	NT	36		5	6054.02
WATER CODE: NA		SEWER CODE: NA				

APPROVED PLANNING BOARD OF HOWARD COUNTY

Date: JULY 7, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 12/28/2022

Director: *Any Goman* Date: 12/22/2022

Chief, Division of Land Development: *Michael J. Davis* Date: 12/27/2022

Chief, Development Engineering Division: *Michael J. Davis* Date: 12/28/2022

DESIGNED BY: *dds*

DRAWN BY: *dds*

CHECKED BY: *WJG*

DATE: 8/20/23

REVISION: Sheet Index Revised

BY: *WJG*

APPR: *WJG*

PREPARED FOR:

OWNER: LFC MOB, LLC
 C/O THE HOWARD HUGHES CORP.
 1090 GRANTCHESTER WAY, SUITE 110
 COLUMBIA, MD 21044

DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.
 1090 GRANTCHESTER WAY, SUITE 110
 COLUMBIA, MD 21044
 ATTN: GABRIEL CHENG
 410-964-4800

PROFESSIONAL CERTIFICATION

HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875

EXPIRATION DATE: MAY 26, 2024

12/16/22

COVER SHEET

SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA
LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B
 A REVISION OF SECTION 1, PARCEL B (PLAT No. 26140)

ELECTION DISTRICT No. 5

FN: 26221 - 26228

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	18046
DATE	TAX MAP - GRID	SHEET
DEC., 2022	36 - 2	1 OF 54

46. ON OCTOBER 24, 2021 AND PURSUANT TO SECTION 16.104, THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND ZONING, UPON THE ADVICE OF THE DEPARTMENT OF PUBLIC WORKS, DEPARTMENT OF RECREATION AND PARKS, DEPARTMENT OF LICENSES AND PERMITS, AND THE SOIL CONSERVATION DISTRICT, APPROVED WP-22-010, THE REQUEST FOR ALTERNATIVE COMPLIANCE WITH RESPECT TO SECTION 16.104(C)(2) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO PERMIT GRADING, CONSTRUCT A BUILDING AND RELOCATE UTILITIES IN THE FLOODPLAIN. APPROVAL OF THIS ALTERNATIVE COMPLIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:
1. SUBMIT A FLOODPLAIN STUDY USING THE CURRENT FEMA 100-YEAR FLOW RATE AND ANALYZE ANY CHANGES TO THE WATER SURFACE ELEVATION OR FLOW RATES USING THE ULTIMATE DEVELOPMENT OF THIS PARCEL. THE STUDY WILL BE REVIEWED BY DPZ AND VERIFIED WITH DPW, STORMWATER DIVISION. THE EXPECTATION IS THAT NO STORAGE VOLUME WILL BE LOST WITHIN THE LIMITS OF THE FLOODPLAIN.
 2. STORMWATER MANAGEMENT SHOULD BE PROVIDED FOR THE LIMIT OF DISTURBANCE USING EGD PRACTICES ASSUMING GREENFIELD CONDITIONS. ALL OPTIONS AND METHODS FOR PROVIDING MANAGEMENT FOR THE FIRST INCH OF RUNOFF ARE AVAILABLE INCLUDING REDEVELOPMENT PRACTICES. PROVIDING MANAGEMENT OF OFFSITE IMPERVIOUS AREA AT A 1:1 RATIO MAY ALSO BE CONSIDERED.
 3. ALTHOUGH WASTE MANAGEMENT AREAS CANNOT BE INTENTIONALLY DIRECTED TO STORMWATER MANAGEMENT DEVICES, THE EXISTING STORM DRAIN AT THE WHOLE FOODS LOADING DOCK AREA APPEARS TO BE AN OPPORTUNITY TO TREAT CURRENT RUNOFF THAT IS DISCHARGING TO THE LAKE AND TREAT IT FOR WATER QUALITY. THIS COULD BE DONE WITH A FILTER PRACTICE OR BIORETENTION TYPE FACILITY. PLEASE INVESTIGATE AS PART OF THE SITE DESIGN.
 4. PLEASE REVIEW AND ADDRESS THE COMMENTS PROVIDED BY THE DEVELOPMENT ENGINEERING DIVISION WITH THE SDP SUBMISSION.
 5. PROVIDE A REVISED EXHIBIT TO MODIFY THE SITE DESIGN TO INCLUDE ADDING FILL ALONG THE SOUTHERN BOUNDARY IN ORDER TO RAISE THE ELEVATION TO TIE INTO THE EXISTING SEWER OFF-SITE WHICH WILL REDUCE THE LENGTH OF A SEWER PIPE REQUIRED IN THE FORESTED AREA SOUTH OF THE SITE CURRENTLY SHOWN ON EXHIBIT D. CONSULT WITH DED AND DPW IF THE ADDITIONAL FILL HAS ANY IMPACTS ON THE FLOODPLAIN CALCULATIONS.
 6. THE FLOODPLAIN DISTURBANCE APPROVED IS LIMITED TO THE ULTIMATE AREA OF FLOODPLAIN ON PARCEL B AND THE MINIMUM AREA REQUIRED SOUTH OF THE SITE TO TIE THE RELOCATED SEWER LINE TO THE EXISTING SEWER OFFSITE.
41. THE SCHEMATIC BUILDING ELEVATIONS INDICATE BUILDING HEIGHT, MASSING AND ARCHITECTURAL INTENT AND MAY CHANGE WITH FURTHER DESIGN DEVELOPMENT. FINAL ARCHITECTURAL DESIGN SHALL BE SHOWN ON THE CONSTRUCTION DOCUMENTS AND WILL BE REVIEWED FOR COMPLIANCE WITH THE NEIGHBORHOOD SPECIFIC DESIGN GUIDELINES AT THE TIME OF BUILDING PERMIT.
40. THIS PLAN PROPOSES OFF-SITE DISTURBANCE ON THREE LOTS, LOT 2, LOT 25 AND LOT 14. LOT 2, SECTION I AREA 3 IS OWNED BY THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION. LOTS 14 AND 25 ARE OWNED BY THE COLUMBIA ASSOCIATION. A LETTER OF PERMISSION HAS BEEN PROVIDED FROM ALL AFFECTED OWNERS.
44. KNOX BOXES SHALL BE LOCATED WITHIN 6' TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-5' IN HEIGHT. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
50. FIRE DEPARTMENT CONNECTION(S) FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED: (A) ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS OR AS OTHERWISE SHOWN ON THE APPROVED PLAN; (B) WITHIN 100 FT. OF A FIRE HYDRANT; (I) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8' AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION; (II) A FREE-STANDING FIRE DEPARTMENT CONNECTION SHALL HAVE THE SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH; (IV) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH A RED REFLECTIVE BORDER, RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A 3/8" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOT LESS THAN 3". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" BY 10"; (V) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDG IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (15 FEET ON ALL SIDES) SHALL BE MAINTAINED.
51. ON DECEMBER 22, 2021 DPW-22-010, A WAIVER TO HOWARD COUNTY DESIGN MANUAL VOLUME II - WATER AND SEWER WAS APPROVED. THE WAIVER APPROVAL WAS SPLIT INTO FOUR SECTIONS.
1. A WAIVER TO SECTION 3.3.B.2.2.2, MAXIMUM UNLOADED WATER MAIN FOR COMMERCIAL AREAS WITH FIRE PROTECTION BE 300 FEET WAS APPROVED PROVIDED THAT WATERLINE 'B' IS EXTENDED UP TO THE MOORE GARLE PROPERTY LINE AT LITTLE PATIENT PARKWAY TO ALLOW FOR FUTURE REDUNDANT LOOPING OF THE MAINS.
 2. A WAIVER TO SECTION 5.4.B.5, WHICH REQUIRES 10-FOOT HORIZONTAL CLEARANCE BETWEEN THE WATER EASEMENT AND PERMANENT STRUCTURES WAS APPROVED FOR WATERLINE B (STA 2+71 - 2+60) PROVIDED THAT (1) EXISTING UTILITIES THAT ARE WITHIN THE LIMITS OF THE PUBLIC EASEMENT ARE RELOCATED AND (2) NO NEW OR ADDITIONAL UTILITIES ARE INSTALLED PARALLEL TO THE WATER MAIN. CROSSINGS ARE PERMITTED AND SHALL BE SHOWN ON THE WATER AS SEWER CONTRACT DRAWINGS. THIS APPLIES TO WALLS T 4 2 LABELED ON SHEET 2.
 3. A WAIVER WAS APPROVED TO ALLOW PRIVATE STORM DRAIN TO ENCROACH INTO THE PUBLIC WATER EASEMENT FOR THE 24" STORM DRAIN FROM THE UPPER PARKING LOT.
 4. A WAIVER WAS APPROVED TO SECTION 11.E.2 WHICH REQUIRES 18" VERTICAL CLEARANCE PER MDE DESIGN GUIDELINES FOR DRINKING WATER FACILITIES. MINIMUM REQUIREMENTS, AND THE 10-FEET RECOMMENDED STANDARDS FOR WATER WORKS SECTION 8.8 FOR THE FIRE HYDRANT 1" PIPE. THIS WAIVER REQUEST IS APPROVED PROVIDED THAT (1) A MINIMUM OF 6-INCH CLEARANCE IS PROVIDED ABOVE THE ELLIPTICAL STORM PIPE, (2) ALL JOINTS BETWEEN THE FIRE HYDRANT AND THE WATER MAIN ARE RESTRAINED, AND (3) APPROVED PLANS SHALL INCLUDE A NOTE THAT THE CONTRACTOR SHALL MINIMIZE THE NUMBER OF JOINTS NEEDED BY USING FULL LENGTHS OF PIPE TO THE MAXIMUM EXTENT POSSIBLE.
52. ON MAY 6, 2022 A WAIVER TO HOWARD COUNTY DESIGN MANUAL VOLUME 3, SECTION 2.6.G AND APPENDIX 6 WAS APPROVED TO REDUCE THE WIDTH OF A PORTION OF THE PARKING SPACES TO PROVIDE LESS THAN THE 9' REQUIREMENT. THE SPACES LESS THAN 9' ARE TO BE MARKED AS COMPACT.

APPROVED
PLANNING BOARD OF HOWARD COUNTY


Date: JULY 7, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: Angy Goman 12/28/2022

Chief, Division of Land Development: [Signature] 12/22/2022

Chief, Development Engineering Division: [Signature] 12/27/2022



3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-988-2524 | FAX: 301-421-4186

DESIGNED BY:	DATE	REVISION	BY	APP'R.
dds				
DRAWN BY:				
dds				
CHECKED BY:				

PREPARED FOR:

OWNER: SFC MOB1, LLC
C/O THE HOWARD HUGHES CORP.
10960 GRANTCHESTER WAY, SUITE 110
COLUMBIA, MD 21044

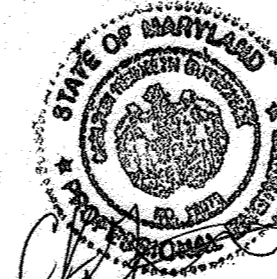
DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.
10960 GRANTCHESTER WAY, SUITE 110
COLUMBIA, MD 21044
ATTN: GABRIEL CHUNG
410-864-4800

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975

EXPIRATION DATE: MAY 26, 2024

12/12/22



Community Enhancements, Programs and Public Amenities (CEPPA's) Tracking Chart

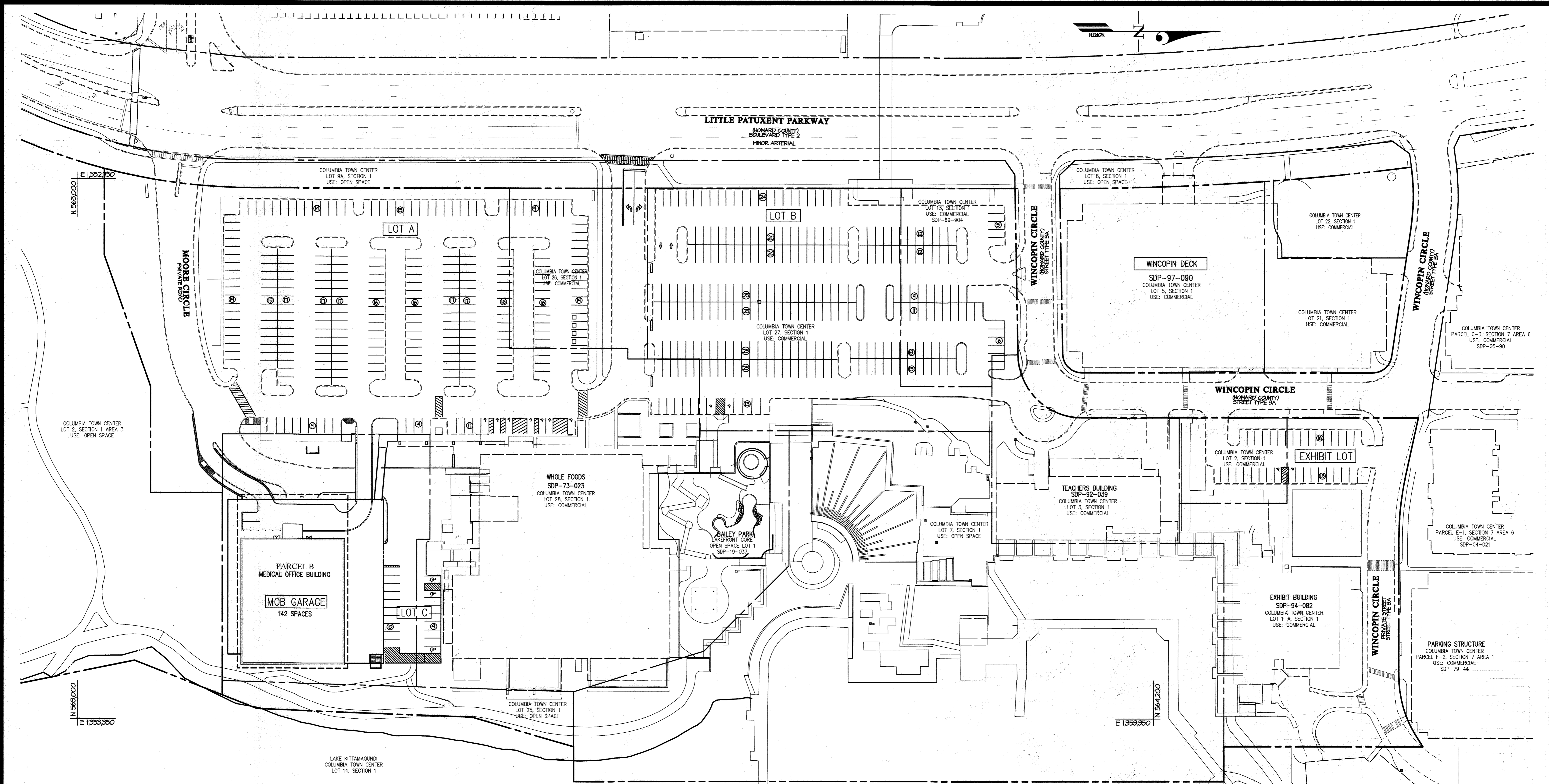
Downtown Columbia Plan	CEPPA	Trigger	Notes
1	Environmental Assessment	Prior to Submission of First FDP	Satisfied
2	Environmental Sustainability Program	Prior to Submission of First FDP	Satisfied
3	Rte. 29 Interchange Study	Prior to Submission of First FDP	Satisfied
4	Downtown Wide Design Guidelines	Prior to Approval of First FDP	Satisfied
5	Transportation Feasibility Study	Prior to Approval of First FDP	Satisfied
6	Downtown Columbia Partnership	Prior to Approval of First FDP	Satisfied
7	Environmental Restoration Phasing/Initial SDP	Prior to Approval of First FDP	Satisfied
8	Downtown Arts and Culture Commission (DCACC)	Prior to Approval of First FDP	Satisfied
9	Fire Station	Prior to the Issuance of the First Building Permit	Satisfied
10	\$1.5 million Housing Fund Payment	Upon Issuance of the First Building Permit	Satisfied
11	\$1.5 million Housing Fund Payment	Upon Issuance of the First Building Permit for the 400th Residential Unit	Satisfied
12	Downtown Pedestrian Pathways	Prior to Issuance of a Building Permit for the 500,000th SF of Development (Pathway SDP Only)	Satisfied, per Alternative Compliance
13	Rouse Building Covenants	Prior to Issuance of a Building Permit for the 500,000th SF of Development	Satisfied
14	Transit Center	Prior to Issuance of a Building Permit for the 1,300,000th SF of Development	Pending; Alternative Timing to 3,200,000 SF Approved November 17, 2017
15	Environmental Restoration	Prior to Issuance of a Building Permit for the 1,300,000th SF of Development	Satisfied
16	Phase 1 Merriweather Improvements	Prior to Issuance of a Building Permit for the 1,300,000th SF of Development	Satisfied
17	School Site or Equivalent	Upon Issuance of the of a Building Permit for the 1,375th Residential Unit	Satisfied
18	Wildie Lake Pathway	Prior to Issuance of a Building Permit for the 3,900,000th SF of Development.	Satisfied
19	Lakefront Terrace	Prior to Issuance of a Building Permit for the 2,600,000th SF of Development.	Pending - Alternative timing to 3.9 MSF approved June 21, 2018
20	Phase 2 Merriweather Improvements	Prior to Issuance of a Building Permit for the 2,600,000th SF of Development.	See Alternative Compliance approved November 4, 2016
21	Phase 3 Merriweather Improvements	Prior to Issuance of a Building Permit for the 3,900,000th SF of Development.	See Alternative Compliance approved November 4, 2016
22	Downtown Neighborhood Square to County	Prior to Issuance of a Building Permit for the 2,600,000th SF of Development.	Satisfied
23	\$1million funding for Downtown Shuttle	Prior to Issuance of a Building Permit for the 5,000,000th SF of Development.	Pending
24	Transfer of Merriweather to DCACC	Prior to Issuance of a Building Permit for the 5,000,000th SF of Development.	Satisfied
25	*Downtown Columbia Partnership Funding (ongoing)	Prior to each FDP.	On-going
26	Removed	n/a	Removed by passage of C 52-2016
27**	Housing Fund Payments (ongoing)	Additional CEPPA Contribution	On-going

ADDITIONAL NOTES AND CHARTS

SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA
LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B
A REVISION OF SECTION I, PARCEL B (PLAT No. 26140)

ELECTION DISTRICT No. 5 PN: 26227 - 26228 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	18046
DATE	TAX MAP - GRID	SHEET
DEC., 2022	36 - 2	2 OF 54



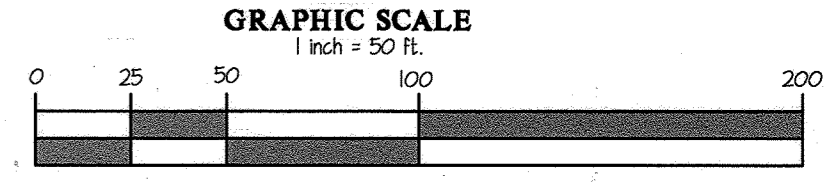
PARKING SUPPLY TABLE				
LOT NAME	DPZ FILE NUMBER	STANDARD SPACES	ADA SPACES	TOTAL SPACES
LOT A	SDP-73-023	251	3 STD 4 VAN	264
LOT B ²	SDP-64-404 SDP-19-023	252	0 STD 2 VAN	254
LOT C	SDP-22-014	16	0 STD 3 VAN	19
EXHIBIT LOT	SDP-44-082	32	0 STD 2 VAN	34
MOB GARAGE	SDP-22-014	128	8 STD 6 VAN	142
WINCOPIN DECK	SDP-41-090	341	4 STD 4 VAN	355
CART CORRALS ³	-----	-4	---	-4
TOTALS	-----	1020	15 STD 21 VAN	1064

NOTES:

- PROPERTY WITHIN THE AREA OF THIS SITE DEVELOPMENT PLAN FOR PARCEL B, AND THE ADJACENT LOTS 1-A, 2, 3, 5, 8, 21, 22, 26, 27, 4, 28 ARE NOW SUBJECT TO THE TERMS OF A REGISTRATION EASEMENT AGREEMENT DATED AUGUST 11, 2022 RECORDED AMONG THE HOWARD COUNTY LAND RECORD IN LIBER 2170, FOLIO 102 (REA) WHICH AMONG OTHER THINGS, CREATES REGISTRATION RIGHTS AND OBLIGATIONS OF THE PROPERTY OWNERS AS TO ACCESS, PARKING, UTILITIES, STORM WATER MANAGEMENT, AMENITIES AND LANDSCAPING, AND SETS FORTH THE PRIVATE MAINTENANCE RESPONSIBILITIES FOR ALL PRIVATELY OWNED COMMON AREA AND/OR QUASI-PUBLIC AMENITIES (SUCH AS PRIVATE ROADWAYS, PRIVATE SIDEWALKS, AND DOWNTOWN COMMONS) AND PUBLIC ART TO BE MAINTAINED BY THE PROPERTY OWNERS, SUBJECT TO SUCH RESPONSIBILITIES BEING SHARED AMONG THE PROPERTY OWNERS OR ASSIGNED BY A MAINTENANCE ORGANIZATION, THE COUNTY OR OTHER ORGANIZATION. PROPERTY OWNER ACKNOWLEDGES AND CONFIRMS THAT ANY REFERENCE IN THE REA TO AN OWNER'S RIGHT TO DEDICATE ALL OR A PORTION OF AN EASEMENT AREA OR MAINTENANCE OF ANY OFF-SITE AREA TO THE COUNTY IS SUBJECT TO THE COUNTY'S AFFIRMATIVE ACCEPTANCE OF ANY SUCH OBLIGATION WHICH IT MAY GRANT OR DENY, IN ITS OWN DETERMINATION, IN ACCORDANCE WITH THE COUNTY'S PROCEDURES REGARDING SAME.
- LOT B HAS 200 EXISTING PARKING SPACES. A REDLINE TO SDP-64-404 TO EXPAND THE PARKING LOT WAS APPROVED BY A SPEED MEMO DATED APRIL 28, 2022.
- FOUR PARKING SPACES HAVE BEEN REMOVED FROM THE PARKING SUPPLY FOR USE AS CART CORRALS. EXACT LOCATION OF CART CORRALS TO BE DETERMINED BY TENANT.
- THIS PLAN IS FOR PARKING INFORMATION ONLY. SEE NOTE 1 ABOVE FOR PRIVATE PARKING AGREEMENTS AND SEE SHEET 1 FOR LIMITS OF THIS SITE PLAN.
- THIS PLAN COMPLIES WITH SECTION 183.0.B.4.E OF THE ZONING REGULATIONS. THE PARKING FACILITY IS SUBJECT TO RECORDED COVENANTS OR EASEMENTS FOR PARKING, OR OTHER PROOF IS PROVIDED THAT THE CONTINUED USE OF THE PARKING AREA IS GUARANTEED THROUGHOUT THE LIFE OF THE LAND USE BY THE REGISTRATION EASEMENT AGREEMENT DISCUSSED IN NOTE 1 ABOVE.
- AT THE TIME OF THIS SDP APPROVAL, THE OVERALL PARKING REQUIREMENT FOR THE HOWARD RESEARCH AND DEVELOPMENT PROPERTIES THAT HAVE GONE THROUGH THE DOWNTOWN REVITALIZATION PROCESS PER SECTION 125.0.A.4 OF THE ZONING REGULATIONS IS 5,893 SPACES. A TOTAL OF 5,334 GARAGE SPACES IN DOWNTOWN COLUMBIA ARE PROVIDED ON THESE SDPS. GARAGE PARKING PROVIDES 41.4% OF THE OVERALL PARKING REQUIREMENT IN CONFORMANCE WITH 183.0.B.5 OF THE ZONING REGULATIONS. THE SITE DEVELOPMENT PLANS INCLUDED IN THIS ANALYSIS ARE SDP-18-001, SDP-14-024, SDP-15-008, SDP-11-021, SDP-11-042, SDP-10-008, AND SDP-22-014.
- A PARKING STUDY PER SECTION 183.0.B.3 OF THE ZONING REGULATIONS WAS PREPARED BY NIELLS AND ASSOCIATES, DATED APRIL 8, 2022, REVISED JUNE 9, 2022 AND WAS APPROVED BY THE DEPARTMENT OF PLANNING AND ZONING WITH THIS PLAN.

PARKING REQUIREMENTS

A PARKING STUDY FOR THIS PROJECT WAS PREPARED BY NIELLS AND ASSOCIATES, DATED APRIL 8, 2022, REVISED JUNE 9, 2022. THE RESULTS OF THE SHARED PARKING ANALYSIS FOR THE LAKEFRONT CORE DISTRICT THAT ACCOUNT FOR THE PROPOSED SOUTHLAKE OFFICE BUILDING INDICATE THAT A MAXIMUM OF 185 PARKING SPACES IS REQUIRED TO SERVE THE AREA ON A WEEKDAY AT MID-AFTERNOON (2:00 PM) DURING THE PEAK HOLIDAY SHOPPING SEASON IN DECEMBER. BASED ON A PARKING SUPPLY OF 1070 SPACES, A SURPLUS OF APPROXIMATELY 85 SPACES (OR APPROXIMATELY EIGHT (8) PERCENT) WOULD EXIST. THE PEAK PARKING REQUIREMENT ON A WEEKEND IS EXPECTED TO OCCUR IN DECEMBER AT 11:00 AM, WHEN A TOTAL OF 160 SPACES WOULD BE REQUIRED TO ADEQUATELY SERVE THE SITE. THIS A SURPLUS OF 302 SPACES (OR 28 PERCENT) WOULD EXIST. THESE RESULTS INDICATE THAT THE PROPOSED PARKING SUPPLY FOR THE LAKEFRONT OFFICE BUILDING WOULD BE ADEQUATELY ACCOMMODATED THROUGH THE ADDITIONAL PARKING PROVIDED ON-SITE ACCOMPANIED WITH THE ADJACENT PARKING SHARED WITH OTHER USES WITHIN THE LAKEFRONT CORE DISTRICT.



APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: JULY 7, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 12/28/2022
 Director: Amy Goman
 Date: 12/22/2022
 Chief, Division of Land Development: Chris Edmondson
 Date: 12/27/2022
 Chief, Development Engineering Division: _____
 Date: _____

GLW
 PLANNING | ENGINEERING | SURVEYING

3908 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-1188

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APPR.
DDS	DDS					

PREPARED FOR:

OWNER:
 LFC MOB1, LLC
 C/O THE HOWARD HUGHES
 CORP.
 10980 GRANTCHESTER WAY,
 SUITE 110
 COLUMBIA, MD 21044
 ATTN: GABRIEL CHUNG
 410-884-4800

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975

EXPIRATION DATE: MAY 26, 2024

12/12/22



OVERALL PARKING PLAN

SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA
LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B
 A REVISION OF SECTION I, PARCEL B (PLAT No. 26140)

PN: 26227 - 26228

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=50'	NT	18046
DATE	TAX MAP - GRID	SHEET
DEC., 2022	36 - 2	3 OF 54

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 L:\CAD\DRAWINGS\18046\18046 - Parking.dwg - Parking.dwg, 12/12/2022 2:00 PM, PLOTTED BY: Don Swamy

LEGEND

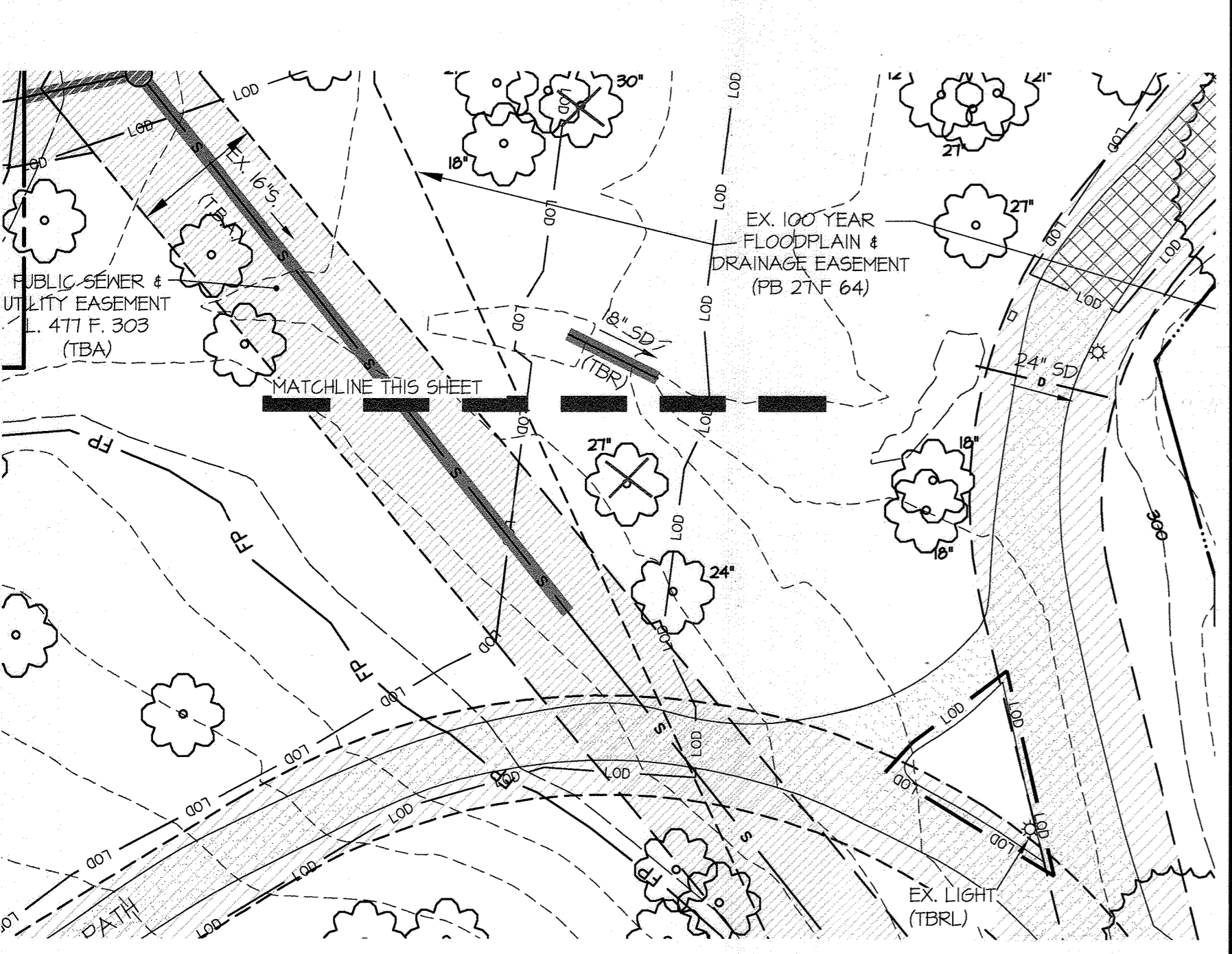
- EX 8" S — EXISTING SANITARY SEWER
- EX 8" W — EXISTING WATERLINE
- EX 24" D — EXISTING STORM DRAIN
- TV — CABLE TV LINE
- E — ELECTRIC LINE
- FO — FIBER OPTIC LINE
- G — GAS LINE
- T — TELECOMMUNICATIONS LINE
- EXISTING CURB AND GUTTER
- - - EXISTING CURB AND GUTTER TO BE REMOVED
- - - EXISTING EDGE OF PAVEMENT
- [Hatched Box] EXISTING PAVEMENT OR CONCRETE TO BE REMOVED
- L.O.D. LIMIT OF DISTURBANCE
- - - EXISTING UTILITY (TO BE REMOVED/ABANDONED)

(TBR) TO BE REMOVED
 (TBR/L) TO BE RELOCATED
 (TBA) TO BE ABANDONED

[Tree Symbol] EXISTING TREE
 [Tree Symbol] EXISTING TREE TO BE REMOVED

[Wavy Line] EXISTING TREELINE (FROM AERIAL TOPOGRAPHY)
 [Dashed Wavy Line] PROPOSED TREELINE

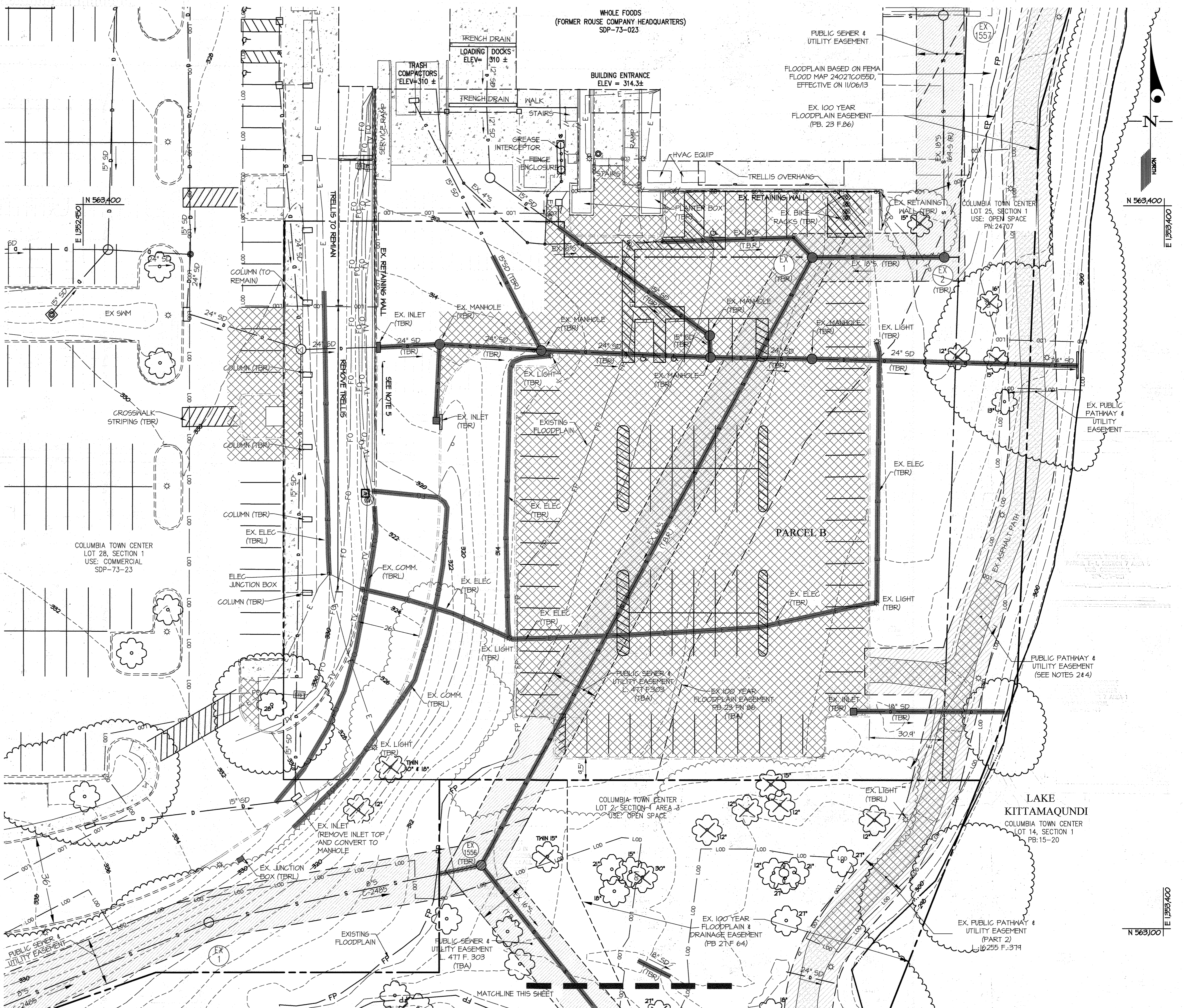
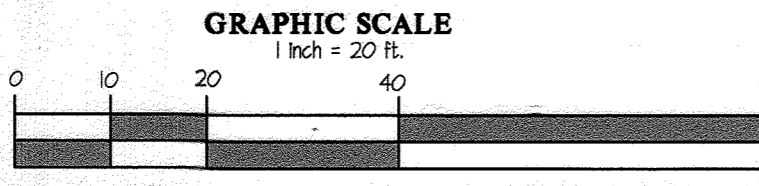
- NOTES:**
- COORDINATE ALL CONSTRUCTION WITH WHOLE FOODS SO DELIVERIES AND TRASH PICKUP CONTINUE UNINTERRUPTED THROUGHOUT CONSTRUCTION.
 - EXISTING PUBLIC PATHWAY EASEMENT TO BE REVISED TO FOLLOW NEW PATHWAY ALIGNMENT.
 - SEE PUBLIC WATER AND SEWER CONTRACT 24-5190-D FOR ADDITIONAL INFORMATION ON SEWER DEMOLITION AND REALIGNMENT.
 - LIMIT THE SHUTDOWN OF PATHWAY SURROUNDING LAKE KITTAMAQUONDI TO THE MINIMUM TIME REQUIRED TO CONSTRUCT SEWER AND REBUILD PATH.
 - EXISTING RETAINING WALL MAY BE REMOVED AND REPLACED IN KIND AS NECESSARY FOR BRIDGE SUPPORT INSTALLATION. PROTECT EXISTING DRY UTILITIES IN THIS AREA DURING EXCAVATION.
 - SEE HOWARD COUNTY STANDARD DETAIL 6-4.01 FOR UTILITY TRENCH ROADWAY REPAIR



APPROVED PLANNING BOARD OF HOWARD COUNTY

Date: JULY 7, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 12/28/2022
 Director: *Any Groman*
 Chief, Division of Land Development: *Paul Edmondson*
 Chief, Development Engineering Division



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 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-1198

DESIGNED BY	DATE	REVISION	BY	APPR.
dds				
DRAWN BY				
dds				
CHECKED BY				

PREPARED FOR:

OWNER:
 LFC MOB, LLC,
 C/O THE HOWARD HUGHES
 CORP.
 10950 GRANTCHESTER WAY,
 SUITE 110
 COLUMBIA, MD 21044
 ATTN: GABRIEL CHUNG
 410-884-4800

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975

EXPIRATION DATE: MAY 28, 2024

12/12/22

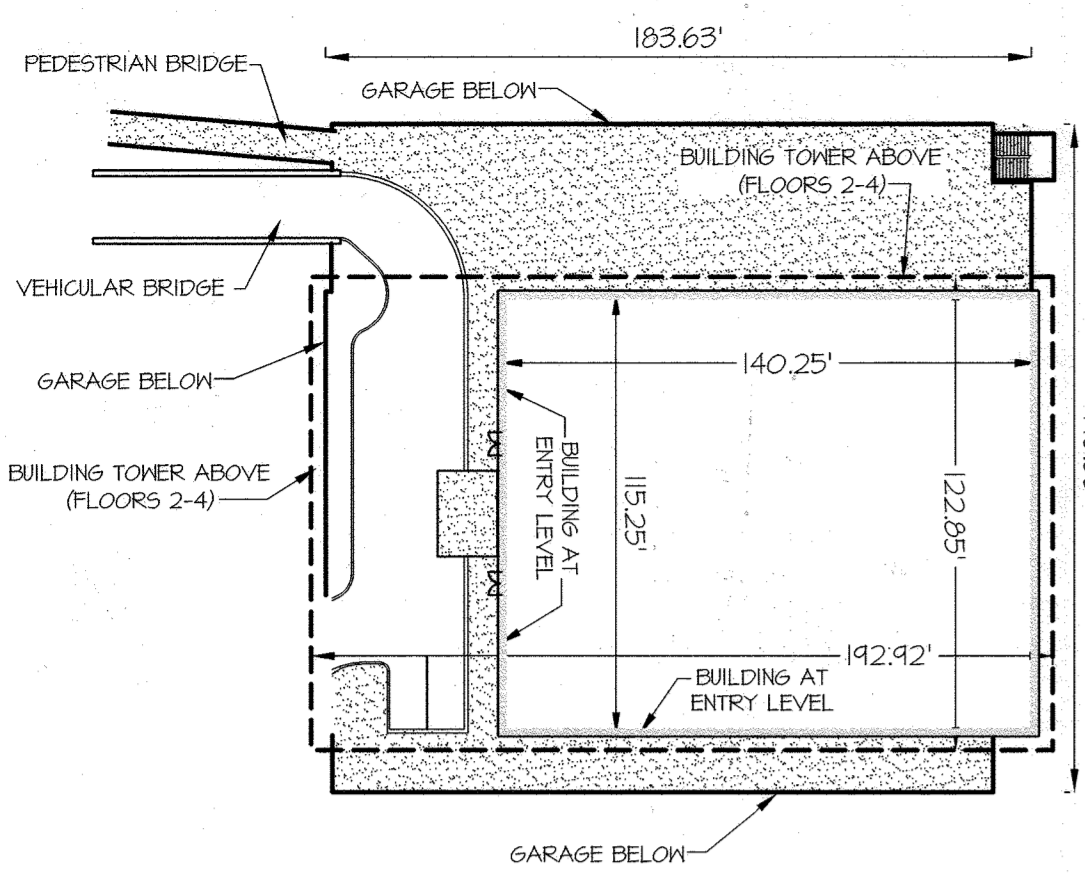
DEMOLITION PLAN

SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA
LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B
 A REVISION OF SECTION 1, PARCEL B (PLAT No. 26140)

ELECTION DISTRICT No. 5

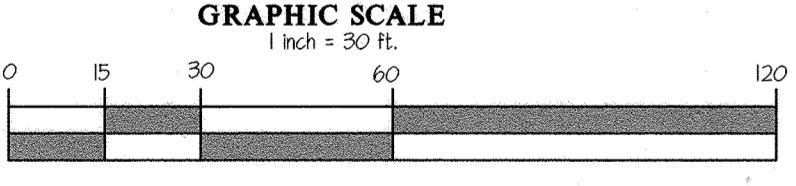
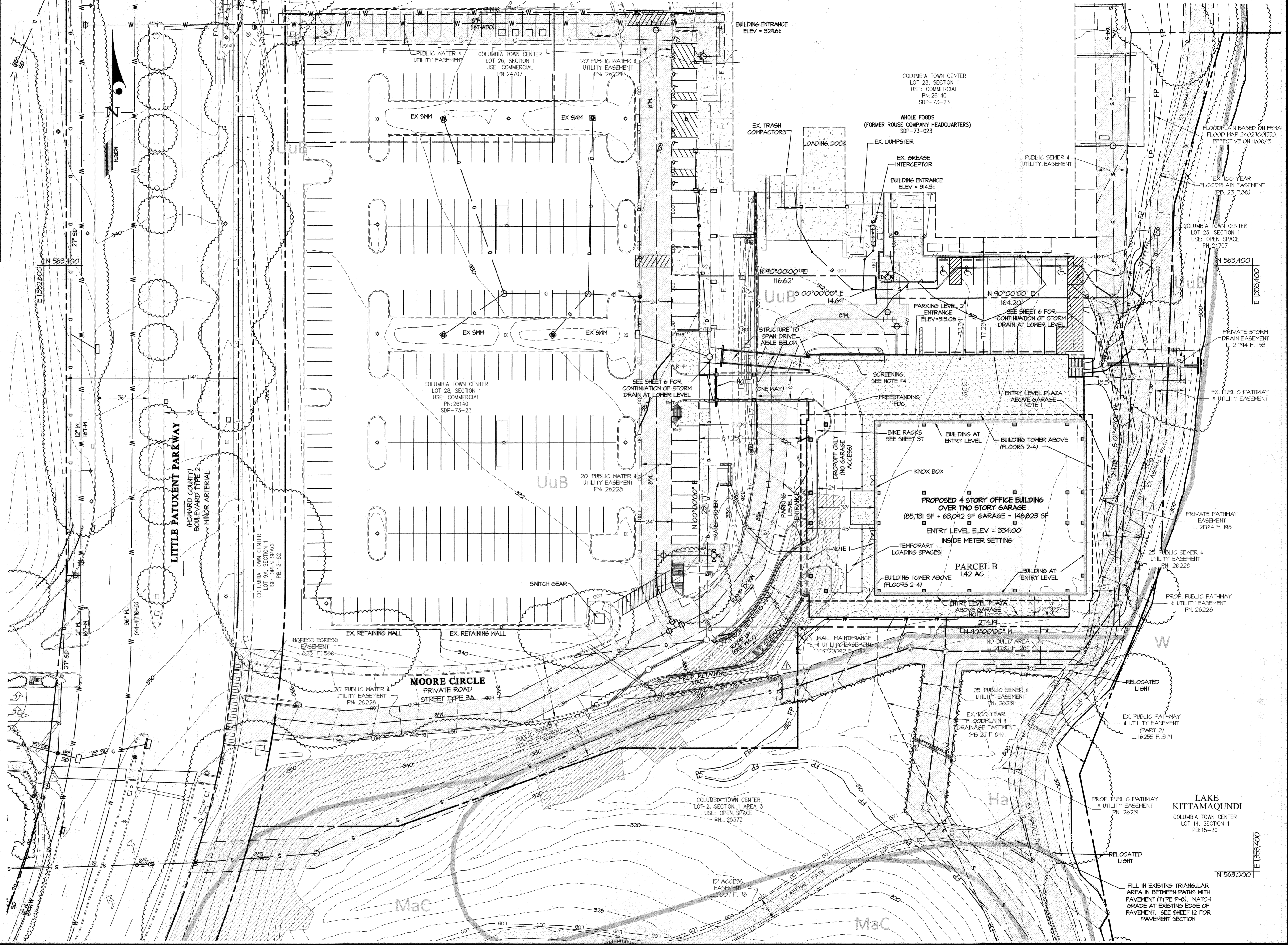
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 20'	NT	18046
DATE	TAX MAP - GRID	SHEET
DEC., 2022	36 - 2	4 OF 54



BUILDING DIMENSIONS
SCALE: 1"=50'

- NOTES:**
- SEE SHEET 4 AND BUILDING PERMIT PLANS FOR PORTE COCHERE, DROP-OFF, PLAZA, AND BRIDGE GRADING AND FINAL LAYOUT.
 - KNOX BOXES SHALL BE LOCATED WITHIN 6' TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5' IN HEIGHT. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATIONS WHERE THEY ARE TO BE MOUNTED.
 - LOT 28 AND PARCEL B ARE SUBJECT TO A RECIPROCAL EASEMENT AGREEMENT DATED AUGUST 17, 2022 RECORDED AMONG THE HOWARD COUNTY LAND RECORD IN L. 2111 F. 102 (REA). THIS EASEMENT WILL ADDRESS RETAINING WALLS AND RETAINING WALL MAINTENANCE. SEE SHEET 3 FOR ADDITIONAL INFORMATION.
 - SCREENING IN THIS AREA WILL BE PROVIDED BY PLANTERS AND PLANTS. SEE LANDSCAPE PLANS FOR DETAILS. THE PLANTERS AND PLANTS LOCATED HERE ARE PART OF THE APPROVED SDP AND MUST BE MAINTAINED IN GOOD CONDITION YEAR ROUND. DEAD SHRUBS ARE TO BE REPLACED AS NEEDED IN PERPETUITY. THE PLANTERS LOCATED HERE SHALL NOT BE RELOCATED.



APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: JULY 7, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: [Signature] 9/13/23
Date: 9/13/23
Chief, Division of Land Development: [Signature] 9/7/23
Date: 9/7/23
Chief, Development Engineering Division: [Signature]

GLW
PLANNING | ENGINEERING | SURVEYING
3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	dd
DRAWN BY:	dd
CHECKED BY:	
DATE:	08/2023
REVISION:	RETAINING WALL LOCATION REVISED

PREPARED FOR:
OWNER: LFC MOB1, LLC, C/O THE HOWARD HUGHES CORP., 10960 GRANTCHESTER WAY, SUITE 110, COLUMBIA, MD 21044
DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP., 10960 GRANTCHESTER WAY, SUITE 110, COLUMBIA, MD 21044
ATTN: GABRIEL CHUNG 410-954-4800

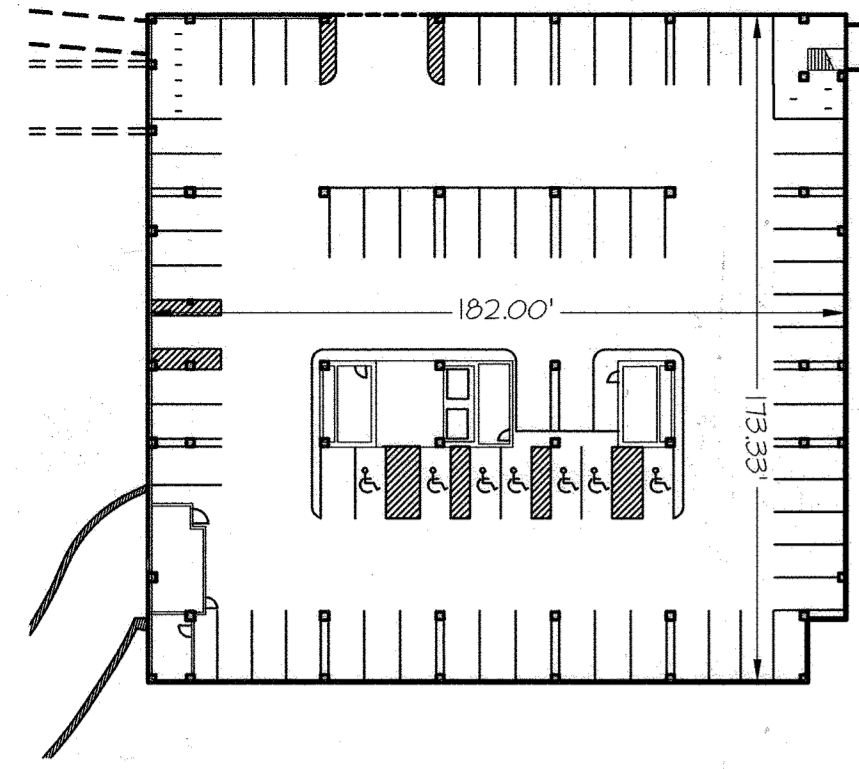
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
EXPIRATION DATE: MAY 26, 2024
8/27/23 [Signature]



REVISED SITE PLAN - BUILDING LEVEL 1
SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA
LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B
A REVISION OF SECTION 1, PARCEL B (PLAT NO. 26140)
PN: 26227 - 26228
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

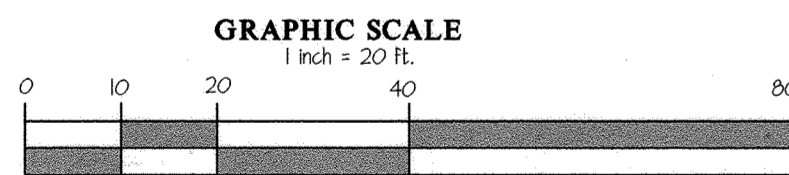
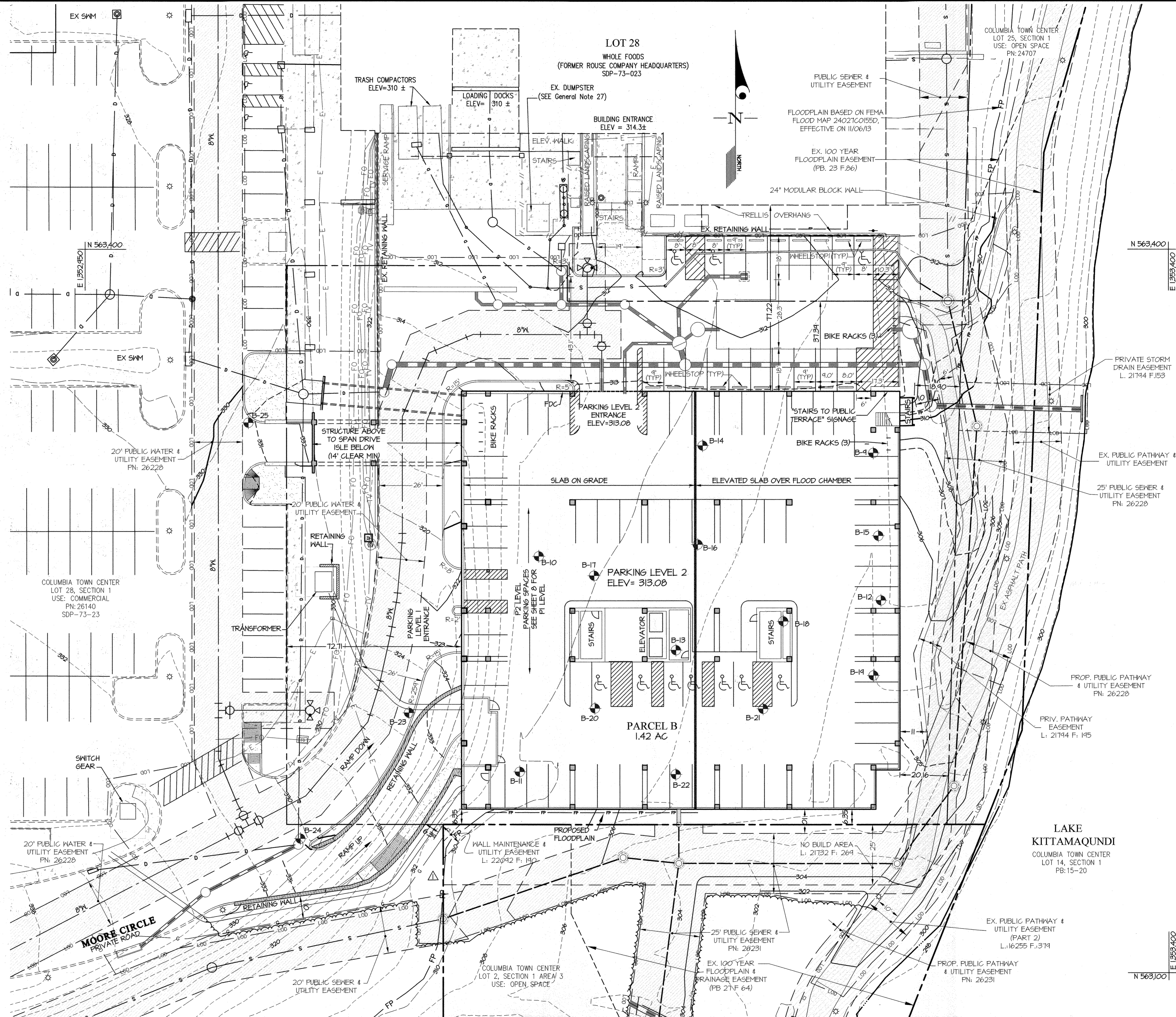
SCALE:	1"=30'	ZONING:	NT	G. L. W. FILE NO.:	18046
DATE:	AUG, 2023	TAX MAP - GRID:	36 - 2	SHEET:	5 OF 54

L:\CAD\DRAWINGS\18046\PLANS BY GLW\SDP\18046_SDP_UPPER.dwg, 8/20/2023 8:04:40 AM, User: 11
PLOTTED: 8/28/2023 8:00 AM, LAST SAVED: 8/28/2023 7:59 AM, PLOTTED BY: Don Sweeney



BUILDING DIMENSIONS
SCALE: 1"=50'

NOTES:
1. FEATURES SHOWN INSIDE OF THE GARAGE ARE FOR INFORMATIONAL PURPOSES ONLY. SEE GARAGE PLANS AND ARCHITECTURAL PLANS FOR FINAL DESIGN AND LAYOUT.



APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: JULY 7, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 9/13/23
Date
[Signature] 9/13/23
Date
[Signature] 9.7.23
Date
Chief, Development Engineering Division

GLW
PLANNING | ENGINEERING | SURVEYING
3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
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DESIGNED BY:	dds
DRAWN BY:	dds
CHECKED BY:	
DATE:	08/2023
REVISION:	RETAINING WALL LOCATION REVISED
BY:	
APPR.:	

PREPARED FOR:
OWNER:
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C/O THE HOWARD HUGHES
CORP.
10960 GRANTCHESTER WAY,
SUITE 110
COLUMBIA, MD 21044

DEVELOPER:
THE HOWARD RESEARCH
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WAY, SUITE 110
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ATTN: GABRIEL CHUNG
410-964-4000

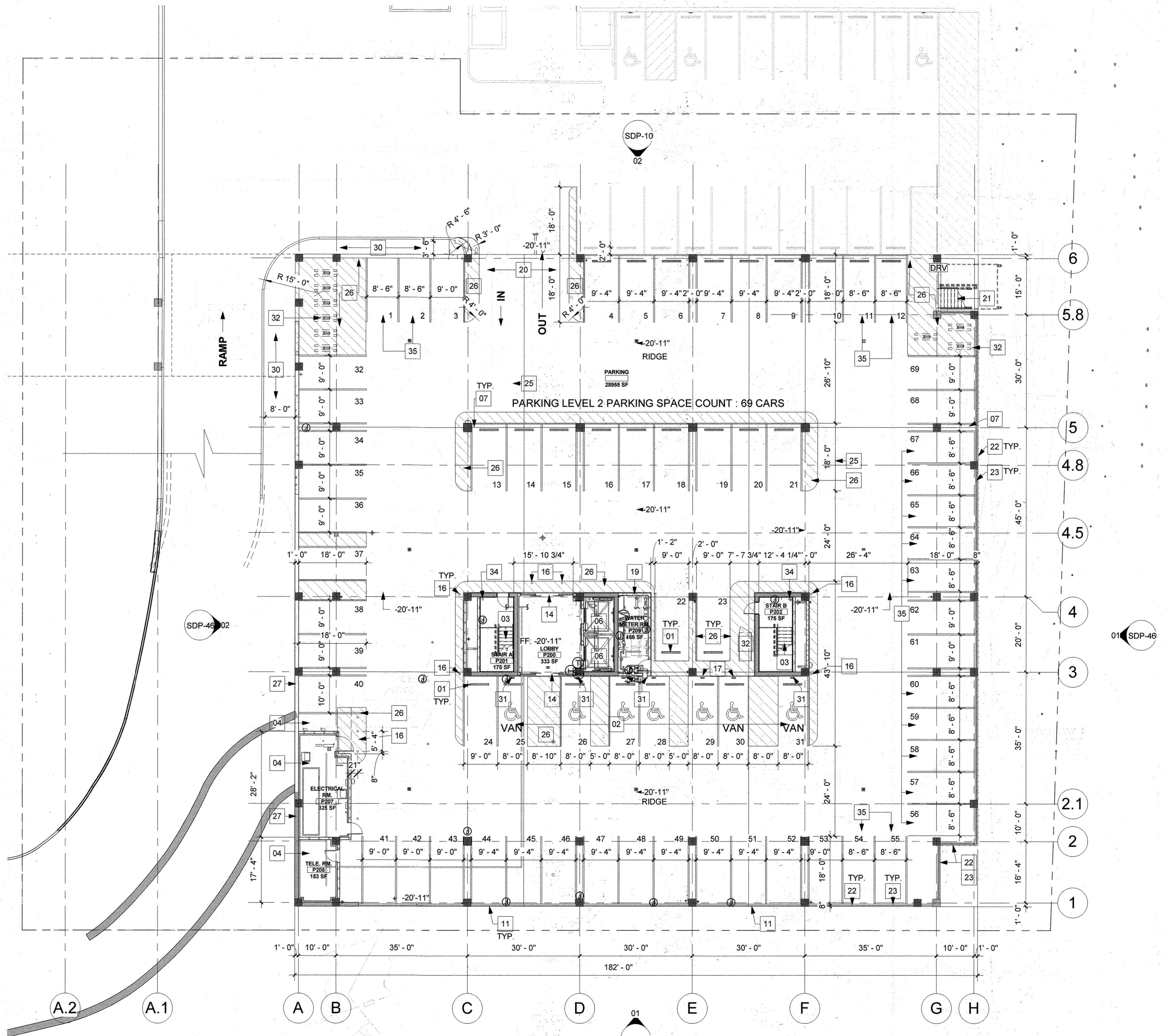
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PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 12975
EXPIRATION DATE: MAY 26, 2027
8/20/23 *[Signature]*

REVISED SITE PLAN - PARKING LEVEL 2
SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA
LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B
A REVISION OF SECTION I, PARCEL B (PLAT NO. 26140)
PN: 26227 - 26228
ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE NO.
1" = 20'	NT	18046
DATE	TAX MAP - GRID	SHEET
AUG., 2023	36 - 2	6 OF 54

- 01 CONCRETE WHEEL STOP, RE: G0.32
- 02 ADA ACCESSIBLE PARKING STALL, PAINTED GRAPHIC & HATCHING IN ADJACENT ACCESS SIDE AISLE, RE: G0.32
- 03 METAL PAN STAIR W/ CONCRETE TREADS, GUARDRAILS AND HANDRAILS, PAINTED
- 04 MECHANICAL & ELECTRICAL EQUIPMENTS, RE: MEP. PROVIDE PLYWOOD FOR WALL-MOUNTED EQUIPMENT AS REQUIRED
- 05 ELECTRIC TRANSFORMER PAD, RE: ELECTRICAL
- 06 ELEVATOR, CUSTOM FINISH PACKAGE, PROVIDE 4X12 SUPPORT STL. BEAM RE: SPEC.
- 07 INTERNAL RAIN LEADER PIPE, RE: PLUMBING
- 08 EDGE BRIDGE OF STRUCTURE ABOVE
- 09 GALVANIZED STEEL BARRIER CABLE SYSTEM TO 42" AFF
- 10 WALL MOUNTED FIRE EXTINGUISHER CABINET
- 11 SEMI RECESSED FIRE EXTINGUISHER CABINET
- 12 WALL HYDRANT, RE: PLUMBING
- 13 KNOX KEY BOX, RE: G0.32 FOR MOUNTING HEIGHT
- 14 FDC LOCATION, RE: FIRE PROTECTION
- 15 GALVANIZED STEEL MESH & FRAMES MOUNTED TO CONCRETE COLUMNS BELOW PARKING LEVEL 2, RE: LANDSCAPE
- 16 FIXED BOLLARD. EITHER CONC OR CONC DIRT INSTALL RE: A-551
- 17 ACCESSIBLE PARKING SIGN MOUNTED ON BOLLARD, RE: G0.32
- 18 VALLEY IN SLOPED CONCRETE SLAB
- 19 RIDGE IN SLOPED CONCRETE SLAB
- 20 NEW CONCRETE DRIVEWAY TIE TO EXISTING PARKING LOT / RAMP DRIVE, RE: CIVIL
- 21 EXTERIOR STAIR SYSTEM AND HANDRAILS, RE: LANDSCAPE
- 22 8" THICK X 36 1/2" HIGH REINFORCED CONCRETE VEHICULAR BUMPER GUARD, RE: DETAIL
- 23 1-1/2" O.D. GALVANIZED PAINTED HANDRAIL @ 42" ABOVE FFL SECURED TO BUMPER GUARD @ 5'-0" CENTERS MAX
- 24 GARAGE FLOOR AREA DRAIN, RE: PLUMBING DWGS
- 25 STAINLESS STEEL CABLE TRELLIS BOLTED TO STRUCTURE, RE: LANDSCAPE
- 26 PAINTED STRIPING
- 27 CONCRETE RETAINING WALL, RE: STRUCT.
- 28 SURFACE PARKING SPACES, RE: CIVIL
- 29 REWORK EXISTING ENTRY W/ PROPOSED GRADE, RE: CIVIL
- 30 LANDSCAPED AREA
- 31 ACCESSIBLE PARKING SIGN MOUNTED ON WALL, RE: G0.32
- 32 BIKE RACKS, RE: LANDSCAPING DETAIL 3 SDP SHEET 38
- 33 1" NYSTROM PDM COMPRESSION SEAL
- 34 FIRE STANDPIPE
- 35 PROVIDE SIGN: "COMPACT ONLY"

FLOOR PLAN KEYNOTES



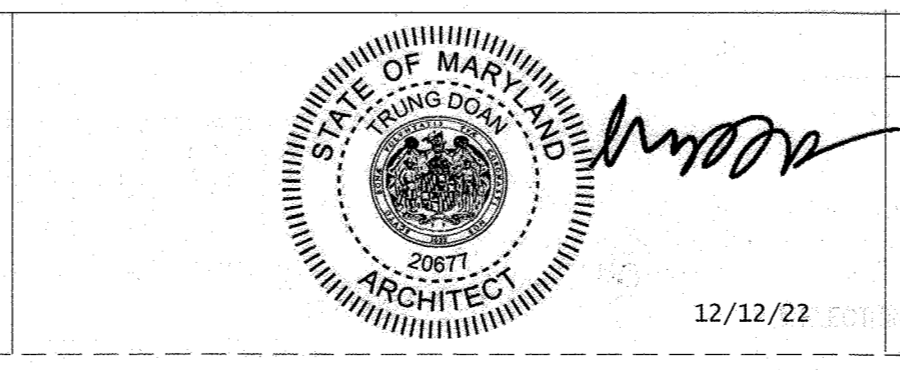
APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: JULY 7, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
12/28/2022
Director: *Any Goman*
Chief, Division of Land Use: *Chad Edmondson*
Chief, Development: *Chad Edmondson*

STUDIO RED ARCHITECTS
1320 McGowen st
Houston, TX 77004
StudioREDarchitects.com

DESIGNED BY:	DATE	REVISION	BY	APPR.
CB				
CH				
CHECKED BY:				
PK				

PREPARED FOR:
OWNER: LFC MOBIL LLC, C/O THE HOWARD HUGHES CORP, 10960 GRANTCHESTER WAY, SUITE 110 COLUMBIA, MD 21044
DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP, 10960 GRANTCHESTER WAY, SUITE 110 COLUMBIA, MD 21044 ATTN: GABRIEL CHUNG 410-964-4800

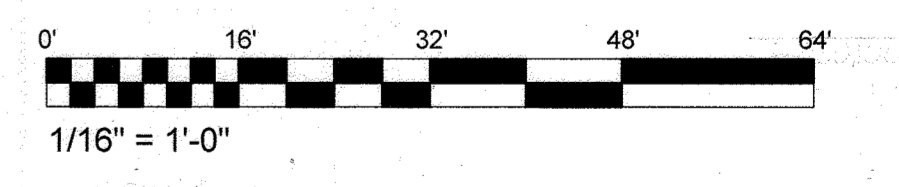


PARKING LEVEL 2 FLOOR PLAN
SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA
LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B
A REVISION OF SECTION 1, PARCEL B (PLAT No. 26140)
PN: 26227-26228

12/12/22 ELECTION DISTRICT No. 5

SCALE	ZONING	JOB No.
1/16" = 1'	NT	2108
DATE		SHEET
NOV, 2022	36 - 2	7 OF 54

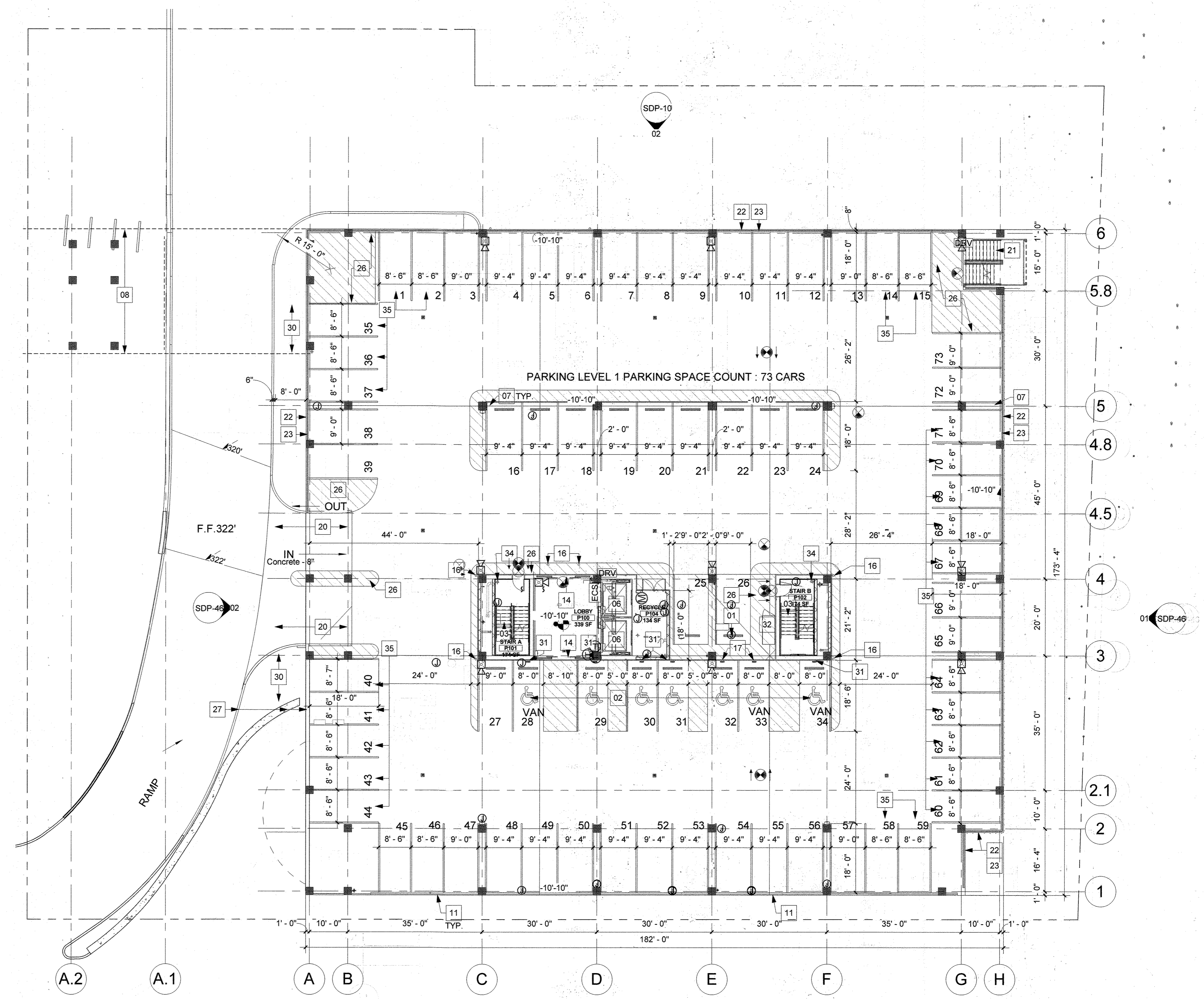
HOWARD COUNTY, MARYLAND



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- 01 CONCRETE WHEEL STOP, RE: G0.32
- 02 ADA ACCESSIBLE PARKING STALL, PAINTED GRAPHIC & HATCHING IN ADJACENT ACCESS SIDE AISLE, RE: G0.32
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- 33 1" NYSTROM PDM COMPRESSION SEAL
- 34 FIRE STANDPIPE
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FLOOR PLAN KEYNOTES



APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: JULY 7, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 12/28/2022
 Director: Amy Goman
 Chief, Division of Land Use: 12/22/2022
 Chief, Development: 12/27/2022

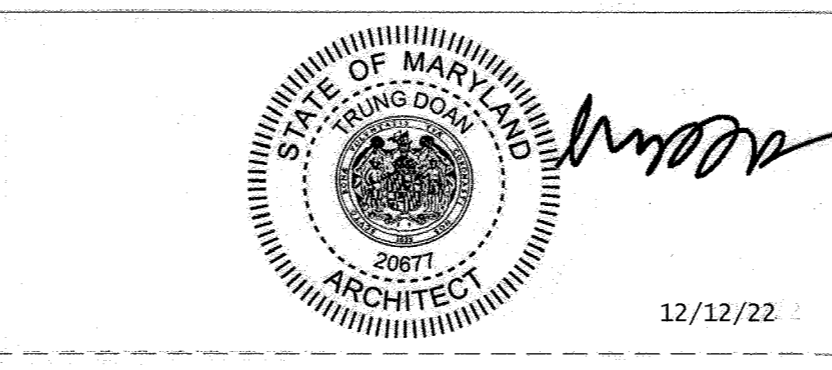
STUDIO RED ARCHITECTS
 1320 McGowen st
 Houston, TX 77004
 StudioREDarchitects.com

DESIGNED BY:	DATE	REVISION	BY	APP'R.
CB				
CH				
CHECKED BY:				
PK				

PREPARED FOR:

OWNER:
 LFC MOB, LLC,
 C/O THE HOWARD
 HUGHES CORP.
 10960 GRANTCHESTER
 WAY, SUITE 110
 COLUMBIA, MD 21044

DEVELOPER:
 THE HOWARD RESEARCH
 AND DEVELOPMENT CORP.
 10960 GRANTCHESTER
 WAY, SUITE 110
 COLUMBIA, MD 21044
 ATTN: GABRIEL CHUNG
 410-964-4800



PARKING LEVEL 1 FLOOR PLAN
SOUTHLAKE OFFICE BUILDING
 DOWNTOWN COLUMBIA
 LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B
 A REVISION OF SECTION 1, PARCEL B (PLAT No. 26140)
 PN: 26227-26228

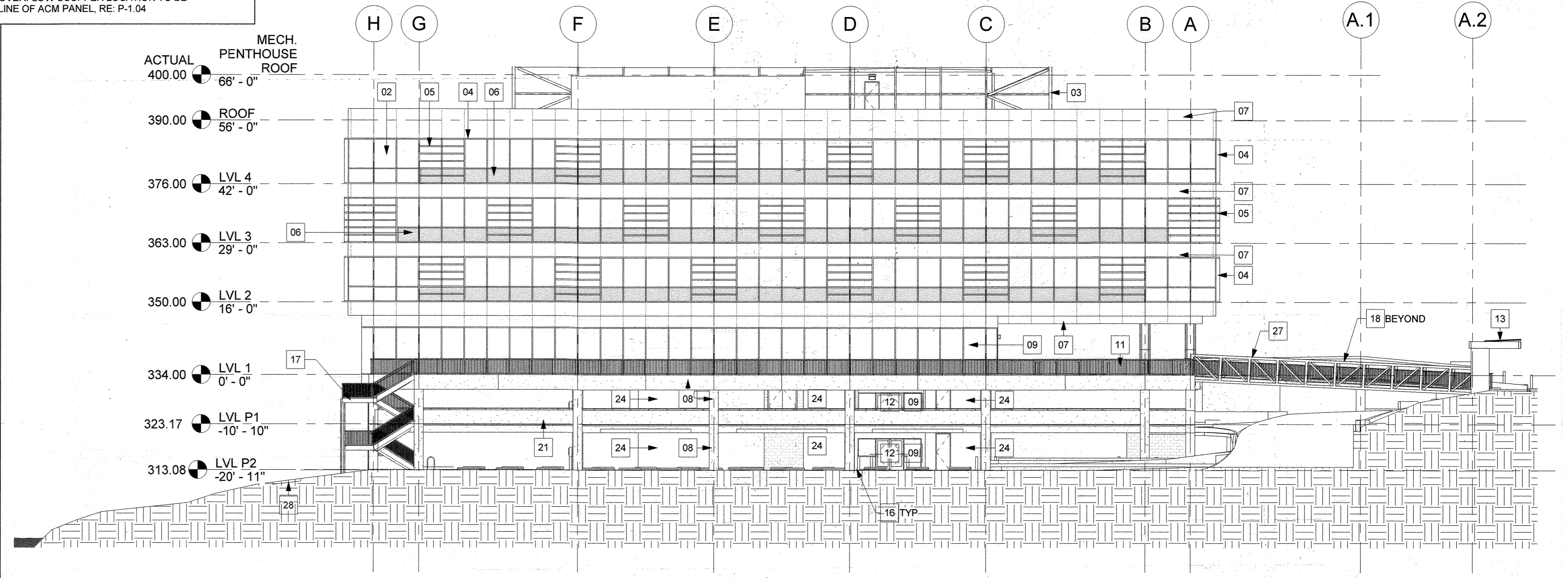
12/12/22
 ELECTION DISTRICT No. 5

SCALE	ZONING	JOB No.
1/16" = 1'	NT	2108
DATE		SHEET
NOV., 2022	36 - 2	8 OF 54

- 01 GALVANIZED STEEL BARRIER SYSTEM, 42" AFF
- 02 SCHED. ALUMINUM WINDOW WALL SYSTEM
RE: WINDOW SCHEDULE
- 03 ROOFTOP LOUVERS MOUNTED TO STEEL STRUCTURE, RE: STRUCTURAL
- 04 PREFINISHED EXTRUDED ALUMINUM FRAME MOUNTED TO WINDOW WALL SYSTEM (4 SIDED)
- 05 PREFINISHED EXTRUDED ALUMINUM SUNSHADE BLADE WITH PRE-ENGINEERED MOUNTING SYSTEM
- 06 GALVANIZED STEEL BARRIER CABLE SYSTEM 42" A.F.F.
- 07 VERTICAL REVEAL IN PREFINISHED WALL PANEL, ALIGN WITH C.L. OF WINDOW MULLIONS
- 08 CAST-IN-PLACE CONCRETE STRUCTURE, RE: STRUCT.
- 09 SCHED. ALUMINUM STOREFRONT WINDOW SYSTEM RE: WINDOW SCHEDULE
- 10 CONCRETE CONTROL JOINT, RE: STRUCTURAL
- 11 GUARDRAIL, RE: LANDSCAPE
- 12 PREMANUFACTURED STEEL TRUSS PEDESTRIAN BRIDGE

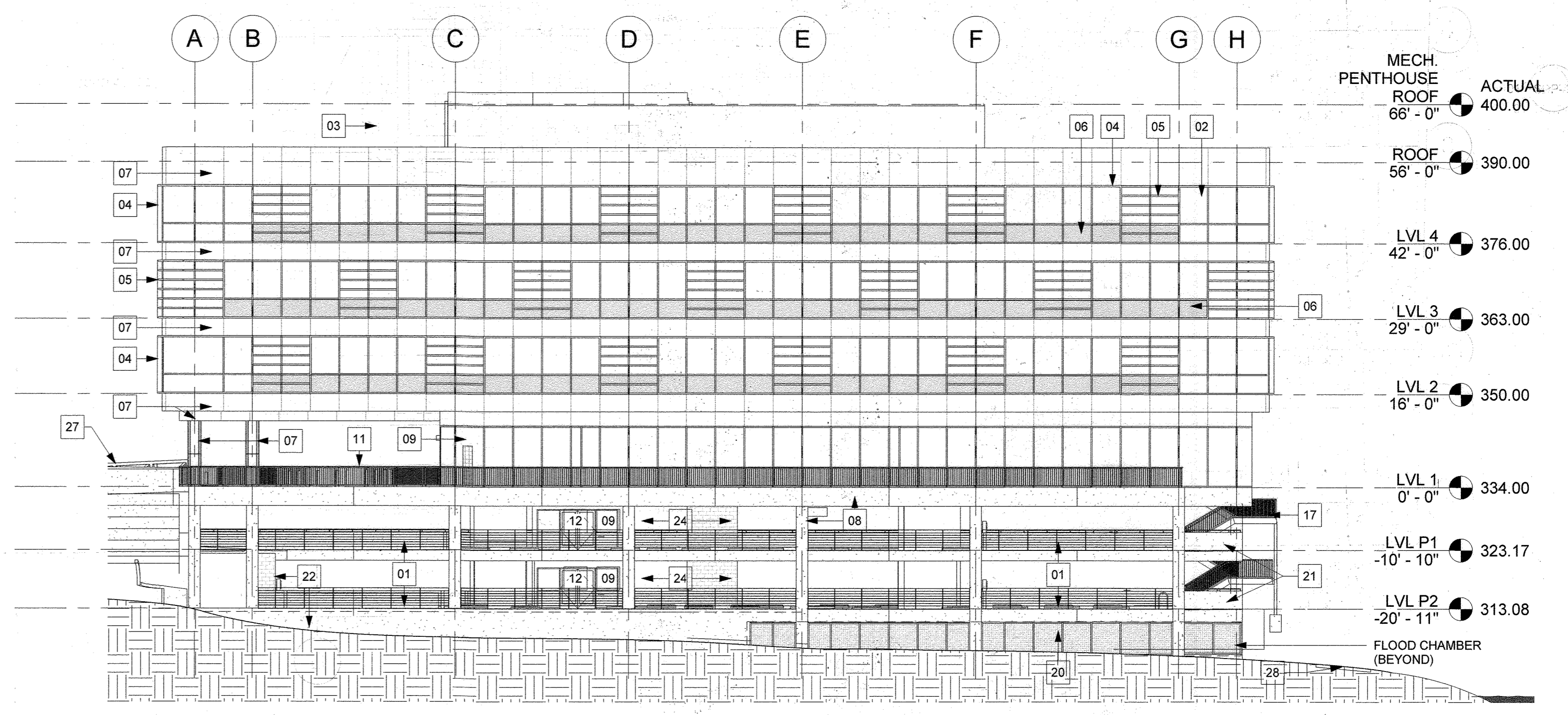
- 13 EXISTING TRELLIS
- 16 6" DIA. STEEL W/ CONCRETE BOLLARD WITH STAINLESS STEEL COVER
- 17 CONCRETE FILLED METAL PAN SYSTEM STAIR, GALVANIZED, PRIMED, PAINTED. GUARDRAILS AND HANDRAILS, RE: LANDSCAPING
- 18 CAST-IN-PLACE CONCRETE RAMP W/ CONCRETE TRAFFIC BARRIERS, RE: STRUCT.
- 19 STAINLESS STEEL CABLE TRELLIS BOLTED TO STRUCTURE, RE: LANDSCAPE
- 20 GALVANIZED 4" WVM & ANGLE FRAMES MOUNTED TO CONCRETE STRUCTURE AT FLOOD CHAMBER W/ 1 PANEL BOLTED FOR ACCESS. RE: 11/A-401
- 21 REINFORCED CONCRETE VEHICULAR BUMPER GUARD W/ GALVANIZED PAINTED HANDRAIL @ 42" ABOVE FFL
- 22 CAST IN PLACE RETAINING WALL RE: STRUCTURE
- 23 SCHED. STONE VENEER WALL BETWEEN ENTRY DOORS
- 24 PAINTED EIFS ON RIGID INSULATION BOARD, RE: FINISH SCHEDULE
- 25 ACM ENCLOSURE FOR AUTOMATIC SWING DOOR OPENER WITH SENSOR
- 26 INTERNALLY ILLUMINATED SIGNAGE, PIN MOUNTED, RE: ELECT.

