

SITE DEVELOPMENT PLAN LEGEND

- 366 --- EXISTING CONTOUR
- 300 --- PROPOSED CONTOUR
- + 63.4L PROPOSED SPOT ELEVATION
- (63.4) EXISTING SPOT ELEVATION
- MEX MATCH EXISTING
- EX 5D EXISTING STORM DRAIN
- EX M - EXISTING MANHOLE
- EX ES - EXISTING END SECTION
- PROPOSED STORM DRAIN
- M - MANHOLE
- I - INLET
- S - STUB
- EX 8" S EXISTING SANITARY SEWER
- 8" S (priv) PROPOSED SANITARY SEWER (PRIVATE)
- 8" S (pub) PROPOSED SANITARY SEWER (PUBLIC)
- EX 8" FH EXISTING WATERLINE (PUBLIC)
- EX 8" FH (priv) EXISTING WATERLINE (PRIVATE)
- EX 8" FH EXISTING FIRE HYDRANT
- NEW FIRE HYDRANT
- EASEMENT AREA (SHADED)
- EXISTING STANDARD CURB & GUTTER
- EXISTING CURB TO BE REMOVED
- CONCRETE CURB & GUTTER (DET. 1/5)
- GUTTER PAN
- PT/P
- FACE OF CURB (at flow line, bottom)
- BACK OF CURB
- SPILL (REVERSE) 6/6 PORTION
- FLUSH CURB (FC) or DEPRESSIONED CURB (DC)
- EXISTING PARKING SPACE STRIPING
- NUMBER OF PARKING SPACES
- HANDICAPPED PARKING DESIGNATION
- NEW PARKING SPACE STRIPING
- HANDICAP SIGNS per DETAILS SHEET 5
- EX LIGHT FIXTURE & POLE
- PROP. LIGHT FIXTURES & POLE
- REFUSE DUMPSTER
- ELECTRICAL TRANSFORMER
- BUILDING INGRESS/EGRESS
- EXISTING TELEPHONE LINE
- EXISTING ELECTRIC LINE
- EXISTING GAS LINE
- EXISTING INTERCONNECT
- PROP. ENCASED CONDUITS FOR DRY UTILITY
- PROP. CONDUIT FOR DRY UTILITY
- ELECTRIC VEHICLE PARKING SPACE
- LOW EMISSION VEHICLE PARKING SPACE
- CONCRETE SIDEWALK per HO. CO. DET. R-3.03, S UNLESS NOTED OTHERWISE
- DET. 1/5
- DET. 1/6
- DET. 1/7
- DET. 1/8
- DET. 1/9
- DET. 1/10
- DET. 1/11
- DET. 1/12
- DET. 1/13
- DET. 1/14
- DET. 1/15
- DET. 1/16
- DET. 1/17
- DET. 1/18
- DET. 1/19
- DET. 1/20
- DET. 1/21
- DET. 1/22
- DET. 1/23
- DET. 1/24
- DET. 1/25
- DET. 1/26
- DET. 1/27
- DET. 1/28
- DET. 1/29
- DET. 1/30
- DET. 1/31
- DET. 1/32
- DET. 1/33
- DET. 1/34
- DET. 1/35
- DET. 1/36
- DET. 1/37
- DET. 1/38
- DET. 1/39
- DET. 1/40
- DET. 1/41
- DET. 1/42
- DET. 1/43
- DET. 1/44
- DET. 1/45
- DET. 1/46
- DET. 1/47
- DET. 1/48
- DET. 1/49
- DET. 1/50
- DET. 1/51
- DET. 1/52
- DET. 1/53
- DET. 1/54
- DET. 1/55
- DET. 1/56
- DET. 1/57
- DET. 1/58
- DET. 1/59
- DET. 1/60
- DET. 1/61
- DET. 1/62
- DET. 1/63
- DET. 1/64
- DET. 1/65
- DET. 1/66
- DET. 1/67
- DET. 1/68
- DET. 1/69
- DET. 1/70
- DET. 1/71
- DET. 1/72
- DET. 1/73
- DET. 1/74
- DET. 1/75
- DET. 1/76
- DET. 1/77
- DET. 1/78
- DET. 1/79
- DET. 1/80
- DET. 1/81
- DET. 1/82
- DET. 1/83
- DET. 1/84
- DET. 1/85
- DET. 1/86
- DET. 1/87
- DET. 1/88
- DET. 1/89
- DET. 1/90
- DET. 1/91
- DET. 1/92
- DET. 1/93
- DET. 1/94
- DET. 1/95
- DET. 1/96
- DET. 1/97
- DET. 1/98
- DET. 1/99
- DET. 1/100

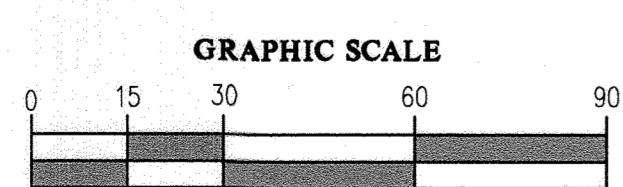
- NOTES:**
1. UNLESS NOTED OTHERWISE, PROPOSED SPOT ELEVATIONS ALONG THE CONCRETE CURB & GUTTER ARE TO THE FLOW LINE (BOTTOM OF CURB) AT THE PC/SPTS, CORNERS AND TERMINUSES.
 2. ALL ON-SITE PAVING AND ROADWAYS ARE PRIVATE.
 3. ALL ON-SITE STORM DRAIN ARE PRIVATE AND SHALL BE PRIVATELY MAINTAINED. THE ON-SITE WATER IS PRIVATELY MAINTAINED, EXCEPT THE PORTION OF THE 8" AND FIRE HYDRANTS THAT ARE WITHIN THE "PUBLIC WATER & UTILITY EASEMENT". ALL ON-SITE, PRIVATE SEWER LINES AND STRUCTURES SHALL BE PRIVATELY MAINTAINED, EXCEPT THE PORTION WITHIN THE "PUBLIC SEWER & UTILITY EASEMENT".
 4. FOR INFORMATION OF THE PUBLIC PORTION OF THE ON-SITE WATER AND SEWER LINE, SEE DPM CONTRACT Nos. 24-4062-D, 24-4249-D, AND 44-5914-D.
 5. UNLESS NOTED OTHERWISE, ALL PLAN DIMENSION ARE TO THE FACE OF STRUCTURE (BLDGS., CURB, ETC.). DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS, UNLESS NOTED OTHERWISE.
 6. ALL CURB RADI ARE 3' (FACE OF CURB @ FLOW LINE) UNLESS NOTED OTHERWISE.
 7. THE BUILDING IS EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM AND THE WATER METER IS LOCATED INSIDE THE BUILDING. THE WATER METER WILL BE PRIVATE.
 8. SEE SHEET 4 FOR THE ADA COMPLIANT ACCESS ROUTE AND SHEET 5 FOR HANDICAP PARKING DETAILS.
 9. A KNOX BOX IS REQUIRED TO BE PLACED ON THE PARKING LOT SIDE OF THE BUILDING. IT SHALL BE PLACED TO THE LEFT OF THE MAIN ENTRANCE AT A RANGE OF 4-5' IN HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR. THE BOX SHALL BE ELECTRONICALLY SUPERVISED (INTEGRATED WITH THE FIRE ALARM SYSTEM) TO NOTIFY THE OWNER THAT IT IS BEING ACCESSSED.
 10. SEE SHEET 5 FOR LIGHTING FIXTURE SCHEDULE AND LIGHT DETAIL.
 11. SEE SHEET 4 FOR DETAIL AROUND OFFICE BUILDING 5.
 12. ALL EXTERIOR LIGHT FIXTURES SHALL BE FULLY OR PARTIALLY SHIELDED TO DIRECT LIGHT INWARDS AND DOWNWARDS AWAY FROM ALL ADJOINING RESIDENTIAL USE AREAS AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 184 OF THE HOWARD COUNTY ZONING REGULATIONS.
 13. THE LOCATIONS OF THE CONDUITS FOR DRY UTILITIES SHOWN IN THESE PLANS ARE APPROXIMATE. THE CONTRACTOR IS TO COORDINATE ROUTING OF THESE CONDUITS TO AVOID CONFLICTS WITH NET UTILITIES AND WITH FOOTINGS AS THEY ENTER THE BUILDING FOOTPRINT.
 14. RUNOFF FROM THIS SITE DRAINS TO AN EXISTING P-3 TYPE FACILITY THAT WAS APPROVED AND CONSTRUCTED UNDER F-03-01 AND IS LOCATED ON BUSINESS DISTRICT - OPEN SPACE LOT 2. STUBS WERE CONSTRUCTED UNDER F-03-01 AND SDP 06-067 THAT WERE INTENDED TO CONVEY RUNOFF FROM THIS SITE TO THE FACILITY. THE PROPOSED IMPROVEMENTS ARE CONSISTENT WITH THE ANTICIPATED DEVELOPMENT USED IN THE SIZING OF THE STUBS.
 15. EXISTING ROADS, DRIVEWAYS, AND UTILITIES WERE DESIGNED AND CONSTRUCTED KNOWING THE INTENT OF THE DEVELOPMENT ON THIS PARCEL. THE PROPOSED IMPROVEMENTS ARE CONSISTENT WITH THE ANTICIPATED USES. THEREFORE, WE BELIEVE THERE WILL BE NO ADVERSE IMPACT TO THE ADJACENT INFRA-STRUCTURE AND PROPERTIES.

APPROVED
PLANNING BOARD OF HOWARD COUNTY

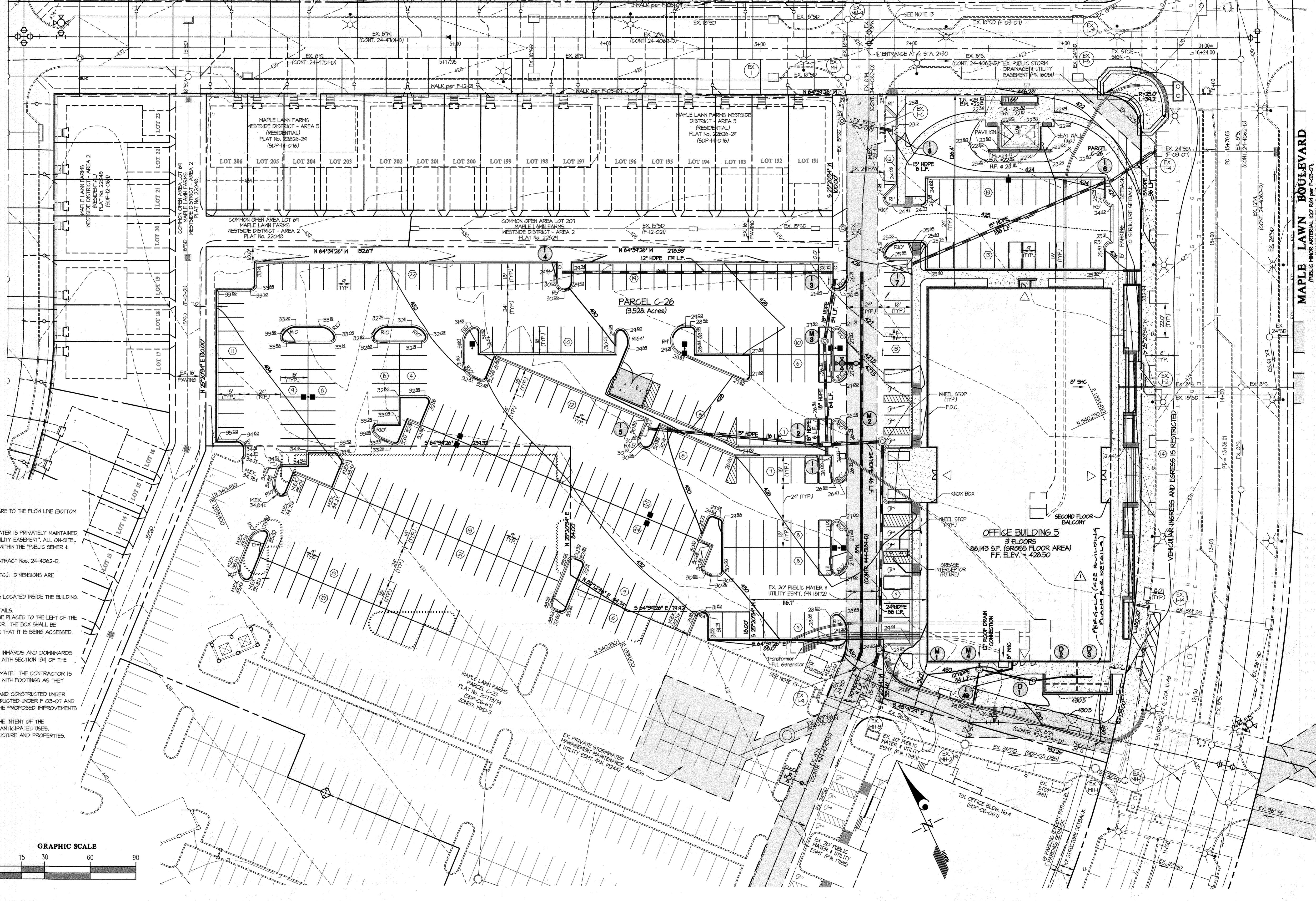
DATE JANUARY 20, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

By: <i>Amy Grona</i>	Date: 3/8/2022
Checked by: _____	Date: 3/4/2022
Chief, Division of Land Development	Date: 3/3/2022
Chief, Development Engineering Division	Date: _____



MARKET STREET
(PUBLIC MINOR COLLECTOR (60' R/W)
(PAVEMENT WIDTH VARIES) (P.N. 16081 & 22048)



SNM NOTE: THE EXISTING 24" AND 36" STORM DRAIN PIPES THAT CONVEYS THE RUNOFF FROM THIS SITE DRAINS TO AN EX. P-3 TYPE FACILITY THAT WAS CONSTRUCTED AND AS-BUILT UNDER F-03-01.

STREET LIGHT NOTE: IF EXISTING PUBLIC STREET LIGHTS NEED TO BE ADJUSTED OR REMOVED DURING CONSTRUCTION, PLEASE CONTACT HOWARD COUNTY TRAFFIC DIVISIONS (410) 313-5752.

GLW
PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
PHONE: 301-421-4024 | BAL: 410-880-1820 | DC&VA: 301-689-2524 | FAX: 301-421-4186

DESIGNED BY:	DATE:	REVISION:	BY:	APPR.:
DEV				
DRAWN BY:				
KLP				
CHECKED BY:				
DEV				

PREPARED FOR:

OWNER: MFCO PARCEL 5, LLC
1829 RISTERSTOWN ROAD
SUITE 300
BALTIMORE, MD 21208
PH. 410-484-8400
ATTN: MARK BENNETT

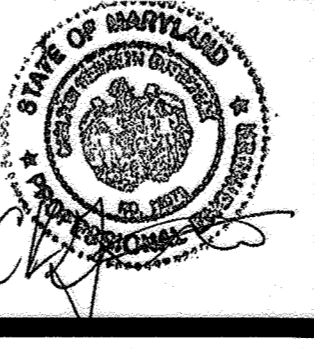
DEVELOPER: ST. JOHN PROPERTIES
2560 LORD BALTIMORE DR.
BALTIMORE, MD 21244
PH. 410-788-0100
ATTN: KAREN WATSON

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875.

EXPIRATION DATE: MAY 26, 2022

02/18/22



SITE DEVELOPMENT PLAN

MAPLE LAWN FARMS
Business District - Area 1
Parcel 'C-26' (Office Building No. 5 - A LEED Certified Green Building)
(Proposed Office Space with possible First Floor Retail, Restaurant, or Personal Service)
PLAT No. 21620

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	MXD-3	21067
DATE	TAX MAP - GRID	SHEET
FEB. 2022	46: 3&4	2 OF 11

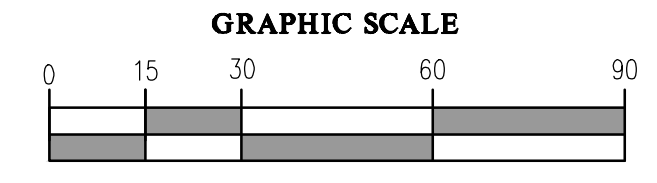
SITE DEVELOPMENT PLAN LEGEND

- 366 --- EXISTING CONTOUR
- 300 --- PROPOSED CONTOUR
- +63.41 --- PROPOSED SPOT ELEVATION
- 63.41 --- EXISTING SPOT ELEVATION
- MEX --- MATCH EXISTING
- EX 50 --- EXISTING STORM DRAIN
- EX M --- EXISTING MANHOLE
- EX ES --- EXISTING END SECTION
- PROPOSED STORM DRAIN
- M --- MANHOLE
- I --- INLET
- S --- STUB
- EX 8" S --- EXISTING SANITARY SEWER
- 8" S (priv) --- PROPOSED SANITARY SEWER (PRIVATE)
- 8" PL --- PROPOSED WATERLINE (PUBLIC)
- EX 8" PL --- EXISTING WATERLINE (PUBLIC)
- MHC (PRIVATE) --- EXISTING FIRE HYDRANT
- NEW FIRE HYDRANT
- EASEMENT AREA (SHADED)
- EXISTING STANDARD CURB & GUTTER
- EXISTING CURB TO BE REMOVED
- CONCRETE CURB & GUTTER (DET. 7/5)
- GUTTER PAN
- FFTC
- FACE OF CURB (at flow line, bottom)
- BACK OF CURB
- SPILL (REVERSE) 6/46 PORTION
- FLUSH CURB (FC) or DEPRESSIONED CURB (DC)
- EXISTING PARKING SPACE STRIPING
- NUMBER OF PARKING SPACES
- HANDICAPPED PARKING DESIGNATION
- NEW PARKING SPACE STRIPING
- EX LIGHT FIXTURE & POLE
- PROP. LIGHT FIXTURES & POLE
- REFUSE DUMPSTER
- ELECTRICAL TRANSFORMER
- BUILDING INGRESS/EGRESS
- EXISTING TELEPHONE LINE
- EXISTING ELECTRIC LINE
- EXISTING GAS LINE
- EXISTING INTERCONNECT
- PROP. ENCASED CONDUITS FOR DRY UTILITY
- PROP. CONDUIT FOR DRY UTILITY
- ELECTRIC VEHICLE PARKING SPACE
- LOW EMISSION VEHICLE PARKING SPACE
- CONCRETE SIDEWALK per HO. CO. DET. R-303, 5' UNLESS NOTED OTHERWISE
- DETECTABLE WARNING TRUNCATED DOWNS per HO. CO. DETAIL R-407
- HANDICAP RAMP

