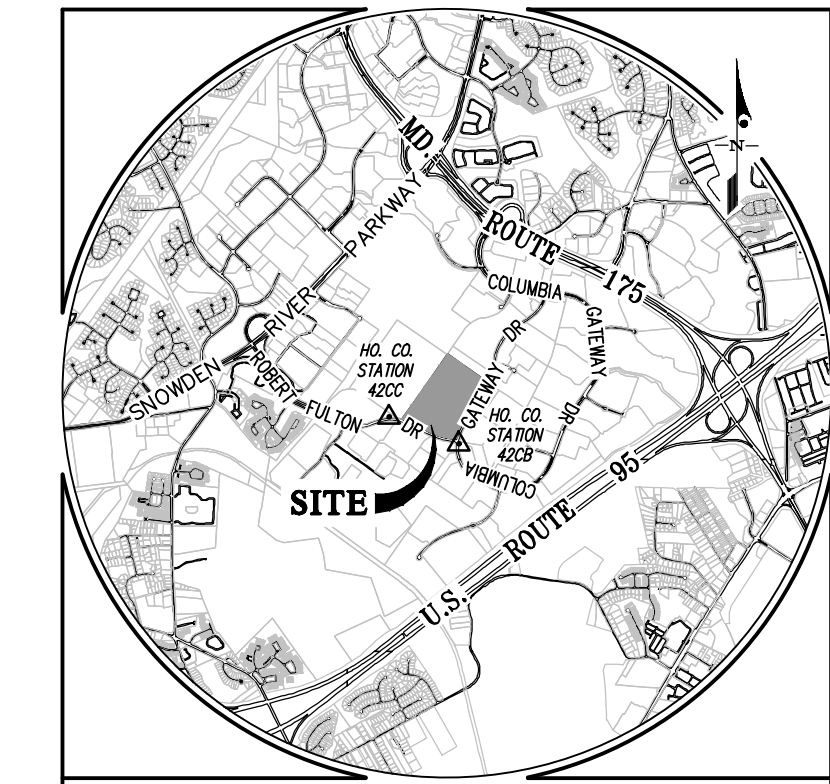


SITE DEVELOPMENT PLAN

UNITED WAY DAY CARE

COLUMBIA GATEWAY

PARCEL L



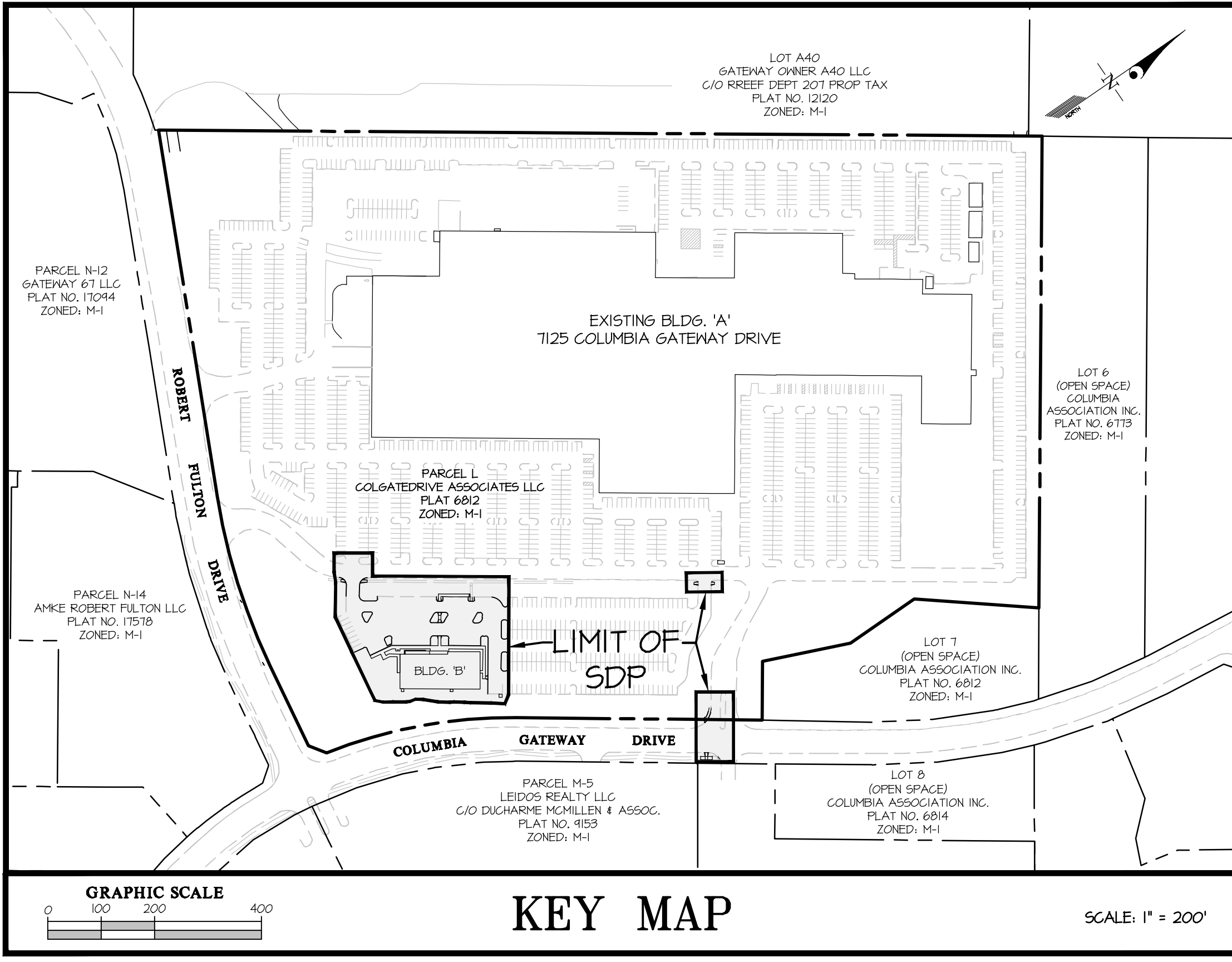
VICINITY MAP
ADC MAP PAGE 5054, GRID A2 SCALE: 1" = 4,000'