- 27 PREMANUFACTURED STEEL TRUSS PEDESTRIAN BRIDGE
- 28 EXISTING ASPHALT TRAIL W/ NEW TIE-IN
- 29 ADJUST OVERFLOW SCUPPER LOCATION TO BE CENTERLINE OF MULLION, RE: P-1.04
- 30 ADJUST OVERFLOW SCUPPER LOCATION TO BE CENTERLINE OF ACM PANEL, RE: P-1.04

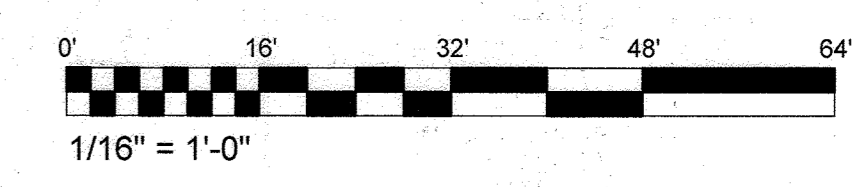


ELEVATION KEYNOTES

NORTH ELEVATION 1/16" = 1'-0" 02



REFER TO SHEET 46 FOR EAST & WEST ELEVATIONS



SOUTH ELEVATION 1/16" = 1'-0" 01

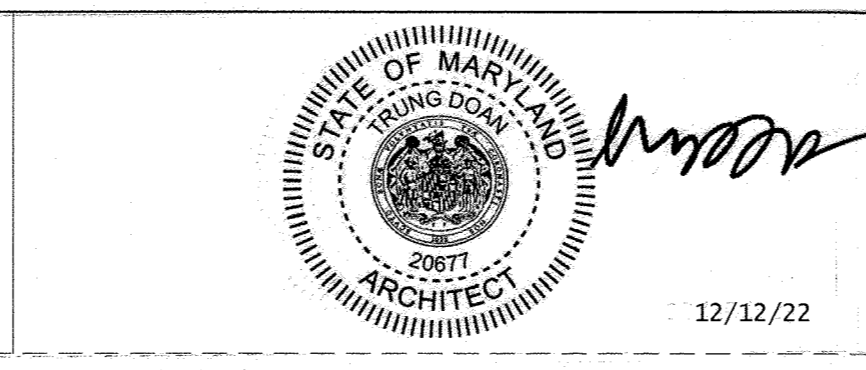
APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: JULY 7, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
12/28/2022
Director: Amy Goman
Chief, Division of Land Use: CHAD EDMONDSON
Chief, Development: CHAD EDMONDSON

STUDIO RED ARCHITECTS
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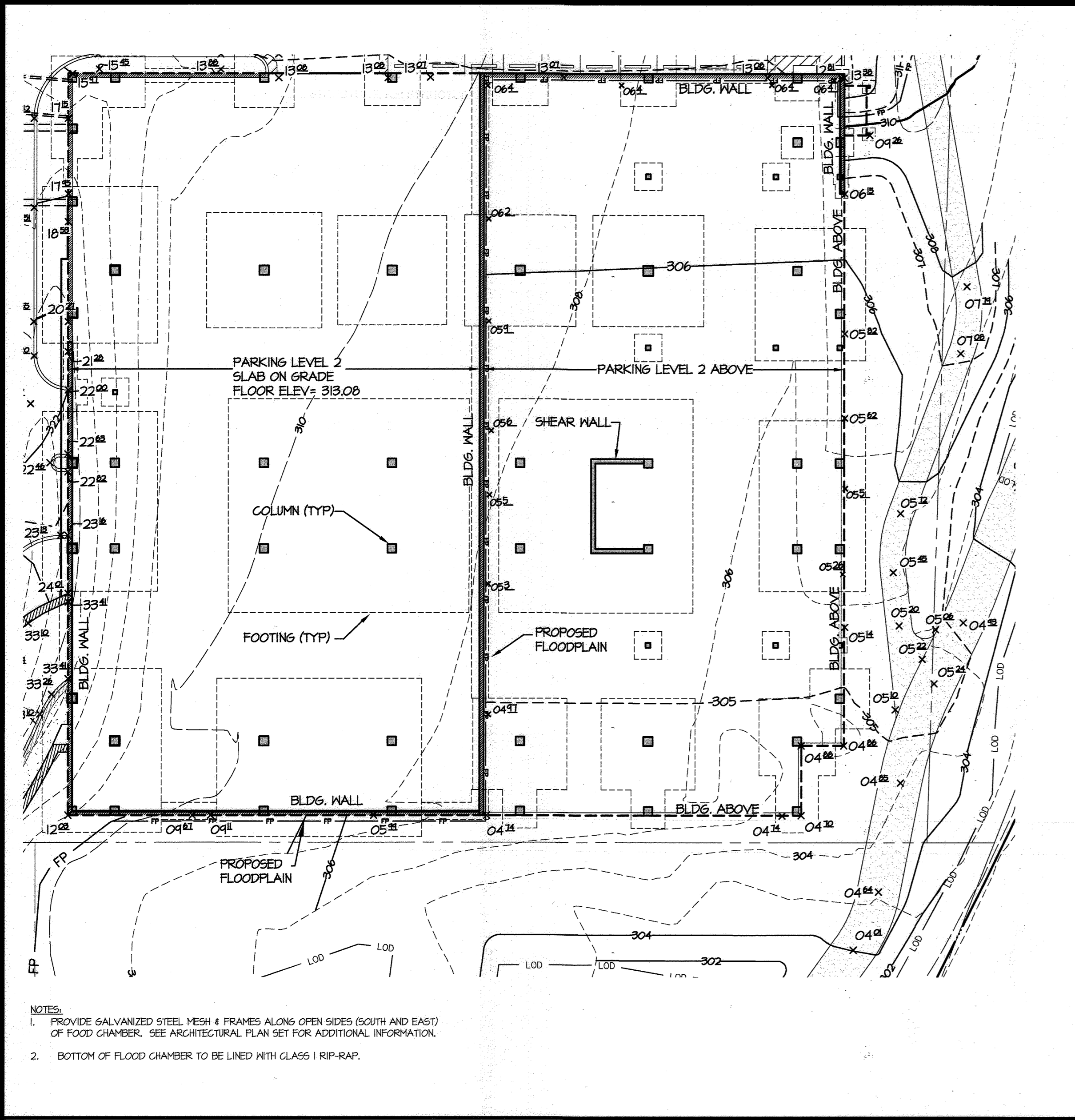
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CB				
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PK				

PREPARED FOR:
OWNER: LFC MOB1 LLC, C/O THE HOWARD HUGHES CORP, 10960 GRANTCHESTER WAY, SUITE 110 COLUMBIA, MD 21044
DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP, 10960 GRANTCHESTER WAY, SUITE 110 COLUMBIA, MD 21044 ATTN: GABRIEL CHANG 410-964-4800



BUILDING ELEVATIONS
SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA
LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B
A REVISION OF SECTION 1, PARCEL B (PLAT No. 26140)
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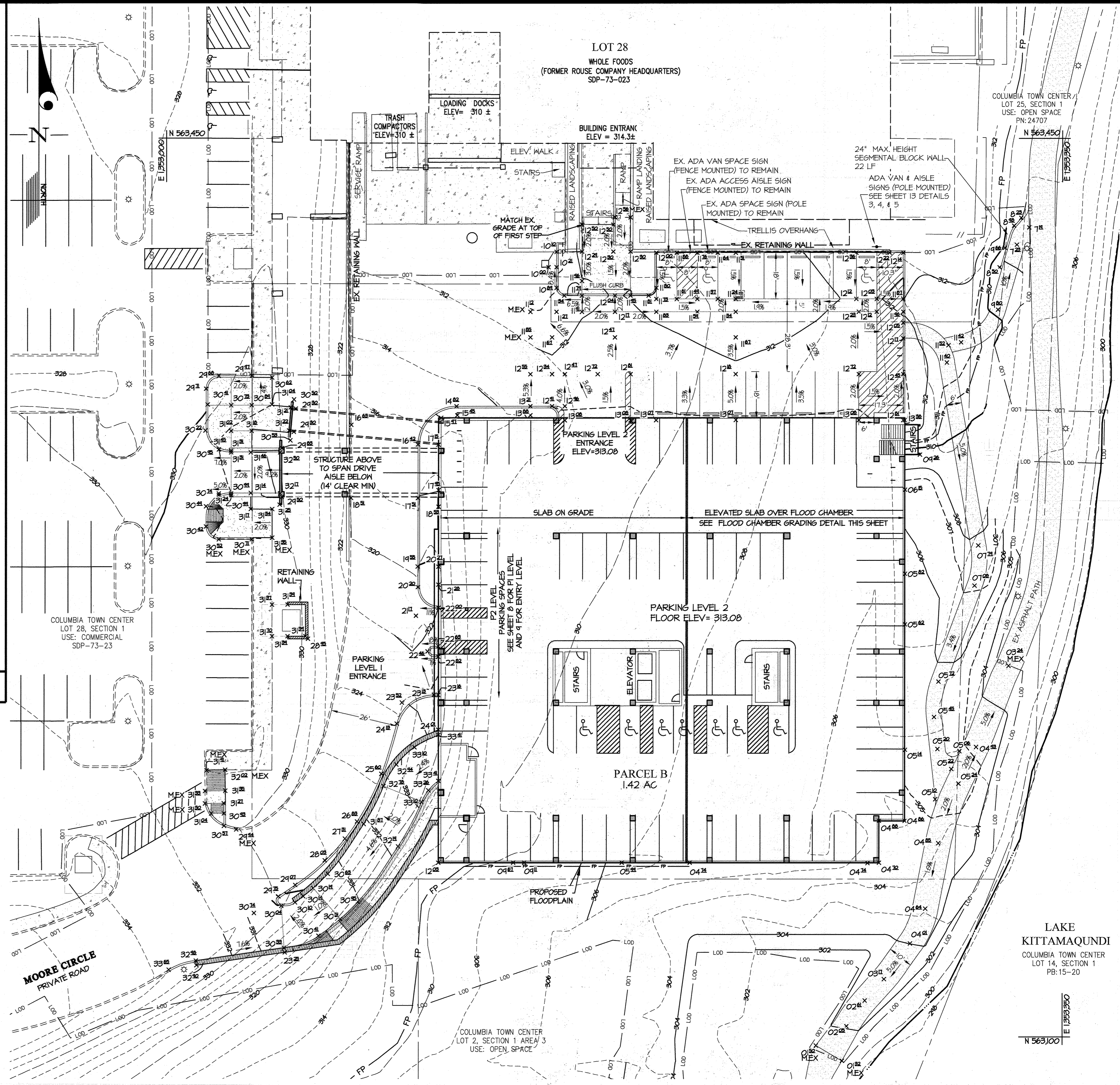
SCALE	ZONING	JOB No.
1/16" = 1'	NT	2108
DATE		SHEET
NOV, 2022	36 - 2	10 OF 54



FLOOD CHAMBER GRADING

SCALE: 1" = 20'

NOTES:
1. MEX = MATCH EXISTING GRADE



APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: JULY 7, 2022

APPROVED: HOWARD COUNTY, DEPARTMENT OF PLANNING & ZONING
12/28/2022

Director: Amy Goman 12/22/2022
Date: 12/22/2022

Chief, Division of Land Development: Brad Edmondson 12/27/2022
Date: 12/27/2022

Chief, Development Engineering Division

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ddd				
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ddd				
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PREPARED FOR:

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CORP.
10980 GRANTCHESTER WAY,
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COLUMBIA, MD 21044

DEVELOPER:
THE HOWARD RESEARCH
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COLUMBIA, MD 21044
ATTN: GABRIEL CHUNG
410-364-4800

PROFESSIONAL CERTIFICATION

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EXPIRATION DATE: MAY 28, 2024

12/12/22

GRADING PLAN

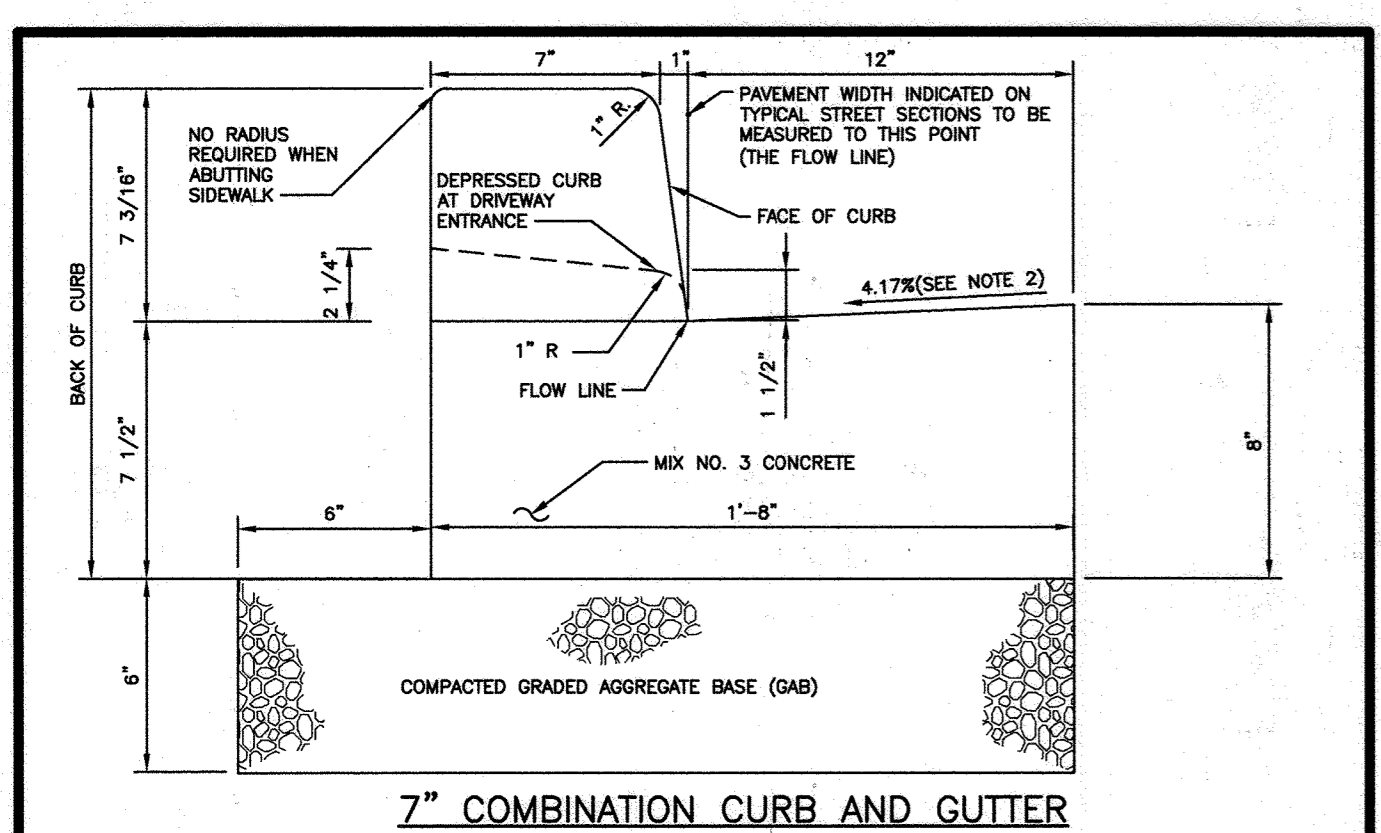
SOUTHLAKE OFFICE BUILDING
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HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 20'	NT	18046
DATE	TAX MAP - GRID	SHEET
DEC., 2022	36 - 2	11 OF 54

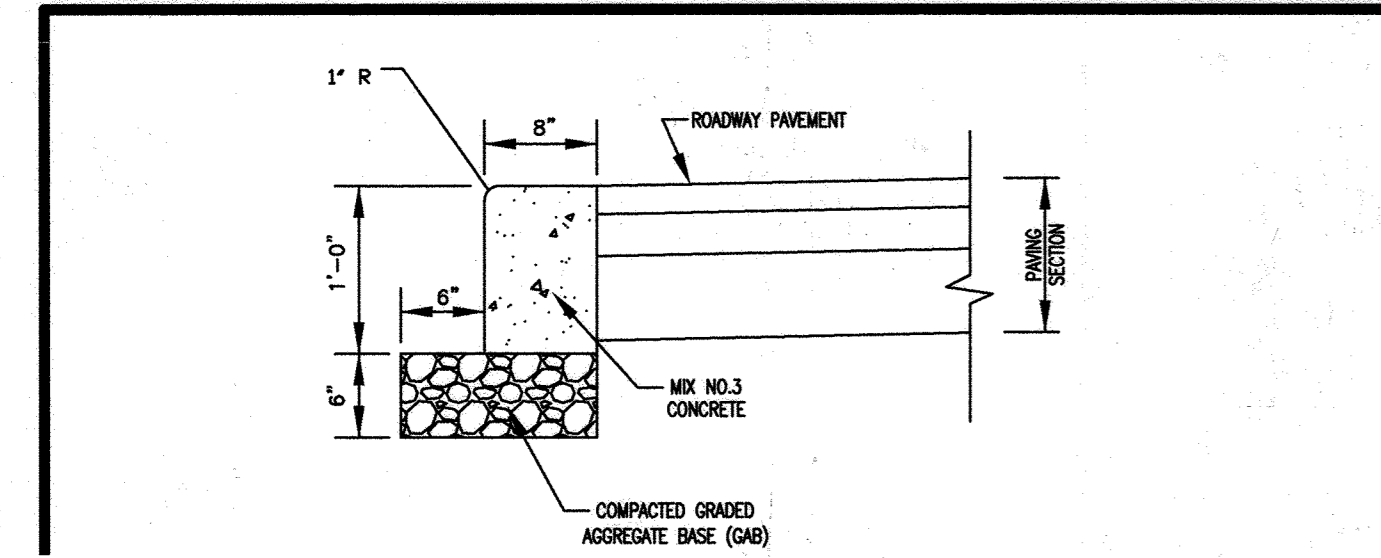
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 L:\CADD\DRAWINGS\18046\18046_SDP_GRADE.dwg, 12/12/2022 2:10 PM, PLOTTED BY: Don Samerly
 L:\CADD\DRAWINGS\18046\18046_SDP_GRADE.dwg, 12/12/2022 2:10 PM, PLOTTED BY: Don Samerly



NOTE:

- A REVERSE GUTTER PAN SHALL HAVE A GUTTER SLOPE OF 4.17% AWAY FROM THE FLOW LINE, AND SHALL NOT BE USED WHERE THIS DRAINAGE CREATES A HAZARDOUS CONDITION.
- GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIALS OR THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AND IN THE SAME DIRECTION AS THE PAVEMENT. MATCH PAVEMENT CROSS SLOPE WHEN CURB IS LOCATED ON THE LOW SIDE OF SUPERELEVATED SECTION AND THE RATE OF SUPERELEVATION IS GREATER THAN 3% FOR MODIFIED CURB & GUTTER.
- A MINIMUM OF TWO (2) FEET OF COMPACTED STABILIZED EARTH, OR EQUIVALENT, SHALL SUPPORT THE ENTIRE BACK OF CURB.
- POSITIVE DRAINAGE SHALL BE PROVIDED BOTH BETWEEN THE CURB AND ALONG THE GUTTER AND FLOW LINE.

Howard County, Maryland Department of Public Works Approved: <i>Dorcas R. Smith</i> Chief, Bureau of Engineering	CURB AND GUTTER 7" & Modified	Detail R-3.01
---	---	-------------------------



Howard County, Maryland Department of Public Works Approved: <i>Dorcas R. Smith</i> Chief, Bureau of Engineering	Curb Flush	Detail R-3.07
---	----------------------	-------------------------

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)	3 TO <5			5 TO <7			7 TO <9		
			MIN. SUPERPAVE ASPHALT MIX WITH GAB	MIN. SUPERPAVE ASPHALT MIX WITH CONSTANT GAB	MIN. SUPERPAVE ASPHALT MIX WITH CONSTANT GAB	MIN. SUPERPAVE ASPHALT MIX WITH CONSTANT GAB	MIN. SUPERPAVE ASPHALT MIX WITH CONSTANT GAB	MIN. SUPERPAVE ASPHALT MIX WITH CONSTANT GAB	MIN. SUPERPAVE ASPHALT MIX WITH CONSTANT GAB	MIN. SUPERPAVE ASPHALT MIX WITH CONSTANT GAB	MIN. SUPERPAVE ASPHALT MIX WITH CONSTANT GAB
P-8	PAVED SHOULDER; UNDIVIDED INTERMEDIATE ARTERIAL; DIVIDED INTERMEDIATE ARTERIAL; SIDEWALK AND PARKING AREAS (PRIVATE); NOTE: THIS SECTION MAY BE USED IN LIEU OF CONCRETE SIDEWALK IN OFF SITE, PRIVATELY MAINTAINED AREAS ONLY.	SUPERPAVE ASPHALT MIX FINAL SURFACE 12.5 MM PS 64-225, LEVEL 1 (LOW EQUAL); GRADED AGGREGATE BASE (GAB)	3.0	3.0	3.0	4.0	3.5	3.5	3.0	3.0	3.0
			9.5	8.0	5.5	6.0	6.0	6.0	6.0	6.0	6.0

NOTES:

- HEAVY TRUCKS ARE DEFINED AS THOSE WITH SIX (6) WHEELS OR MORE INCLUDING GARBAGE TRUCKS.
- SUPERPAVE ASPHALT MIX LAYERS SHALL BE PLACED IN APPROPRIATE COMPACTED LIFT THICKNESS: 19.0 MM BASE (2.0" MIN. TO 4.0" MAX.); 12.5 MM SURFACE (1.5" MIN. TO 3.0" MAX.); AND 9.5 MM SURFACE (1.0" MIN. TO 2.0" MAX.)
- GRADED AGGREGATE BASE (GAB) TO BE PLACED AND COMPACTED IN 6" MAX. COMPACTED THICKNESS LAYERS.
- THE INTERMEDIATE SURFACE COURSE LAYER MUST BE PLACED WITHIN 2 WEEKS OF PLACEMENT OF BASE COURSE, AND IS REQUIRED PRIOR TO SUBSTANTIAL COMPLETION INSPECTION AND BOND REDUCTION.
- IN LIEU OF PLACING THE INTERMEDIATE SURFACE COURSE LAYER FOR COMMERCIAL/INDUSTRIAL ENTRANCE APRONS WITHIN THE COUNTY RIGHT-OF-WAY WHERE AUXILIARY LANES ARE NOT REQUIRED, THE THICKNESS OF THE INTERMEDIATE PAVEMENT LAYER CAN BE ADDED TO THE REQUIRED THICKNESS OF THE BASE ASPHALT LAYER.
- THE CONSTRUCTION DRAWINGS SHALL SHOW THE PAVING SECTION, ROAD CLASSIFICATION AND CBR VALUE FOR EACH ROADWAY.

Howard County, Maryland Department of Public Works Approved: <i>Dorcas R. Smith</i> Chief, Bureau of Engineering	PAVING SECTIONS P-5 to P-8	Detail R-2.02
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SIDEWALK RAMP LEGEND

- PERPENDICULAR SIDEWALK RAMP (R-4.05)
- EXISTING SIDEWALK RAMP

PAVING LEGEND

- HEAVY DUTY PAVEMENT SEE DETAIL THIS SHEET
- PARKING PAVEMENT SEE DETAIL THIS SHEET
- MILL & OVERLAY
- ASPHALT PATHWAY HOWARD COUNTY TYPE P-8 (R-2.01)
- REINFORCED CONCRETE PAVEMENT SEE SHEETS 24, 25, 53, 54
- SCORED CONCRETE SIDEWALK MATCH EXISTING SCORING HOWARD COUNTY DETAIL- R-3.05
- PAVERS SEE LANDSCAPE

CURB LEGEND

- 8" C 8" CURB. SEE SHEETS 24, 25, 53, 54
- 6"CG 6" CURB AND GUTTER (R-4.01)
- T"CG 1" CURB AND GUTTER (R-3.01)
- EX C6 EXISTING CURB AND GUTTER
- FCG FLUSH CURB AND GUTTER (R-3.07)
- FC FLUSH CURB. SEE SHEETS 24-25

CURB TRANSITION LEGEND

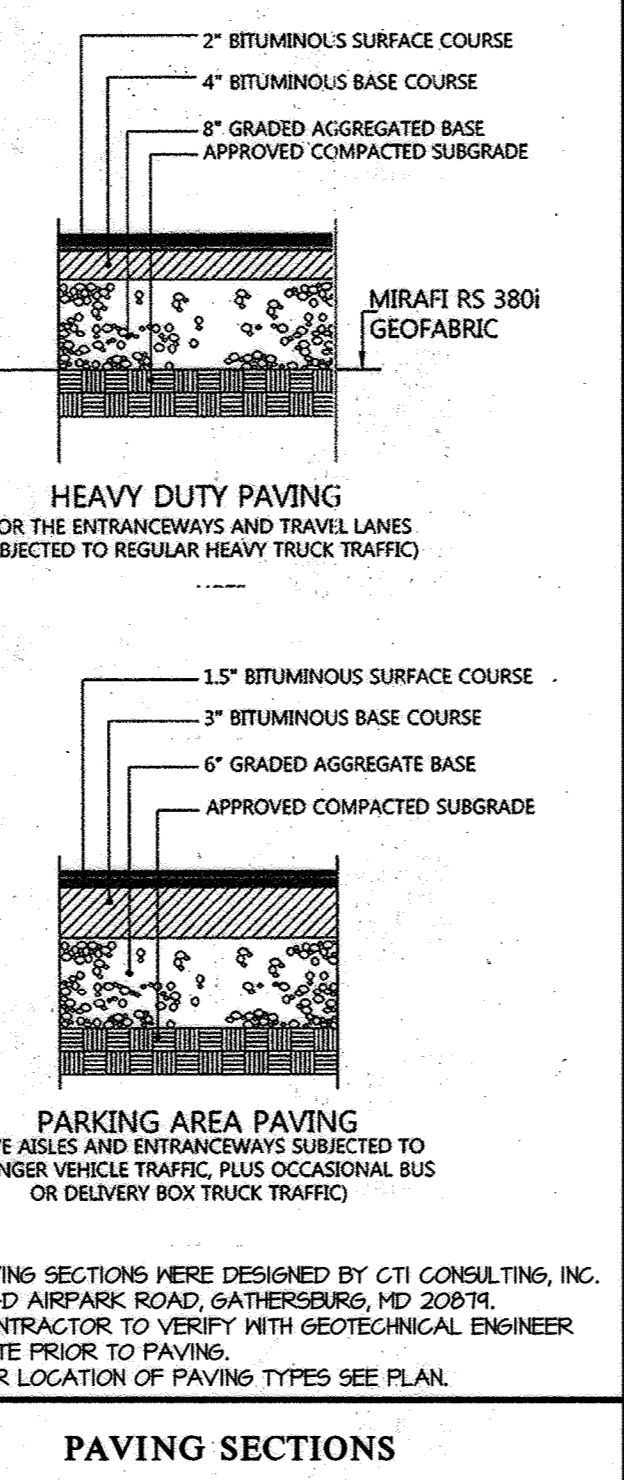
- 1 NOSE DOWN FULL HEIGHT CURB AND GUTTER TO FLUSH CURB AND GUTTER (R-3.02)
- 2 NOSE DOWN FULL HEIGHT CURB TO FLUSH CURB (1-1/2" MAX)
- 3 TRANSITION FROM 8" CURB TO 6" CURB

NOTE: ANY PAVEMENT OR CURB REMOVED FOR UTILITY INSTALLATION OR BUILDING CONSTRUCTION OUTSIDE THE LIMITS OF THE DELINEATION SHOWN SHALL BE REPLACED IN KIND.

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: **JULY 7, 2022**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Dorcas R. Smith Director Date: 9/13/23
Cheryl Miller Chief, Division of Land Development Date: 9/13/23
Chad E. Johnson Chief, Development Engineering Division Date: 9/27/23

GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186



NOTE:

- PAVING SECTIONS WERE DESIGNED BY CTI CONSULTING, INC. 1605-D AIRPARK ROAD, GATHERSBURG, MD 20878.
- CONTRACTOR TO VERIFY WITH GEOTECHNICAL ENGINEER ON-SITE PRIOR TO PAVING.
- FOR LOCATION OF PAVING TYPES SEE PLAN.

Howard County, Maryland Department of Public Works Approved: <i>Dorcas R. Smith</i> Chief, Bureau of Engineering	PAVING SECTIONS P-5 to P-8	Detail R-2.02
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LOT 28
 WHOLE FOODS
 (FORMER ROUSE COMPANY HEADQUARTERS)
 SDP-73-023

PARCEL B

MOORE CIRCLE
 PRIVATE ROAD
 EX. BITUMINOUS PAVEMENT

GRAPHIC SCALE
 1 inch = 20 ft.

REVISIONS

NO.	DATE	DESCRIPTION
08/2023		CURB TRANSITIONS REVISED

PREPARED FOR:
 OWNER: LFC MOBIL, LLC, C/O THE HOWARD HUGHES CORP., 10960 GRANTCHESTER WAY, SUITE 110, COLUMBIA, MD 21044

DEVELOPER:
 THE HOWARD RESEARCH AND DEVELOPMENT CORP., 10960 GRANTCHESTER WAY, SUITE 110, COLUMBIA, MD 21044
 ATTN: GABRIEL CHUNG 410-964-4900

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 129275
 EXPIRATION DATE: MAY 26, 2024
 8/28/23

REVISED PAVING AND CURB DELINEATION PLAN
SOUTHLAKE OFFICE BUILDING
 DOWNTOWN COLUMBIA
 LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B
 A REVISION OF SECTION I, PARCEL B (PLAT NO. 26140)
 PN: 26227 - 26228

SCALE
 1" = 20'

ZONING
 NT

G. L. W. FILE NO.
 18046

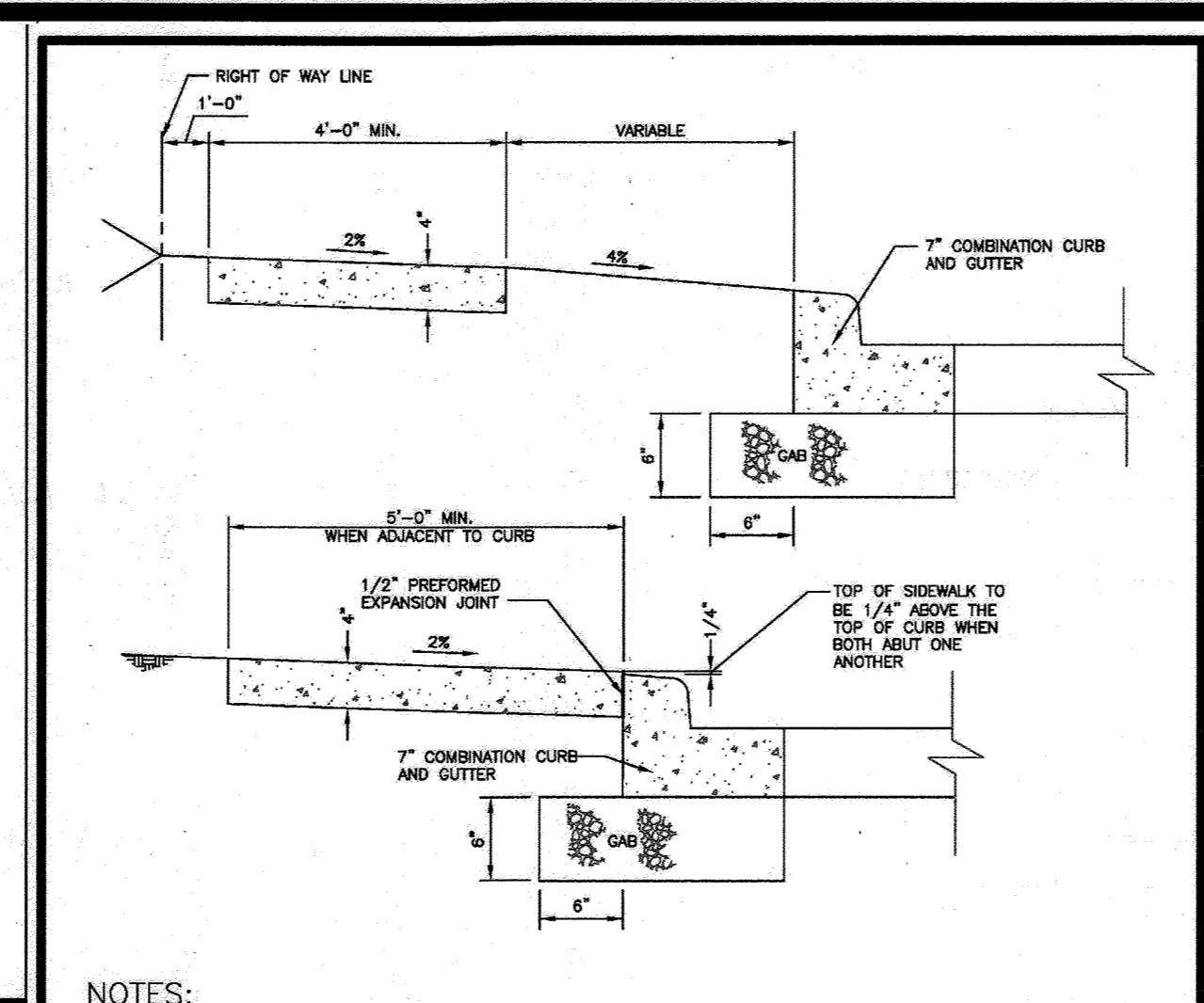
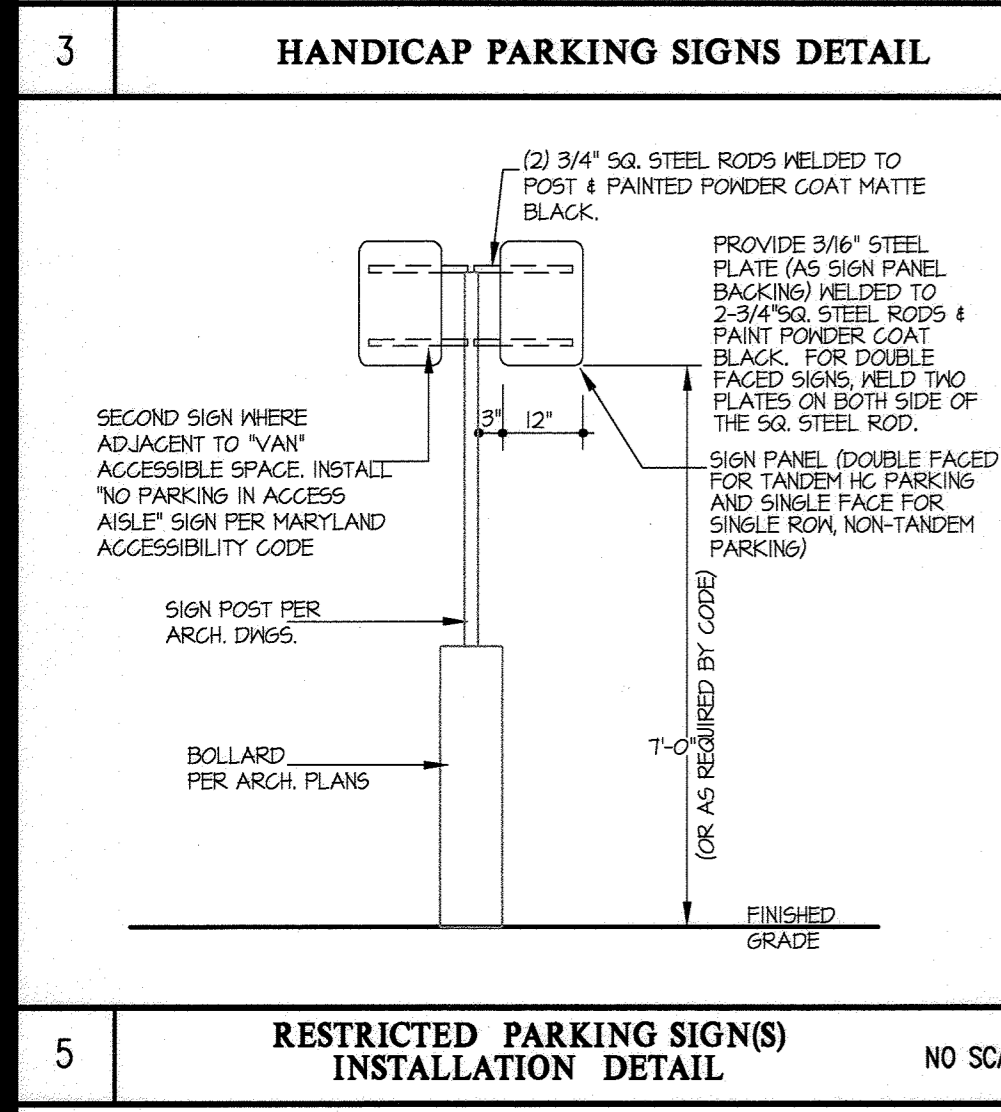
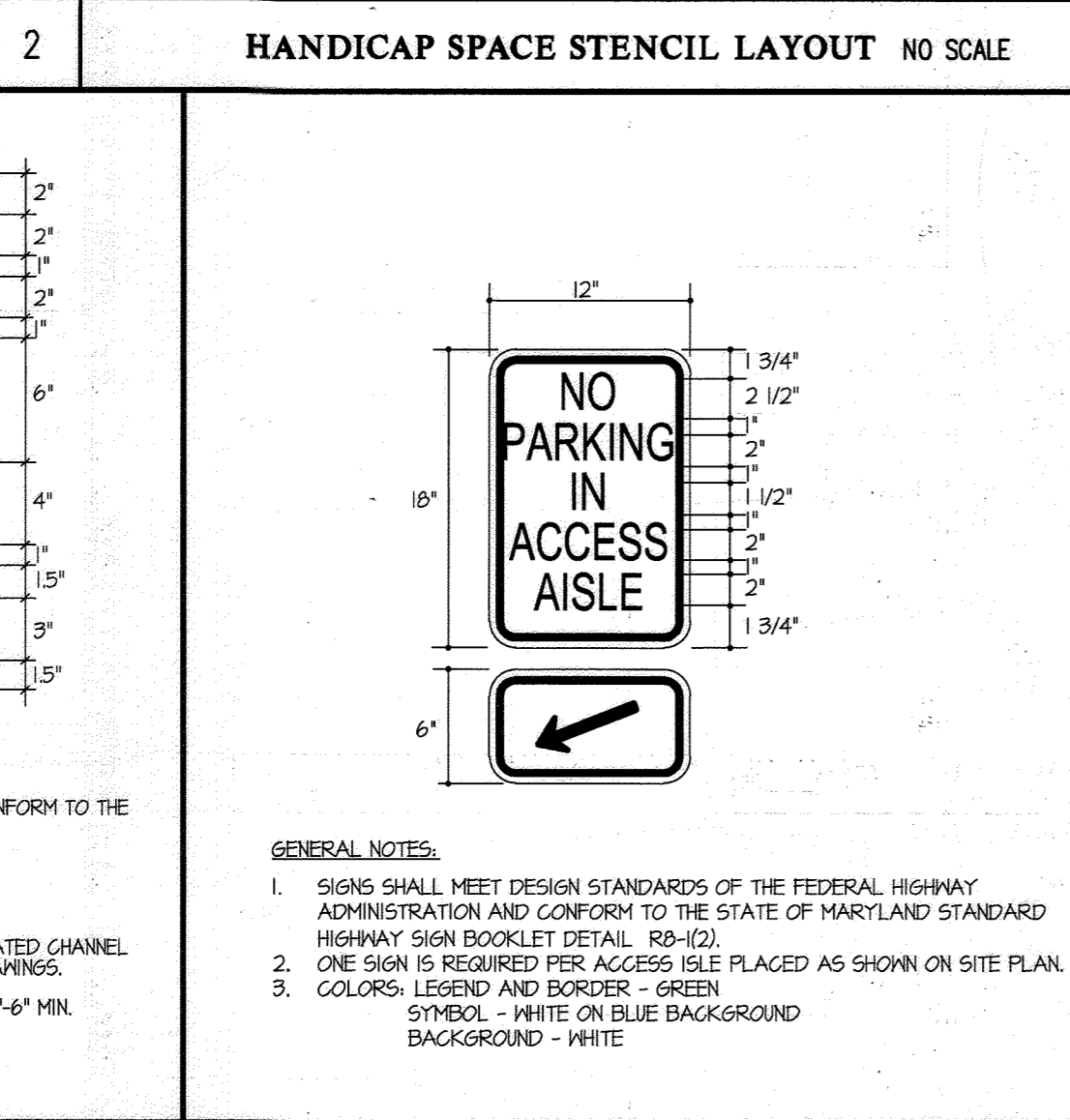
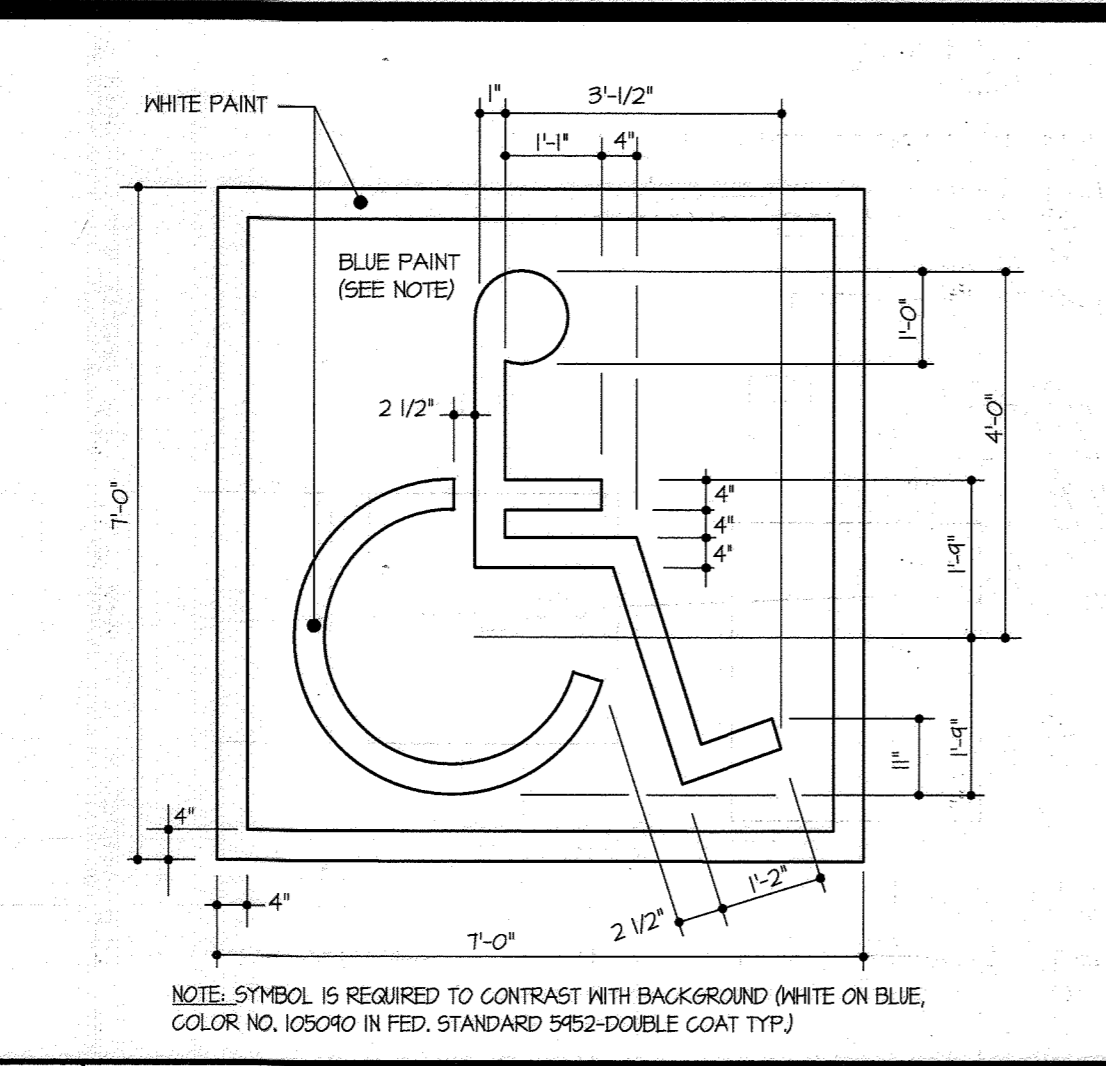
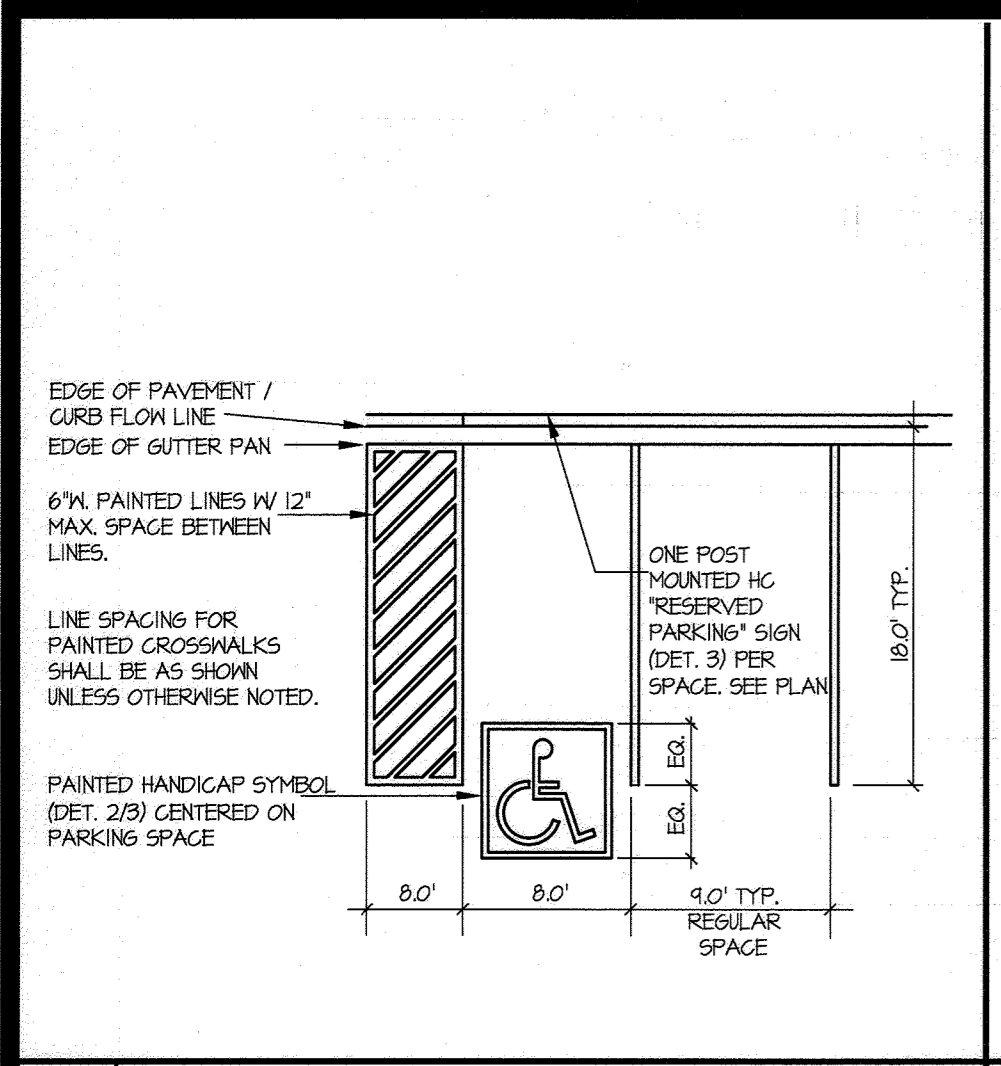
DATE
 AUG., 2023

TAX MAP - GRID
 36 - 2

SHEET
 12 OF 54

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND



- NOTES:**
1. SIDEWALK TO BE SCALED IN 5'-0\"/>

	Howard County, Maryland Department of Public Works Approved: <i>Thomas S. Smith</i> Chief, Bureau of Engineering	CONCRETE SIDEWALK	Detail R-3.05
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GENERAL NOTES:

1. THE PRIMARY FUNCTION OF THIS STRUCTURE IS TO CARRY PEDESTRIANS & BICYCLISTS.
2. BRIDGE PLATES SHALL BE MADE FROM UNWELDABLE AND ARE GENERALLY SHIPPED LOOSE FROM BRIDGE. BRIDGE ENDS SHALL BE CONSTRUCTED AT THE SAME ELEVATION.
3. BRIDGES SHALL BE DESIGNED FOR BOLTED FIELD SPICES LOCATED ON THE BRIDGE SO AS TO PRODUCE A STRUCTURE WHICH CAN BE ECONOMICALLY SHIPPED AND ERRECTED.
4. BRIDGES SHALL HAVE VERTICAL CURVES TO OFFSET ANY DESIGN DEFLECTIONS GREATER THAN 1/4\"/>

PEDESTRIAN BRIDGE NO SCALE

	PROJECT NAME PROJECT LOCATION CUSTOMER NAME CUSTOMER LOCATION	DRAWN BY: BPL CHECKED BY: JAB PRATT, PICKET RAIL, CONCRETE DECKING	W-1 SHEET 1 OF 1
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APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: JULY 7, 2022

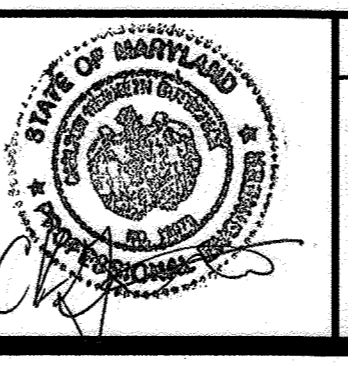
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 12/28/2022
 Director: *Ray Goman*
 Chief, Division of Land Development: *CHD Edmondson*

GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	ddd	DATE	
DRAWN BY:	ddd	REVISION	
CHECKED BY:		BY	APPR.

PREPARED FOR:
 OWNER:
 LFC MOB1, LLC,
 C/O THE HOWARD HUGHES
 CORP.
 10860 GRANTCHESTER WAY,
 SUITE 110
 COLUMBIA, MD 21044

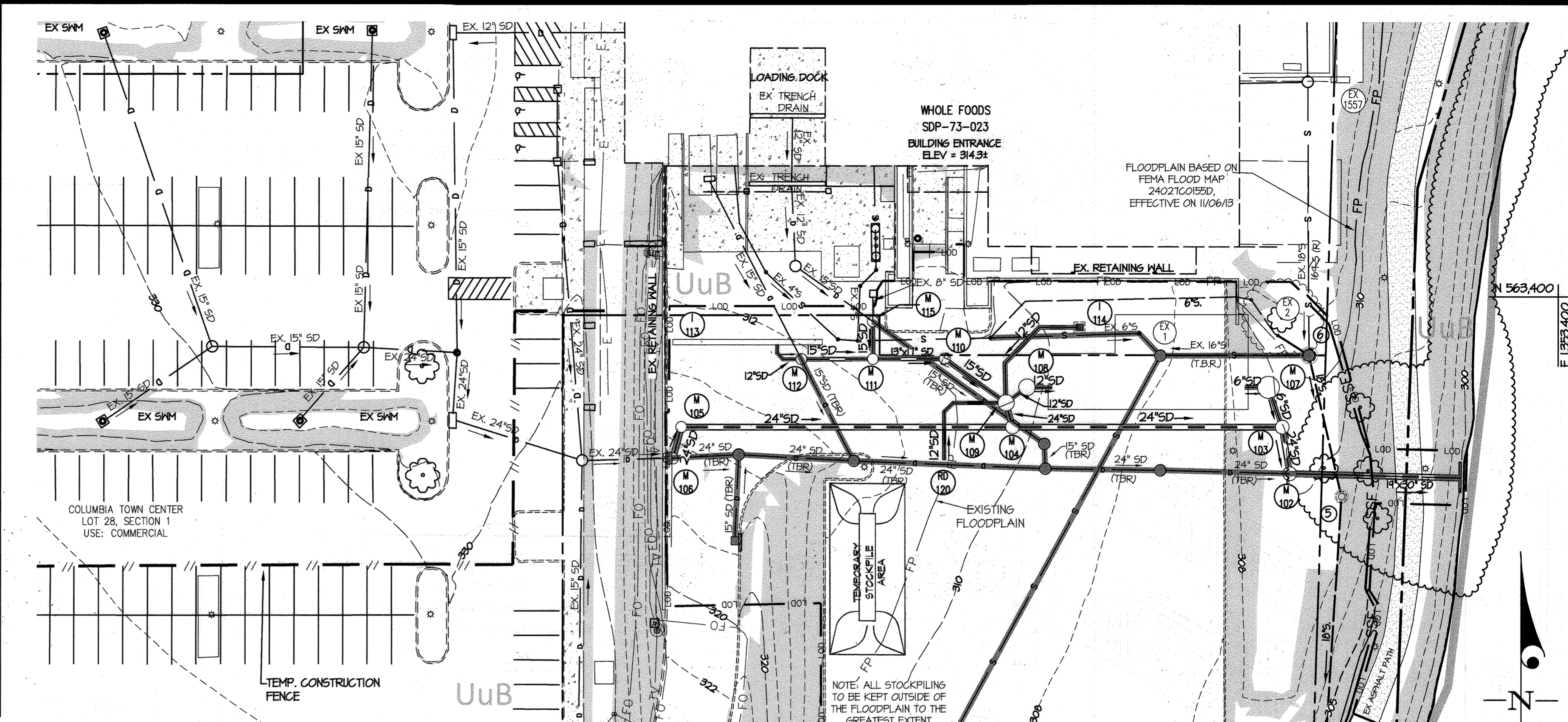
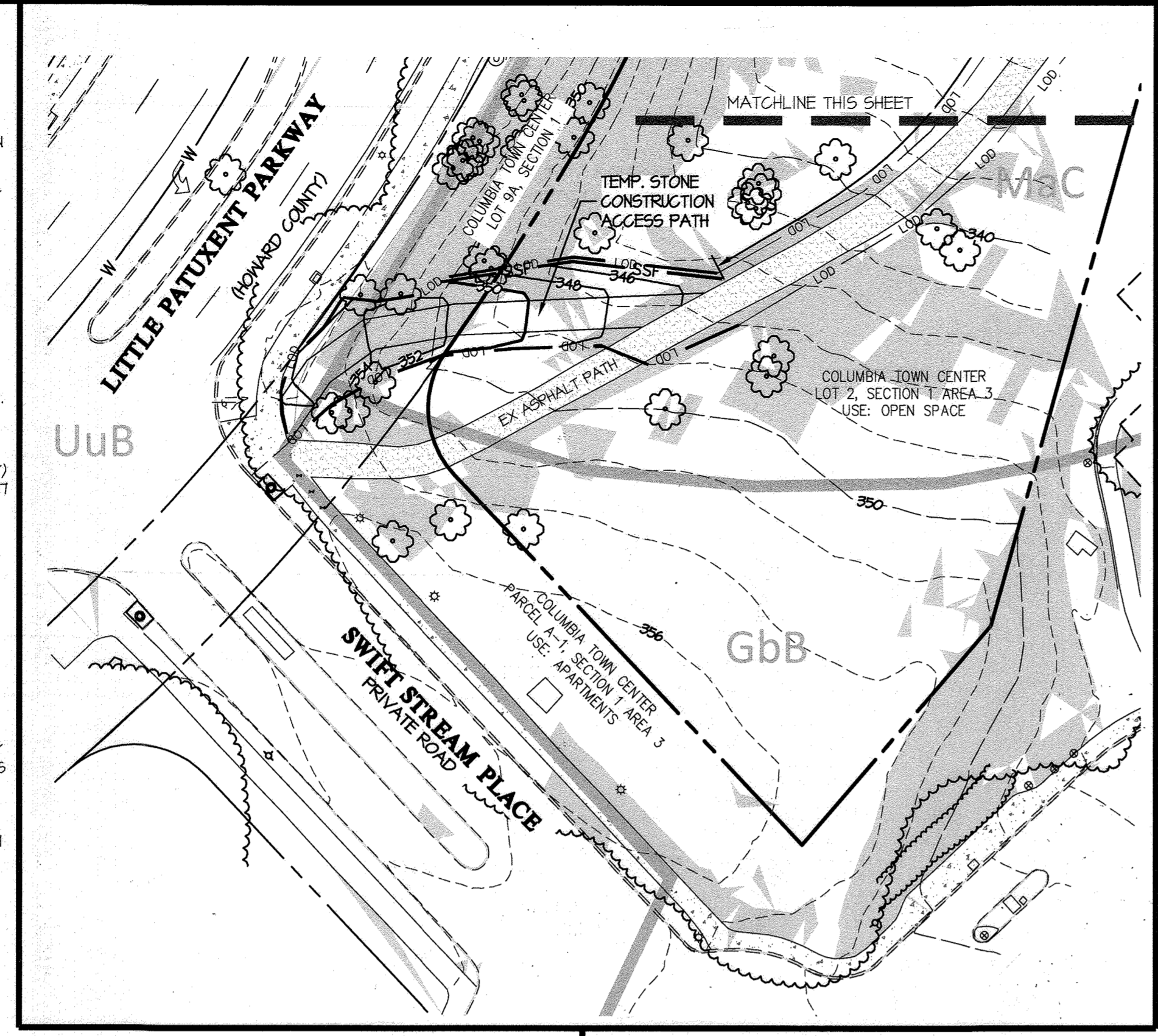
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS
 WERE PREPARED OR APPROVED BY
 ME, AND THAT I AM A DULY LICENSED
 PROFESSIONAL ENGINEER UNDER THE
 LAWS OF THE STATE OF MARYLAND,
 LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2024
 12/12/22



SITE DETAILS
SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA
LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B
 A REVISION OF SECTION I, PARCEL B (PLAT No. 26104)
 PN: 26227 - 26228
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	18046
DATE	TAX MAP - GRID	SHEET
DEC., 2022	36 - 2	13 OF 54

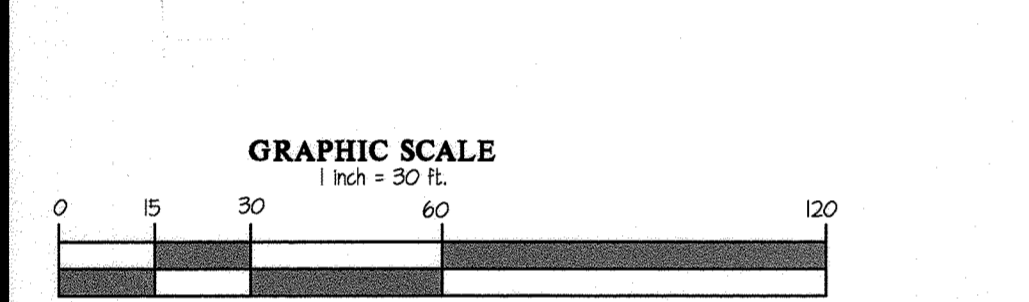
- SEQUENCE OF CONSTRUCTION:**
- SCE - STONE CONSTRUCTION ENTRANCE
 - SF - SILT FENCE
 - SSF - SUPER SILT FENCE
- PHASE I**
1. OBTAIN GRADING PERMIT AND ARRANGE FOR AN ON SITE PRE-CONSTRUCTION MEETING. (1 DAY)
 2. INSTALL SCE, AND SSF. INSTALL SSF ON THE LAKE SIDE OF THE ASPHALT TRAIL IN THE VICINITY OF SEWER MANHOLE 4. INSTALL SSF AND TEMPORARY STONE ACCESS PATH. STABILIZE ANY DISTURBANCE FOR ACCESS PATH (5 DAYS)
 3. INSTALL SEWER FROM MH-1 TO MH-3 AND MH-2 TO MH-1 (3 DAYS)
 4. INSTALL 24" ACCESS CULVERT. NOTE CROSSING IS NOT A REGULATED STREAM.
 5. CLOSE LAKE KITTAMAQUINDI TRAIL, REMOVE EXISTING 18" STORM DRAIN AT SOUTHEAST CORNER OF PARKING LOT AND INSTALL SEWER FROM MH-3 TO MH-5 (8 DAYS)
 6. REMOVE EXISTING 24" STORM DRAIN BETWEEN STORM MANHOLE M-102 AND EXISTING HEADWALL 100. INSTALL PROPOSED 18"x30" SD AND M-102. TEMPORARY CONNECT EXISTING 24" STORM DRAIN INTO STORM MANHOLE 102. (3 DAYS)
 7. REBUILD ASPHALT TRAIL OVERTOP OF SEWER. STABILIZE ALL DISTURBANCE ON THE EAST SIDE OF THE TRAIL. RELOCATE SSF TO THE WEST SIDE OF THE TRAIL AS SHOWN. REOPEN LAKE KITTAMAQUINDI TRAIL TO THE PUBLIC. (1 DAY)
 8. INSTALL TEMPORARY SEWER BYPASS BETWEEN EXISTING SEWER MANHOLE 1557 (164-S) AND EXISTING SEWER MANHOLE 1 (167-ADO). SEE CONTRACT 24-5190-D FOR ADDITIONAL INFORMATION. (1 DAY)
 9. REMOVE EXISTING SEWER MANHOLE 2 (167-ADO), INSTALL SEWER MH 6 AND SEWER FROM MH-6 TO MH-5. (1 DAY)
 10. INSTALL 6" SEWER FROM SEWER MH-6 TO TIE IN LOCATION WITH THE EXISTING 6" SHC SERVING THE WHOLE FOODS BUILDING (NEAR STORM MH 110). (1 DAY)
 11. REMOVE SEWER PUMP AROUND AT SEWER MANHOLE 1557 (1 DAY)
 12. EXCAVATION FOR BUILDING FOOTINGS MAY BEGIN AT THIS POINT IN THE AREAS WHERE EXISTING UTILITIES HAVE BEEN REMOVED.
 13. INSTALL TEMPORARY SEWER BYPASS BETWEEN EXISTING SEWER MANHOLE 1 (C-2485) AND SEWER MANHOLE 1 (24-5190-D) (1 DAY)
 14. REMOVE MANHOLE 1556. INSTALL MANHOLE 8 (24-5190) AND SEWER FROM MH-8 TO MH-7 (1 DAY)
 15. REMOVE TEMPORARY SEWER BYPASS AT EX MH 1 (C-2485) AND REMOVE ANY REMAINING SEWER WITHIN PARKING LOT CALLED OUT TO BE REMOVED ON THIS PLAN. (1 DAY)
 16. INSTALL STORM DRAIN FROM M-102 TO MH-103 TO RIGHT BEFORE M-104. STOP AT CROSSING WITH EXISTING 15" STORM DRAIN. (1 DAY)
 17. ON A DRY DAY WITH NO RAIN IN THE FORECAST, REMOVE EXISTING 15" STORM DRAIN BETWEEN M-104 AND M-115. INSTALL REMAINING STORM DRAIN UP TO M-104, AND STORM FROM M-104 TO M-115 AND M-112. DO NOT INSTALL WEIR FLATE IN MH-106 AND BLOCK OPENING FROM M-104 TO M-108. (1 DAY)
 18. INSTALL STORM DRAIN FROM M-104 TO M-106, M-112 TO M-113, M-104 TO M-114, AND M-104 TO RD-120. (1 DAY)
 19. INSTALL STORM DRAIN FROM M-104 TO M-103 AND CONTECH CHAMBERMAXX. LEAVE OPENING FROM M-104 TO M-109 BLOCKED UNTIL BUILDING CONSTRUCTION IS COMPLETE. (2 DAYS)
 20. REMOVE ANY REMAINING STORM DRAIN WITHIN PARKING LOT CALLED OUT TO BE REMOVED ON THIS PLAN. (2 DAYS).



PROCEEDED TO PHASE 2

NOTE: FLOODPLAIN DISTURBANCE IS UNDER REVIEW BY MDE. TRACKING # AI #1144935/202260645

SEE SHEET 15 FOR BEST MANAGEMENT PRACTICES FOR WORKING IN NONTIDAL WETLANDS, WETLAND BUFFERS, WATERWAYS, AND 100-YEAR FLOODPLAINS



THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Designed by: **Alexander Bratkevic** 12/22/2022

HOWARD SOIL CONSERVATION DISTRICT DATE

DEVELOPER'S CERTIFICATE

I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC, ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

Signature: **Greg Fitchitt** 12/12/22

SIGNATURE OF DEVELOPER/BUILDER DATE

GREG FITCHITT, VICE PRESIDENT

PRINTED NAME & TITLE

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS THAT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: **Carl Gutschick** 12/15 (P.E.)

ENGINEER'S SIGNATURE DATE

CARL GUTSCHICK 1215 (P.E.)

PRINTED NAME MD REGISTRATION NO.

APPROVED PLANNING BOARD OF HOWARD COUNTY

Date: **JULY 7, 2022**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

12/28/2022

Director: **Any Green** Date: 12/22/2022

Chief, Division of Land Development Date: 12/27/2022

Chief, Development Engineering Division Date:

SOILS (on site)

Map Unit	Map Unit Name	Type	K Factor
UB	Urban land-urban/therms complex, 0 to 8 percent slopes	D	0.28

HOWARD COUNTY SOIL MAP NUMBER: 18 - SAVAGE NH

NOTES:

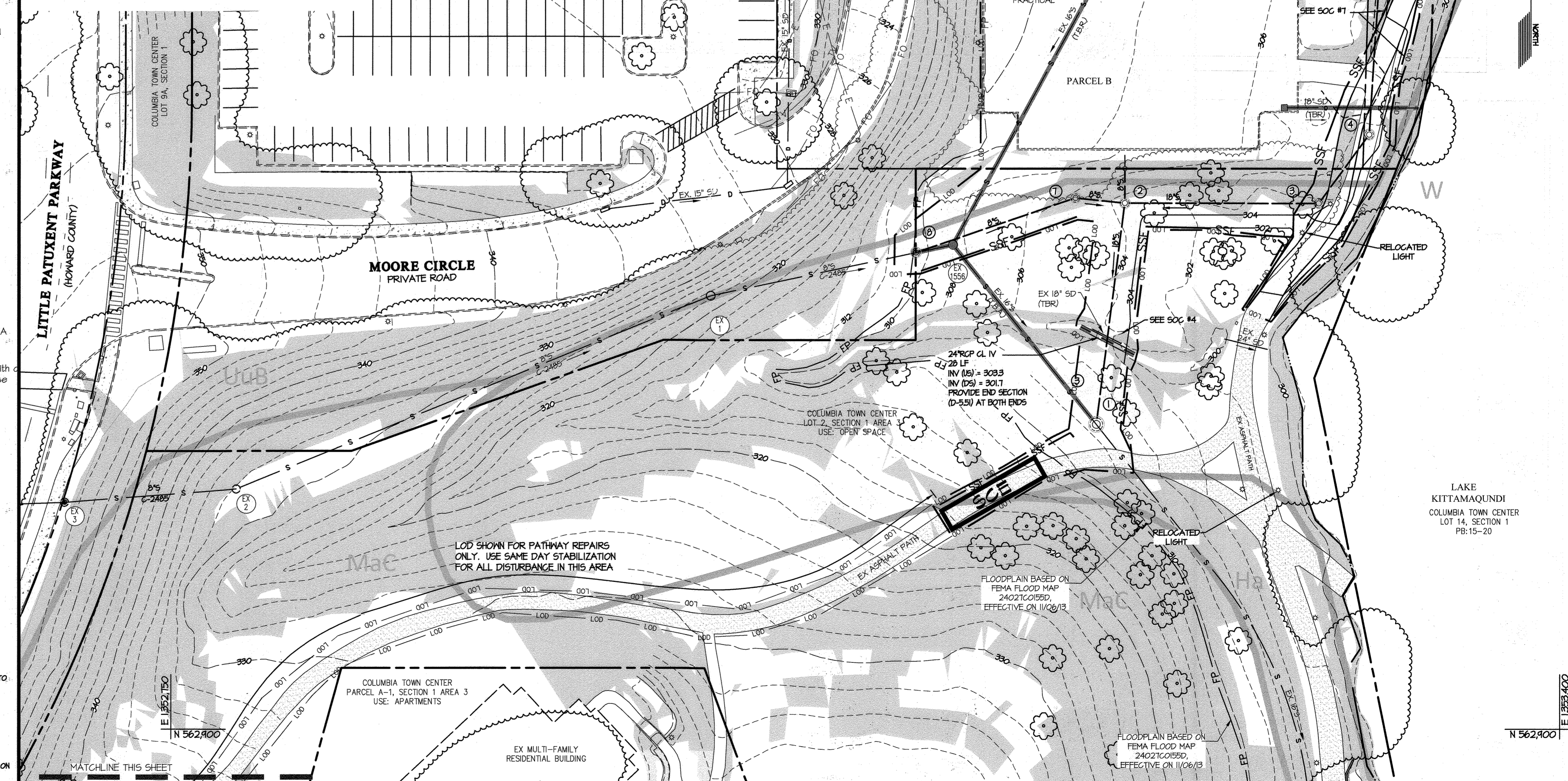
1. STANDARD SILT FENCE MAY BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
2. WHEN SUPER SILT FENCE IS RUNNING AT A SLOPE GREATER THEN 5% FOR A DISTANCE OVER 50', CURL FENCE UP 2' FOR EVERY 2' OF ELEVATION CHANGE ALONG SILT FENCE.
3. SEDIMENT CONTROL INSPECTOR MAY RELOCATE STABILIZED CONSTRUCTION ENTRANCES.
4. SEE DETAIL B-4-B ON SHEET 16 FOR STOCKPILE BENCHING REQUIREMENTS.
5. ANY SEDIMENT CONTROLS INTERRUPTED BY THE INSTALLATION OF A UTILITY IS TO BE REPAIRED IMMEDIATELY.

STANDARD STABILIZATION NOTE:

FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:

A) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3H:1), AND

B) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.



GLW PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
PHONE: 301-421-4024 | BALTO: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4188

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APPR.
ddd	ddd					

PREPARED FOR:

OWNER: LFC MOB1, LLC, C/O THE HOWARD HUGHES 10890 GRANTCHESTER WAY, SUITE 110 COLUMBIA, MD 21044

DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP. 10890 GRANTCHESTER WAY, SUITE 110 COLUMBIA, MD 21044 ATTN: GABRIEL CHUNG 410-884-4800

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975

EXPIRATION DATE: MAY 26, 2024

12/12/22

SEDIMENT CONTROL PLAN - PHASE I

SOUTHLAKE OFFICE BUILDING

DOWNTOWN COLUMBIA

LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B

A REVISION OF SECTION 1, PARCEL B (PLAT No. 26140)

PN: 26227 - 26228

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	NT	18046
DATE	TAX MAP - GRID	SHEET
DEC, 2022	36 - 2	14 OF 5.4

- BEST MANAGEMENT PRACTICES FOR WORKING IN NONTIDAL WETLANDS, WETLAND BUFFERS, WATERWAYS, AND 100-YEAR FLOODPLAIN**
- NO EXCESS FILL, CONSTRUCTION MATERIAL, OR DEBRIS SHALL BE STOCKPILED OR STORED IN NONTIDAL WETLANDS, NONTIDAL WETLAND BUFFERS, WATERWAYS, OR THE 100-YEAR FLOODPLAIN.
 - PLACE MATERIALS IN A LOCATION AND MANNER WHICH DOES NOT ADVERSELY IMPACT SURFACE OR SUBSURFACE WATER FLOW INTO OR OUT OF NONTIDAL WETLANDS, NONTIDAL WETLAND BUFFERS, WATERWAYS, OR THE 100-YEAR FLOODPLAIN.
 - DO NOT USE THE EXCAVATED MATERIAL AS BACKFILL IF IT CONTAINS WASTE METAL PRODUCTS, INSIGHTLY DEBRIS, TOXIC MATERIAL, OR ANY OTHER DELETERIOUS SUBSTANCE. IF ADDITIONAL BACKFILL IS REQUIRED, USE CLEAN MATERIAL FREE OF WASTE METAL PRODUCTS, INSIGHTLY DEBRIS, TOXIC MATERIAL, OR ANY OTHER DELETERIOUS SUBSTANCE.
 - PLACE HEAVY EQUIPMENT ON MATS OR SUITABLY OPERATE THE EQUIPMENT TO PREVENT DAMAGE TO NONTIDAL WETLANDS, NONTIDAL WETLAND BUFFERS, WATERWAYS, OR THE 100-YEAR FLOODPLAIN.
 - REPAIR AND MAINTAIN ANY SERVICEABLE STRUCTURE OR FILL SO THERE IS NO PERMANENT LOSS OF NONTIDAL WETLANDS, NONTIDAL WETLAND BUFFERS, OR WATERWAYS, OR PERMANENT MODIFICATION OF THE 100-YEAR FLOODPLAIN IN EXCESS OF THAT LOSS UNDER THE ORIGINALLY AUTHORIZED STRUCTURE OR FILL.
 - RECTIFY ANY NONTIDAL WETLANDS, WETLAND BUFFERS, WATERWAYS, OR 100-YEAR FLOODPLAIN TEMPORARILY IMPACTED BY ANY CONSTRUCTION.
 - ALL STABILIZATION IN THE NONTIDAL WETLAND AND NONTIDAL WETLAND BUFFER SHALL CONSIST OF THE FOLLOWING SPECIES: ANNUAL RYEGRASS (LOLIUM MULTIFLORUM), MILLET (SETARIA ITALICA), BARLEY (HORDEUM SP.), GRASS (POA SP.), AND/OR RYE (SECALE CEREALE). THESE SPECIES WILL ALLOW FOR THE STABILIZATION OF THE SITE WHILE ALSO ALLOWING FOR THE VOLUNTARY REVEGETATION OF NATURAL WETLAND SPECIES. OTHER NON-PERSISTENT VEGETATION MAY BE ACCEPTABLE BUT MUST BE APPROVED BY THE NONTIDAL WETLANDS AND WATERWAYS DIVISION, KENTUCKY. PESTICIDE SHALL NOT BE UTILIZED IN WETLAND OR BUFFER AREAS. THE AREA SHOULD BE SEEDED AND MULCHED TO REDUCE EROSION AFTER CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
 - AFTER INSTALLATION HAS BEEN COMPLETED, MAKE POST-CONSTRUCTION GRADES AND ELEVATIONS THE SAME AS THE ORIGINAL GRADES AND ELEVATIONS IN TEMPORARILY IMPACTED AREAS.
 - TO PROTECT AQUATIC SPECIES, IN-STREAM WORK IS PROHIBITED AS DETERMINED BY THE CLASSIFICATION OF THE STREAM. NOT APPLICABLE TO THIS PROJECT. THERE ARE NO STREAMS WITHIN THE VICINITY OF THE LOD.
 - STORMWATER RUNOFF FROM IMPERVIOUS SURFACES SHALL BE CONTROLLED TO PREVENT THE WASHING OF DEBRIS INTO THE WATERWAY.
 - CULVERTS SHALL BE CONSTRUCTED AND ANY RIPRAP PLACED SO AS NOT TO OBSTRUCT THE MOVEMENT OF AQUATIC SPECIES, UNLESS THE PURPOSE OF THE ACTIVITY IS TO IMPOUND WATER.