- ### NOTES:
- UNLESS NOTED OTHERWISE, PROPOSED SPOT ELEVATIONS ALONG THE CONCRETE CURB & GUTTER ARE TO THE FLOW LINE (BOTTOM OF CURB) AT THE PAVEMENT, CORNERS AND TERMINUSES.
 - ALL ON-SITE PAVING AND ROADWAYS ARE PRIVATE.
 - ALL ON-SITE STORM DRAIN ARE PRIVATE AND SHALL BE PRIVATELY MAINTAINED. THE ON-SITE WATER IS PRIVATELY MAINTAINED, EXCEPT THE PORTION OF THE 8" PL AND FIRE HYDRANTS THAT ARE WITHIN THE "PUBLIC WATER & UTILITY EASEMENT". ALL ON-SITE PRIVATE SEWER LINES AND STRUCTURES SHALL BE PRIVATELY MAINTAINED, EXCEPT THE PORTION WITHIN THE "PUBLIC SEWER & UTILITY EASEMENT".
 - FOR INFORMATION OF THE PUBLIC PORTION OF THE ON-SITE WATER AND SEWER LINE, SEE DPM CONTRACT Nos. 24-4062-D, 24-4243-D, AND 44-5084-D.
 - UNLESS NOTED OTHERWISE, ALL PLAN DIMENSIONS ARE TO THE FACE OF STRUCTURE (B.L.D.S., CURB, ETC.). DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS, UNLESS NOTED OTHERWISE.
 - ALL CURB RADII ARE 3' FACE OF CURB & FLOW LINE UNLESS NOTED OTHERWISE.
 - THE BUILDING IS EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM AND THE WATER METER IS LOCATED INSIDE THE BUILDING. THE WATER METER WILL BE PRIVATE.
 - SEE SHEET 4 FOR THE ADA COMPLIANT ACCESS ROUTE AND SHEET 5 FOR HANDICAP PARKING DETAILS.
 - A KNOX BOX IS REQUIRED TO BE PLACED ON THE PARKING LOT SIDE OF THE BUILDING. IT SHALL BE PLACED TO THE LEFT OF THE MAIN ENTRANCE AT A RANGE OF 4'-9" IN HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR. THE BOX SHALL BE ELECTRONICALLY SUPERVISED (INTEGRATED WITH THE FIRE ALARM SYSTEM) TO NOTIFY THE OWNER THAT IT IS BEING ACCESSSED.
 - SEE SHEET 5 FOR LIGHTING FIXTURE SCHEDULE AND LIGHT DETAIL.
 - SEE SHEET 4 FOR DETAIL AROUND OFFICE BUILDING 5.
 - ALL EXTERIOR LIGHT FIXTURES SHALL BE FULLY OR PARTIALLY SHIELDED TO DIRECT LIGHT INWARDS AND DOWNWARDS AWAY FROM ALL ADJOINING RESIDENTIAL USE AREAS AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
 - THE LOCATIONS OF THE CONDUITS FOR DRY UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. THE CONTRACTOR IS TO COORDINATE ROUTING OF THESE CONDUITS TO AVOID CONFLICTS WITH MET FOOTINGS AS THEY ENTER THE BUILDING FOOTPRINT.
 - RUNOFF FROM THIS SITE DRAINS TO AN EXISTING P-3 TYPE FACILITY THAT WAS APPROVED AND CONSTRUCTED UNDER F-03-07 AND IS LOCATED ON BUSINESS DISTRICT - OPEN SPACE LOT 2. STUBS WERE CONSTRUCTED UNDER F-03-07 AND SDP 06-061 THAT WERE INTENDED TO CONVEY RUNOFF FROM THIS SITE TO THE FACILITY. THE PROPOSED IMPROVEMENTS ARE CONSISTENT WITH THE ANTICIPATED DEVELOPMENT USED IN THE SIZING OF THE STUBS.
 - EXISTING ROADS, DRIVEWAYS, AND UTILITIES WERE DESIGNED AND CONSTRUCTED KNOWING THE INTENT OF THE DEVELOPMENT ON THIS PARCEL. THE PROPOSED IMPROVEMENTS ARE CONSISTENT WITH THE ANTICIPATED USES. THEREFORE, WE BELIEVE THERE WILL BE NO ADVERSE IMPACT TO THE ADJACENT INFRA-STRUCTURE AND PROPERTIES.

APPROVED
PLANNING BOARD OF HOWARD COUNTY
 DATE JANUARY 20, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Date 3/8/2022
 Date 3/4/2022
 Date 3/3/2022



DESIGNED BY	DATE	REVISION	BY	APPR.
DEV				
DRAWN BY				
KLP				
CHECKED BY				
DEV				

PREPARED FOR:
 OWNER: MFCO PARCEL 5, LLC
 1829 REISTERSTOWN ROAD
 SUITE 300
 BALTIMORE, MD 21208
 PH: 410-484-8400
 ATTN: MARK BENNETT

DEVELOPER: ST. JOHN PROPERTIES
 2560 LORD BALTIMORE DR.
 BALTIMORE, MD 21244
 PH: 410-788-0100
 ATTN: KAREN WATSON

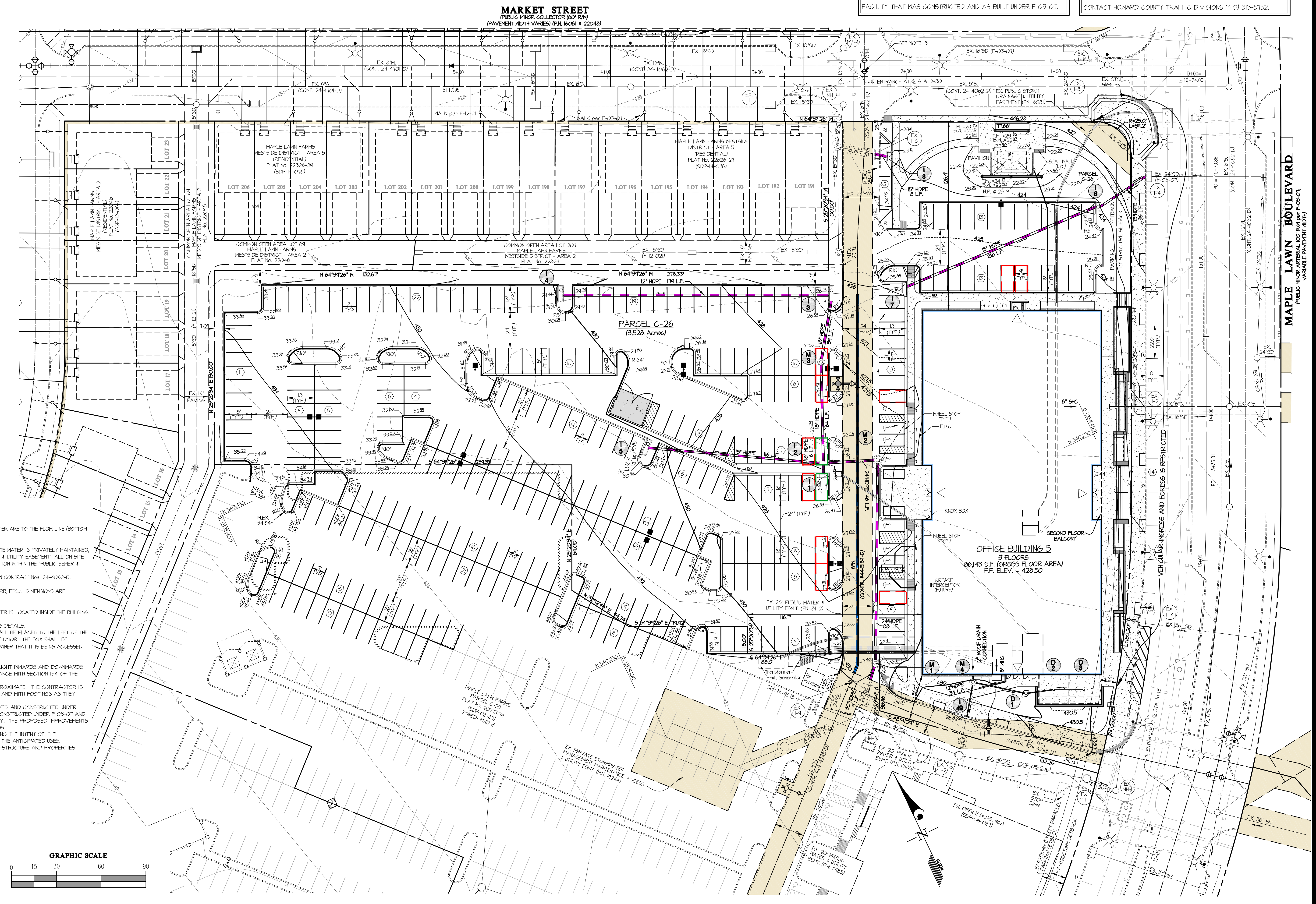
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 12973
 EXPIRATION DATE: MAY 28, 2027



SITE DEVELOPMENT PLAN
MAPLE LAWN FARMS
 Business District - Area 1
 Parcel 'C-26' (Office Building No. 5 - A LEED Certified Green Building)
 (Proposed Office Space with possible First Floor Retail, Restaurant, or Personal Service)
 PLAT No. 21620

ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

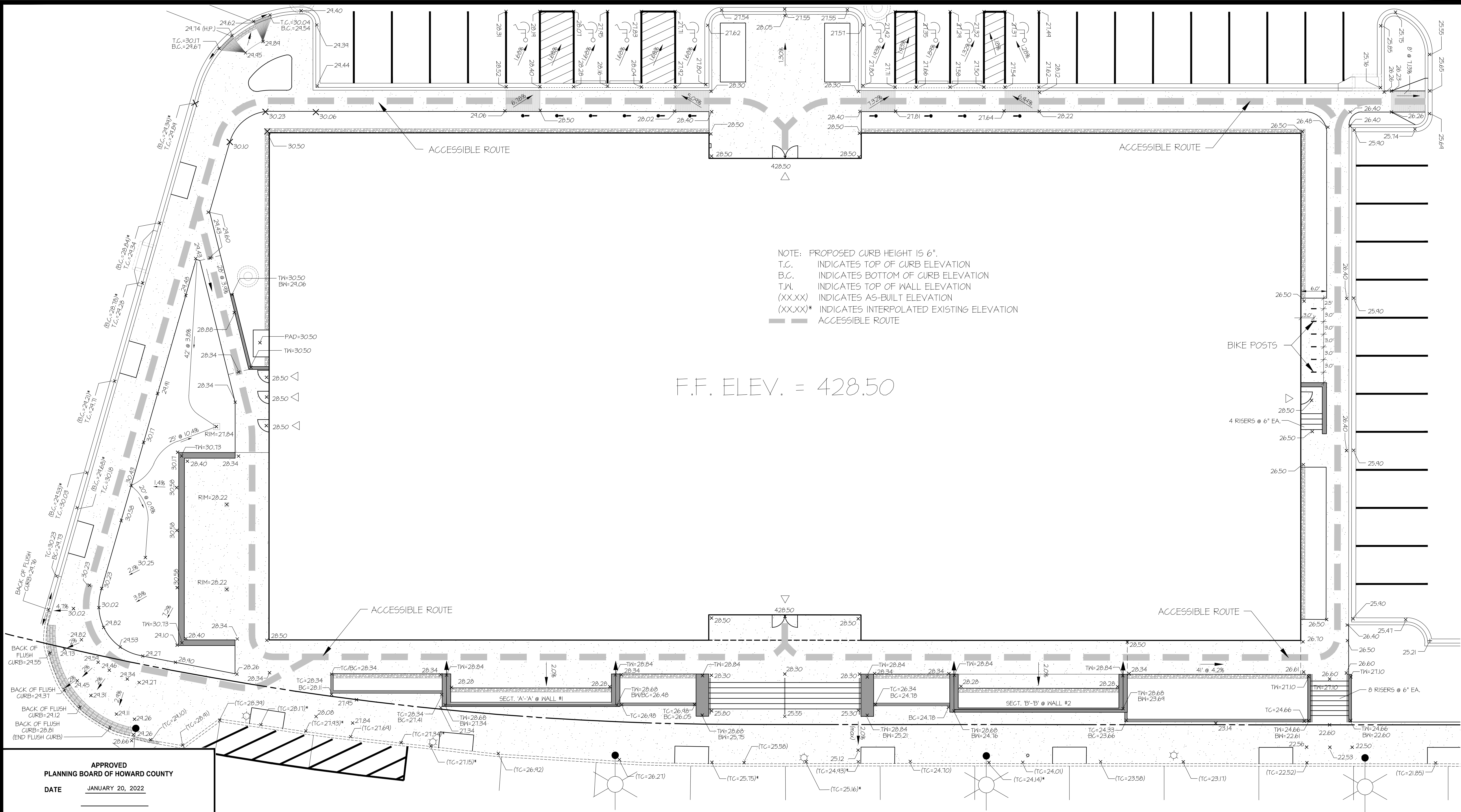
SCALE	ZONING	G. L. W. FILE NO.
1"=30'	MXD-3	21067
DATE	TAX MAP - GRID	SHEET
FEB. 2022	46: 3&4	2 OF 11



S/M NOTE: THE EXISTING 24" AND 36" STORM DRAIN PIPES THAT CONVEYS THE RUNOFF FROM THIS SITE DRAINS TO AN EX. P-3 TYPE FACILITY THAT WAS CONSTRUCTED AND AS-BUILT UNDER F-03-07.

STREET LIGHT NOTE: IF EXISTING PUBLIC STREET LIGHTS NEED TO BE ADJUSTED OR REMOVED DURING CONSTRUCTION, PLEASE CONTACT HOWARD COUNTY TRAFFIC DIVISIONS (410) 313-5152.

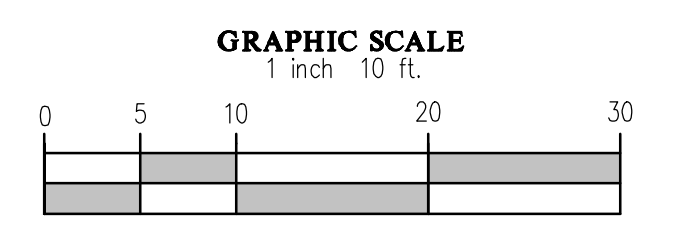
MAPLE LAWN BOULEVARD
 PUBLIC WATER MAIN, 60" DIA. (F-03-07)
 VARIABLE PAYMENT (MTR)



NOTE: PROPOSED CURB HEIGHT IS 6".
 T.C. INDICATES TOP OF CURB ELEVATION
 B.C. INDICATES BOTTOM OF CURB ELEVATION
 T.W. INDICATES TOP OF WALL ELEVATION
 (XX.XX) INDICATES AS-BUILT ELEVATION
 (XX.XX)* INDICATES INTERPOLATED EXISTING ELEVATION
 --- ACCESSIBLE ROUTE

F.F. ELEV. = 428.50

SEE SHEET 6 FOR SECT. 'A'-A' AND SECT. 'B'-B'



APPROVED
PLANNING BOARD OF HOWARD COUNTY
 DATE JANUARY 20, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Date 3/8/2022
 Date 3/4/2022
 Date 3/3/2022

GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY	DATE	REVISION	BY	APPR.

PREPARED FOR:
 OWNER: MFCO PARCEL 5, LLC
 1829 REISTERSTOWN ROAD
 SUITE 300
 BALTIMORE, MD 21208
 PH: 410-484-8400
 ATN: MARK BENNETT