BENCHMARKS

42CB	ELEV. 535.482	N = 544,520.821	E = 1566,921.935
42CC	ELEV. = 345.984	N = 544,876.161	E = 1564,875.071

GENERAL NOTES

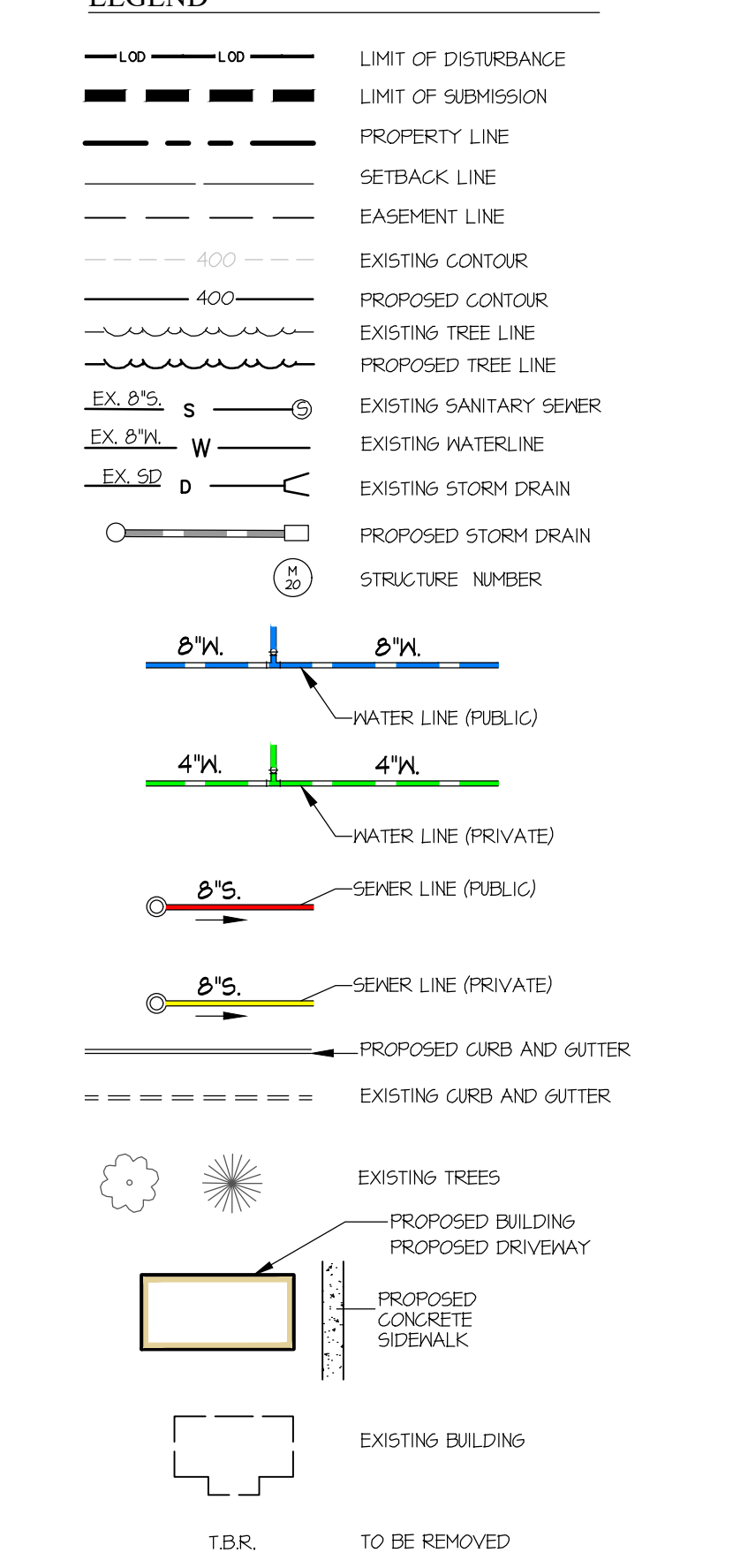
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-251-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- PROJECT BACKGROUND:
LOCATION: TAX MAP #43, GRID 1
ZONING: M-1
ELECTION DISTRICT: 6TH
PARCEL AREA: 31.08 AC.
RECORDING REFERENCE: PLAT NO. 6812 (PARCEL L), PLAT NO. 25155 (WATER EASEMENT)
- PROPOSED USE: DAY CARE FACILITY (BUILDING 'B')
- ALL PLAN DIMENSIONS ARE TO FACE OF BUILDING AND/OR FACE OF CURB UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY GLW DATED OCTOBER 2020 AS WELL AS GRADES TAKEN FROM DESIGN PLANS FOR CONSTRUCTION AND HOWARD COUNTY GIS.
- COORDINATES AND BEARINGS ARE BASED UPON THE 83 ND STATE COORDINATE SYSTEM (NAD 83) AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 42CB AND 42CC. ALL ELEVATIONS ARE IN VERTICAL DATUM NAVD 88.
- PROPERTY IS ZONED M-1 PER THE 10/06/13 COMPREHENSIVE ZONING PLAN.
- PREVIOUS DEPARTMENT OF PLANNING & ZONING FILE NUMBERS:
5-84-044, P-86-061, P-86-121, SDF-86-258, SDF-87-146, SDF-91-094, & EGP-21-024.
- PROPOSED WATER AND SEWER EXTENSIONS ARE PUBLIC PER ADO #1115 COLUMBIA GATEWAY DRIVE.
- EXISTING WATER IS PER CONTRACT #44-1534-D AND EXISTING SEWER IS PER CONTRACT #24-1440-D.
- ALL EXISTING PUBLIC STORM DRAIN ON-SITE IS PER SDF-91-094.
- THIS SITE QUALIFIES FOR REDEVELOPMENT UNDER MDE CRITERIA. STORMWATER MANAGEMENT FOR THIS SITE WILL BE PROVIDED IN ACCORDANCE WITH CHAPTER 5 OF THE MDE STORMWATER DESIGN MANUAL. IN ORDER TO FULFILL THE STORMWATER MANAGEMENT REQUIREMENTS A STORMWATER (SC) WILL BE USED. THE STORMWATER WILL BE PRIVATELY OWNED AND MAINTAINED.
- EXISTING UTILITIES ARE BASED ON APPROVED DESIGN PLANS FOR CONSTRUCTION AND FIELD LOCATION BY GLW.
- THERE ARE NO KNOWN CEMETERIES, GRAVE SITES OR HISTORIC STRUCTURES LOCATED ON THE SUBJECT PROPERTY.
- THERE ARE NO SCENIC ROADS WITHIN OR ADJACENT TO THE SUBJECT PROPERTY.
- THERE ARE NO FLOODPLAINS ON THIS SITE.
- THERE ARE NO WETLANDS ON THE SITE.
- THIS PROPERTY IS WITHIN THE METROPOLITAN DISTRICT.
- BUILDING SETBACKS AND BUILDING RESTRICTIONS ARE PER THE HOWARD COUNTY ZONING REGULATIONS, SECTION 122.01, M-1 (MANUFACTURING- LIGHT) DISTRICT.
- BECAUSE THIS PLAN SUBMISSION IS NON-RESIDENTIAL, A NOISE STUDY IS NOT REQUIRED.
- THIS PLAN IS PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL WITH 34 SHADE TREES, AND 13 EVERGREEN TREES. A LANDSCAPE SURETY IN THE AMOUNT OF \$400.00 WILL BE POSTED AS PART OF THE DPM DEVELOPER AGREEMENT.
- THIS SITE IS EXEMPT FROM THE FOREST CONSERVATION ORDINANCE IN ACCORDANCE WITH SECTION 16.1202(B)(1)(II), A PLANNED OFFICE PARK OF AT LEAST 75 ACRES WHICH HAS PRELIMINARY APPROVED BEFORE 12/9/12.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY GOROVE/SLADE, TRANSPORTATION PLANNERS AND ENGINEERS, DATED DECEMBER 8, 2020, AND WAS APPROVED ON FEBRUARY 12, 2021.
- HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
- THE OWNER OF PARCEL L, COLGATEDRIVE ASSOCIATES, LLC, AND ALL SUCCESSORS WILL COOPERATE AND COORDINATE WITH THE DESIGN AND CONSTRUCTION OF THE ROBERT FULTON DRIVE PATHWAY PROJECT AND ASSOCIATED PEDESTRIAN CROSSING LOCATIONS FROM ROBERT FULTON DRIVE TO PARCEL L. THE COORDINATION SHALL INCLUDE LOCATION OF FUTURE UTILITIES AND LANDSCAPE FEATURES TO FACILITATE PROJECT DELIVERY.
- OFFSITE IMPROVEMENTS FOR THIS SITE INCLUDE THE FOLLOWING:
1) ADDITION OF (2) ADA ACCESSIBLE SIDEWALK RAMPS ON-SITE SOUTH OF THE ENTRANCE FROM COLUMBIA GATEWAY DRIVE.
2) ADDITION OF (2) SIDEWALK RAMPS ON COLUMBIA GATEWAY DRIVE AT THE ENTRANCE TO THE SITE.
3) RE-STRIPING OF THE EXISTING CROSSWALK ACROSS COLUMBIA GATEWAY DRIVE.



SITE ANALYSIS DATA

- ZONING: M-1
- GROSS AREA OF PARCEL L = 165,248 SF, OR 31.08 AC.
- DEED REFERENCE: L-4649 F. 411
- LIMIT OF DISTURBED AREA = 1.08 AC.
- PROPOSED USE: DAY CARE FACILITY - 10,052 SF (BUILDING 'B')
- BUILDING COVERAGE (% OF GROSS SITE AREA):
EX. BUILDING 'A': 650,980 SF, OR 14.94 AC.
PROP. BUILDING 'B': 10,052 SF, OR 0.23 AC.
TOTAL BUILDING COVERAGE = 14.94 AC. + 0.23 AC. = 15.17 AC.
= 40.91% OF PARCEL L (31.08 AC.)
- APPLICANT/OWNER: COLGATEDRIVE ASSOCIATES LLC
6711 COLUMBIA GATEWAY DRIVE, SUITE 300
COLUMBIA, MD 21046
ATTN: THOMAS FAHS
TEL: (443) 285-5647
- ZONING STANDARDS: M-1 ZONE ALLOWED
 - BUILDING HEIGHT (SEC. 122.01.D): 50 FT.
 - MINIMUM STRUCTURE & USE SETBACK
 - FROM ANY EXTERNAL PUBLIC STREET R/W, EXCEPT PARKING USES AND FENCES ADJOINING PARKING USES: 50 FT. 30 FT.
 - FROM ANY INTERNAL PUBLIC STREET R/W, EXCEPT PARKING USES AND FENCES ADJOINING PARKING USES: 50 FT. 10 FT.
 - FROM ANY RESIDENTIAL DISTRICT, EXCEPT RESIDENTIAL USES IN A CAG OR TOD DISTRICT: 100 FT. 75 FT.
- PARKING ANALYSIS:
REQUIRED PARKING (EX. BLDG. 'A'):
GENERAL OFFICE: 321,524 SF @ 3.3 SF/1,000 SF = 1,062 SP*
WAREHOUSE: 202,714 SF @ 0.75 SF/1,000 SF = 153 SP*
INDOOR COMM REG: 841,52 SF @ 5.0 SF/1,000 SF = 446 SP*
NON LEASEABLE: 37,945 SF @ 0.0 SF/1,000 SF = 0 SP*
EX. BLDG. 'A' SUBTOTAL SP REQUIRED = 1,661 SP
TOTAL BUILDING 'A' SF = 660,990 SF*
(*PER SDF-99-054)
REQUIRED PARKING (PROP. BLDG. 'B'):
DAYCARE FACILITY: 10,052 SF @ 3.0 SF/1,000 SF = 3 SP
SITE TOTALS:
TOTAL REQUIRED PARKING = 1,662 SP
TOTAL PROVIDED PARKING = 1,626 SP
TOTAL REQUIRED HG PARKING = 21 SP
TOTAL PROVIDED HG PARKING = 45 SP

LEGEND

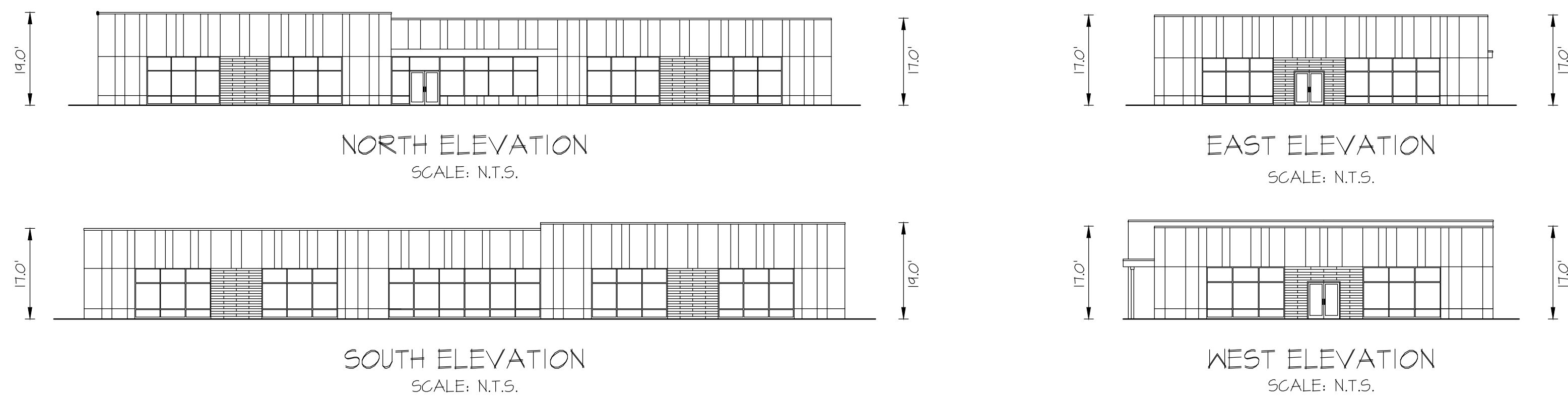


KEY MAP

SHEET INDEX

- COVER SHEET
- EXISTING CONDITIONS & DEMOLITION PLAN
- SITE DEVELOPMENT PLAN
- SITE PLAN DETAILS
- SITE PLAN DETAILS
- GRADING PLAN
- UTILITY PLAN & PROFILES
- SEDIMENT CONTROL PLAN
- SEDIMENT CONTROL NOTES AND DETAILS
- LANDSCAPE PLAN
- LANDSCAPE PLAN - NOTES AND DETAILS
- STORM DRAIN & SWM DRAINAGE AREA MAP

BUILDING ELEVATIONS



APPROVED: HOWARD COUNTY HEALTH DEPARTMENT
FOR PUBLIC WATER AND PUBLIC SEWER

Countysigned by: Michael J. Davis
Date: 5/21/2021

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Countysigned by: Amy Brown
Date: 5/21/2021

Chief, Land Development: Chad Edmondson
Date: 5/20/2021

Chief, Engineering Division

GLW
PLANNING | ENGINEERING | SURVEYING

3809 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	EWM				
DRAWN BY:	EWM				
CHECKED BY:	DDS				
DATE		REVISION		BY	APPR.