NOTE: FLOODPLAIN DISTURBANCE HAS BEEN APPROVED BY MDE. TRACKING #: AI #14435/20220645

SEQUENCE OF CONSTRUCTION - PHASE 2:

- RECONFIGURE SGF AS SHOWN ON THIS PLAN (1 DAY)
- BRING PARKING AREA TO THE NORTH OF THE BUILDING AND EAST OF THE LOADING DOCKS UP TO ITS ULTIMATE GRADE AND BASE PAVE. INSTALL INLET PROTECTION ON I-114. (5 DAYS)
- INSTALL TEMPORARY ASPHALT BERM (1 DAY)
- REMOVE ALL EXISTING PAVEMENT AND CURB WITHIN BUILDING FOOTPRINT (2 DAYS)
- BEGIN BUILDING CONSTRUCTION. ONCE BUILDING BLOCKS ACCESS ROUTE FROM LOT 2, REPAIR PATHWAY TO EXISTING CONDITIONS, REMOVE SGF, REMOVE AND RESTORE TEMPORARY STONE ACCESS PATH, AND REMOVE ANY REMAINING SEDIMENT CONTROLS IN LOT 2. RE-OPEN PATHWAY TO THE PUBLIC. (4 MONTHS)
- CONSTRUCT RETAINING WALLS AT THE SOUTHEAST CORNER OF THE BUILDING (30 DAYS)
- PRIOR TO THE BRIDGE CONSTRUCTION, INSTALL PUBLIC 8" WATER FROM WHOLE FOODS ENTRANCE TO THE END AT THE LOADING DOCK (10 DAYS)
- INSTALL BRIDGE AND NEW DRIVE AISLE IN THE UPPER PARKING LOT (20 DAYS)
- ONCE BUILDING IS MOSTLY COMPLETE, INSTALL ANY REMAINING UTILITIES, CURB, AND PAVEMENT. (10 DAYS)
- STABILIZE ANY REMAINING DISTURBED AREAS, REMOVE SGF, INLET PROTECTION, AND ANY REMAINING SEDIMENT CONTROLS (5 DAYS)
- INSTALL WEIR PLATE IN M-104 AND UNBLOCK OPENING TO M-106. (1 DAY)

- WATER NOTES**
- ANY WATERLINE CONSTRUCTION IN THE ACTIVE PARKING LOT MUST BE DONE AT NIGHT WHEN WHOLE FOODS IS CLOSED TO THE PUBLIC. METAL PLATES SHALL BE PLACED OVER ANY TRENCHES EVERY MORNING SO THE PARKING LOT CAN BE REOPENED. METAL PLATES SHALL NOT EXTEND INTO ANY EXISTING ADA SPACES.
 - 8" WATER LINES SHALL BE INSTALLED USING SAME DAY STABILIZATION.

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Designed by: Alexander Bratovic 12/22/2022
 HOWARD SOIL CONSERVATION DISTRICT DATE

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

Signature of Developer/Builder: Greg Pittchett 12/12/22
 GREG FITCHETT, VICE PRESIDENT DATE
 PRINTED NAME & TITLE

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

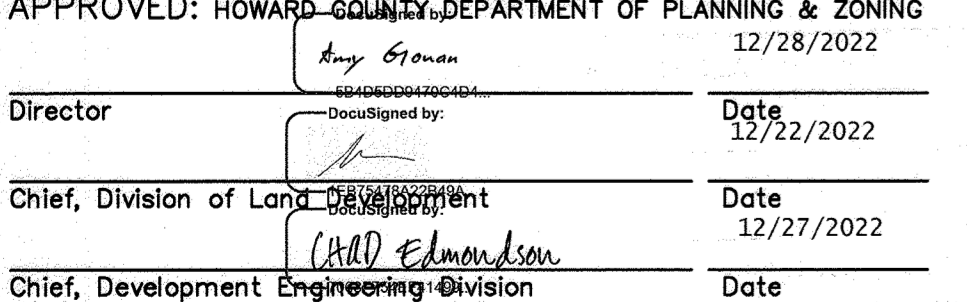
Engineer's Signature: Carl Gutschick 12/15 (P.E.)
 CARL GUTSCHICK DATE
 PRINTED NAME & MD REGISTRATION NO.

APPROVED PLANNING BOARD OF HOWARD COUNTY

Date: JULY 7, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

12/28/2022
 Director: Angy Granan Date: 12/22/2022
 Chief, Division of Land Development: Chad Edmondson Date: 12/27/2022
 Chief, Development Engineering Division



SOILS (on site)

Map Unit	Map Unit Name	Type	K Factor
WB	Urban land-Urbans complex, 0 to 8 percent slopes	D	0.28

HOWARD COUNTY SOIL MAP NUMBER: 10 - SAVAGE NM

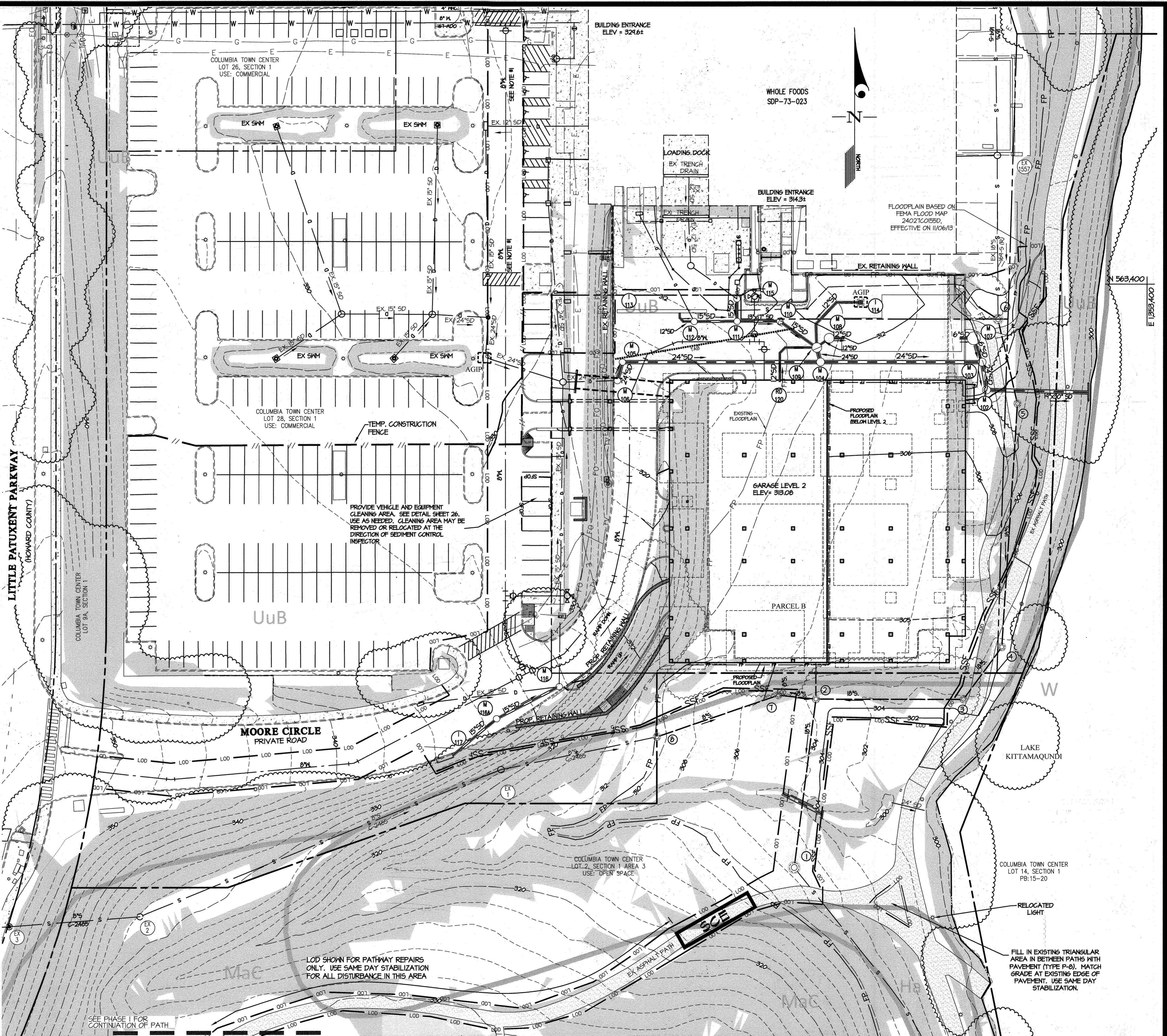
- NOTES:**
- STANDARD SILT FENCE MAY BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
 - WHEN SUPER SILT FENCE IS RUNNING AT A SLOPE GREATER THAN 5% FOR A DISTANCE OVER 50', CURL FENCE UP 2' FOR EVERY 2' OF ELEVATION CHANGE ALONG SILT FENCE.
 - SEDIMENT CONTROL INSPECTOR MAY RELOCATE STABILIZED CONSTRUCTION ENTRANCES.
 - SEE DETAIL B-4-B ON SHEET 16 FOR STOCKPILE BENCHING REQUIREMENTS.
 - ANY SEDIMENT CONTROLS INTERRUPTED BY THE INSTALLATION OF A UTILITY IS TO BE REPAIRED IMMEDIATELY.

STANDARD STABILIZATION NOTE:

FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:

- THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SHALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 5 HORIZONTAL TO 1 VERTICAL (5:1) AND
- SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE DISTURBANCE.

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APPR.
dde	dde					



PREPARED FOR:

OWNER: LFC MGB1, LLC, C/O THE HOWARD HUGHES CORP., 10980 GRANTCHESTER WAY, SUITE 110, COLUMBIA, MD 21044

DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP., 10980 GRANTCHESTER WAY, SUITE 110, COLUMBIA, MD 21044, ATTN: GARIB, CHANG 410-564-4800

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 28, 2024.

12/17/22

SEDIMENT CONTROL PLAN - PHASE 2

SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA
LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B
 A REVISION OF SECTION 1, PARCEL B (PLAT NO. 26140)

SCALE: 1" = 30'

ZONING: NT

G. L. W. FILE NO.: 18046

DATE: DEC., 2022

TAX MAP - GRID: 36 - 2

SHEET: 15 OF 54

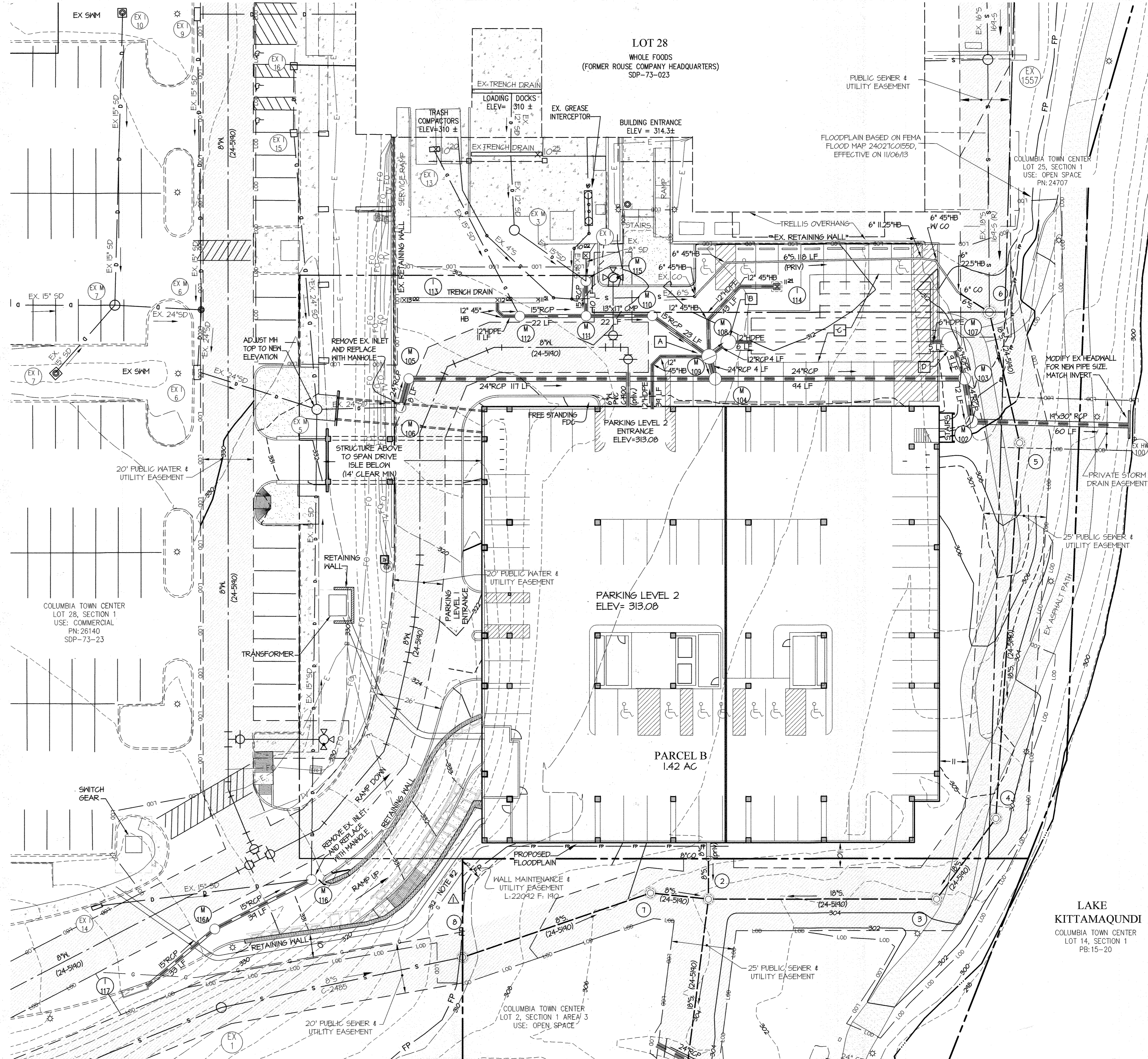
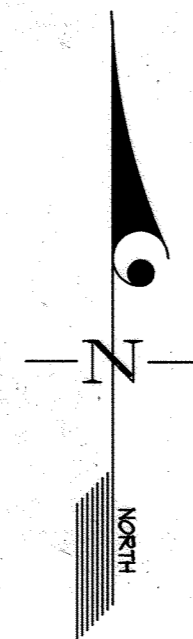
ELECTION DISTRICT No. 5

PN: 26227 - 26228

HOWARD COUNTY, MARYLAND

- LEGEND**
- A SPLITTER MANHOLE
 - B STORMCEPTOR STC-400
SEE DETAIL SHEET 21
 - C 50 - CONTECH CHAMBERMAXX
CHAMBERS SURROUNDED IN STONE.
4310 CF OF STORAGE
SEE DETAIL SHEET 22
 - D STORMFILTER SFM116 W/ NINE
21" CARTRIDGES
SEE DETAIL SHEET 21
 - HB HORIZONTAL BEND
 - CO CLEANOUT (S-2.22)
NOTE: ALL CLEANOUTS IN PAVEMENT
TO BE H5-20 RATED

NOTES:
 1. LOTS 28 AND PARCEL B ARE SUBJECT TO A RECIPROCAL EASEMENT AGREEMENT RECORDED L. 21111 F. 102 WHICH ALLOWS PRIVATE UTILITIES TO CROSS PROPERTY LINES.
 2. DATA DUCT BANK AND GAS LINE BY OTHERS. FINAL LOCATION AND ELEVATION MUST BE COORDINATED WITH RETAINING WALL AND MAY NOT ENCR OACH INTO THE SEWER EASEMENT OR FLOODPLAIN

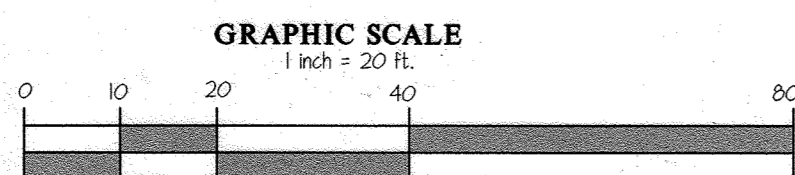


APPROVED
 PLANNING BOARD OF HOWARD COUNTY

Date: JULY 7, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: 9/13/23
 Date: 9/13/23
 Chief, Division of Land Development: 9.7.23
 Date: 9.7.23
 Chief, Development Engineering Division: JK
 Date: 9.7.23



GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	ddc
DRAWN BY:	ddc
CHECKED BY:	
DATE:	08/2023
REVISION:	RETAINING WALL LOCATION REVISED
BY:	
APPR:	

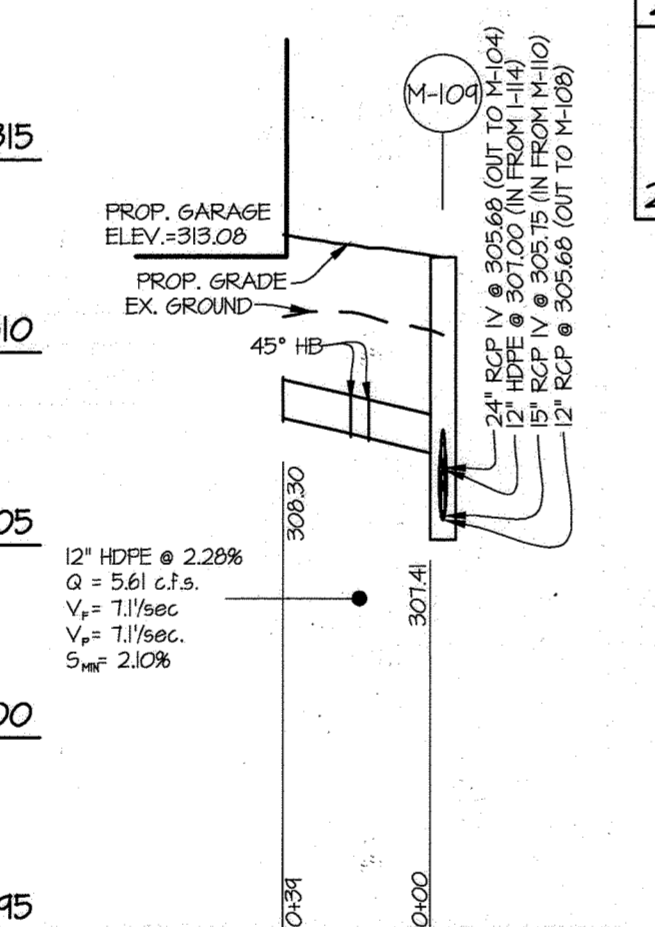
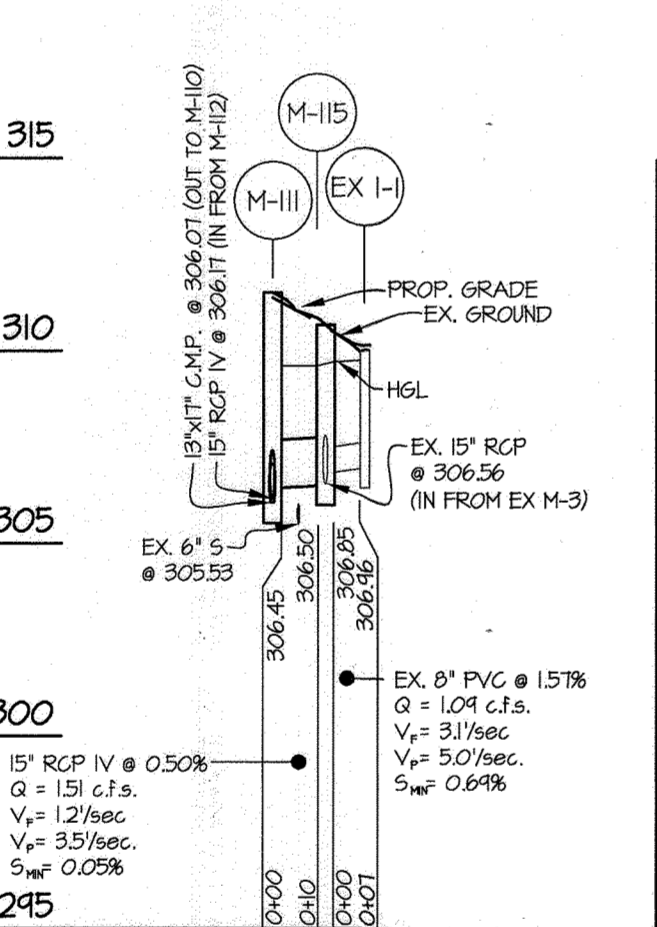
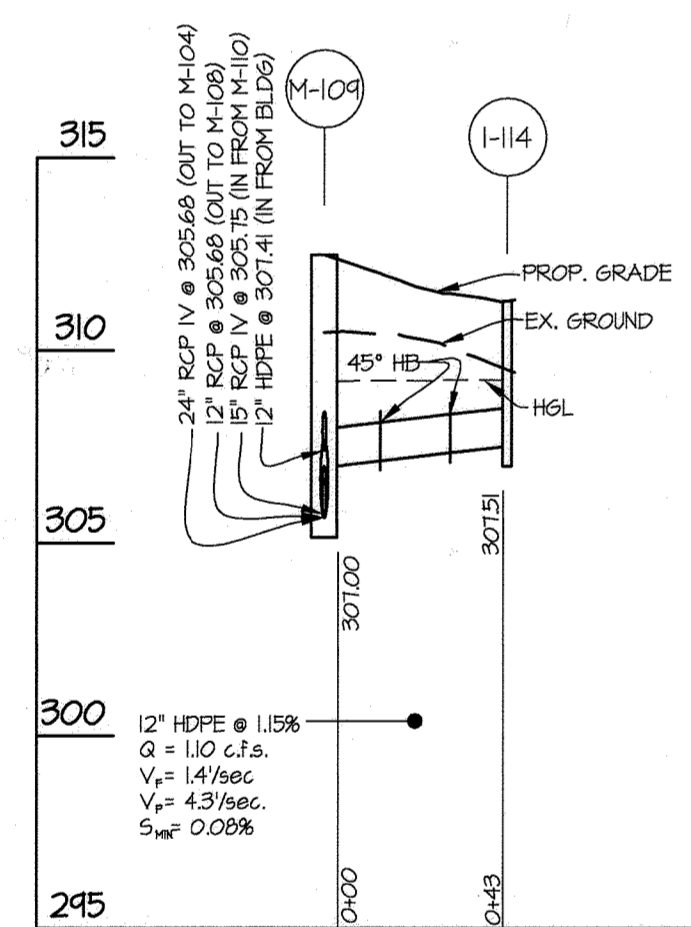
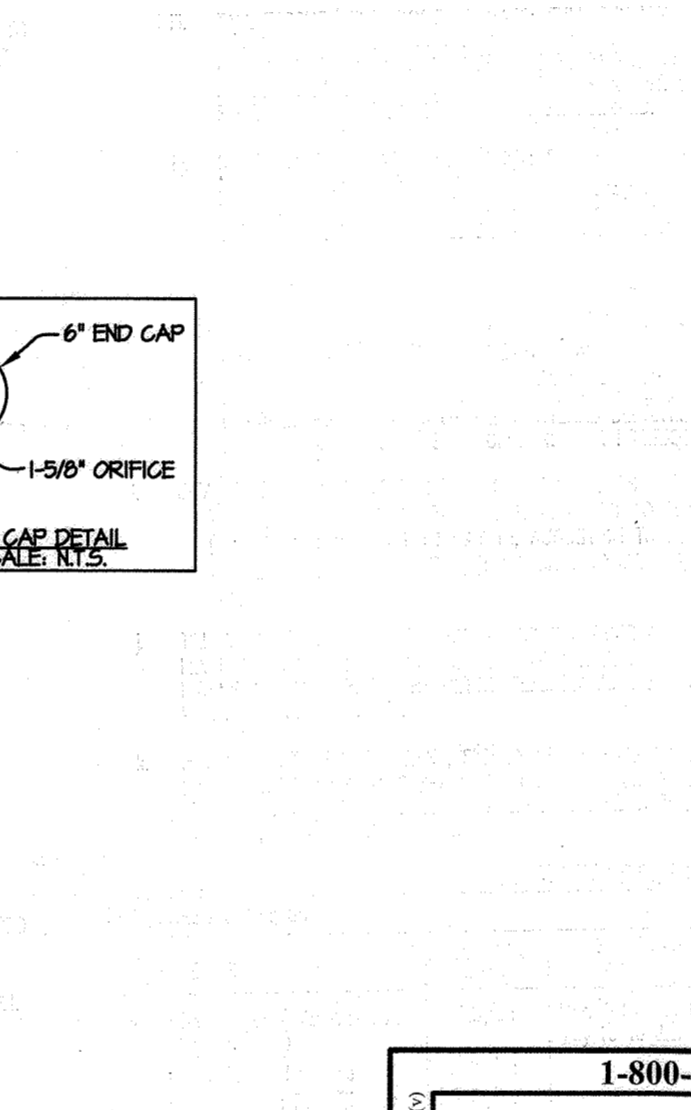
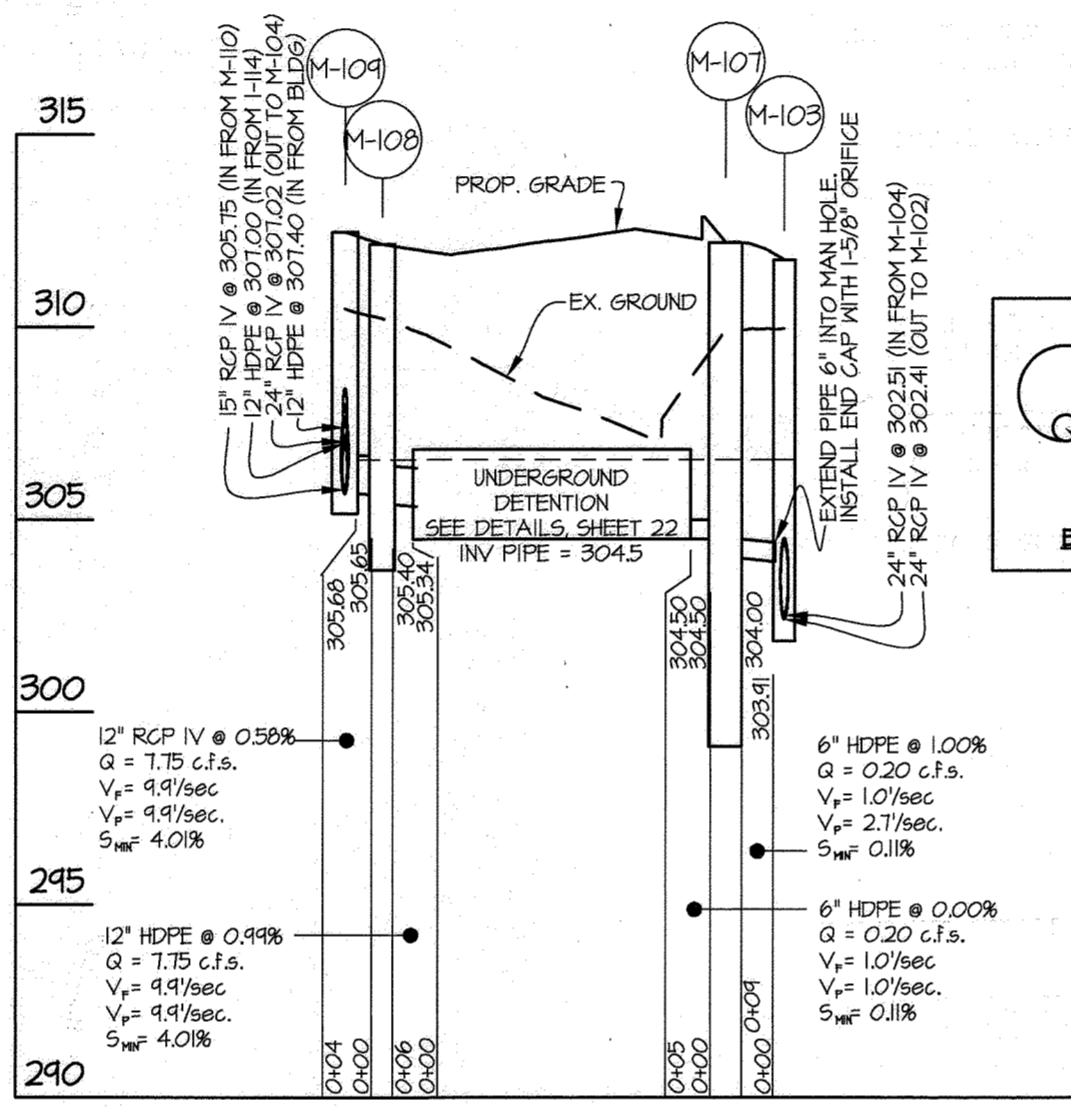
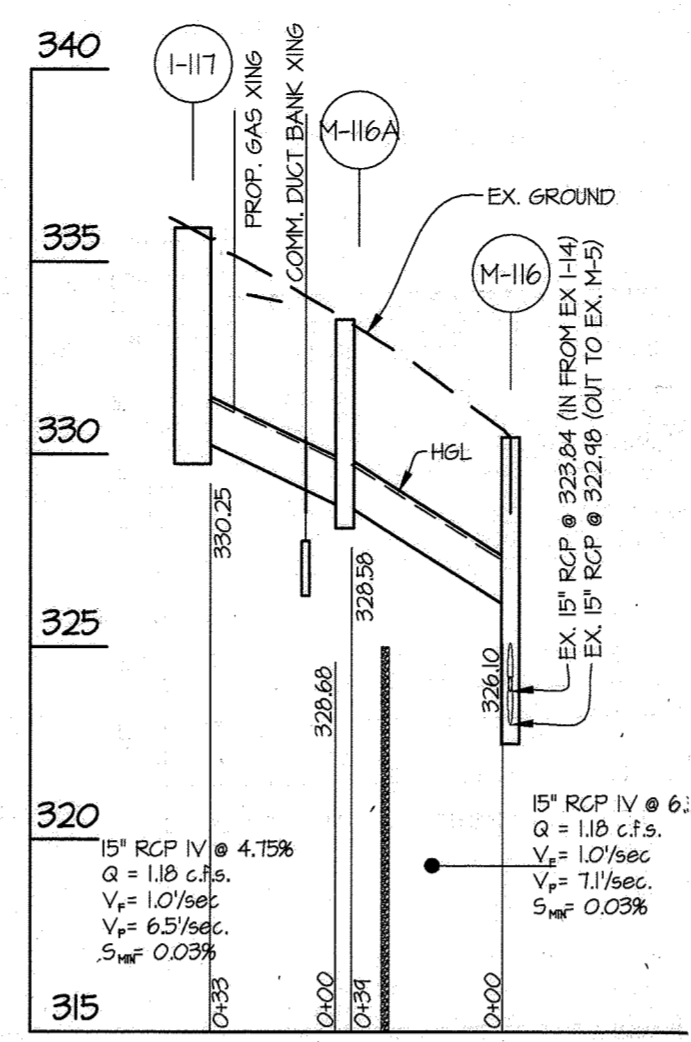
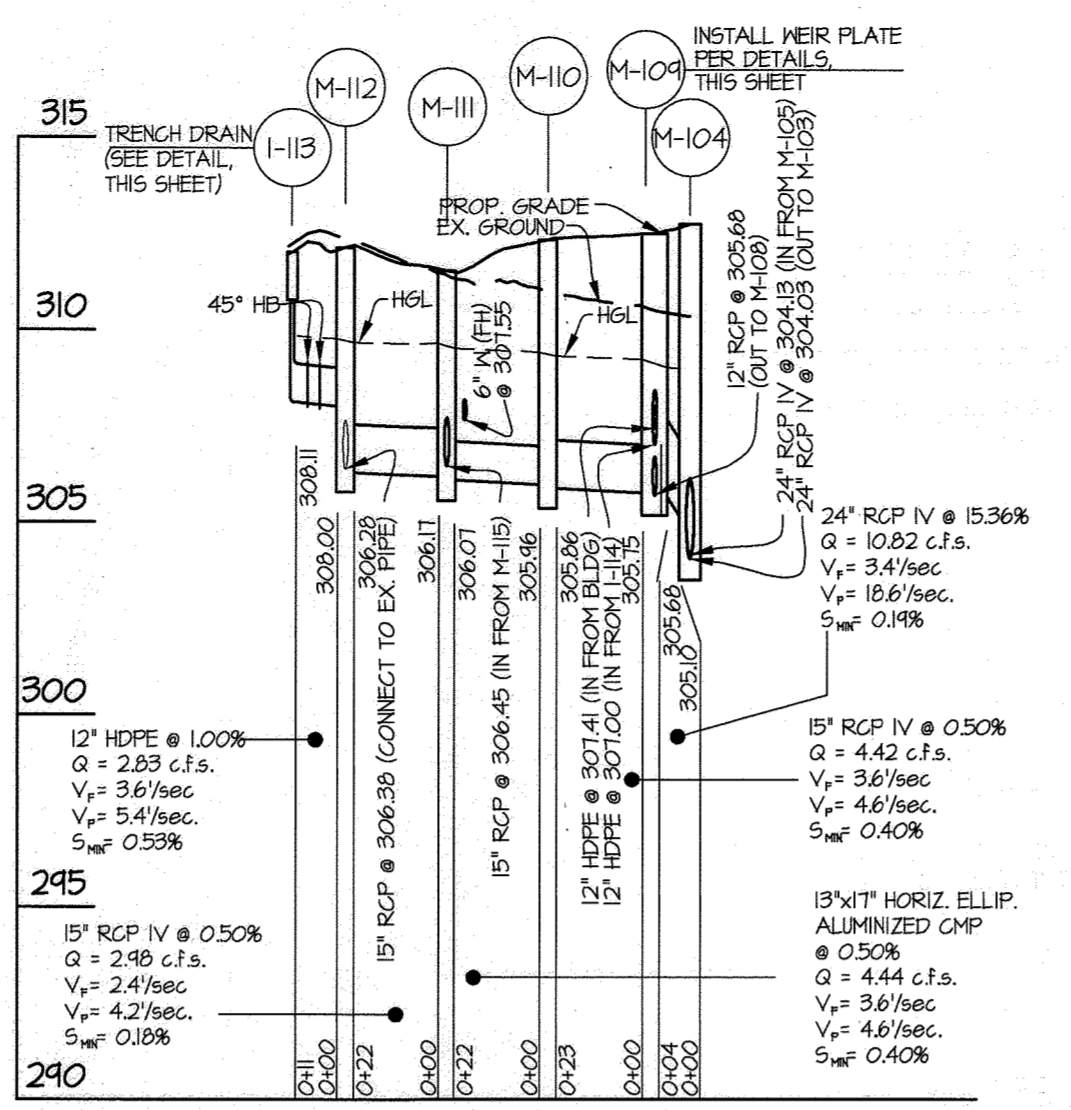
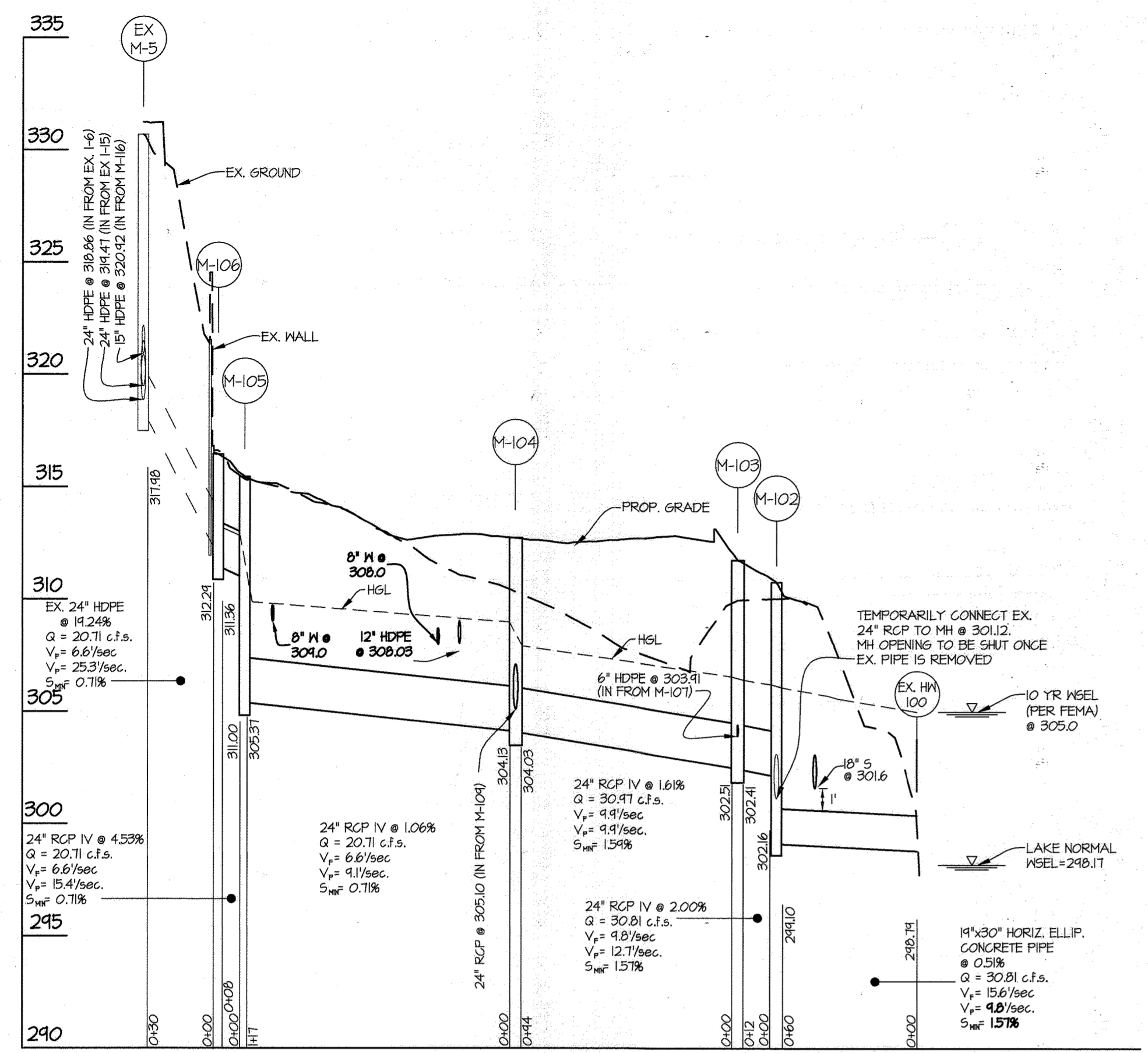
PREPARED FOR:
 OWNER:
 LFC MOB1, LLC,
 C/O THE HOWARD HUGHES
 CORP.
 10960 GRANTCHESTER WAY,
 SUITE 110
 COLUMBIA, MD 21044

DEVELOPER:
 THE HOWARD RESEARCH
 AND DEVELOPMENT CORP.
 10960 GRANTCHESTER
 WAY, SUITE 110
 COLUMBIA, MD 21044
 ATTN: GABRIEL CHUNG
 410-364-4800

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 22975
 EXPIRATION DATE: MAY 26, 2027
 8/20/23

REVISED UTILITY PLAN
SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA
LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B
 A REVISION OF SECTION 1, PARCEL B (PLAT No. 26140)
 PN: 26227 - 26228
 ELECTION DISTRICT No. 5

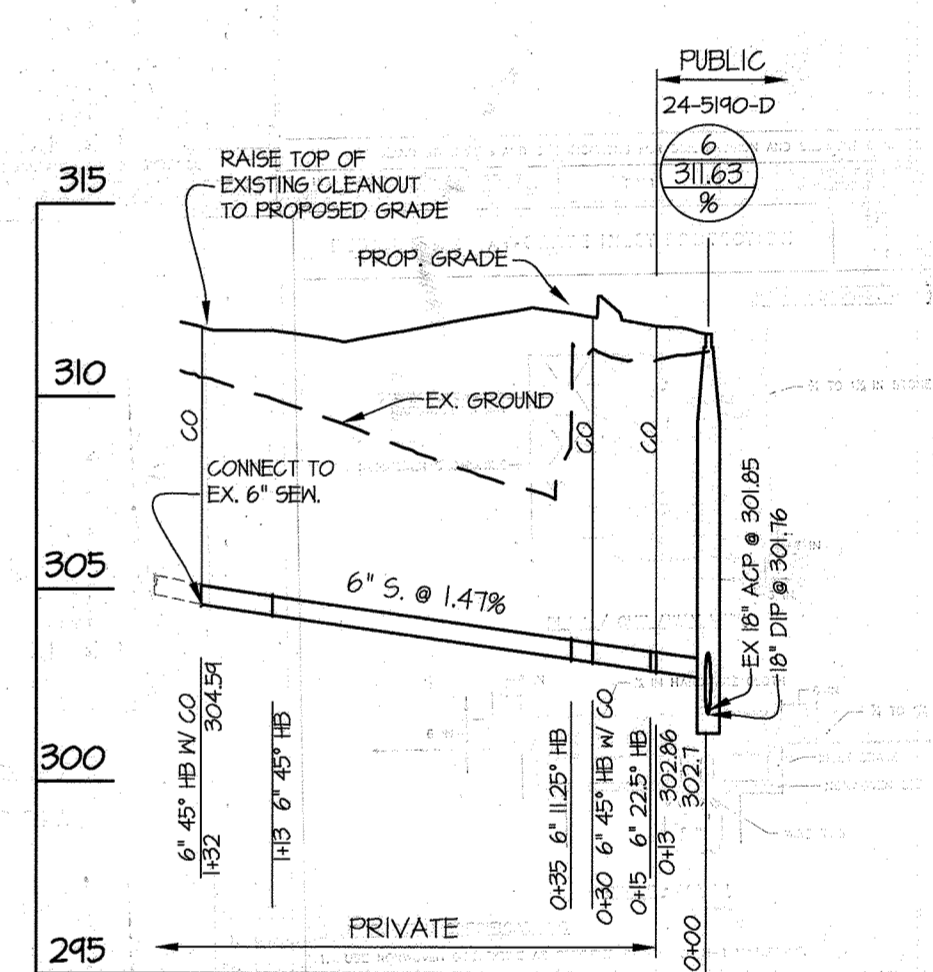
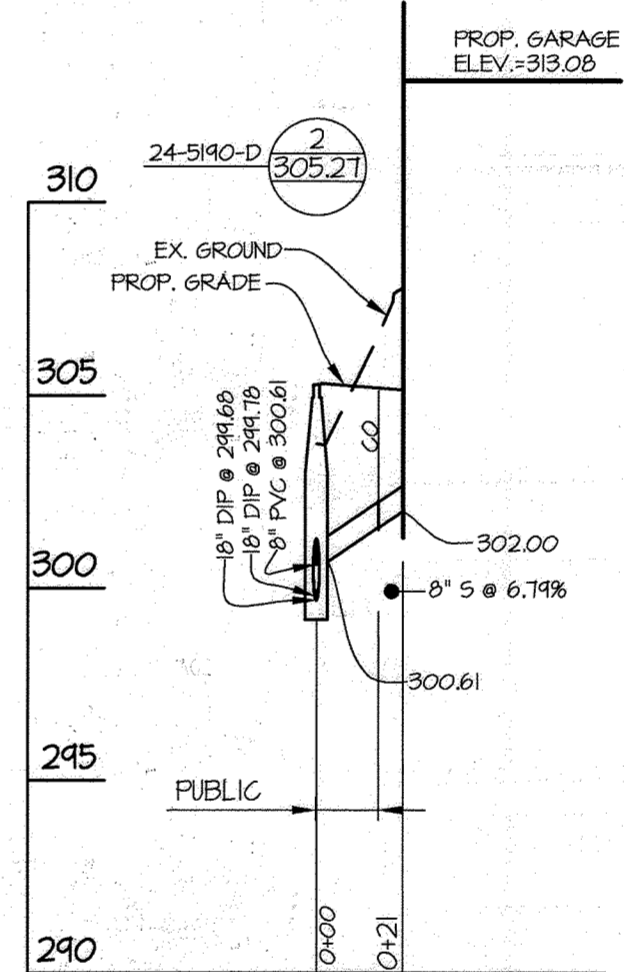
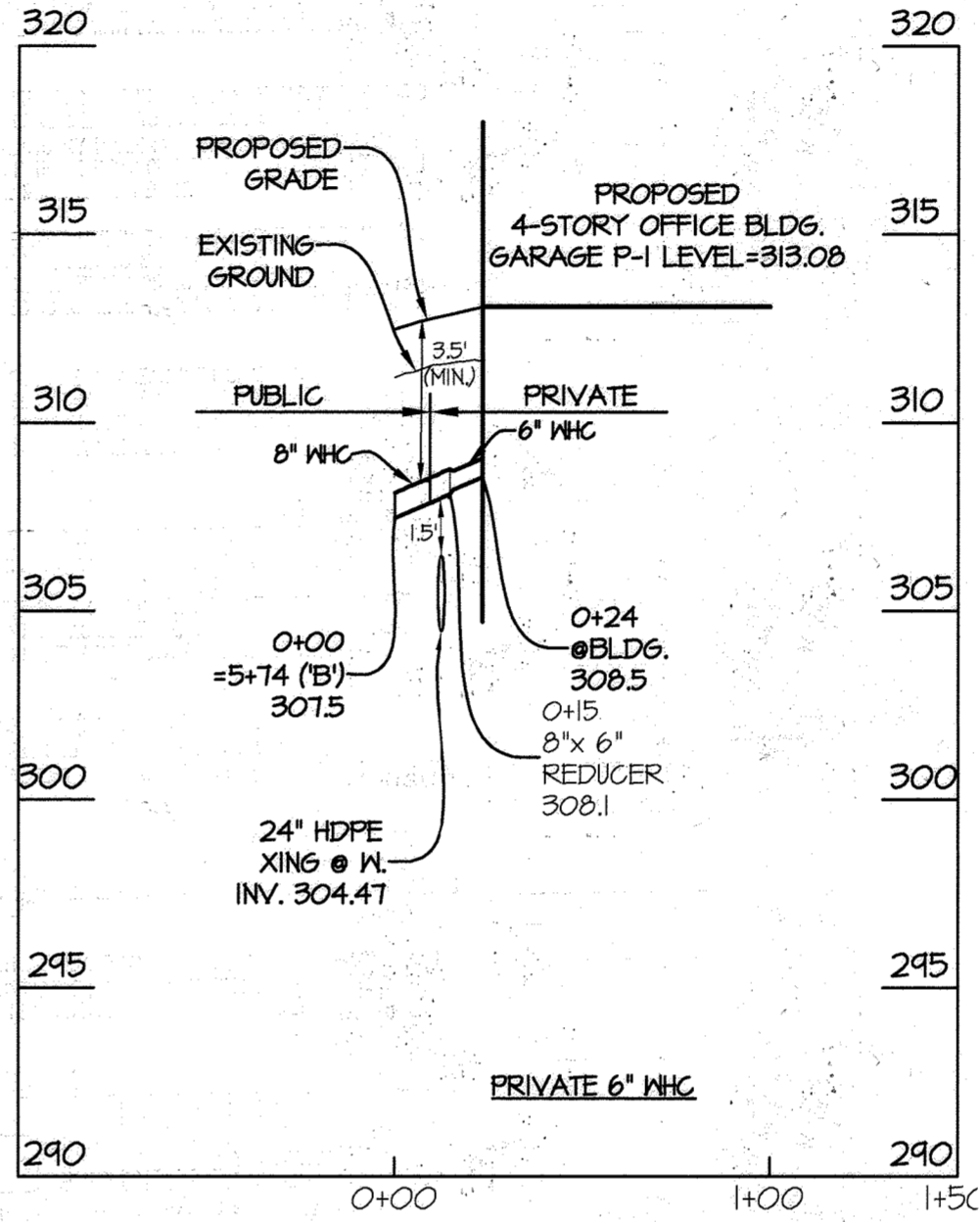
SCALE	ZONING	G. L. W. FILE No.
1" = 20'	NT	18046
DATE	TAX MAP - GRID	SHEET
AUG, 2023	36 - 2	17 OF 54



NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION				INVERT				STD. DETAIL	LOCATIONS	PRIVATE/PUBLIC
			PROPOSED		AS-BUILT		PROPOSED		AS-BUILT				
			UPPER	LOWER	UPPER	LOWER	UPPER	LOWER	UPPER	LOWER			
M-102	STANDARD MANHOLE	5.0'	310.70	---	---	302.16	291.10	---	---	HO. CO. 6-513	PRIVATE		
M-103	STANDARD MANHOLE	5.0'	311.70	---	---	303.41	302.41	---	---	HO. CO. 6-513	PRIVATE		
M-104	STANDARD MANHOLE	4.0'	312.12	---	---	305.10	304.03	---	---	HO. CO. 6-512	PRIVATE		
M-105	STANDARD MANHOLE	4.0'	313.30	---	---	311.00	305.31	---	---	HO. CO. 6-512	PRIVATE		
M-106	STANDARD MANHOLE	4.0'	316.41	---	---	312.21	311.36	---	---	HO. CO. 6-512	PRIVATE		
M-107	STANDARD MANHOLE	6.0'	311.91	---	---	304.50	304.00	---	---	STORM FILTER SEE SHEET 21	PRIVATE		
M-108	STORMCEPTOR	6.0'	312.15	---	---	305.65	305.40	---	---	SEE SHEET 21	PRIVATE		
M-109	STANDARD MANHOLE	6.0'	312.46	---	---	307.41	305.66	---	---	HO. CO. D-424	PRIVATE		
M-110	STANDARD MANHOLE	4.0'	312.31	---	---	305.46	305.66	---	---	HO. CO. 6-512	PRIVATE		
M-111	STANDARD MANHOLE	4.0'	311.52	---	---	306.45	306.07	---	---	HO. CO. 6-512	PRIVATE		
M-112	STANDARD MANHOLE	4.0'	312.10	---	---	308.00	306.28	---	---	HO. CO. 6-512	PRIVATE		
M-113	TRENCH DRAIN	2'	313.00	311.51	---	---	306.11	---	---	SEE DETAIL THIS SHEET	PRIVATE		
M-114	5 INLET	2'-7"	311.25	---	---	---	307.51	---	---	HO. CO. D-424	PRIVATE		
M-115	STANDARD MANHOLE	4.0'	310.68	---	---	306.85	306.50	---	---	HO. CO. 6-512	PRIVATE		
M-116	STANDARD MANHOLE	4.0'	310.25	---	---	310.10	312.48	---	---	HO. CO. 6-512	PRIVATE		
M-116A	STANDARD MANHOLE	4.0'	313.50	---	---	328.68	328.56	---	---	HO. CO. 6-512	PRIVATE		
M-117	A-10 INLET	2.5'	313.50	313.01	---	---	310.25	---	---	HO. CO. D-423	PRIVATE		

SIZE	TYPE	QUANTITY (LF)	REMARKS
6"	HDPE	14	
12"	HDPE	44	
12"	RCP CL IV	4	
15"	RCP CL IV	127	
24"	RCP CL IV	235	
15"x17"	ALUMINIZED CHP	22	12 GAGLE
15"x30"	HORIZ. ELLIP. RCP	60	

NOTE: PROVIDE RUBBER GASKETS ALL RCP PIPING

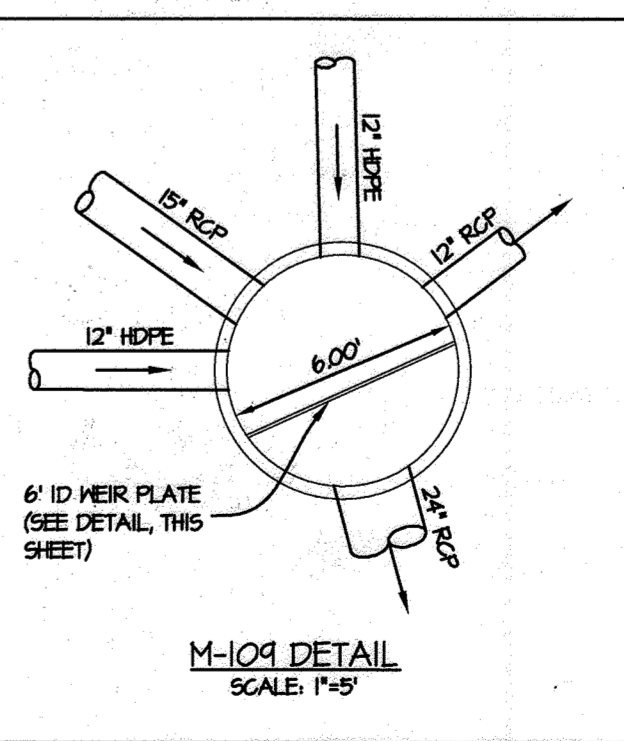
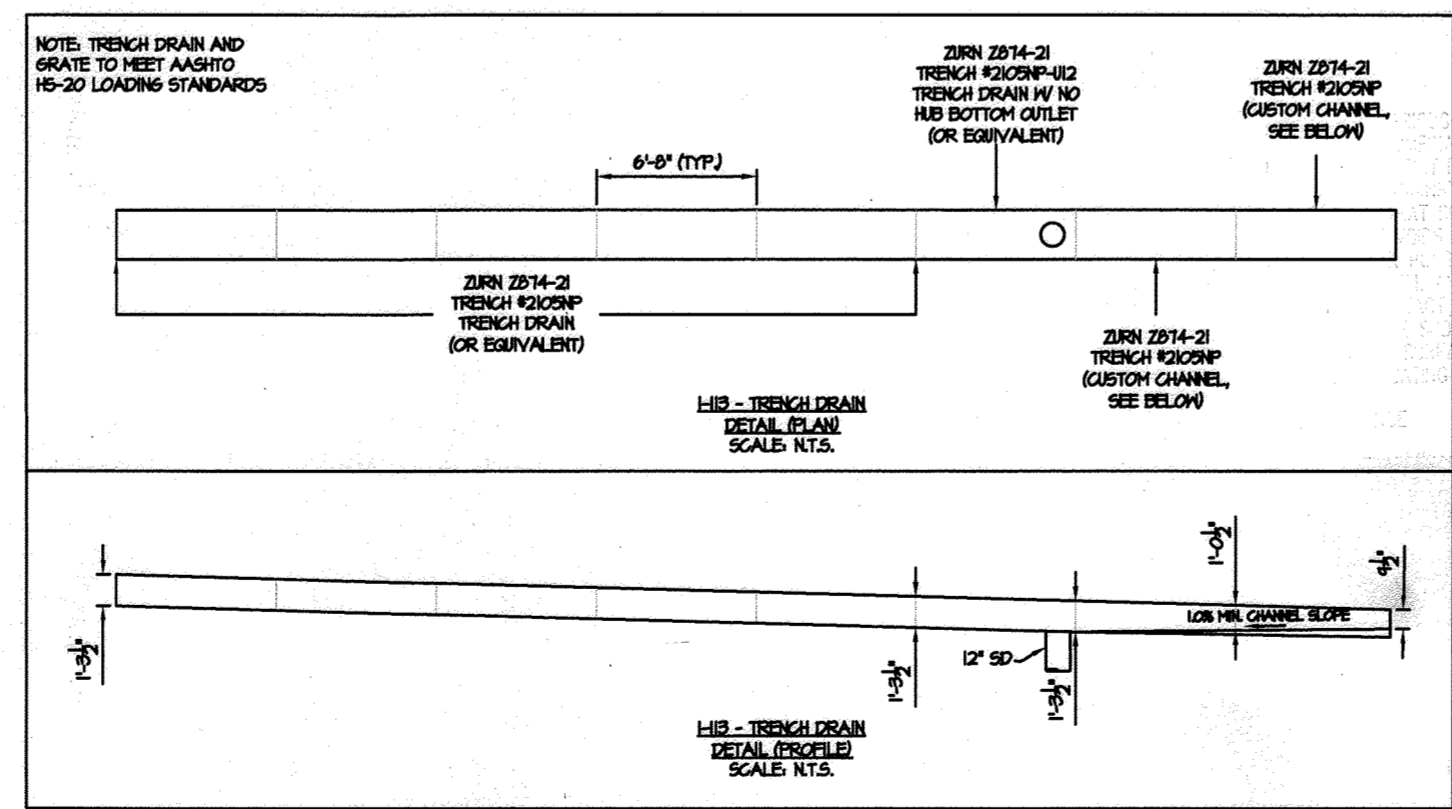


1-800-639-2199 Fax (603) 224-2927

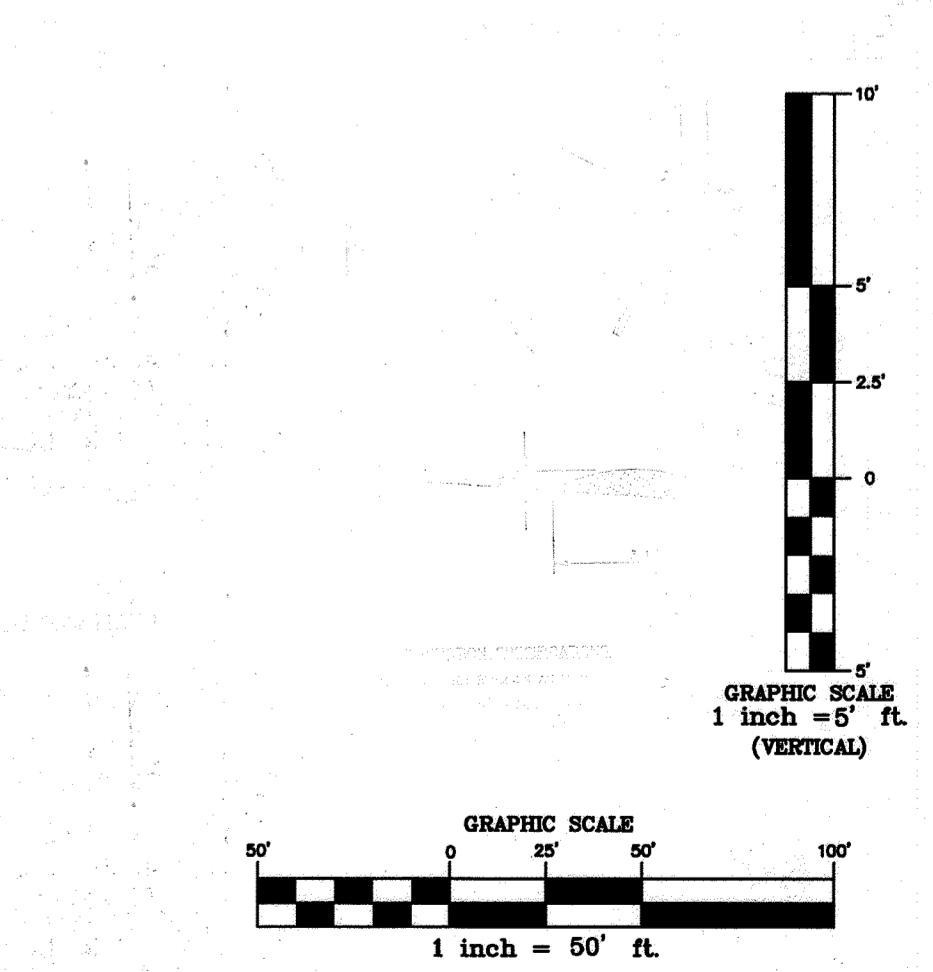
Phoenix Precast Products

6" ID Weir Plate

Phoenix Precast Products
77 Regional Drive
Concord, NH 03301



SIZE	TYPE	QUANTITY (LF)	REMARKS
6"	PVC	116	
8"	PVC	8	



APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: JULY 7, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
12/28/2022

Director: Amy Green
Date: 12/22/2022

Chief, Division of Land Development: Neil Edmondson
Date: 12/27/2022

Chief, Development Engineering Division: _____

PLANNING | ENGINEERING | SURVEYING

3908 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-888-2524 | FAX: 301-421-4186

DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE	REVISION	BY	APPR.
dds	dds					

PREPARED FOR:

OWNER: LFC MOB1, LLC, C/O THE HOWARD HUGHES CORP., 10580 GRANTCHESTER WAY, SUITE 110, COLUMBIA, MD 21044

DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP., 10580 GRANTCHESTER WAY, SUITE 110, COLUMBIA, MD 21044

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975

EXPIRATION DATE: MAY 26, 2024

12/12/22

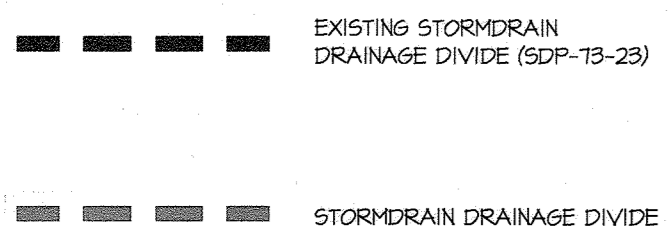
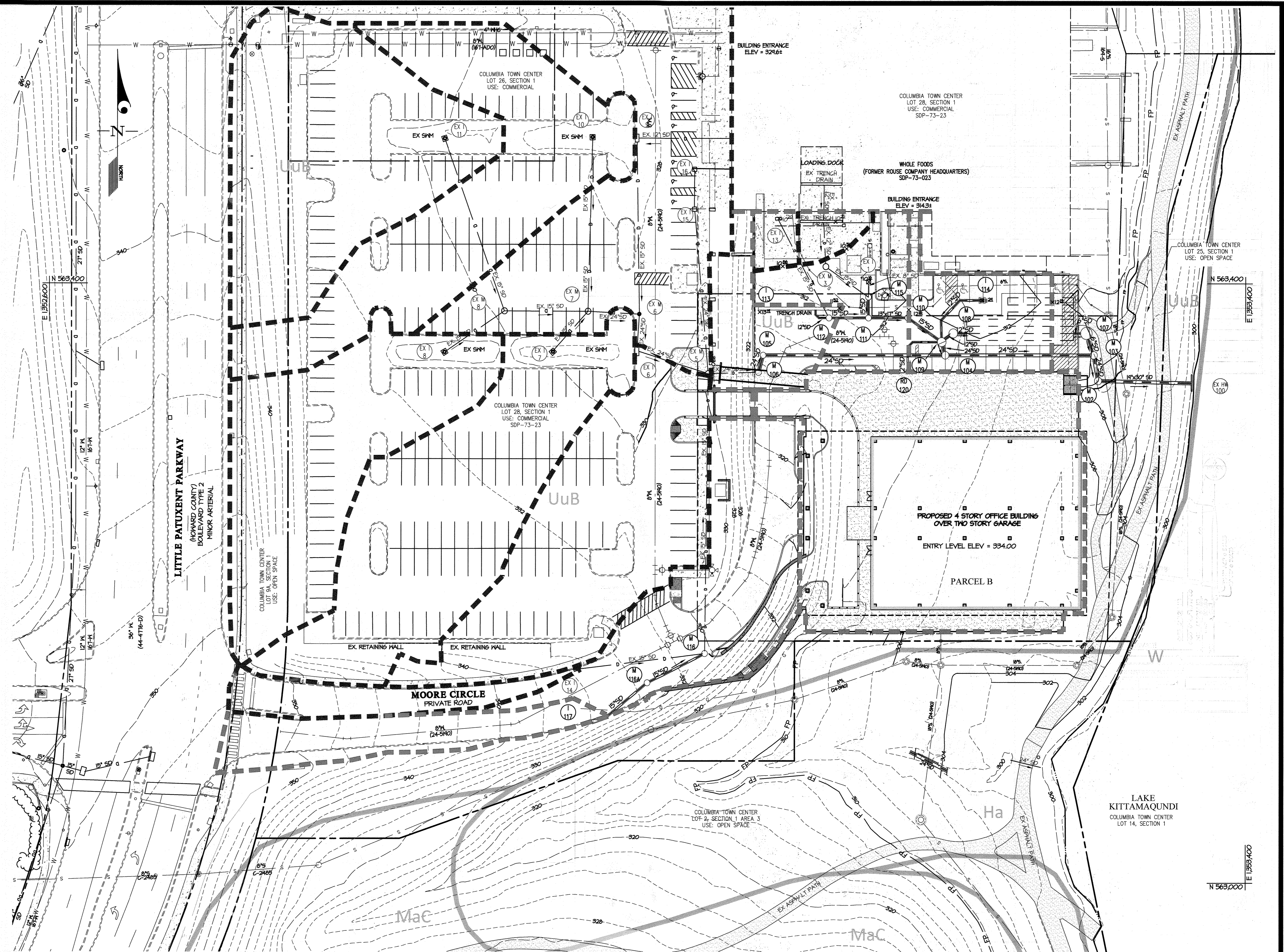
STORM DRAIN AND PRIVATE SEWER PROFILES

SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA
LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B
A REVISION OF SECTION I, PARCEL B (PLAT No. 26140)

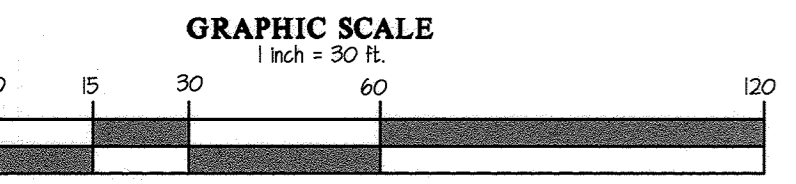
ELECTION DISTRICT No. 5
FN: 26227 - 26228
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	18046
DATE	TAX MAP - GRID	SHEET
DEC., 2022	36 - 2	18 OF 54

'C' FACTOR COMPUTATIONS			
STRUCTURE	AREA (AC.)	'C'	IMPERVIOUS
EX I-6	0.15 Ac.	0.26	100%
EX I-6	0.52 Ac.	0.12	16%
I-13	0.46 Ac.	0.12	75%
I-14	0.15 Ac.	0.26	100%
I-17	0.16 Ac.	0.26	100%
RD-120	0.71 Ac.	0.26	100%



SOILS (on site)	Map Unit Name	Type	K Factor
WB	Urban land-Urbans complex, 0 to 5 percent slopes	D	0.25



APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: JULY 7, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
12/28/2022

Director: Amy Goman
Date: 12/27/2022

Chief, Division of Land Development: Chris Edmondson
Date: 12/27/2022

Chief, Development Engineering Division: _____
Date: _____

GLW
PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
PHONE: 301-421-4024 | BAL: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	DATE	REVISION	BY	APPR.
dds				
dds				

PREPARED FOR:

OWNER:
LFC MOB, LLC,
C/O THE HOWARD HUGHES
CORP.
10880 GRANTCHESTER WAY,
SUITE 110
COLUMBIA, MD 21044

DEVELOPER:
THE HOWARD RESEARCH
AND DEVELOPMENT CORP.
10880 GRANTCHESTER
WAY, SUITE 110
COLUMBIA, MD 21044
ATTN: GABRIEL CHUNG
410-864-4800

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975

EXPIRATION DATE: MAY 26, 2024

12/12/22

STORMDRAIN DRAINAGE AREA MAP
SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA
LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B
A REVISION OF SECTION I, PARCEL B (PLAT No. 26140)

ELECTION DISTRICT No. 5

PN: 26227 - 26228
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	18046
DATE	TAX MAP - GRID	SHEET
DEC., 2022	36 - 2	19 OF 54

L:\CAD\DRAWINGS\18046\18046 SD.DWG, 12/27/2022 10:17:56 AM, GOMAN, T1
 L:\CAD\DRAWINGS\18046\18046 SD.DWG, 12/27/2022 10:18:44 AM, LAST SAVED: 12/27/2022 2:28:15 PM, PLOTTED BY: Dan Swainey
 L:\CAD\DRAWINGS\18046\18046 SD.DWG, 12/27/2022 10:17:56 AM, GOMAN, T1

STORMWATER MANAGEMENT REQUIREMENT	
DEVELOPMENT AREA :	80,958 SF.
% IMPERVIOUS:	73.2%
Rv:	0.104
TARGET P _e (100% D SOILS):	1.8"
REQUIRED ESDV:	$A \times Rv \times P_e/12 =$ $(80,958 \times 0.104 \times 1.8)/12 = 8,604 \text{ cf}$

STORMWATER MANAGEMENT RECHARGE	
DEVELOPMENT AREA :	80,958 SF.
% IMPERVIOUS:	73.2%
Rv:	0.104
RECHARGE FACTOR:	0.01
REQUIRED RECHARGE:	$5 \times Rv \times A/12 =$ $(0.01 \times 0.104 \times 80,958)/12 = 335 \text{ cf}$
RECHARGE PROVIDED BY STONE BELOW CHAMBERMAXX CHAMBER:	443 CF

ESD SUMMARY TABLE				
AREA NO.	AREA (SF)	IMPERVIOUS	ESDV (CF)	P _e PROVIDED
DA 1	68,980	88%	9,235	1.90
TOTAL	68,980	88%	9,235	---
REQUIRED ESDV	8,609 cf		9,235 cf	

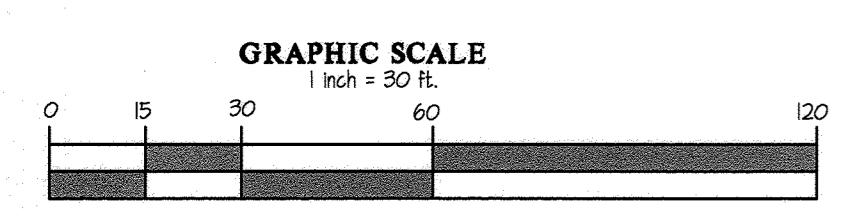
NOTE: ALL STORMWATER MANAGEMENT FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.