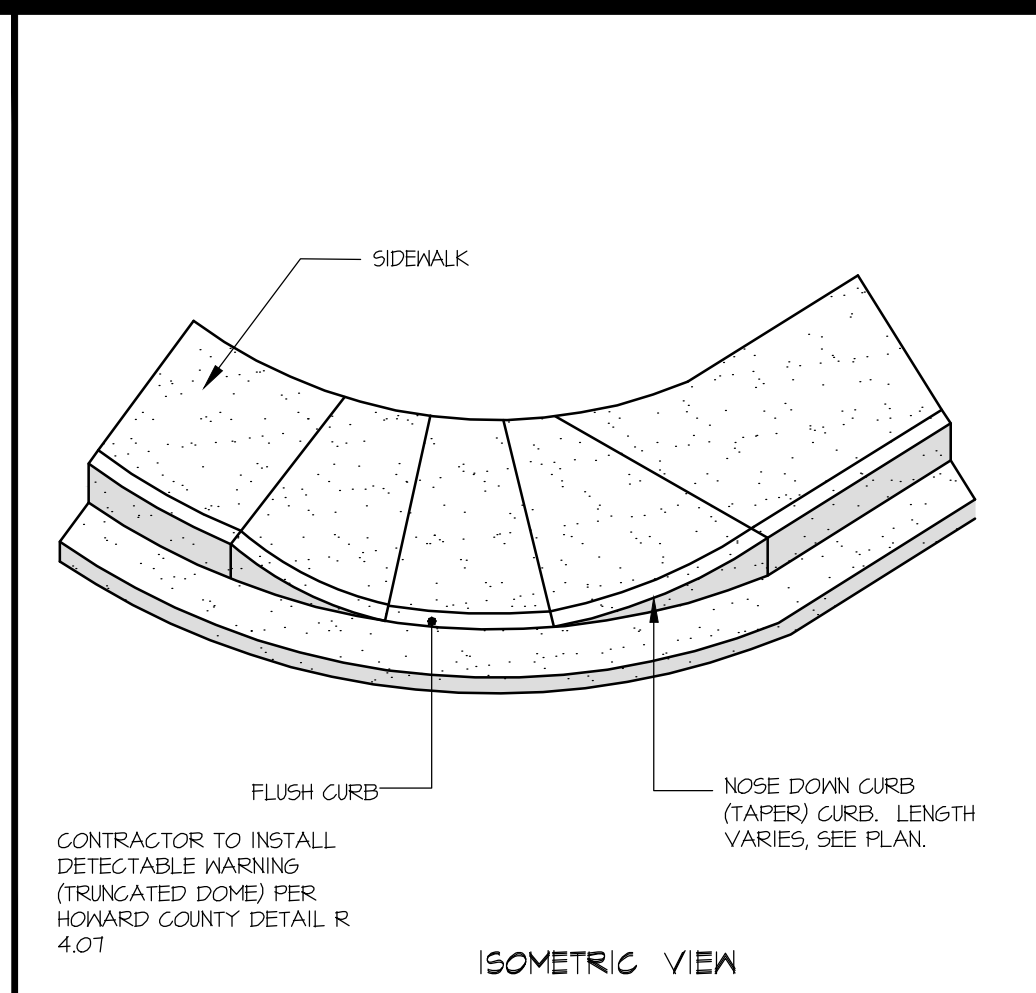
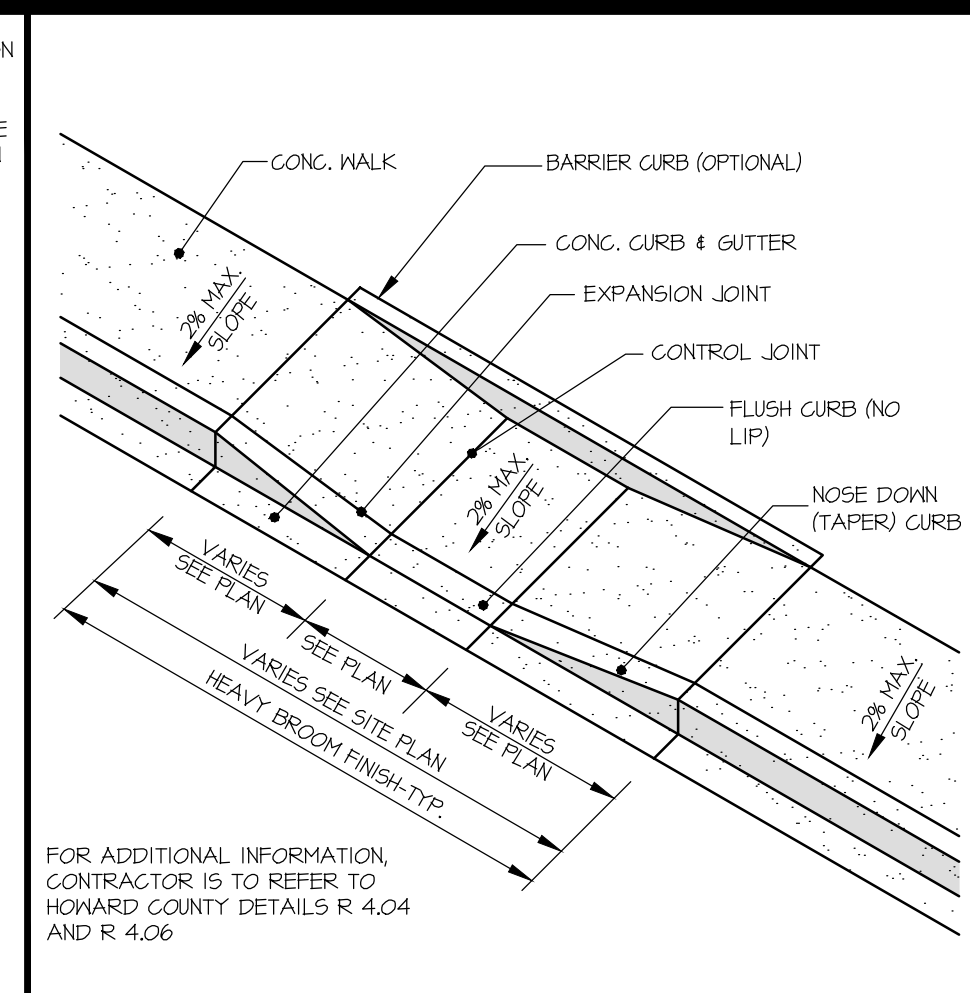
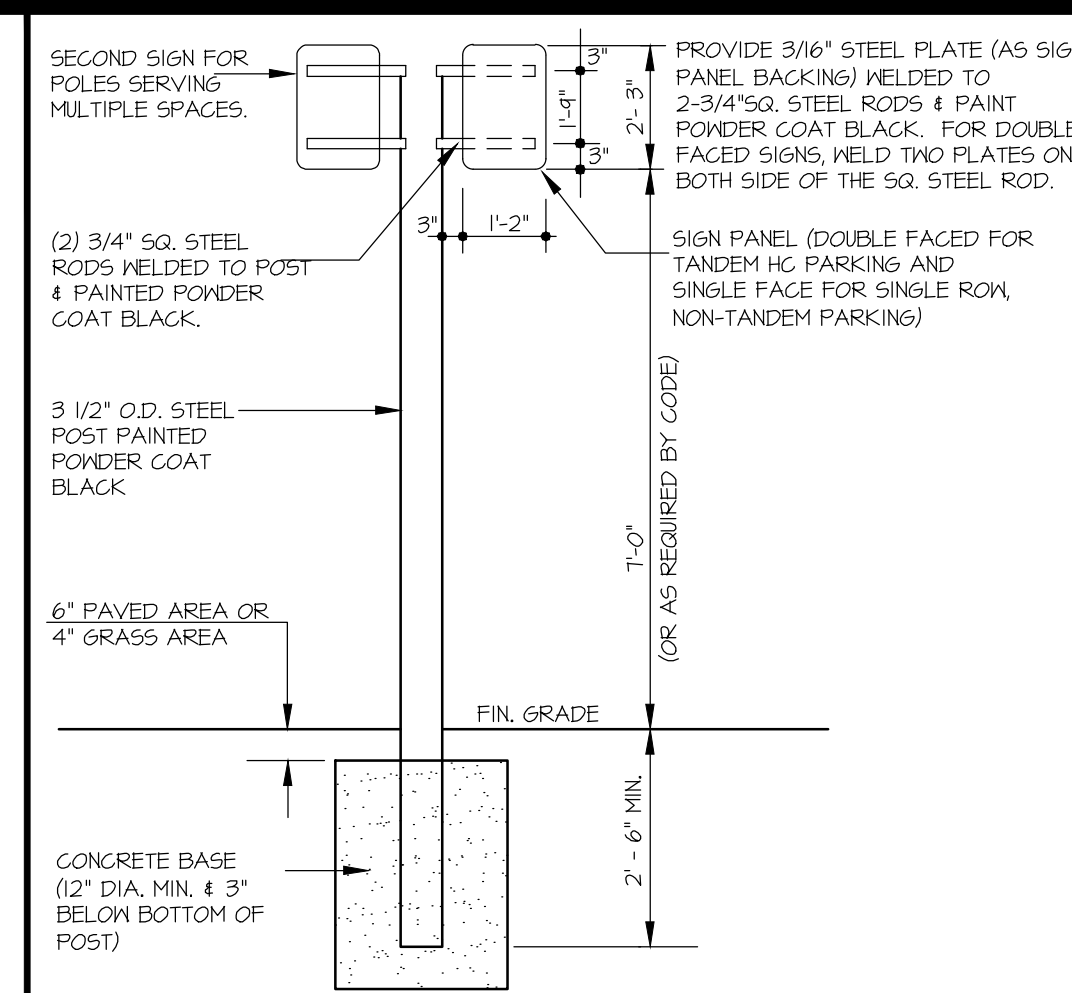
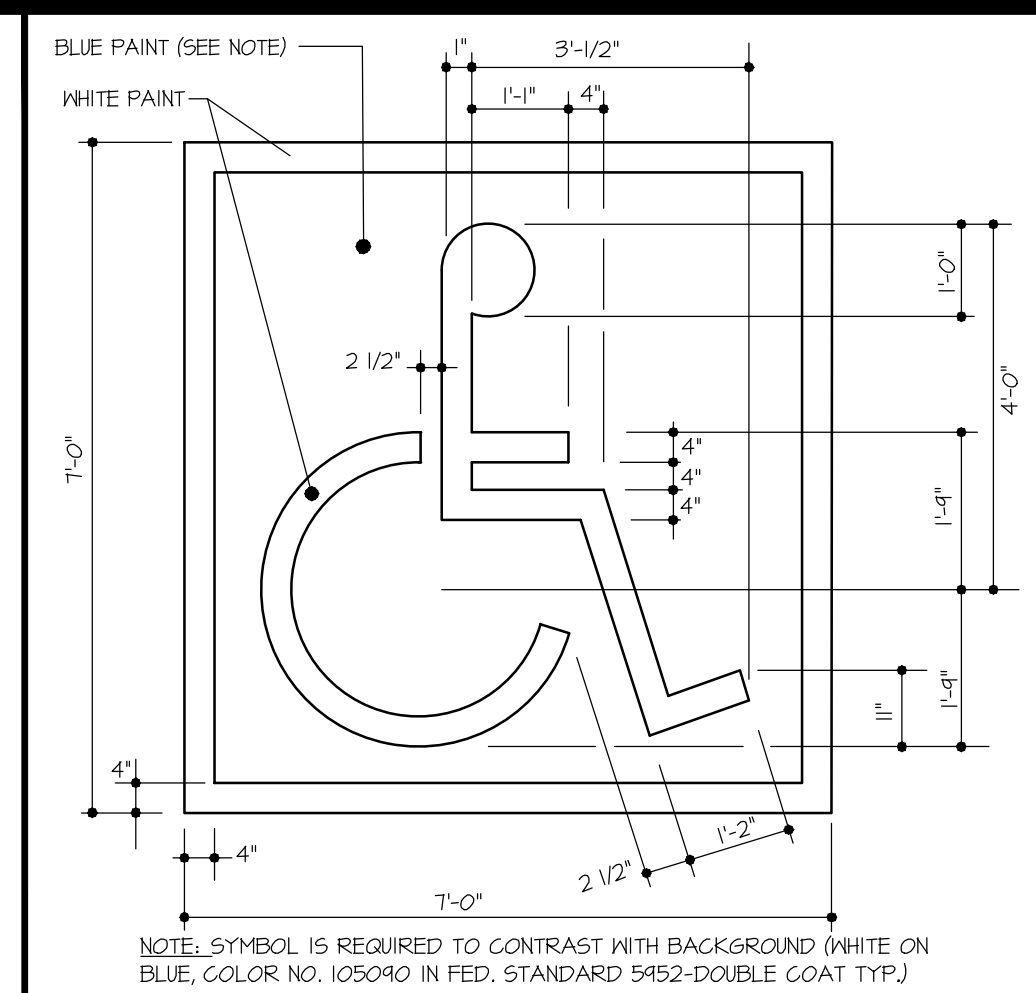
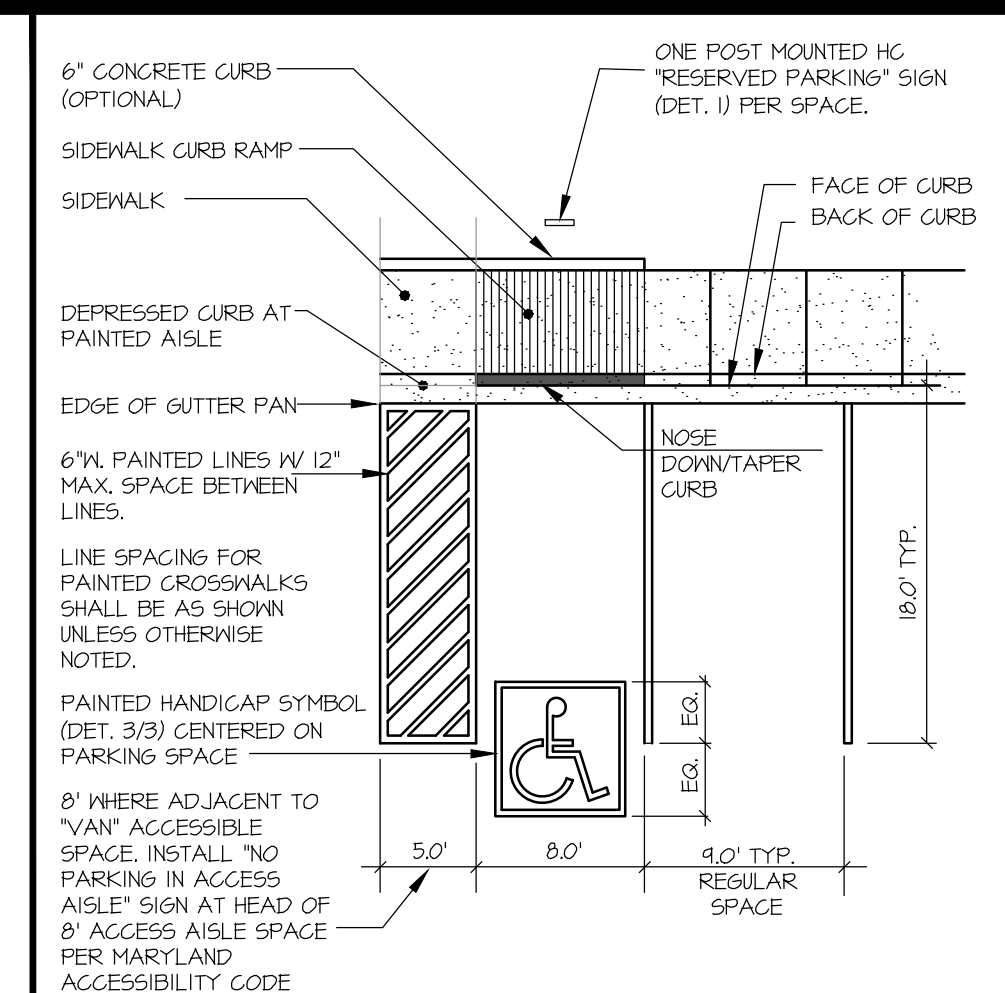
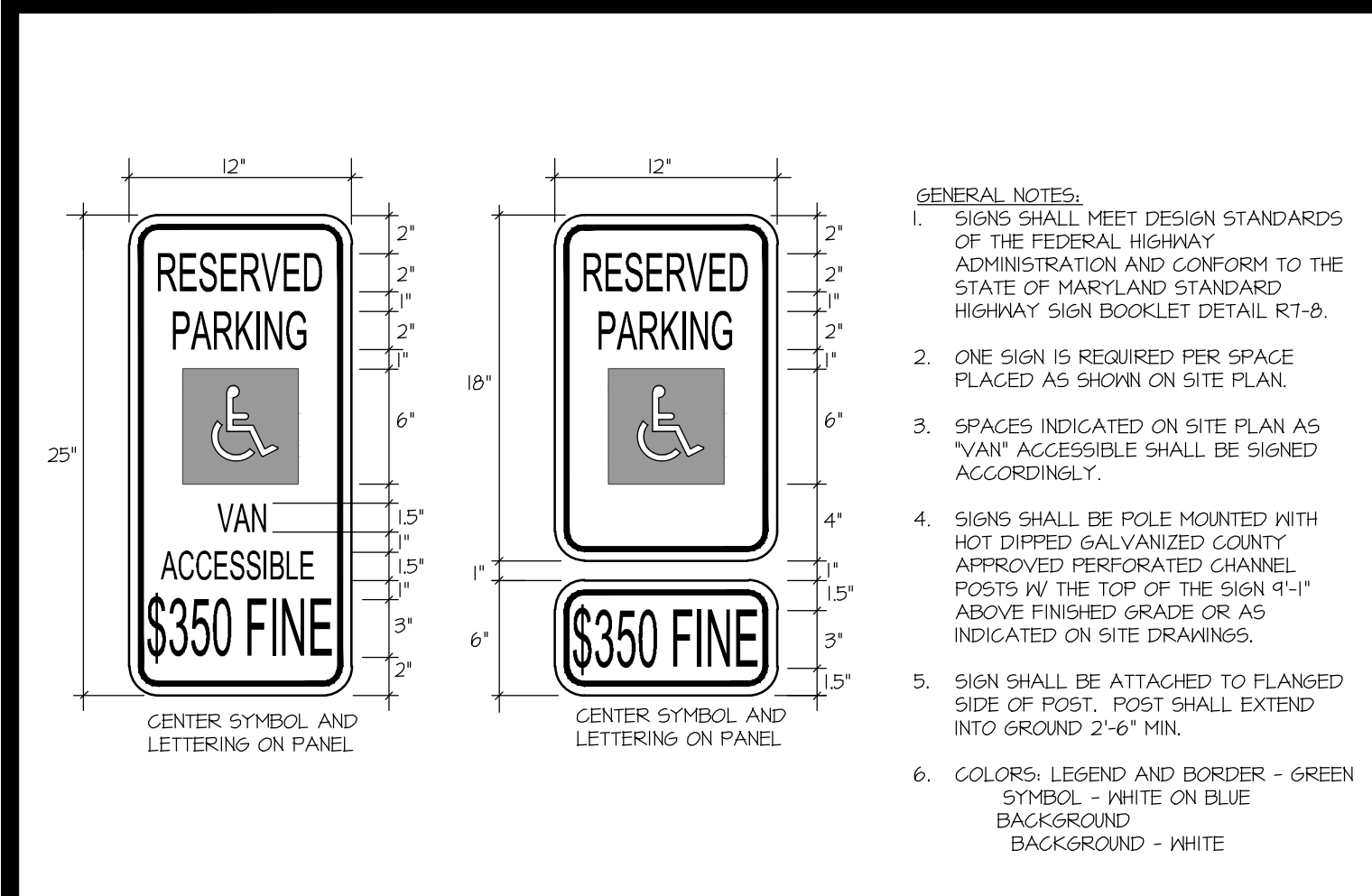
DEVELOPER:
 ST. JOHN PROPERTIES
 2560 LORD BALTIMORE DR.
 BALTIMORE, MD 21244
 PH: 410-788-0100
 ATN: KAREN WATSON

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875
 EXPIRATION DATE: MAY 28, 2022 02/18/22