OWNER/DEVELOPER:
COLGATEDRIVE ASSOCIATES, LLC
6711 COLUMBIA GATEWAY DRIVE
SUITE 300
COLUMBIA, MD 21046
ATTN: THOMAS FAHS
TEL: 443-285-5647

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2022

05/19/21

COVER SHEET

UNITED WAY DAYCARE
COLUMBIA GATEWAY
PARCEL L
PLAT No. 6812

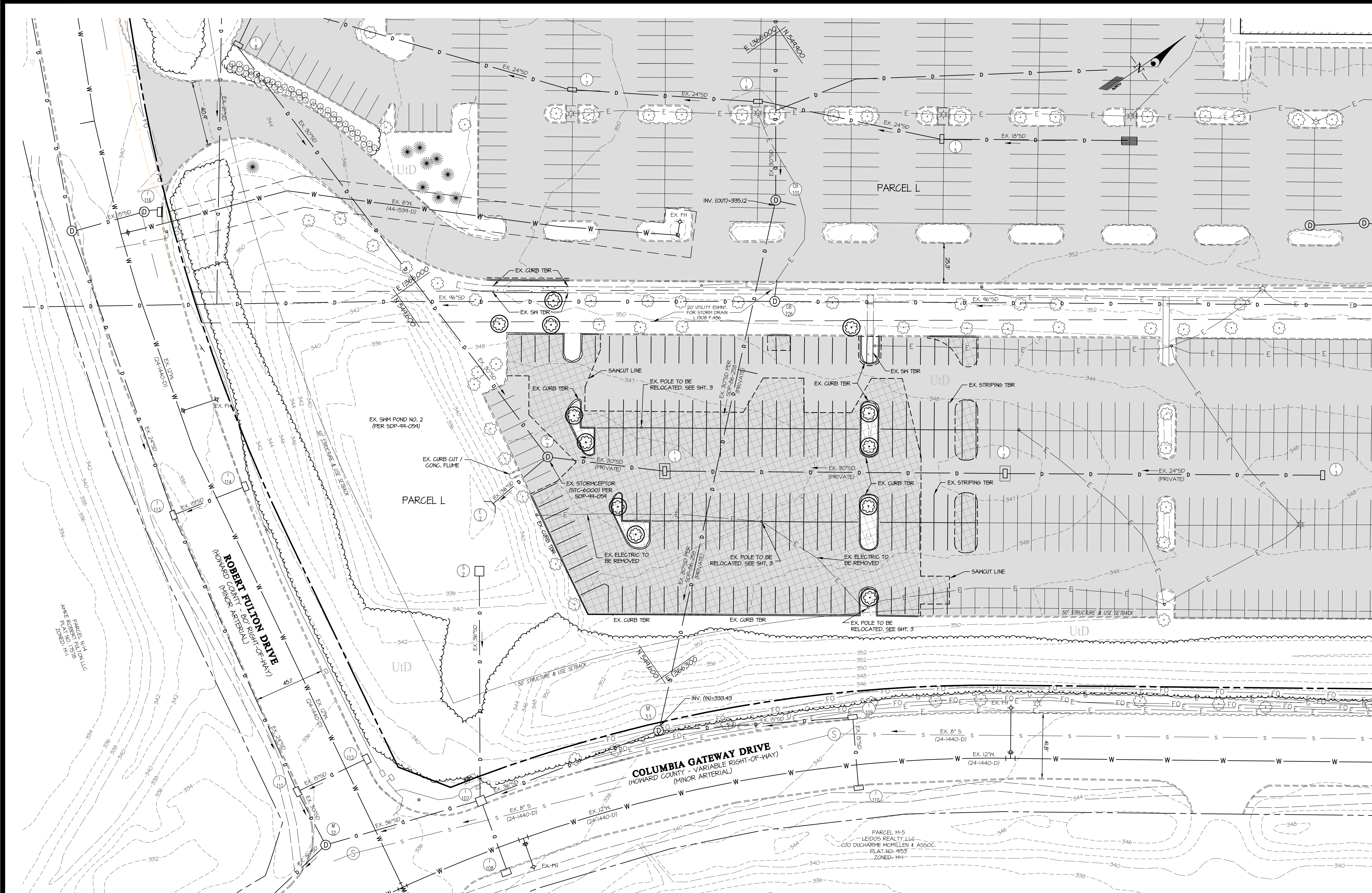
ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	M-1	20133
DATE	TAX MAP - GRID	SHEET
FEB., 2021	43-01	1 OF 12

ADDRESS AND PERMIT INFORMATION CHART

BUILDING ADDRESS: 7115 COLUMBIA GATEWAY DRIVE, COLUMBIA, MD 21046				
SUBDIVISION NAME: COLUMBIA GATEWAY	SECTION/AREA: SECTION: N/A AREA: N/A	PARCEL: PARCEL L		
PLAT REFERENCE: 6812 (PARCEL L) 25155 (WATER EASEMENT)	ZONE: M-1	TAX MAP: 43	GRID: 1	ELECTION DISTRICT: 6
WATER & SEWER WATERSHED: E06 & 5333000		CENSUS TRACT: 6067.07		



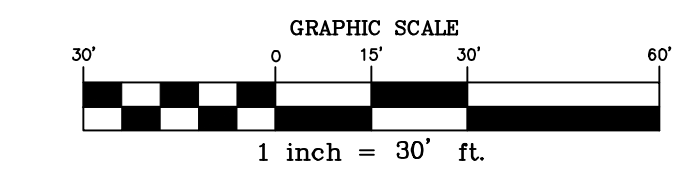
LEGEND

- EXISTING CURB
- EXISTING CURB TO BE REMOVED
- SANICUT LINE
- EXISTING UTILITY POLE
- EXISTING TREE TO BE REMOVED
- EXISTING PAVING TO BE REMOVED

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Amy Brown 5/21/2021
 Director of Planning & Zoning

Chad Edmondson 5/20/2021
 Chief of Planning & Zoning



GLW
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 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	DATE	REVISION	BY	APPR.

DRAWN BY:				

CHECKED BY:				

OWNER/DEVELOPER:
 COLGATEDRIVE ASSOCIATES, LLC
 6711 COLUMBIA GATEWAY DRIVE
 SUITE 300
 COLUMBIA, MD 21046
 ATTN: THOMAS FAHS
 TEL: 443-285-5647

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12915, EXPIRATION DATE: MAY 26, 2022

05/13/21

EXISTING CONDITIONS & DEMOLITION PLAN

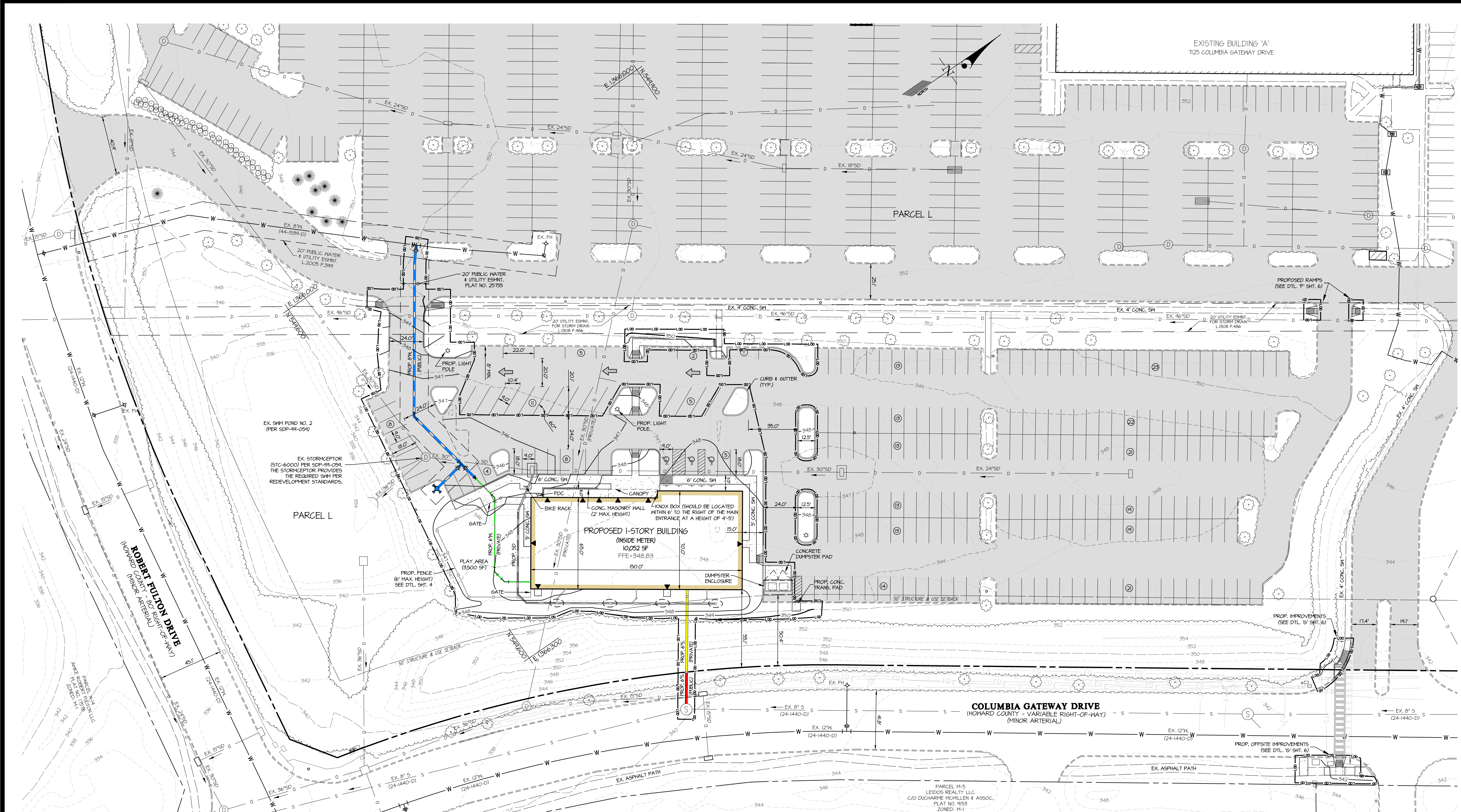
**UNITED WAY DAYCARE
 COLUMBIA GATEWAY
 PARCEL L**
 PLAT No. 6812

ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	M-1	20133
DATE	TAX MAP - GRID	SHEET
FEB., 2021	43-01	2 OF 12

L: CAD/DRAWINGS/2013/PLANS BY GLW/SDP/2013-SDP-02-EX-COND-DEMO.dwg
 PLOTTED: 4/29/2021 8:46 PM, LAST SAVED: 4/27/2021 11:28 AM, PLOTTED BY: Eton, Michael
 © GLW 2021