STORMWATER MANAGEMENT PROVIDED BY DEVICE	
STORM FILTER (F-2):	4,665 CU-FT
STORMCEPTOR:	4,370 CU-FT
TOTAL:	9,235 CU-FT

- LEGEND**
- A** SPLITTER MANHOLE
 - B** STORMCEPTOR STC-400 SEE DETAIL SHEET 21
 - C** 50 - CONTECH CHAMBERMAXX CHAMBERS SURROUNDED IN STONE. 4,370 CF OF STORAGE SEE DETAIL SHEET 22
 - D** STORMFILTER SFM416 W/ NINE 21" CARTRIDGES SEE DETAIL SHEET 21

--- STORMWATER DRAINAGE DIVIDE
 B-25 SOIL BORINGS BY EGS FROM GEOTECH REPORT, DATED 10/8/21

SOILS (on site)	Map Unit Name	Type	K Factor
UB	Urban land-urban/urban complex, 0 to 8 percent slopes	D	0.25



APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: JULY 7, 2022

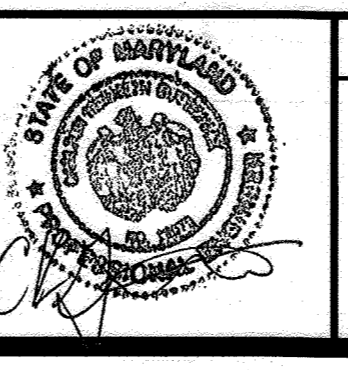
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 12/28/2022
 Director: Amy Groman
 Date: 12/22/2022
 Chief, Division of Land Development: CHD Edmondson
 Date: 12/27/2022
 Chief, Development Engineering Division

GLW
 PLANNING | ENGINEERING | SURVEYING
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DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APPR.
dde	dde					

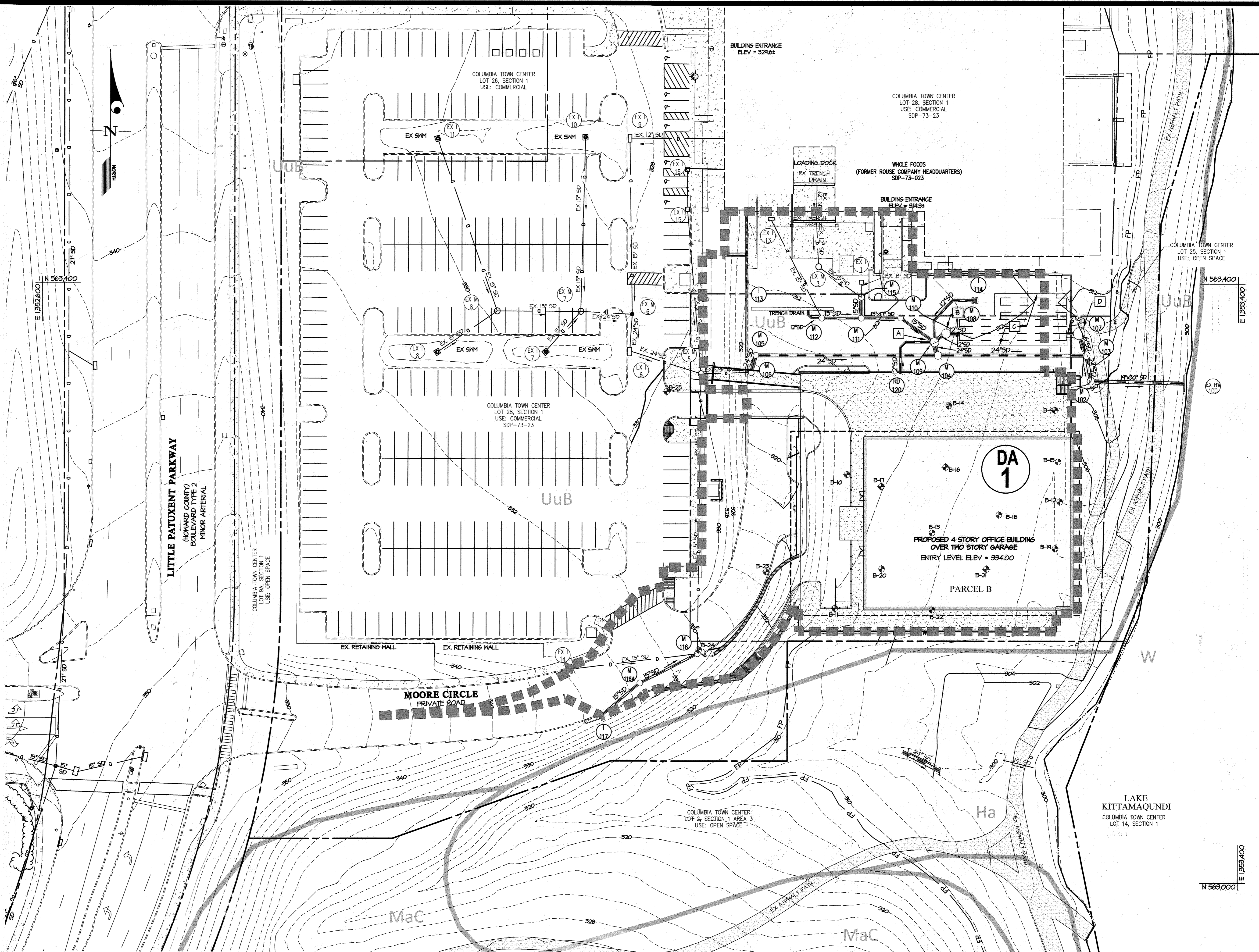
PREPARED FOR:
 OWNER: LFC MOB1, LLC, C/O THE HOWARD HUGHES CORP., 10860 GRANTCHESTER WAY, SUITE 110, COLUMBIA, MD 21044

DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP., 10860 GRANTCHESTER WAY, SUITE 110, COLUMBIA, MD 21044
 ATTN: GABRIEL CHUNG 410-864-4800



STORMWATER MANAGEMENT DRAINAGE AREA MAP
SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA
LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B
 A REVISION OF SECTION I, PARCEL B (PLAT No. 26140)
 PN: 26227 - 26228
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	18046
DATE	TAX MAP - GRID	SHEET
DEC., 2022	36 - 2	20 OF 54

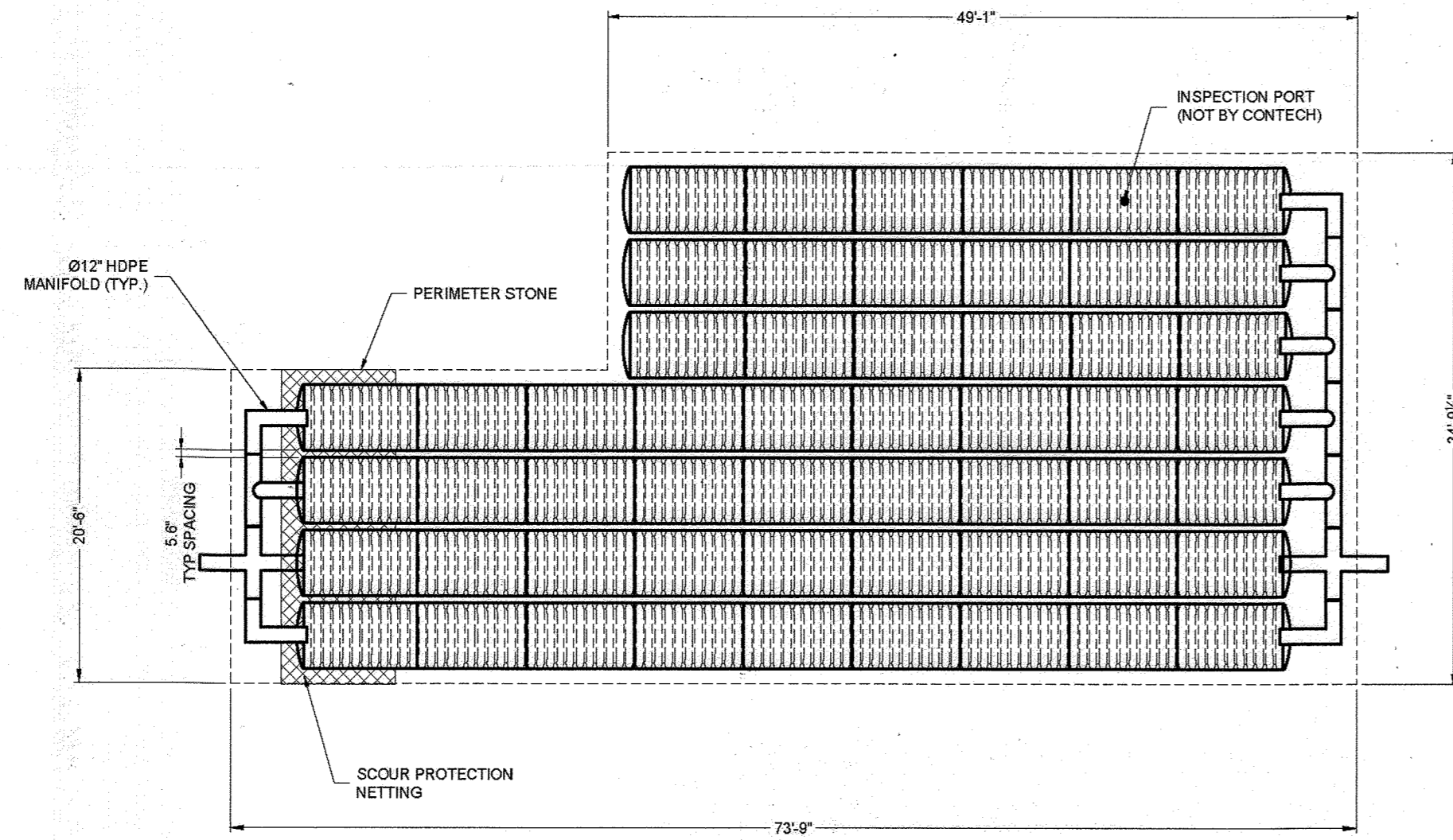


L:\CADD\DRAWINGS\18046\18046 SWM DAM.dwg, 12/20/2022 10:18:27 AM, dgrs, 11
 PLOTTED: 12/27/2022 10:19 AM, LAST SAVED: 11/17/2022 2:25 PM, PLOTTED BY: Dan Shevory

PROJECT SUMMARY

- DESIGN PARAMETERS
- PRETREATMENT METHOD = Hydrodynamic Separator
- STORAGE VOLUME REQUIRED = 4370ft³
- INVERT DEPTH = 7.58'
- MANIFOLD DIAMETER = 12in.
- SPACING BETWEEN CHAMBERS = 5.6in.
- SIDE PERIMETER STONE WIDTH = 12in.
- END PERIMETER STONE WIDTH = 12in.
- TOP PERIMETER STONE WIDTH = 6in.
- BOTTOM PERIMETER STONE WIDTH = 6in.
- STONE POROSITY = 40%
SYSTEM DETAILS
- TOTAL ELBOW MANIFOLDS = 4
- TOTAL TEE MANIFOLDS = 5
- TOTAL START CHAMBERS = 7
- TOTAL MID CHAMBERS = 40
- TOTAL END CHAMBERS = 7
- TOTAL NUMBER OF CHAMBERS = 54
- NUMBER OF ROWS = 7
- CHAMBER STORAGE VOLUME = 2562 ft³
- MANIFOLD STORAGE VOLUME = 54ft³
- BACKFILL STORAGE VOLUME = 1811 ft³
- TOTAL STORAGE PROVIDED = 4427 ft³

- GENERAL NOTES
1. ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF RISERS AND INLETS SHALL BE VERIFIED BY THE ENGINEER OF RECORD.
2. PRIOR TO INSTALLATION OF THE CHAMBERMAXX SYSTEM A PRE-CONSTRUCTION MEETING SHALL BE CONDUCTED. THOSE REQUIRED TO ATTEND ARE THE SUPPLIER OF THE SYSTEM, THE GENERAL CONTRACTOR, SUB-CONTRACTORS AND THE ENGINEER.
3. CHAMBERMAXX CHAMBERS ARE MANUFACTURED FROM POLYPROPYLENE PLASTIC.
4. CHAMBERMAXX SYSTEM TO MEET AASHTO HS20HS25 LIVE LOADING, PER AASHTO LRFD SECTION 12.
5. ACCESS COVERS TO MEET AASHTO HS20HS25 LIVE LOADING.
6. MINIMUM COVER IS 18-INCHES TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT. FOR COVER HEIGHTS GREATER THAN 96-INCHES CONTACT YOUR LOCAL REPRESENTATIVE.
7. ALL PARTS PROVIDED BY CONTECH UNLESS OTHERWISE NOTED.
8. FOR INFORMATION ON PRE-TREATMENT SYSTEMS, REFERENCE CONTECH PRE-TREATMENT SYSTEM STANDARD DETAILS OR CONTACT YOUR LOCAL REPRESENTATIVE.
9. CHAMBERMAXX BY CONTECH ENGINEERED SOLUTIONS (800) 925-5240

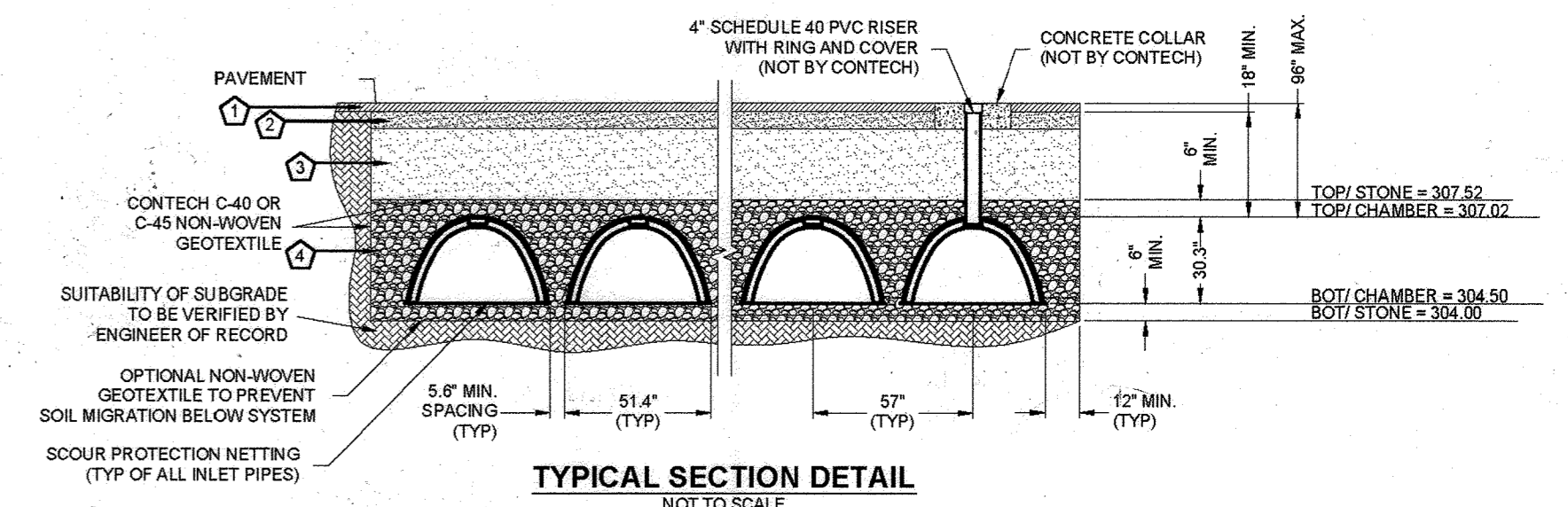


ASSEMBLY SCALE: 1"=10'

Table with project information including project name (DYO11890 Southlake Office Building), location (Columbia, MD), and drawing details (D1 of D3).

INSTALLATION NOTES

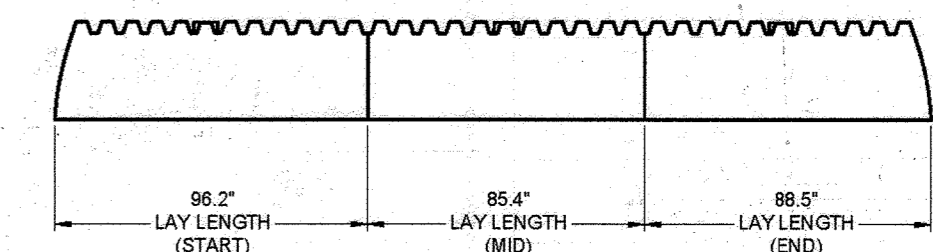
- 1. CHAMBERMAXX INSTALLATION GUIDE TO BE REVIEWED BY CONTRACTOR PRIOR TO INSTALLATION.
2. PRIOR TO PLACING BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE.
3. THE SCOUR PROTECTION NETTING TO EXTEND 1'-0" BEYOND OUTSIDE EDGE OF INLET CHAMBERS.
4. COVER ANY OPEN VOID SPACES GREATER THAN 3/4" ON CHAMBERS WITH A NON-WOVEN GEOTEXTILE TO PREVENT INFILTRATION OF BACKFILL MATERIAL.
5. STONE EMBEDMENT MATERIAL SHALL BE INSTALLED TO 95% STANDARD PROCTOR DENSITY AND PLACED IN 6-INCH TO 8-INCH LIFTS SUCH THAT THERE IS NO MORE THAN A TWO LIFT DIFFERENTIAL BETWEEN ANY OF THE CHAMBERS AT ANY TIME.
6. REFER TO CHAMBERMAXX INSTALLATION GUIDE FOR TEMPORARY CONSTRUCTION LOADING GUIDELINES.
7. IT IS ALWAYS THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW GSA GUIDELINES FOR SAFE PRACTICES.
8. GENERAL INSTALLATION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH ASTM D2321.



TYPICAL SECTION DETAIL NOT TO SCALE

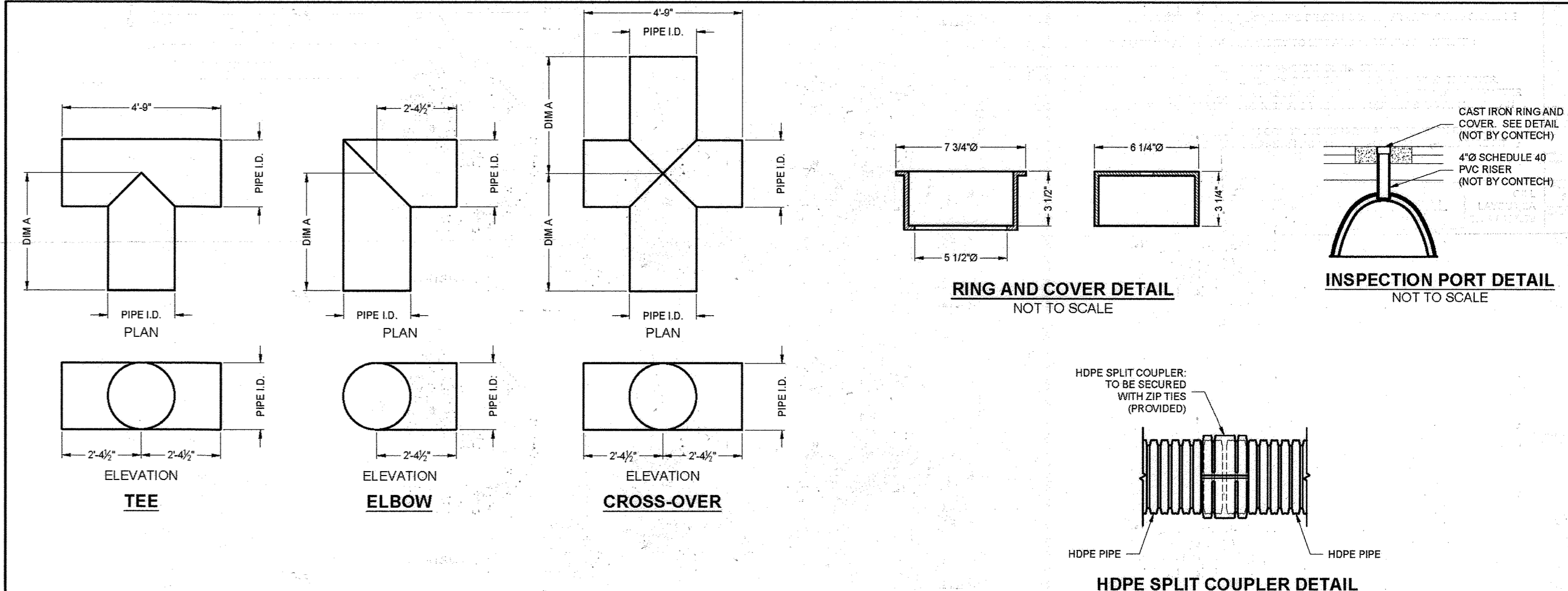
- KEY
1. FLEXIBLE PAVEMENT
2. GRANULAR ROAD BASE
3. ANY SUITABLE NATIVE OR GENERAL BACKFILL, SEE ENGINEER PLANS.
4. THE BACKFILL MATERIAL SHALL BE FREE-DRAINING ANGULAR WASHED STONE 3/4" - 2" PARTICLE SIZE.
EQUIPMENT USED TO PLACE AND COMPACT THE BACKFILL SHALL BE OF A SIZE AND TYPE SO AS NOT TO DISTORT, DAMAGE, OR DISPLACE THE CHAMBERS.
OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON SITE SPECIFIC CONDITIONS. CONTACT YOUR LOCAL CONTECH REPRESENTATIVE FOR DETAILS.

CHAMBERMAXX DESIGN DETAILS table with columns for Feature, Start Chamber, Middle Chamber, and End Chamber. Includes overall dimensions and installed lengths.



TYPICAL ELEVATION VIEW NOT TO SCALE

Table with project information including project name (DYO11890 Southlake Office Building), location (Columbia, MD), and drawing details (D2 of D3).



STANDARD MANIFOLD COMPONENTS - NOT TO SCALE table showing available diameters for Tee, Elbow, and DIM A components.

- GENERAL NOTES:
1. FITTING MATERIAL TO BE MANUFACTURED FROM CORRUGATED HIGH DENSITY POLYETHYLENE (AASHTO M254) PIPE.
2. FITTINGS TO BE FABRICATED IN ACCORDANCE WITH THE REQUIREMENT OF AASHTO M254.
3. FITTINGS DESIGNED TO PROTRUDE 6" INTO THE END OF THE INLET CHAMBERS.
4. MANIFOLD TEE AND ELBOW JOINT TO BE CONNECTED UTILIZING HDPE SPLIT COUPLERS.

TYPICAL MANIFOLD DETAILS

Table with project information including project name (DYO11890 Southlake Office Building), location (Columbia, MD), and drawing details (D3 of D3).

APPROVED PLANNING BOARD OF HOWARD COUNTY. Date: JULY 7, 2022. Includes signatures of Director and Chief, Development Engineering Division.

GLW PLANNING | ENGINEERING | SURVEYING logo and contact information for Burtonsville, MD.

Table for design and drawing details with columns for Designer, Drawn, Checked, Date, Revision, and Appr.

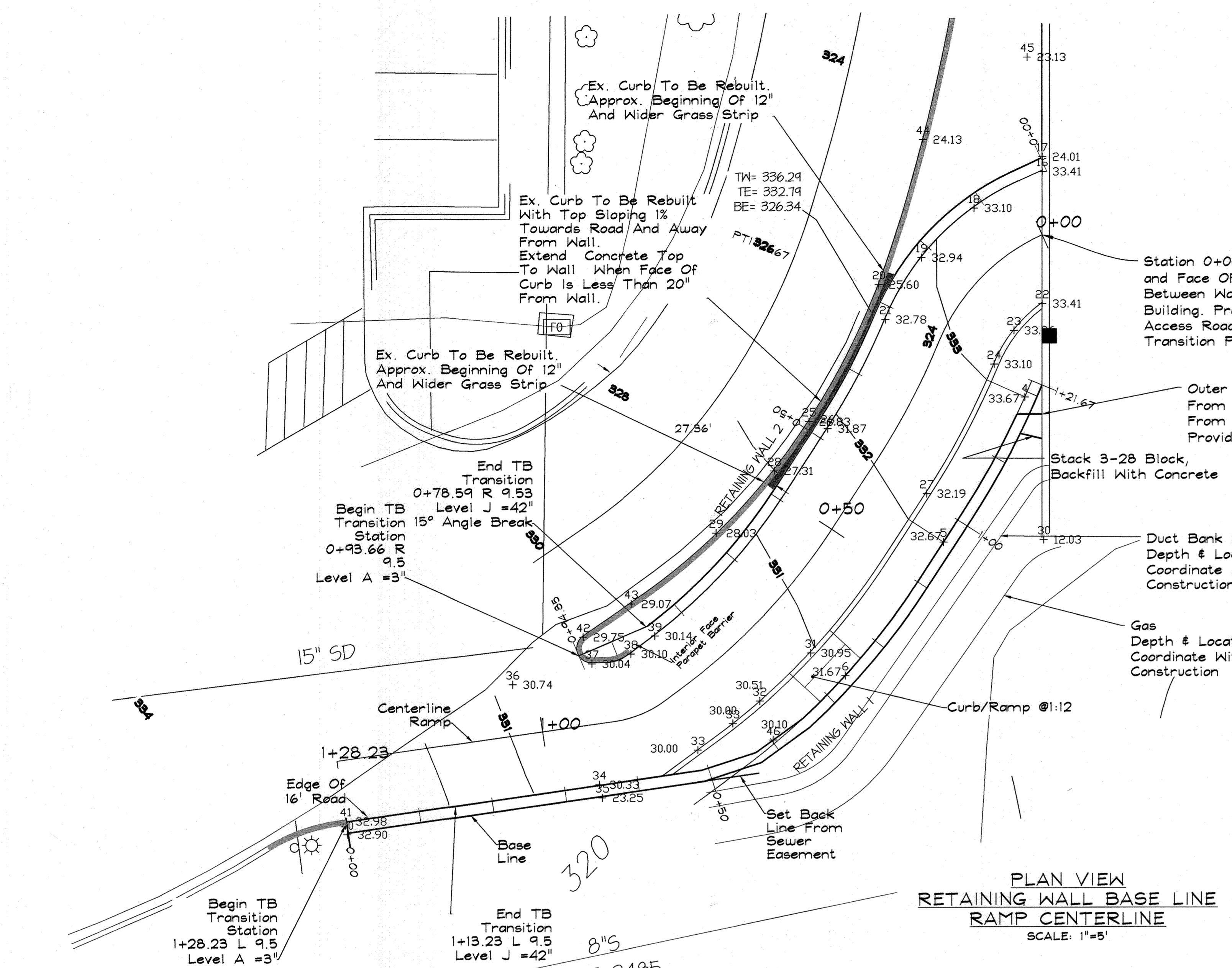
PREPARED FOR: LFC MOB1, LLC, C/O THE HOWARD HUGHES CORP. 10960 GRANTCHESTER WAY, SUITE 110 COLUMBIA, MD 21044

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975. EXPIRATION DATE: MAY 26, 2024.

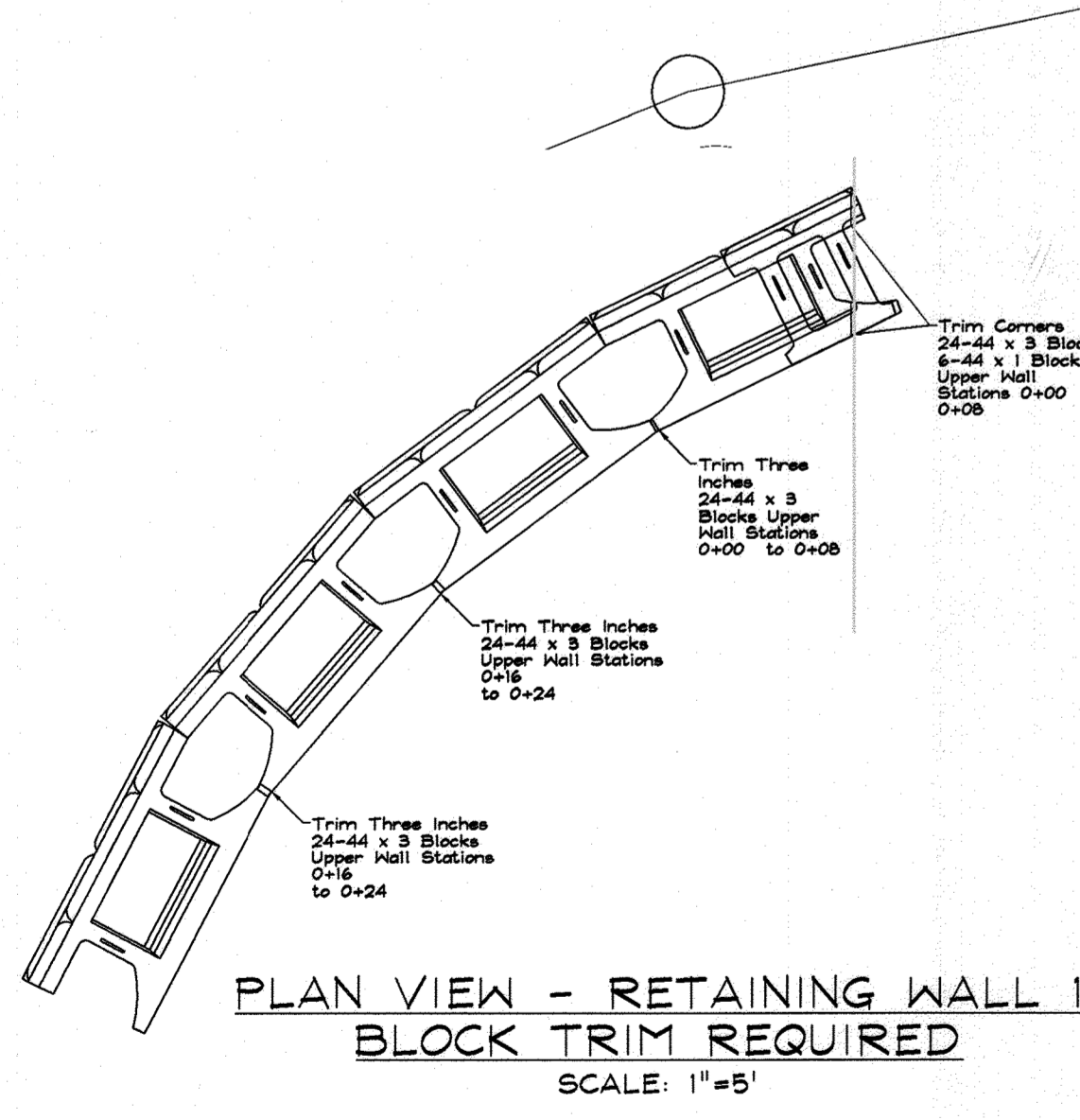
STORMWATER DETAILS SOUTHLAKE OFFICE BUILDING DOWNTOWN COLUMBIA LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B A REVISION OF SECTION I, PARCEL B (PLAT No. 26140) PN: 26227 - 26228

Table with project information including scale (AS SHOWN), zoning (NT), G.L.W. file No. (18046), date (DEC, 2022), tax map (36-2), and sheet number (22 OF 54).

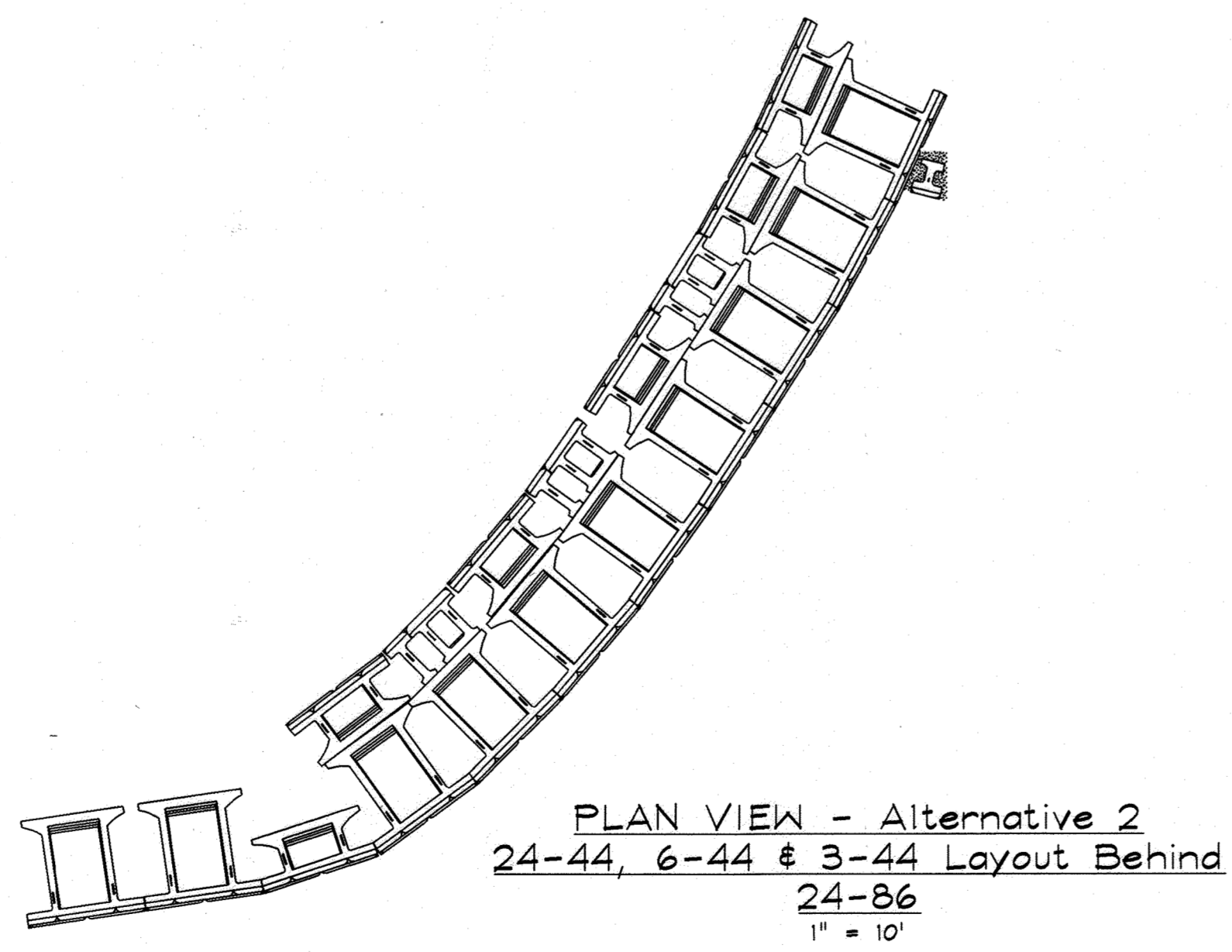
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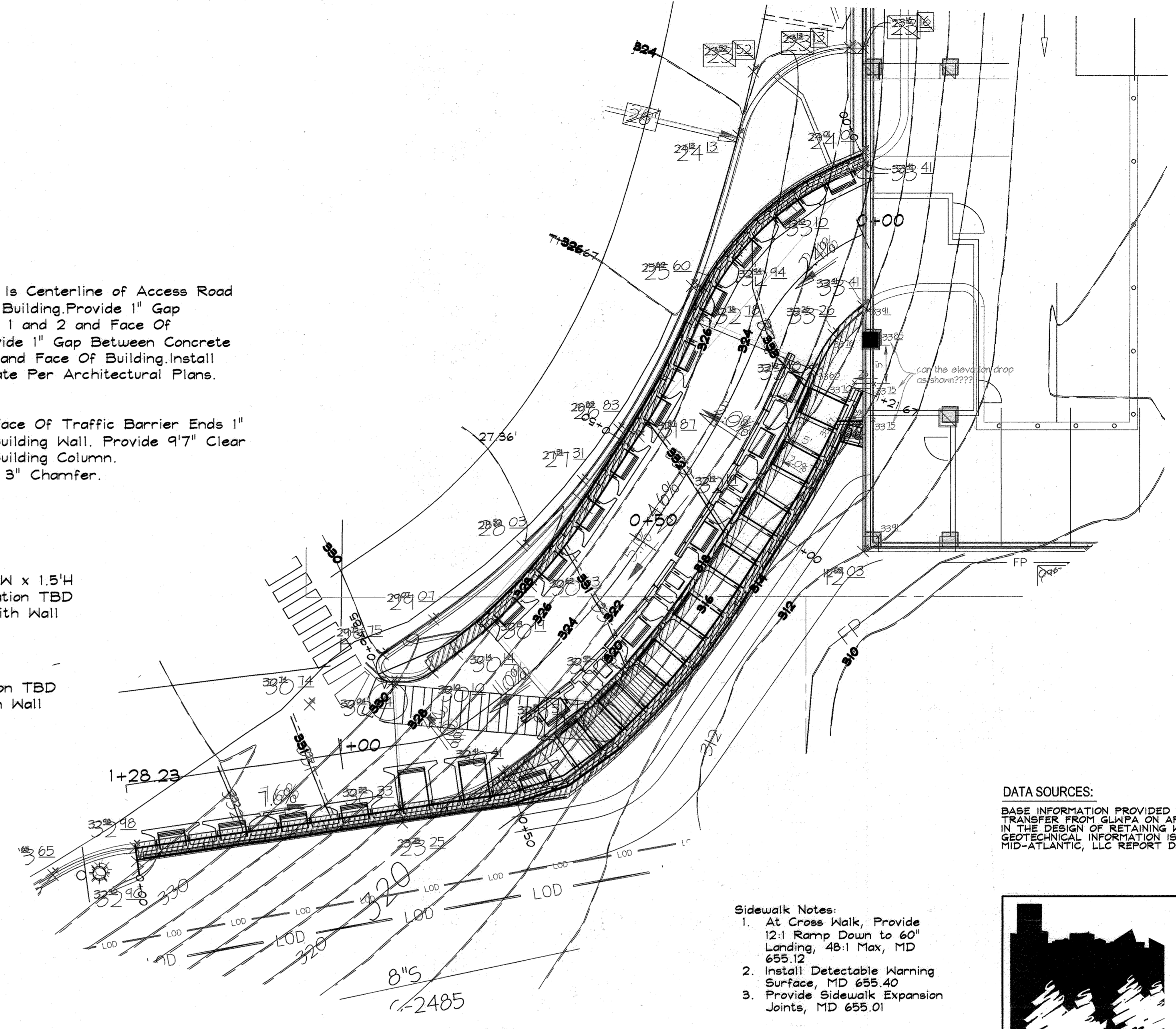
PLAN VIEW
RETAINING WALL BASE LINE
RAMP CENTERLINE
SCALE: 1"=5'



PLAN VIEW - RETAINING WALL 1
BLOCK TRIM REQUIRED
SCALE: 1"=5'



PLAN VIEW - Alternative 2
24-44, 6-44 & 3-44 Layout Behind
24-86
1" = 10'



PLAN VIEW - BLOCK ALIGNMENT
AND BASE LINES
1" = 5'

Station 0+00 is Centerline of Access Road and Face of Building. Provide 1" Gap Between Wall 1 and 2 and Face of Building. Provide 1" Gap Between Concrete Access Road and Face of Building. Install Transition Plate Per Architectural Plans.

Outer Face of Traffic Barrier Ends 1" From Building Wall. Provide 9'7" Clear From Building Column. Provide 3" Chamfer.

Duct Bank 2'W x 1.5'H Depth & Location TBD Coordinate With Wall Construction

Gas Depth & Location TBD Coordinate With Wall Construction

DATA SOURCES:
BASE INFORMATION PROVIDED VIA ELECTRONIC TRANSFER FROM CLKIPA ON APRIL 1, 2022 FOR USE IN THE DESIGN OF RETAINING WALLS 1 & 2. GEOTECHNICAL INFORMATION IS BASED ON ECS MID-ATLANTIC, LLC REPORT DATED 10/8/2021.

- Sidewalk Notes:
- At Cross Walk, Provide 12:1 Ramp Down to 60" Landing, 48:1 Max, MD 655.12
 - Install Detectable Warning Surface, MD 655.40
 - Provide Sidewalk Expansion Joints, MD 655.01

DDC inc.
Development Design Consultants

Planners
Surveyors
Engineers
Landscape Architects

192 East Main Street
Westminster, MD 21157
410.386.0560
410.386.0564 (Fax)
DDC@DDCinc.us
www.DDCinc.us

OWNER:
LFC MOB1, LLC
C/O The Howard Hughes Corp.
10960 Grantchester Way, Suite 110
Columbia, MD 21044

DEVELOPER:
The Howard Research And
Development Corporation
10960 Grantchester Way, Suite 110
Columbia, MD 21044

SITE ADDRESS:
10285 Little Patuxent Parkway
Columbia Town Center

SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA

RETAINING WALLS
PLAN & SECTIONS

5th ELECTION DISTRICT HOWARD COUNTY MD

NO.	REVISIONS	DATE
1	WALL LOCATION REVISED	WRD 1 7/28/23
NO.	DESCRIPTION OF CHANGES	DRN. REV. DATE

DEED:	DES. BY: WRD
TAX ACC. #:	DRN. BY: POOL
TAX MAP: 36	CHK. BY: WRD
BLOCK / GRID: 2	DATE: Aug 22 2023
PARCEL #:	DDC JOB#: 17041.92
ZONE / USE: NT	SHEET NUMBER:
DWG. SCALE: AS SHOWN	24 OF 54

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF MARYLAND.

PROFESSIONAL ENGINEER NO. 21998

08/22/2023
DATE

W. RICHARD DEMARIO

ADDRESS CHART
10285 Little Patuxent Parkway
Columbia Town Center

PERMIT INFORMATION CHART			
SUBDIVISION NAME: Lakewood Core Neighborhood	SECTION/AREA Phase 1	LOT/PARCEL NO. Par B	
PLAT # OR LUF	BLOCK	ZONING	TAX MAP NO.
	24	NT	36
WATER CODE		ELECT. DISTRICT	SEWER CODE
		5th	

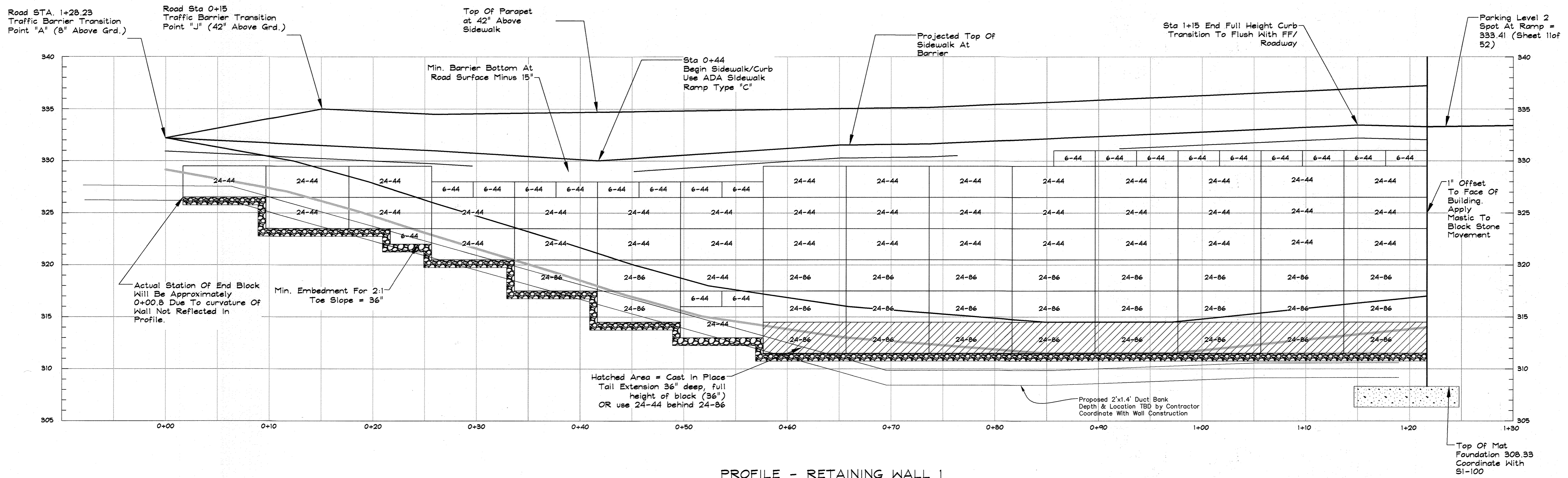
APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: July 7, 2022

APPROVED DEPARTMENT OF PLANNING AND ZONING

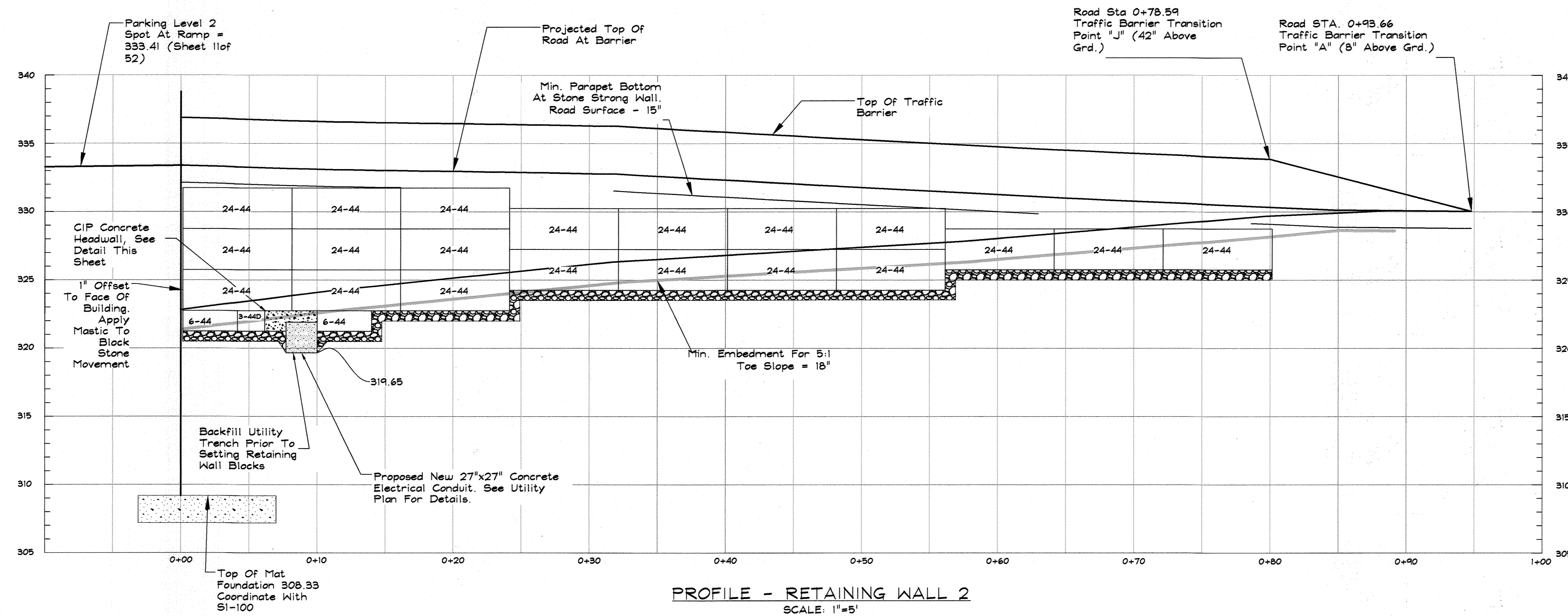
9/7/23
DATE

9/13/23
DATE

9/13/23
DATE



PROFILE - RETAINING WALL 1
SCALE: 1"=5'



PROFILE - RETAINING WALL 2
SCALE: 1"=5'

DATA SOURCES:
BASE INFORMATION PROVIDED VIA ELECTRONIC TRANSFER FROM GDA/PA ON APRIL 1, 2022 FOR USE IN THE DESIGN OF RETAINING WALLS 1 & 2. GEOTECHNICAL INFORMATION IS BASED ON ECS MID-ATLANTIC, LLC REPORT DATED 10/8/2021.

DDC inc.
Development Design Consultants

Planners
Surveyors
Engineers
Landscape Architects

192 East Main Street
Westminster, MD 21157
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OWNER:
LFC MOBI, LLC
C/O The Howard Hughes Corp.
10960 Grantchester Way, Suite 110
Columbia, MD 21044

DEVELOPER:
The Howard Research And
Development Corporation
10960 Grantchester Way, Suite 110
Columbia, MD 21044

SITE ADDRESS:
10285 Little Patuxent Parkway
Columbia Town Center

**SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA**

**RETAINING WALLS
PROFILES**

5th ELECTION DISTRICT HOWARD COUNTY MD

REVISIONS	
NO.	DESCRIPTION OF CHANGES
1	WALL LOCATION REVISED
2	DESCRIPTION OF CHANGES

DEED:	DES. BY: WRD
TAX ACC. #:	DRN. BY: POOL
TAX MAP: 36	CHK. BY: WRD
BLOCK / GRID: 2	DATE: Aug 22 2023
PARCEL #:	DDC JOB#: 17041.92
ZONE / USE: NT	SHEET NUMBER:
DWG. SCALE: AS SHOWN	25 OF 54

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF MARYLAND.

LICENSE NO. 21998 EXPIRATION DATE: JUNE 6, 2024

08/22/2023
DATE

W. RICHARD DEMARIO
PROFESSIONAL ENGINEER NO. 21998

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: July 7, 2022

APPROVED: DEPARTMENT OF PLANNING AND ZONING

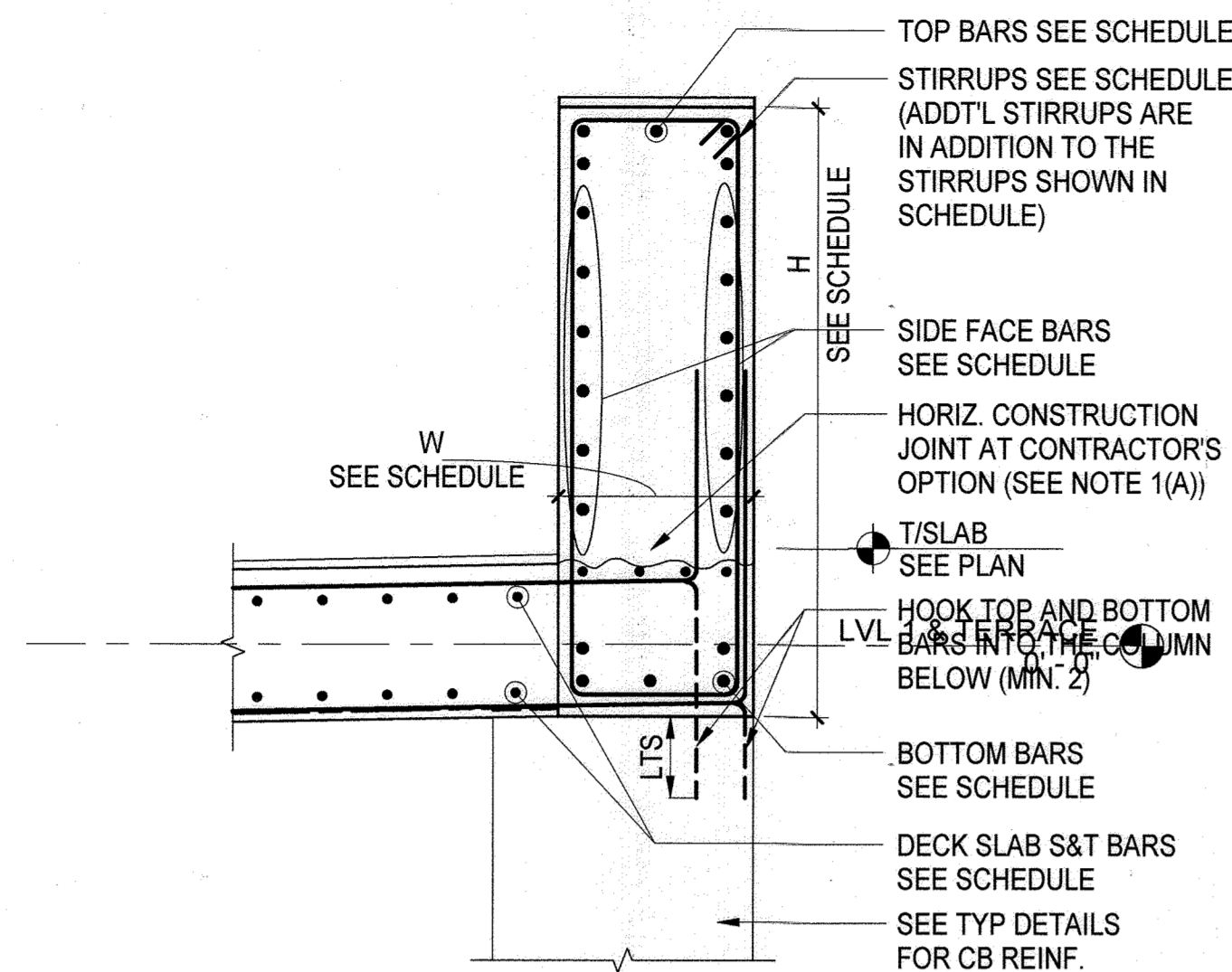
Chad Edman
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 9/7/23

David Casag
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 9/13/23

SEE SHEETS 53 AND 54 FOR
ADDITIONAL DETAILS

ADDRESS CHART
10285 Little Patuxent Parkway
Columbia Town Center

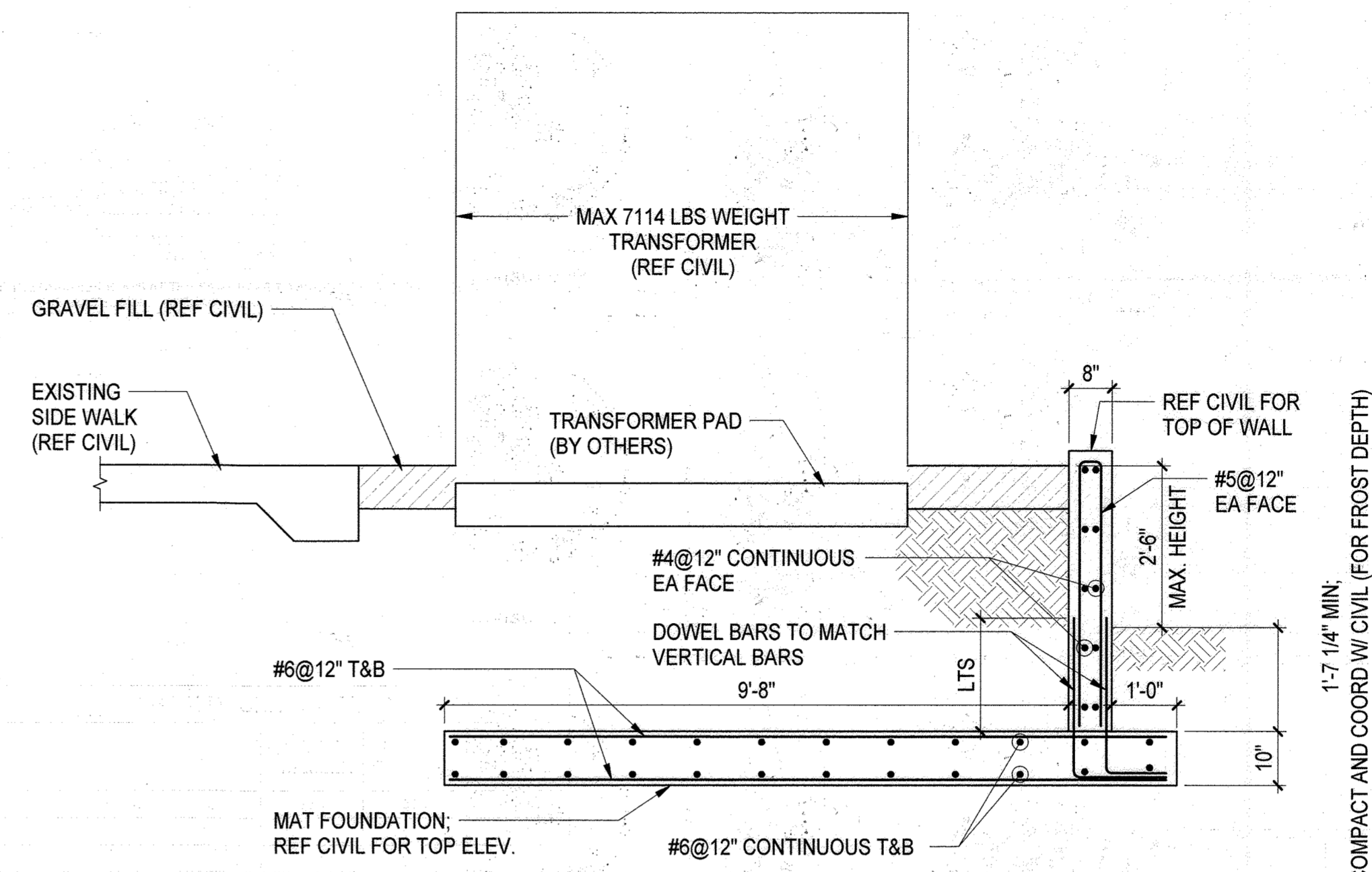
PERMIT INFORMATION CHART			
SUBDIVISION NAME: Lakewood Core Neighborhood	SECTION/AREA: Phase 1	LOT/PARCEL NO. Par B	
PLAT # OR LUF	BLOCK# 24	ZONING NT	TAX MAP NO. 36
			ELECT. DISTRICT 5th
WATER CODE	SEWER CODE		



NOTES:

- PROPOSED CONSTRUCTION SEQUENCE FOR DECK AND UPTURNED GIRDER BEAMS:
 - DECK ENTIRE THICKNESS AND GIRDER TO BE CAST MONOLITHIC WITH A HORIZONTAL CONSTRUCTION JOINT IN BEAMS AT THE TOP OF DECK;
 - REMAINDER OF CONCRETE TO BE CAST ABOVE THE CONSTRUCTION JOINT FOR UPTURNED BEAMS. NO JOINT PERMITTED OTHER LOCATIONS.
 - TEMPORARY SHORING PROVIDED AT ALL TIMES.
- BEAM - TOP BARS CLEAR COVER: 2 1/2"
 BOTTOM BARS CLEAR COVER: 2 1/2"
 SIDE BARS CLEAR COVER: 2 1/2"
- BRIDGE DECK AND BEAMS TO BE CAST W/ DURABLE CONCRETE MIX DESIGN W/ LOW W/C RATIO CONTAINING CORROSION INHIBITING ADMIXTURE AGAINST CORROSION AND DE-ICING SALTS

1 BRIDGE UPTURNED BEAM REINFORCEMENT DETAIL -SDP
 3/4" = 1'-0"



NOTE:

- REF CIVIL FOR ALL ELEVATIONS DEFINING GEOMETRY
- PRIOR TO CONSTRUCTION, CONTRACTOR TO COORDINATE ALL DIMENSIONS SHOWN WITH CIVIL, ARCH, LANDSCAPE ARCH, TRANSFORMER SUPPLIER, AND EXISTING UTILITIES ON SITE. TEMPORARY SHORING AT ALL TIMES DURING CONSTRUCTION PER SPECIFICATIONS.
- RETAINING STRUCTURE DESIGNED AS DRAINED PER CRITERIA IN GEOTECH REPORT. BACKFILL MATERIAL PER THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.

2 SECTION AT TRANSFORMER LOCATION - SDP
 1/2" = 1'-0"

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APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: JULY 7, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 12/28/2022
 Director: Amy Groman Date: 12/22/2022
 Chief, Division of Land Use: [Signature] Date: 12/27/2022
 Chief, Development: [Signature] Date: _____

Thornton Tomasetti
 Thornton Tomasetti, Inc.
 2001 K Street NW, Suite 600 North
 Washington, DC 20006
 T: 202.580.6300 F: 202.580.6301

DESIGNED BY	XXX	DATE	REVISION	BY	APPR.
DRAWN BY	XXX				
CHECKED BY	XXX				

DESIGNED BY	XXX	DATE	REVISION	BY	APPR.
DRAWN BY	XXX				
CHECKED BY	XXX				

PREPARED FOR:

OWNER:
 LFC MOBIL, LLC,
 C/O THE HOWARD HUGHES
 CORP.
 10960 GRANTCHESTER WAY,
 SUITE 110
 COLUMBIA, MD 21044

DEVELOPER:
 THE HOWARD RESEARCH
 AND DEVELOPMENT CORP.
 10960 GRANTCHESTER
 WAY, SUITE 110
 COLUMBIA, MD 21044
 ATTN: GABRIEL CHUNG
 410-964-4800

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 18859, EXPIRATION DATE: 2/29/2024 12/12/22



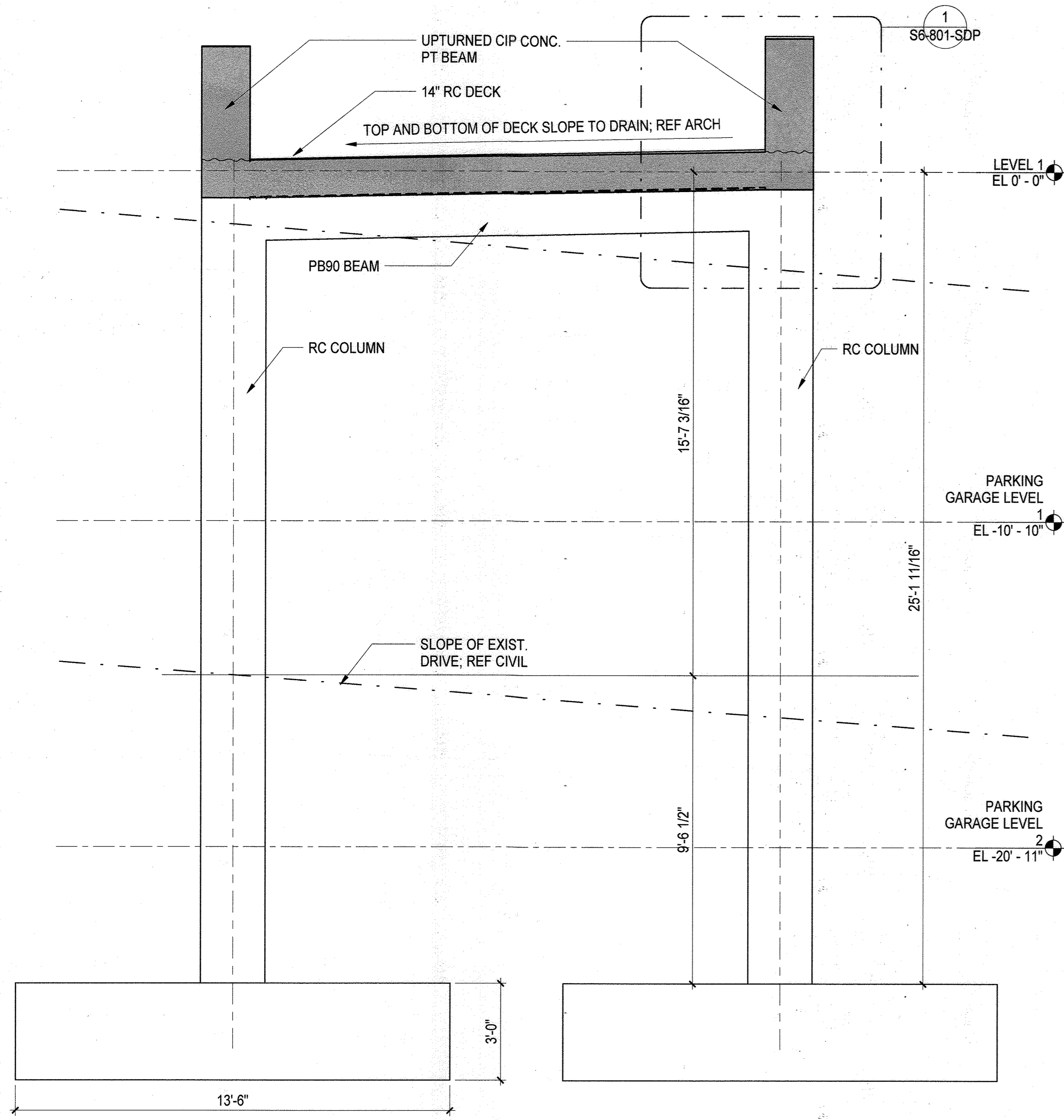
S6-801-SDP CONCRETE SECTIONS AND DETAILS

SOUTHLAKE OFFICE BUILDING
 DOWNTOWN COLUMBIA
 LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B
 A REVISION OF SECTION 1, PARCEL B (PLAT No. 26140)
 PN: 26227-26228

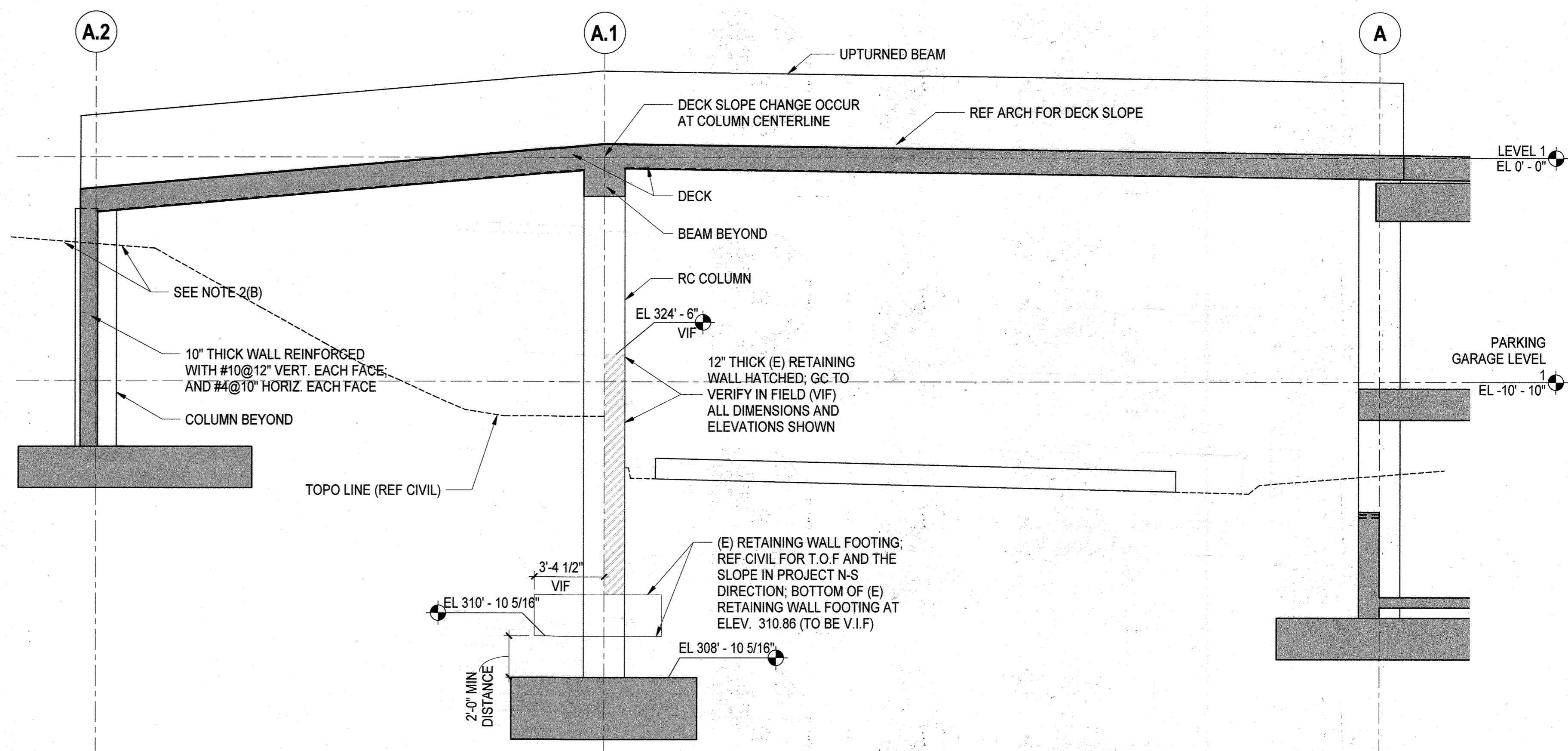
ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

SCALE	ZONING	JOB No.
AS SHOWN	NT	M21883
DATE	TAX MAP - GRID	SHEET
NOV., 2022	36 - 2	26 OF 54



1 SECTION OF BRIDGE BENT
3/8" = 1'-0"



2 SECTION OF BRIDGE
1/4" = 1'-0"

NOTES:

- PROPOSED CONSTRUCTION SEQUENCE FOR BRIDGE COLUMNS ON GRID A.1 WHERE IT CONFLICTS WITH (E) RETAINING WALL:
 - REMOVE REQUIRED AMOUNT OF FILL BEHIND THE (E) RETAINING WALL TO ALLOW INSTALLATION OF BRIDGE COLUMNS, ITS FOOTINGS AND SUB-GRADE SOIL PREPARATION USING RAP PER GEO-TECHNICAL REPORT (REF GEO-TECH REPORT FOR SOIL IMPROVEMENT USING RAMMED AGGREGATE PIERS (RAP));
 - PROVIDE TEMPORARY SHORING TO RETAIN THE SOIL AND SUPPORT EXISTING ELEMENTS, THEN SAW CUT TO DEMO THE (E) RETAINING WALL AND ITS CONTINUOUS WALL FOOTING (VIF) AT THE (N) BRIDGE COLUMN AND ITS FOOTING LOCATIONS;
 - UPON COMPLETION OF RAP, RECOMPACT TOP OF RAPs, PRIOR TO INSTALLATION OF FOOTING REBAR;
 - CONSTRUCT THE (N) BRIDGE FOOTINGS AND COLUMNS;
 - RE-CONSTRUCT THE DEMOLISHED PORTION OF THE (E) RETAINING WALL AND FOUNDATION; LEAVE A 1" GAP BETWEEN THE (E) RETAINING WALL AND (N) BRIDGE COLUMNS;
 - PLACE THE ORIGINAL FILL BEHIND THE (E) RETAINING WALL, SO THE LOADING ON (E) RETAINING WALL REMAINS UNDISTURBED IN NEW CONDITION COMPARED TO EXISTING CONDITION.
 - GC TO VERIFY ALL OF THE EXISTING ELEMENTS PRIOR TO CONDUCT ANY DEMOLITION WORK, AND VERIFY IN FIELD (VIF) THE EXISTING DIMENSIONS AND ELEVATIONS.
 - TEMPORARY SHORING TO BE PROVIDED PRIOR TO ANY DEMOLITION WORK, AND TO REMAIN IN PLACE, UNTIL THE FINAL STRUCTURE IS IN PLACE AND GAINED THE DESIGN STRENGTH PER CONTRACT DOCUMENTS.
- BRACING AND FILL REQUIREMENTS AT BRIDGE COLUMNS/WALL ON GRIDLINE A.2:
 - T/WALL TO BE BRACED BY BRIDGE DECK; PROVIDE SHORING DURING TEMP. CONDITION;
 - PLACE COMPACTED FILL (DRAINED CONDITION) ON EACH FACE OF WALL IN EQUAL LIFTS, NOT TO PUT UNBALANCED SOIL LOAD RETAINED BEHIND THE WALL.

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APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: JULY 7, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
12/28/2022

Director: *Any Goman* Date: 12/22/2022

Chief, Division of Land Use: *Chris Edmondson* Date: 12/27/2022

Chief, Development Engineering Division: _____ Date: _____

Thornton Tomasetti
Thornton Tomasetti, Inc.
2001 K Street NW, Suite 600 North
Washington, DC 20006
T: 202.580.6300 F: 202.580.6301

DESIGNED BY	XXX		
DRAWN BY	XXX		
CHECKED BY	XXX		
DATE	REVISION	BY	APP'R.

OWNER:	DEVELOPER:
LFC MOB1, LLC, C/O THE HOWARD HUGHES CORP. 10960 GRANTCHESTER WAY, SUITE 110 COLUMBIA, MD 21044	THE HOWARD RESEARCH AND DEVELOPMENT CORP. 10960 GRANTCHESTER WAY, SUITE 110 COLUMBIA, MD 21044 ATTN: GABRIEL CHUNG 410-964-4800

PREPARED FOR:

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 18852, EXPIRATION DATE: 9/23/2024. 12/12/22