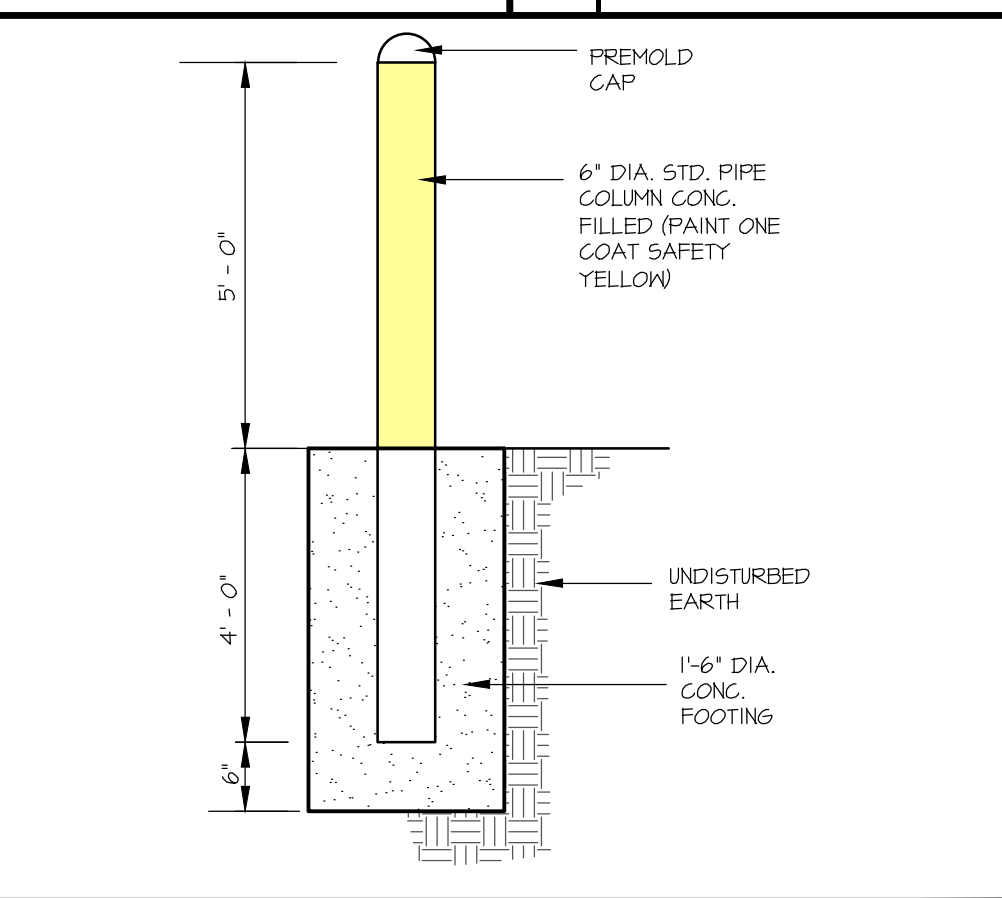
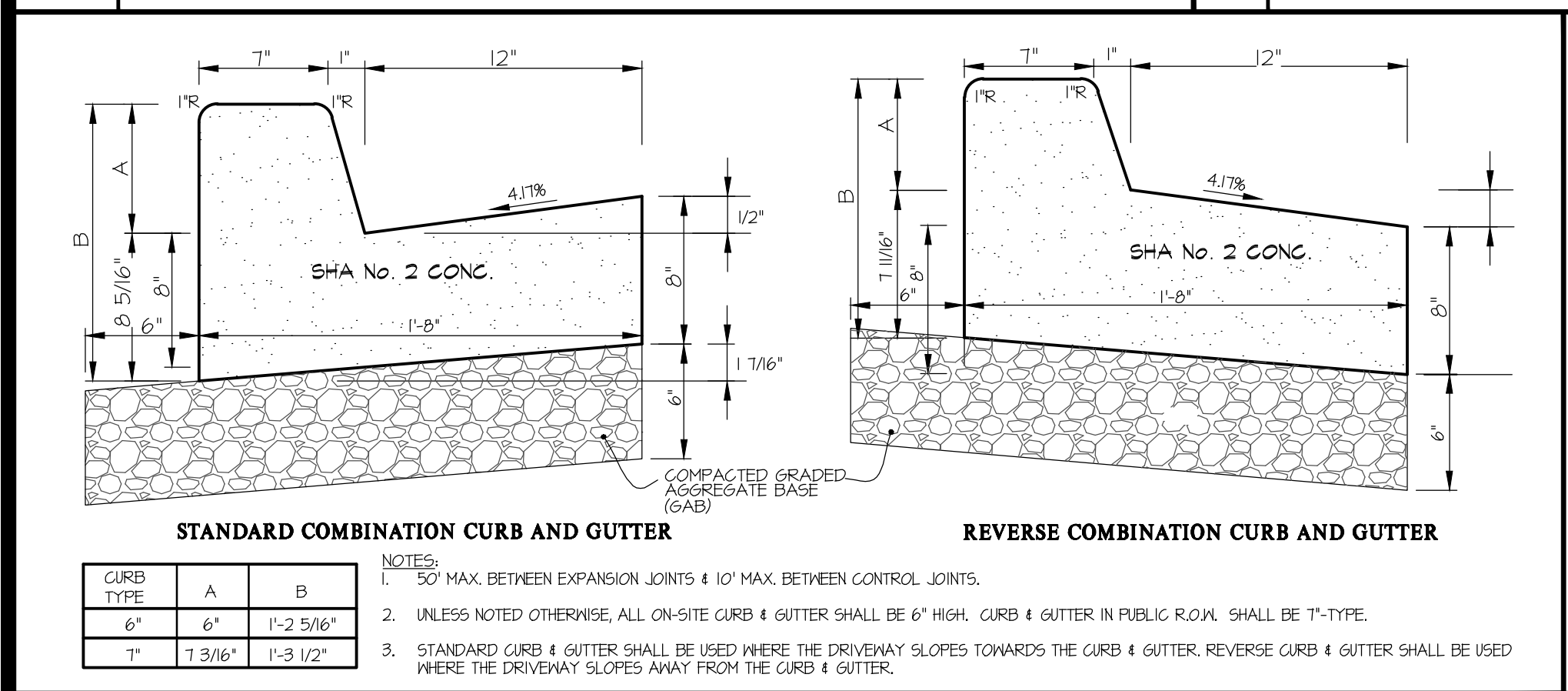
PERIMETER GRADES and HANDICAP ACCESSIBILITY
MAPLE LAWN FARMS
 Business District - Area 1
 Parcel 'C-26' (Office Building No. 5 - A LEED Certified Green Building)
 (Proposed Office Space with possible First Floor Retail, Restaurant, or Personal Service)
 PLAT No. 21620
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	21067
DATE	TAX MAP - GRID	SHEET
FEB. 2022	46: 3&4	4 OF 11

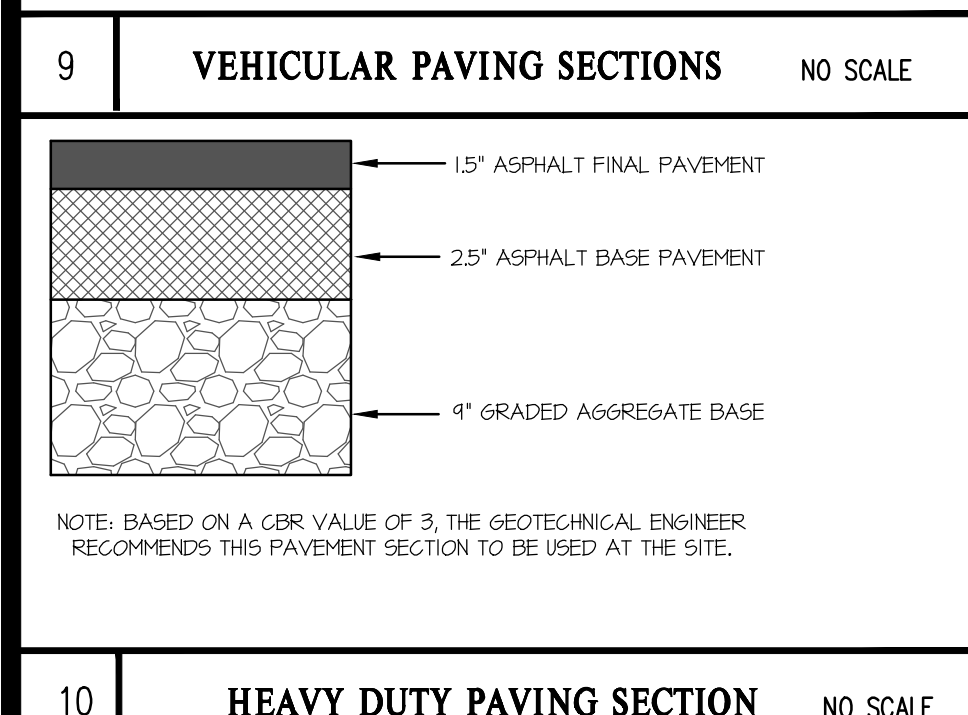
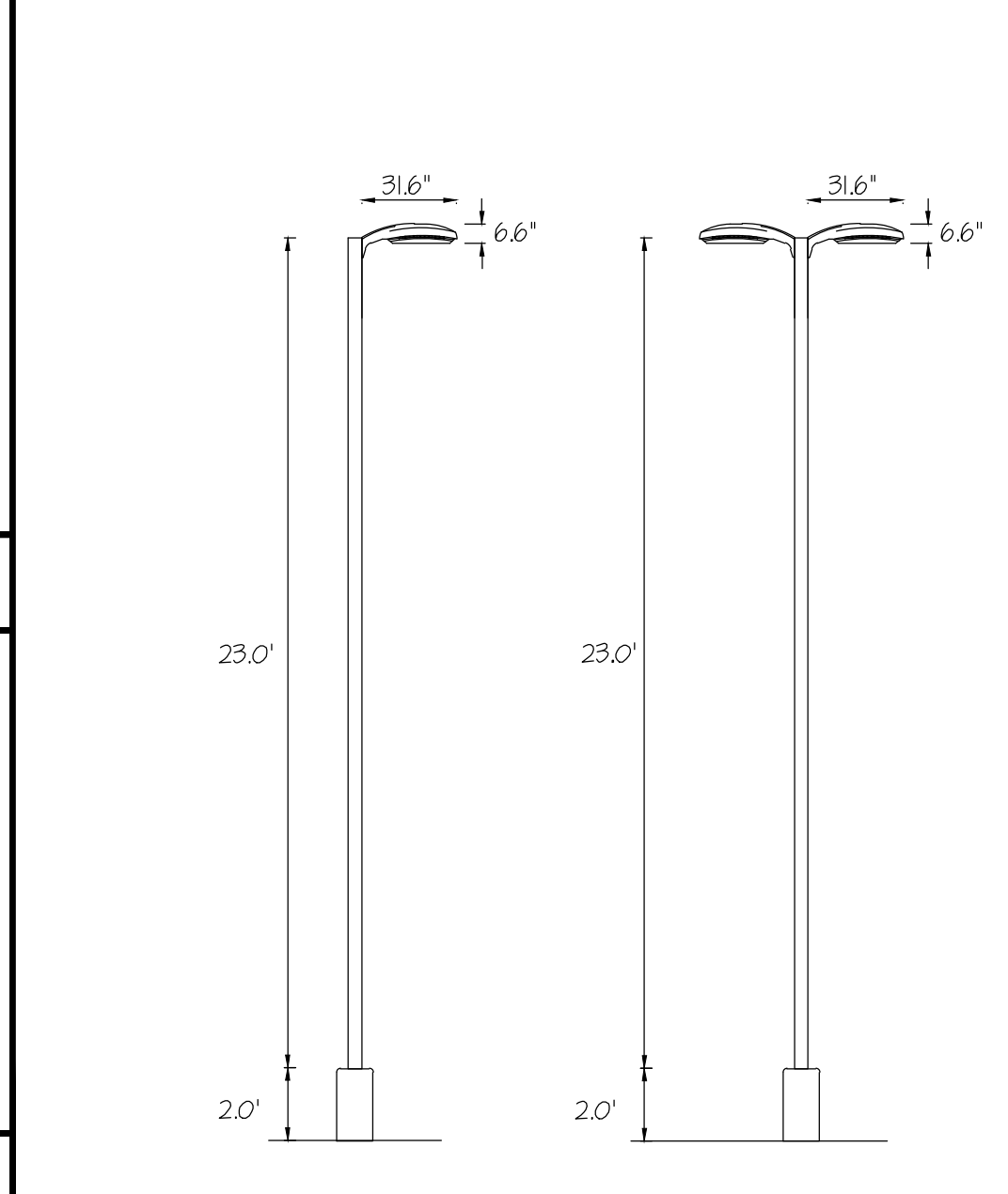
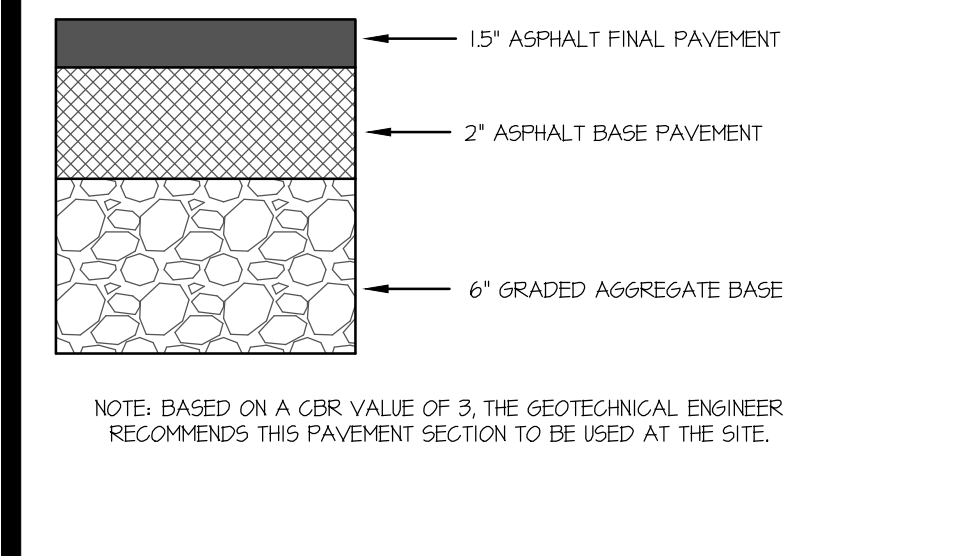
L:\CAD\DRAWINGS\98079\21067\PLANS BY GLW\SDP\21067 SHEET 04 PERIMETER GRADES.dwg 2/18/2022 10:23:38 AM D:\G\G\11



1	HANDICAP PARKING SIGNS DETAIL	NO SCALE	2	PARKING SPACE LAYOUT	NO SCALE	3	HANDICAP SPACE STENCIL LAYOUT	NO SCALE	4	POST & SIGN DETAIL FOR PARKING RESTRICTION SIGN	NO SCALE	5	TYPE-C HANDICAP RAMP DETAIL	NO SCALE	6	TYPICAL CURB/NOSE DOWN TAPER AT INTERSECTION	NO SCALE
---	-------------------------------	----------	---	----------------------	----------	---	-------------------------------	----------	---	---	----------	---	-----------------------------	----------	---	--	----------



7	TYPE-A CONCRETE CURB AND GUTTER (STANDARD AND REVERSE)	NO SCALE	8	BOLLARD DETAIL	NO SCALE
---	--	----------	---	----------------	----------

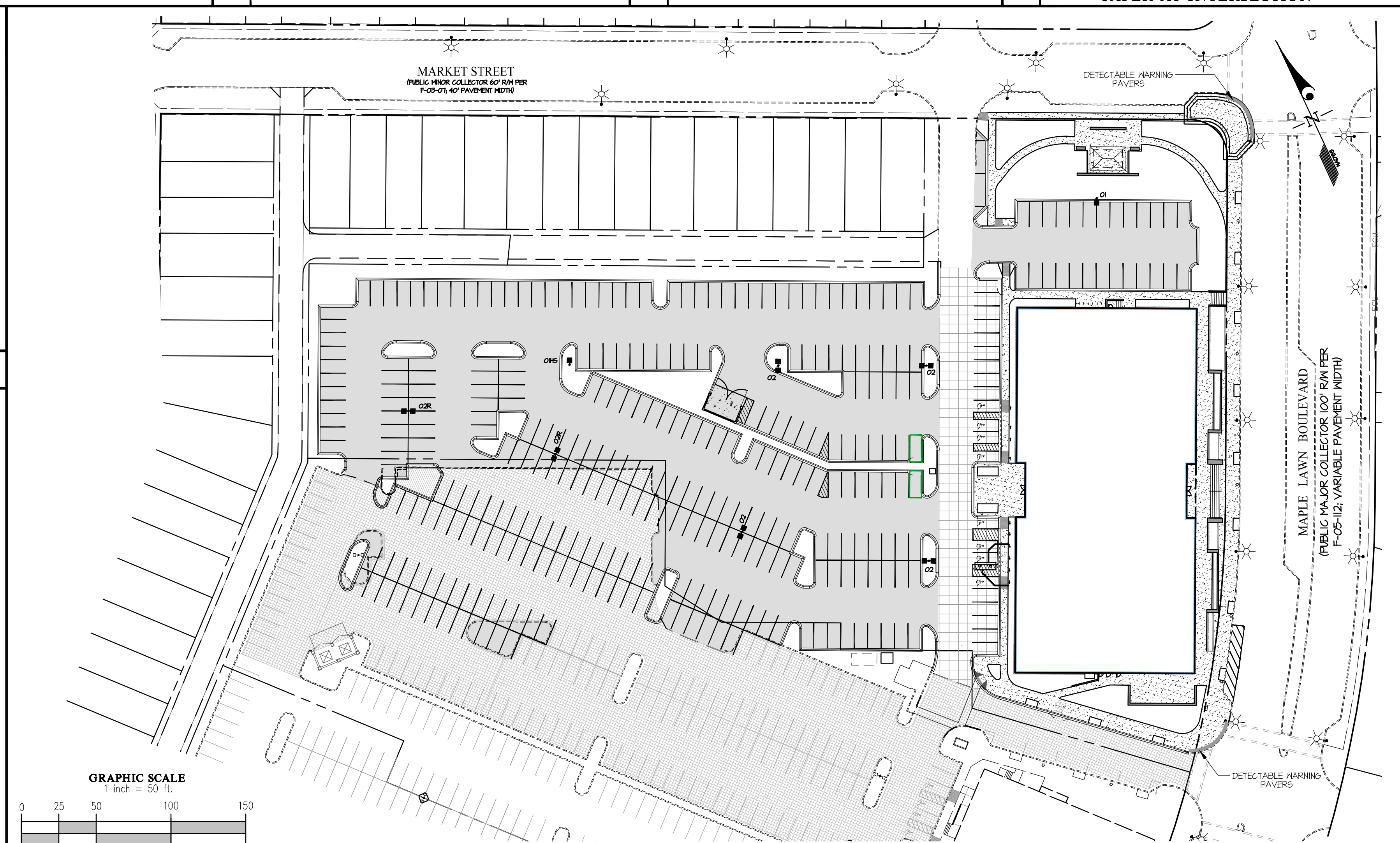


9	VEHICULAR PAVING SECTIONS	NO SCALE	10	HEAVY DUTY PAVING SECTION	NO SCALE
---	---------------------------	----------	----	---------------------------	----------

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE JANUARY 20, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Date 3/8/2022
Date 3/4/2022
Date 3/3/2022

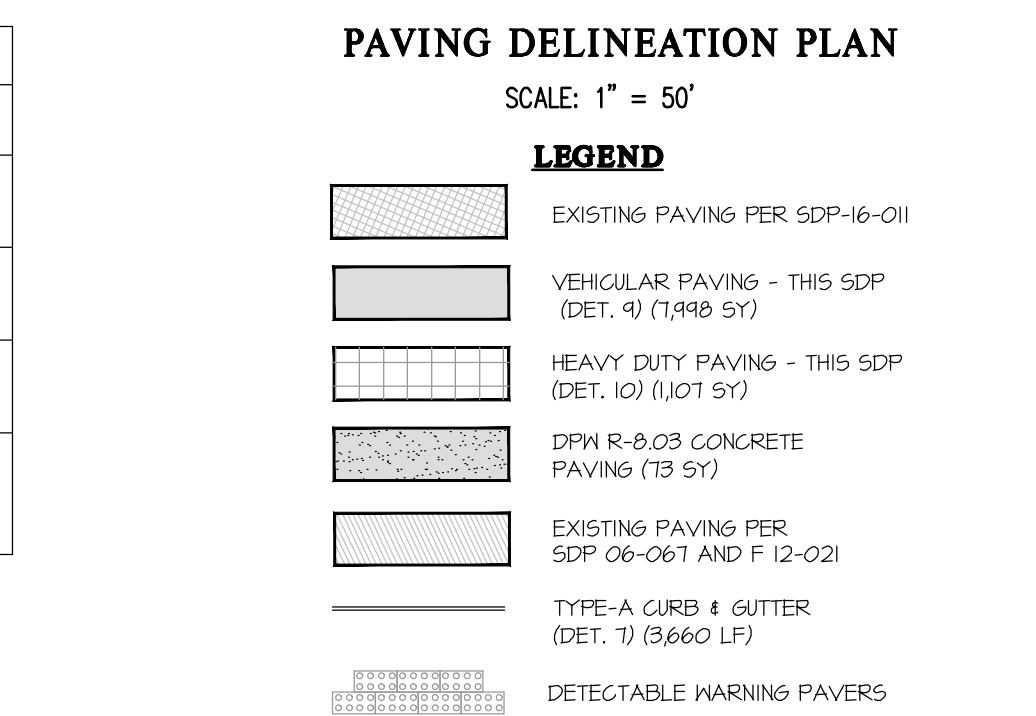
11	LIGHT DETAILS	SCALE: 1" = 5'
----	---------------	----------------



GRAPHIC SCALE
1 inch = 50 ft.