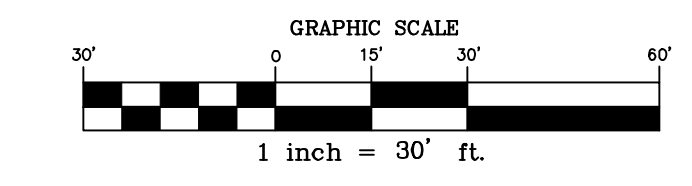
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Designated by: Amy Gosman Date: 5/21/2021

Directed by: [Signature] Date: 5/19/2021

Checked by: Chief, Planning & Land Development Date: 5/20/2021

Chief, David [Signature] Engineering Division Date: _____



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DESIGNED BY:	DATE	REVISION	BY	APPR.
EWM				
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EWM				
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05/13/21

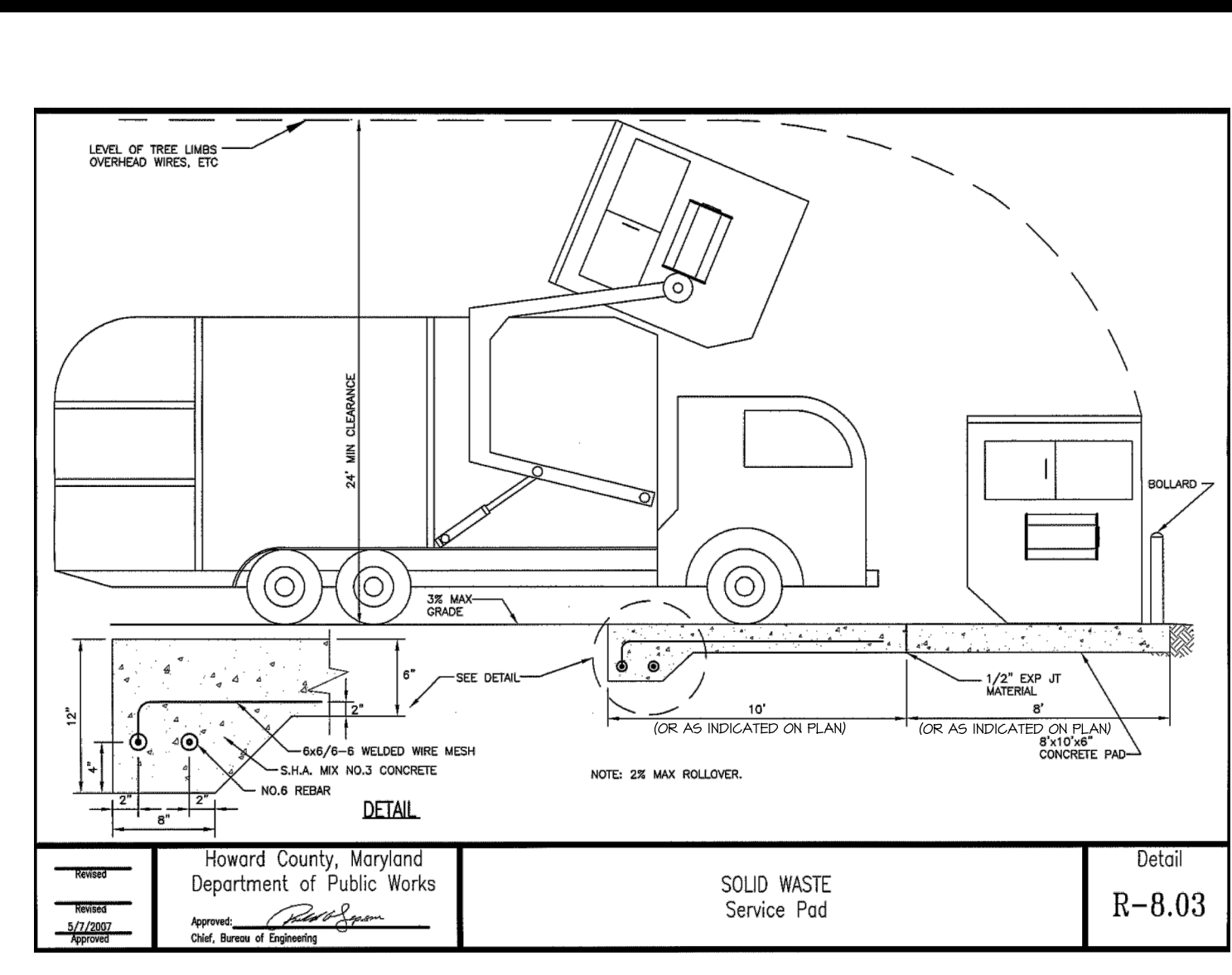
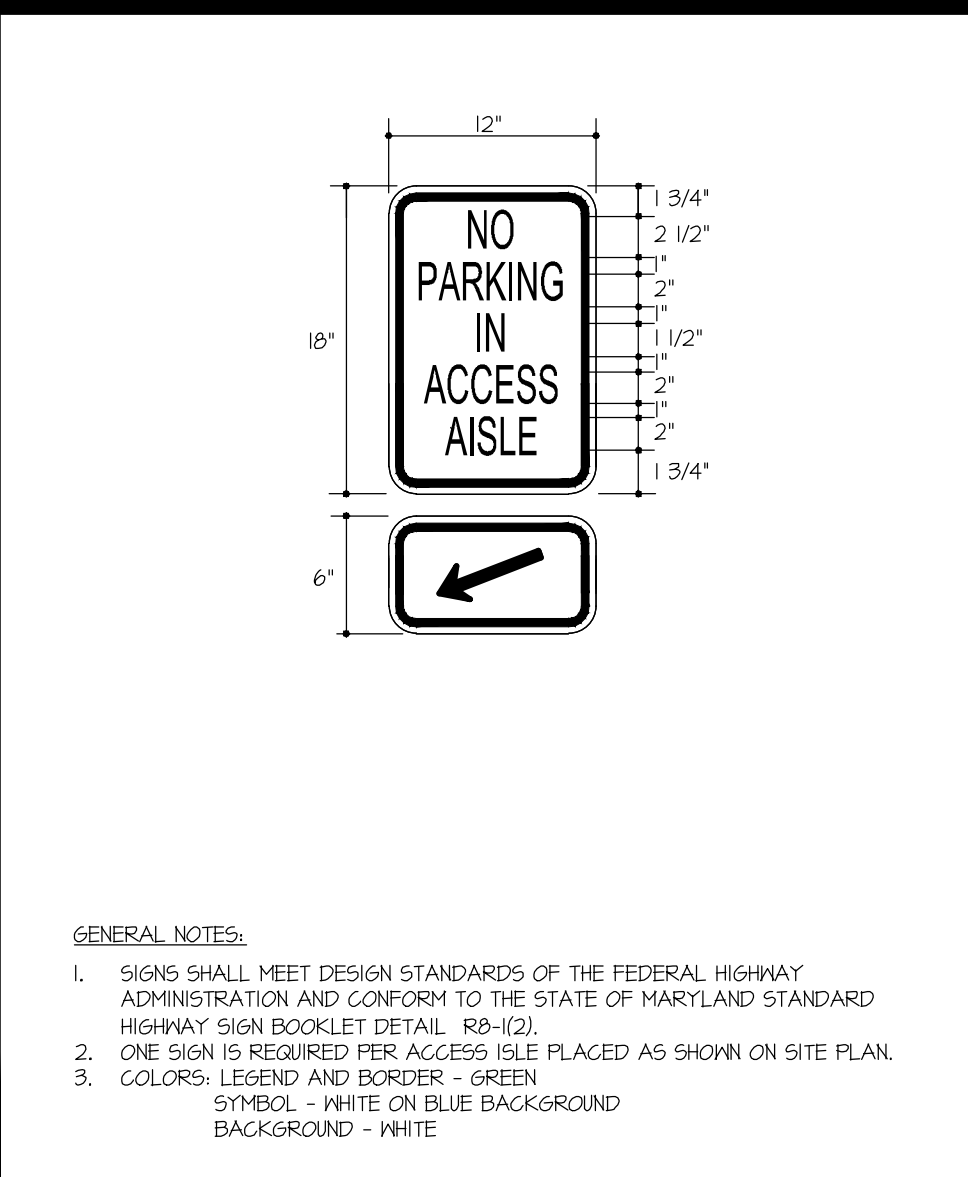
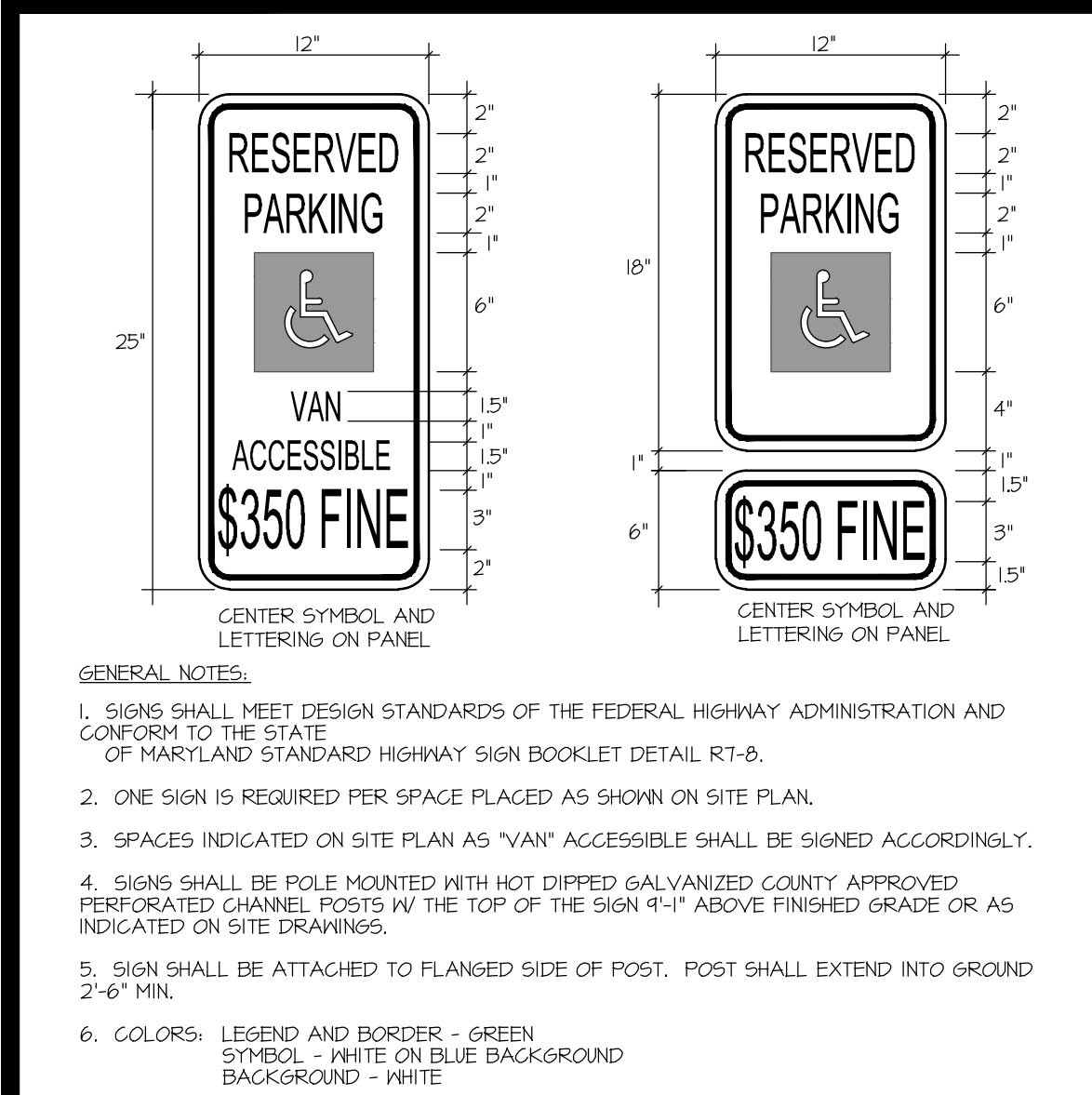
SITE DEVELOPMENT PLAN