Matthew D. Loeffler

STATE OF MARYLAND
REGISTERED PROFESSIONAL ENGINEER

S9-100-SDP

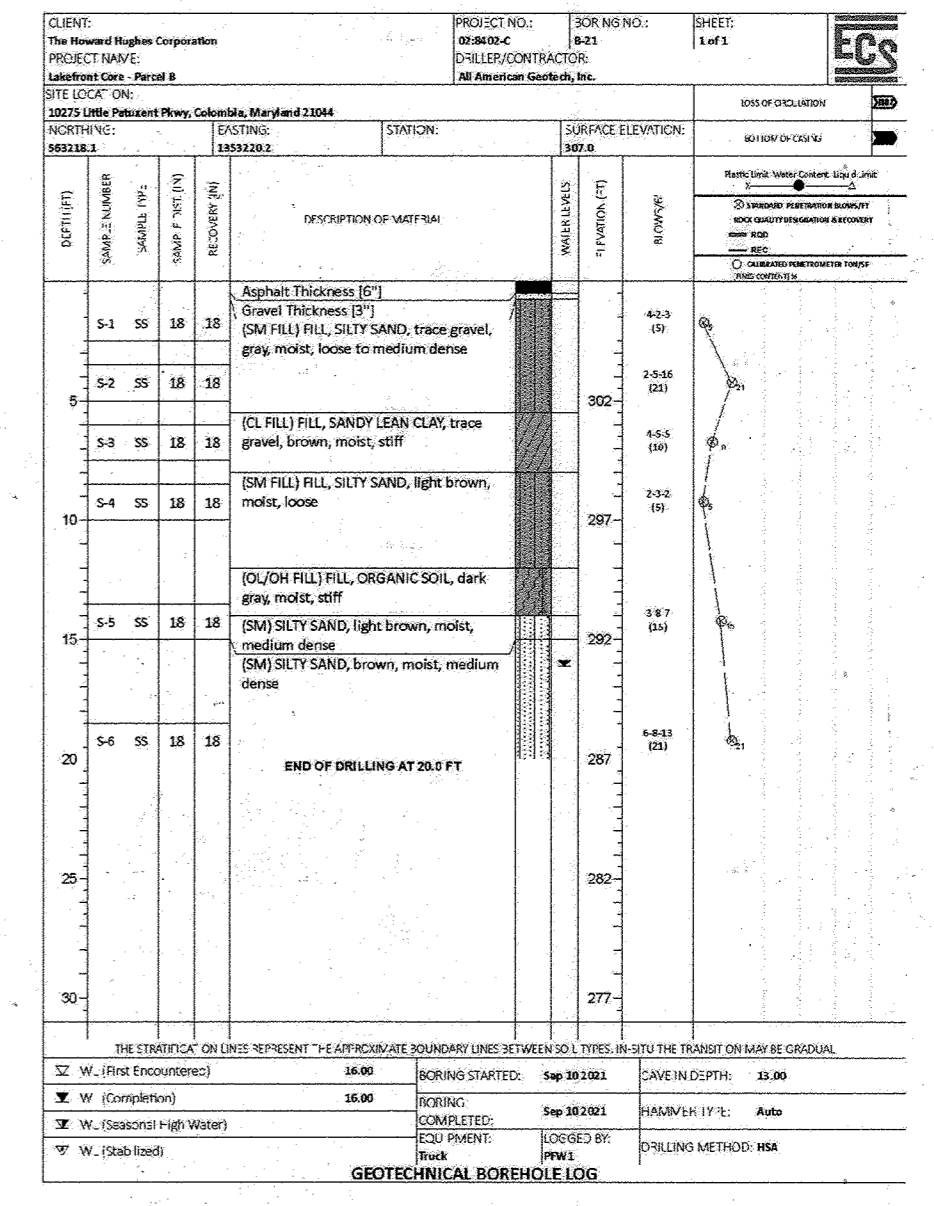
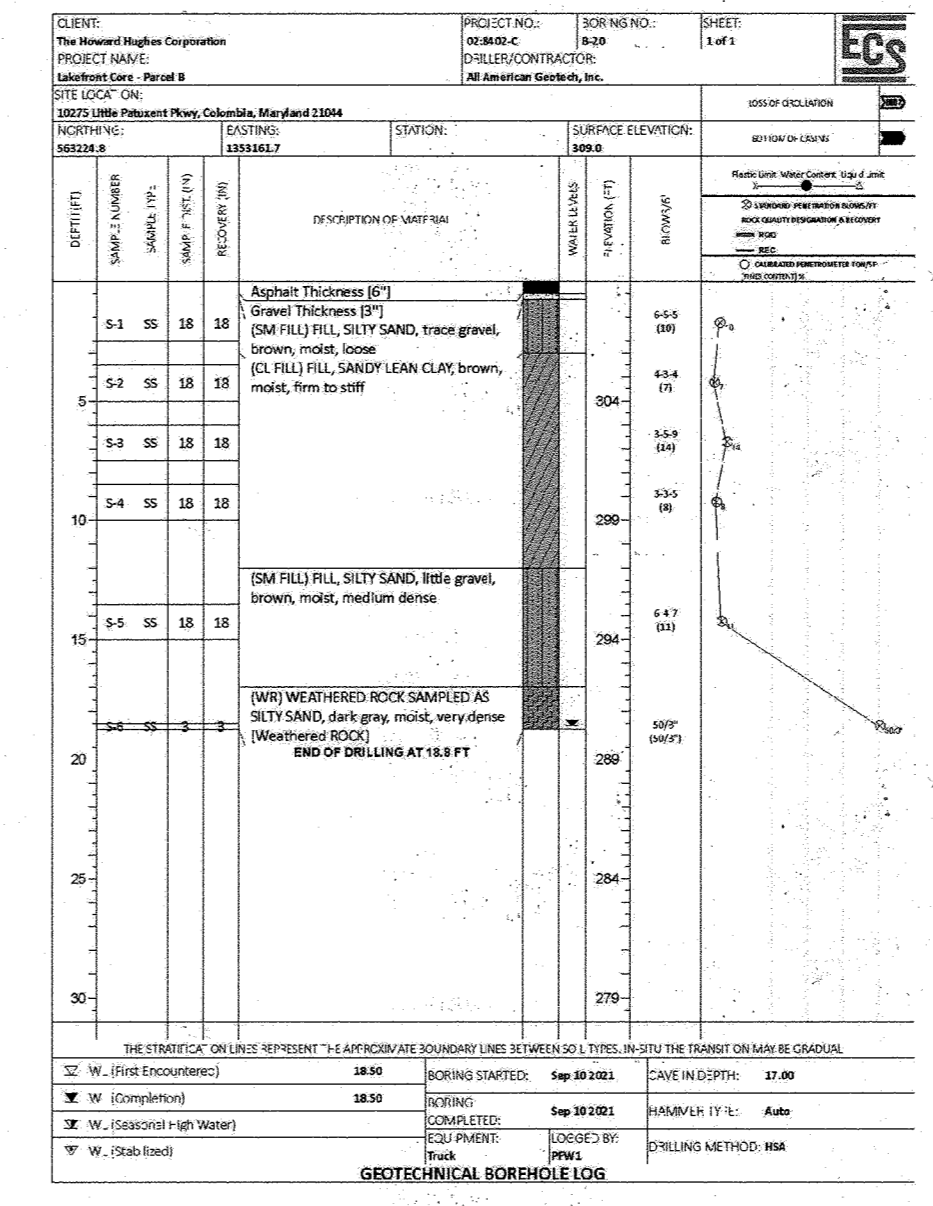
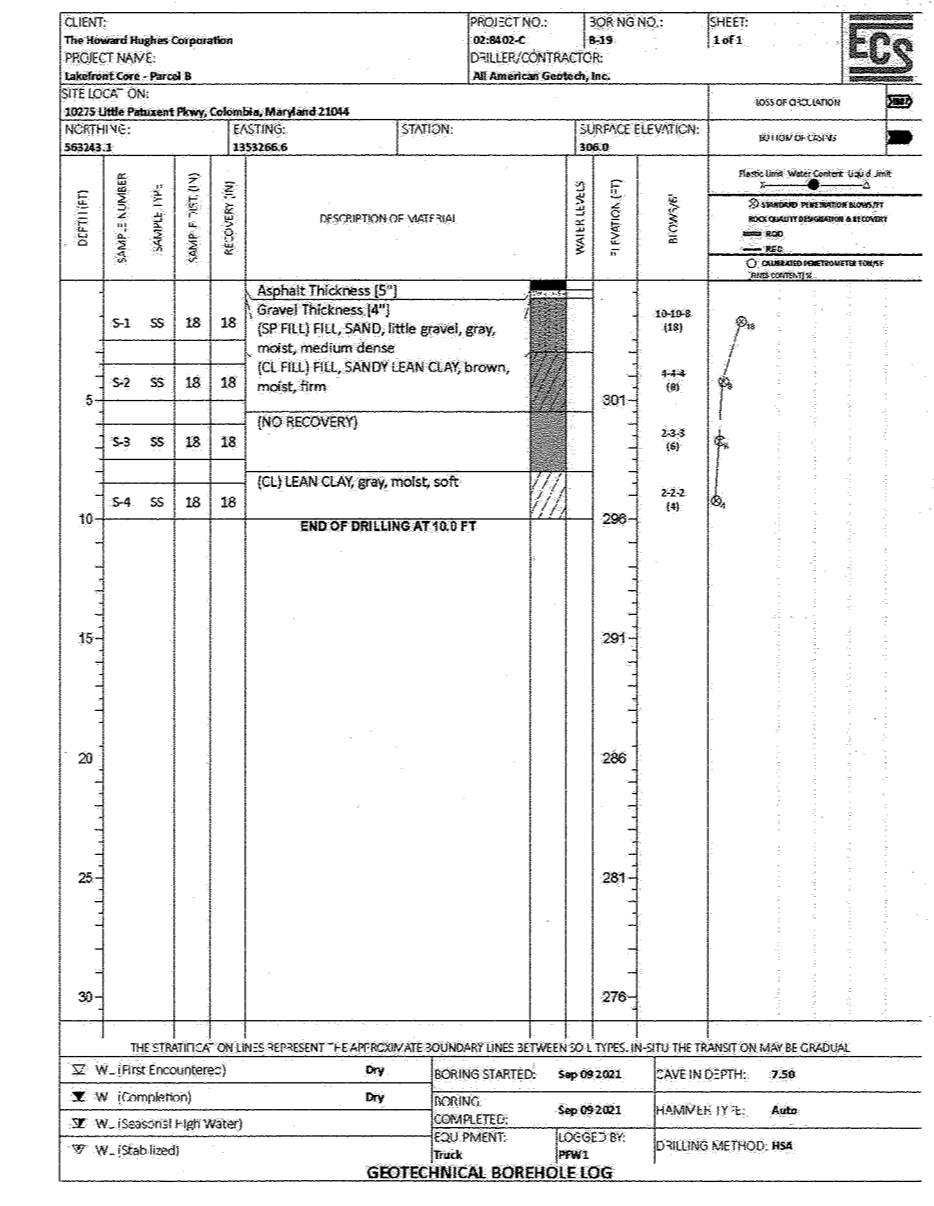
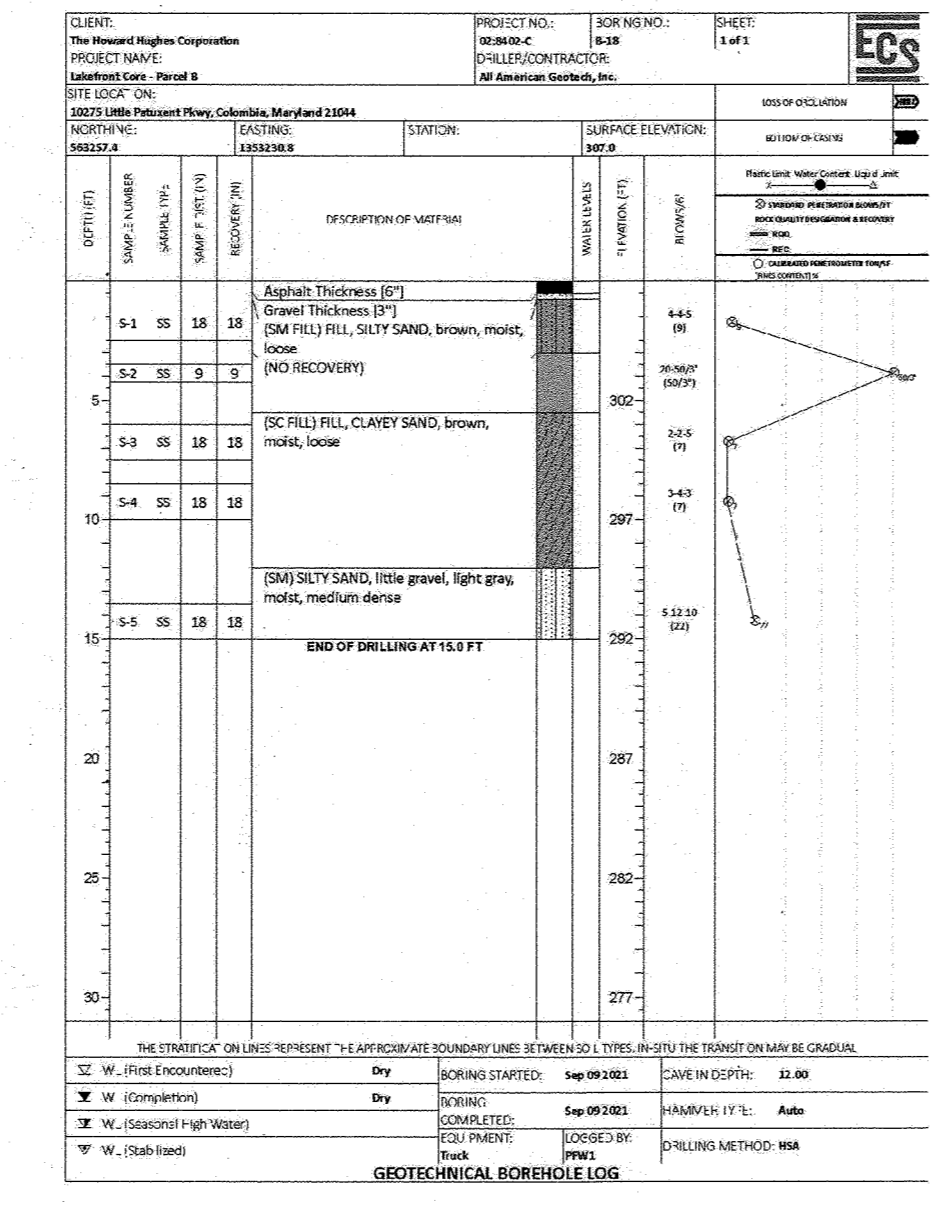
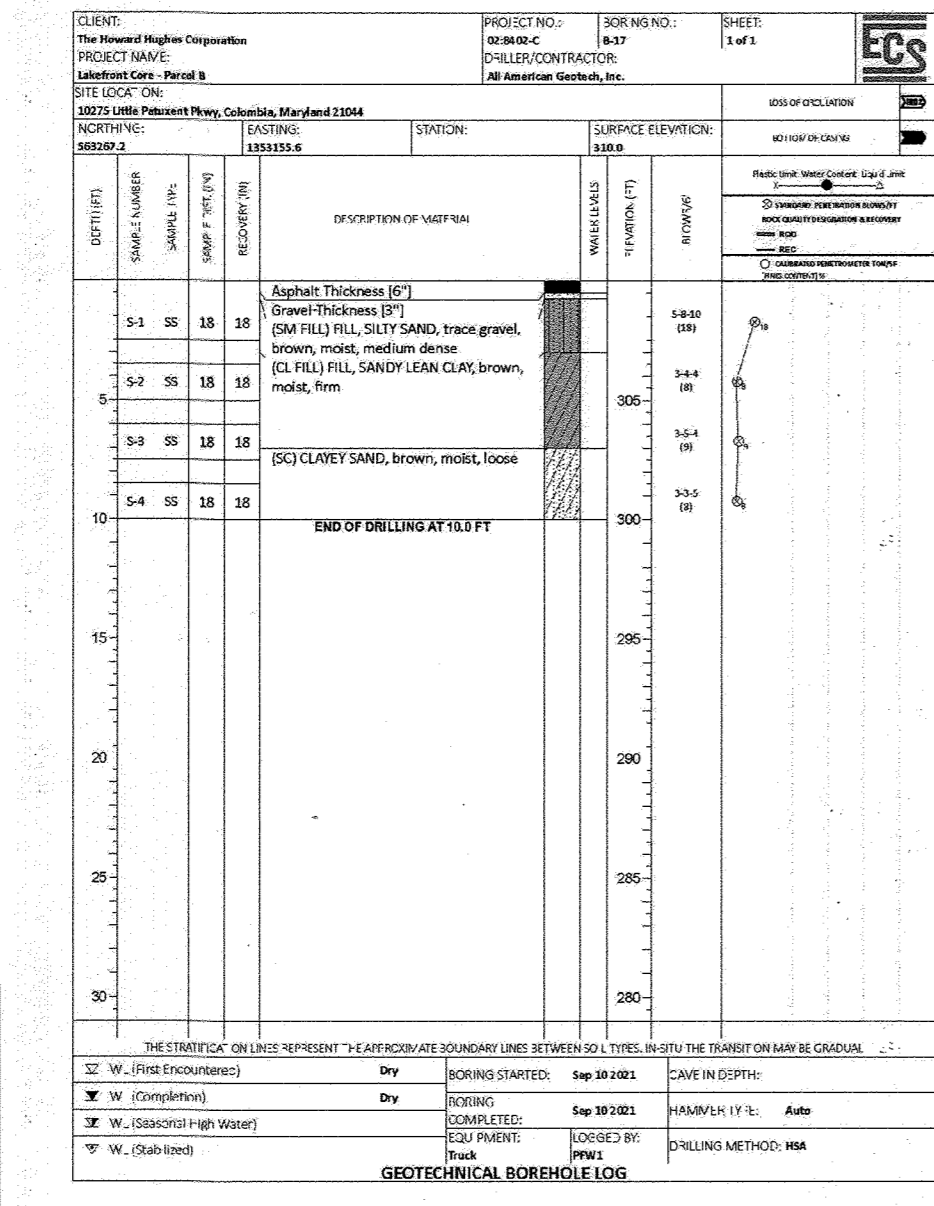
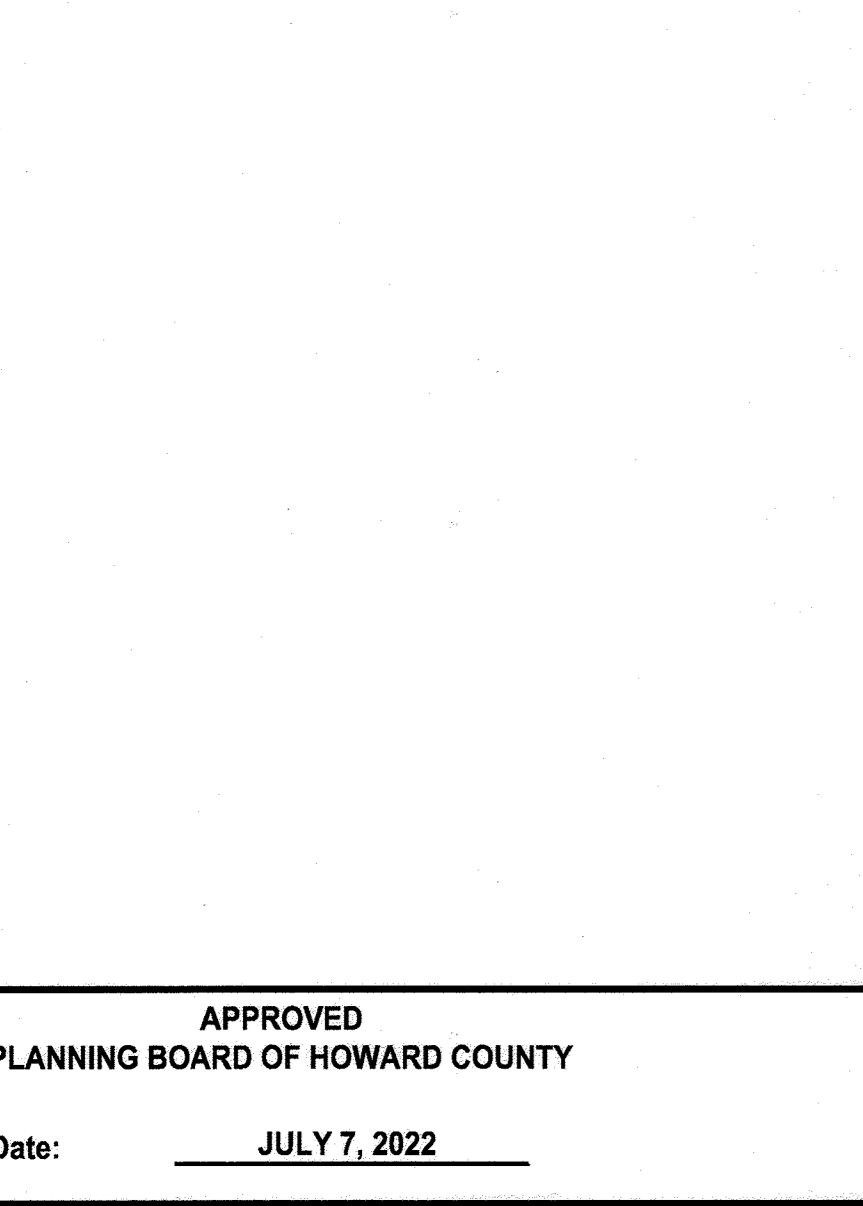
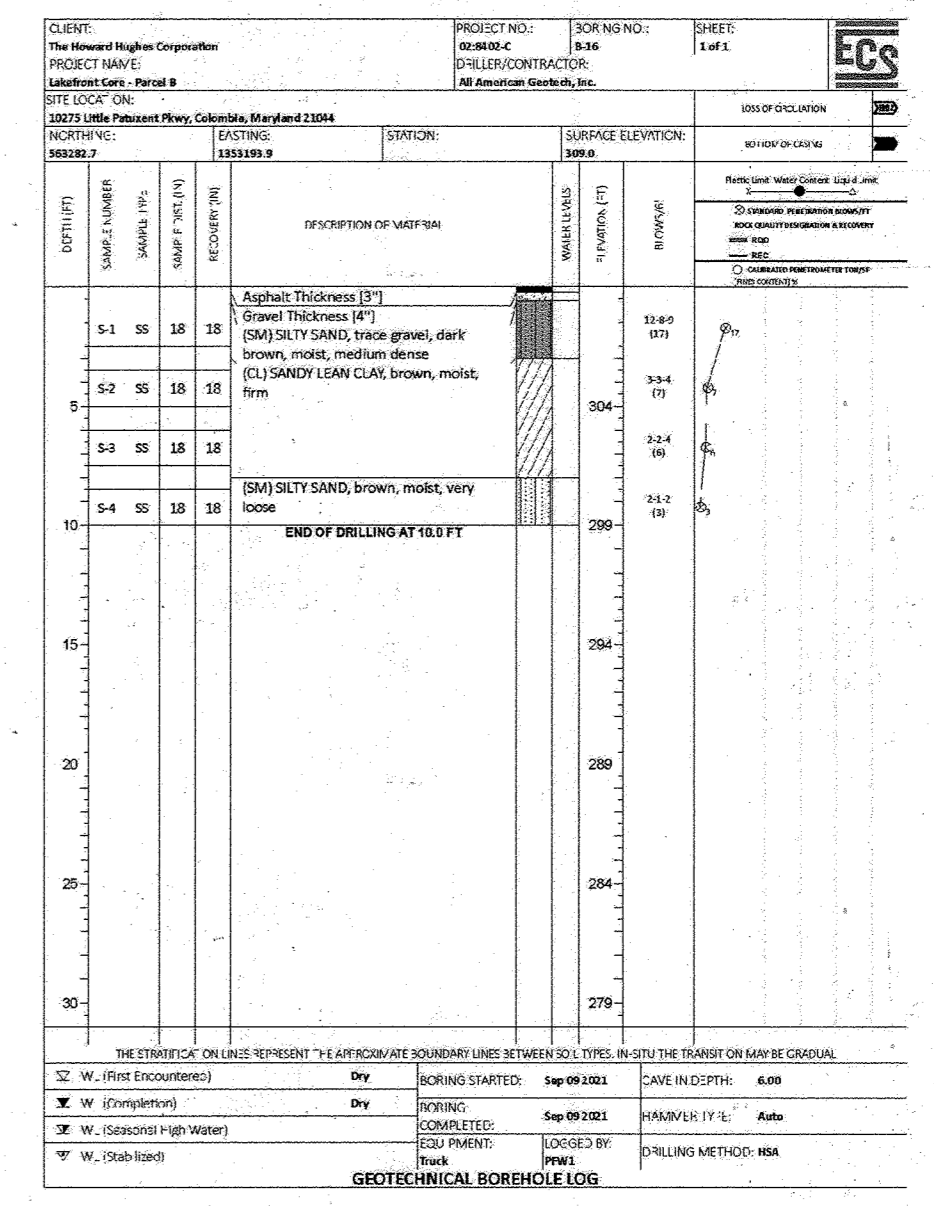
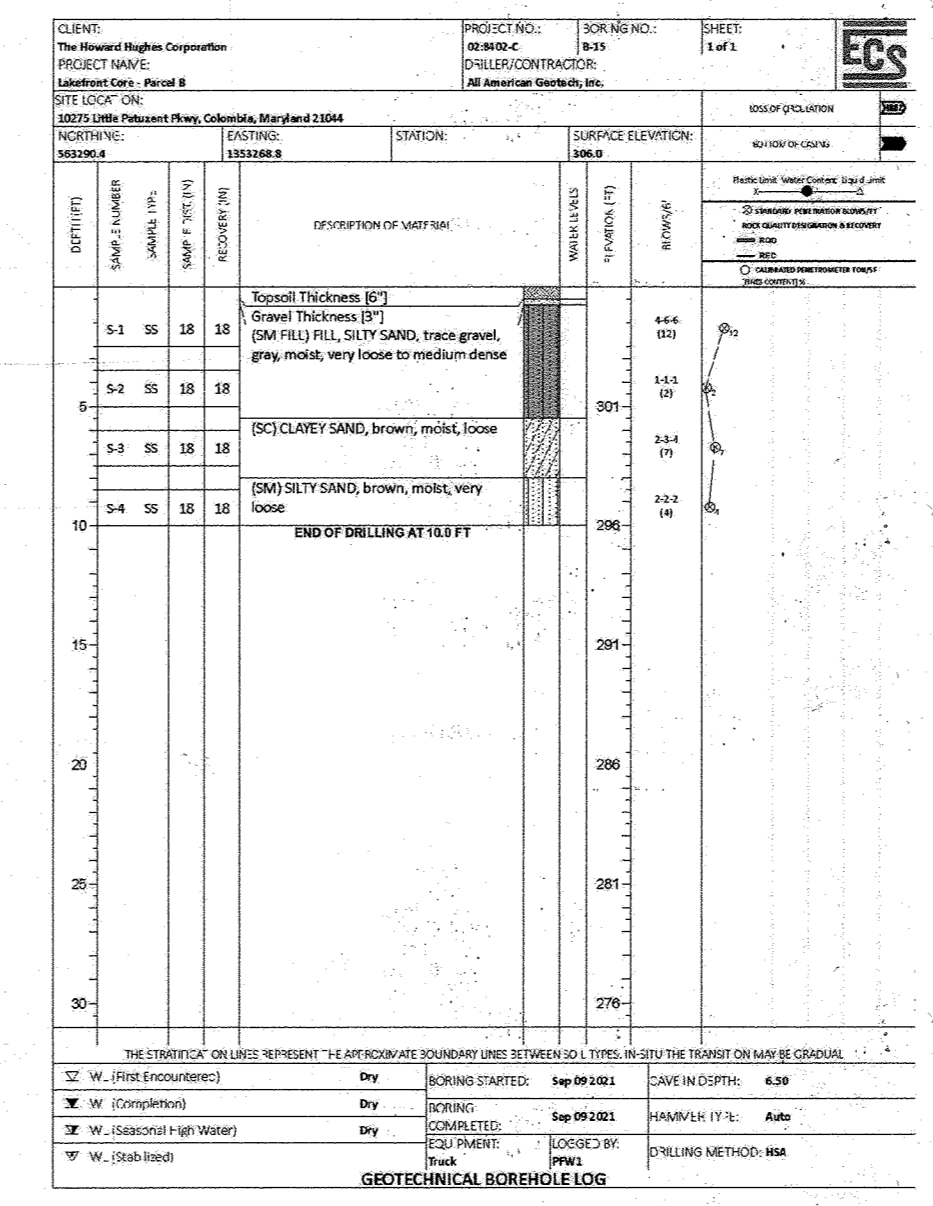
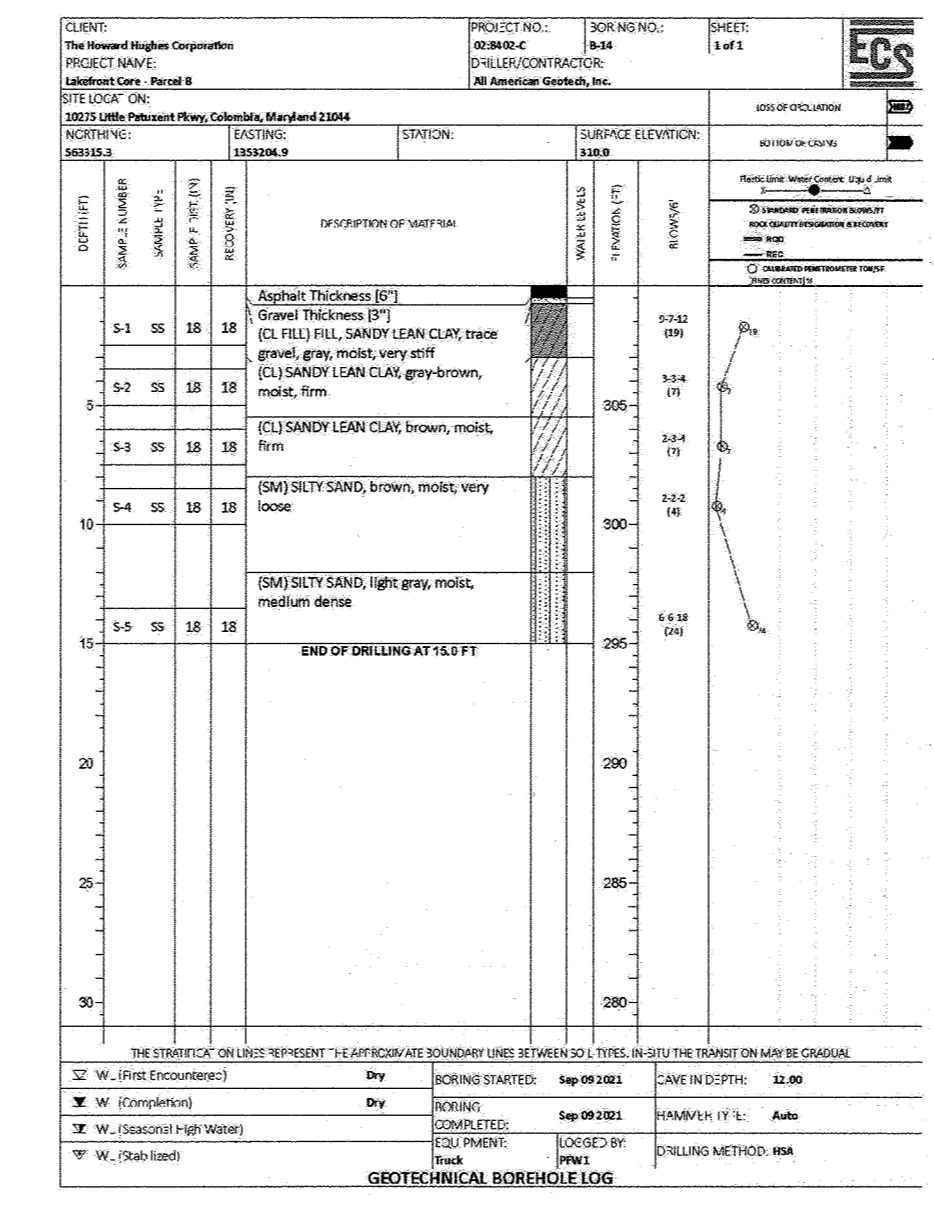
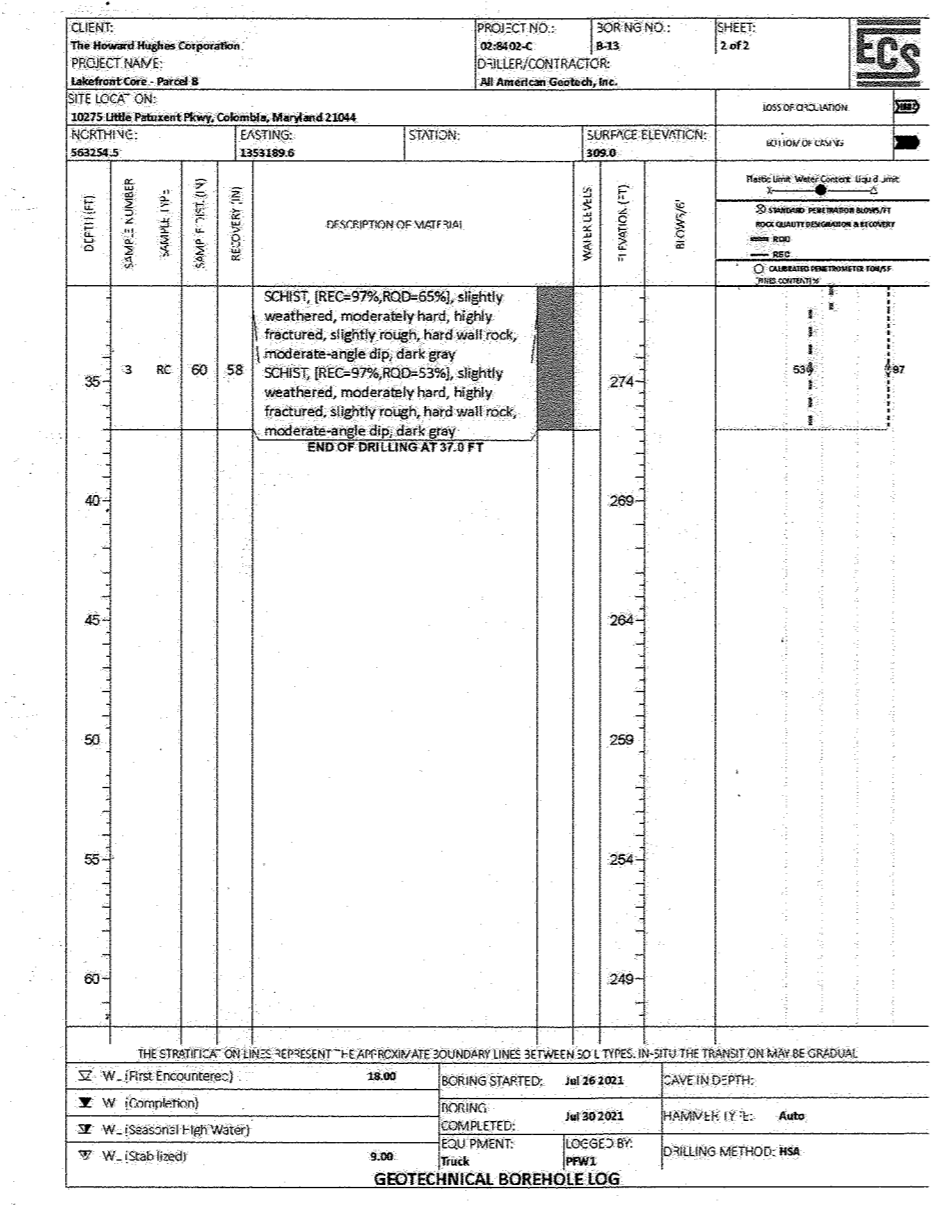
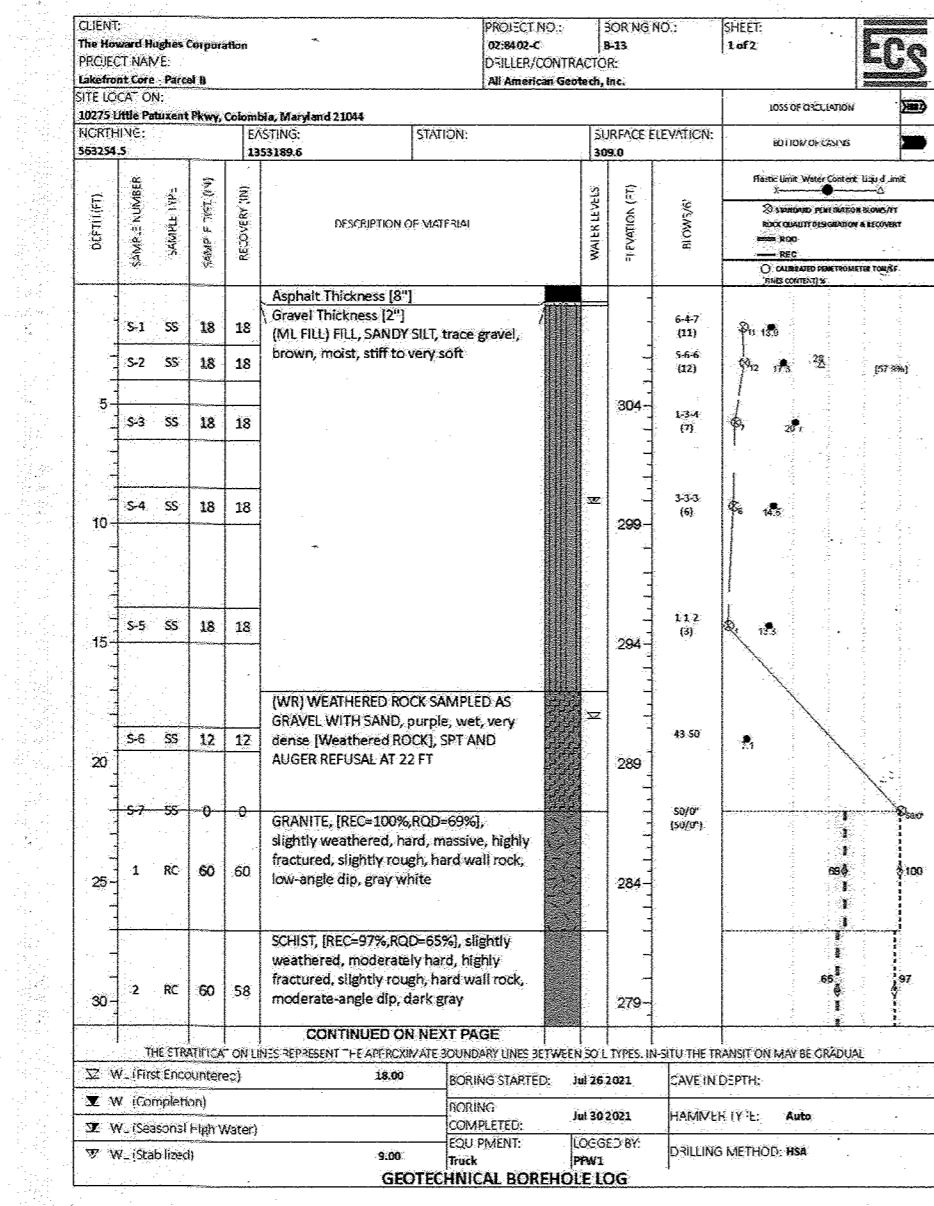
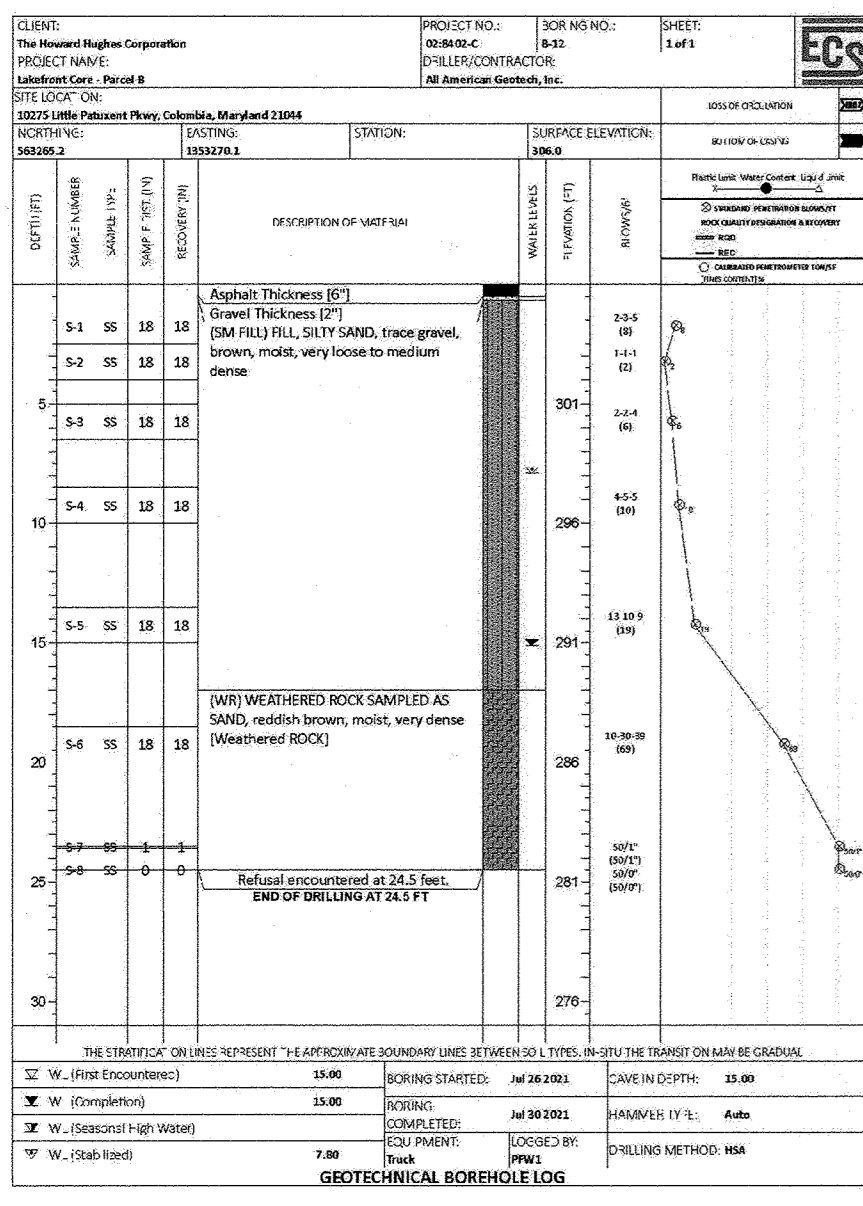
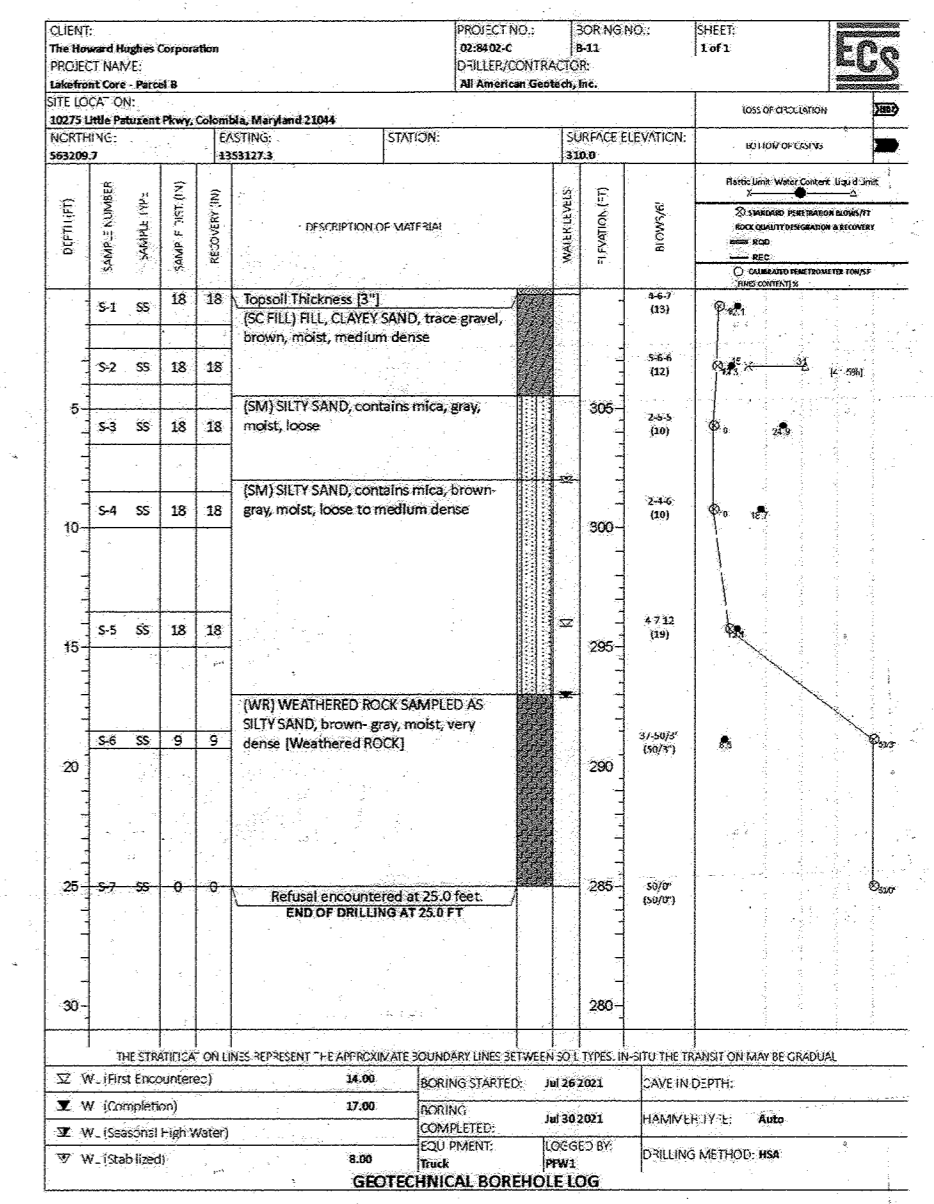
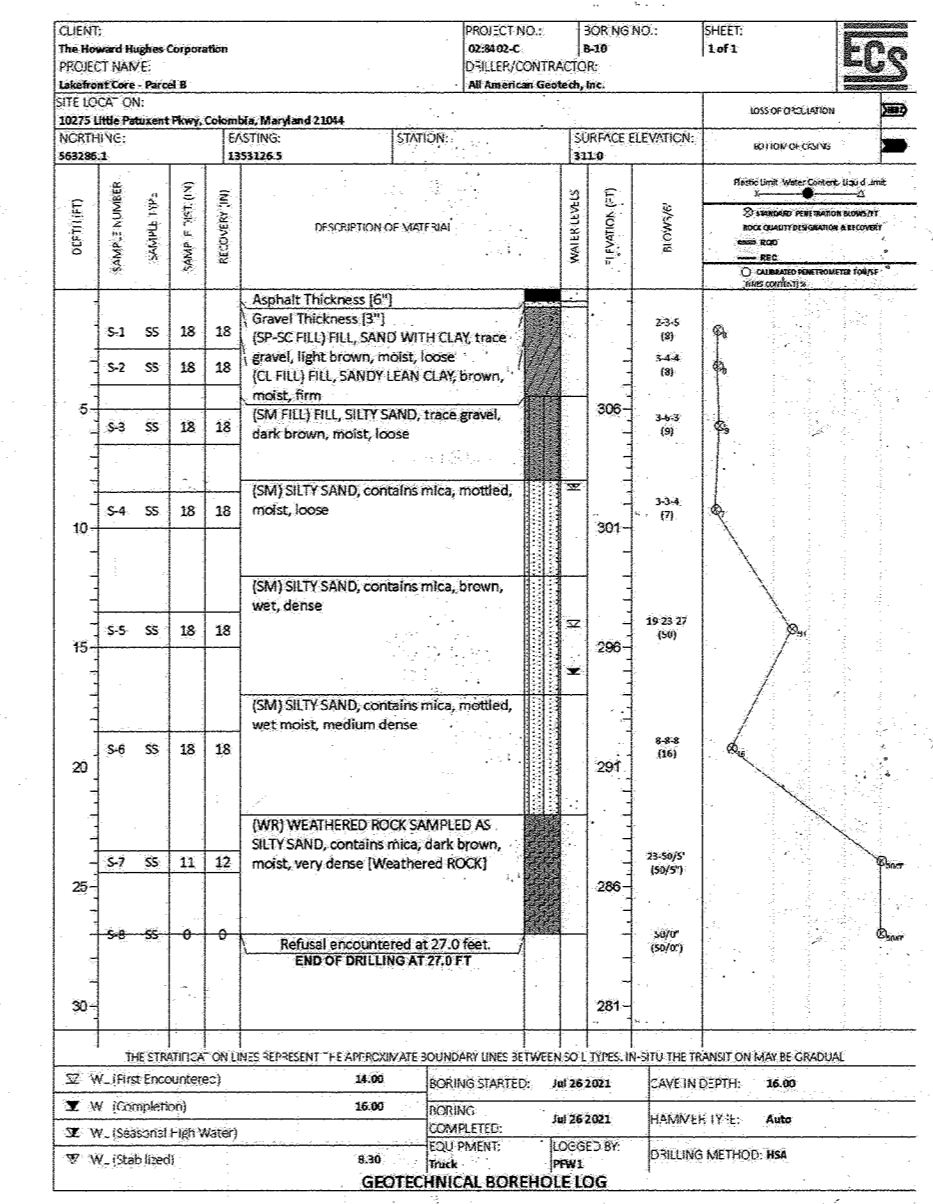
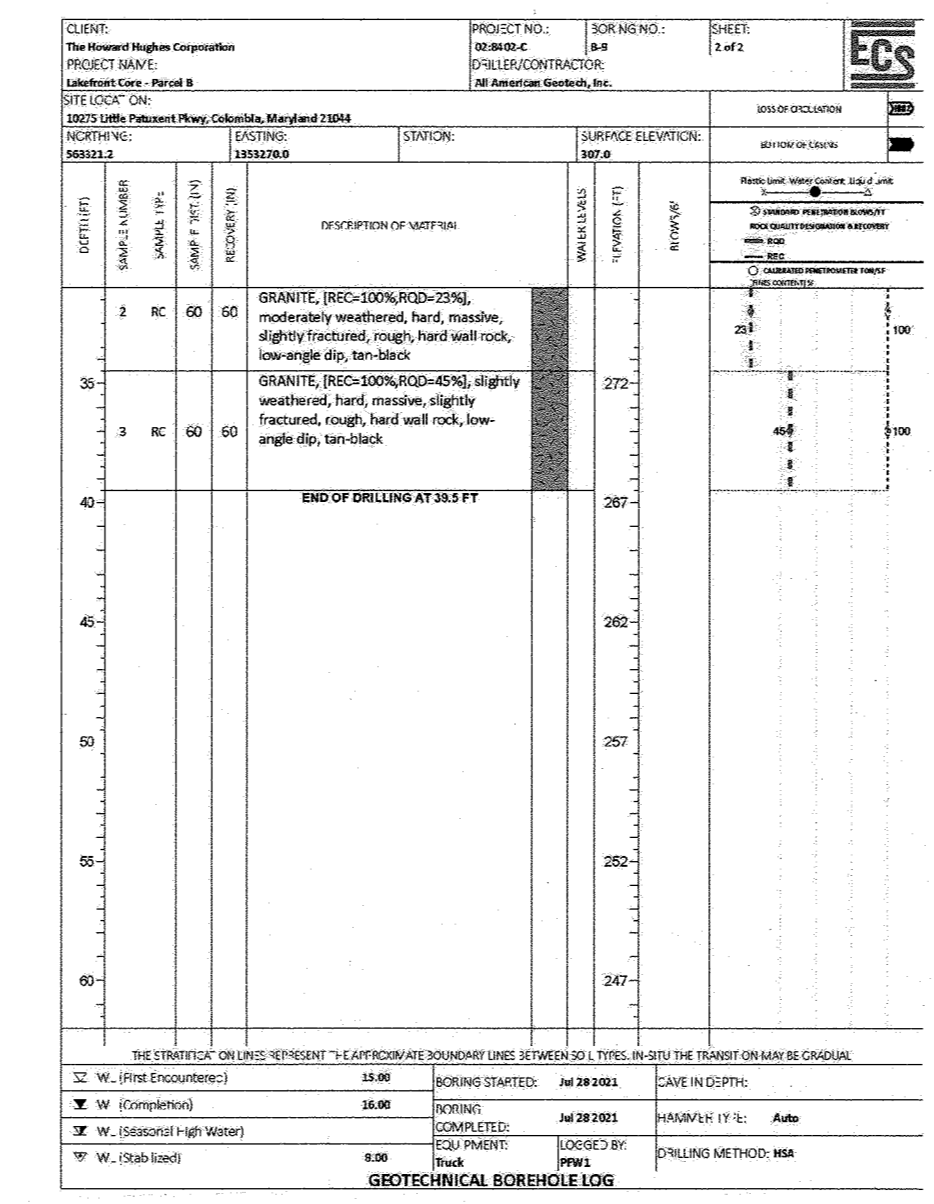
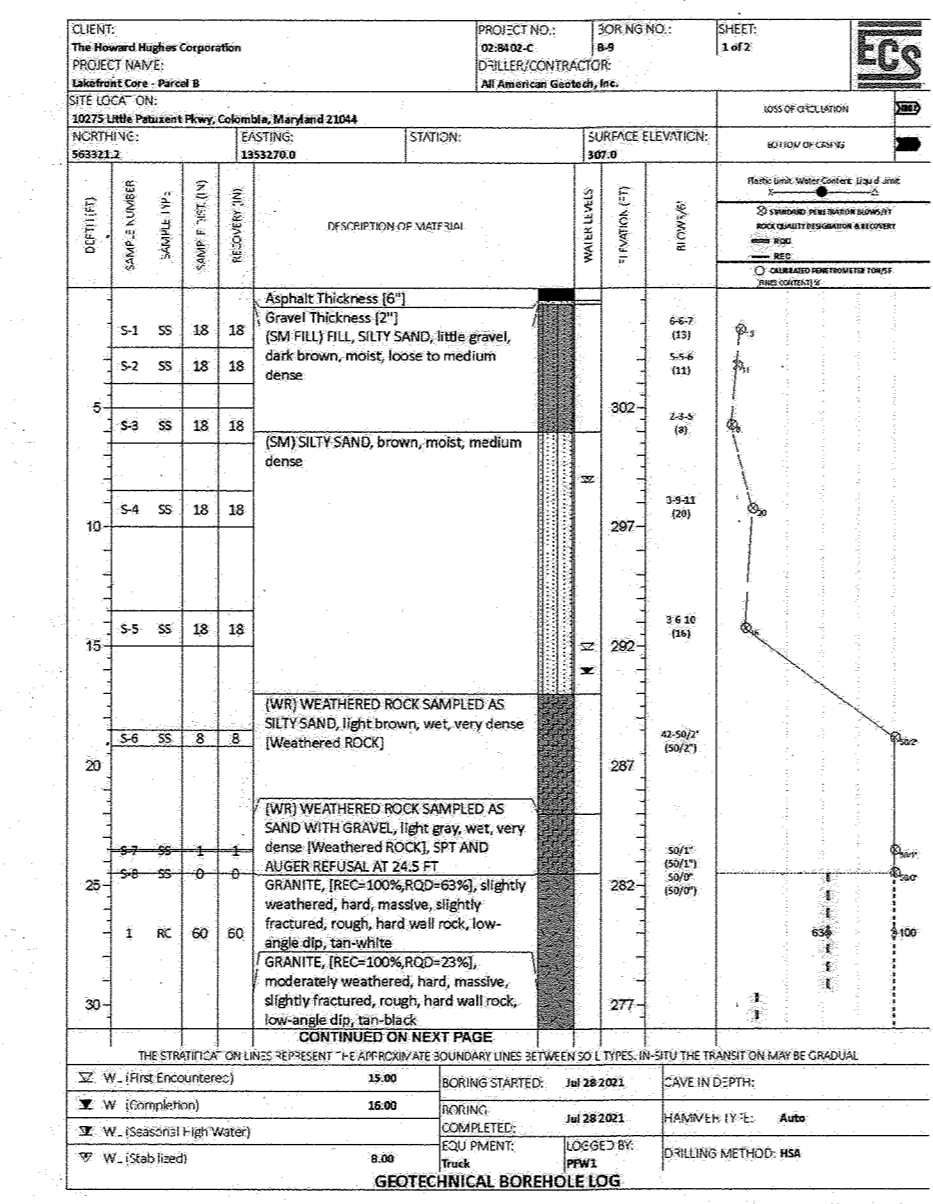
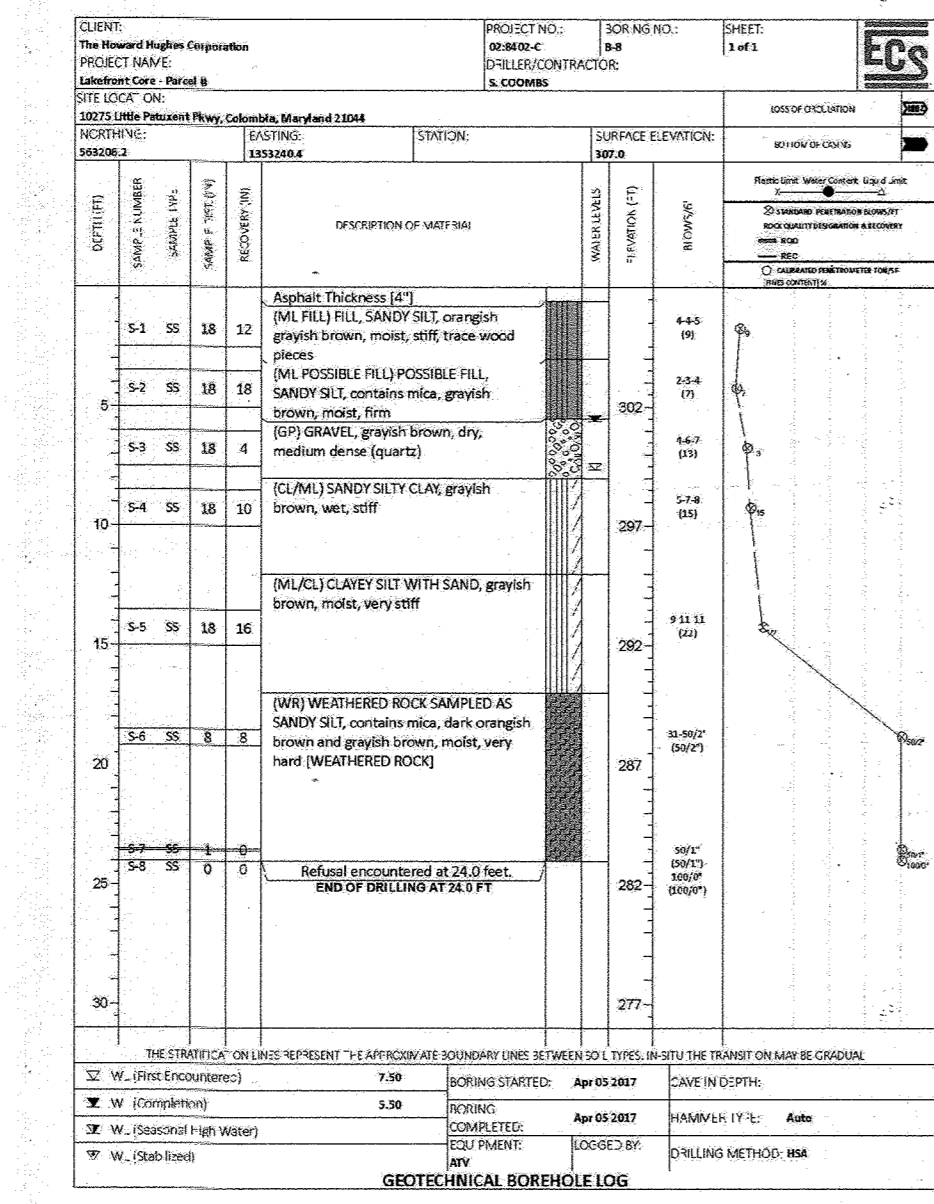
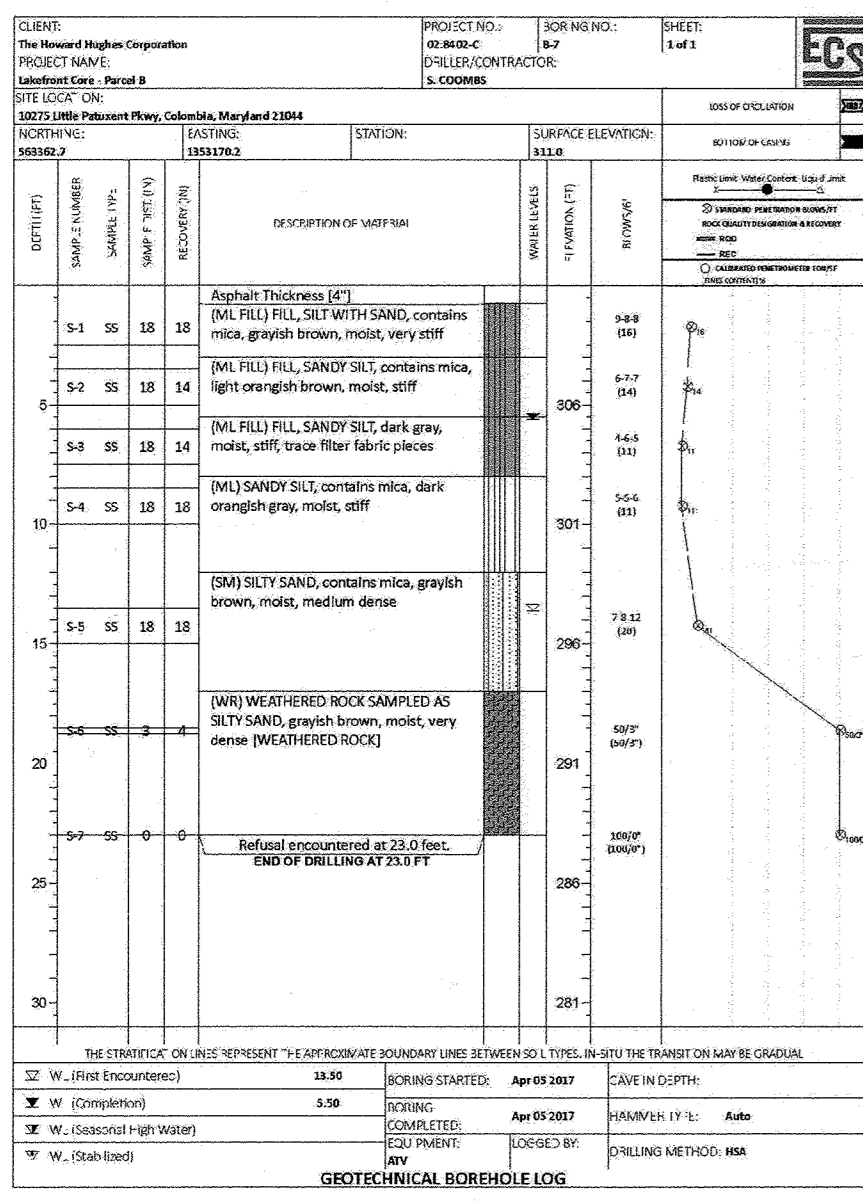
BRIDGE SECTION AND DETAIL

SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA
LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B
A REVISION OF SECTION 1, PARCEL B (PLAT No. 26140)
PN: 26227-26228

ELECTION DISTRICT No. 5

SCALE	ZONING	JOB No.
AS SHOWN	NT	M21883
DATE	TAX MAP - GRID	SHEET
NOV, 2022	36 - 2	27 OF 54

HOWARD COUNTY, MARYLAND



APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: JULY 7, 2022

APPROVED: HOWARD COUNTY, DEPARTMENT OF PLANNING & ZONING
 12/28/2022
 Director: [Signature] Date: 12/28/2022
 Chief, Division of Land Development: [Signature] Date: 12/27/2022
 Chief, Development Engineering Division: [Signature] Date: _____

DESIGNED BY:	ddd
DRAWN BY:	ddd
CHECKED BY:	
DATE	REVISION
	BY APPR.

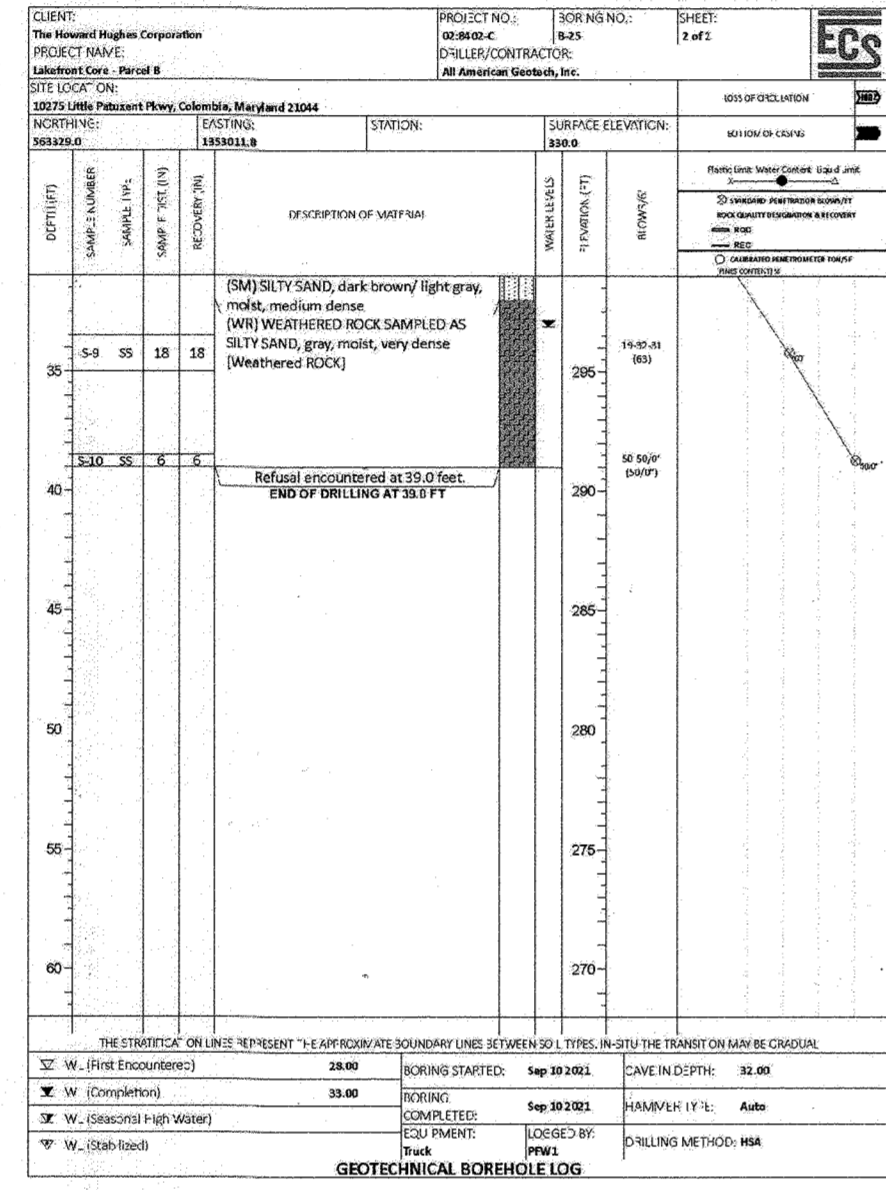
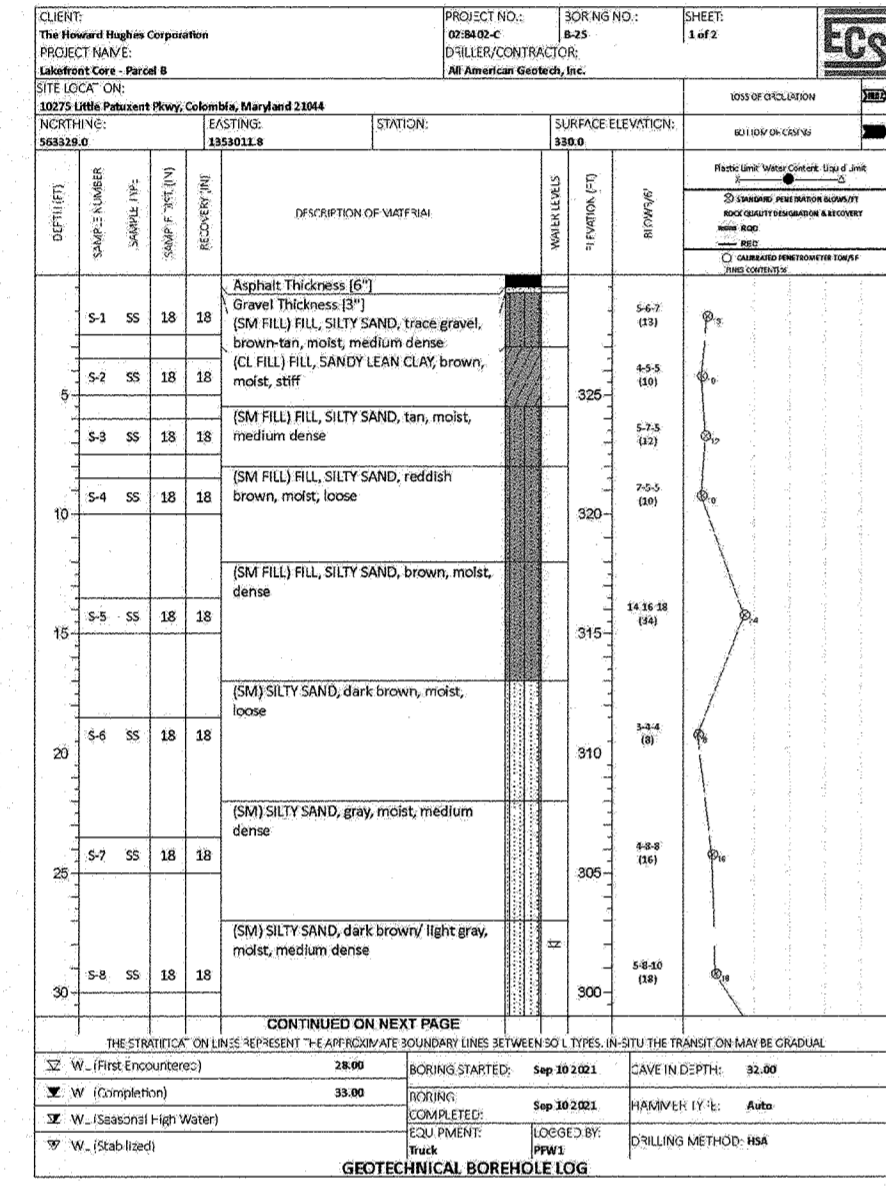
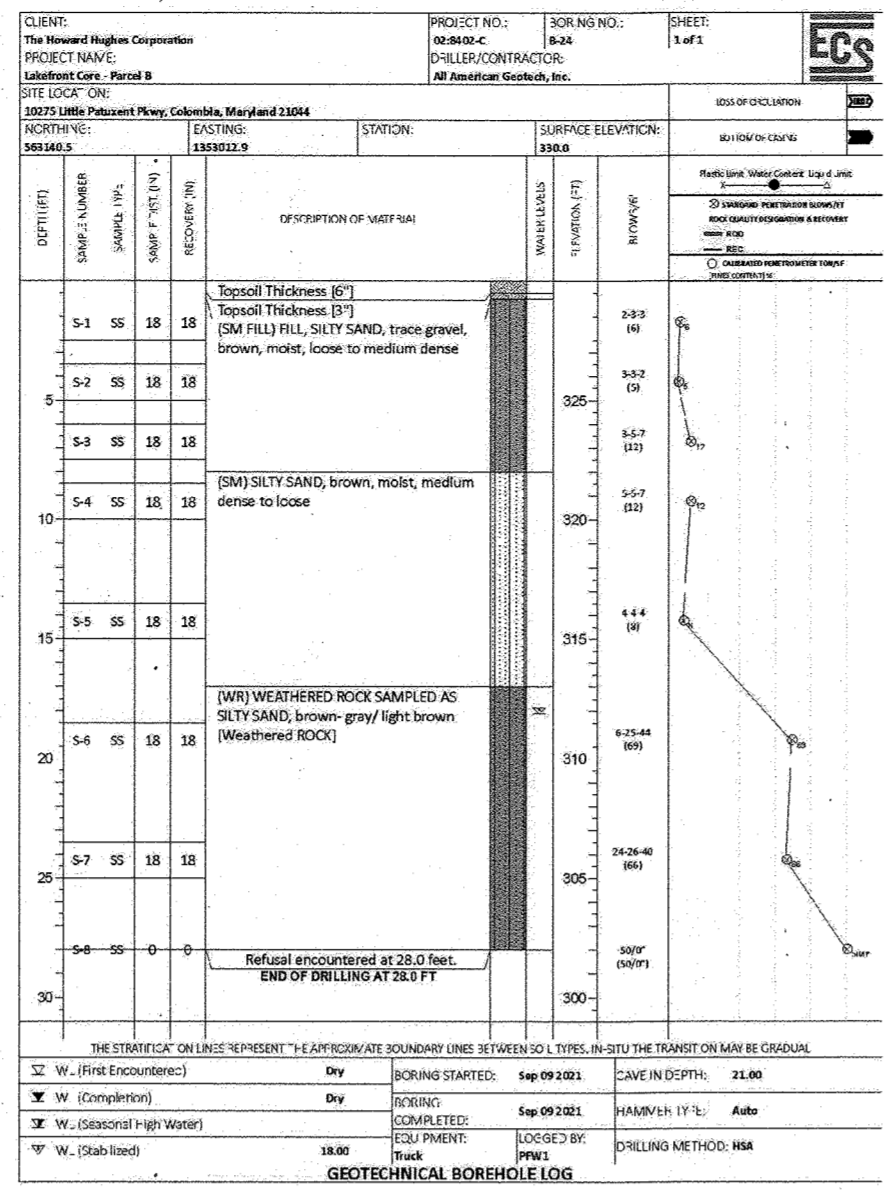
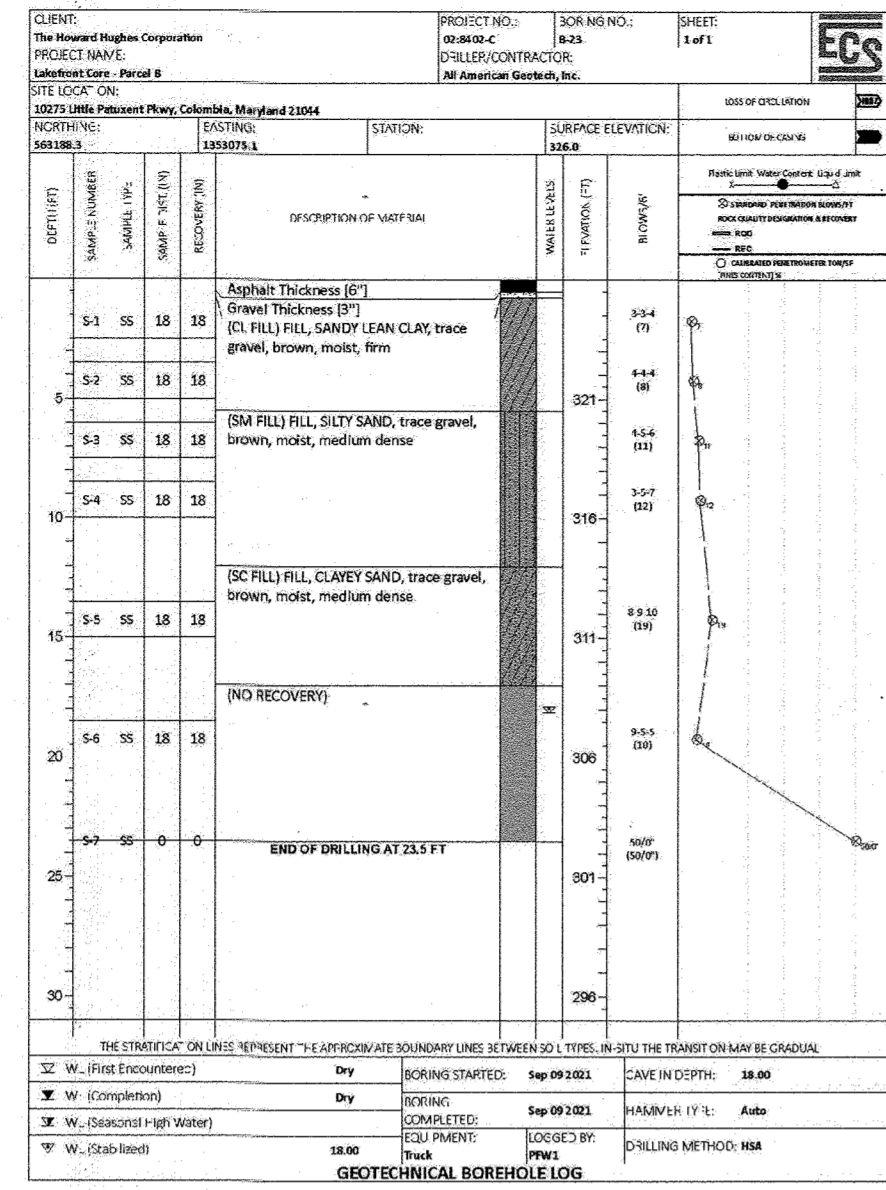
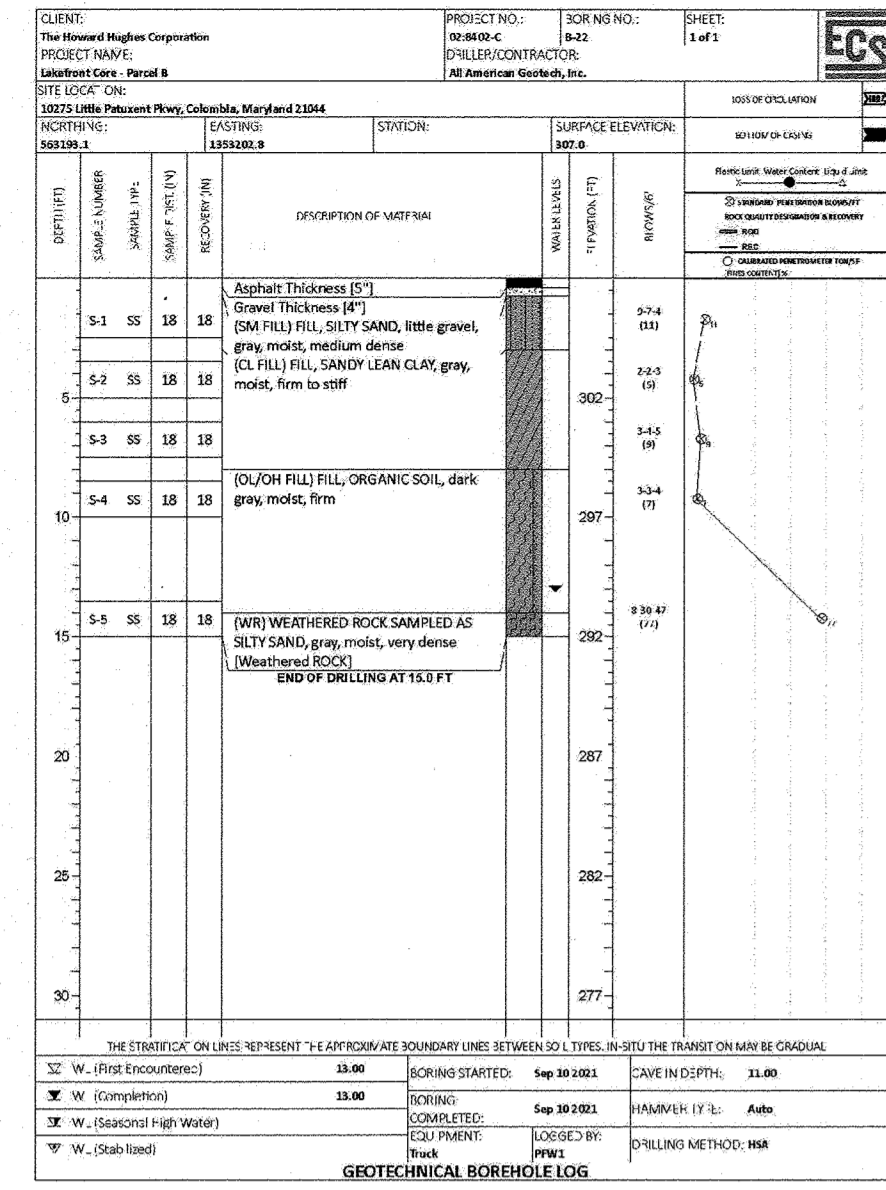
PREPARED FOR:
 OWNER: LFC MOB1, LLC, C/O THE HOWARD HUGHES AND DEVELOPMENT CORP., 10880 GRANTCHESTER WAY, SUITE 110 COLUMBIA, MD 21044
 DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP., 10880 GRANTCHESTER WAY, SUITE 110 COLUMBIA, MD 21044 ATTN: GABRIEL CARING 410-964-4800

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2024
 12/12/22

BORING LOGS
SOUTHLAKE OFFICE BUILDING DOWNTOWN COLUMBIA
 LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B
 A REVISION OF SECTION I, PARCEL B (PLAT No. 26140)
 PN: 26227 - 26228
 ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	18046
DATE	TAX MAP - GRID	SHEET
DEC., 2022	36 - 2	28 OF 54

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 PLOTTED: 12/12/2022 10:22 AM, LAST SAVED: 11/10/2022 2:38 PM



SOUTHLAKE MEDICAL OFFICE BUILDING

OCTOBER, 2022

ABBREVIATIONS

A ABV ABOVE A/C ASPHALT CONCRETE AD AREA DRAIN ADJ ADJUSTABLE/ADJACENT AFF ABOVE FINISHED FLOOR AGG AGGREGATE ALT ALTERNATE/ALTERATION APPROX APPROXIMATE ARCH ARCHITECT/ARCHITECTURAL AVG AVERAGE	B BC BOTTOM OF CURB BL BREAK LINE BLDG BUILDING BLKG BLOCKING BOT/BTM BOTTOM BP BOTTOM OF POOL BR BREAK LINE BTWN BETWEEN BS BOTTOM OF STAIR BW BOTTOM OF WALL	C CAP CAPACITY CBC CATCH BASIN CDF CONTROLLED DENSITY FILL CEM CEMENT CF CAST FACE CI CAST IRON CIP CAST IN PLACE CJ CONTROL JOINT CL CENTER LINE CLR CLEAR, CLEARANCE CO CLEAN OUT COL COLUMN COMP COMPOSITE/COMPOSITION CONC CONCRETE COND CONDITION CONT CONTINUOUS CTR CENTER CTSK COUNTERSUNK CU CUBIC CUFT CUBIC FOOT D (D) DEEP/DEPTH DBL DOUBLE DECID DECIDUOUS DETL DETAIL DIA DIAMETER DIM DIMENSION DN DOWN DR DRAIN DWG DRAWING E E EAST EA EACH EB EXPANSION BOLT EJ EXPANSION JOINT EL ELEVATION ELEC ELECTRICAL EQ EQUAL EQUIP EQUIPMENT ETR EXISTING TO REMAIN EW EAST WEST EXP EXPANSION EXT EXTERIOR	F FB FLAT BAR FDC FIRE DEPARTMENT CONNECTION FDG FACILITY DESIGN GUIDELINES FDN FOUNDATION FFE FINISH FLOOR ELEVATION FG FINISH GRADE FH FLAT HEAD FIN FINISH FL FLOOR FO FACE OF FOB FACE OF BRICK FOC FACE OF CONCRETE FOF FACE OF FINISH FOIC FURNISHED BY OWNER, INSTALLED BY CONTRACTOR FOIO FURNISHED BY OWNER, INSTALLED BY OWNER FOM FACE OF MASONRY FOS FACE OF STUDS FS FINISH SURFACE FT FOOT OR FEET FG FOOTING FURN FURNISH(ED) FUT FUTURE G GA GAUGE GAL GALLON GC GENERAL CONTRACTOR GL GLASS/GLAZING/GLAZED H (H) HIGH/HEIGHT HB HOSE BIB HC HANDICAP HDWD HARDWOOD HDWR HARDWARE HORIZ HORIZONTAL HP HIGH POINT HR HANDRAIL HSS HOLLOW STRUCTURAL SECTION HT HEIGHT I ID INSIDE DIAMETER/INSIDE DIMENSION IE INVERT ELEVATION IN INCHES INSUL INSULATION INT INTERIOR J JST JOIST JT JOINT K KD KILN DRIED KO KNOCK OUT L (L) LENGTH LB POUND LF LINEAR FEET LW LIMIT OF WORK LP LOW POINT LT LIGHT	M MAINT MAINTENANCE MAINTAIN MAS MASONRY MAT MATERIAL MAX MAXIMUM	MECH MECHANICAL MEMB MEMBRANE MEP MECHANICAL, ELECTRICAL, AND PLUMBING MTL/MET METAL MFR MANUFACTURER/MANUFACTURING MH MANHOLE MIN MINIMUM/MINUTE MISC MISCELLANEOUS N N NORTH N/A NOT APPLICABLE NIC NOT IN CONTRACT No. NUMBER NOM NOMINAL NS NORTH SOUTH NTS NOT TO SCALE O OA OVERALL OC ON CENTER OD OUTSIDE DIAMETER OFD OVERFLOW DRAIN OH OVER HEAD OPP OPPOSITE P PA PLANTING AREA PC PRECAST PERF PERFORATED PERP PERPENDICULAR PL PLATE PLAS PLASTER PLYWD PLYWOOD PNL PANEL PNT PAINT POB POINT OF BEGINNING POT POINT OF TANGENCY PREFAB PREFABRICATE PSF POUND PER SQUARE FOOT PSI POUNDS PER SQUARE INCH PT PAVING TYPE PVC POLYVINYL CHLORIDE Q QTR QUARTER R (R) RISER HEIGHT R RISER/RELOCATE RAD RADIUS RD ROOF DRAIN REBAR REINFORCING BAR RECT RECTANGULAR REF REFERENCE REINF REINFORCED ROW RIGHT OF WAY RL RIDGE LINE S S SOUTH SCHED SCHEDULE SECT SECTION SHT SHEET SIM SIMILAR SLR SEALER SPEC SPECIFICATION SF SQUARE FEET SS STAINLESS STEEL ST STONE STA STATION	STD STANDARD STL STEEL STR STRUCTURE STRUCT STRUCTURE/STRUCTURAL SURF SURFACE SYM SYMMETRICAL T (T) TREAD DEPTH T TOP/TREAD/THICK T&B TOP AND BOTTOM TB TOP OF BENCH TBD TO BE DETERMINED TC TOP OF CURB / TOP OF CONCRETE TEMP TEMPORARY / TEMPERATURE TRF TOP OF FOOTING THK THICK THR THRESHOLD TOD TOP OF DECK TOL TOLERANCE TOP TOP OF PLATE / PAVEMENT TOS TOP OF STEEL TS TOP OF STAIR TW TOP OF WALL TYP TYPICAL U UC UNDERCUT UNO UNLESS NOTED OTHERWISE UTIL UTILITY V VAR VARIABLE / VARIES VIF VERIFY IN FIELD VERT VERTICAL VG VERTICAL GRAIN VOL VOLUME W (W) WIDE / WIDTH W WEST W/O WITHOUT W/ WITH WL WATER LEVEL WD WOOD WF WIDE FLANGE WG WIRE GAUGE WP WORK POINT / WATERPROOF WR WASTE RECEPTACLE WT WEIGHT WWF WELDED WIRE FABRIC WWW WELDED WIRE MESH Y YD YARD DRAIN / YARD SYMBOLS & AND @ AT Ø DIAMETER # NUMBER / PER ± PLUS OR MINUS ¢ CENTER LINE ℙ PROPERTY LINE
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GENERAL NOTES

- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE. FIELD VERIFY ALL CONDITIONS, QUANTITIES, AND MATERIALS. REPORT DISCREPANCIES TO LANDSCAPE ARCHITECT FOR CLARIFICATION. DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS SHOWN ON DRAWINGS AND ACTUAL FIELD MEASUREMENTS.
- ALL DIMENSIONS ARE TO FINISH FACE OF CONCRETE AND MASONRY, FACE OF FRAMING OR CENTERLINE OF COLUMNS, UNLESS NOTED OTHERWISE.
- CONSTRUCTION SHALL COMPLY WITH IBC 2018, ADAAG 2010, THE MARYLAND BUILDING PERFORMANCE STANDARDS (MBPS), AND 2019 HOWARD COUNTY BUILDING CODE AMENDMENTS, ADOPTED AS THE CONSTRUCTION STANDARD, AS WELL AS CURRENT STATE AND MUNICIPAL AMENDMENTS, AND OTHER APPLICABLE CODES AND ORDINANCES.
- FOLLOW MANUFACTURER INSTRUCTIONS, EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE INDICATED OR REQUIRED BY CODE.
- CONTRACTOR TO EXAMINE DRAWINGS AND SPECIFICATIONS AND BRING DISCREPANCIES BETWEEN LANDSCAPE ARCHITECT AND CONSULTANT WORK TO THE ATTENTION OF THE LANDSCAPE ARCHITECT BY WRITTEN NOTICE FOR CLARIFICATION. WORK INSTALLED IN CONFLICT WITH CONSTRUCTION DOCUMENTS WILL BE CONSIDERED IN NON-CONFORMANCE AND CORRECTED AT CONTRACTOR'S TIME AND EXPENSE AND AT NO EXPENSE TO OWNER OR LANDSCAPE ARCHITECT.
- ELECTRICAL ITEMS ARE NOTED ON LANDSCAPE ARCHITECTURAL DRAWINGS FOR COORDINATION ONLY. SEE RELATED DRAWINGS FOR REQUIRED WORK.
- THE LOCATION OF ALL SURFACE AND UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR AT THE BEGINNING OF SITE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING STRUCTURES AND UTILITIES TO REMAIN FROM DAMAGE AS REQUIRED DURING CONSTRUCTION AND TO REPAIR ANY DAMAGE WHICH SHOULD OCCUR TO THE SATISFACTION OF THE CLIENT OR DAMAGED PARTY.
- SEE CIVIL DRAWINGS FOR PROPOSED SANITARY AND STORM SEWER LOCATIONS AND IMPROVEMENTS.
- THIS PROJECT IS TARGETING LEED BD+C V4.1 PLATINUM.