0 25 50 100 150

SYMBOL	TYPE	LAMPS	DESCRIPTION	VOLTAGE	MOUNTING	INPUT WATTAGE	LIGHT FIXTURE CATALOG NO.	POLE CATALOG NO.
●	O1	LED-16824 LUMENS 4000K	SINGLE LED TYPE 3 CUTOFF GULLWING LUMINAIRE DIE-CAST ALUMINUM CONSTRUCTION (BLACK) PROVIDE MATCHING 5" ROUND STEEL NON-TAPERED POLE (BLACK).	UNIVERSAL 120-277V	23'-0" POLE MOUNTED ON A 24" RAISED POLE BASE	160W	GARDCO #; 6L18-1-3-160LA-481A-NH-UNV-BLP	KH INDUSTRIES #; RSP23-50-T-BLK
●	O1HS	LED-16824 LUMENS 4000K	SINGLE LED TYPE 3 CUTOFF GULLWING LUMINAIRE DIE-CAST ALUMINUM CONSTRUCTION (BLACK) WITH INTEGRAL HOUSE SIDE SHIELD. PROVIDE MATCHING 5" ROUND STEEL NON-TAPERED POLE (BLACK).	UNIVERSAL 120-277V	23'-0" POLE MOUNTED ON A 24" RAISED POLE BASE	160W	GARDCO #; 6L18-1-3-160LA-481A-NH-UNV-BLP-15	KH INDUSTRIES #; RSP23-50-T-BLK
■	O2	LED-16824 LUMENS 4000K	BACK-BACK LED TYPE 3 CUTOFF GULLWING LUMINAIRE DIE-CAST ALUMINUM CONSTRUCTION (BLACK). PROVIDE MATCHING 5" ROUND STEEL NON-TAPERED POLE (BLACK).	UNIVERSAL 120-277V	23'-0" POLE MOUNTED ON A 24" RAISED POLE BASE	160W	GARDCO #; 6L18-2a90-3-160LA-481A-NH-UNV-BLP	KH INDUSTRIES #; RSP23-50-T-BLK
■	O2R	LED-16824 LUMENS 4000K	PROVIDE RETROFIT KIT FOR EXISTING HID FIXTURES BACK-BACK LED TYPE 3 CUTOFF GULLWING LUMINAIRE DIE-CAST ALUMINUM CONSTRUCTION (BLACK). PROVIDE MATCHING 5" ROUND STEEL NON-TAPERED POLE (BLACK).	UNIVERSAL 120-277V	23'-0" POLE MOUNTED ON A 24" RAISED POLE BASE	160W	GARDCO #; 6L18-RK-3-160LA-481A-NH-UNV-BLP	EXISTING RELOCATED 23' POLE



EXTERIOR LIGHTING NOTES:

- ALL POLES SHALL BE SUITABLE FOR EPA OF LUMINAIRES WITH 90 MPH LOAD AND 13 GUST FACTOR (GF).
- ALL LIGHTING FIXTURES SHALL BE APPROVED BY THE OWNER AND ARCHITECT PRIOR TO ORDERING.
- COORDINATE FIXTURE COLOR PRIOR TO ORDERING.
- ALL EXTERIOR LIGHT FIXTURES SHALL BE FULLY OR PARTIALLY SHIELDED TO DIRECT LIGHT INWARDS AND DOWNWARDS AWAY FROM ALL ADJOINING RESIDENTIAL USE AREAS AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.

GLW
PLANNING | ENGINEERING | SURVEYING
3808 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
PHONE: 301-421-4024 | BALT. 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	dev	DATE:	
DRAWN BY:	dev	DATE:	
CHECKED BY:	DEV	DATE:	
BY:		REVISION:	
BY:		REVISION:	

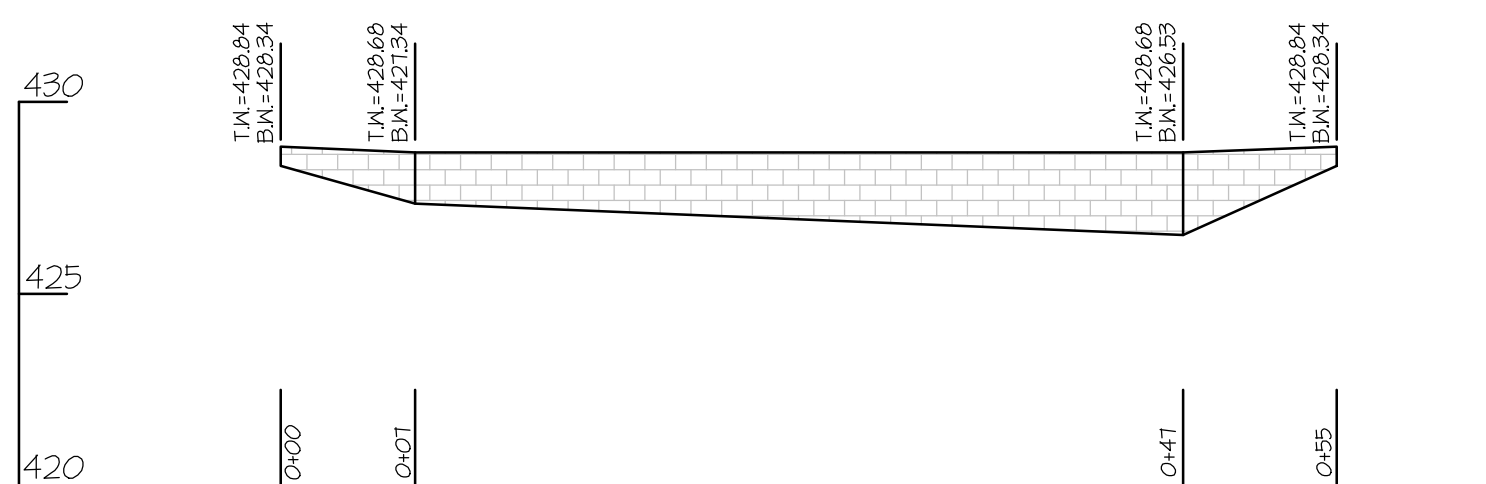
PREPARED FOR:
OWNER: MFCO PARCEL 5, LLC
1829 REGISTER ROAD
SUITE 300
BALTIMORE, MD 21248
PH: 410-484-8400
ATTN: MARK BENNETT

DEVELOPER: ST. JOHN PROPERTIES
2560 LORD BALTIMORE DR.
BALTIMORE, MD 21244
PH: 410-788-0100
ATTN: KAREN WATSC

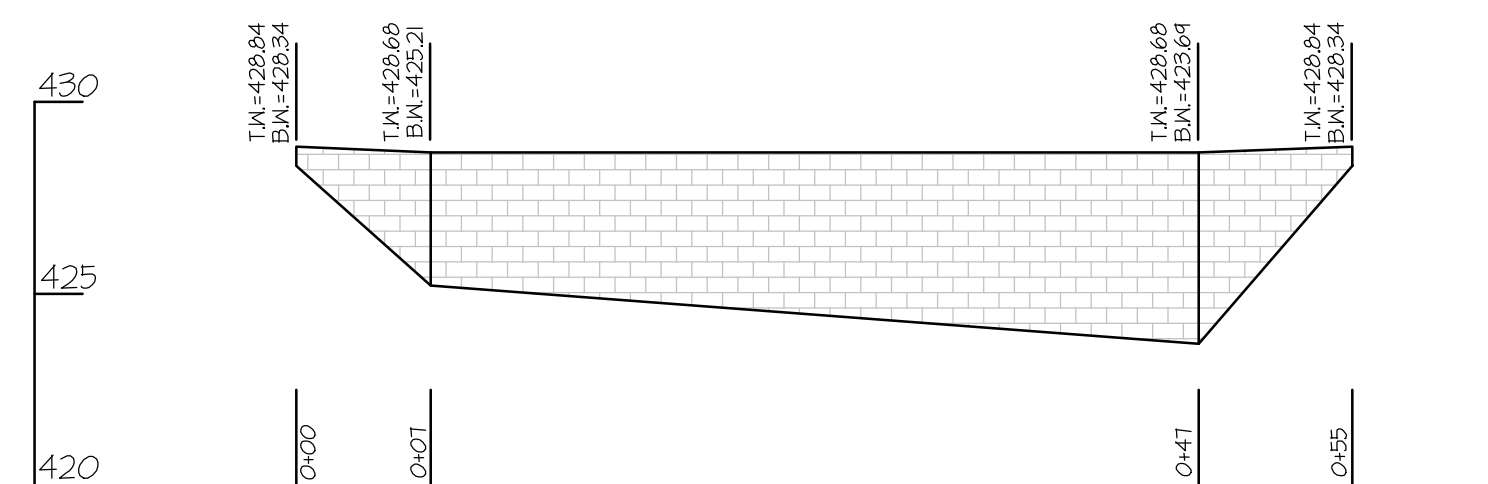
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
EXPIRATION DATE: MAY 28, 2022 02/18/22

PAVING DELINEATION PLAN and SITE DETAILS
MAPLE LAWN FARMS
Business District - Area 1
Parcel 'C-26' (Office Building No. 5 - A LEED Certified Green Building)
(Proposed Office Space with possible First Floor Retail, Restaurant, or Personal Service)
PLAT No. 21620
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

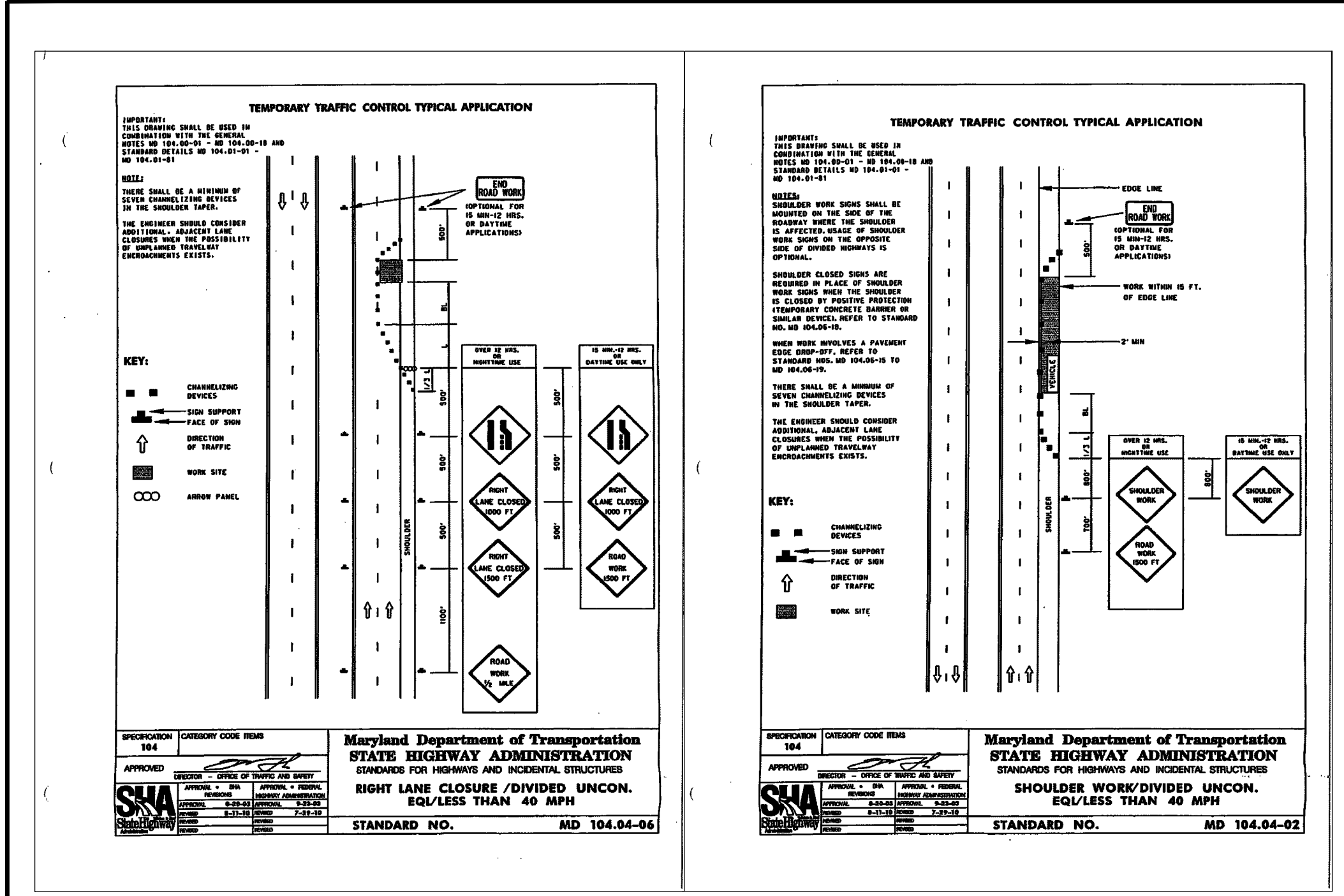
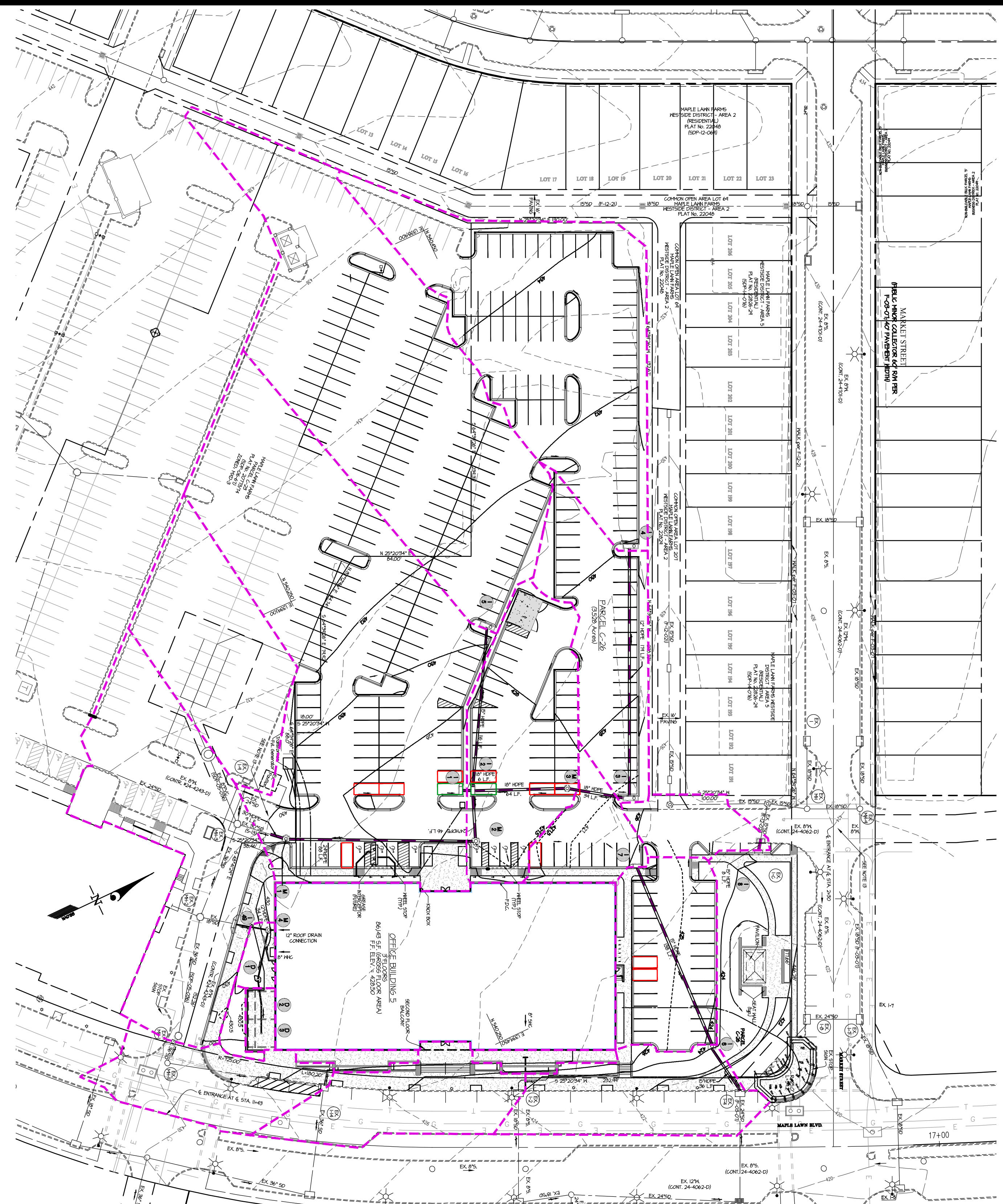
SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	21067
DATE	TAX MAP - GRID	SHEET
FEB. 2022	46: 3&4	5 OF 11



SECT. 'A-A'
SCALE: HORZ. 1"=10'
VERT. 1"=5'



SECT. 'B-B'
SCALE: HORZ. 1"=10'
VERT. 1"=5'



NOTE TO CONTRACTOR:
IF AT ANY TIME DURING THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN ON THESE PLANS REQUIRES THE CLOSURE OF ANY TRAVEL LANES, THE CONTRACTOR MUST CONTACT PARRIS ZIRKENBACH AT HOWARD COUNTY DEVICES (410-313-5752) TO ARRANGE FOR AN ON-SITE MEETING PRIOR TO THE COMMENCEMENT OF WORK TO DETERMINE THE TRAFFIC CONTROL DEVICES NECESSARY FOR THE TYPE OF CONSTRUCTION AND LENGTH OF TIME NEEDED TO DO THE CONSTRUCTION. THE DETAILS SHOWN ON THIS PLAN WILL BE IMPLEMENTED, TAKING FIELD CONDITIONS INTO ACCOUNT.