UNITED WAY DAYCARE
COLUMBIA GATEWAY
PARCEL L
PLAT NO. 6812

ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	M-1	20133
DATE	TAX MAP - GRID	SHEET
FEB., 2021	43-01	3 OF 12

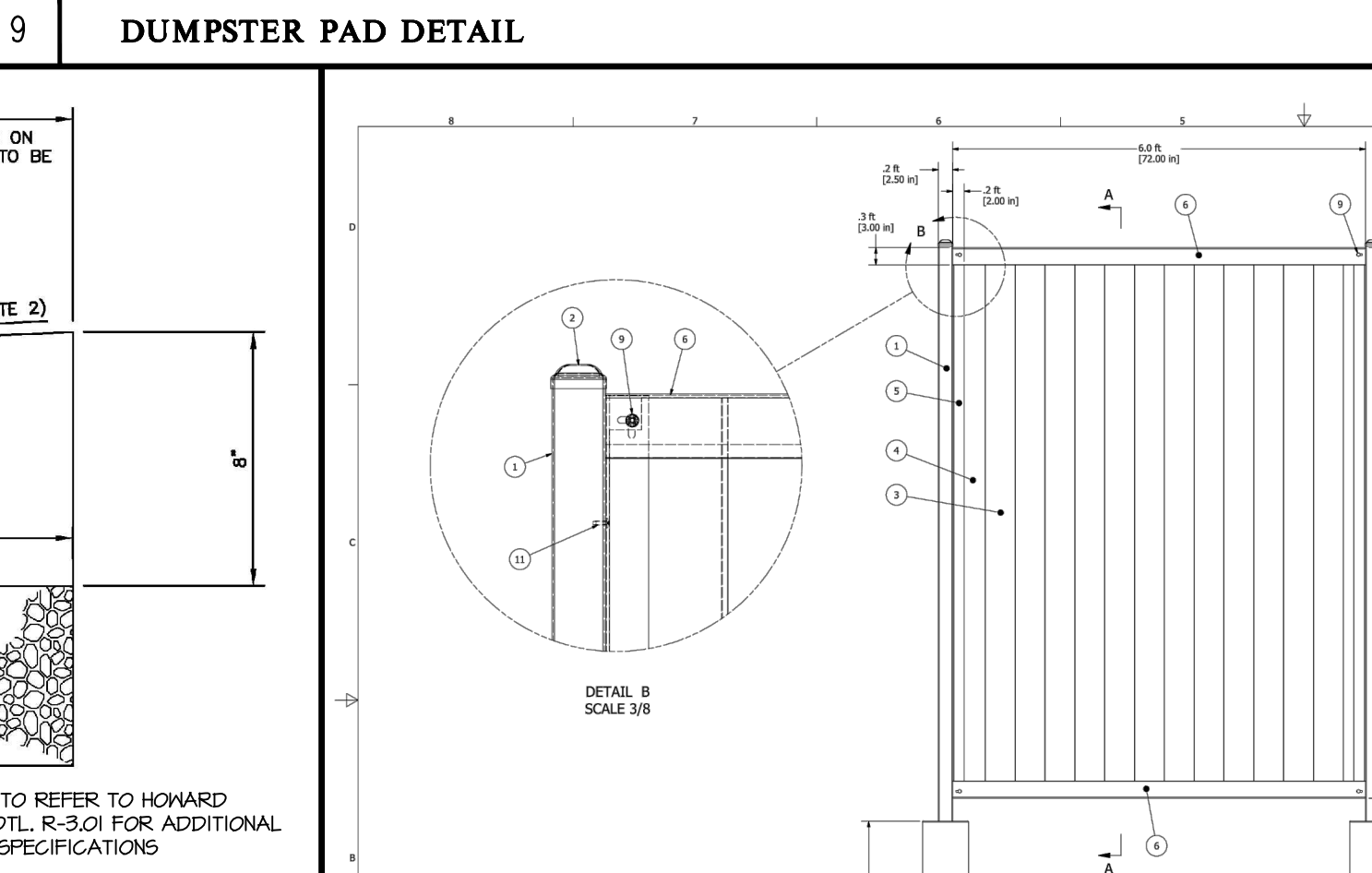
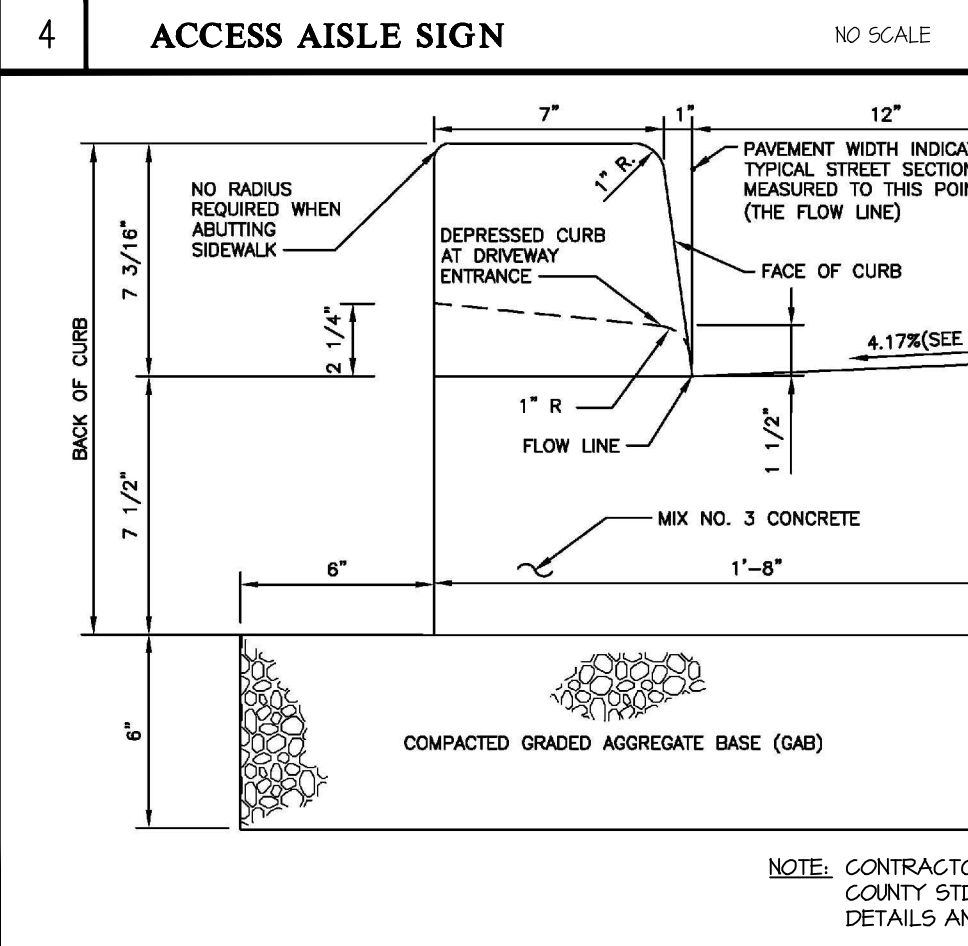
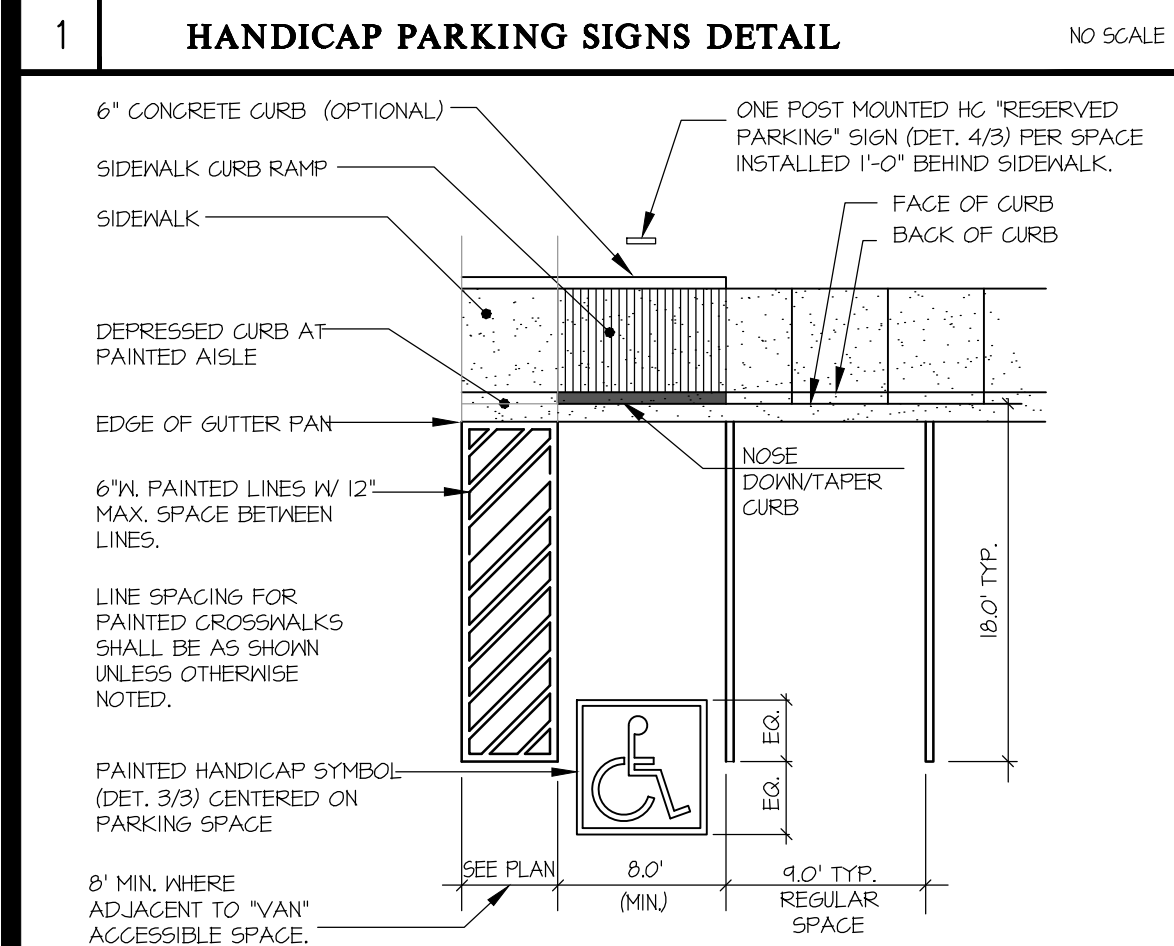


SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)	3 TO <5		5 TO <7		7 TO <9		9 TO <12	
			MIN. SUPERPAVE ASPHALT MIX WITH GAB	SUPERPAVE ASPHALT MIX WITH CONSTANT GAB	MIN. SUPERPAVE ASPHALT MIX WITH GAB	SUPERPAVE ASPHALT MIX WITH CONSTANT GAB	MIN. SUPERPAVE ASPHALT MIX WITH GAB	SUPERPAVE ASPHALT MIX WITH CONSTANT GAB	MIN. SUPERPAVE ASPHALT MIX WITH GAB	SUPERPAVE ASPHALT MIX WITH CONSTANT GAB
P-1	PARKING DRIVE AISLES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 2 HEAVY TRUCKS PER DAY	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
		2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
P-2	PARKING DRIVE AISLES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
		2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
P-3	PARKING DRIVE AISLES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
		2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
P-4	MINOR COLLECTORS: NON-RESIDENTIAL MAJOR COLLECTORS	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
		4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0

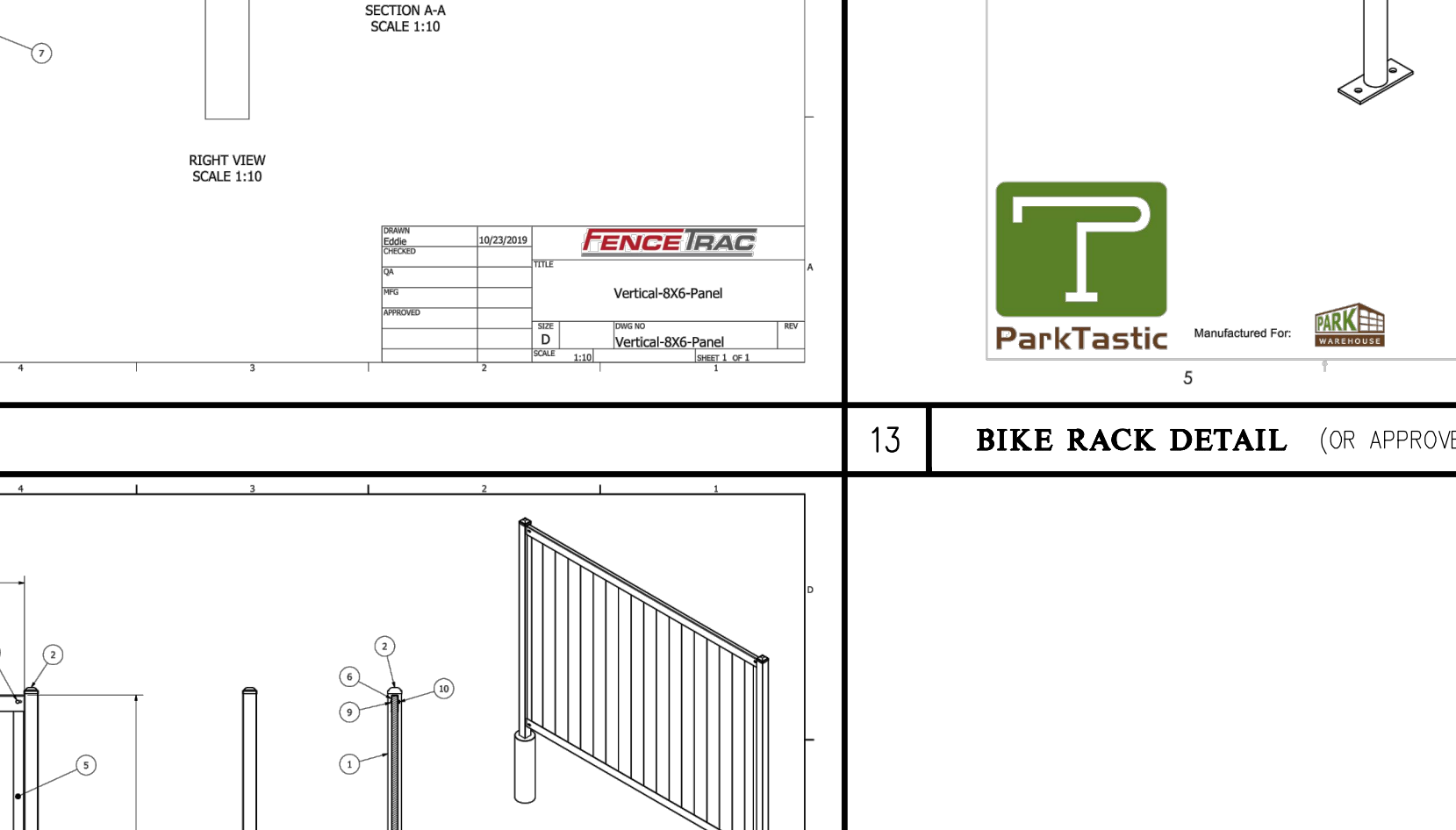
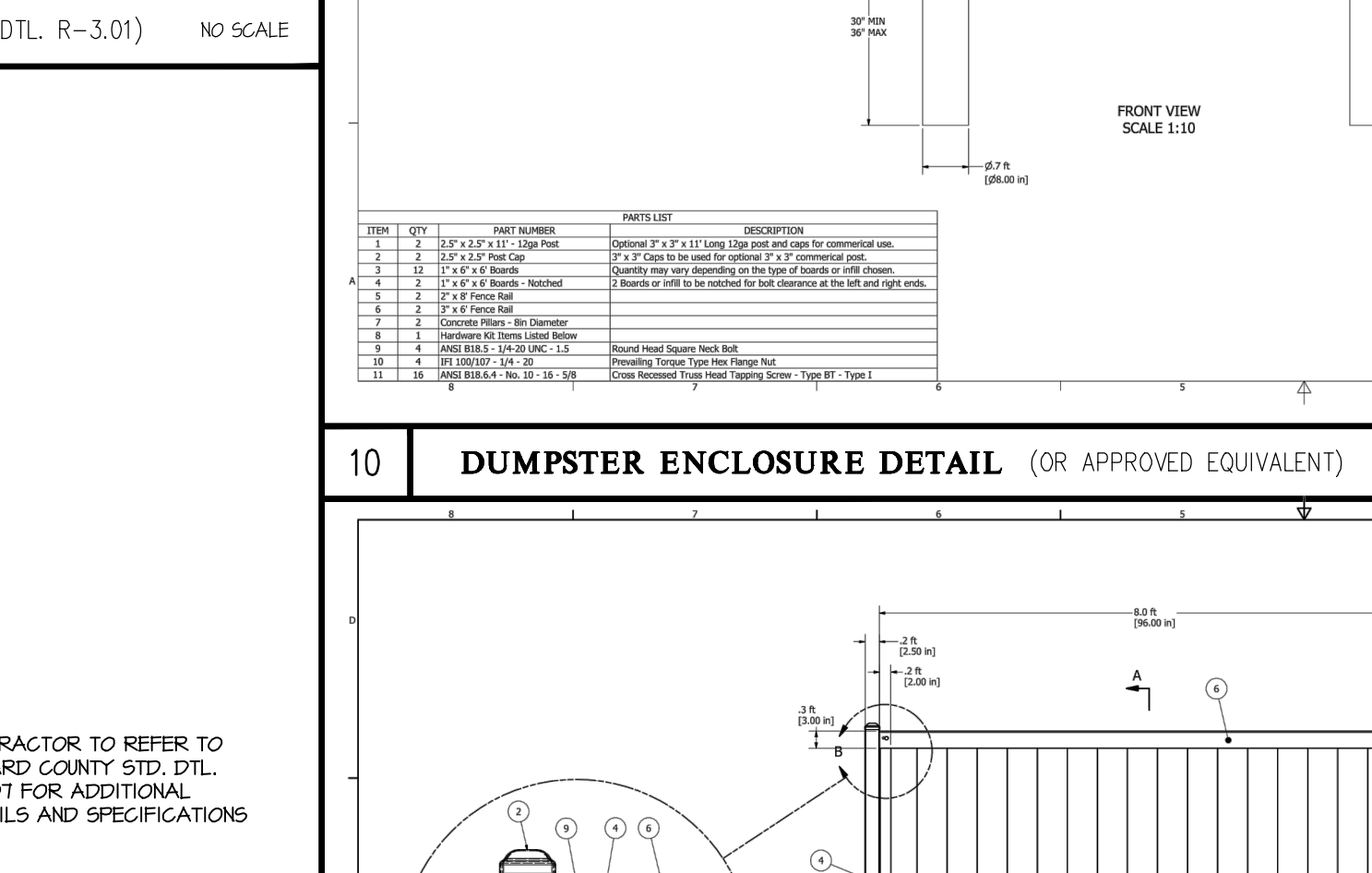
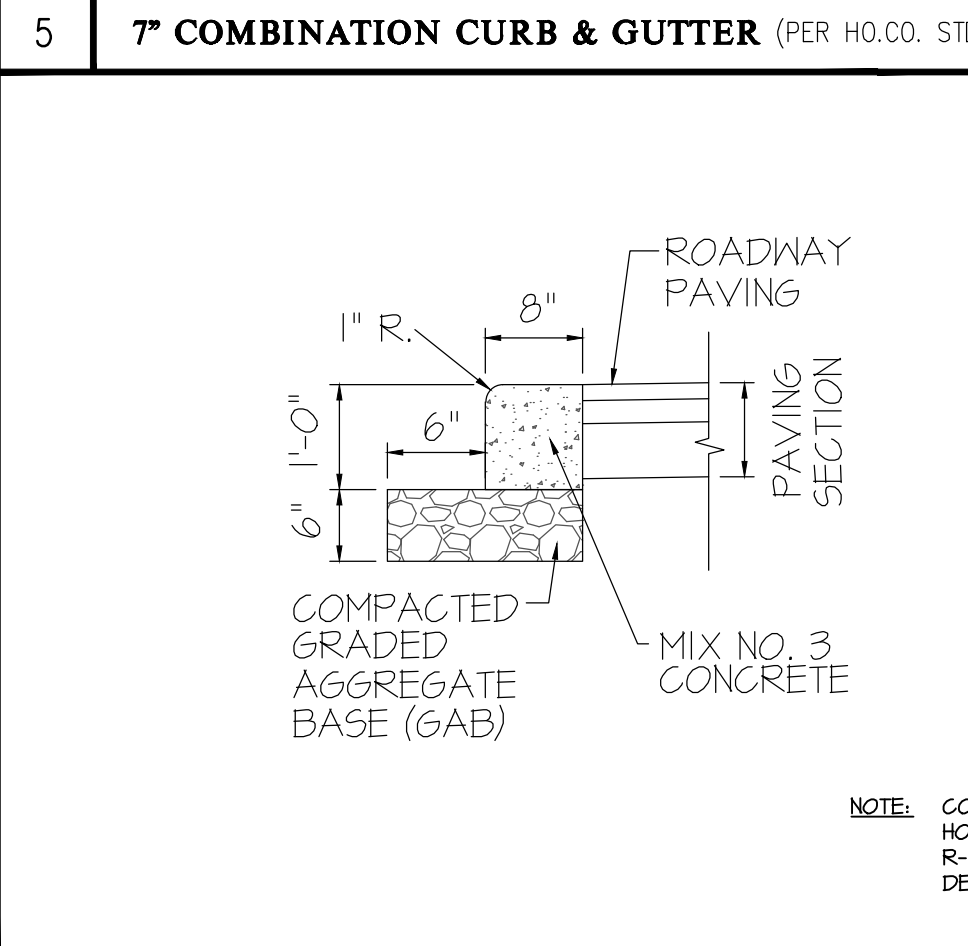
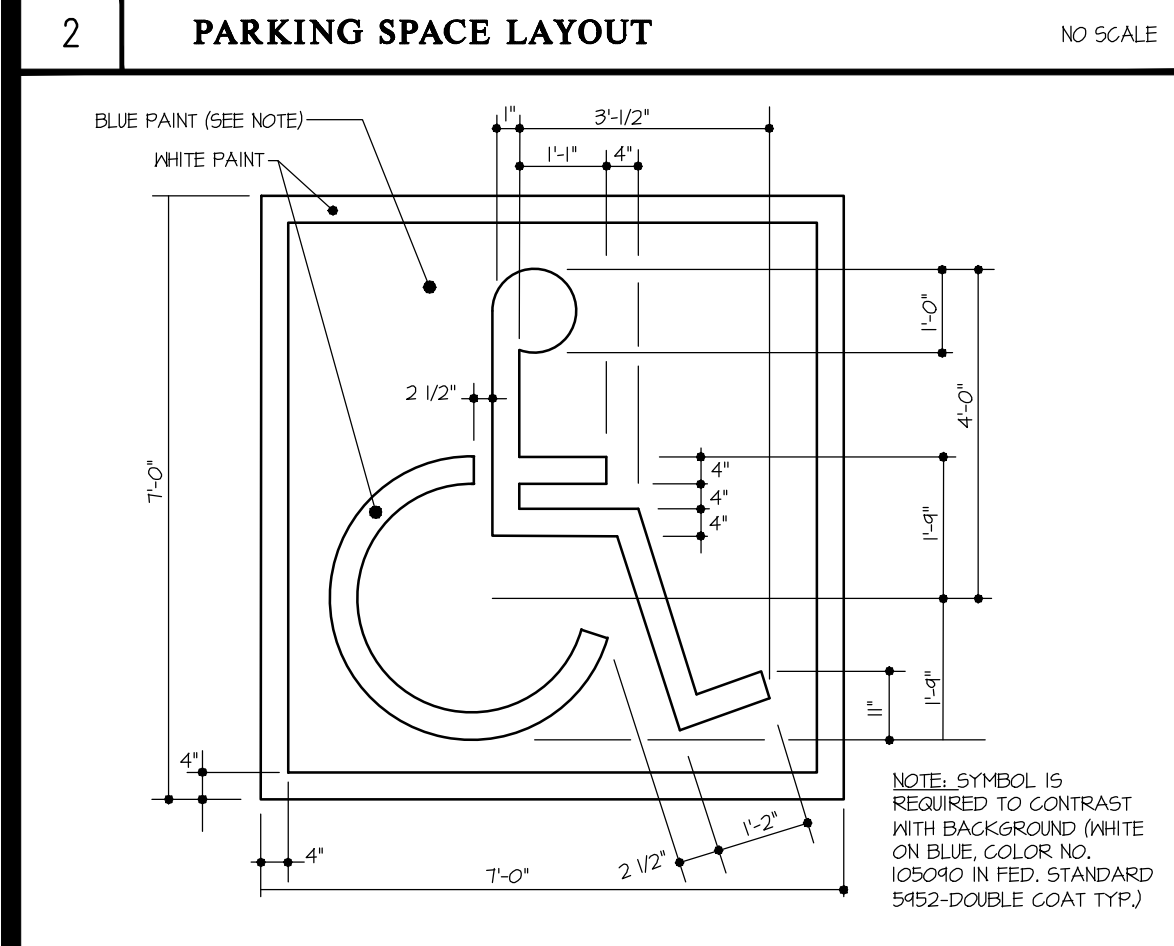
NOTES:

- HEAVY TRUCKS ARE DEFINED AS THOSE WITH SIX (6) WHEELS OR MORE INCLUDING GARAGE TRUCKS.
- SUPERPAVE ASPHALT MIX LAYERS SHALL BE PLACED IN APPROPRIATE COMPACTED LIFT THICKNESS: 19.0 MM BASE (2.0" MIN. TO 4.0" MAX.), 12.5 MM SURFACE (1.5" MIN. TO 3.0" MAX.), AND 19.0 MM SURFACE (1.5" MIN. TO 3.0" MAX.)
- GRADED AGGREGATE BASE (GAB) TO BE PLACED AND COMPACTED IN 4" MAX. COMPACTED THICKNESS LAYERS.
- THE INTERMEDIATE SURFACE COURSE LAYER MUST BE GRADED WITHIN 9" RADII OF PLACEMENT OF BASE COURSE, AND IS REQUIRED PRIOR TO SUBSTANTIAL COMPLETION INSPECTION AND BOND REDUCTION.
- IN USE OF PLACING THE INTERMEDIATE SURFACE COURSE LAYER FOR COMMERCIAL/INDUSTRIAL ENTRANCE AREAS WITHIN THE COUNTY RIGHT-OF-WAY WHERE ADJUTARY LINES ARE NOT REQUIRED, THE THICKNESS OF THE INTERMEDIATE PAVEMENT LAYER CAN BE ADDED TO THE REQUIRED THICKNESS OF THE BASE ASPHALT LAYER.
- THE CONSTRUCTION DRAWINGS SHALL SHOW THE PAVING SECTION, ROAD CLASSIFICATION AND CBR VALUE FOR EACH ROADWAY.

Howard County, Maryland
Department of Public Works
PAVING SECTIONS P-1 to P-4
Detail R-2.01



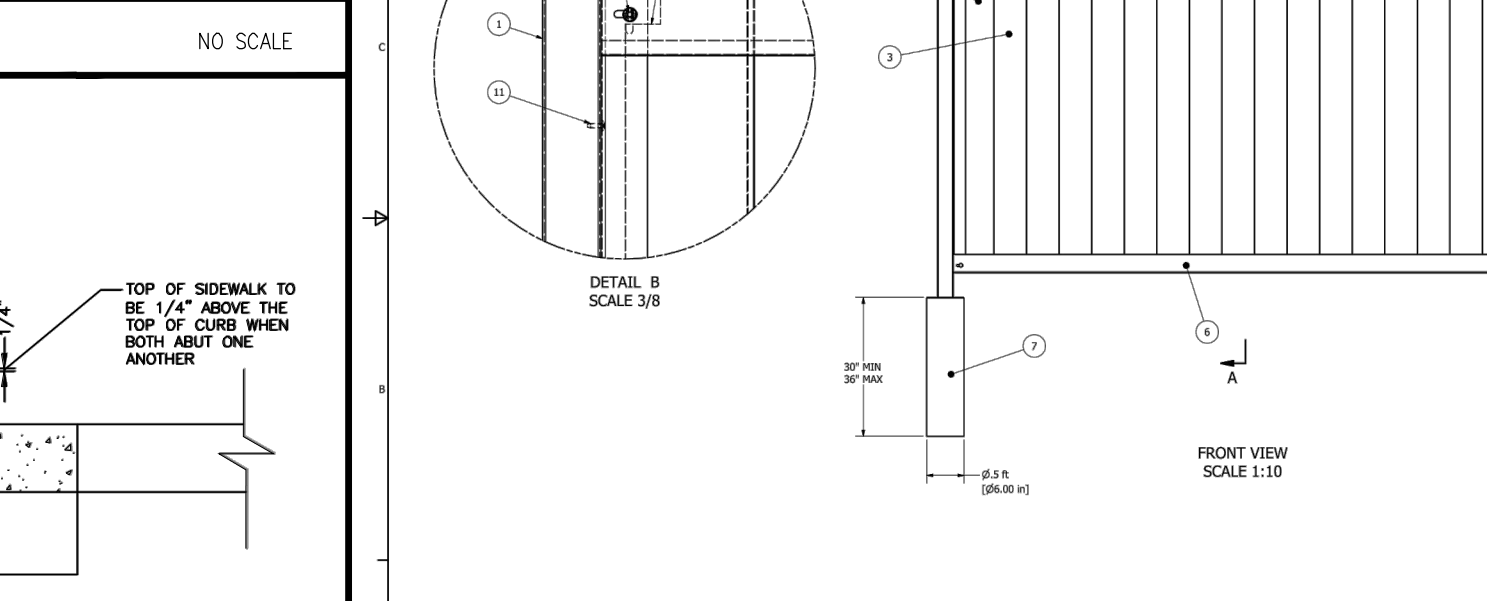
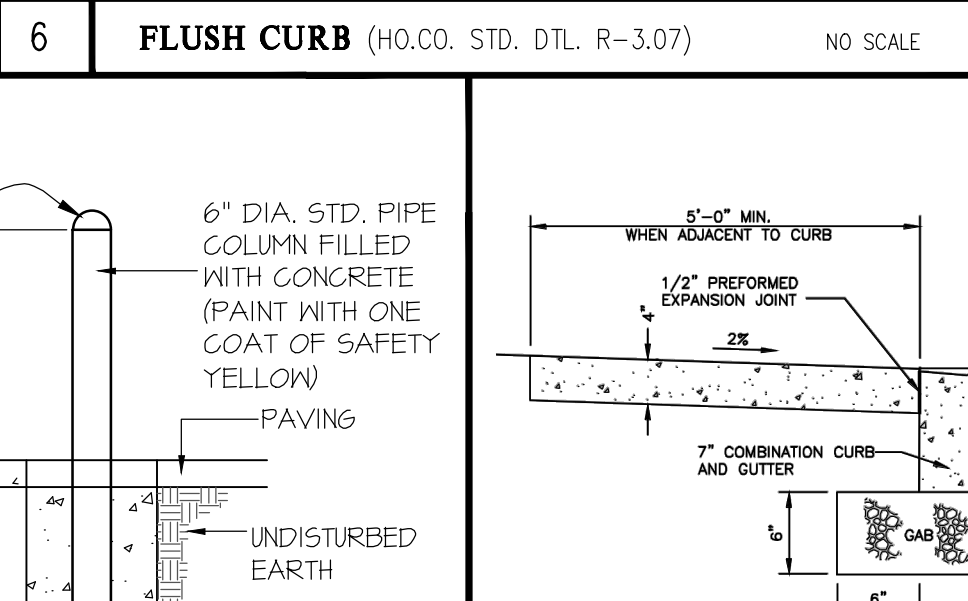
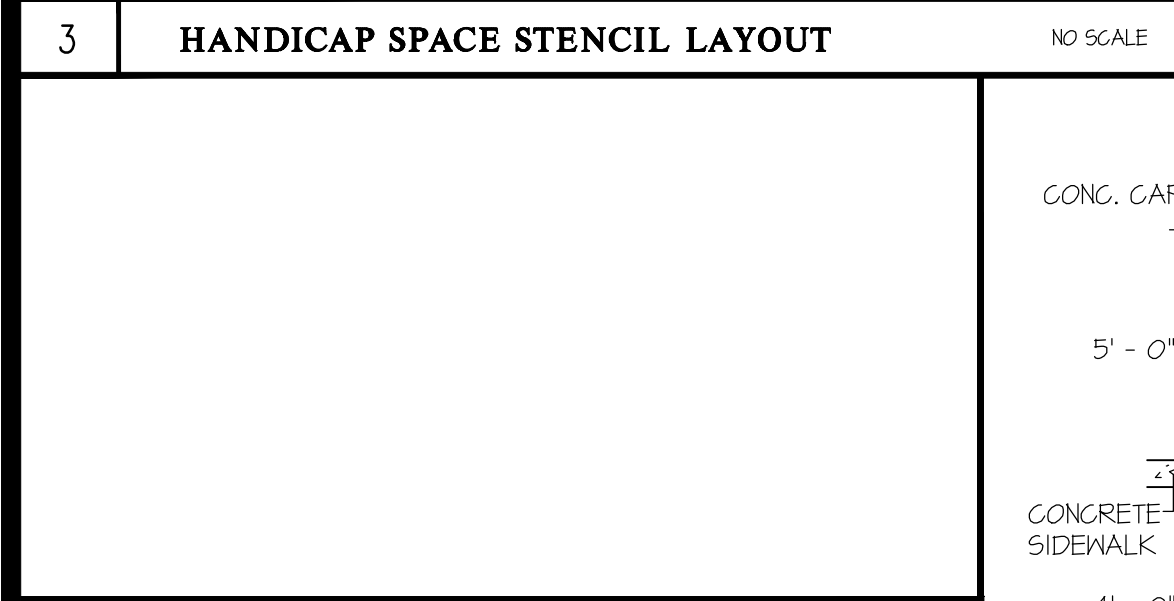
12 PAVEMENT SECTION (HO.CO. STD. DTL. R-2.01)