Sheet List Table

Drawing Number	Sheet Title	Sheet Number
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L-102	MATERIALS PLAN	32
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L-501	PAVING DETAILS	40
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L-504	PLANTING DETAILS	49

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
12/28/2022

Director: Greg Gorman 12/22/2022
Chief, Division of Land Use Development: Chad Edmondson 12/27/2022

BUILDER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK 18938, PAGE 338 ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
NAME: Greg Pittnett DATE: 12/12/22

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: July 7, 2022

Unknown Studio

2219 Saint Paul Street / Baltimore, MD 21218
P: 410.246.2946

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APPR.
ES, BG	ES, BG	CA				

PREPARED FOR:

OWNER:
LFC MOB1, LLC
C/O THE HOWARD HUGHES CORP.
10960 GRANTCHESTER WAY,
SUITE 110
COLUMBIA, MD 21044

DEVELOPER:
THE HOWARD RESEARCH AND DEVELOPMENT CORP.
10960 GRANTCHESTER WAY, SUITE 110
COLUMBIA, MD 21044
ATTN: GABRIEL CHUNG
410-964-4800



12/12/22

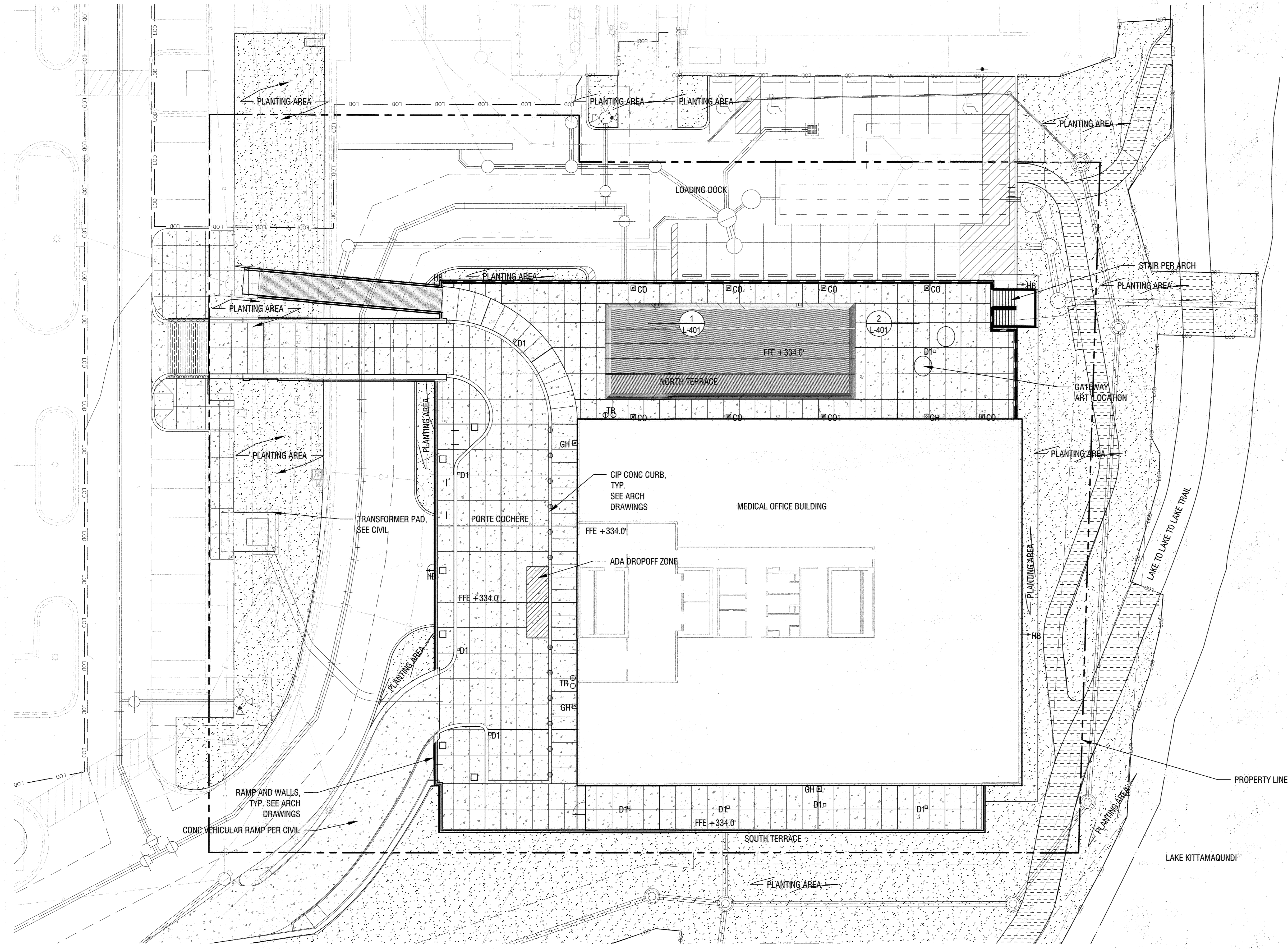
ELECTION DISTRICT No. 5

L-001 LANDSCAPE INDEX
SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA
LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B
A RESUBDIVISION OF SECTION 1, PARCEL B (PLAT No. 26140)

PN: 26227-26228

HOWARD COUNTY, MARYLAND

SCALE	ZONING	JOB No.
N/A	NT	2110
DATE	TAX MAP - GRID	SHEET
NOV., 2022	36 - 2	30 OF 54



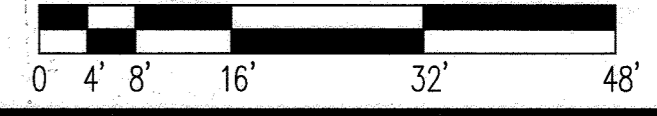
- LANDSCAPE MATERIALS SCHEDULE**
- PAVING TYPE 1 - COLORED CIP CONCRETE, SURFACE RETARDANT, BROOM FINISH, CUSTOM CONTROL JOINT PATTERN
 - PAVING TYPE 3 - WOOD DECK ON ALUM FRAMING ON PEDESTALS, BOD PRODUCT: THERMORY BENCHMARK WHITE ASH, 5/4" x 4" NOMINAL BOARD WIDTH
 - PAVING TYPE 4 - CIP CONCRETE, SURFACE RETARDANT, BROOM FINISH, CUSTOM CONTROL JOINT PATTERN
 - PAVING TYPE 5 - ASPHALT TRAIL, SEE CIVIL DRAWINGS
 - PAVING TYPE 6 - CLASS 1 RIPRAP UNDER PEDESTRIAN BRIDGE AND EXTERIOR STAIR: 6" TO 12" LARGE STONE, WHITE OR LIGHT GREY
 - PAVING TYPE 7 - BITUMINOUS ASPHALT SETTING BED WITH POLYMERIC SAND SWEEP JOINTS, CONC UNIT PAVERS, BOD PRODUCT: HANOVER TRUNCATED DOME PAVER, 12"x12"x2" THK. PEDESTRIAN RATED
 - PAVING TYPE 8 - BITUMINOUS ASPHALT SETTING BED WITH POLYMERIC SAND SWEEP JOINTS, CONC UNIT PAVERS, BOD PRODUCT: HANOVER TRUNCATED DOME PAVER, 12"x12"x3" THK. VEHICULAR RATED
 - PLANTING AREA

- NOTES:**
1. PAVING TYPE 2 NOT IN USE
 2. SEE L-103 FOR LANDSCAPE LAYOUT PLANS.
 3. SEE L-104 FOR LANDSCAPE PLANTING PLANS.
 4. SEE L-401 FOR PAVING ENLARGEMENTS
 5. SEE CIVIL DRAWINGS FOR GRADING WORK.
 6. SEE CIVIL DRAWINGS FOR CIP CONCRETE TYPE AND LAYOUT
 7. SEE CIVIL DRAWINGS FOR CIP CURB TYPE AND LAYOUT.
 8. SEE ARCH DRAWINGS FOR WATERPROOFING.
 9. SEE ARCH DRAWINGS FOR BOLLARD TYPE AND LAYOUT.
 10. SEE ARCH AND MEP DRAWINGS FOR DRAINAGE TYPE AND LAYOUT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 12/28/2022
 Director: *Greg Pittnett*
 Chief, Division of Land Use Management: *Chad Edmondson*
 Chief, Development Engineering Division: *Greg Pittnett*

BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK 18936, PAGE 338 ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
 NAME: *Greg Pittnett* DATE: 12/12/22

APPROVED PLANNING BOARD OF HOWARD COUNTY
 Date: July 7, 2022

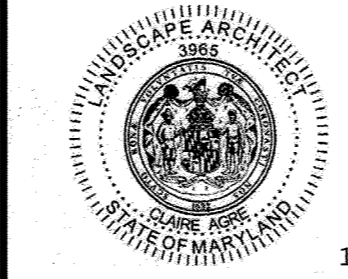


Unknown Studio
 2219 Saint Paul Street / Baltimore, MD 21218
 P: 410.246.2946

DESIGNED BY:	DATE	REVISION	BY	APP'R.
ES, BC				
DRAWN BY:				
ES, BC				
CHECKED BY:				
CA				

PREPARED FOR:
 OWNER: LFC MOB1, LLC
 C/O THE HOWARD HUGHES CORP.
 10960 GRANTCHESTER WAY, SUITE 110
 COLUMBIA, MD 21044

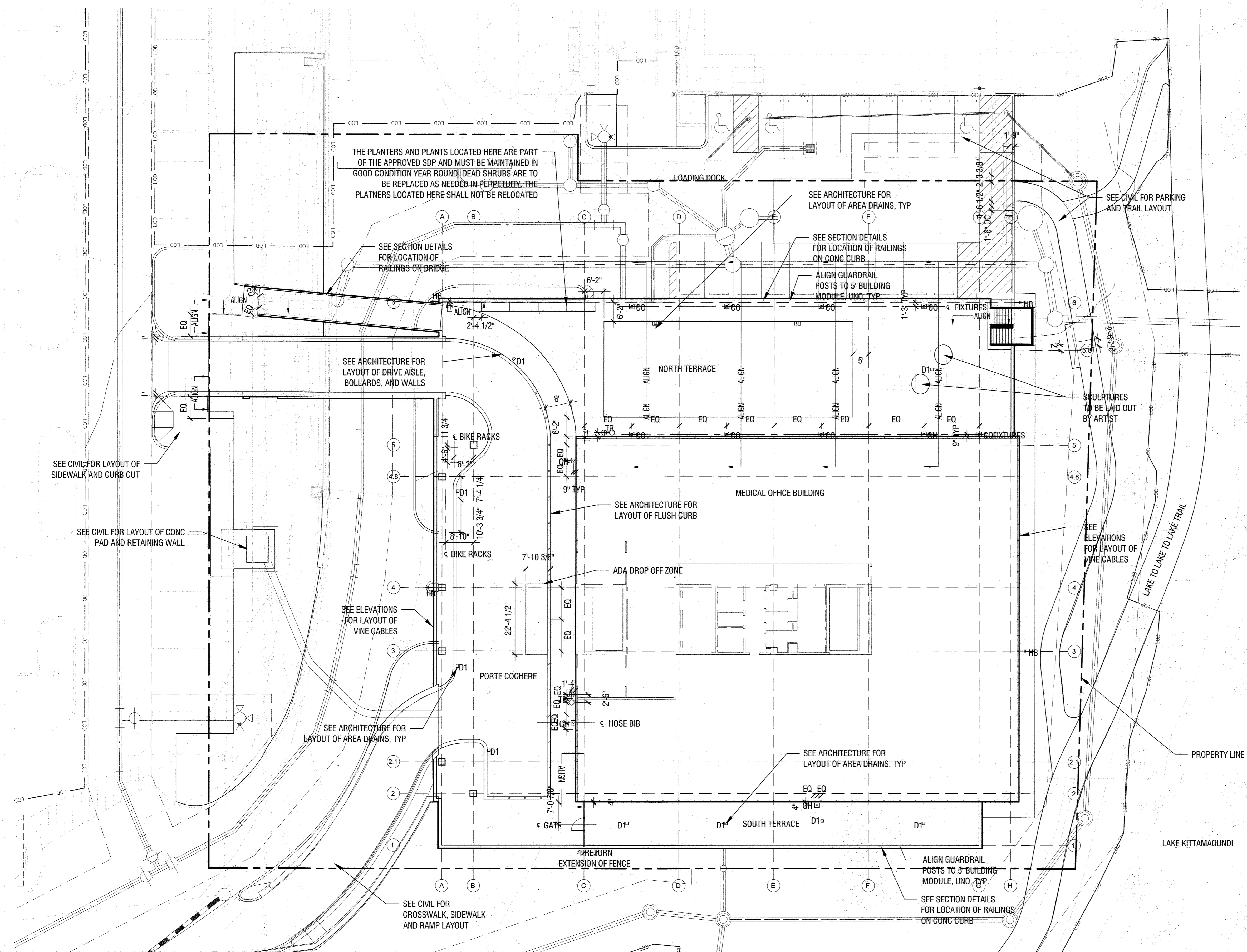
DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.
 10960 GRANTCHESTER WAY, SUITE 110
 COLUMBIA, MD 21044
 ATTN: GABRIEL CHUNG
 410-664-6800



12/12/22

L-102 LANDSCAPE MATERIALS PLAN
SOUTHLAKE OFFICE BUILDING
 DOWNTOWN COLUMBIA
 LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B
 A RESUBDIVISION OF SECTION 1, PARCEL B (PLAT No. 26140)
 ELECTION DISTRICT No. 5
 PN: 26227-26228
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	JOB No.
1/16" = 1'-0"	NT	2110
DATE	TAX MAP - GRID	SHEET
NOV, 2022	36 - 2	32 OF 54



- LAYOUT NOTES:**
1. SEE ENLARGEMENTS FOR PAVING PATTERN LAYOUTS
 2. SEE CIVIL FOR ALL UTILITY LAYOUT
 3. SEE ARCHITECTURE FOR BRIDGE WALL, PORTE COCHERE DRIVE AISLE, AND BOLLARD LAYOUT
 4. DIMENSIONS ARE FROM OUTSIDE FACE OF WALLS UNO
 5. ANGLES ARE 90 OR 45 UNO.
 6. ALL DIMENSIONS OF PAVING TO ϵ OF JOINT UNO
 7. FORMS AND ALIGNMENT OF PAVING SHALL BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO POURING.
 8. CONTRACTOR TO CHECK DIMENSIONS, FRAMING CONDITIONS, AND SITE CONDITIONS BEFORE STARTING WORK. ANY DISCREPANCIES OR POSSIBLE DEFICIENCIES BETWEEN THE DRAWINGS AND THE SPECIFICATIONS WITH FIELD CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT AND THE OWNER.
 9. CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR DIMENSIONS AND CONDITIONS AT THE JOB SITE. REPORT DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE OWNER AND THE LANDSCAPE ARCHITECT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 12/28/2022
 Director: Amy Goman
 Chief, Division of Land Development: Chad Edmondson
 Date: 12/27/2022

BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK 18938, PAGE 338 ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
 Greg Pittnett
 12/12/22

APPROVED PLANNING BOARD OF HOWARD COUNTY
 Date: July 7, 2022

Unknown Studio
 2219 Saint Paul Street / Baltimore, MD 21218
 P: 410.246.2946

DESIGNED BY:	ES, BC
DRAWN BY:	ES, BC
CHECKED BY:	CA
DATE	REVISION

BY	APPR.

PREPARED FOR:
 OWNER: LFC MOB, LLC
 C/O THE HOWARD HUGHES CORP.
 10960 GRANTCHESTER WAY, SUITE 110
 COLUMBIA, MD 21044

DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.
 10960 GRANTCHESTER WAY, SUITE 110
 COLUMBIA, MD 21044
 ATTN: GABRIEL CHUNG
 410-964-4800

Professional Seal of the State of Maryland, Landscape Architect, Greg Pittnett, License No. 12122, dated 12/12/22.

L-103 LANDSCAPE LAYOUT PLAN
SOUTHLAKE OFFICE BUILDING
 DOWNTOWN COLUMBIA
 LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B
 A RESUBDIVISION OF SECTION 1, PARCEL B (PLAT No. 26140)
 ELECTION DISTRICT No. 5
 PN: 26227-26228
 HOWARD COUNTY, MARYLAND

0 4' 8' 16' 32' 48'		
SCALE	ZONING	JOB No.
1/16" = 1'-0"	NT	2110
DATE	TAX MAP - GRID	SHEET
NOV, 2022	36 - 2	33 OF 54

B&B TREE SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	NOTES
	EXISTING TREE TO BE PROTECTED QUERCUS PHELLOS	WILLOW OAK	1	WF	SEE SPEC 015639
	ACER CAMPESTRE	HEDGE MAPLE	1	3" CAL	
	ACER PENSYLVANICUM	SNAKEBARK MAPLE	2	4" CAL	
	AMELANCHIER CANADENSIS	SERVICEBERRY	11	12'-14' HT	MULTI STEM, MIN 3 STEMS, MIN 2" CAL EA STEM, MIN 12' HT
	CERCIS CANADENSIS 'ALBA'	WHITE REDBUD	8	10'-12' HT	MULTI STEM, MIN 3 STEMS, 2" CAL EA STEM, MIN 10' HT
	SASSAFRAS ALBIDUM	SASSAFRAS	5	2" CAL	

SHRUB AND GROUNDCOVER SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING
	ALLIUM CERNUUM	NODDING ONION	20	BULB	AS SHOWN
	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	269	3 GAL	3' OC
	CORNUS STOLONIFERA	RED TWIG DOGWOOD	92	5 GAL	3' OC
	DIERVILLA LONCERA 'COPPER'	COPPER BUSH HONEYSUCKLE	171	3 GAL	2' OC
	HAMMELIS VIRGINIANA	WITCH HAZEL	23	10 GAL	AS SHOWN
	RHUS AROMATICA 'ORO LOW'	ORO LOW FRAGRANT SUMAC	154	5 GAL	2' OC
	RHUS GLABRA	SMOOTH SUMAC	27	5 GAL	AS SHOWN
	VERBENA BONARIENSIS	VERVAIN	8	1 GAL	AS SHOWN
	VIBURNUM X PRAGENSE NOTE: IF CONTAINER PLANTS NEED TO BE REPLACED IN FUTURE, THE FOLLOWING ACCEPTABLE SPECIES MAY BE PLANTED: PLANTERS SHALL CONTAIN ONE SPECIES, NOT A MIX: -FRAXINUS LAUROCERASUS 'DABIEL JANI' -ILEX GLABRA COMPACTA	PRAGUE VIBURNUM	12	3 GAL	36" OC
	SEE SPECIFICATION SECTION 329200 TURF AND GRASSES	TURFGRASS SEEDED LAWN	14,199 SF	HYDROSEED	N/A
	SEE SPECIFICATION SECTION 329200 TURF AND GRASSES	FOREST RESTORATION SEED MIX	11,068 SF	HYDROSEED	N/A

VINE SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING
	BIGNONIA CAPREOLATA	CROSSVINE	51	5 GAL	7' O.C.
	CLEMATIS VIRGINIANA	VIRGIN'S BOWER	28	5 GAL	7' O.C.
	LONCERA SEMPERVIRENS	CORAL HONEYSUCKLE	27	5 GAL	7' O.C.

ORNAMENTAL GRASS SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING
	CALAMAGROSTIS BRACHYTRICHA	KOREAN FEATHER REED GRASS	11	3 GAL	AS SHOWN
	CHASMANTHA LATIFOLIUM	RIVER OATS	8	3 GAL	AS SHOWN
	DESCHAMPSIA CESPYTOSA	TUFTED HAIR GRASS	8	1 GAL	AS SHOWN
	MULLEBERGIA CAPILLARIS	PINK MURRAY GRASS	13	1 GAL	AS SHOWN

BARE ROOT TREE WHIP SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING
	CORNUS FLORIDA	FLOWERING DOGWOOD	2	1" - 1.5" WHIP	AS SHOWN OR 10' OC
	DIOSPYROS VIRGINIANA	COMMON PERSIMMON	3	1" - 1.5" WHIP	AS SHOWN OR 10' OC

LANDSCAPE SURETY INCLUDES

PLANTING TYPE	QTY
SHADE TREES	1
ORNAMENTAL TREES	26
RESTORATION TREE WHIPS	5
SHRUBS	621
ORNAMENTAL GRASSES	40
VINES	106

NOTES:

1. THE LANDSCAPING PROVIDED IS IN ACCORDANCE WITH THE ALTERNATIVE COMPLIANCE SECTION OF THE LANDSCAPE MANUAL. THE POSTED SURETY OF \$26,040.00 AND RELEASE OF THE SURETY IS TIED TO THE PLANTS AS SPECIFIED ON THESE PLANTS AS SPECIFIED ON THESE PLANS TO INCLUDE 1 SHADE TREE, 26 ORNAMENTAL TREES, 5 RESTORATION WHIPS, 621 SHRUBS, 40 GRASSES, AND 106 VINES. ALL PLANTS SHALL BE THRIVING AND MEET SPECS TO PASS INSPECTION (INCLUDING VINES SHALL BE MIN. 3'-5' TALL WITH NEW GROWTH VISIBLE). IF THE VINES FAIL TO ESTABLISH AFTER THREE INSPECTIONS, A REDLINE REVISION WILL BE REQUIRED TO ADD OR MODIFY PLANTINGS TO THE EAST FACE OF THE PARKING GARAGE FOR REQUIRED SCREENING.
2. THE CONTAINER PLANTERS AND PLANTS LOCATED ALONG THE NORTH TERRACE GUARDRAIL ARE PART OF THE APPROVED SDP AND MUST BE MAINTAINED IN GOOD CONDITION YEAR ROUND. DEAD SHRUBS ARE TO BE REPLACED AS NEEDED IN PERPETUITY. APPROVED ALTERNATE SPECIES HAVE BEEN PROVIDED IN THE SCHEDULE IN THE EVENT THAT CONTAINER PLANTING NEEDS REPLACEMENT. THE SCREENING PLANTERS LOCATED THERE SHALL NOT BE RELOCATED.
3. IF CONFLICTS ARISE BETWEEN PLANTING AREAS AND PLANS, CONTRACTOR TO CONTACT THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE SUCH MATERIALS.
4. ALL PLANT QUANTITIES LISTED ARE APPROXIMATE AND FOR REFERENCE ONLY. CONTRACTOR TO VERIFY EXACT QUANTITIES OF PLANT MATERIAL NECESSARY BASED ON AS-BUILT CONDITIONS AND DESIGN SPACING.
5. ALL TREES TO BE SELECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PER SPECIFICATIONS.
6. FINAL LOCATION OF PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF LANDSCAPE ARCHITECT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: Greg Pitman 12/28/2022
 Chief, Division of Land Use: Chad Edmondson 12/27/2022
 Chief, Development Engineering Division: _____

BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK 18938, PAGE 338 ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
 _____ 12/16/22
 NAME DATE

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: July 7, 2022

Unknown Studio
 2219 Saint Paul Street / Baltimore, MD 21218
 P: 410.246.2946

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APP'R.
ES, BC	ES, BC	CA				

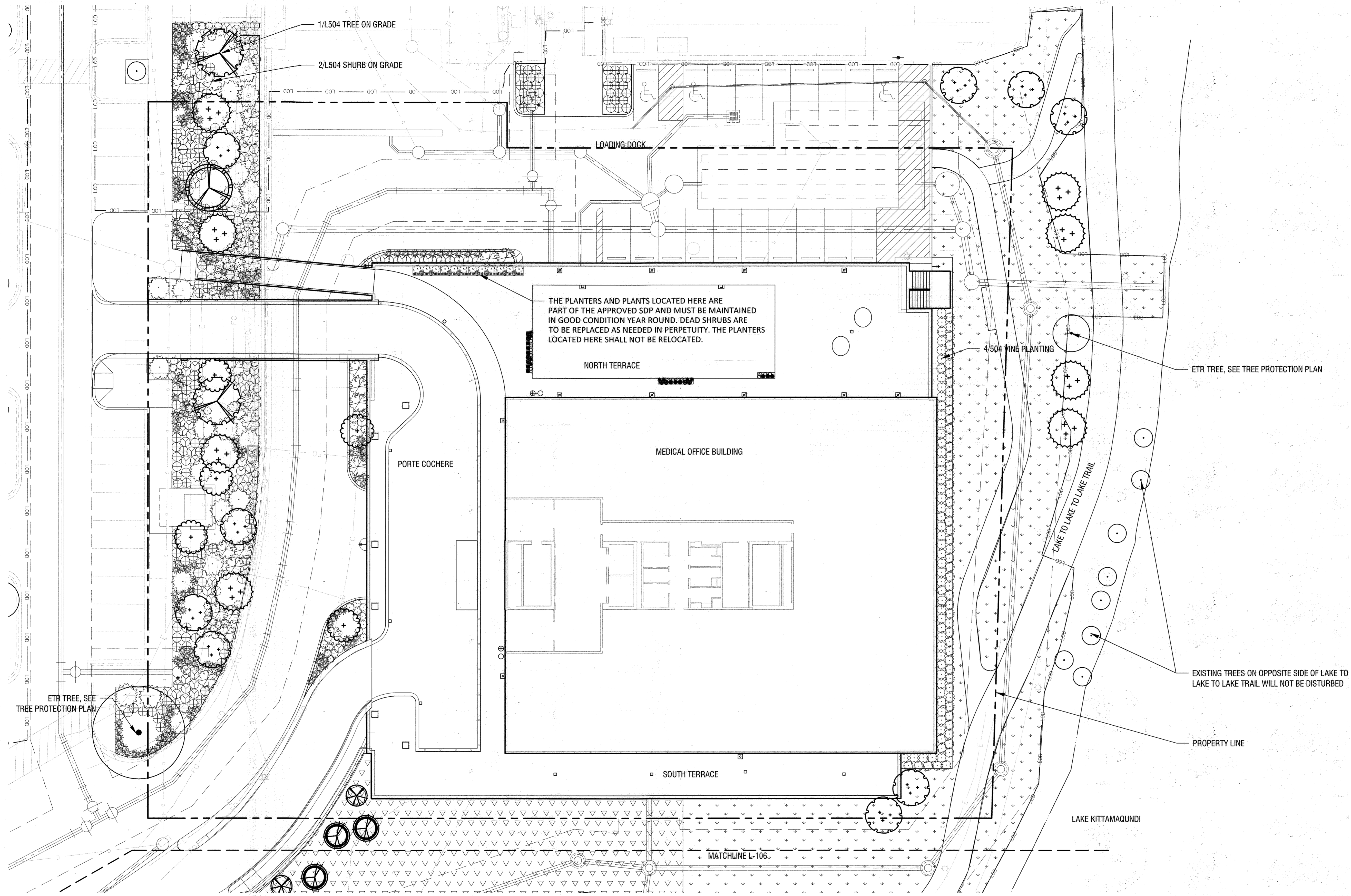
PREPARED FOR:
 OWNER: LFC MOB1, LLC
 C/O THE HOWARD HUGHES CORP.
 10960 GRANTCHESTER WAY, SUITE 110
 COLUMBIA, MD 21044

DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.
 10960 GRANTCHESTER WAY, SUITE 110
 COLUMBIA, MD 21044
 ATTN: GABRIEL CHUNG
 410-954-4900

12/16/22

L-104 PLANTING SCHEDULES
 SOUTHLAKE OFFICE BUILDING
 DOWNTOWN COLUMBIA
 LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B
 A RESUBDIVISION OF SECTION 1, PARCEL B (PLAT No. 26140)
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	JOB No.
N/A	NT	2110
DATE	TAX MAP - GRID	SHEET
NOV., 2022	36 - 27	34 OF 54



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 PLOTTED: 11/27/2022 11:28 AM
 USER: GABRIEL CHUNG
 PLOTTER: HP DesignJet 2530 PS
 PLOTTED: 11/27/2022 11:28 AM
 USER: GABRIEL CHUNG

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 12/28/2022
 Director: Amy Groman
 Chief, Division of Land Management: Chad Edmondson
 Date: 12/27/2022

BUILDER'S CERTIFICATE
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 Greg Pittnett
 12/12/22

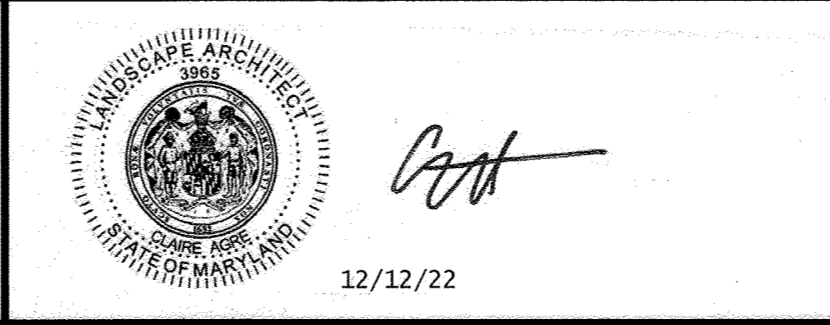
APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: July 7, 2022

Unknown Studio
 2219 Saint Paul Street / Baltimore, MD 21218
 P: 410.246.2946

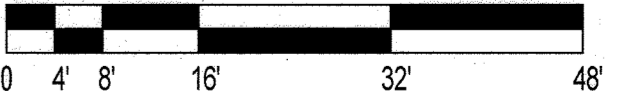
DESIGNED BY	DATE	REVISION	BY	APP'R.
ES, BG				
DRAWN BY:				
ES, BG				
CHECKED BY:				
CA				

PREPARED FOR:
 OWNER:
 LFC MOBI, LLC
 C/O THE HOWARD HUGHES CORP.
 10960 GRANTCHESTER WAY,
 SUITE 110
 COLUMBIA, MD 21044

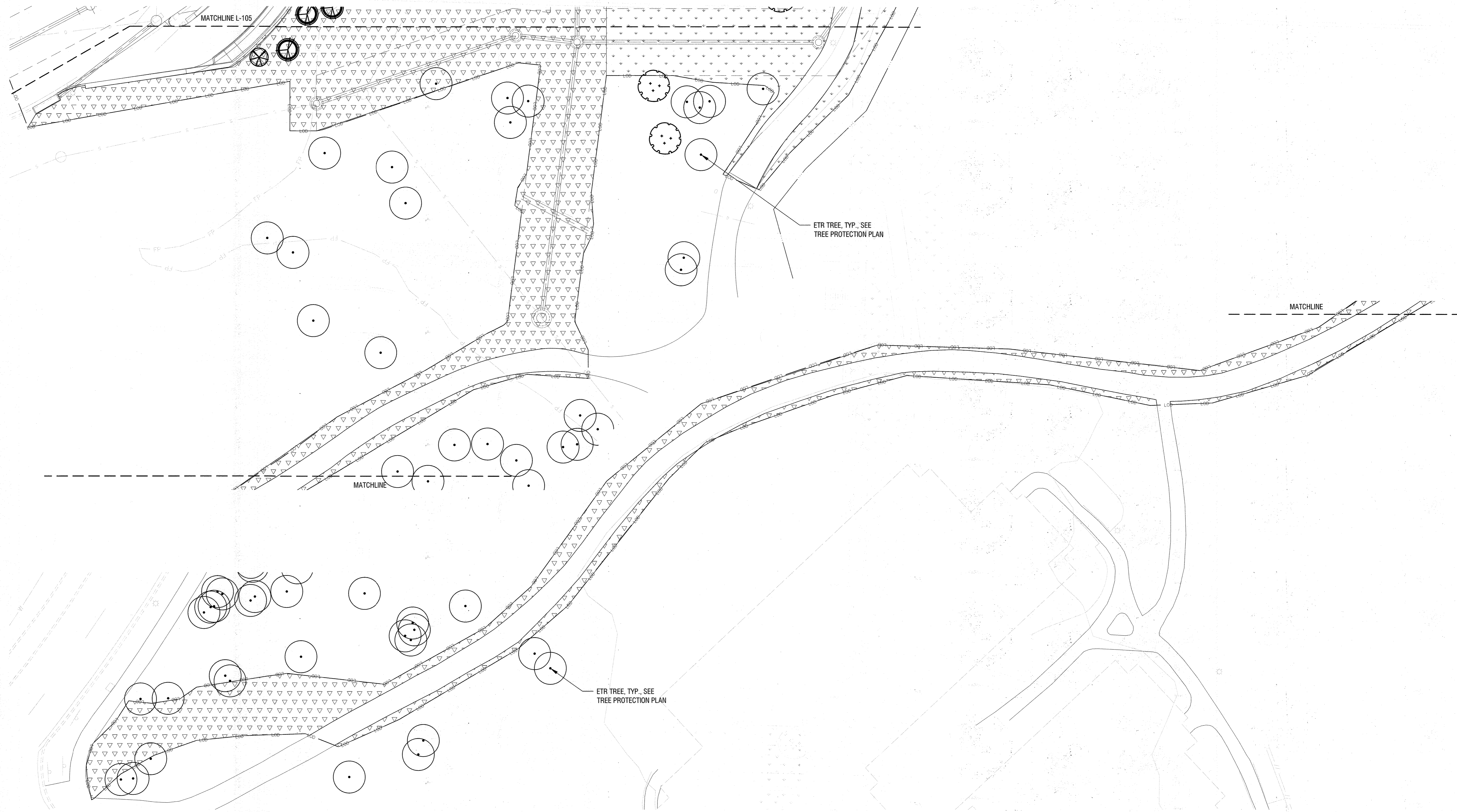
DEVELOPER:
 THE HOWARD RESEARCH AND DEVELOPMENT CORP.
 10960 GRANTCHESTER WAY,
 SUITE 110
 COLUMBIA, MD 21044
 ATTN: GABRIEL CHUNG
 410-964-4800



L-105 PLANTING PLAN NORTH
SOUTHLAKE OFFICE BUILDING
 DOWNTOWN COLUMBIA
 LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B
 A RESUBDIVISION OF SECTION 1, PARCEL B (PLAT No. 26140)
 ELECTION DISTRICT No. 5
 PN: 26227-26228
 HOWARD COUNTY, MARYLAND



SCALE	ZONING	JOB No.
1/16" = 1'-0"	NT	2110
DATE	TAX MAP - GRID	SHEET
NOV, 2022	36 - 2	35 OF 54



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 12/28/2022
 Director: Amy Groman
 Chief, Division of Land Management: Chad Edmondson
 Date: 12/22/2022
 Date: 12/27/2022

BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK 19939, PAGE 339 ADOPTED FOR THE SUBJECT PROPERTY.
 I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
 NAME: Greg Pittnett
 DATE: 12/12/22

APPROVED PLANNING BOARD OF HOWARD COUNTY
 Date: July 7, 2022

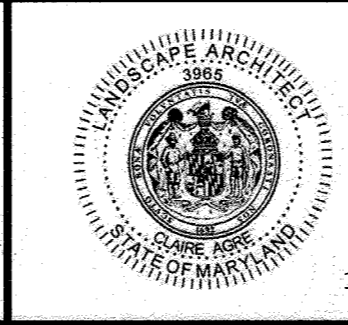


Unknown Studio
 2219 Saint Paul Street / Baltimore, MD 21218
 P: 410.246.2946

DESIGNED BY:	DATE	REVISION	BY	APPR.
ES, BG				
DRAWN BY:				
ES, BG				
CHECKED BY:				
CA				

PREPARED FOR:
 OWNER: LFC MOB1, LLC
 C/O THE HOWARD HUGHES CORP.
 10960 GRANTCHESTER WAY, SUITE 110
 COLUMBIA, MD 21044

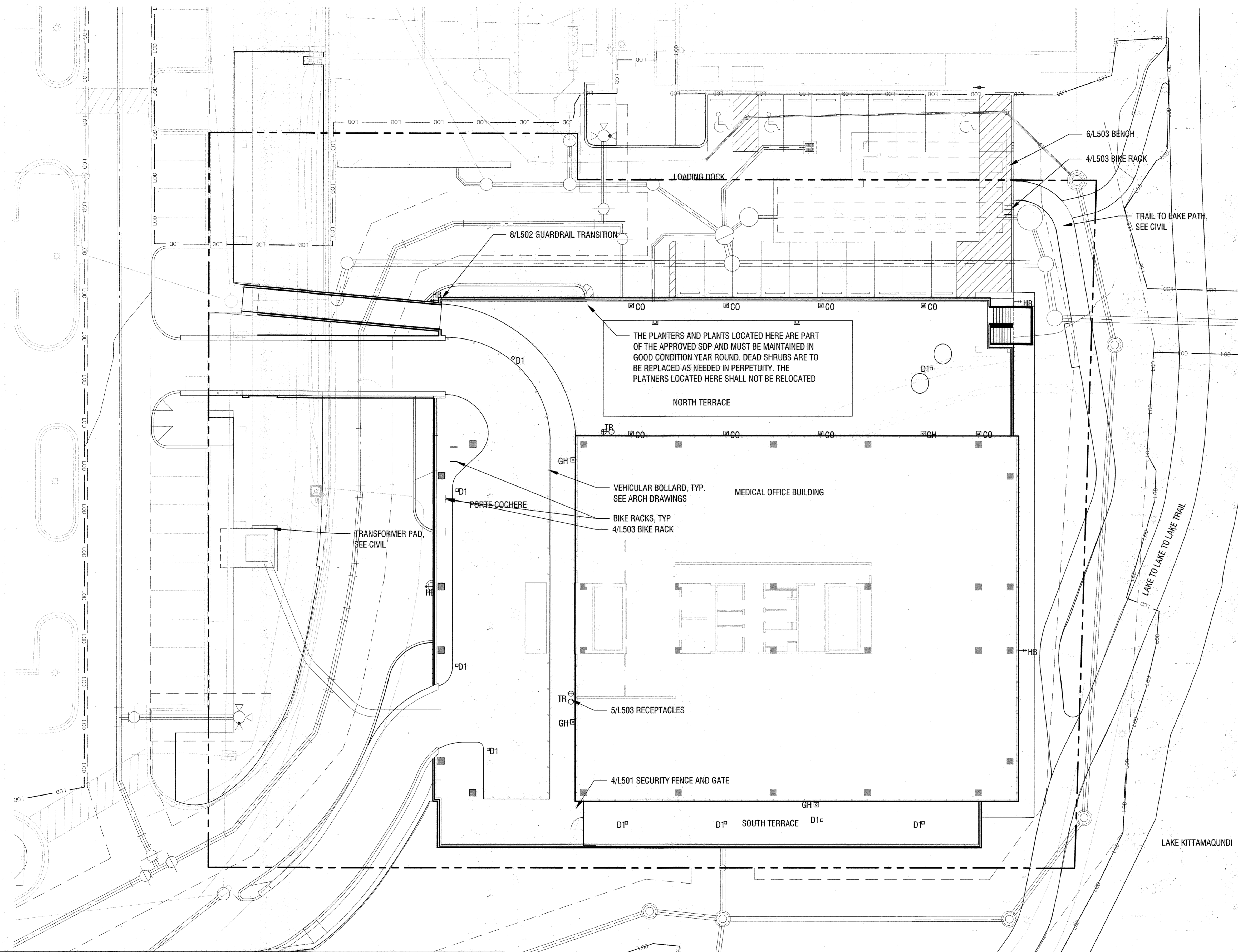
DEVELOPER:
 THE HOWARD RESEARCH AND DEVELOPMENT CORP.
 10960 GRANTCHESTER WAY, SUITE 110
 COLUMBIA, MD 21044
 ATTN: GABRIEL CHUNG
 410-964-4900



12/12/22

L-106 PLANTING PLAN SOUTH
 SOUTHLAKE OFFICE BUILDING
 DOWNTOWN COLUMBIA
 LAKEFRONT CORE NEIGHBORHOOD, PHASE 1 - PARCEL-B
 A RESUBDIVISION OF SECTION 1, PARCEL-B (PLAT No. 26140)
 ELECTION DISTRICT No. 5
 PN: 26227-26228
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	JOB No.
1/16" = 1'-0"	NT	2110
DATE	TAX MAP - GRID	SHEET
NOV, 2022	36 - 2	36 OF 54



- LANDSCAPE FURNISHINGS SCHEDULE**
- BENCH TYPE B-1, FOIO, BOD PRODUCT OR EQUIVALENT: MOVEABLE GREEN THEORY 'JOIN' SEAT #JS-FB-6875, THERMALLY MODIFIED WOOD AND POWDERCOATED ALUM
 - BENCH TYPE B-2, FOIO, BOD PRODUCT OR EQUIVALENT: MOVEABLE GREEN THEORY 'JOIN' SEAT #JS-FB-4475, THERMALLY MODIFIED WOOD AND POWDERCOATED ALUM
 - BENCH TYPE B-3, FOIO, BOD PRODUCT OR EQUIVALENT: MOVEABLE GREEN THEORY 'JOIN' SEAT #JS-FB-2275, THERMALLY MODIFIED WOOD AND POWDERCOATED ALUM
 - BENCH TYPE B-4, BOD PRODUCT: LANDSCAPE FORMS NEOLIVIANO BENCH, WITH BACK, WOOD WITH ALUM FRAME 69" LENGTH.
 - PLANTER TYPE P-1, FOIO, BOD PRODUCT OR EQUIVALENT: MOVEABLE GREEN THEORY 'JOIN' PLANTER, POWDERCOATED ALUM
 - PLANTER TYPE P-2, FOIO, BOD PRODUCT OR EQUIVALENT: MOVEABLE GREEN THEORY 'JOIN' PLANTER, POWDERCOATED ALUM
 - PLANTER TYPE P-3, BOD PRODUCT OR EQUIVALENT: 108"L X 36"W X 42"HT, TOURNESOL WILSHIRE PLANTER, POWDERCOATED STEEL
 - ⊕ TRASH RECEPTACLE, BOD PRODUCT: LANDSCAPE FORMS 'STEELY CAN', SSTL, SIDE OPENING
 - RECYCLING RECEPTACLE, BOD PRODUCT: LANDSCAPE FORMS 'STEELY CAN', SSTL, SIDE OPENING
 - ⊕ IN GROUND HYDRANT, BRONZE.
 - ⊕ HOSE BIB ON PEDESTAL, TYP.
 - ⊕ CONVENIENCE GFCI OUTLET, TYP.
 - VEHICULAR BOLLARDS, TYP. PER ARCH
 - BIKE RACK, BOD PRODUCT: LANDSCAPE FORMS BOLO BIKE RACK, SSTL.

- NOTES**
1. SEE LAYOUT PLAN FOR PERMANENT LOCATION FURNISHINGS.
 2. SEE ARCH DRAWINGS FOR BOLLARD LAYOUT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 12/28/2022
 Director: *Amy Groman*
 Chief, Division of Land Use Management: *Chad Edmondson*
 Date: 12/27/2022

BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK 18936, PAGE 335 ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
 NAME: *Greg Pittnett* DATE: 12/12/22

APPROVED PLANNING BOARD OF HOWARD COUNTY
 Date: July 7, 2022



Unknown Studio
 2219 Saint Paul Street / Baltimore, MD 21218
 P: 410.246.2946

DESIGNED BY:	DATE	REVISION	BY	APP'R.
ES, BG				
DRAWN BY:				
ES, BG				
CHECKED BY:				
CA				

PREPARED FOR:
 OWNER: LFC MOB1, LLC
 C/O THE HOWARD HUGHES CORP.
 10960 GRANTCHESTER WAY, SUITE 110
 COLUMBIA, MD 21044

DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.
 10960 GRANTCHESTER WAY, SUITE 110
 COLUMBIA, MD 21044
 ATTN: GABRIEL CHUNG
 410-364-4800

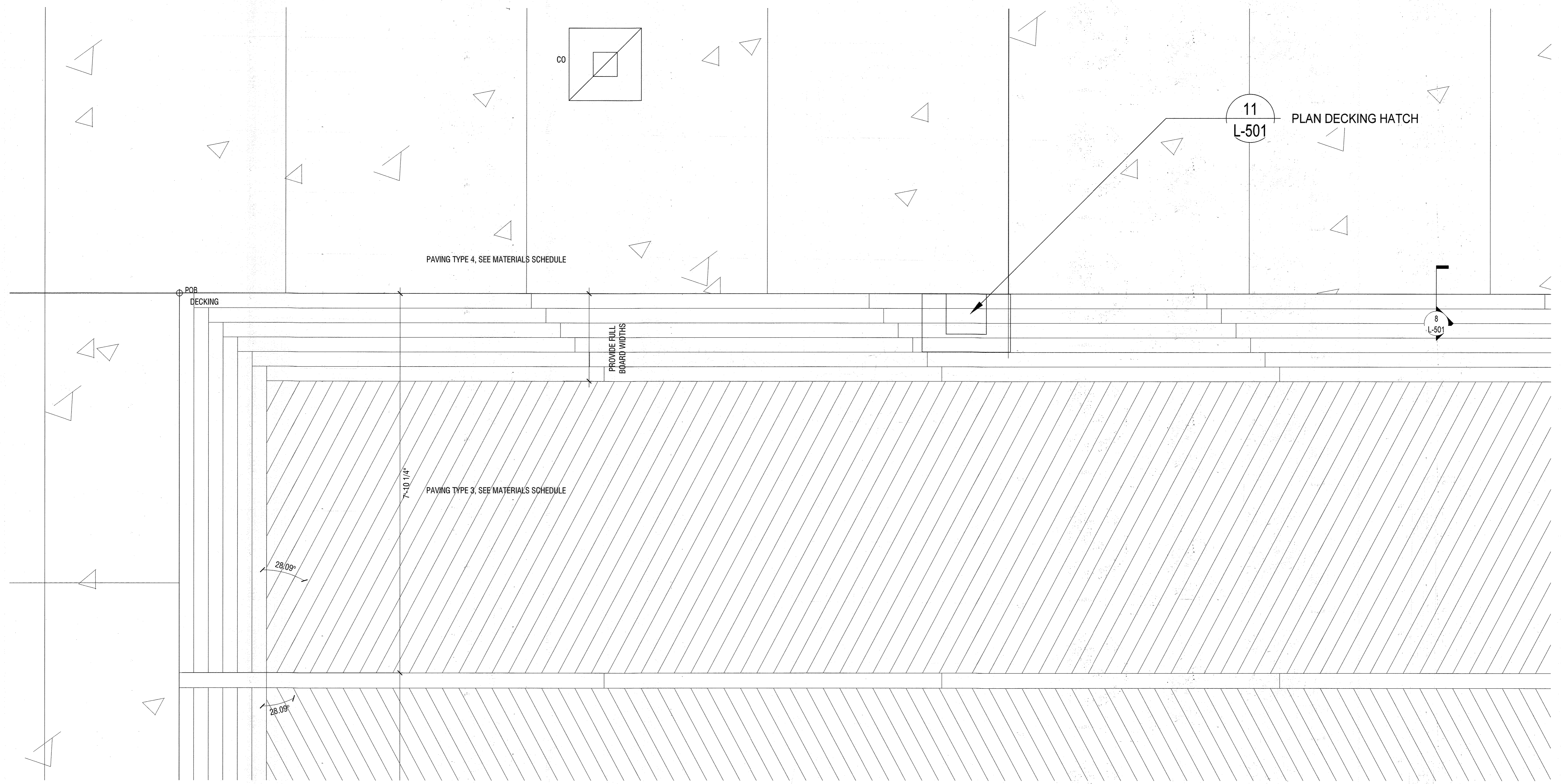


Greg Pittnett
 12/12/22

L-107 LANDSCAPE FURNISHINGS PLAN

SOUTHLAKE OFFICE BUILDING
 DOWNTOWN COLUMBIA
 LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B
 A RESUBDIVISION OF SECTION 1, PARCEL B (PLAT No. 26140)
 ELECTION DISTRICT No. 5 PN: 26227-26228 HOWARD COUNTY, MARYLAND

SCALE	ZONING	JOB No.
1/16" = 1'-0"	NT	2110
DATE	TAX MAP - GRID	SHEET
NOV, 2022	36 - 2	37 OF 54



1 NLRG PAVING PATTERN
SCALE: 1"=1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
12/28/2022
Director: *Greg Gorman*
Chief, Division of Land Development: *Chad Edmondson*
Date: 12/27/2022

BUILDER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK 18938, PAGE 338 ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
NAME: *Greg Pittnett* DATE: 12/12/22

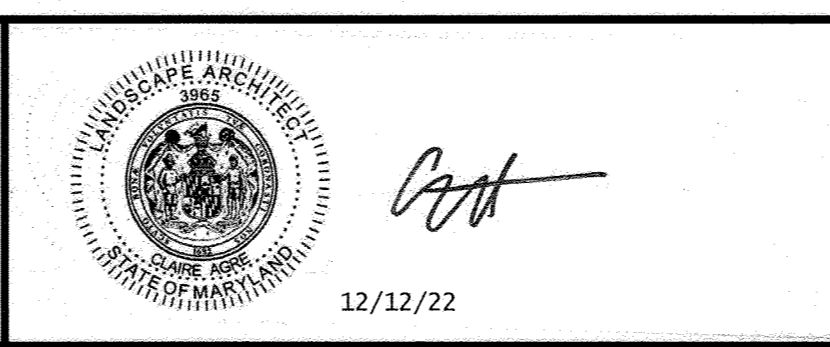
APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: July 7, 2022

Unknown Studio
2219 Saint Paul Street / Baltimore, MD 21218
P: 410.246.2946

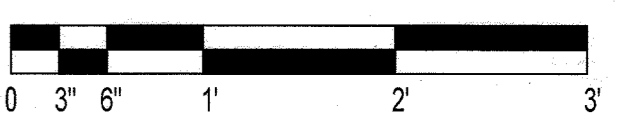
DESIGNED BY:	DATE	REVISION	BY	APPR.
ES, BG				
DRAWN BY:				
ES, BG				
CHECKED BY:				
CA				

PREPARED FOR:
OWNER: LFC MOB1, LLC
C/O THE HOWARD HUGHES CORP.
10960 GRANTCHESTER WAY, SUITE 110
COLUMBIA, MD 21044

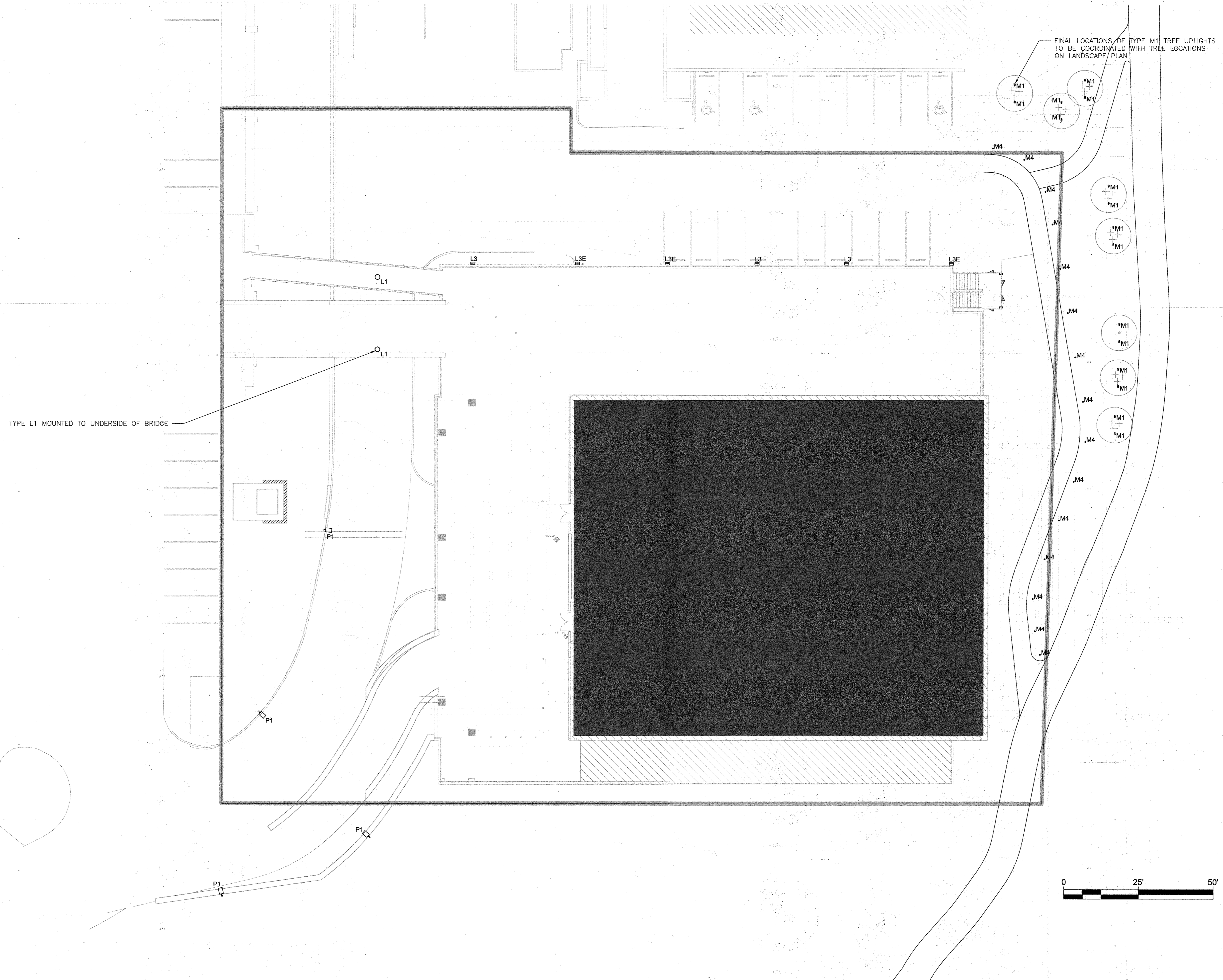
DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.
10960 GRANTCHESTER WAY, SUITE 110
COLUMBIA, MD 21044
ATN: GABRIEL CHUNG
410-964-4800



L-401 PAVING ENLARGEMENTS
SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA
LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B
A RESUBDIVISION OF SECTION 1, PARCEL B (PLAT No. 26140)
ELECTION DISTRICT No. 5
PN: 26227-26228
HOWARD COUNTY, MARYLAND



SCALE	ZONING	JOB No.
1" = 1'-0"	NT	2110
DATE	TAX MAP - GRID	SHEET
NOV., 2022	36 - 2	39 OF 54



APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: JULY 7, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

DocuSigned by: <i>Amy Groman</i>	12/28/2022
Director	Date
DocuSigned by: 64050D9470C4D4	12/22/2022
Chief, Division of Land Development	Date
DocuSigned by: <i>Chad E. Johnson</i>	12/27/2022
Chief, Development Engineering Division	Date

the lighting practice
public ledger building
600 chestnut street, suite 772
philadelphia, pa 19106
215 238 1644
www.thelightingpractice.com

DESIGNED BY	TLS
DRAWN BY	ARB
CHECKED BY	
DATE	
REVISION	
BY	
APP'R.	

PREPARED FOR:

OWNER:
LFC MOB1, LLC
C/O THE HOWARD HUGHES
CORP.
10960 GRANTCHESTER WAY,
SUITE 110
COLUMBIA, MD 21044

DEVELOPER:
THE HOWARD RESEARCH
AND DEVELOPMENT CORP.
10960 GRANTCHESTER
WAY, SUITE 110
COLUMBIA, MD 21044
ATTN: GABRIEL CHUNG
410-964-4800



12/12/22

LIGHTING - SITE

SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA
LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B
A REVISION OF SECTION 1, PARCEL B (PLAT No. 26140)
PN: 26227-26228

ELECTION DISTRICT No. 5

SCALE	ZONING	JOB No.
1/16"=1'-0"	NT	21083.00
DATE	TAX MAP - GRID	SHEET
NOV., 2022	36 - 2	41 OF 54

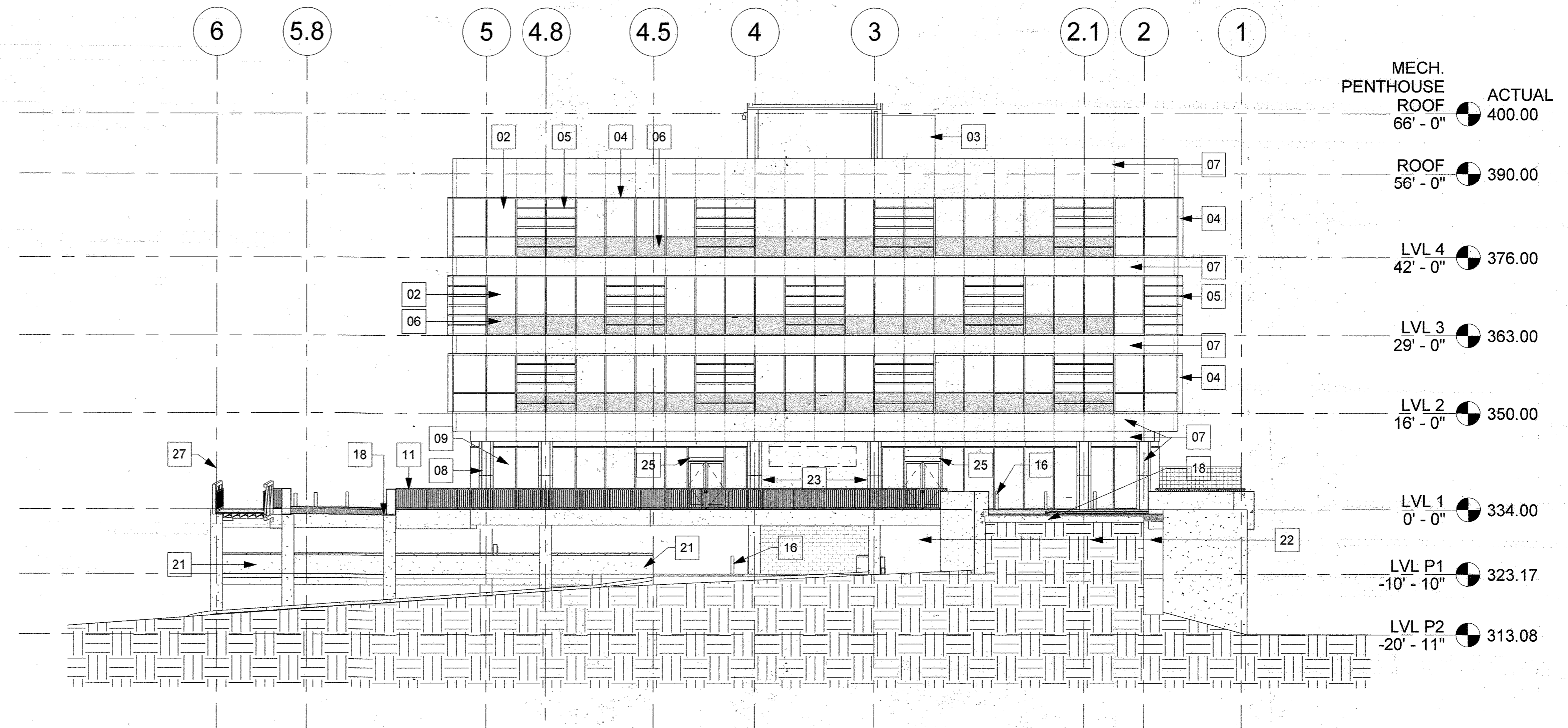
HOWARD COUNTY, MARYLAND

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 PLOTTED: 12/28/2022 4:13 PM, LAST SAVED: 12/27/2022 4:08 PM

- 01 GALVANIZED STEEL BARRIER SYSTEM, 42" AFF
- 02 SCHED. ALUMINUM WINDOW WALL SYSTEM
RE: WINDOW SCHEDULE
- 03 ROOFTOP LOUVERS MOUNTED TO STEEL STRUCTURE, RE: STRUCTURAL
- 04 PREFINISHED EXTRUDED ALUMINUM FRAME MOUNTED TO WINDOW WALL SYSTEM (4 SIDED)
- 05 PREFINISHED EXTRUDED ALUMINUM SUNSHADE BLADE WITH PRE-ENGINEERED MOUNTING SYSTEM
- 06 GALVANIZED STEEL BARRIER CABLE SYSTEM 42" A.F.F.
- 07 VERTICAL REVEAL IN PREFINISHED WALL PANEL, ALIGN WITH C.L. OF WINDOW MULLIONS
- 08 CAST-IN-PLACE CONCRETE STRUCTURE, RE: STRUCT.
- 09 SCHED. ALUMINUM STOREFRONT WINDOW SYSTEM RE: WINDOW SCHEDULE
- 10 CONCRETE CONTROL JOINT, RE: STRUCTURAL
- 11 GUARDRAIL, RE: LANDSCAPE
- 12 PREMANUFACTURED STEEL TRUSS PEDESTRIAN BRIDGE

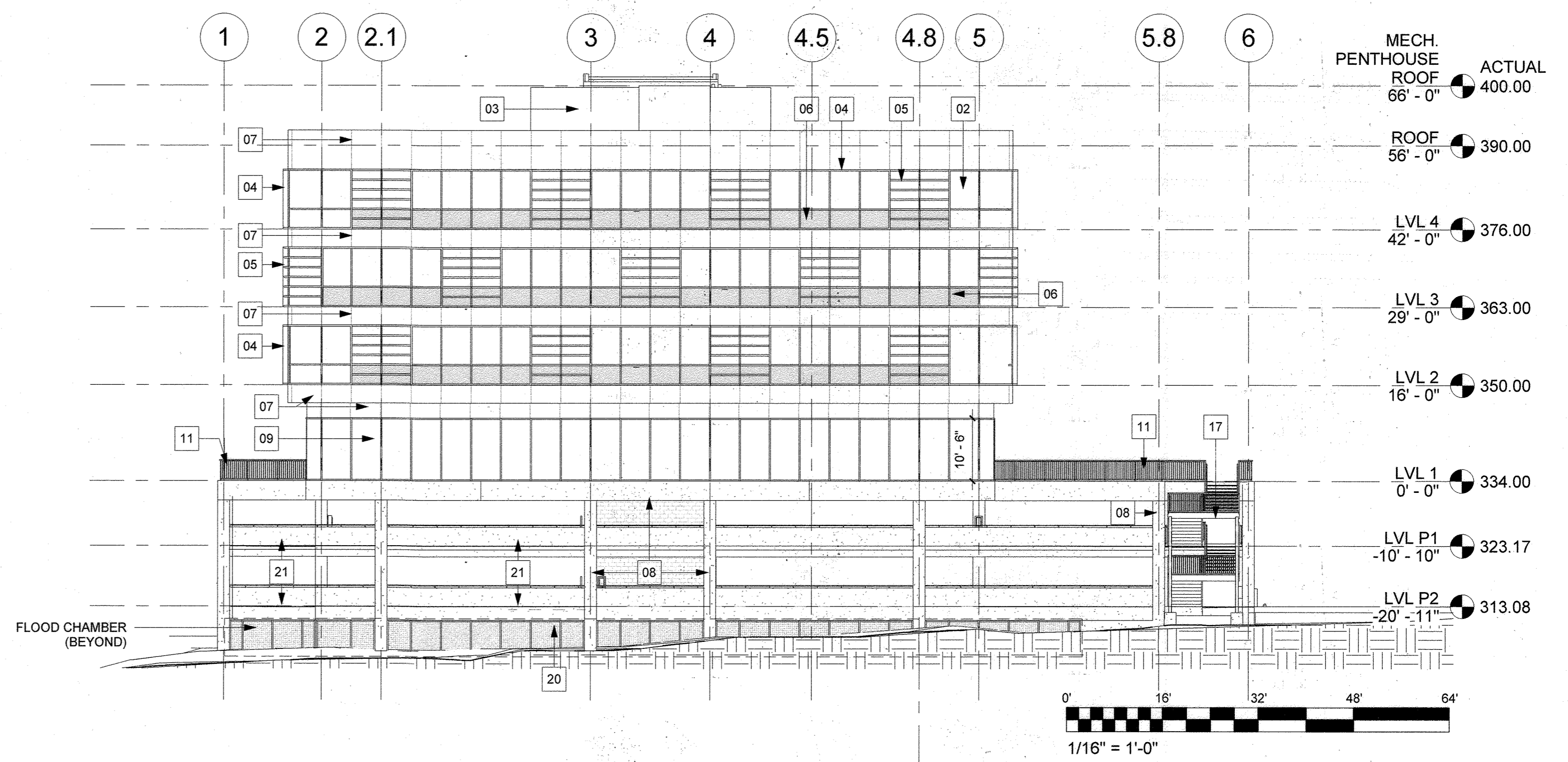
- 13 EXISTING TRELLIS
- 16 6" DIA. STEEL W/ CONCRETE BOLLARD WITH STAINLESS STEEL COVER
- 17 CONCRETE FILLED METAL PAN SYSTEM STAIR, GALVANIZED, PRIMED, PAINTED. GUARDRAILS AND HANDRAILS, RE: LANDSCAPING
- 18 CAST-IN-PLACE CONCRETE RAMP W/ CONCRETE TRAFFIC BARRIERS, RE: STRUCT.
- 19 STAINLESS STEEL CABLE TRELLIS BOLTED TO STRUCTURE, RE: LANDSCAPE
- 20 GALVANIZED 4" WWM & ANGLE FRAMES MOUNTED TO CONCRETE STRUCTURE AT FLOOD CHAMBER W/ 1 PANEL BOLTED FOR ACCESS. RE: 11A-401
- 21 REINFORCED CONCRETE VEHICULAR BUMPER GUARD W/ GALVANIZED PAINTED HANDRAIL @ 42" ABOVE FFL
- 22 CAST IN PLACE RETAINING WALL RE: STRUCTURE
- 23 SCHED. STONE VENEER WALL BETWEEN ENTRY DOORS.
- 24 PAINTED EIFS ON RIGID INSULATION BOARD, RE: FINISH SCHEDULE
- 25 ACM ENCLOSURE FOR AUTOMATIC SWING DOOR OPENER WITH SENSOR
- 26 INTERNALLY ILLUMINATED SIGNAGE, PIN MOUNTED, RE: ELECT.

- 27 PREMANUFACTURED STEEL TRUSS PEDESTRIAN BRIDGE
- 28 EXISTING ASPHALT TRAIL W/ NEW TIE-IN
- 29 ADJUST OVERFLOW SCUPPER LOCATION TO BE CENTERLINE OF MULLION, RE: P-1.04
- 30 ADJUST OVERFLOW SCUPPER LOCATION TO BE CENTERLINE OF ACM PANEL, RE: P-1.04



ELEVATION KEYNOTES

WEST ELEVATION 1/16" = 1'-0" 02



EAST ELEVATION 1/16" = 1'-0" 01

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: JULY 7, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
12/28/2022

Director: *Ray Goman* 12/22/2022

Chief, Division of Land Use: *Chris Gorman* 12/27/2022

Chief, Development & Planning: *Chad Edmondson*

STUDIO RED ARCHITECTS
1320 McGowen st
Houston, TX 77004
StudioREDarchitects.com

DESIGNED BY:	DATE	REVISION	BY	APP'R.
CB				
CH				
PK				

PREPARED FOR:

OWNER:
LFC MOB, LLC
C/O THE HOWARD
HUGHES CORP.
10960 GRANTCHESTER
WAY, SUITE 110
COLUMBIA, MD 21044

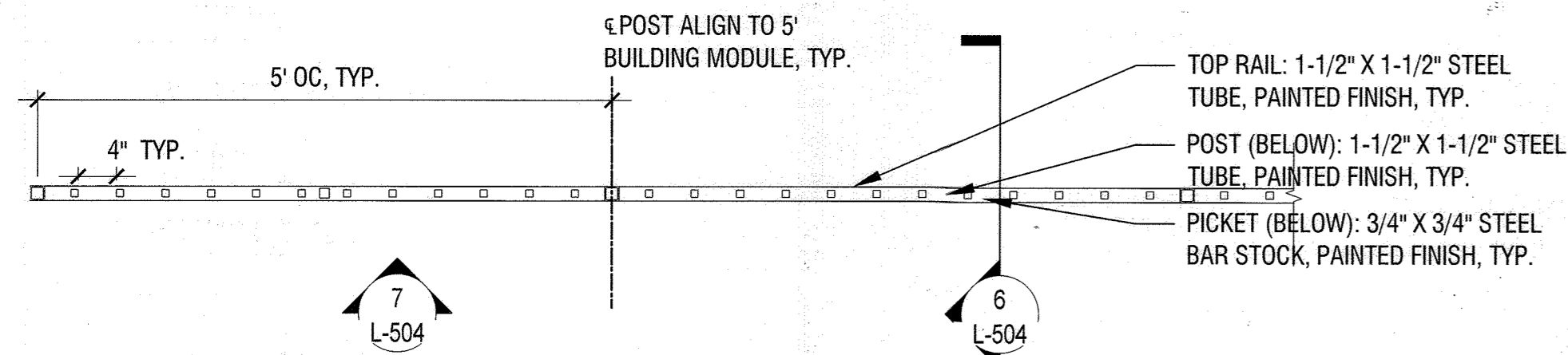
DEVELOPER:
THE HOWARD RESEARCH
AND DEVELOPMENT CORP.
10960 GRANTCHESTER
WAY, SUITE 110
COLUMBIA, MD 21044
ATTN: GABRIEL CHUNG
410-964-4800

STATE OF MARYLAND ARCHITECTS
20871
12/12/22

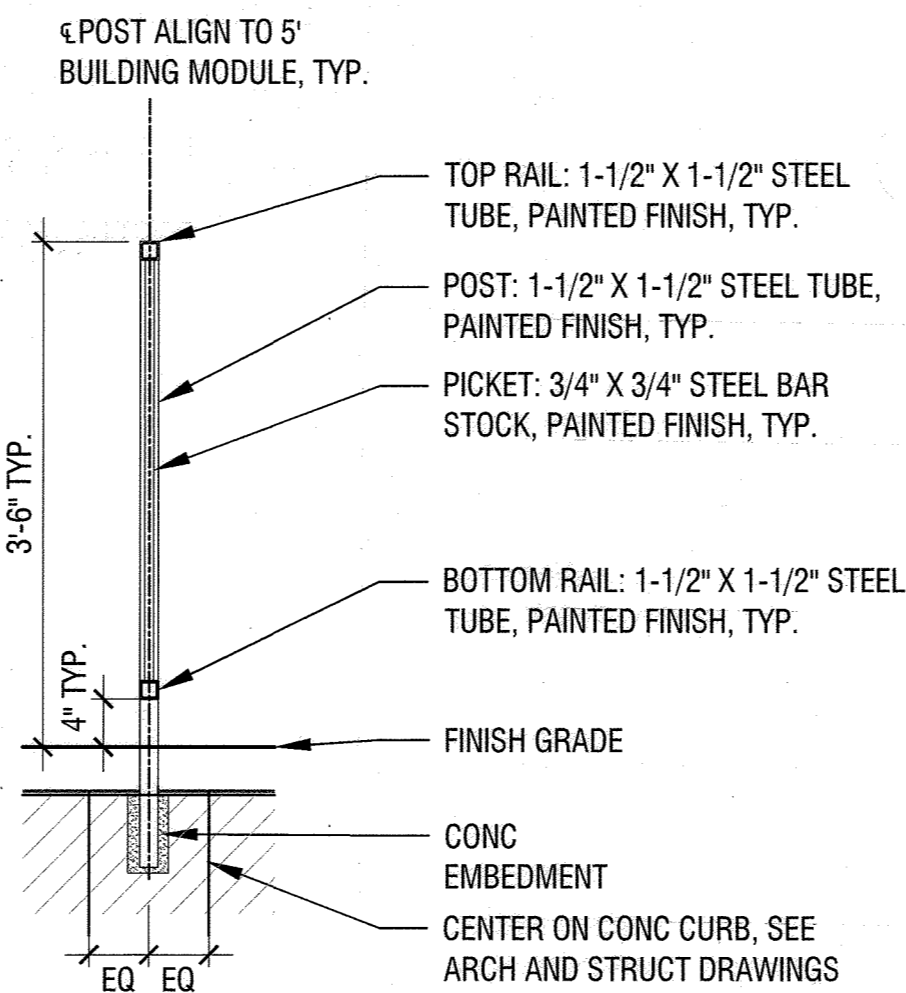
BUILDING ELEVATIONS
SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA
LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B
A REVISION OF SECTION 1, PARCEL B (PLAT No. 26140)
PN: 26227-26228
HOWARD COUNTY, MARYLAND

SCALE	ZONING	JOB No.
1/16" = 1'	NT	2108
DATE	SHEET	
NOV., 2022	36 - 2	46 OF 54

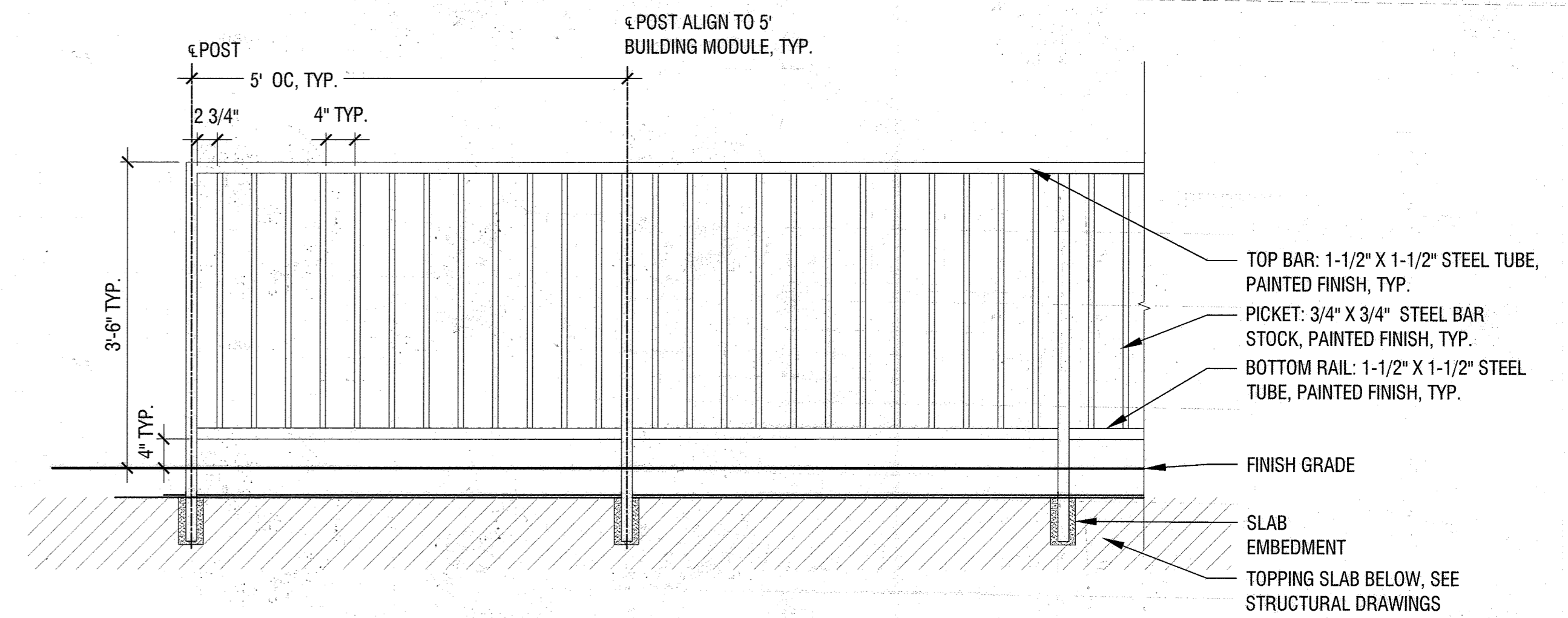
- GENERAL RAILING NOTES:
1. CONTRACTOR TO PROVIDE SIGNED AND SEALED ENGINEER'S DRAWINGS FOR ALL RAILS.
 2. COORDINATE RAIL FABRICATION WITH BUILT CONDITIONS.
 3. GUARDRAIL TO ACCOMMODATE INTEGRAL LIGHT FIXTURE, SEE LIGHTING DRAWINGS.