LEGEND

- 400 ——— EXISTING CONTOUR
- 300 ——— PROPOSED CONTOUR
- STORM DRAIN DRAINAGE AREA

NOTE: 'C' TYPE SOILS ASSUMED FOR ALL DRAINAGE AREAS DUE TO MASS GRADING.

GRAPHIC SCALE
1 INCH = 50 FT.
0 25 50 100 150

'C' FACTOR COMPUTATIONS

STRUCTURE	AREA (A _c)	'C'	IMPERVIOUS
I-1	1.05	0.81	90%
I-2	0.31	0.81	90%
I-3	0.26	0.81	90%
I-4	0.63	0.81	90%
I-5	0.88	0.81	90%
I-6	0.22	0.81	90%
I-7	0.10	0.86	100%
ST-1	0.06	0.81	90%
RD-1	0.67	0.86	100%
EX. I-2	0.31	0.81	90%
EX. I-4	0.27	0.81	90%
EX. I-4	0.30	0.81	90%
EX. I-14	0.18	0.81	90%
EX. I-49	0.44	0.81	90%
EX. I-C	0.08	0.81	90%
EX. RD-2	0.58	0.86	100%

FROM NO.	TO NO.	DIA. (N) & TYPE OF PIPE	L (ft)
I-4	I-3	12" HDPE	174
I-3	MH-3	18" HDPE	34
MH-3	I-2	18" HDPE	64
I-2	I-1	18" HDPE	6
I-5	I-1	15" HDPE	116
I-1	MH-2	24" HDPE	46
MH-2	MH-1	24" HDPE	88
MH-1	EX-MH-3	30" HDPE	32
I-7	I-6	12" HDPE	138
I-6	EX I-4	15" HDPE	36
ST-1	MH-4	12" HDPE	5
RD-1	MH-4	12" HDPE	5
MH-4	EX I-44	12" HDPE	22
I-8	EX I-C	15" HDPE	8

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: JANUARY 20, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
By: *Roy Brown* 3/8/2022
Date: _____
By: _____ 3/4/2022
Date: _____
By: *Chad Edmondson* 3/3/2022
Date: _____
Chief, Development Engineering Division

GLW
PLANNING | ENGINEERING | SURVEYING
3908 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	LAG
DRAWN BY:	LAG
CHECKED BY:	DEV
DATE	DATE
REVISION	BY APPR.

PREPARED FOR:
OWNER: MFCO PARCEL 5, LLC
1829 REISTERSTOWN ROAD
SUITE 300
BALTIMORE, MD 21244
PH: 410-484-8400
ATTN: MARK BENNETT

DEVELOPER: ST. JOHN PROPERTIES
2560 LORD BALTIMORE DR.
BALTIMORE, MD 21244
PH: 410-788-0100
ATTN: KAREN WATSON

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975.
EXPIRATION DATE: MAY 26, 2022 / 02/18/22

DRAINAGE AREA MAP & WALL ELEVATIONS
Maple Lawn Farms
Business District - Area 1
Parcel 'C-26' (Office Building No. 5 - A LEED Certified Green Building)
(Proposed Office Space with possible First Floor Retail, Restaurant, or Personal Service)
PLAT No. 21620
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	21067
DATE	TAX MAP - GRID	SHEET
FEB. 2022	46: 3&4	6 OF 11

SEDIMENT CONTROL PLAN LEGEND

- EXISTING CONTOUR
- - - PROPOSED CONTOUR
- SSF/LOO PORTIONS OF THE LIMIT OF DISTURBANCE THAT IS DEFINED BY THE SUPER SILT FENCE
- LIMIT OF DISTURBANCE
- CIP CURB INLET PROTECTION
- SCE STABILIZED CONSTRUCTION ENTRANCE
- FL-18 FILTER LOG
- TEMPORARY ASPHALT BERM
- SB SOIL BORING
- GIC2 SOIL TYPE AND LIMITS

SOIL TYPES

Symbol	Description	Soil Type	Kv
ChB2	Chester Silt Loam, 3 to 8 percent slopes, moderately eroded	B	0.31
EkB2	Eloak Silt Loam, 3 to 8 percent slopes, moderately eroded	C	0.32
GtB2	Glenelig Loam, 3 to 8 percent slopes, moderately eroded	B	0.20
GtC2	Glenelig Loam, 8 to 15 percent slopes, moderately eroded	B	0.20

NOTE: 'C' TYPE SOILS ASSUMED FOR ALL DRAINAGE AREAS DUE TO MASS GRADING.

GRAPHIC SCALE



BUILDER'S CERTIFICATE

"I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

Signature: *K. Watsic* DATE: 2/18/22
SIGNATURE OF DEVELOPER/BUILDER DATE

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Signature: *[Signature]* DATE: 02/18/22
SIGNATURE OF ENGINEER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

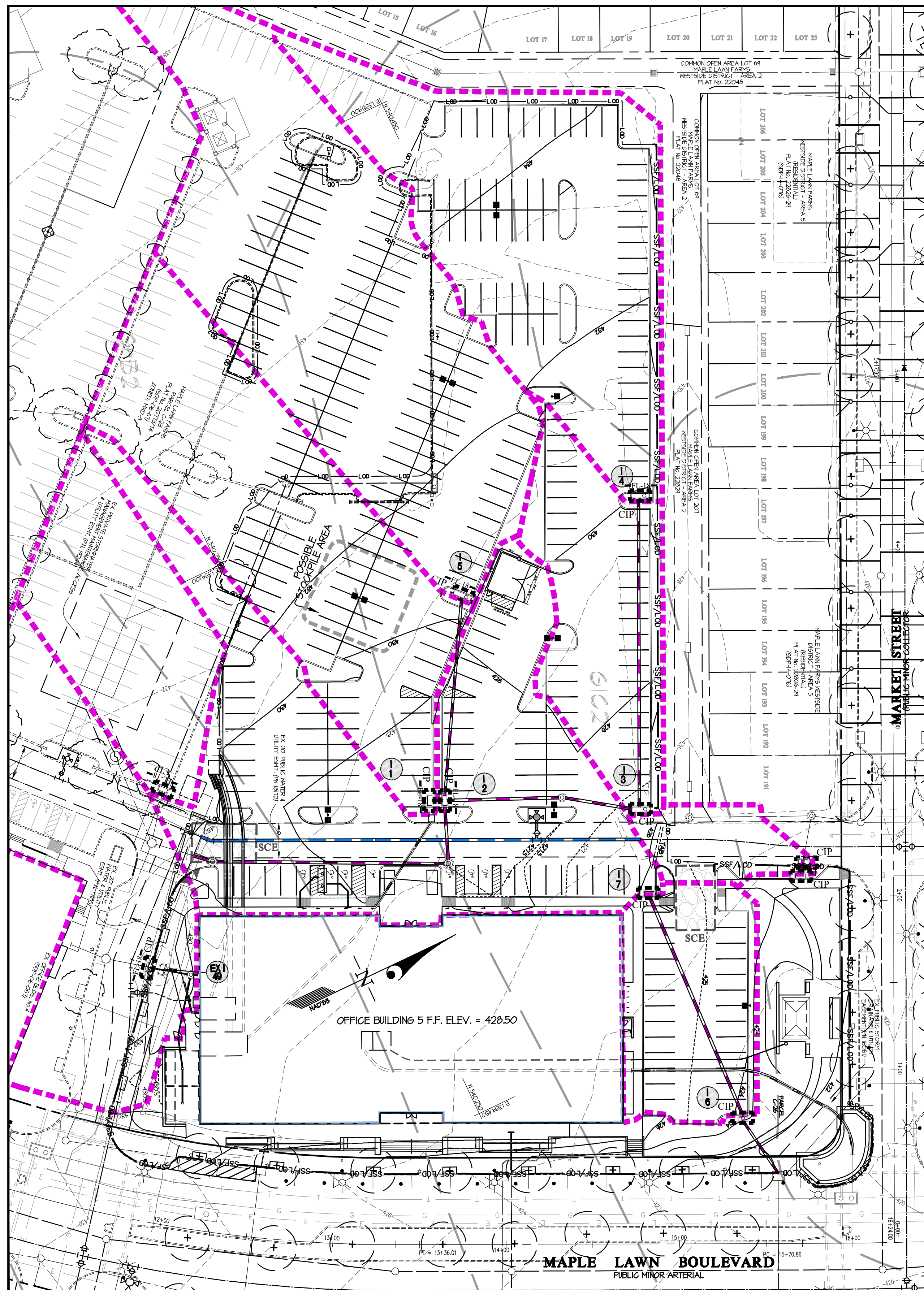
Approved by: *Alexander Bratovic* DATE: 3/3/2022
HOWARD S.C.D. DATE

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE: JANUARY 20, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

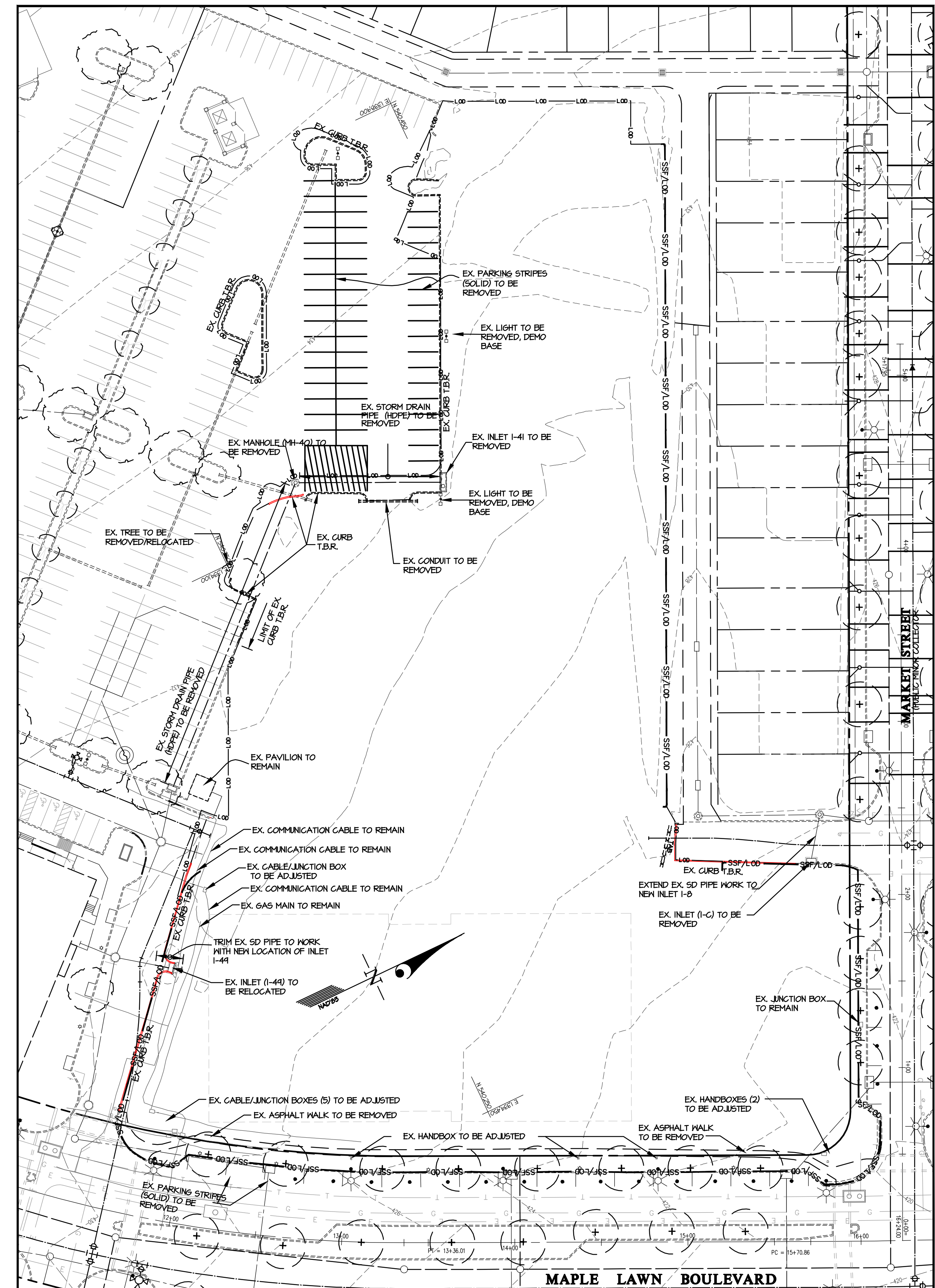
Signature: *[Signature]* DATE: 3/8/2022
Signature: *[Signature]* DATE: 3/4/2022
Signature: *[Signature]* DATE: 3/3/2022
Chief, Development Engineering Division DATE



SEDIMENT CONTROL DEVICE DRAINAGE AREA MAP

STRUCTURE	AREA (AC)	SEC DEVICE
I-1	1.05	CURB INLET PROTECTION & FILTER LOG
I-2	0.31	CURB INLET PROTECTION & FILTER LOG
I-3	0.26	CURB INLET PROTECTION
I-4	0.63	CURB INLET PROTECTION & FILTER LOG
I-5	0.89	CURB INLET PROTECTION & FILTER LOG
I-6	0.22	CURB INLET PROTECTION
I-7	0.10	CURB INLET PROTECTION

MAINTENANCE OF TRAFFIC: SEE SHEET # 6 FOR MAINTENANCE OF TRAFFIC DETAILS.



DEMOLITION PLAN LEGEND

- EX. CURB TO BE REMOVED
- EX. CURB TO REMAIN
- TBR TO BE REMOVED

DEMOLITION NOTES:
1. REMOVE ALL DEBRIS FROM MAPLE LAWN FARMS & HAIL IT TO A RECYCLE FACILITY.
2. ADDITIONAL CURB or SIDEWALK MAY HAVE TO BE REPLACED IN THE FIELD.

DEMOLITION PLAN

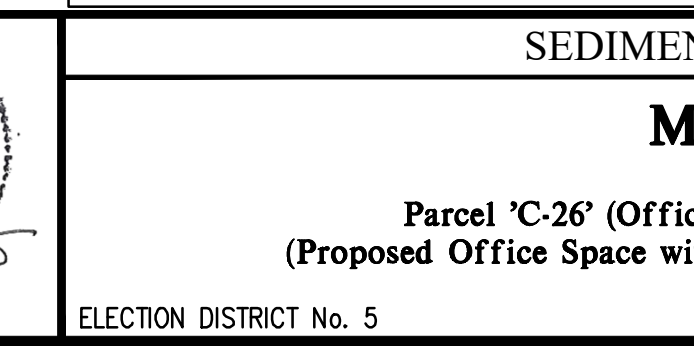
THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

GLW
PLANNING | ENGINEERING | SURVEYING
3808 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4198

DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE	REVISION	BY	APPR.
LAG	LAG	DEV				

PREPARED FOR:
OWNER: MFCO PARCEL 5, LLC
1829 REGISTERSTOWN ROAD
SUITE 300
BALTIMORE, MD 21208
PH: 410-484-8400
ATTN: MARK BENNETT

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19275
EXPIRATION DATE: MAY 26, 2022



SEDIMENT CONTROL and DEMOLITION PLAN
MAPLE LAWN FARMS
Business District - Area 1
Parcel 'C-26' (Office Building No. 5 - A LEED Certified Green Building)
(Proposed Office Space with possible First Floor Retail, Restaurant, or Personal Service)
PLAT No. 21620

SCALE	ZONING	G. L. W. FILE NO.
1"=40'	MXD-3	21067
DATE	TAX MAP - GRID	SHEET
FEB. 2022	46: 3&4	7 OF 11

ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND

B-4-2 STANDARD AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS
DEFINITION
THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.

PURPOSE
TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

CONDITIONS WHERE PRACTICE APPLIES
WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

CRITERIA
A. SOIL PREPARATION
1. TEMPORARY STABILIZATION

- a. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT...
b. PERMANENT STABILIZATION
c. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE...

- IV. SOIL CONTENTS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT.
V. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.
VI. APPLICATION OF AMENDMENTS OR TOPSOIL TO REQUIRED FM-SITE SOILS DO NOT MEET THE ABOVE CONDITIONS.

B. TOPSOILING
1. TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.
2. TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS...

- 3. TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
b. THE SOIL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS...

C. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)
1. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE...

- 2. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT.
3. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNED LIME MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES...

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING
DEFINITION
THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.
PURPOSE
TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

CONDITIONS WHERE PRACTICE APPLIES
TO THE SURFACE OF ALL PERMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.

CRITERIA
A. SEEDING
1. SPECIFICATIONS

- a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW.
b. PERMANENT STABILIZATION
c. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE...

- IV. SOIL CONTENTS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT.
V. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.
VI. APPLICATION OF AMENDMENTS OR TOPSOIL TO REQUIRED FM-SITE SOILS DO NOT MEET THE ABOVE CONDITIONS.

B. MULCHING
1. MULCH MATERIALS (IN ORDER OF PREFERENCE)
a. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY...

- 2. APPLICATION
a. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING.
b. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER...

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
DATE JANUARY 20, 2022
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
DATE 3/8/2022

HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES

TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

- 1. A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER THE FUTURE LOD AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD...
2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE '2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL'...

- 3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERMETER CONTROLS, Dikes, SLOPES, DITCHES, PERMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (2:1); AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE GRADING.
4. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE '2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL'...

- 5. SITE ANALYSIS:
TOTAL AREA OF SITE: 3.51 Acres
AREA DISTURBED: 3.61 Acres
AREA TO BE ROOFED OR PAVED: 2.94 Acres
AREA TO BE VEGETATIVELY STABILIZED: 0.74 Acres
TOTAL CUT: 2,962 Cu. Yds.
TOTAL FILL: 2,962 Cu. Yds.

6. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE
7. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE CD, THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY, AND WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST RECEIVED PRECIPITATION)

- 8. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER.
9. ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE HSCD PRIOR TO PROCEEDING WITH CONSTRUCTION. MINOR REVISIONS MAY BE ALLOWED BY THE CD PER THE LIST OF HSCD-APPROVED FIELD CHANGES.
10. DISTURBANCE SHALL NOT OCCUR OUTSIDE THE LOD. A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM AVERAGE OF 20 AC. PER GRADING UNIT) AT A TIME, WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE CD, UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE HSCD, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.

PERMANENT SEEDING SUMMARY
Table with columns: SEED MIXTURE, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE

TEMPORARY SEEDING SUMMARY
Table with columns: SEED MIXTURE, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE

1. GENERAL SPECIFICATIONS
a. CLASS OF TURFGRASS SOO MUST BE MARYLAND STATE CERTIFIED, SOO LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.
b. SOO MUST BE MACHINED OUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH PLUS OR MINUS 1/4 INCH AT THE TIME OF CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION...

2. SOO INSTALLATION
a. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SOO IMMEDIATELY PRIOR TO LAYING THE SOO.
b. LAY THE FIRST ROW OF SOO IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDED AGAINST EACH OTHER...

3. SOO MAINTENANCE
a. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES.
b. AFTER THE FIRST WEEK, SOO WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT.

DEFINITION
TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.
PURPOSE
TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.
CONDITIONS WHERE PRACTICE APPLIES
EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

CRITERIA
A. SEED MIXTURES
1. GENERAL USE

- a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE 2.
b. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WIND OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 - CRITICAL AREA PLANTING.

- i. KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTERMEDIATE AND INTENSIVE IRRIGATION...
ii. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY...
iii. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MAINTENANCE...

CHOOSE CERTIFIED MATERIAL, CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY, THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE.

- i. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES
a) WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDNESS ZONES: 5B, CENTRAL MD: MARCH 15 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONE: 6B)
b) SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONES: 7A, 7B)
j) TALL GRASS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A FERTILE SEEDBED...

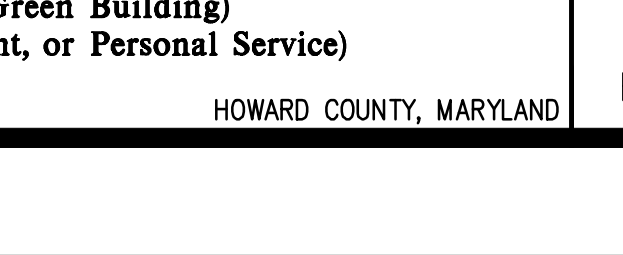
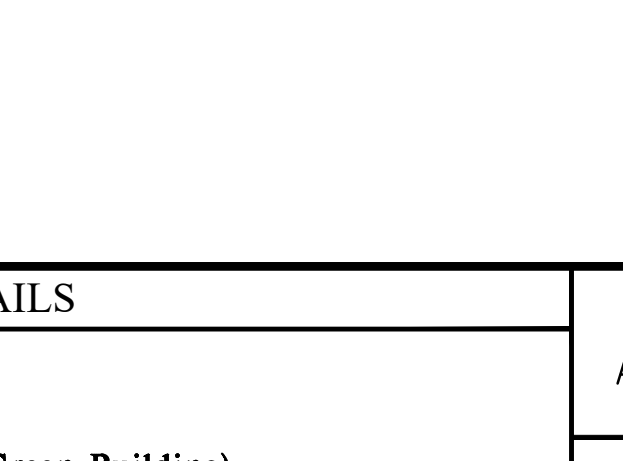
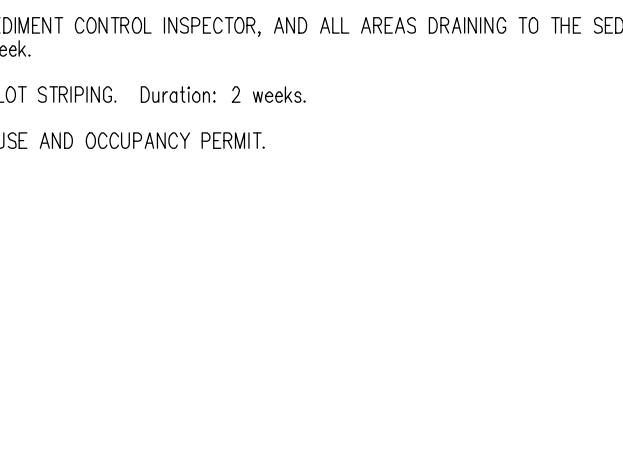
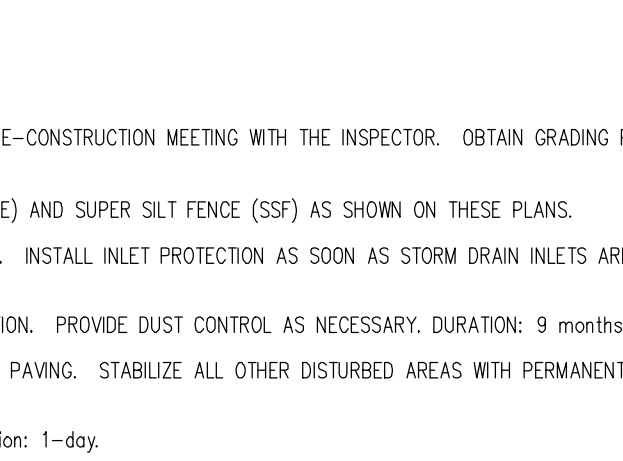
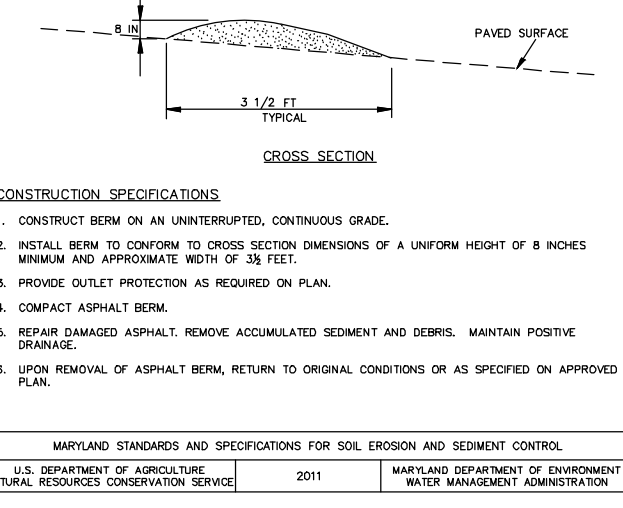
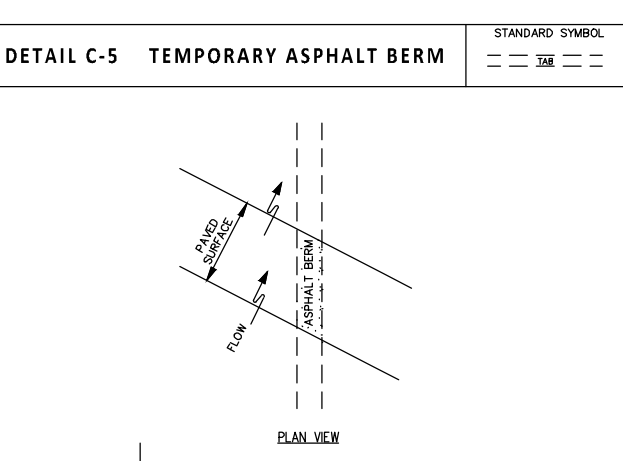
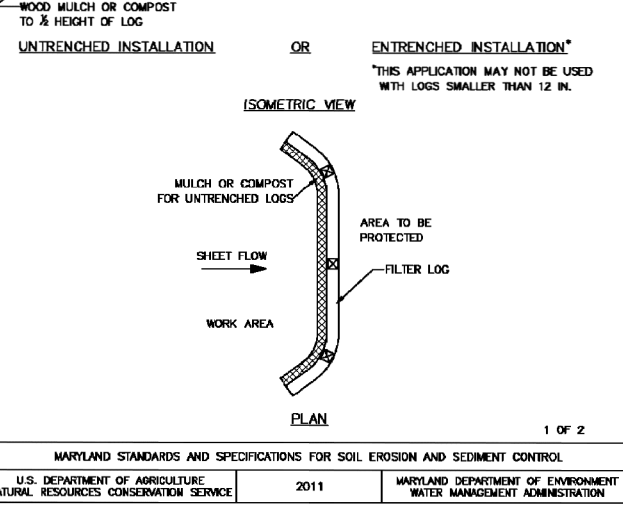
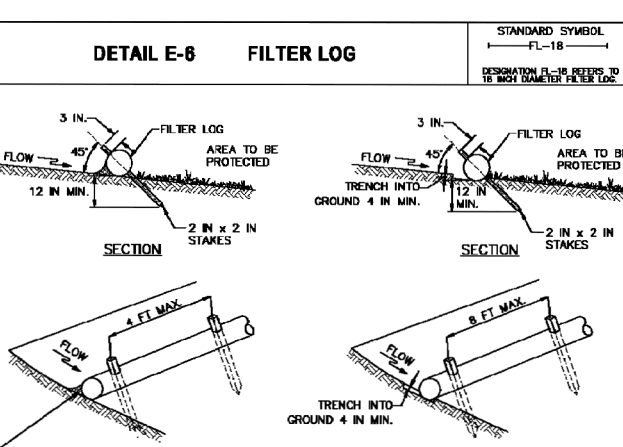
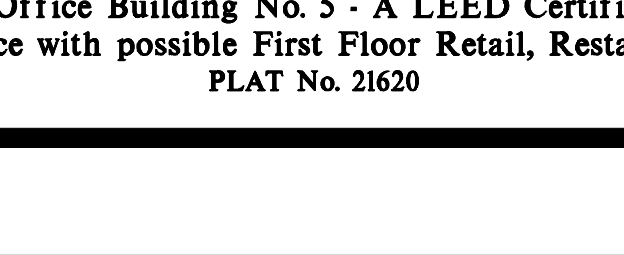
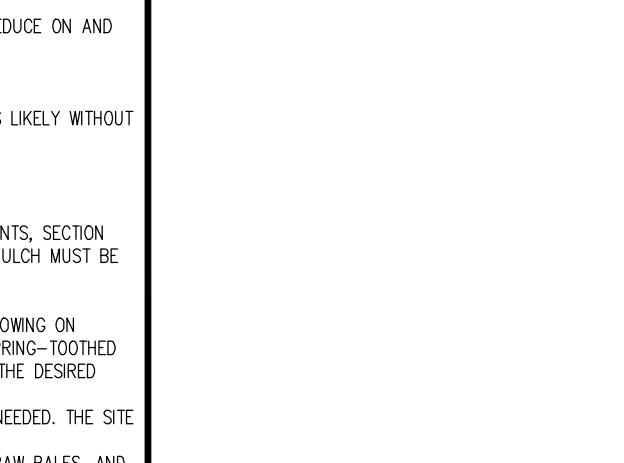
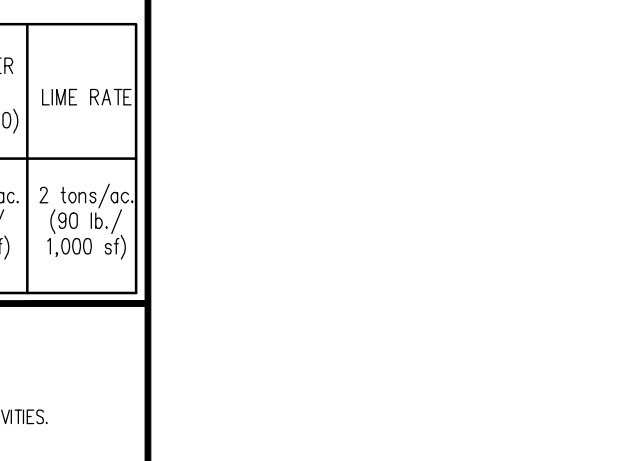
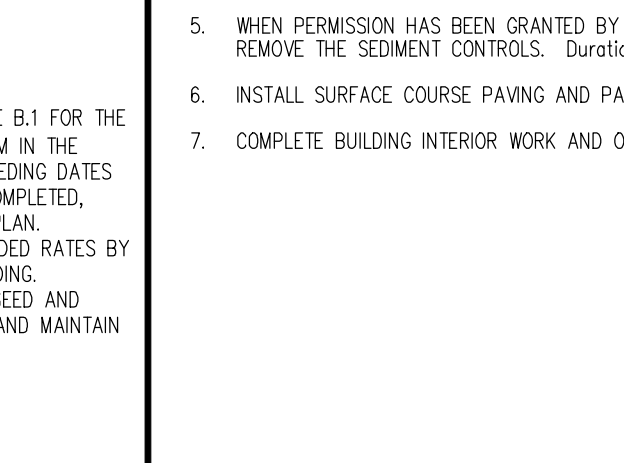
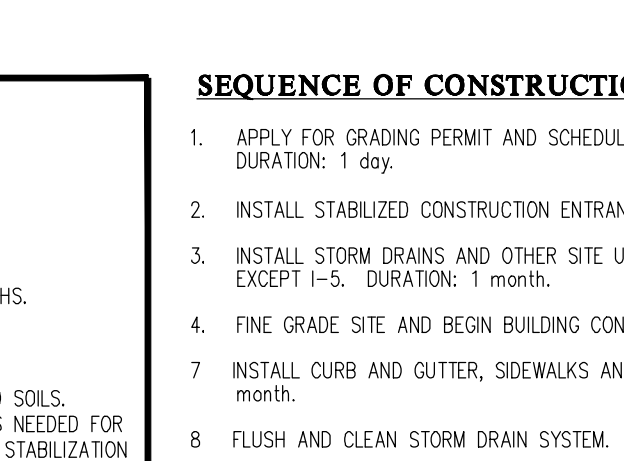
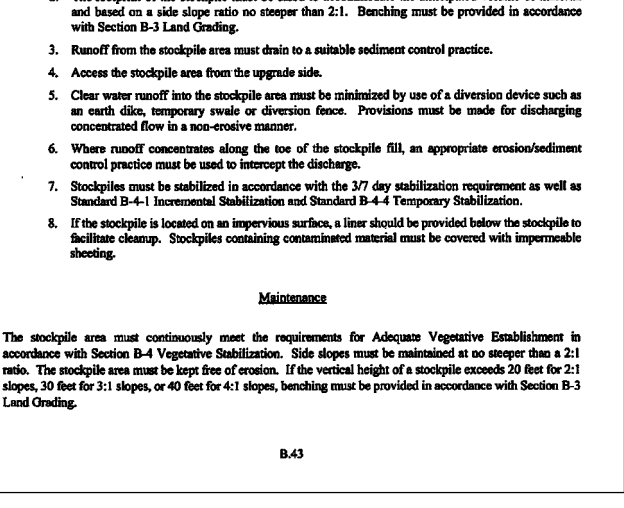
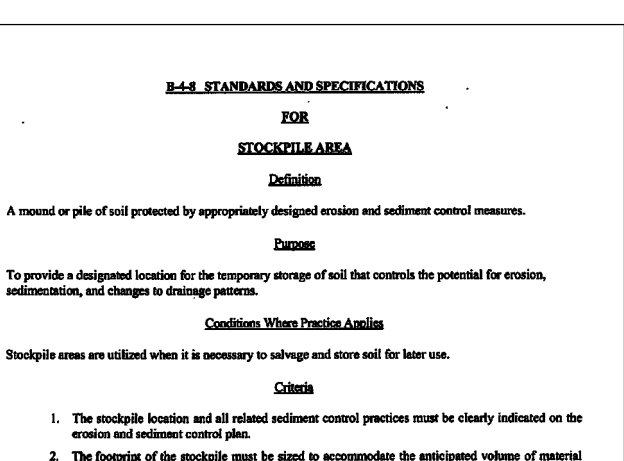
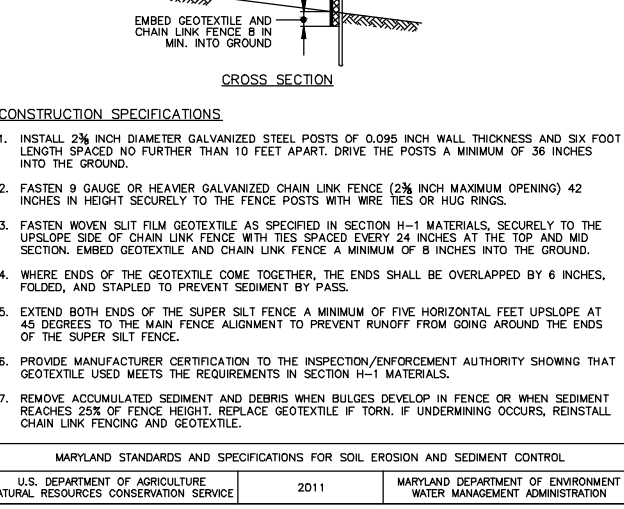
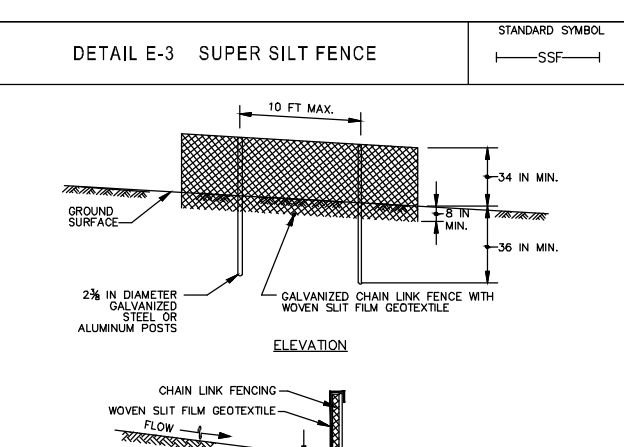
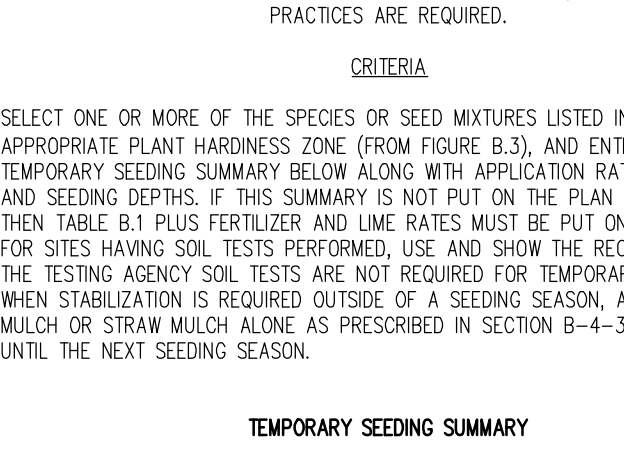
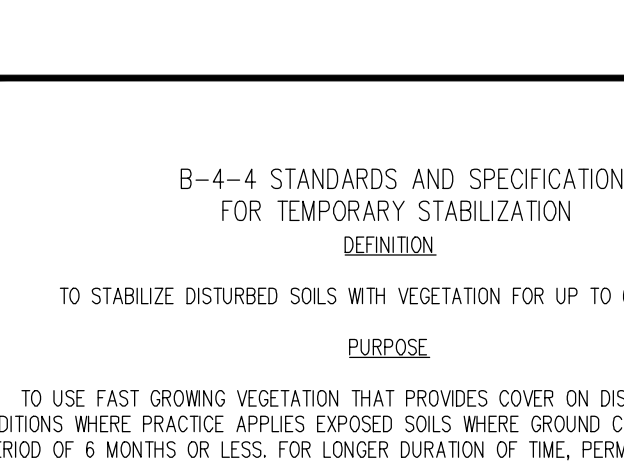
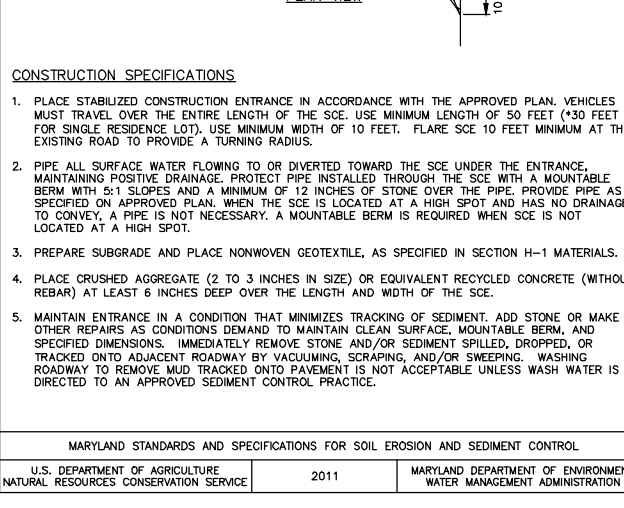
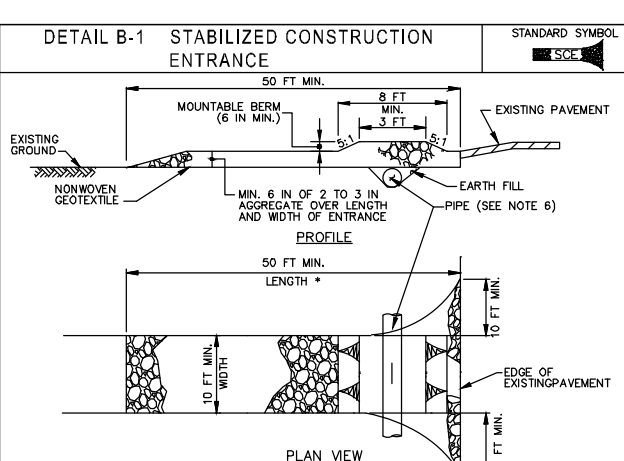
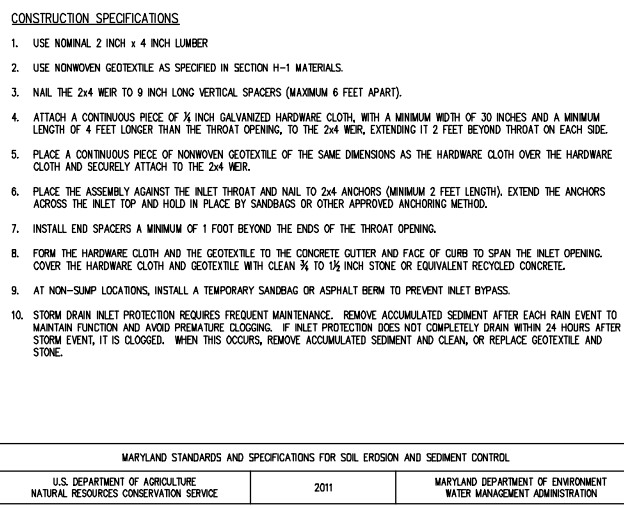
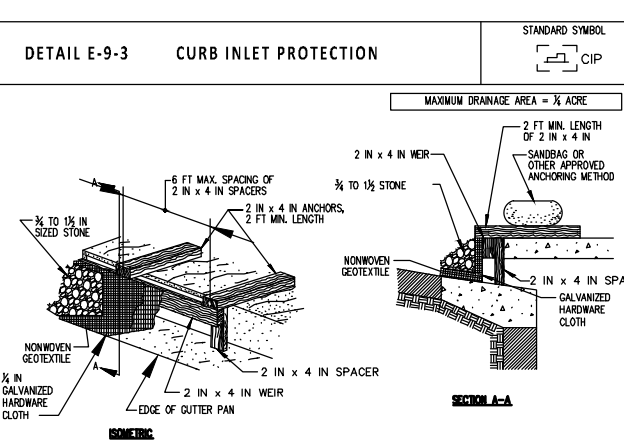
PERMANENT SEEDING SUMMARY
Table with columns: SEED MIXTURE, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE

TEMPORARY SEEDING SUMMARY
Table with columns: SEED MIXTURE, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE

1. GENERAL SPECIFICATIONS
a. CLASS OF TURFGRASS SOO MUST BE MARYLAND STATE CERTIFIED, SOO LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.
b. SOO MUST BE MACHINED OUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH PLUS OR MINUS 1/4 INCH AT THE TIME OF CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION...

2. SOO INSTALLATION
a. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SOO IMMEDIATELY PRIOR TO LAYING THE SOO.
b. LAY THE FIRST ROW OF SOO IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDED AGAINST EACH OTHER...

3. SOO MAINTENANCE
a. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES.
b. AFTER THE FIRST WEEK, SOO WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT.



DETAIL E-6 FILTER LOG
CONSTRUCTION SPECIFICATIONS
1. FABRIC TO BE METALLIC, CLEAR ALL OBSTRUCTIONS INCLUDING HOLES, CLOSURE AND DEBRIS DRAINAGE FROM ONE END THAT MAY INTERFERE WITH THE FLOW OF WATER THROUGH THE LOG.

DETAIL E-3 SUPER SILT FENCE
CONSTRUCTION SPECIFICATIONS
1. FABRIC TO BE METALLIC, CLEAR ALL OBSTRUCTIONS INCLUDING HOLES, CLOSURE AND DEBRIS DRAINAGE FROM ONE END THAT MAY INTERFERE WITH THE FLOW OF WATER THROUGH THE FENCE.

DETAIL B-1 STABILIZED CONSTRUCTION ENTRANCE
CONSTRUCTION SPECIFICATIONS
1. CONCRETE CURB TO BE UNREINFORCED, CONTINUOUS GRADE.

DETAIL E-5 FILTER LOG
CONSTRUCTION SPECIFICATIONS
1. FABRIC TO BE METALLIC, CLEAR ALL OBSTRUCTIONS INCLUDING HOLES, CLOSURE AND DEBRIS DRAINAGE FROM ONE END THAT MAY INTERFERE WITH THE FLOW OF WATER THROUGH THE LOG.

DETAIL E-6 FILTER LOG
CONSTRUCTION SPECIFICATIONS
1. FABRIC TO BE METALLIC, CLEAR ALL OBSTRUCTIONS INCLUDING HOLES, CLOSURE AND DEBRIS DRAINAGE FROM ONE END THAT MAY INTERFERE WITH THE FLOW OF WATER THROUGH THE LOG.

DETAIL C-5 TEMPORARY ASPHALT BERM
CONSTRUCTION SPECIFICATIONS
1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MARYLAND DEPARTMENT OF TRANSPORTATION AND PUBLIC SAFETY (MDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

DETAIL E-3 SUPER SILT FENCE
CONSTRUCTION SPECIFICATIONS
1. FABRIC TO BE METALLIC, CLEAR ALL OBSTRUCTIONS INCLUDING HOLES, CLOSURE AND DEBRIS DRAINAGE FROM ONE END THAT MAY INTERFERE WITH THE FLOW OF WATER THROUGH THE FENCE.

DETAIL B-1 STABILIZED CONSTRUCTION ENTRANCE
CONSTRUCTION SPECIFICATIONS
1. CONCRETE CURB TO BE UNREINFORCED, CONTINUOUS GRADE.

DETAIL E-5 FILTER LOG
CONSTRUCTION SPECIFICATIONS
1. FABRIC TO BE METALLIC, CLEAR ALL OBSTRUCTIONS INCLUDING HOLES, CLOSURE AND DEBRIS DRAINAGE FROM ONE END THAT MAY INTERFERE WITH THE FLOW OF WATER THROUGH THE LOG.

DETAIL E-6 FILTER LOG
CONSTRUCTION SPECIFICATIONS
1. FABRIC TO BE METALLIC, CLEAR ALL OBSTRUCTIONS INCLUDING HOLES, CLOSURE AND DEBRIS DRAINAGE FROM ONE END THAT MAY INTERFERE WITH THE FLOW OF WATER THROUGH THE LOG.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
DATE JANUARY 20, 2022
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
DATE 3/8/2022

DESIGNED BY: LAG
DRAWN BY: LAG
CHECKED BY: DEV
DATE: 3/8/2022

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DESIGNED BY: LAG
DRAWN BY: LAG
CHECKED BY: DEV
DATE: 3/8/2022

BUILDER'S CERTIFICATE
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

DESIGNED BY: LAG
DRAWN BY: LAG
CHECKED BY: DEV
DATE: 3/8/2022

PREPARED FOR:
OWNER: MFCO PARCEL 5, LLC
1829 RESTERSTOWN ROAD
SUITE 300
BALTIMORE, MD 21208
PH: 410-484-8400
ATTN: MARK BENNETT

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19278, EXPIRATION DATE: MAY 26, 2022

STANDARDS AND SPECIFICATIONS FOR DUST CONTROL
DEFINITION
CONTROLLING THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES.
PURPOSE
TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES TO REDUCE ON AND OFF-SITE DAMAGE INCLUDING HEALTH AND TRAFFIC HAZARDS.

DESIGNED BY: LAG
DRAWN BY: LAG
CHECKED BY: DEV
DATE: 3/8/2022

SEDIMENT CONTROL NOTES AND DETAILS
MAPLE LAWN FARMS
Business District - Area 1
Parcel 'C-26' (Office Building No. 5 - A LEED Certified Green Building)
(Proposed Office Space with possible First Floor Retail, Restaurant, or Personal Service)
PLAT No. 21620

SCALE: AS SHOWN
ZONING: MXD-3
G. L. W. FILE NO.: 21067
DATE: FEB. 2022
TAX MAP - GRID: 46: 3&4
SHEET: 8 OF 11

DESIGNED BY: LAG
DRAWN BY: LAG
CHECKED BY: DEV
DATE: 3/8/2022

DESIGNED BY: LAG
DRAWN BY: LAG
CHECKED BY: DEV
DATE: 3/8/2022



STANDARD LANDSCAPE NOTES

1. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
2. THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

LANDSCAPE SURETY

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. 13 SHADE TREES AND 167 SHRUBS HAVE BEEN PROVIDED TO MEET THE LANDSCAPE MANUAL.

A LANDSCAPE SURETY IN THE AMOUNT OF \$9,910.00 TO BE POSTED WITH THE GRADING PERMIT.

REFER TO SHEET 11 OF 11 FOR LANDSCAPE CALCULATIONS, DETAILS, NOTES, AND ENLARGED FOUNDATION PLANTING PLAN.

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL AND THE MLF LANDSCAPE DESIGN CRITERIA. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

R. Watsic 2/18/22
 NAME DATE

PLANT LIST

KEY	QTY.	BOTANICAL NAME COMMON NAME	SIZE	CONDITION	REMARKS
PARKING LOT & STREET TREE PLANTING (THIS SHEET)					
⊕	2	ACER FREEMANII 'JEFFSRED' AUTUMN BLAZE RED MAPLE	2.5'-3" CAL.	B&B	FULL HEAVY SPECIMEN, HEADED TO 7' HT.
⊗	6	BETULA NIGRA 'HERITAGE' HERITAGE RIVER BIRCH	10 - 12' HT.	B&B	CLUMP FORM - 3-4 STEMS
⊙	7	NYSSA SYLVATICA 'GREEN GABLE' GREEN GABLE BLACK GUM	2.5'-3" CAL.	B&B	FULL HEAVY SPECIMEN, HEADED TO 7' HT.
⊕	4	PLATANUS X ACERIFOLIA 'BLOODGOOD' BLOODGOOD LONDON PLANE TREE	2.5'-3" CAL.	B&B	FULL HEAVY SPECIMEN, HEADED TO 7' HT.
⊙	27	ULMUS AMERICANA 'PRINCETON' PRINCETON AMERICAN ELM	2.5'-3" CAL.	B&B	FULL HEAVY SPECIMEN, HEADED TO 7' HT.
FOUNDATION PLANTING (SHEET 11 OF 11)					
⊗	6	LAGERSTROEMIA X 'MIAMI' MIAMI CRAPEMYRTLE	10'-12' HT.	B&B	FULL HEAVY SPECIMEN, 4 STEMS, MATCHED
⊙	3	MAGNOLIA VIRGINIANA 'MOONGLOW' MOONGLOW SWEETBAY MAGNOLIA	10'-12' HT.	B&B	FULL HEAVY SPECIMEN, CLUMP, MATCHED
⊗	32	ABELIA X 'CANYON CREEK' CANYON CREEK 'ABELIA'	24-30" HT.	CONT.	FULL, HEAVY, SPACED 4' O.C.
⊗	59	BUXUS MICROPHYLIA JAPONICA 'WINTER GEM' WINTER GEM BOXWOOD	24-30" HT.	CONT.	FULL, HEAVY, SPACED 3' O.C.
⊗	9	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN' SNOW QUEEN OAKLEAF HYDRANGEA	30-36" HT.	CONT.	FULL, HEAVY, SPACED 5' O.C.
⊗	47	HYDRANGEA PAN. 'LITTLE LIME' LITTLE LIME HYDRANGEA	24-30" HT.	CONT.	FULL, HEAVY, SPACED 3' O.C. STAGGERED
⊗	28	JUNIPERUS CONFERTA 'BLUE PACIFIC' BLUE PACIFIC JAPANESE SHORE JUNIPER	18"-24" SPREAD	CONT.	FULL, SPACED 3' O.C. STAGGERED
⊗	32	RHUS AROMATICA 'GRO-LOW' GROW LOW SUMAC	18"-24" SPREAD	CONT.	FULL, SPACED 3' O.C. STAGGERED
⊗	7	VIBURNUM X PRAGENISE PRAGUE VIBURNUM	2.5'-3" HT.	CONT.	FULL, SPACED 5' O.C. STAGGERED
⊗	133	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTERI' KARL FOERSTER FEATHER REED GRASS		#1	FULL, SPACED 24" O.C. STAGGERED
⊗	155	AMSONIA X 'BLUE ICE' BLUE STAR		#1	FULL, SPACED 18" O.C. STAGGERED
⊗	30	HEMEROCALIS 'HAPPY RETURNS' HAPPY RETURNS DAYLILY		#1	FULL, SPACED 18" O.C. STAGGERED
⊗	3815	LIRIOPE MUSCARI 'BIG BLUE' BIG BLUE LILYTURF		4" POTS	SPACED 8" O.C. (STAGGERED)

APPROVED
PLANNING BOARD OF HOWARD COUNTY

DATE JANUARY 20, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Amy Groman 3/8/2022
 Date

Chad Edmondson 3/4/2022
 Date

Chief, Development Engineering Division

DESIGNED BY:	DATE	REVISION	BY	APPR.
DML				
DRAWN BY:				
MRV				
CHECKED BY:				
DML				

DATE	REVISION	BY	APPR.

PREPARED FOR:

OWNER: MAPLE LAWN C.C. STATUTORY TRUST
 1829 REISTERSTOWN ROAD
 SUITE 300
 BALTIMORE, MD 21208
 PH: 410-484-8400
 ATTN: MARK BENNETT

DEVELOPER: ST. JOHN PROPERTIES
 2560 LORD BALTIMORE DR.
 BALTIMORE, MD 21244
 PH: 410-788-0100
 ATTN: KAREN WATCIC

HUMAN & ROHDE, INC.
 Landscape Architects
 512 Virginia Ave.
 Towson, Maryland 21286
 (410) 825-3885 Phone
 (410) 825-3887 Fax 02/21/22

LANDSCAPE PLAN

MAPLE LAWN FARMS
 Business District - Area 1
 Parcel 'C-26' (Office Building No. 5 - A LEED Certified Green Building)
 (Proposed Office Space with possible First Floor Retail, Restaurant, or Personal Service)
 PLAT No. 21620

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	MXD-3	21067
DATE	TAX MAP - GRID	SHEET
Feb. 18, 2022	46: 3&4	10 OF 11