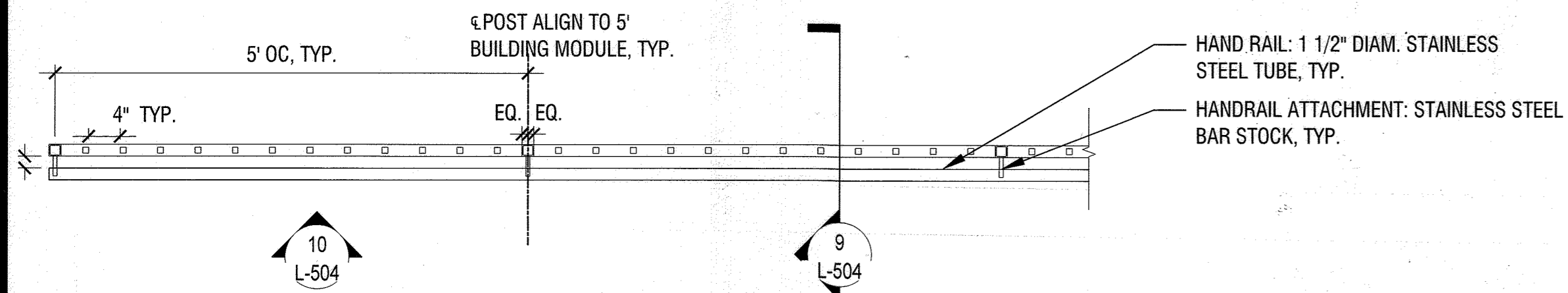
1 PLAN METAL GUARDRAIL
SCALE : 3/4" = 1'-0"



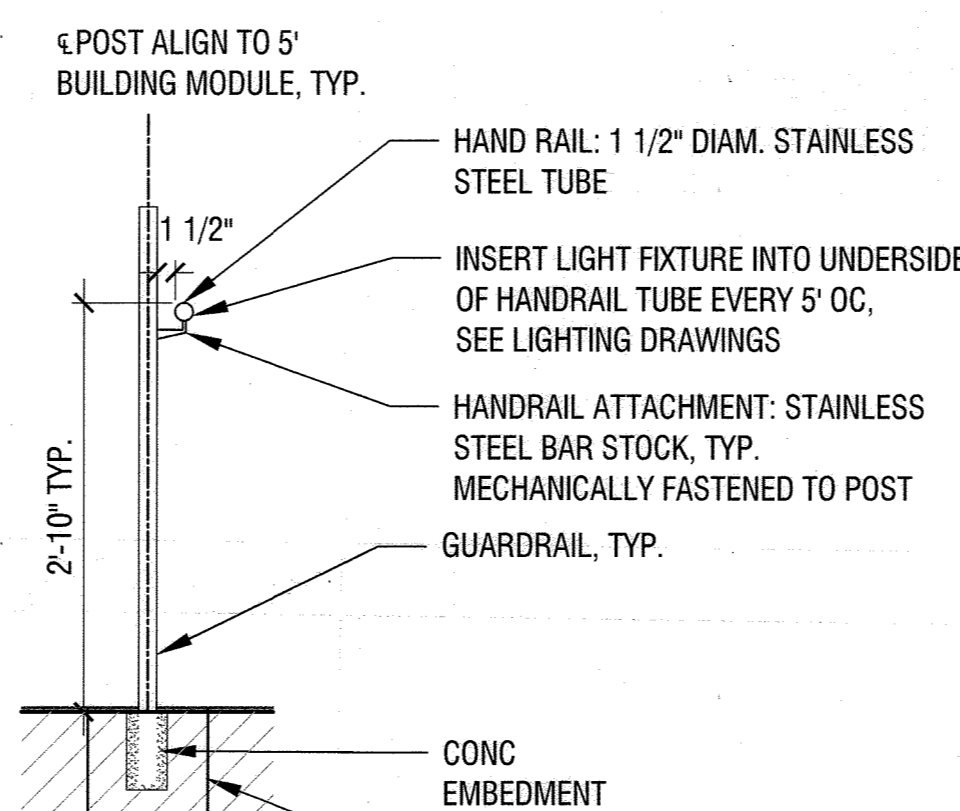
2 SECT METAL GUARDRAIL
SCALE : 3/4" = 1'-0"



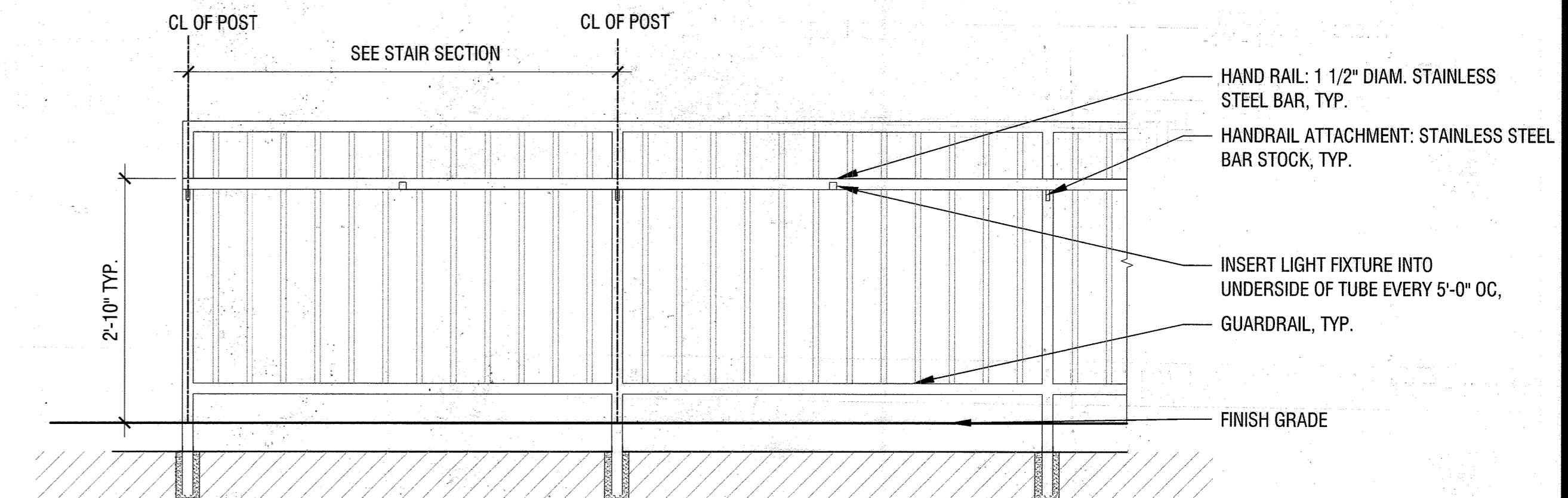
3 ELEV METAL GUARDRAIL
SCALE : 3/4" = 1'-0"



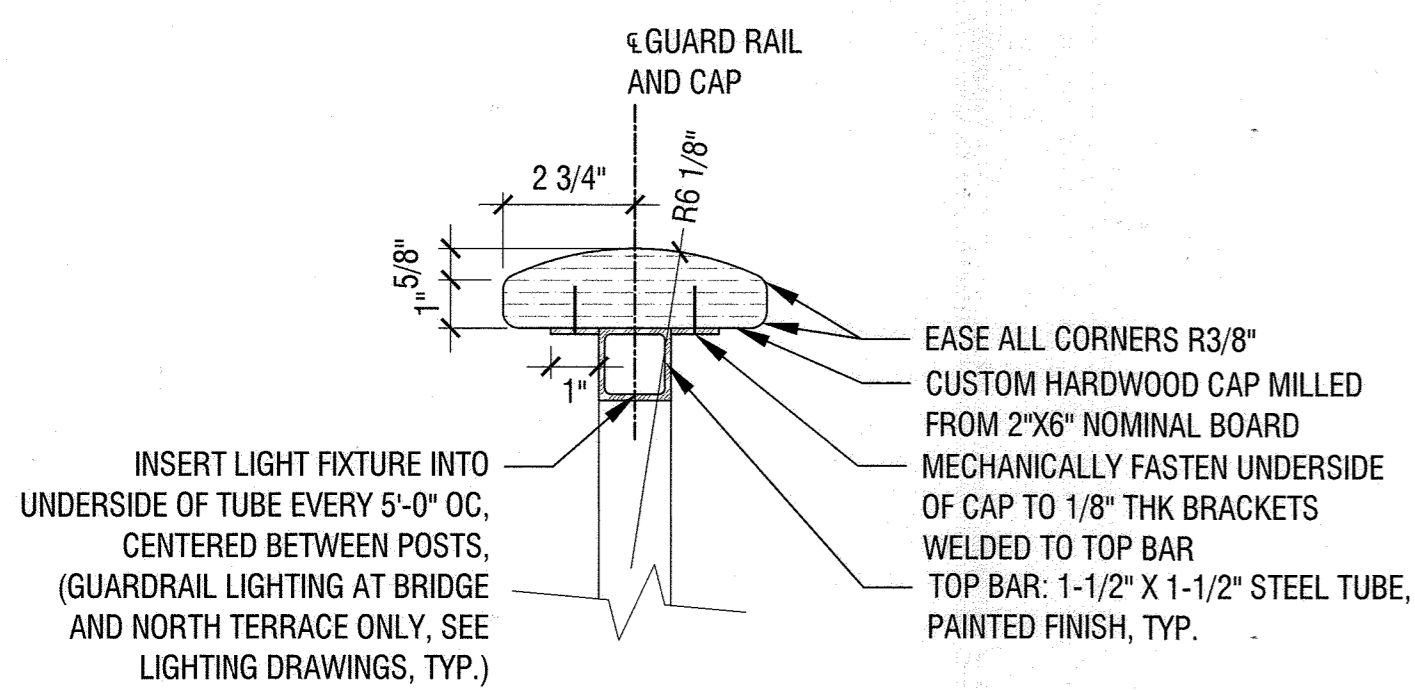
4 PLAN METAL GUARDRAIL WITH HANDRAIL
SCALE : 3/4" = 1'-0"



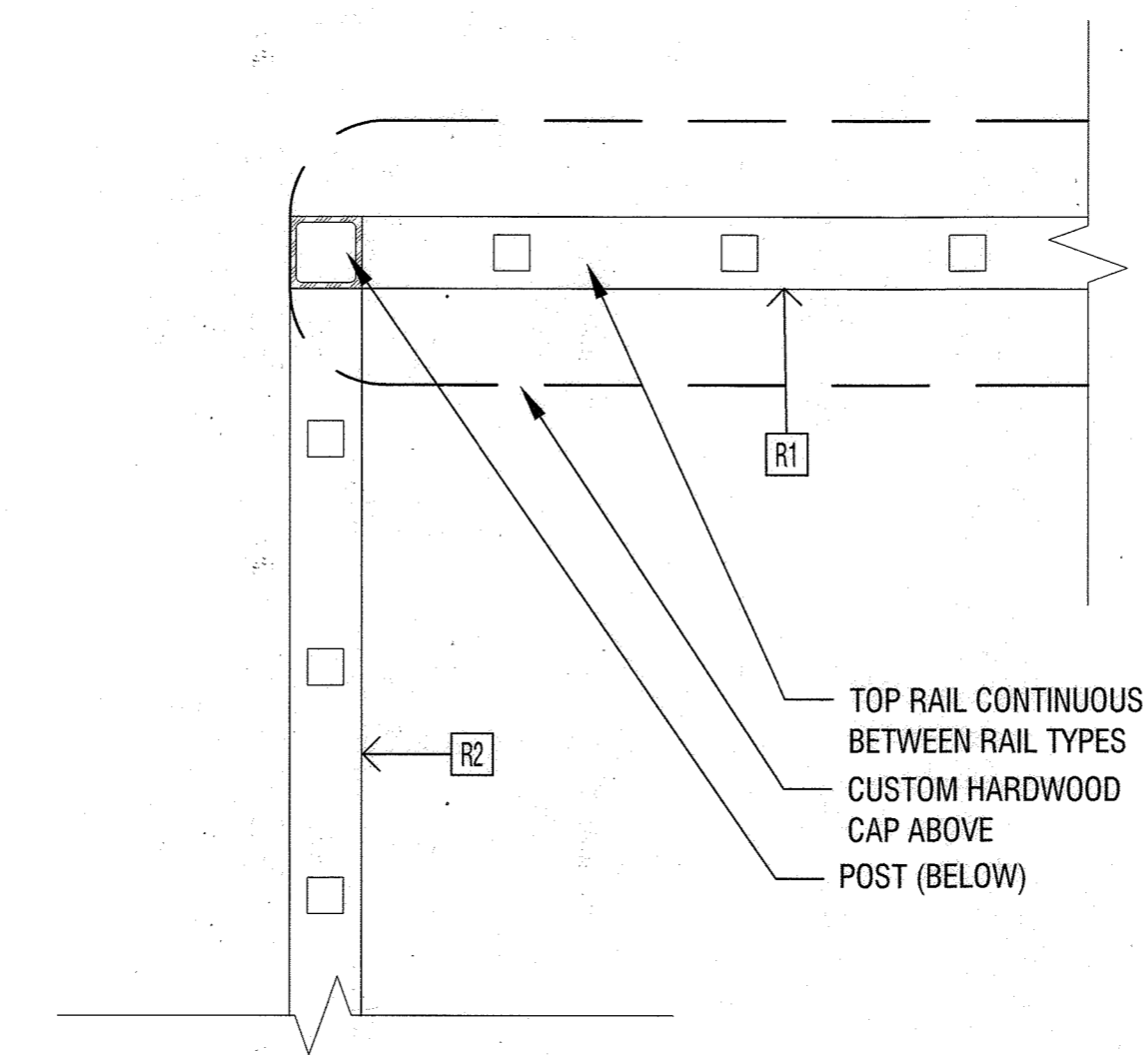
5 SECT METAL GUARDRAIL WITH HANDRAIL
SCALE : 3/4" = 1'-0"



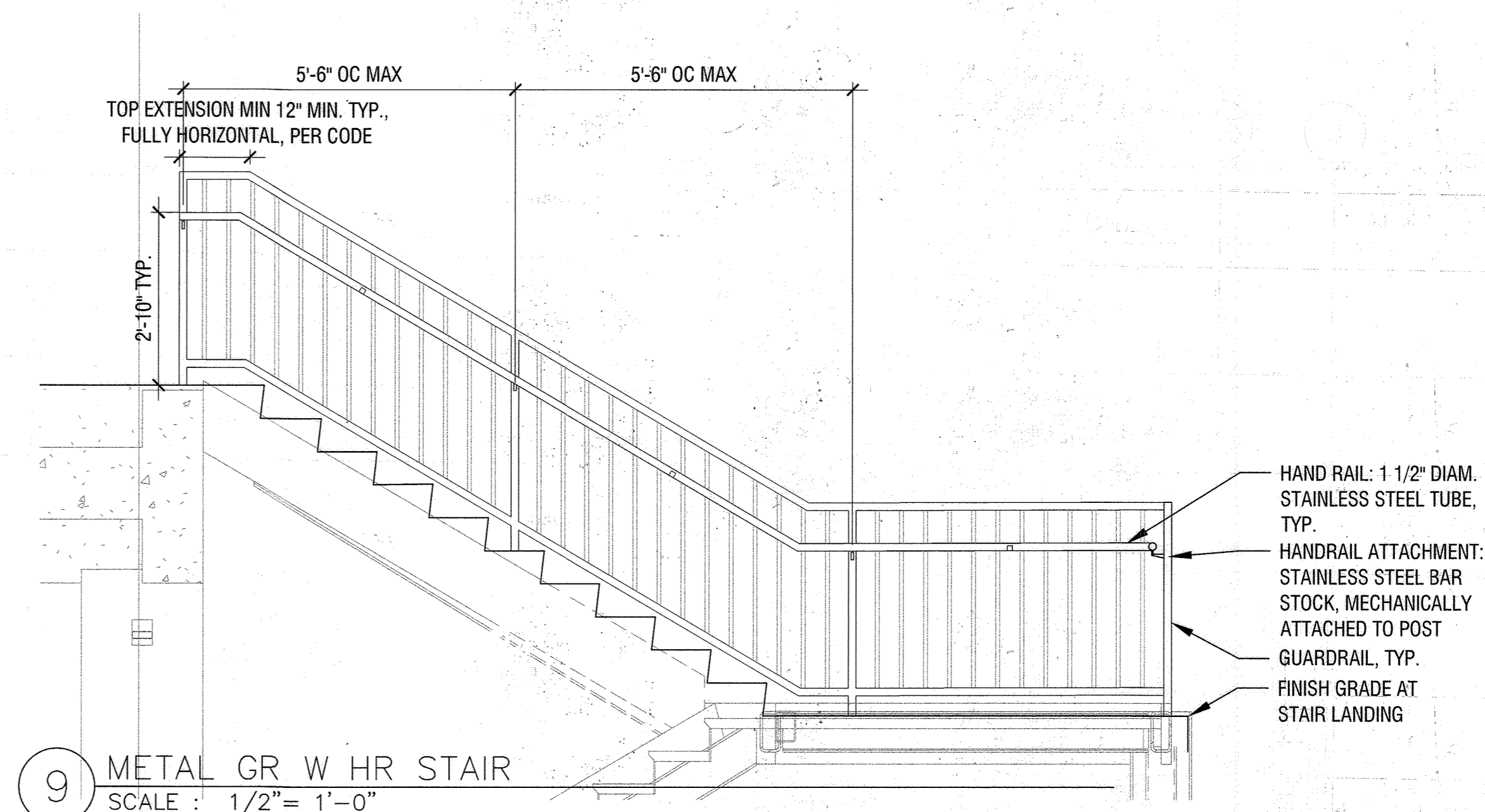
6 ELEV METAL GUARDRAIL WITH HANDRAIL
SCALE : 3/4" = 1'-0"



7 DETL METAL GUARDRAIL WITH CAP
SCALE : 3" = 1'-0"



8 PLAN GUARDRAIL TRANSITION
SCALE : 3" = 1'-0"



9 METAL GR W HR STAIR
SCALE : 1/2" = 1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
12/28/2022
Director: *Amy Goman*
Chief, Division of Land Use: *CHAD Edmondson*

BUILDER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK 18938, PAGE 338 ADOPTED FOR THE SUBJECT PROPERTY.
I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
NAME: *Greg Fitchett* DATE: 12/12/22

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: July 7, 2022

Unknown Studio
2219 Saint Paul Street / Baltimore, MD 21218
P: 410.246.2946

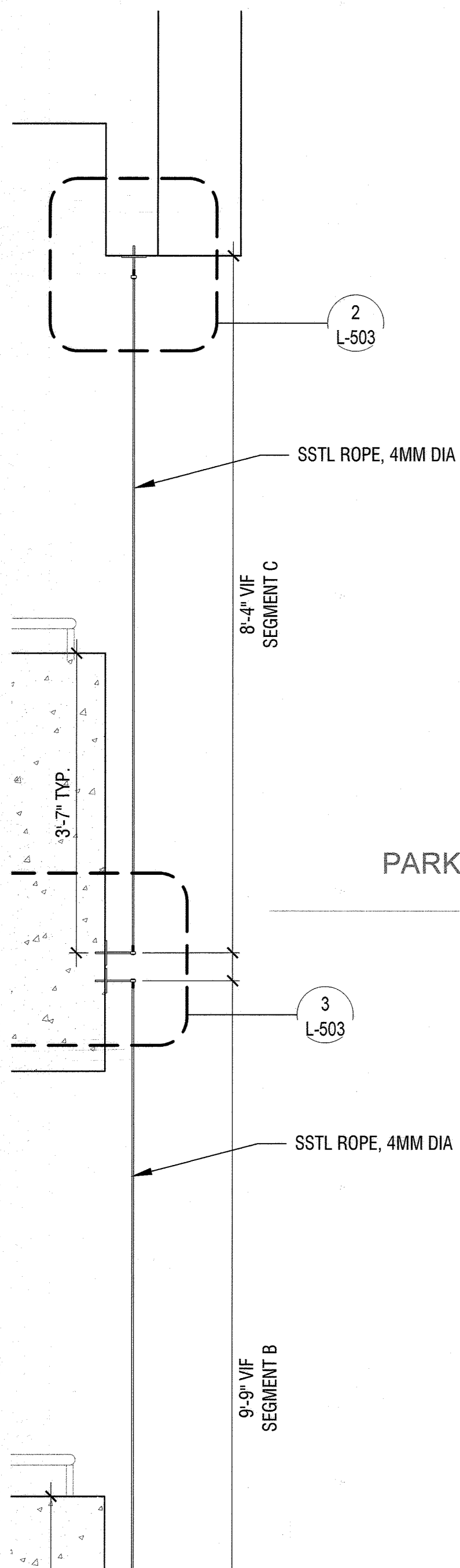
DESIGNED BY:	DATE	REVISION	BY	APP'R.
ES, BG				
DRAWN BY:				
ES, BG				
CHECKED BY:				
CA				

PREPARED FOR:
OWNER: LFC MOB1, LLC
C/O THE HOWARD HUGHES CORP.
10960 GRANTCHESTER WAY, SUITE 110
COLUMBIA, MD 21044
DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.
10960 GRANTCHESTER WAY, SUITE 110
COLUMBIA, MD 21044
ATTN: GABRIEL CHUNG
410-564-4800

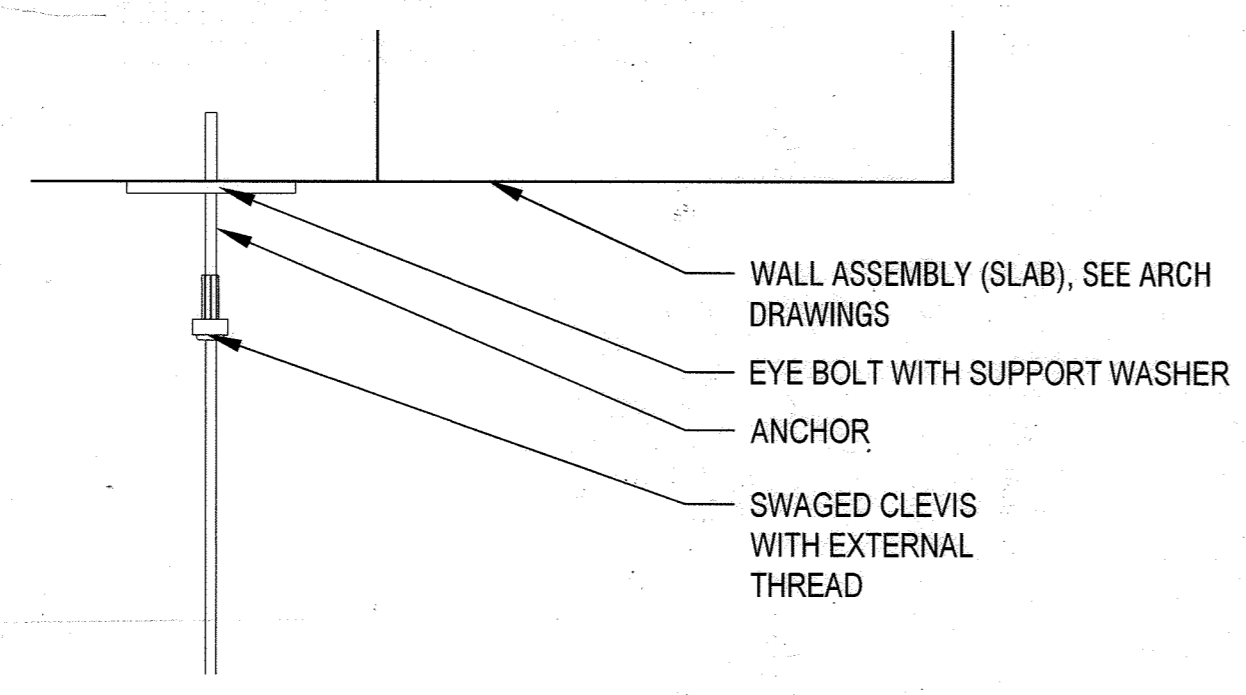
ARCHITECT: *Greg Fitchett*
12/12/22

L-502 RAILING DETAILS
SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA
LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B
A RESUBDIVISION OF SECTION 1, PARCEL B (PLAT No. 26140)
ELECTION DISTRICT No. 5
PN: 26227-26228
HOWARD COUNTY, MARYLAND

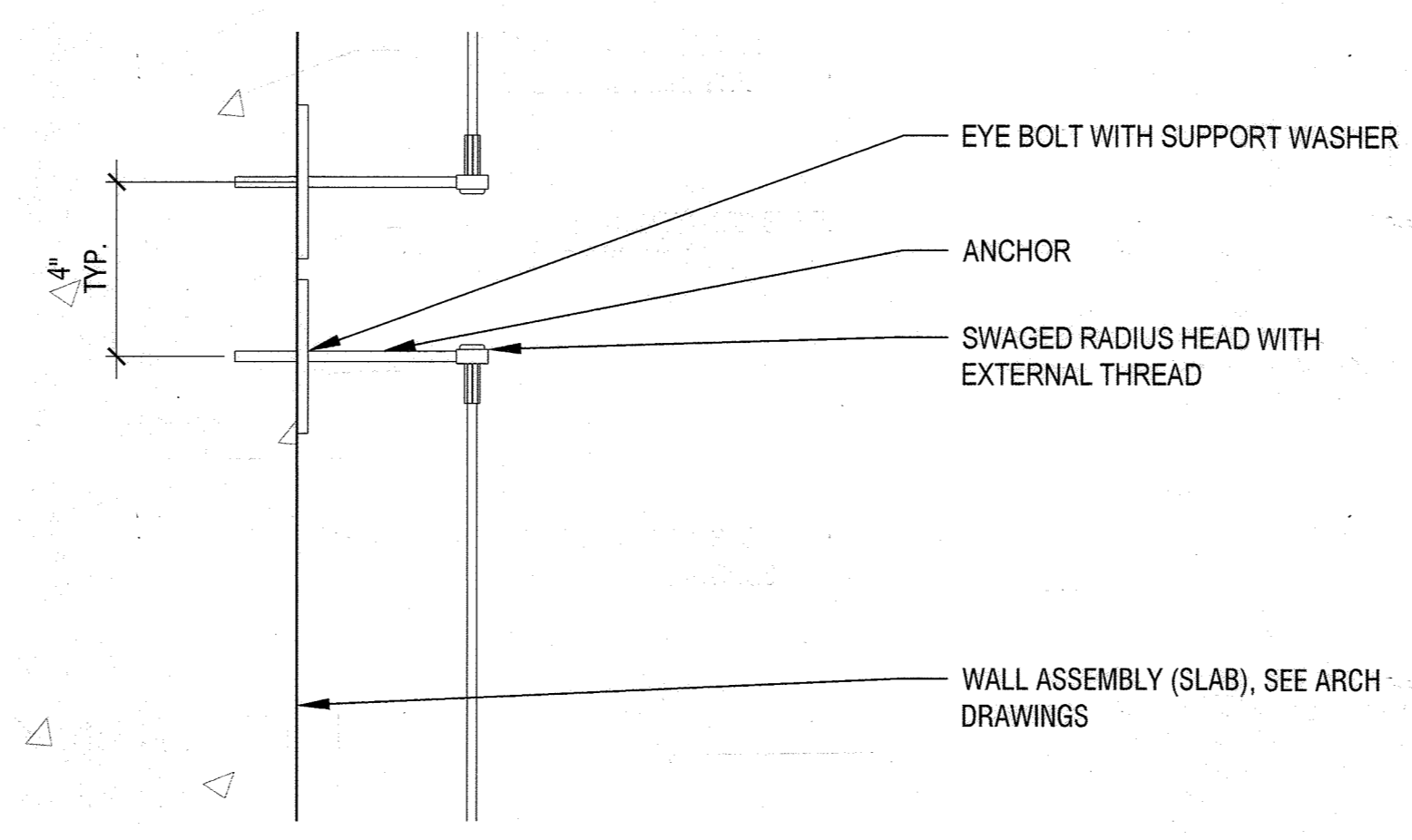
SCALE	ZONING	JOB No.
AS NOTED	NT	2110
DATE	TAX MAP - GRID	SHEET
NOV., 2022	36 - 2	47 OF 54



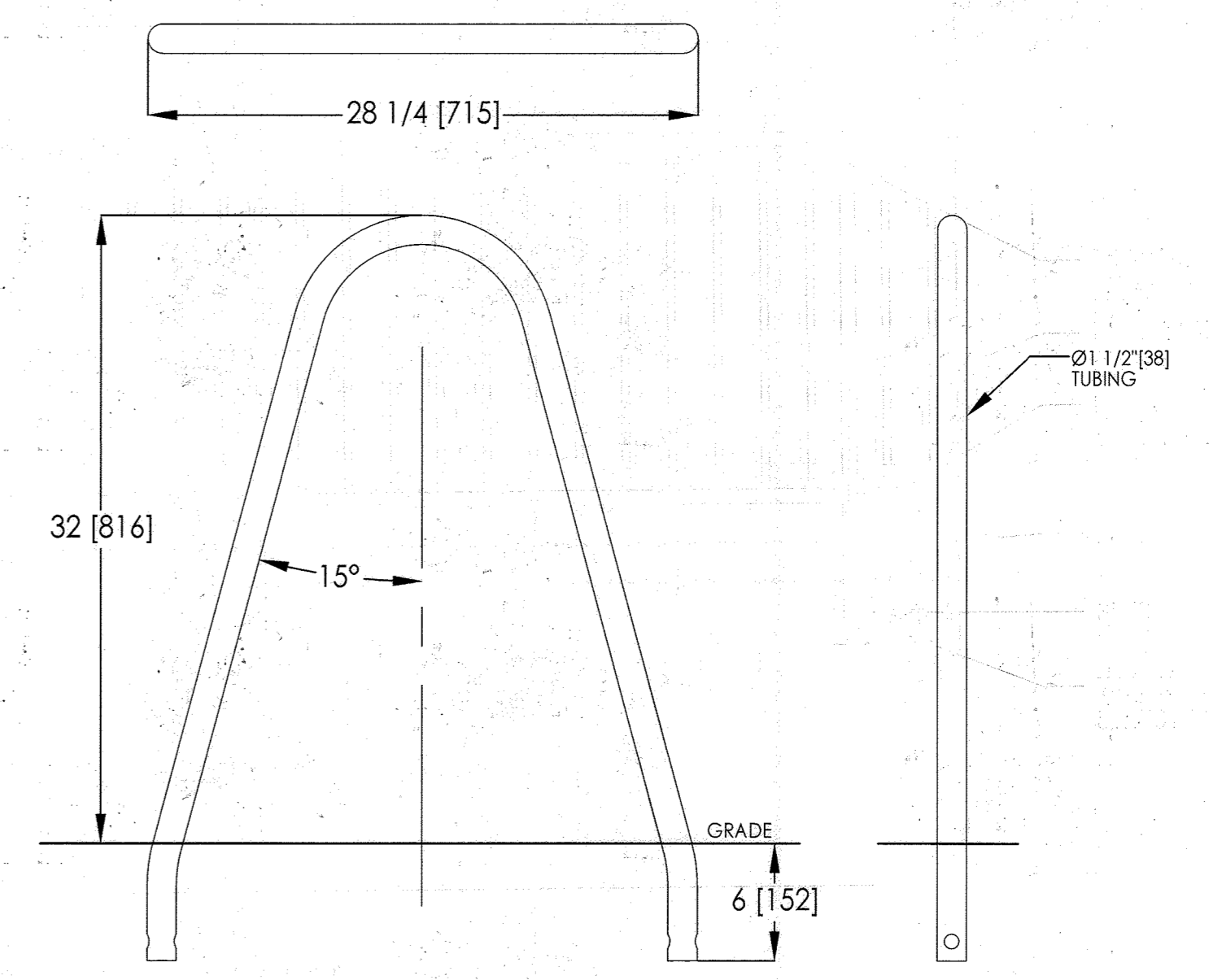
1 SECT VINE CABLE
SCALE : 3/4" = 1'-0"



2 DETL VINE CABLE HORIZONTAL ATTACHMENT
SCALE : 3" = 1'-0"

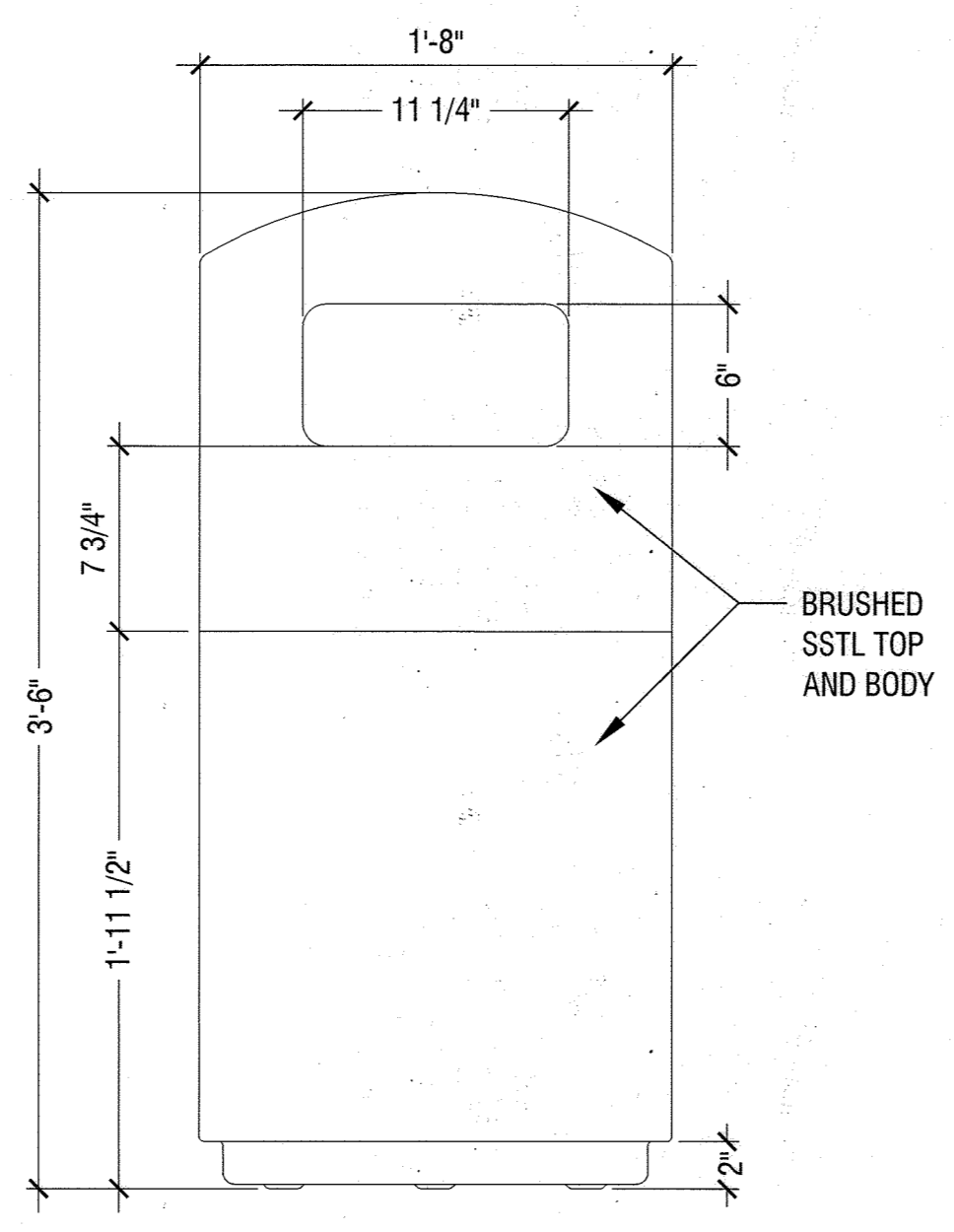


3 DETL VINE CABLE VERTICAL ATTACHMENT
SCALE : 3" = 1'-0"

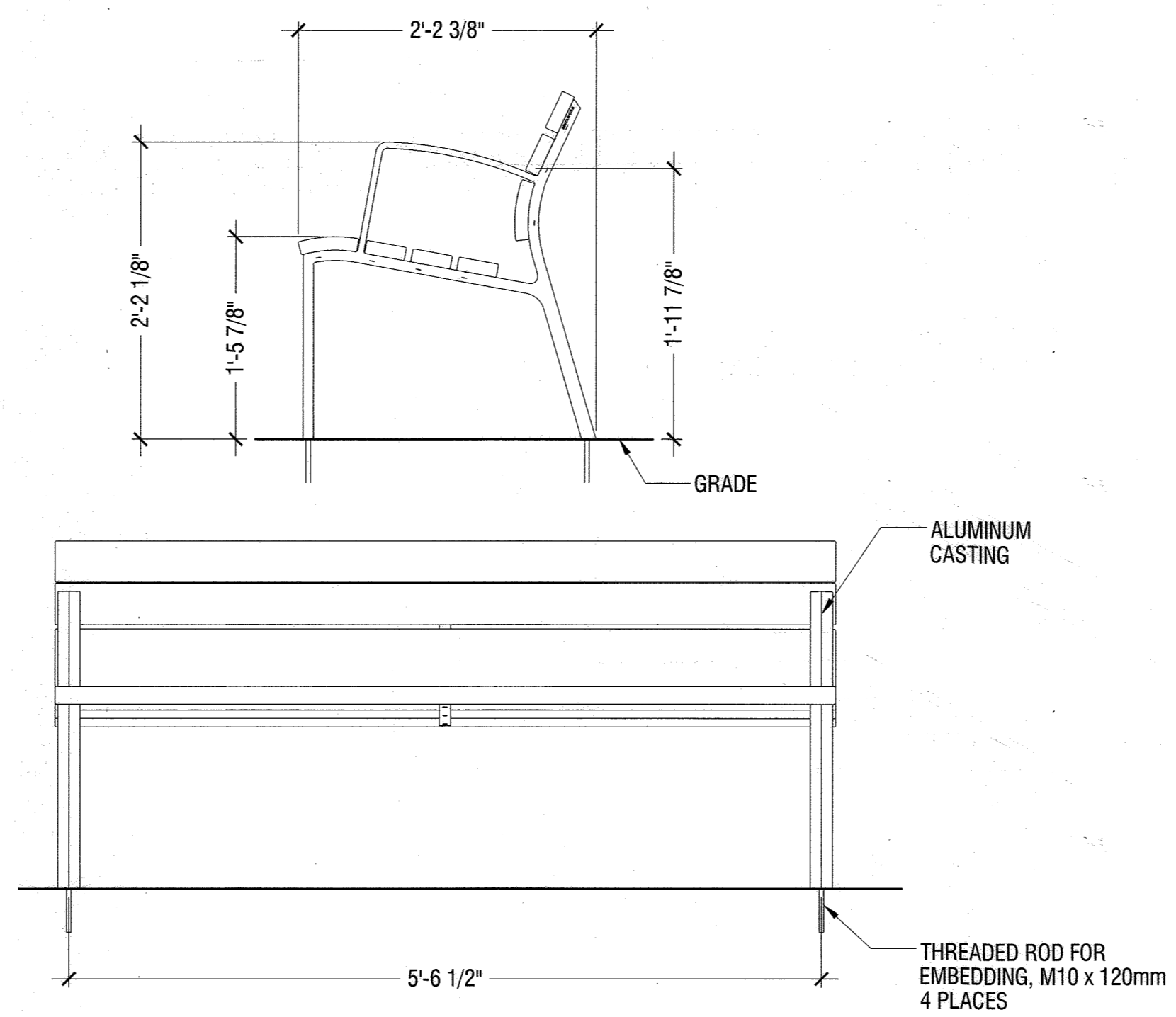


4 DETL BIKE RACK
SCALE : 1 1/2" = 1'-0"

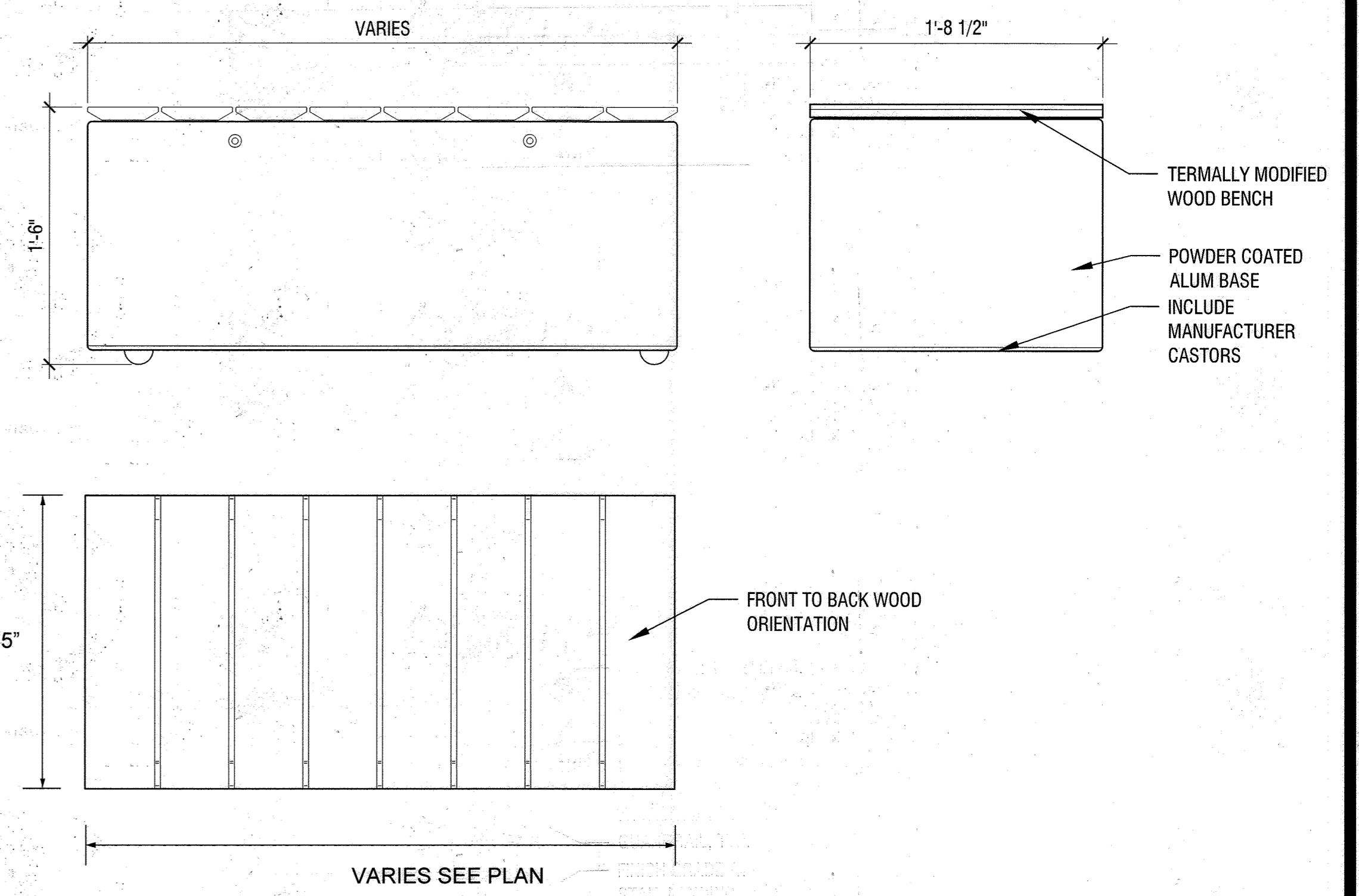
PARKING GARAGE
LEVEL 1
-10' - 10"



5 DETL TRASH AND RECYCLING RECEPTACLES
SCALE : 1 1/2" = 1'-0"



6 DETL BENCH TYPE 4
SCALE : 1" = 1'-0"



7 DETL MOVEABLE BENCHES TYPES 1 THROUGH 3
SCALE : 1 1/2" = 1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
12/28/2022
Director: *Greg Goman*
Chief, Division of Land Development: *CHAD Edmondson*
Date: 12/27/2022

BUILDER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK 18938, PAGE 338 ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
12/12/22
NAME: *Greg Pittnett* DATE

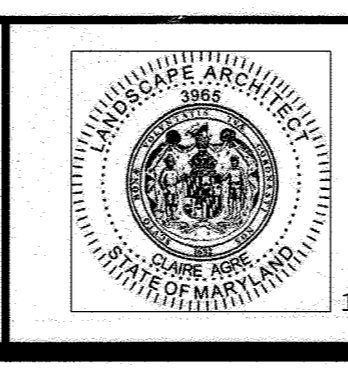
APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: July 7, 2022

Unknown Studio
2219 Saint Paul Street / Baltimore, MD 21218
P: 410.246.2946

DESIGNED BY:	DATE	REVISION	BY	APP'R.
ES, BC				
DRAWN BY:				
ES, BC				
CHECKED BY:				
CA				

PREPARED FOR:
OWNER: LFC MOB1, LLC
C/O THE HOWARD HUGHES CORP.
10960 GRANTCHESTER WAY, SUITE 110
COLUMBIA, MD 21044

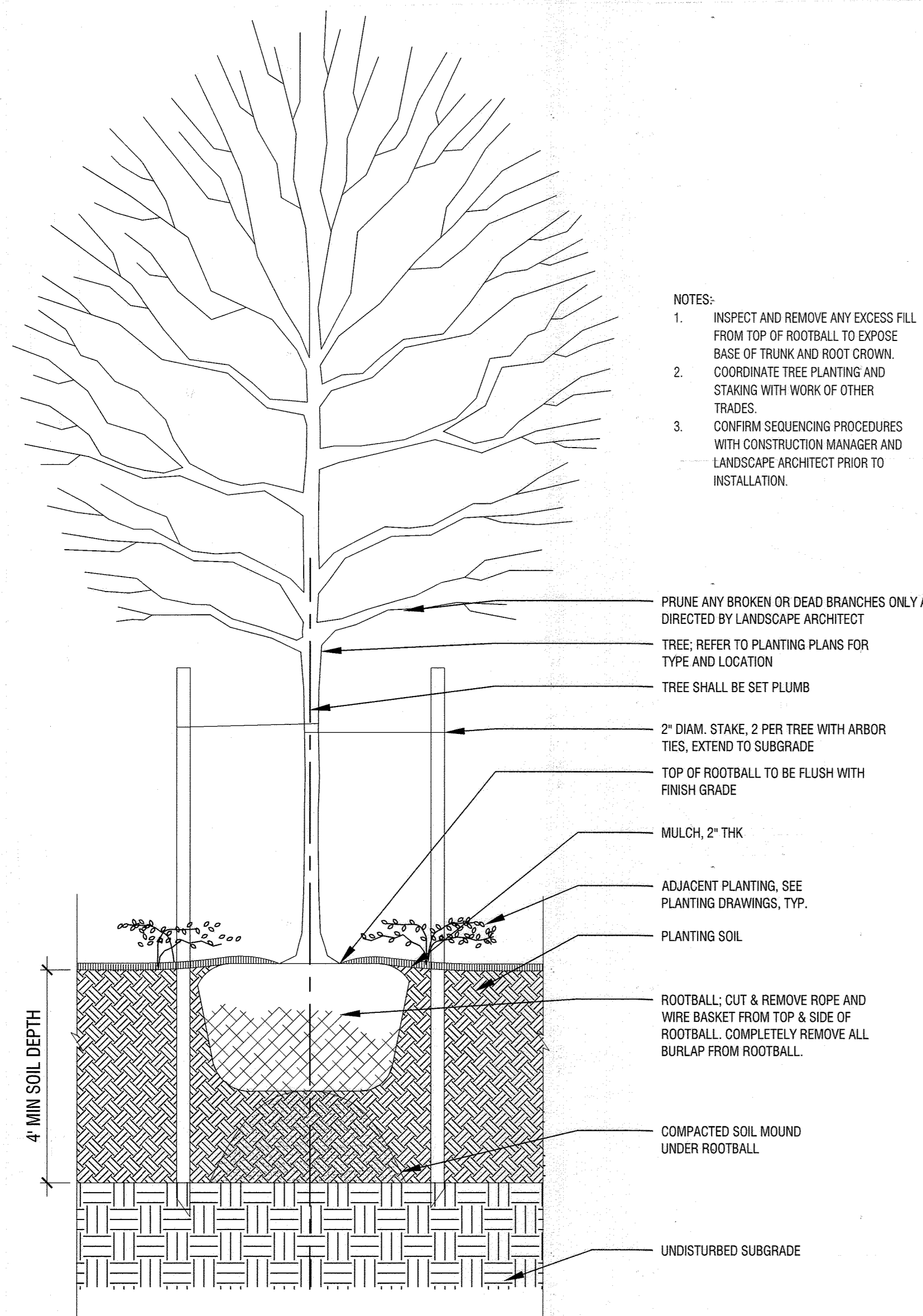
DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.
10960 GRANTCHESTER WAY, SUITE 110
COLUMBIA, MD 21044
ATTN: GABRIEL CHUNG
410-964-4900



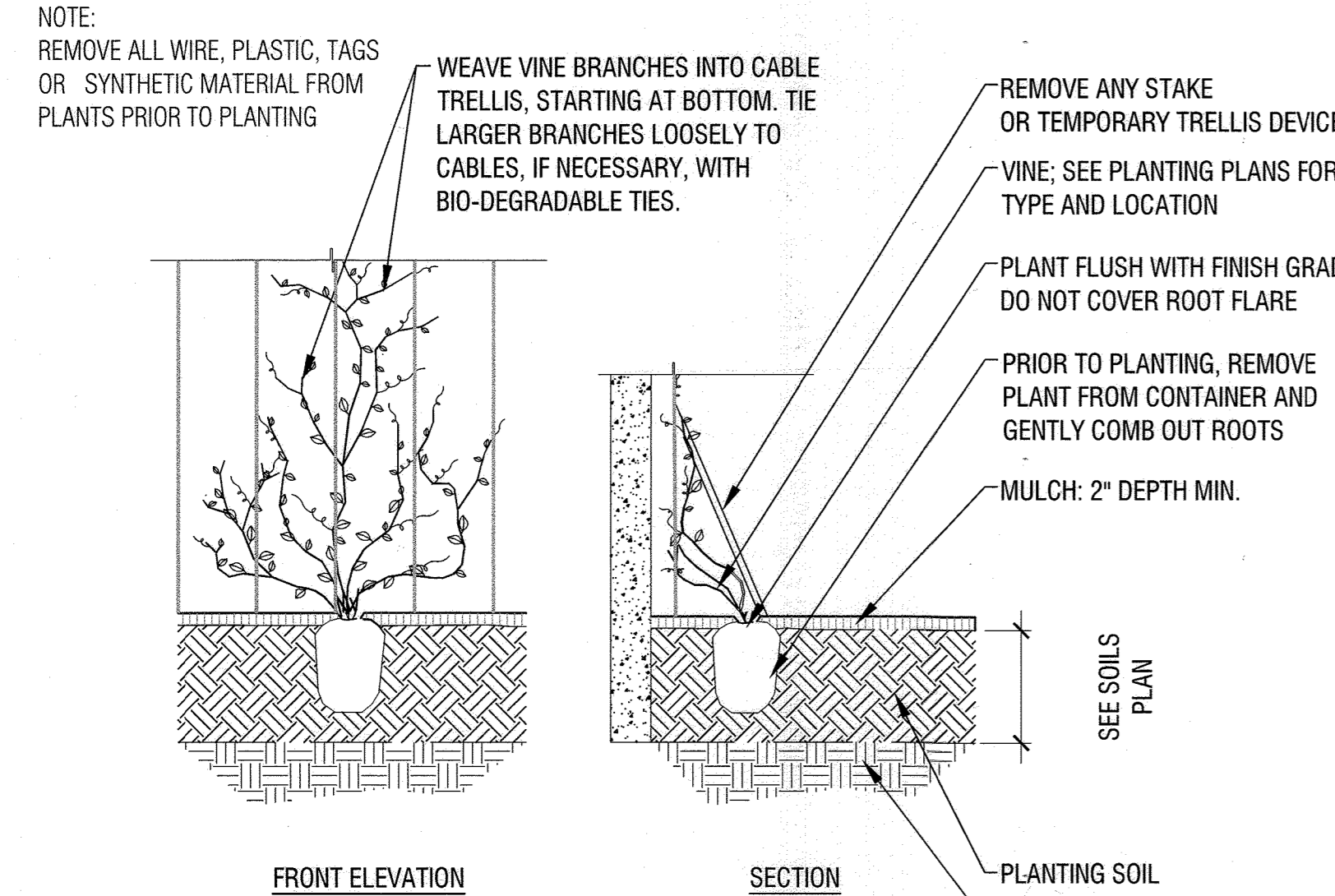
12/12/22
Greg Pittnett

L-503 FURNISHING DETAILS
SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA
LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B
A RESUBDIVISION OF SECTION 1, PARCEL B (PLAT No. 26140)
PN: 26227-26228
HOWARD COUNTY, MARYLAND

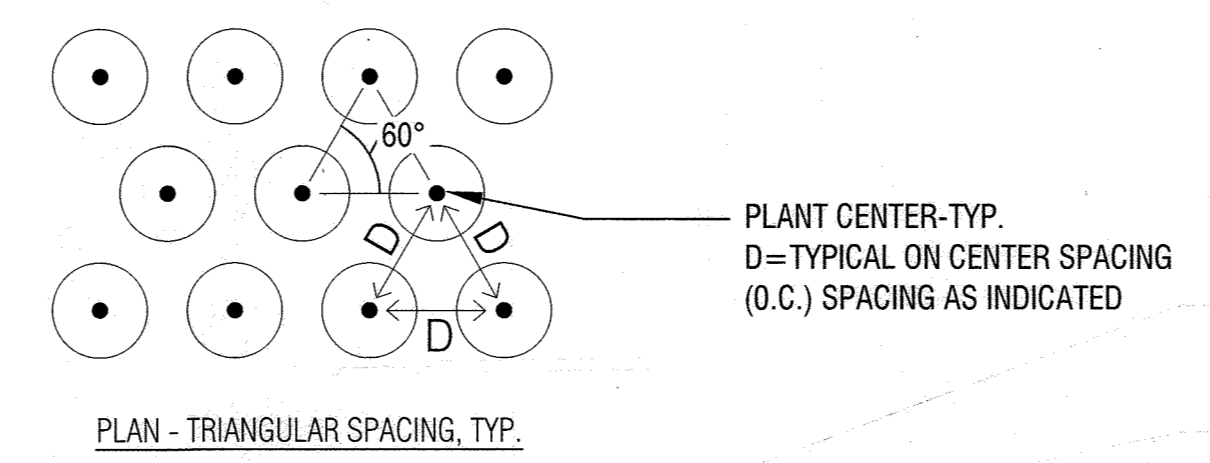
SCALE	ZONING	JOB No.
AS NOTED	NT	2110
DATE	TAX MAP - GRID	SHEET
NOV, 2022	36 - 2	48 OF 54



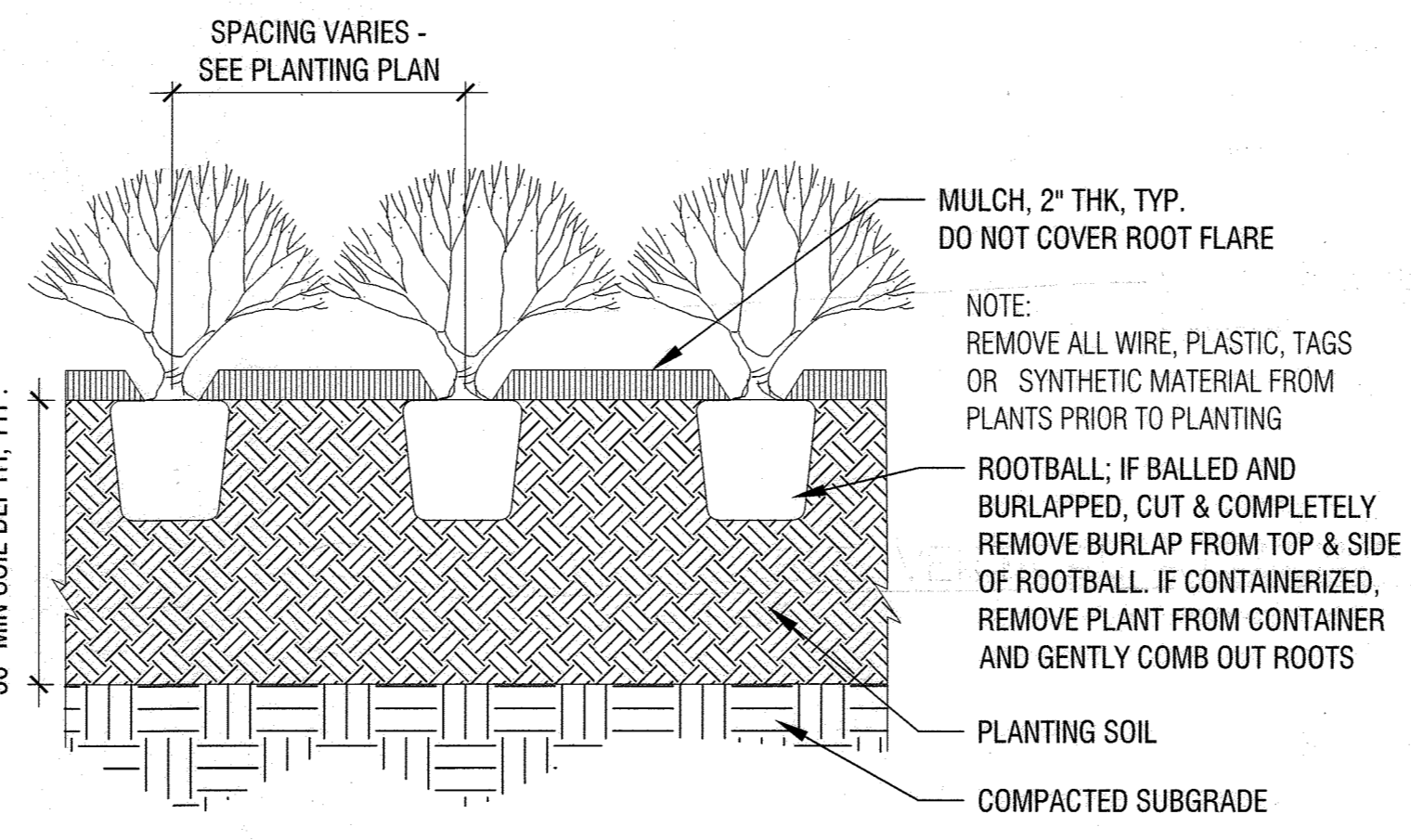
1 SECT TREE ON GRADE
SCALE : 3/4" = 1'-0"



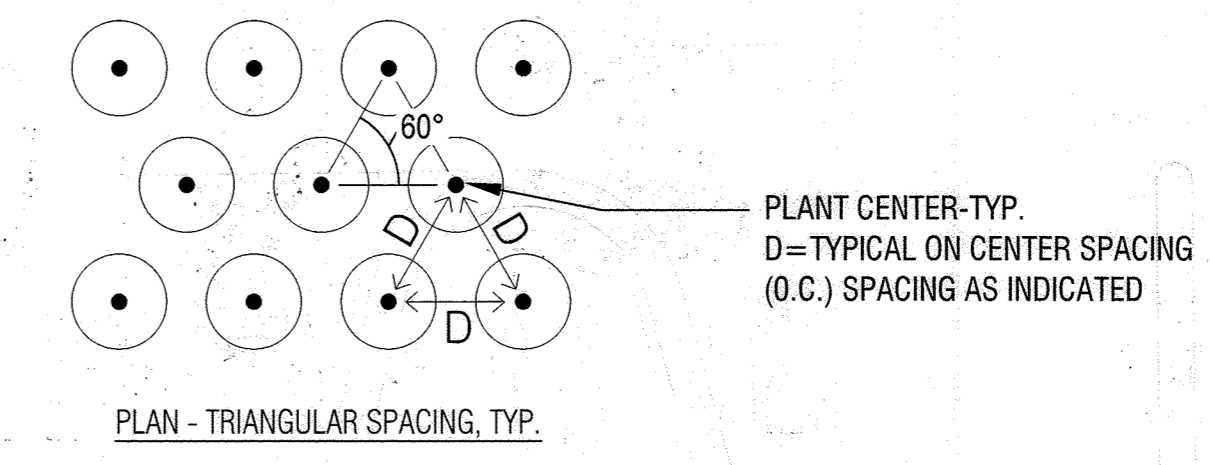
4 DETL VINE PLANTING
SCALE : 1/2" = 1'-0"



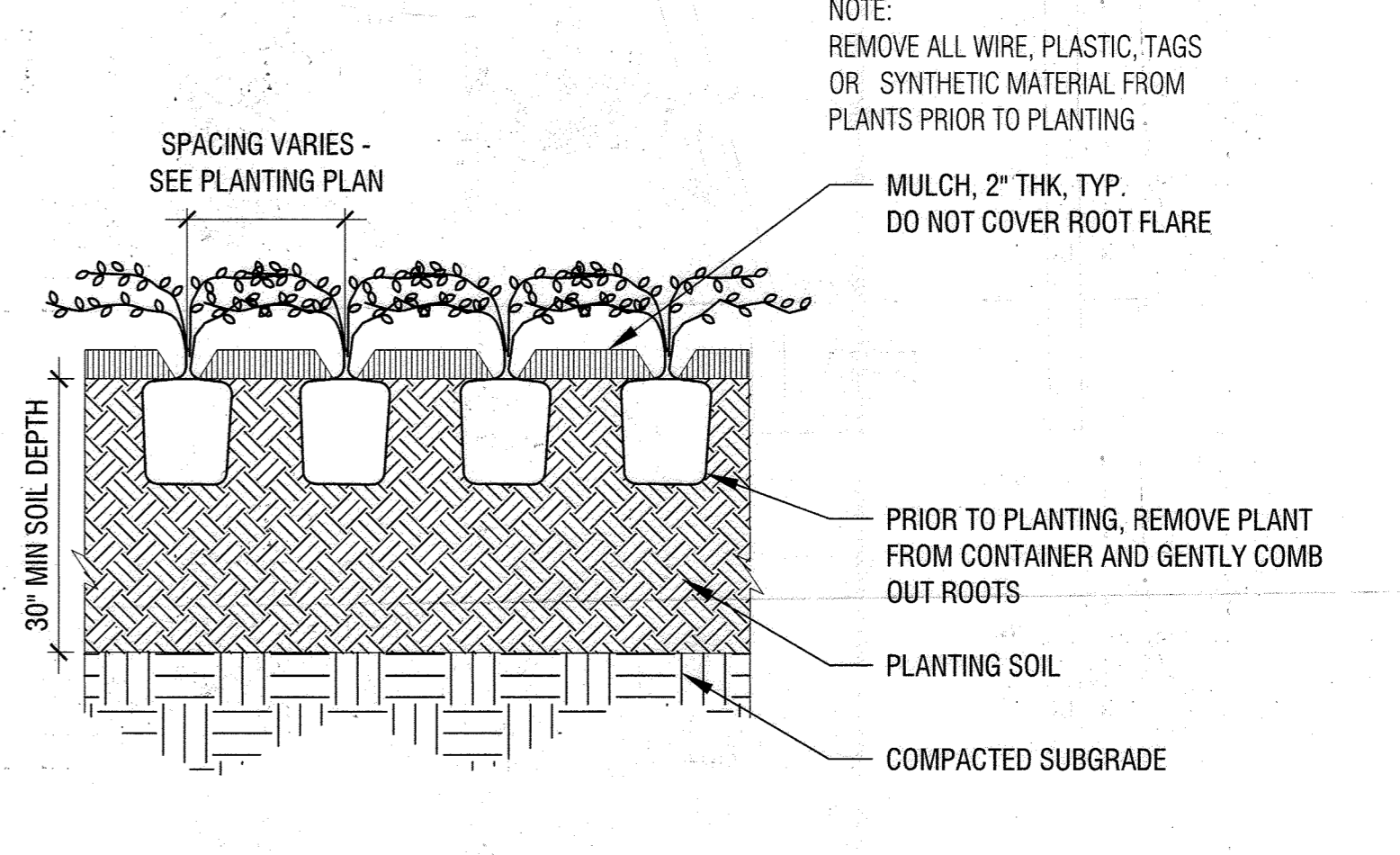
2 PLAN - TRIANGULAR SPACING, TYP.



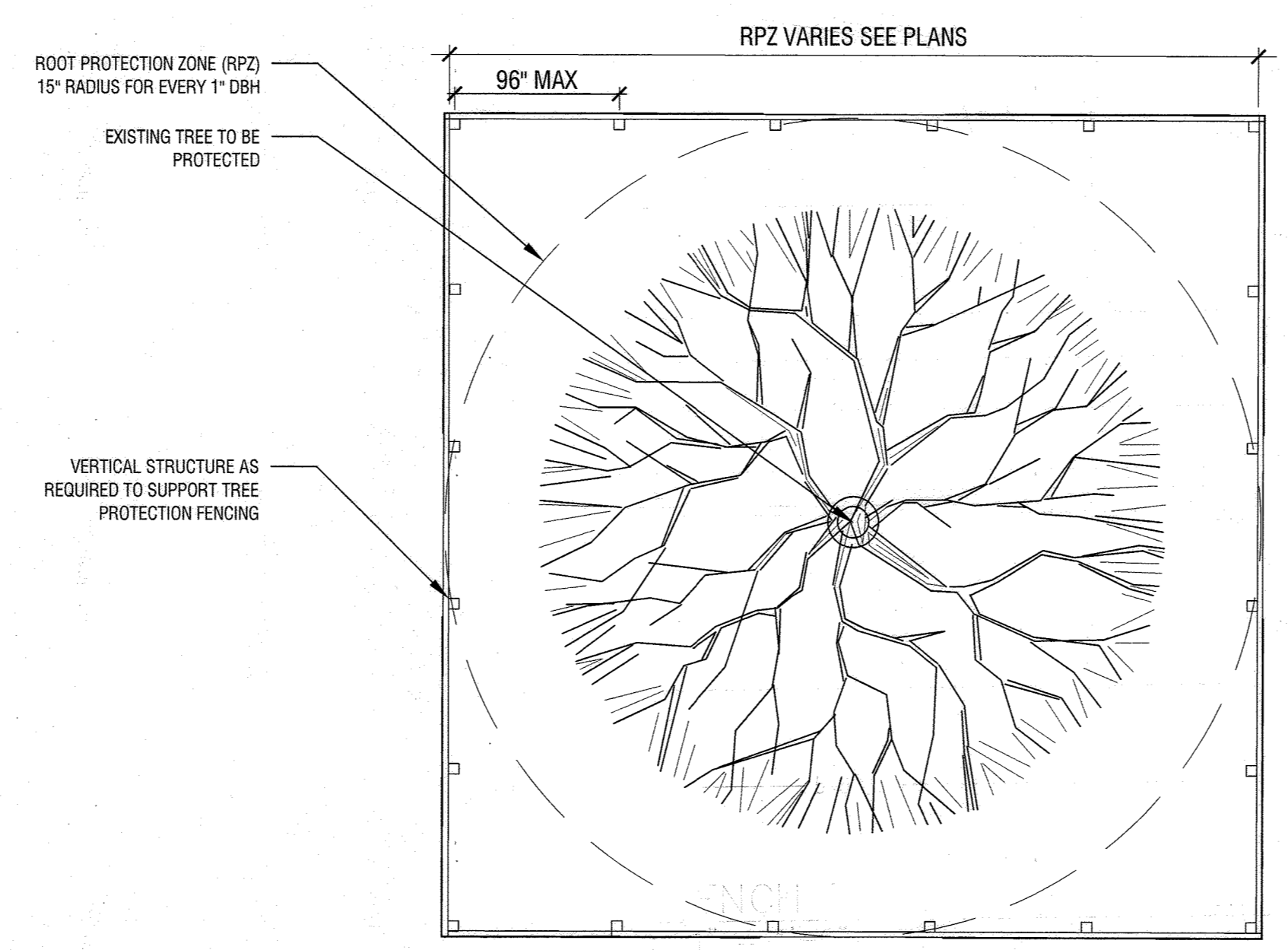
3 SECT SHRUB ON GRADE
SCALE : 1"=1'-0"



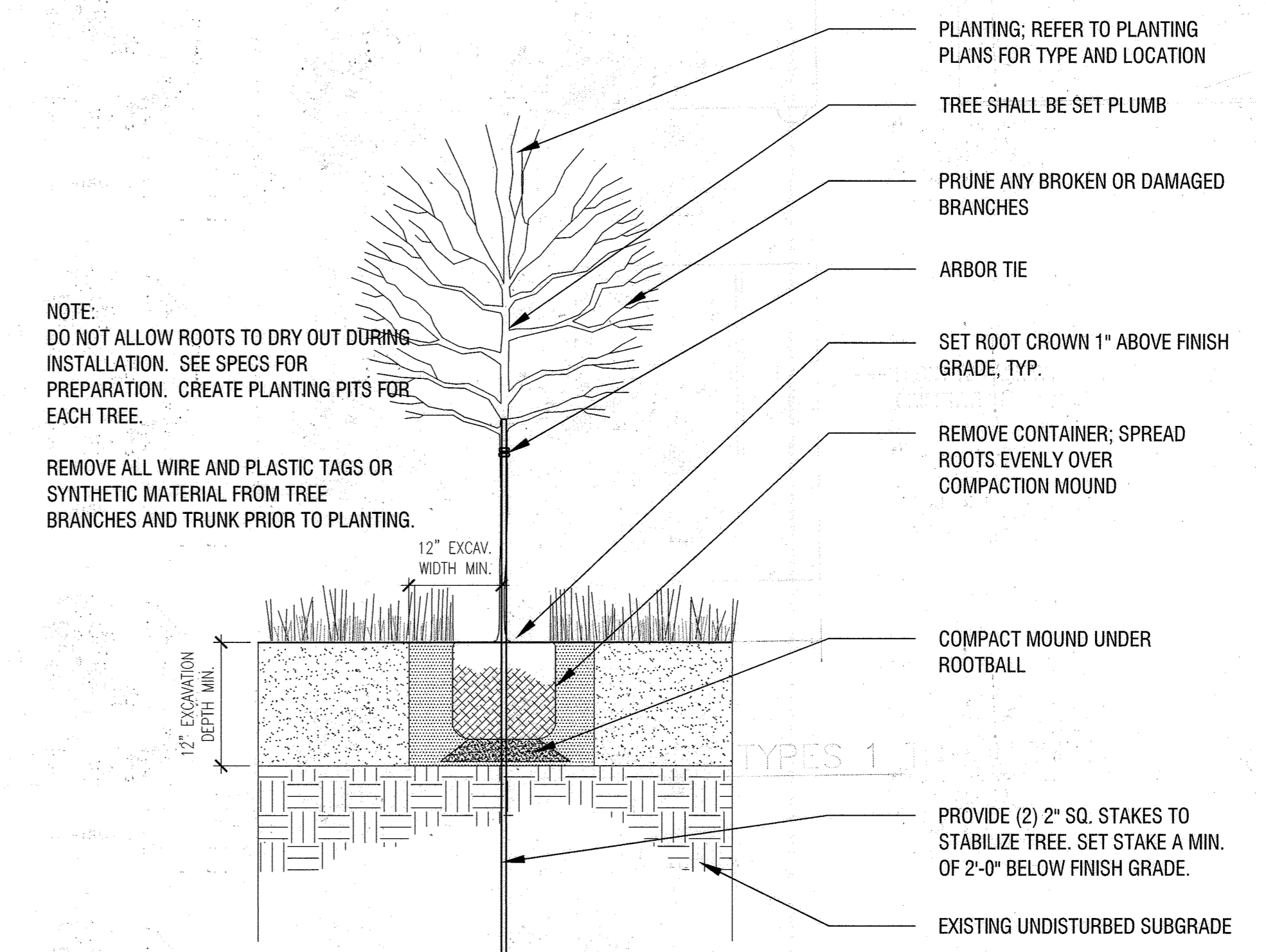
3 PLAN - TRIANGULAR SPACING, TYP.



3 SECT GRASS AND PERENNIAL ON GRADE
SCALE : 1"=1'-0"



5 PLAN TREE PROTECTION
SCALE : 3/16" = 1'-0"



6 DETL WHIP PLANTING
SCALE : 1/2" = 1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
12/28/2022
Director: *Amy Gorman*
Chief, Division of Land Use: *CHAD Edmondson*
Date: 12/27/2022

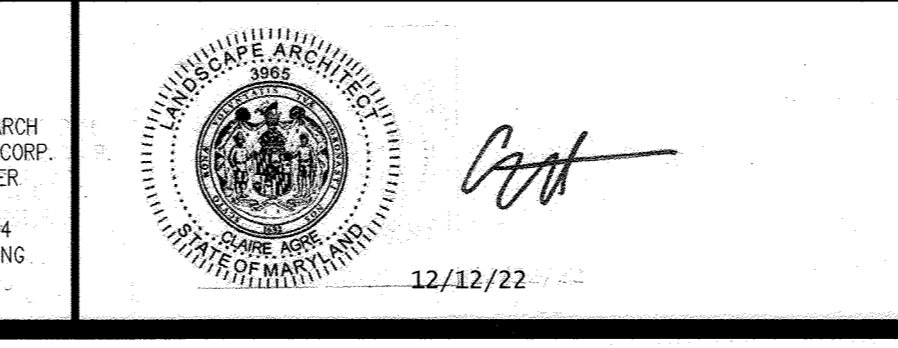
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NAME: *Greg Pittnett* DATE: 12/12/22

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: July 7, 2022

Unknown Studio
2219 Saint Paul Street / Baltimore, MD 21218
P: 410.246.2946

DESIGNED BY:	DATE	REVISION	BY	APPR.
ES, BC				
DRAWN BY:				
ES, BC				
CHECKED BY:				
CA				

PREPARED FOR:
OWNER: LFC MOB1, LLC
C/O THE HOWARD HUGHES CORP.
10960 GRANTCHESTER WAY, SUITE 110
COLUMBIA, MD 21044
DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP.
10960 GRANTCHESTER WAY, SUITE 110
COLUMBIA, MD 21044
ATTN: GABRIEL CHUNG
410-964-4900



L-504 PLANTING DETAILS
SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA
LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B
A RESUBDIVISION OF SECTION 1, PARCEL B (PLAT No. 26140)
PN: 26227-26228
ELECTION DISTRICT No. 5

SCALE	ZONING	JOB No.
AS NOTED	NT	2110
DATE	TAX MAP - GRID	SHEET
NOV., 2022	36 - 2	49 OF 54

**MAINTENANCE OF TRAFFIC PLAN
GENERAL NOTES**

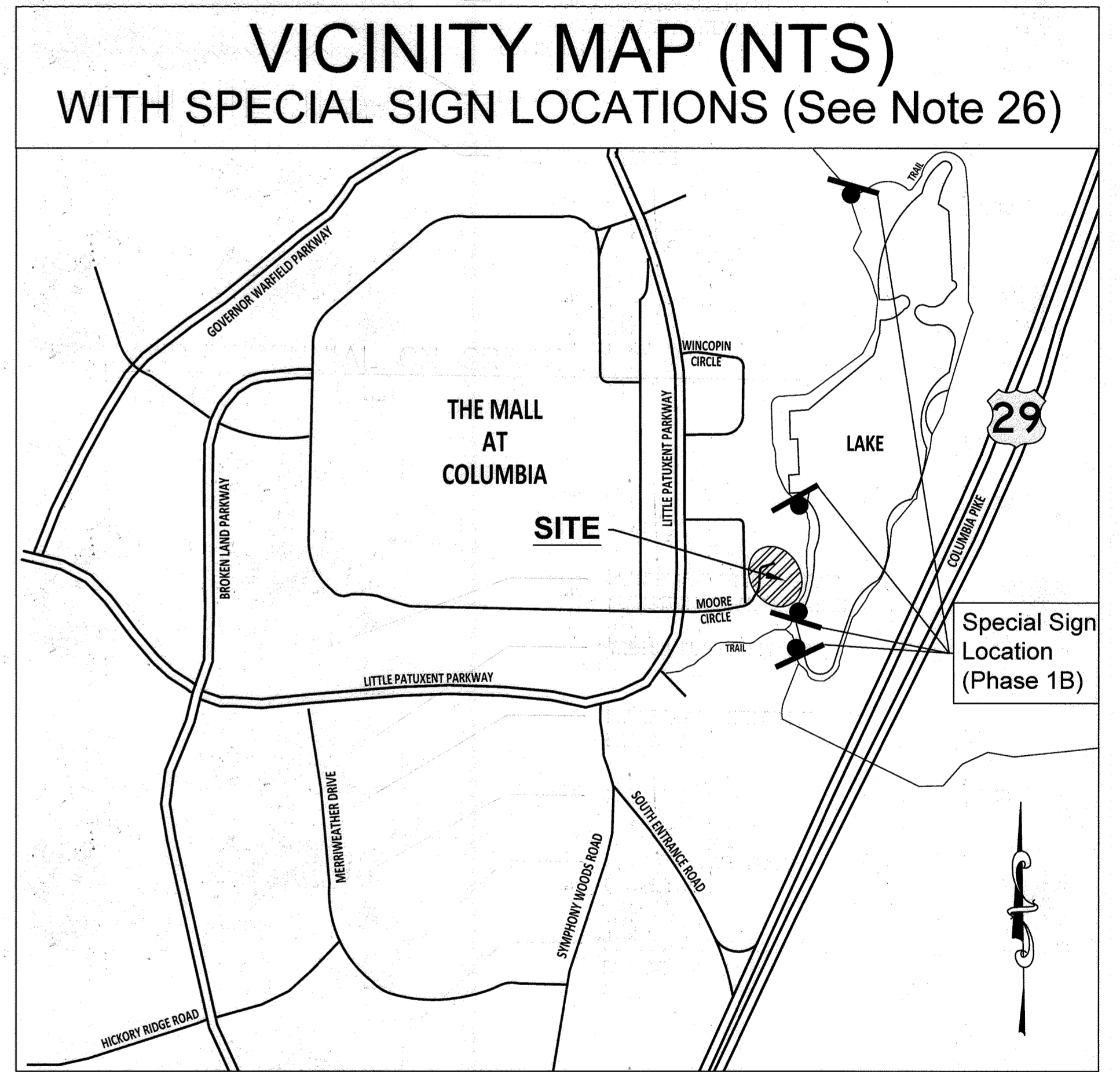
TRAFFIC CONTROL NOTES

- ALL TEMPORARY TRAFFIC SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES USED FOR MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AND THE MARYLAND STATE HIGHWAY ADMINISTRATION (MDSHA) BOOK OF STANDARDS AND SPECIFICATIONS.
- ALL TEMPORARY TRAFFIC SIGNS SHALL BE INSTALLED IN ACCORDANCE TO MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS FOR CONSTRUCTION ON MATERIALS.
- WARNING SIGNS SHALL BE PLACED SO THAT THEY DO NOT OBSTRUCT EXISTING TRAFFIC CONTROL DEVICES.
- ANY CORRECTIONS, MODIFICATIONS, OR ADDITIONS TO THE PLAN SHALL BE APPROVED BY HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, TRAFFIC DIVISION.
- MISS UTILITY SHALL BE NOTIFIED PRIOR TO PLACEMENT OF SIGNING, IF MOUNTING ON POSTS.
- HOWARD COUNTY TRAFFIC ENGINEERING (410-313-2430) SHALL BE NOTIFIED 2 WEEKS PRIOR TO ANY WORK.
- THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS TRAFFIC DIVISION RESERVES THE RIGHT TO MODIFY OR ADJUST THE PLAN TO FIT SITE CONDITIONS AT ANY TIME.
- SIGN INSTALLATION SHALL NOT LAST ANY LONGER THAN 15 MINUTES PER LOCATION. IF LONGER THAN 15 MINUTES APPROPRIATE TRAFFIC CONTROL AND PERMITS SHALL BE USED.
- ALL SIGNS SHALL CONFORM TO CURRENT MDSHA MATERIAL AND REFLECTIVITY REQUIREMENTS.
- ACCESS SHALL BE MAINTAINED TO ALL DRIVEWAYS UNLESS PERMISSION FOR CLOSURE IS GRANTED BY THE PROPERTY OWNER/MANAGER. HOWEVER, ACCESSIBILITY FOR EMERGENCY VEHICLES SHALL BE MAINTAINED AT ALL TIMES.
- ALL FLAGGERS SHALL BE CERTIFIED BY THE AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION.
- ALL TRAFFIC CONTROL DEVICES SHALL BE REMOVED FROM VIEW TO ONCOMING TRAFFIC WHEN NOT IN USE.
- NO HAZARDOUS MATERIALS SHALL BE STORED WITHIN THE PUBLIC RIGHT-OF-WAY.
- ANY TEMPORARY TRAFFIC SIGNING AND MARKINGS THAT MAY CONFLICT WITH NORMAL TRAFFIC FLOW SHALL BE REMOVED OR COVERED AT THE END OF EACH DAY DURING CONSTRUCTION ON THIS PROJECT.
- ALL EXISTING TRAFFIC CONTROL DEVICES THAT MUST BE REMOVED SHALL BE REPLACED IN THEIR PROPER LOCATION PRIOR TO THE COMPLETION OF THE PROJECT. COST FOR THE REPLACEMENT AND/OR REPAIR OF DEVICES DAMAGED AS A RESULT OF THE PROJECT SHALL BE ASSESSED TO THE CONTRACTOR.
- AT THE COMPLETION OF THE PERMITTED WORK ACTIVITY, CONDITIONS WITHIN THE PUBLIC SPACE SHALL BE FULLY RESTORED TO THOSE WHICH EXISTED PRIOR TO THE WORK ACTIVITY.
- WHEN PAVEMENT MARKINGS HAVE BEEN OBLITERATED BY THE WORK ACTIVITY, THE CONTRACTOR SHALL INSTALL ANY CRITICAL INTERIM PAVEMENT MARKING PRIOR TO THE END OF THE WORK DAY.

- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL TRAFFIC CONTROL DEVICES AND MAKING NECESSARY REPAIRS WITHIN 24 HOURS OF NOTIFICATION.
- ALL WORK WITHIN PUBLIC RIGHT OF WAY AND/OR LANE CLOSURE MUST ONLY BE PERFORMED DURING THE HOURS OF 9AM TO 3PM, OR AS DIRECTED BY HOWARD COUNTY TRAFFIC DIVISION.
- NO LANE CLOSURES PERMITTED DURING SPECIAL EVENTS AND CONCERTS AND MAJOR HOLIDAYS.
- THE TERMINAL ENDS OF THE CONCRETE JERSEY BARRIER SHALL BE PROTECTED BY A HOWARD COUNTY APPROVED IMPACT ATTENUATOR.
- ALL PROJECT OUTREACH AND COORDINATION (I.E. COLUMBIA MALL OPERATIONS, WHOLE FOODS, ETC.) WILL BE THE CONTRACTOR'S RESPONSIBILITY.
- ANY ADDITIONAL SIGNING AND/OR PAVEMENT MARKINGS NOT SHOWN WILL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH AND INSTALL.
- AFTER CONSTRUCTION, ALL SIGNING AND PAVEMENT MARKINGS WILL BE RETURNED TO THEIR ORIGINAL CONDITION.
- THREE WEEKS PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL BE REQUIRED TO SCHEDULE AN ON-SITE MEETING WITH HOWARD COUNTY - TRAFFIC TO COORDINATE.
- ALL PEDESTRIAN DETOUR SIGNS & SIGNAGE LOCATIONS FOR TRAIL CLOSURES TO BE REVIEWED AND APPROVED BY THE COLUMBIA ASSOCIATION (CA). THE COLUMBIA ASSOCIATION WILL INSTALL ALL DETOUR SIGNAGE. THE PEDESTRIAN DETOUR SIGNS WILL HAVE A DETOUR MAP.

FLAGGING OPERATION

- FLAGGING OPERATIONS SHALL BE UTILIZED TO CONTROL ACCESS TO DRIVEWAYS LOCATED IN THE WORK ZONES.
- FLAGGING OPERATIONS SHALL BE UTILIZED IN ACCORDANCE WITH MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS AND MATERIALS, SECTION MD 104.04-02 (SHOULDER WORK); MD 104.04-04 (LEFT LANE CLOSURE) AND MD 104.04-06 (RIGHT LANE CLOSURE).



C:\Projects\6001-6500\4487 Southlake Trails TDP\Design\VP & Moore Circle - Trail TOP - 2nd Revision.dwg, PLOTTED: 11/2/2022 8:48 PM, LAST SAVED: 11/2/2022 8:48 PM, PLOTTED BY: Hanna M. Pogreuc

APPROVED PLANNING BOARD OF HOWARD COUNTY	
Date:	July 7, 2022
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING	
Director	Signed by: <i>Amy Goman</i> Date: 12/28/2022 Signed by: _____ Date: 12/22/2022
Chief, Division of Land Development	Signed by: _____ Date: 12/27/2022
Chief, Development Engineering Division	Signed by: <i>CHAD EDWARDS</i> Date: _____

WA WELLS + ASSOCIATES, INC	
TRANSPORTATION, TRAFFIC AND PARKING CONSULTANTS	
1420 Spring Hill Road, Suite 610, Tysons, Virginia 22102 Phone: 703/911-8920 Facsimile: 703/911-0739	
DES. LES	DRN. HMP
CHK. LES	DATE
REVISION	BY
APPR.	

PREPARED FOR:	OWNER: LLC MOBI, LLC C/O THE HOWARD HUGHES CORP. 10960 GRANTCHESTER WAY, SUITE 110 COLUMBIA, MD 21044	DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP. 10960 GRANTCHESTER WAY, SUITE 110 COLUMBIA, MD 21044 ATTN: GABRIEL CHUNG 410-964-4800	PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 42720 EXPIRATION DATE: 11/14/2024		MAINTENANCE OF TRAFFIC PLAN SOUTHLAKE OFFICE BUILDING DOWNTOWN COLUMBIA LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B A REVISION OF SECTION 1, PARCEL B (PLAT No. 26140) PN: 26227-26228	SCALE N/A	ZONING NT	G. L. W. FILE No. 18046
					DATE NOV, 2022	TAX MAP - GRID 36 - 2	SHEET 50 OF 54	

PREPARED FOR: OWNER: LLC MOBI, LLC C/O THE HOWARD HUGHES CORP. 10960 GRANTCHESTER WAY, SUITE 110 COLUMBIA, MD 21044	DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORP. 10960 GRANTCHESTER WAY, SUITE 110 COLUMBIA, MD 21044 ATTN: GABRIEL CHUNG 410-964-4800	PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 42720 EXPIRATION DATE: 11/14/2024		MAINTENANCE OF TRAFFIC PLAN SOUTHLAKE OFFICE BUILDING DOWNTOWN COLUMBIA LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B A REVISION OF SECTION 1, PARCEL B (PLAT No. 26140) PN: 26227-26228	SCALE N/A	ZONING NT	G. L. W. FILE No. 18046
				DATE NOV, 2022	TAX MAP - GRID 36 - 2	SHEET 50 OF 54	

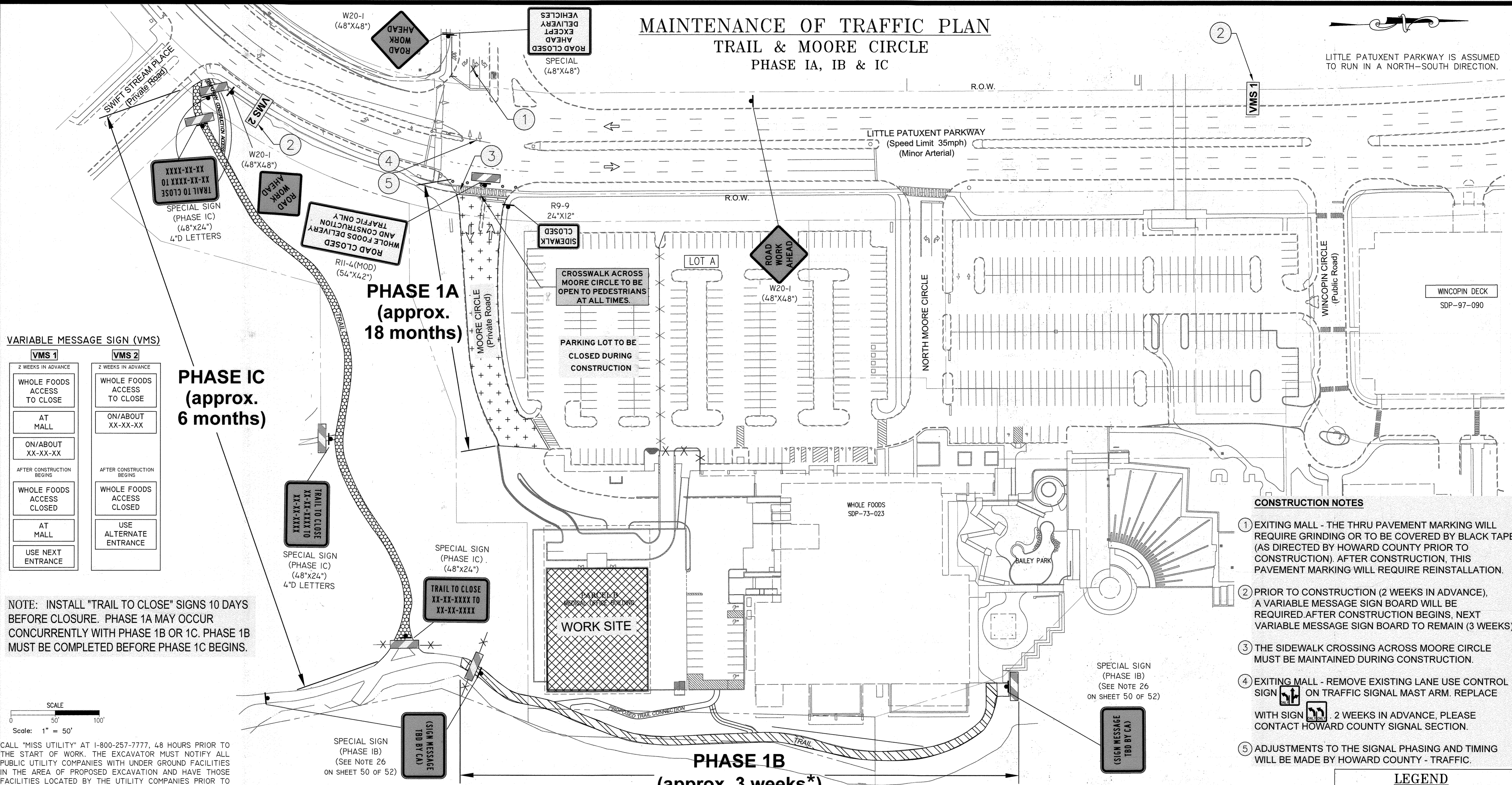
ELECTION DISTRICT No. 5	HOWARD COUNTY, MARYLAND
-------------------------	-------------------------

MAINTENANCE OF TRAFFIC PLAN

TRAIL & MOORE CIRCLE

PHASE IA, IB & IC

LITTLE PATUXENT PARKWAY IS ASSUMED TO RUN IN A NORTH-SOUTH DIRECTION.

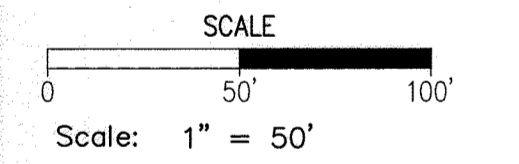


VARIABLE MESSAGE SIGN (VMS)

VMS 1	VMS 2
2 WEEKS IN ADVANCE	2 WEEKS IN ADVANCE
WHOLE FOODS ACCESS TO CLOSE	WHOLE FOODS ACCESS TO CLOSE
AT MALL	ON/ABOUT XX-XX-XX
ON/ABOUT XX-XX-XX	AFTER CONSTRUCTION BEGINS
AFTER CONSTRUCTION BEGINS	WHOLE FOODS ACCESS CLOSED
WHOLE FOODS ACCESS CLOSED	AT MALL
AT MALL	USE ALTERNATE ENTRANCE
USE NEXT ENTRANCE	

PHASE IC (approx. 6 months)

NOTE: INSTALL "TRAIL TO CLOSE" SIGNS 10 DAYS BEFORE CLOSURE. PHASE 1A MAY OCCUR CONCURRENTLY WITH PHASE 1B OR 1C. PHASE 1B MUST BE COMPLETED BEFORE PHASE 1C BEGINS.



CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE HOWARD COUNTY CODE.

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: July 7, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
12/28/2022

Director: Any Groman 12/28/2022

Chief, Division of Land Development: Chad Edmondson 12/27/2022

Chief, Development Engineering Division: _____



PHASE IA (APPROX. 18 MONTHS) [Symbol]

CLOSURE OF MOORE CIRCLE (OPEN TO DELIVERY VEHICLE).

SEQUENCE OF CONSTRUCTION:

1. INSTALL TRAFFIC CONTROL DEVICES AS SHOWN ON PLAN AND IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS AND REQUIREMENTS, OR AS DIRECTED BY THE COUNTY ENGINEER IN FIELD.
2. BEGIN CONSTRUCTION.

PHASE IB (APPROX. 3 WEEKS*) [Symbol] *per RoE w/CA

CLOSURE OF LAKE TRAIL (EAST SIDE) TO INSTALL UTILITIES.

SEQUENCE OF CONSTRUCTION:

1. INSTALL TRAFFIC CONTROL DEVICES AS SHOWN ON PLAN AND IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS AND REQUIREMENTS, OR AS DIRECTED BY THE COUNTY ENGINEER IN FIELD.
2. CONSTRUCT UTILITY IMPROVEMENTS ON EAST SIDE OF PROPOSED BUILDING.

PHASE IC (APPROX. 6 MONTHS) [Symbol]

CLOSURE OF APARTMENT TRAIL (SOUTH SIDE)

SEQUENCE OF CONSTRUCTION:

1. INSTALL TRAFFIC CONTROL DEVICES AS SHOWN ON PLAN AND IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS AND REQUIREMENTS, OR AS DIRECTED BY THE COUNTY ENGINEER IN FIELD.
2. BEGIN CONSTRUCTION.

- #### CONSTRUCTION NOTES
1. EXITING MALL - THE THRU PAVEMENT MARKING WILL REQUIRE GRINDING OR TO BE COVERED BY BLACK TAPE (AS DIRECTED BY HOWARD COUNTY PRIOR TO CONSTRUCTION). AFTER CONSTRUCTION, THIS PAVEMENT MARKING WILL REQUIRE REINSTALLATION.
 2. PRIOR TO CONSTRUCTION (2 WEEKS IN ADVANCE), A VARIABLE MESSAGE SIGN BOARD WILL BE REQUIRED. AFTER CONSTRUCTION BEGINS, NEXT VARIABLE MESSAGE SIGN BOARD TO REMAIN (3 WEEKS).
 3. THE SIDEWALK CROSSING ACROSS MOORE CIRCLE MUST BE MAINTAINED DURING CONSTRUCTION.
 4. EXITING MALL - REMOVE EXISTING LANE USE CONTROL SIGN [Symbol] ON TRAFFIC SIGNAL MAST ARM. REPLACE WITH SIGN [Symbol]. 2 WEEKS IN ADVANCE, PLEASE CONTACT HOWARD COUNTY SIGNAL SECTION.
 5. ADJUSTMENTS TO THE SIGNAL PHASING AND TIMING WILL BE MADE BY HOWARD COUNTY - TRAFFIC.

LEGEND

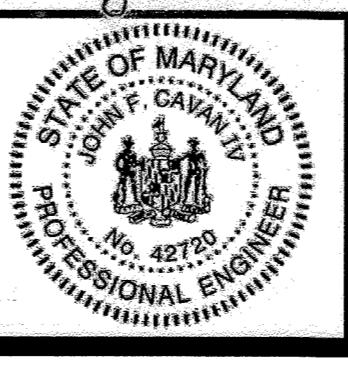
[Symbol]	SIGN
[Symbol]	DIRECTION OF TRAFFIC
[Symbol]	WORK ZONE
[Symbol]	TYPE III BARRICADE
[Symbol]	CHANNELIZED DRUM
[Symbol]	CONSTRUCTION FENCE

WELLS + ASSOCIATES, INC.
TRANSPORTATION, TRAFFIC AND PARKING CONSULTANTS
1420 Spring Hill Road, Suite 610, Tysons, Virginia 22102
Phone: 703/917-8620 Facsimile: 703/917-0739

DES. LES	DRN. HMP	CHK. LES	DATE	REVISION	BY	APPR.

PREPARED FOR:
OWNER: LLC MOBI, LLC
C/O THE HOWARD HUGHES CORP.
10960 GRANTCHESTER WAY, SUITE 110
COLUMBIA, MD 21044

DEVELOPER:
THE HOWARD RESEARCH AND DEVELOPMENT CORP.
10960 GRANTCHESTER WAY, SUITE 110
COLUMBIA, MD 21044
AT&T GABRIEL CHUNG
410-964-4800



MAINTENANCE OF TRAFFIC PLAN -- PHASE IA, IB & IC

SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA
LAKEFRONT CORE NEIGHBORHOOD, PHASE 1, PARCEL B
A REVISION OF SECTION 1, PARCEL B (PLAT No. 26140)
PN: 26227-26228

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
1"=50'	NT	18046
DATE	TAX MAP - GRID	SHEET
NOV., 2022	36 - 2	51 OF 54

D:\Projects\6001-4500\4500-Southlake Trls, TPA\Design\LEP & Moore Circle - Trail TPA - 2nd Revision.dwg, PLOTTED: 11/2/2022 8:59 PM, LAST SAVED: 11/2/2022 8:48 PM, PLOTTED BY: Hanna M. Popescu

B.4.1 STANDARDS AND SPECIFICATIONS

FOR INCREMENTAL STABILIZATION

Definition

Establishment of vegetative cover on cut and fill slopes.

Purpose

To provide timely vegetative cover on cut and fill slopes as work progresses.

Conditions Where Practice Applies

Any cut or fill slope greater than 15 feet in height. This practice also applies to stockpiles.

Criteria

- A. Incremental Stabilization - Cut Slopes**
- Excavate and stabilize cut slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all cut slopes as the work progresses.
 - Construction sequence example (Refer to Figure B.1):
 - Construct and stabilize all temporary swales or dikes that will be used to convey runoff around the excavation.
 - Perform Phase 1 excavation, prepare seedbed, and stabilize.
 - Perform Phase 2 excavation, prepare seedbed, and stabilize. Overseed Phase 1 areas as necessary.
 - Perform final phase excavation, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.

Note: Once excavation has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.

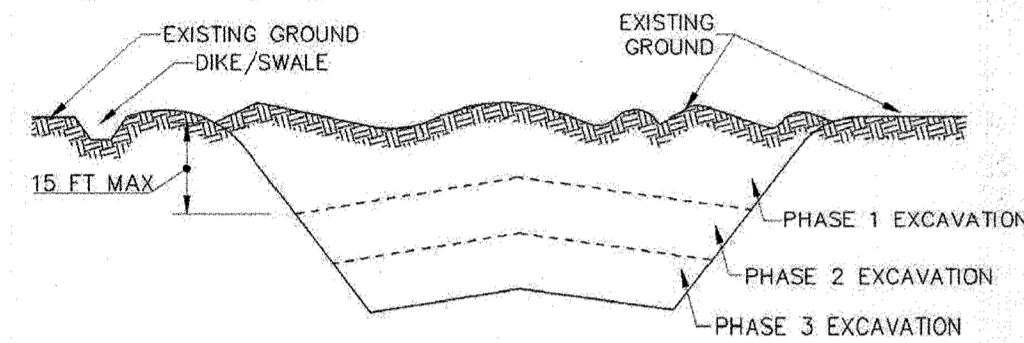


Figure B.1: Incremental Stabilization - Cut

B.10

- B. Incremental Stabilization - Fill Slopes**
- Construct and stabilize fill slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all slopes as the work progresses.
 - Stabilize slopes immediately when the vertical height of a lift reaches 15 feet, or when the grading operation ceases as prescribed in the plans.
 - At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.
 - Construction sequence example (Refer to Figure B.2):
 - Construct and stabilize all temporary swales or dikes that will be used to divert runoff around the fill. Construct silt fence on low side of fill unless other methods shown on the plans address this area.
 - At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.
 - Place Phase 1 fill, prepare seedbed, and stabilize.
 - Place Phase 2 fill, prepare seedbed, and stabilize.
 - Place final phase fill, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.

Note: Once the placement of fill has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.

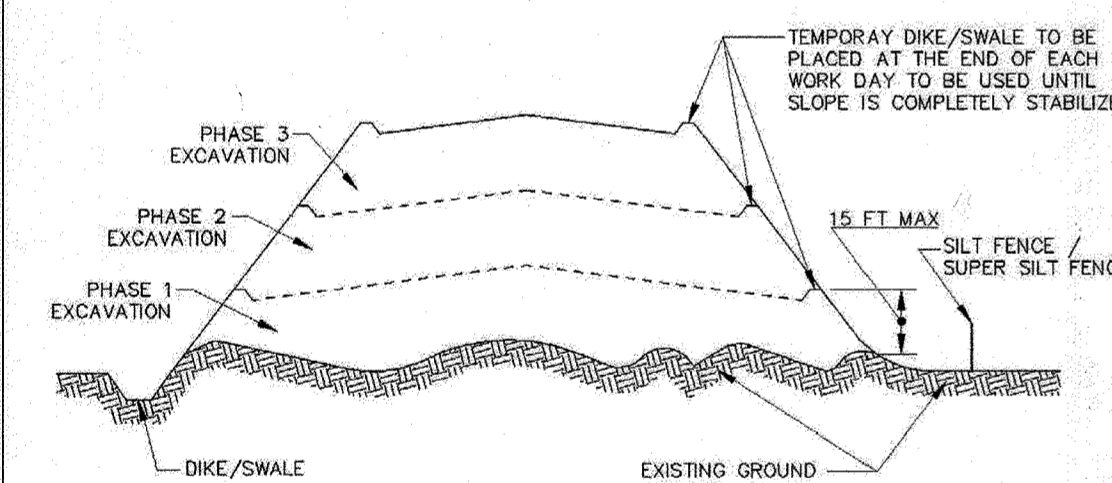
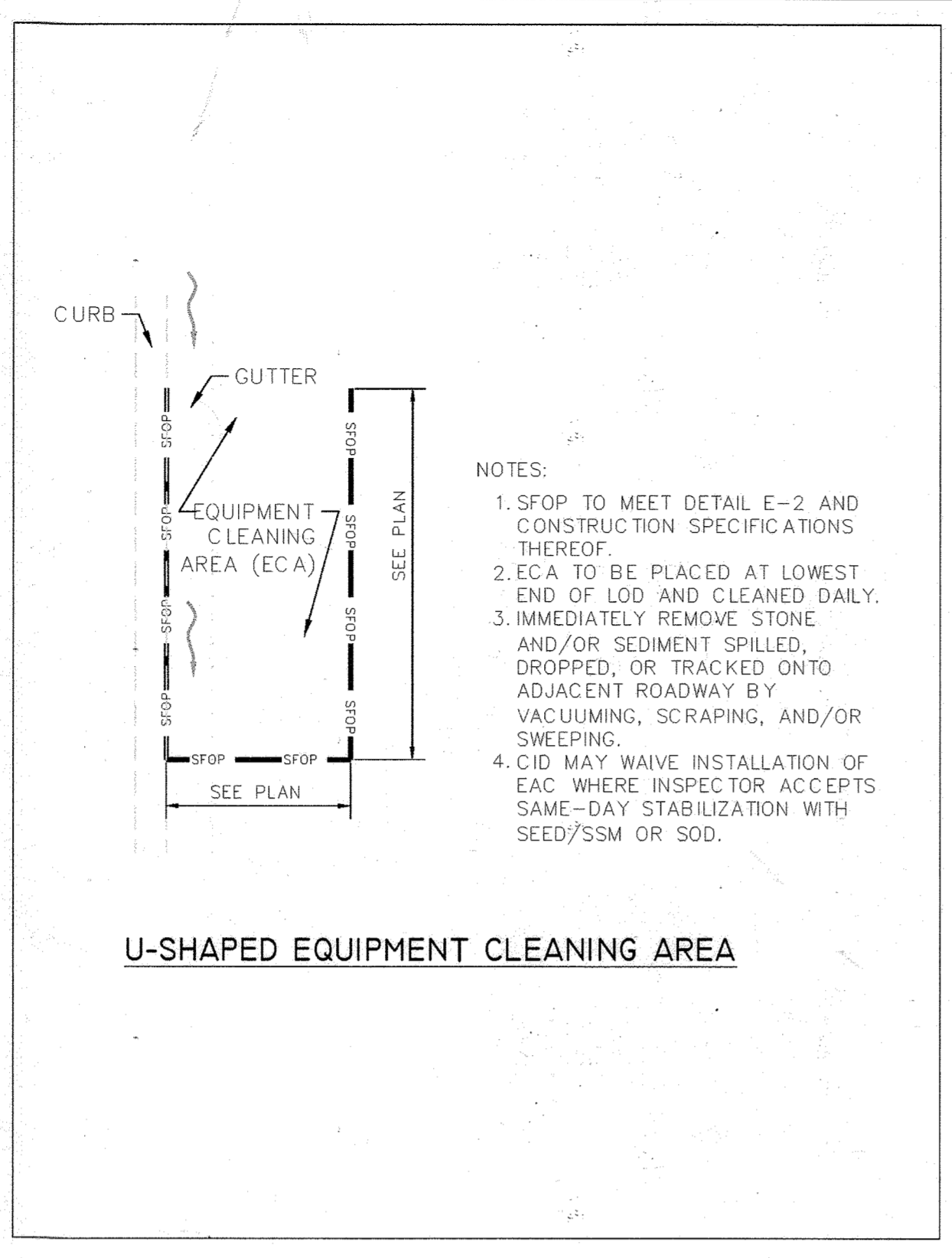


Figure B.2: Incremental Stabilization - Fill

B.11



U-SHAPED EQUIPMENT CLEANING AREA

- NOTES:**
- SFOP TO MEET DETAIL E-2 AND CONSTRUCTION SPECIFICATIONS THEREOF.
 - ECA TO BE PLACED AT LOWEST END OF LOD AND CLEANED DAILY.
 - IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING.
 - CID MAY WAIVE INSTALLATION OF EAC WHERE INSPECTOR ACCEPTS SAME-DAY STABILIZATION WITH SEED/SSM OR SOD.

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: JULY 7, 2022

APPROVED: HOWARD COUNTY, DEPARTMENT OF PLANNING & ZONING
12/28/2022

Director: Any Gorman Date: 12/22/2022
Chief, Division of Land Development Date: 12/27/2022
Chief, Development Engineering Division Date: _____

DEVELOPER'S/BUILDER'S CERTIFICATE

"I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."

Greg Fitchett 12/12/22
SIGNATURE OF DEVELOPER/BUILDER DATE
GREG FITCHETT, VICE PRESIDENT
PRINTED NAME & TITLE

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Carl Gutschick 12/15/22
ENGINEER'S SIGNATURE DATE
CARL GUTSCHICK 1215 (P.E.)
PRINTED NAME MD REGISTRATION NO.

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DocuSigned by: Alexander Brathie 12/22/2022
HOWARD SOIL CONSERVATION DISTRICT DATE

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

GLW
PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
PHONE: 301-421-4024 | BAL: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY	DATE	REVISION	BY	APP'R.
ddd				
DRAWN BY	ddd			
CHECKED BY				

PREPARED FOR:

OWNER:
LFC MOB1, LLC,
C/O THE HOWARD HUGHES
CORP.
10860 GRANTCHESTER WAY,
SUITE 110
COLUMBIA, MD 21044

DEVELOPER:
THE HOWARD RESEARCH
AND DEVELOPMENT CORP.
10860 GRANTCHESTER
WAY, SUITE 110
COLUMBIA, MD 21044
ATTN: GABRIEL CHUNG
410-564-4800

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975

EXPIRATION DATE: MAY 26, 2024
12/12/22

Carl Gutschick
STATE OF MARYLAND
PROFESSIONAL ENGINEER

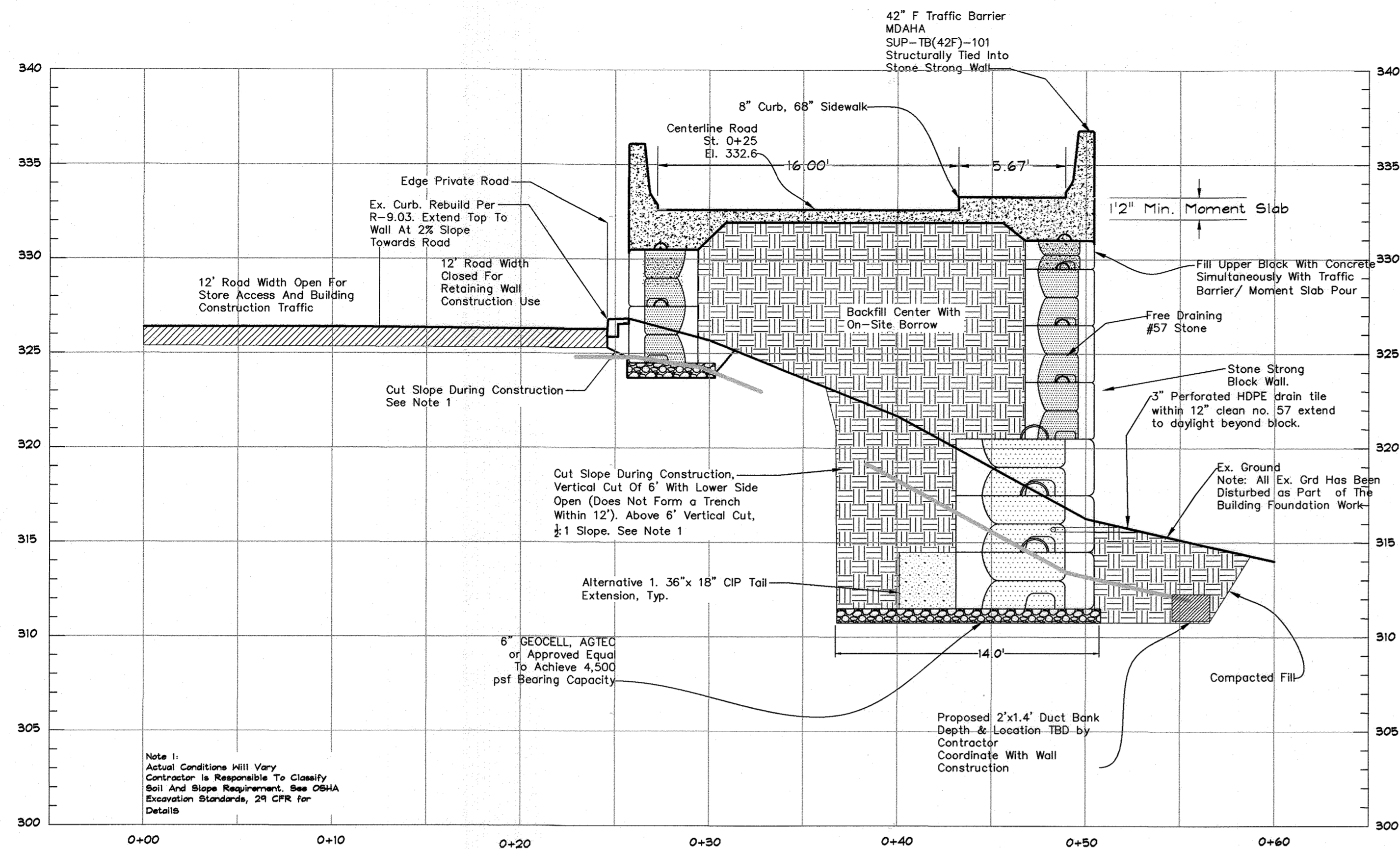
SEDIMENT CONTROL NOTES AND DETAILS

SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA
LAKEFRONT CORE NEIGHBORHOOD, PHASE I, PARCEL B
A REVISION OF SECTION I, PARCEL B (PLAT No. 26140)

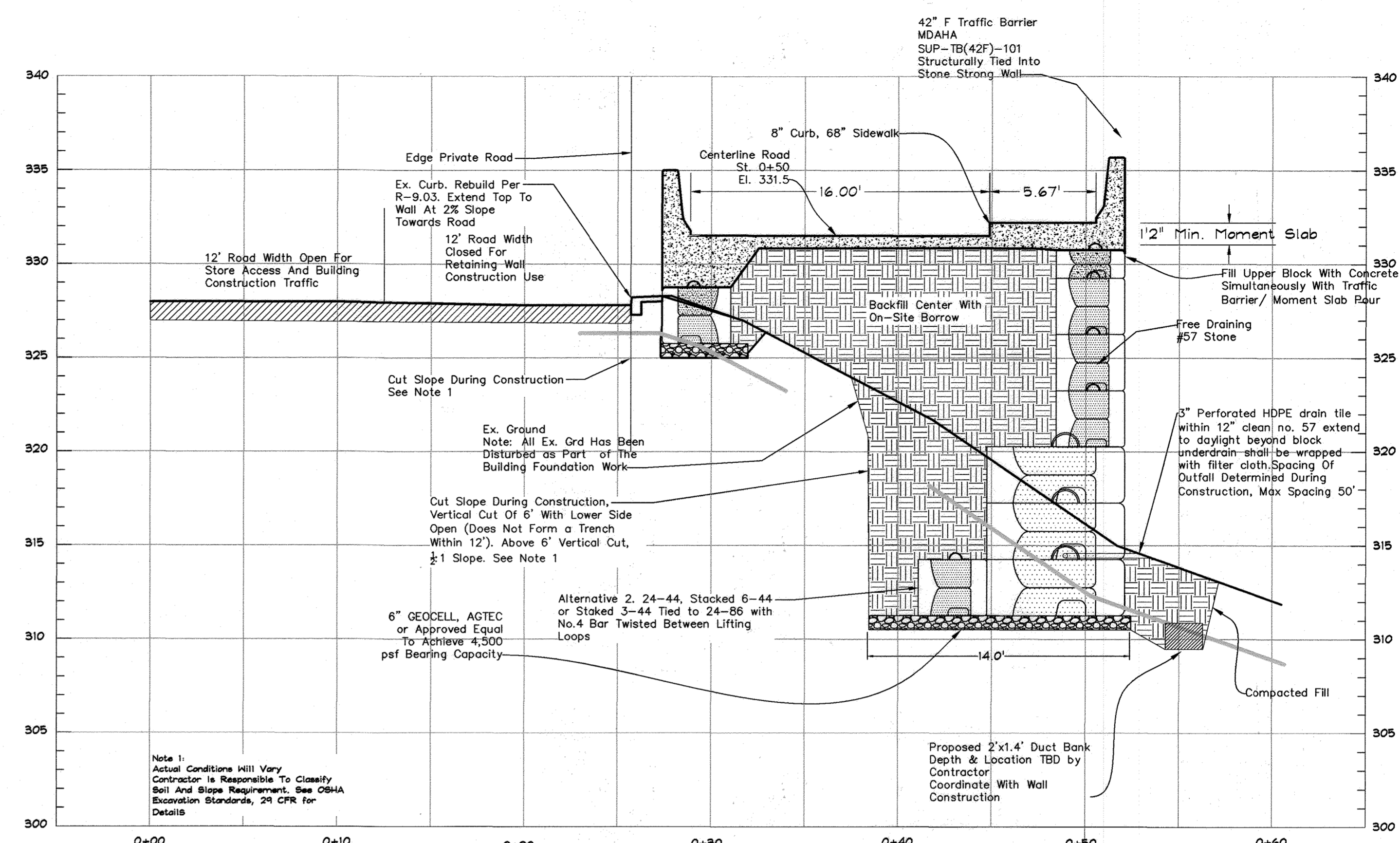
SCALE: AS SHOWN
ZONING: NT
DATE: DEC., 2022
TAX MAP - GRID: 36 - 2
SHEET: 52 OF 54

ELECTION DISTRICT No. 5
PN: 26227 - 26228
HOWARD COUNTY, MARYLAND

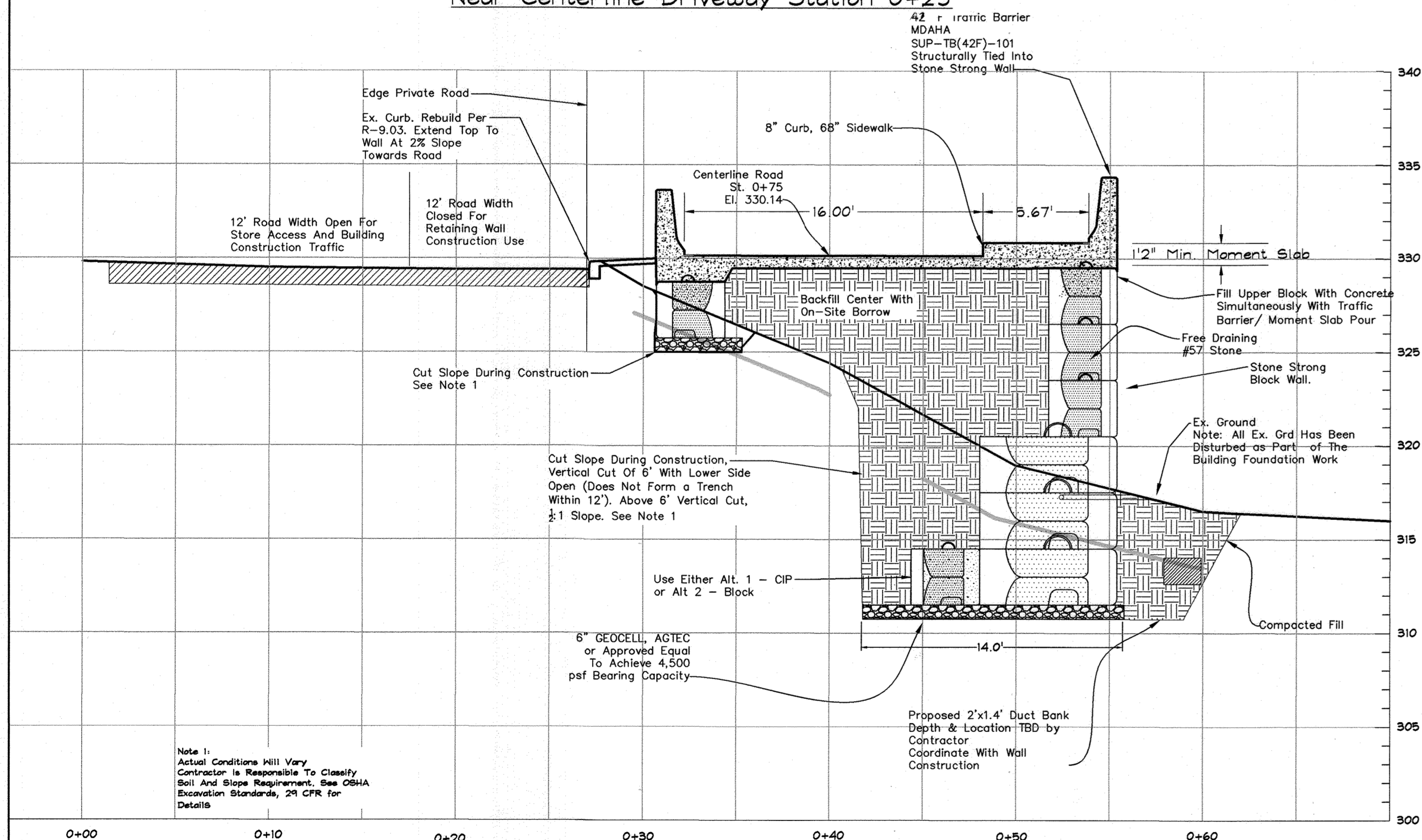
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RETAINING WALL SECTION
Near Centerline Driveway Station 0+25



RETAINING WALL SECTION
Near Centerline Driveway Station 0+50



RETAINING WALL SECTION
Near Centerline Driveway Station 0+75

SCALE 1" = 5'

DATA SOURCES:
BASE INFORMATION PROVIDED VIA ELECTRONIC TRANSFER FROM GLEKPA ON APRIL 1, 2022 FOR USE IN THE DESIGN OF RETAINING WALLS 1 & 2. GEOTECHNICAL INFORMATION IS BASED ON ECS MID-ATLANTIC, LLC REPORT DATED 10/8/2021.

DDC inc.
Development Design Consultants

Planners
Surveyors
Engineers
Landscape Architects

192 East Main Street
Westminster, MD 21157
410.386.0560
410.386.0564 (Fax)
DDC@DDCinc.us
www.DDCinc.us

OWNER:
LFC MGB1, LLC
C/O The Howard Hughes Corp.
10960 Grantchester Way, Suite 110
Columbia, MD 21044

DEVELOPER:
The Howard Research And
Development Corporation
10960 Grantchester Way, Suite 110
Columbia, MD 21044

SITE ADDRESS:
10285 Little Patuxent Parkway
Columbia Town Center

**SOUTHLAKE OFFICE BUILDING
DOWNTOWN COLUMBIA**

**RETAINING WALLS
PLAN & SECTIONS**

5th ELECTION DISTRICT HOWARD COUNTY MD

NO.	REVISIONS	DRN.	REV.	DATE
1	WALL LOCATION REVISED	WRD	1	7/28/23
	DESCRIPTION OF CHANGES			

DEED:	DES. BY: WRD
TAX ACC. #:	DRN. BY: POOL
TAX MAP: 36	CHK. BY: WRD
BLOCK / GRID: 2	DATE: Aug 22 2023
PARCEL #:	DDC JOB#: 17041.92
ZONE / USE: NT	SHEET NUMBER:
DWG. SCALE: AS SHOWN	53 of 54

- Sidewalk Notes:
- At Cross Walk, Provide 12:1 Ramp Down to 60" Landing, 48:1 Max, MD 655.12
 - Install Detectable Warning Surface MD 655.40
 - Provide Sidewalk Expansion Joints, MD 655.01

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF MARYLAND.

LICENSE NO. 21998 EXPIRATION DATE: JUNE 6, 2024

08/22/2023
DATE



W. RICHARD DEMARIO
PROFESSIONAL ENGINEER NO. 21998

ADDRESS CHART

10285 Little Patuxent Parkway
Columbia Town Center

PERMIT INFORMATION CHART

SUBDIVISION NAME: Lakemont Core Neighborhood	SECTION/AREA Phase 1	LOT/PARCEL NO. Par B
PLAT # OR L/F 24	BLOCK NT	ZONING 36
TAX MAP NO. 36	ELECT. DISTRICT 5th	CENSUS TRACT
WATER CODE	SEWER CODE	

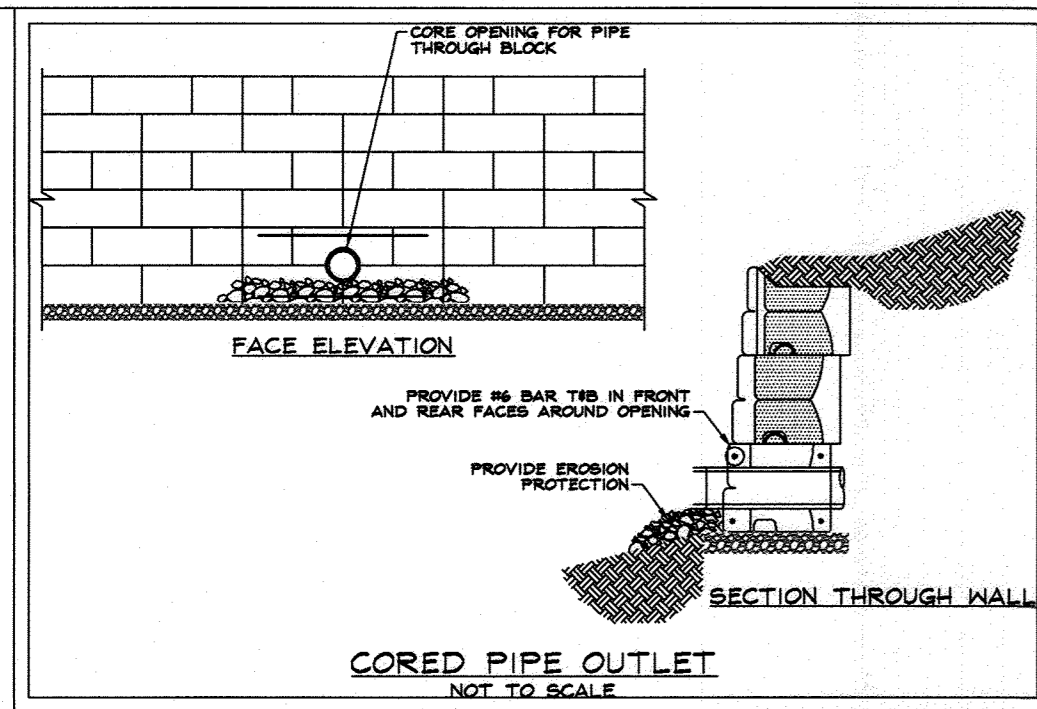
APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: July 7, 2022

APPROVED: DEPARTMENT OF PLANNING AND ZONING

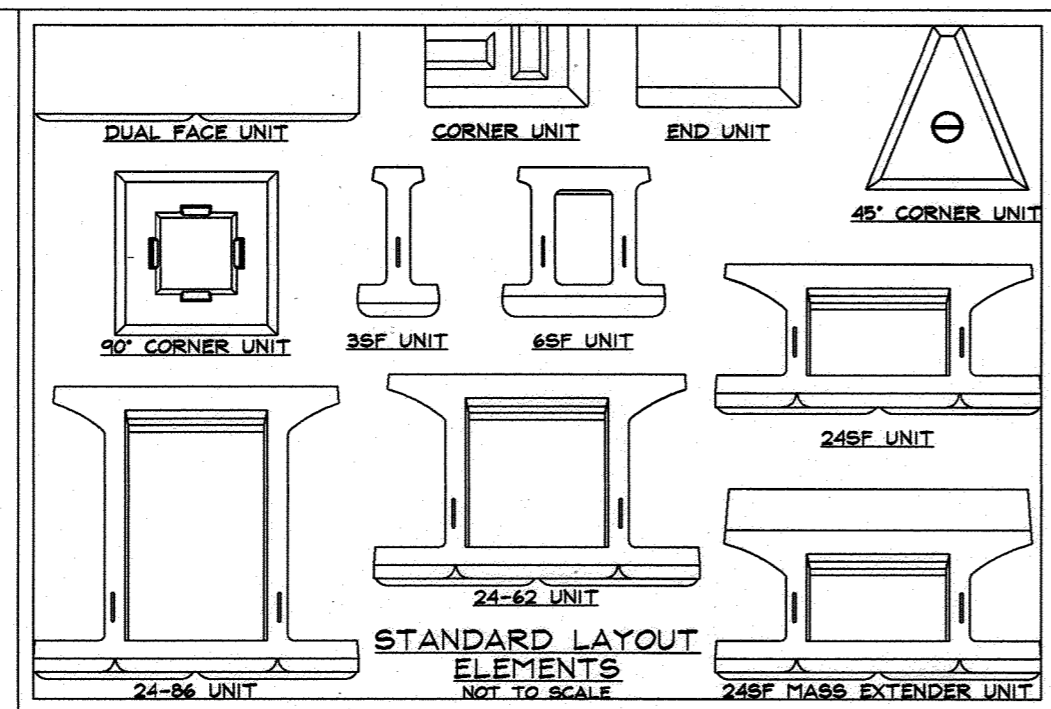
Chad Phelan 9/7/23
CHIEF DEVELOPMENT ENGINEERING DIVISION DATE

Julia Green 9/13/23
CHIEF DIVISION OF LAND DEVELOPMENT DATE

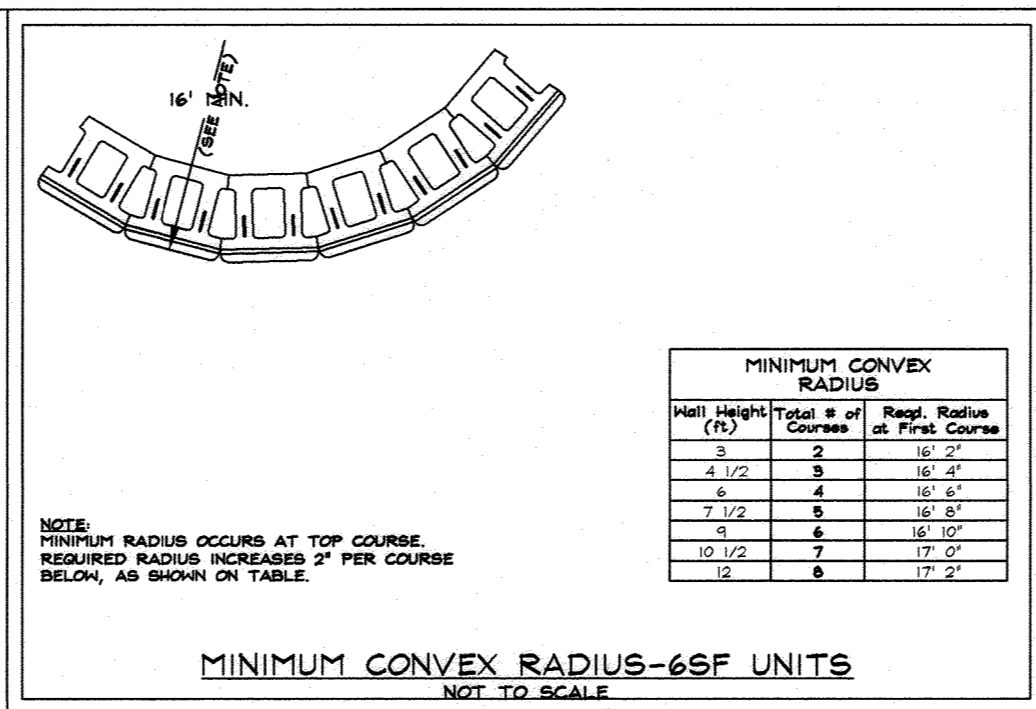
Dymde Cravens 9/13/23
DIRECTOR DATE



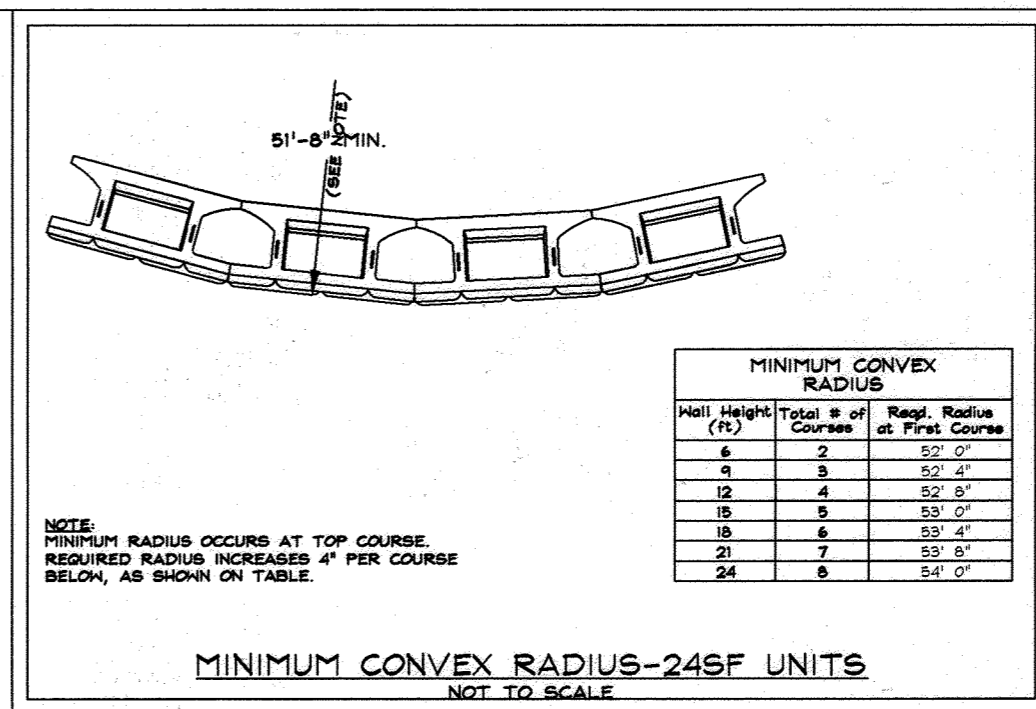
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STONE STRONG SYSTEMS
DATE: FILE:



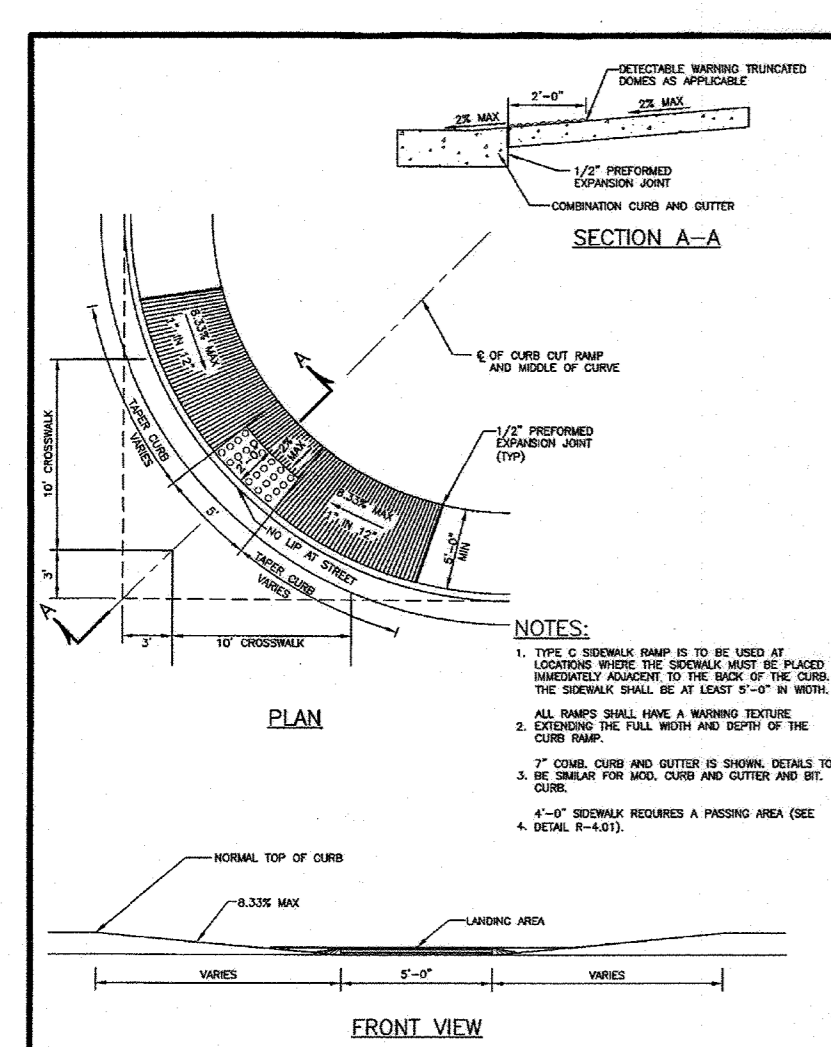
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STONE STRONG SYSTEMS
DATE: FILE:



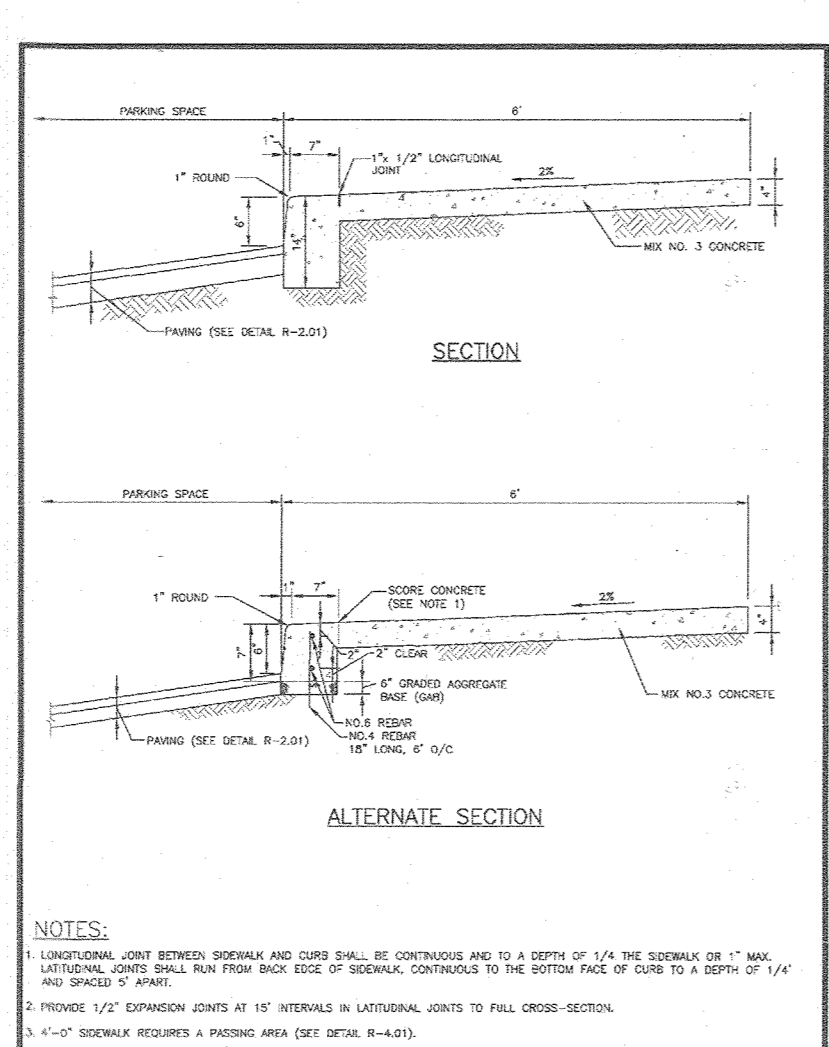
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STONE STRONG SYSTEMS
DATE: FILE:



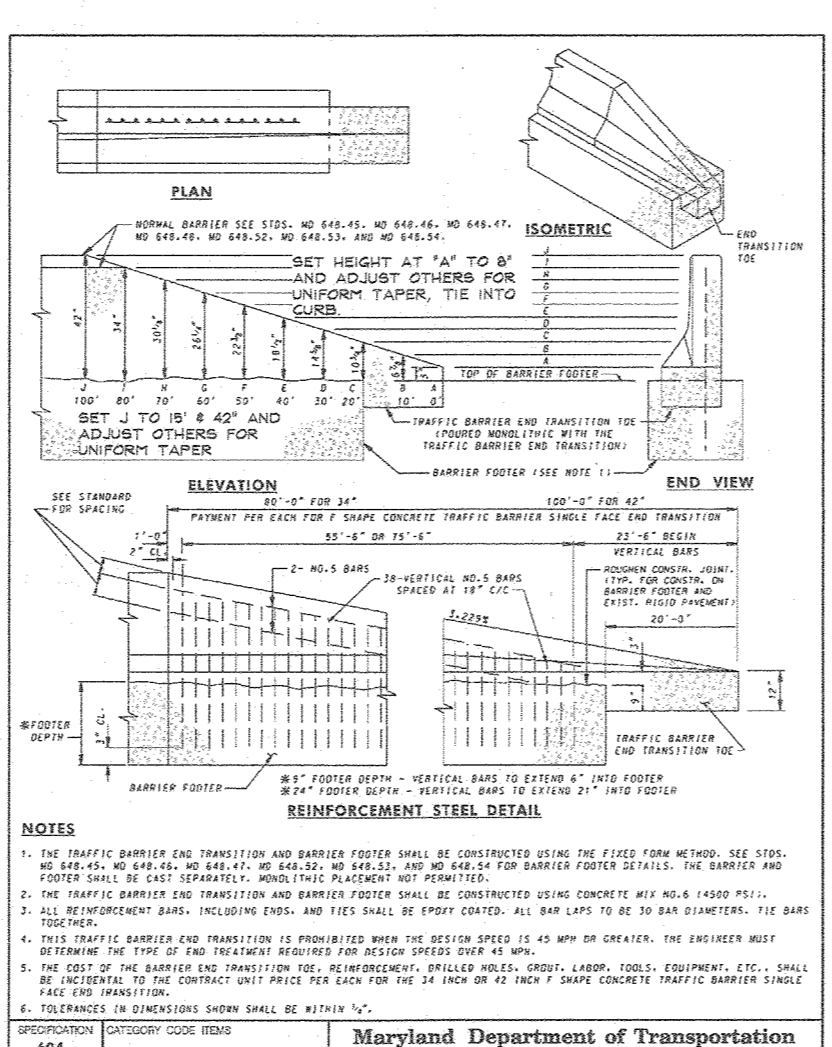
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STONE STRONG SYSTEMS
DATE: FILE:



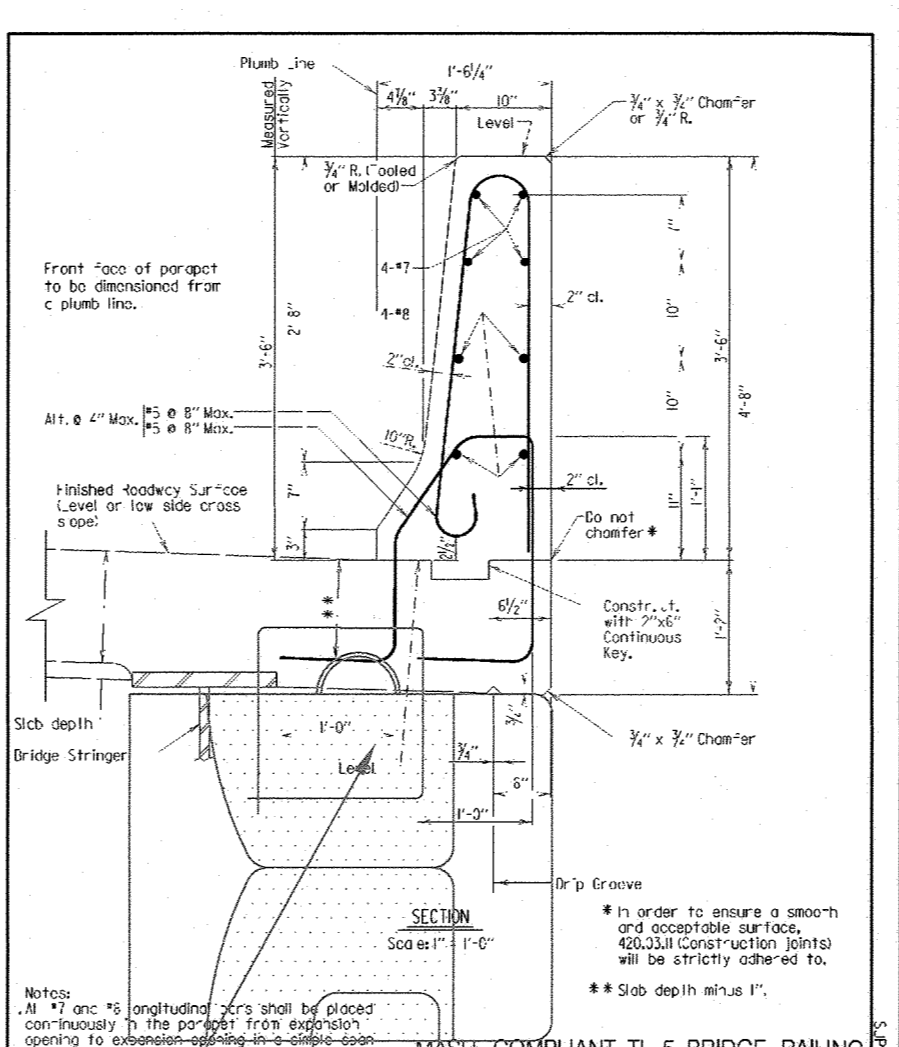
Detail R-4.04



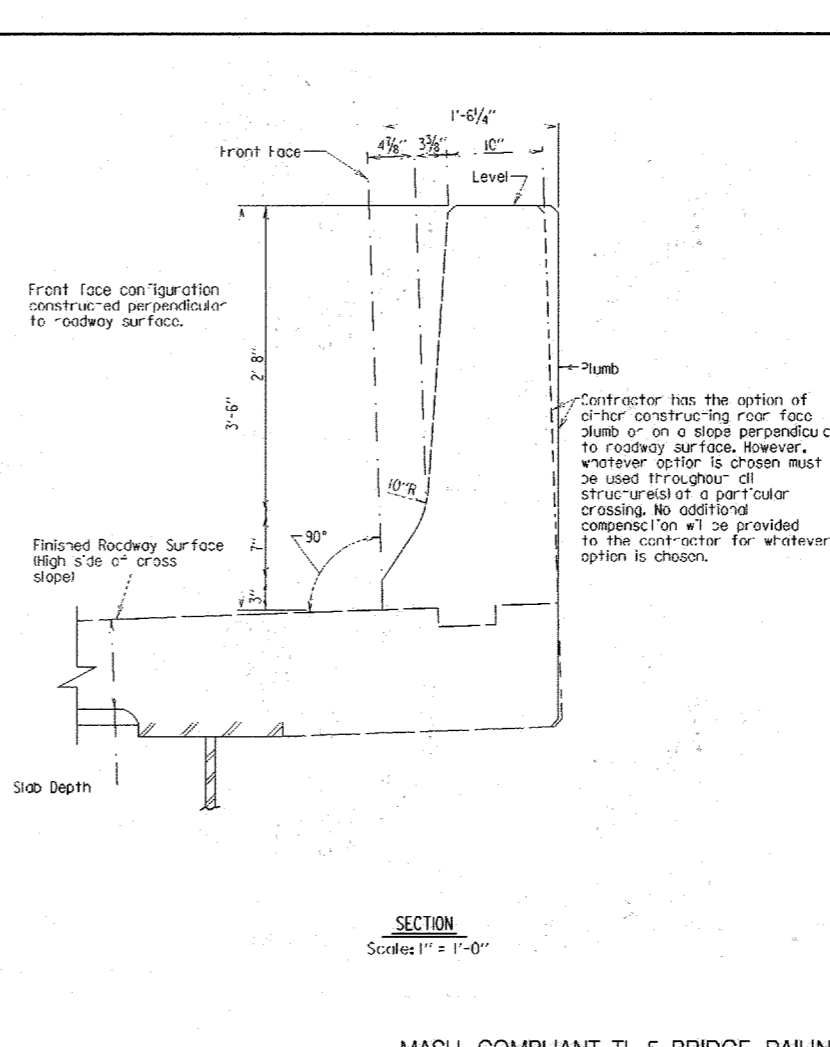
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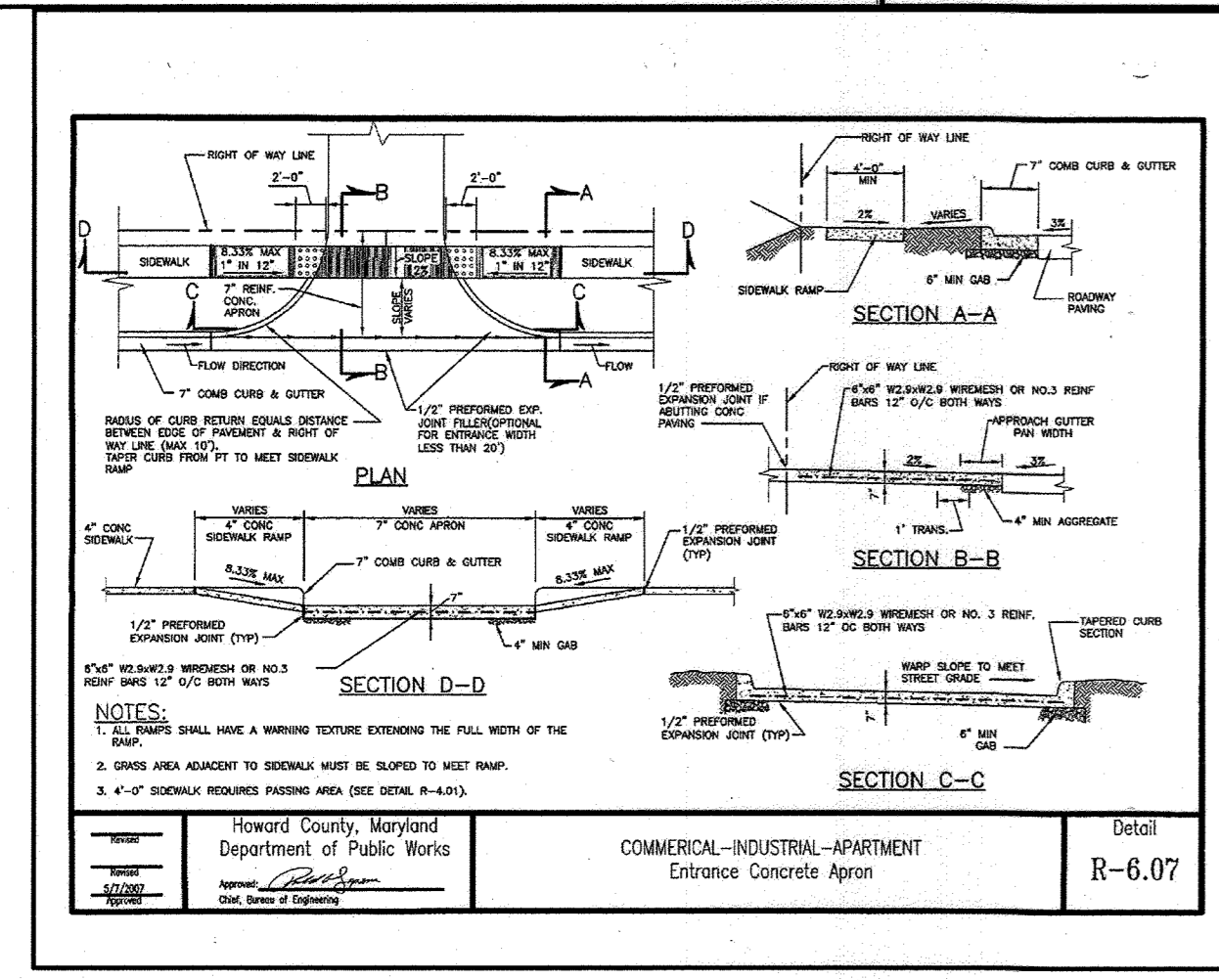
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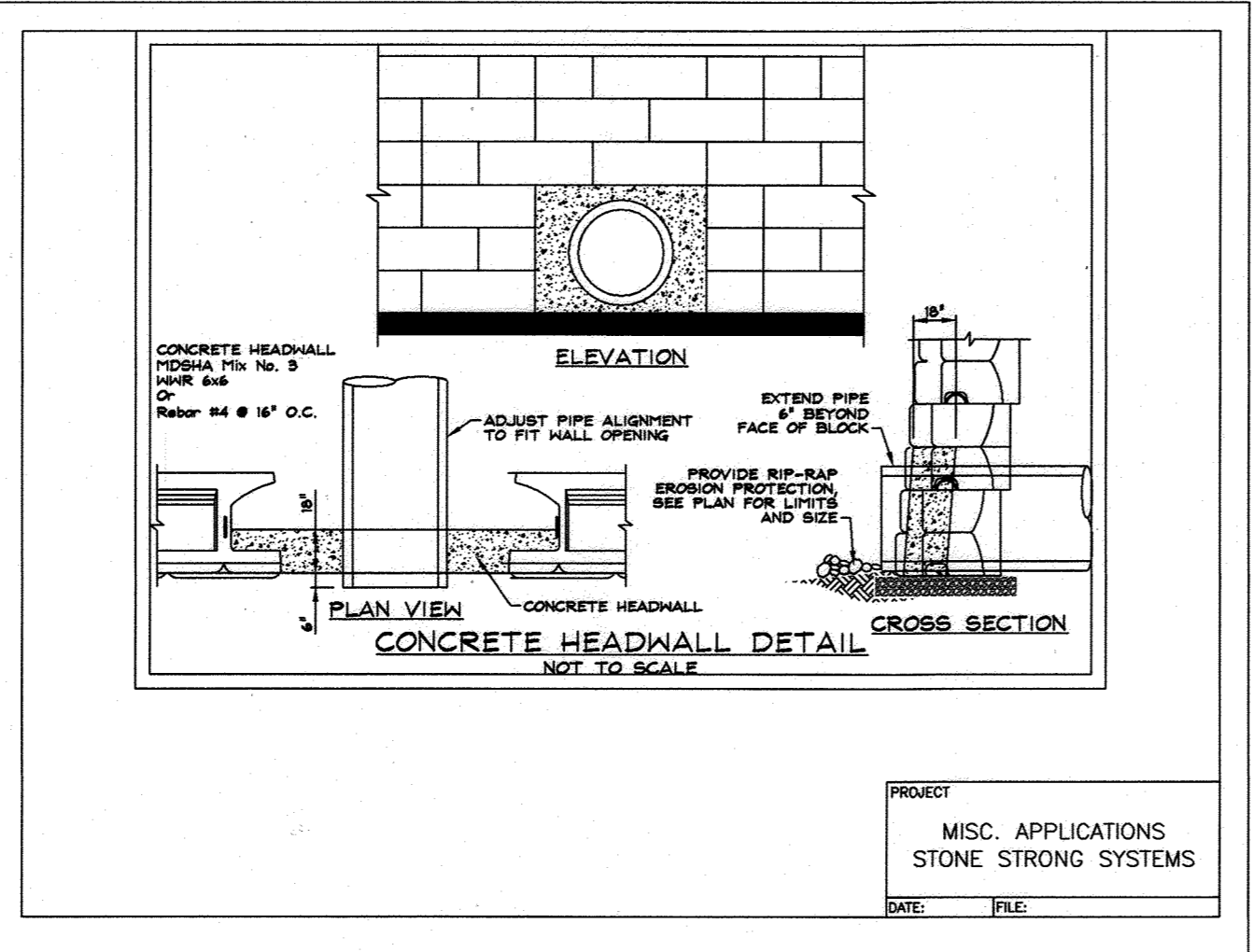
Sheet J.Cr.2



Sheet J.Cr.2



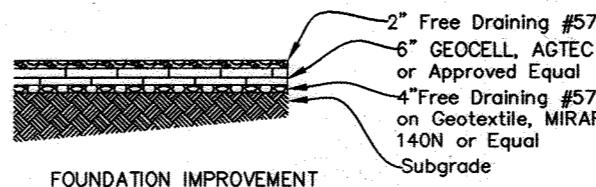
Detail R-6.07



PROJECT: MISC. APPLICATIONS
STONE STRONG SYSTEMS
DATE: FILE:

#4 Square @ 18" Each
Side Embed 9" Into
Block At 12" O.C, Skip
At Block Wall.
Fill Top 18" Of Block
Void With Concrete

- PROCEDURE FOR TESTING BEARING CAPACITY
1. EXPOSE THE SUBGRADE FOR ON-SITE GEOTECHNICAL INSPECTOR TO DETERMINE EXISTING SOIL BEARING CAPACITY. EXPOSED SUBGRADE SHALL NOT BE COMPACTED PRIOR TO EXISTING SOIL BEARING TESTING. SURFACE SHALL BE EXPOSED WITH NON-TOOTHED BUCKET OR BY HAND WITHIN ONE FOOT OF ACHIEVING SUBGRADE.
 2. IF FIELD TESTING DETERMINES BEARING CAPACITY IS LESS THAN 4,500 PSF OR IS INCONCLUSIVE PROCEED WITH FOUNDATION IMPROVEMENT.
 3. FOUNDATION IMPROVEMENT SEQUENCE:
 - A. COMPACT THE EXPOSED SUBGRADE WITH A MINIMUM OF THREE PASSES WITH A VIBRATORY ROLLER LEAVING A LEVEL AND SMOOTH SURFACE.
 - B. INSTALL GEOTEXTILE SEPARATION LAYER.
 - C. INSTALL AGGREGATE SUBBASE DIRECTLY ON GEOTEXTILE
 - D. EXPAND THE GEOCELL SECTIONS INTO POSITION. SECURE GEOCELL LOCATION WITH ANCHORS OR SPREADING FRAMES.
 - E. PLACE NO. 57 STONE INTO THE CELL WALLS.
 - F. ADD NO. 57 STONE TO SET STONE BASE ELEVATION OF BLOCK AND INSTALL BLOCK AS SOON AS PRACTICAL TO LOCK STONE INTO PLACE.



DATA SOURCES:
BASE INFORMATION PROVIDED VIA ELECTRONIC TRANSFER FROM GSK/PA ON APRIL 1, 2022 FOR USE IN THE DESIGN OF RETAINING WALLS 1 & 2. GEOTECHNICAL INFORMATION IS BASED ON ECS MID-ATLANTIC, LLC REPORT DATED 10/9/2021.

DDC
Development Design Consultants

Planners
Surveyors
Engineers
Landscape Architects

192 East Main Street
Westminster, MD 21157
410.386.0560
410.386.0564 (Fax)
DDC@DDCincus
www.DDCincus

OWNER:
LFC MGB1, LLC
C/O The Howard Hughes Corp.
10960 Grantchester Way, Suite 110
Columbia, MD 21044

DEVELOPER:
The Howard Research And
Development Corporation
10960 Grantchester Way, Suite 110
Columbia, MD 21044

SITE ADDRESS:
10285 Little Patuxent Parkway
Columbia Town Center

RETAINING WALLS PROFILES

8th ELECTION DISTRICT HOWARD COUNTY MD

NO.	REVISIONS	DATE	DRN.	REV.	DATE
1	WALL LOCATION REVISED	7/28/23	WRD	1	7/28/23

DEED:	DES. BY: WRD
TAX ACC. #:	DRN. BY: POOL
TAX MAP: 36	CHK. BY: WRD
BLOCK / GRID: 2	DATE: Aug 22 2023
PARCEL #:	DDC JOB#: 17041.92
ZONE / USE: NT	SHEET NUMBER:
DWG. SCALE: AS SHOWN	54 of 54

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF MARYLAND.

8/22/2023
DATE

W. RICHARD DEMARIO
PROFESSIONAL ENGINEER NO. 21998

ADDRESS CHART
10285 Little Patuxent Parkway
Columbia Town Center

PERMIT INFORMATION CHART

SUBDIVISION NAME: Lakeland Core Neighborhood	SECTION/AREA Phase 1	LOT/PARCEL NO. Par B
PLAT # OR LIF 24	BLOCK # NT	TAX MAP NO. 36
WATER CODE	ELECT. DISTRICT 5th	CENSUS TRACT
	SEWER CODE	

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: July 7, 2022

APPROVED: DEPARTMENT OF PLANNING AND ZONING

9.7.23
DATE

9/13/23
DATE

9/23/23
DATE