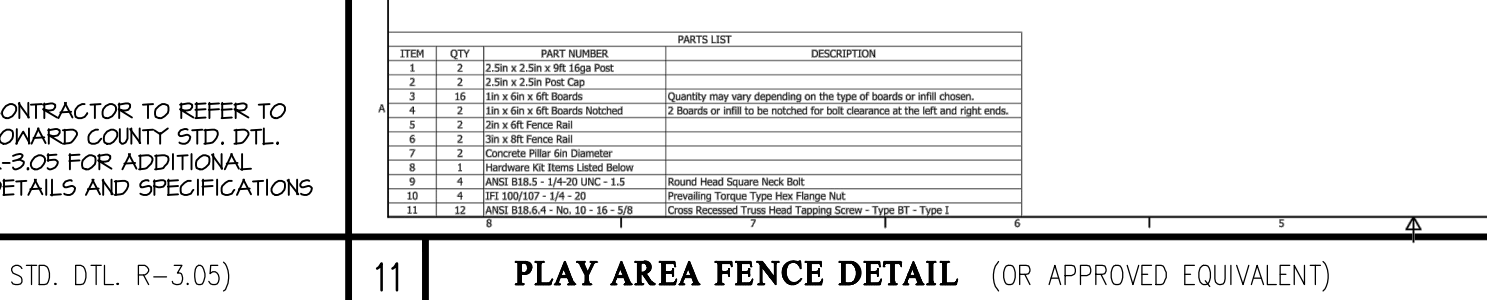
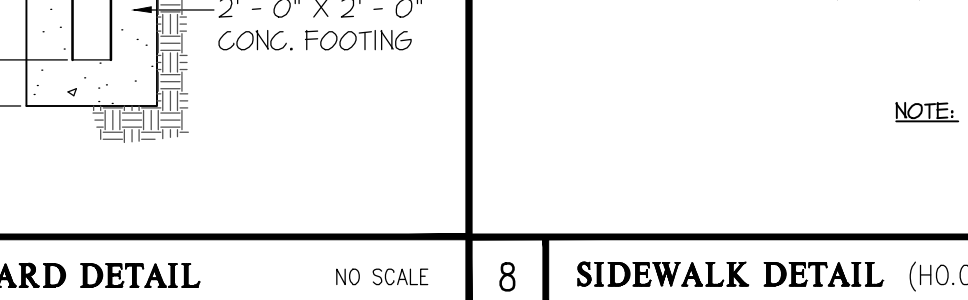
ParkTastic
Wide U-Bike Rack
1.9" OD - Surface Mount Version
SIZE DWG. NO. 766br100
WEIGHT: SHEET 1 OF 6

PROPRIETARY AND CONFIDENTIAL
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF PARK TASTIC, LLC. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF Park Tastic, LLC. 2017 North Pine Street, Suite 100, Boca Raton, FL. IS PROHIBITED.

CADWorksPro
Design By: [Signature]
DATE: 10/26/2017



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Date: 5/21/2021
 Director: [Signature]
 Date: 5/19/2021
 Chief of Land Development: [Signature]
 Date: 5/20/2021
 Chief of Engineering Division: [Signature]



GLW
PLANNING | ENGINEERING | SURVEYING
3809 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
PHONE: 301-421-4024 | BALT. 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4168

DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE	REVISION	BY	APPR.
EWM	EWM	DDS				

OWNER/DEVELOPER:
 COLGATEDRIVE ASSOCIATES, LLC
 6711 COLUMBIA GATEWAY DRIVE
 SUITE 300
 COLUMBIA, MD 21046
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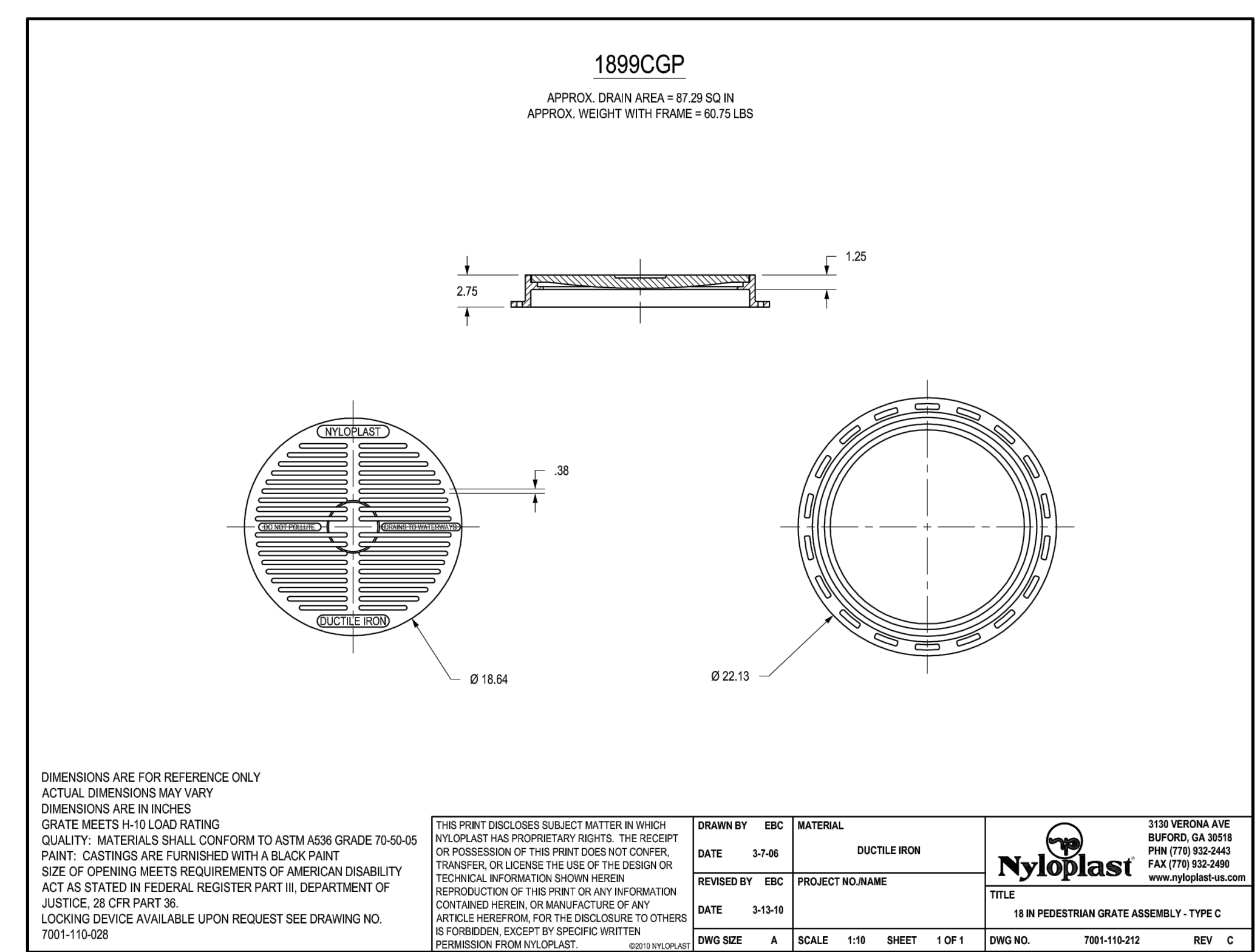
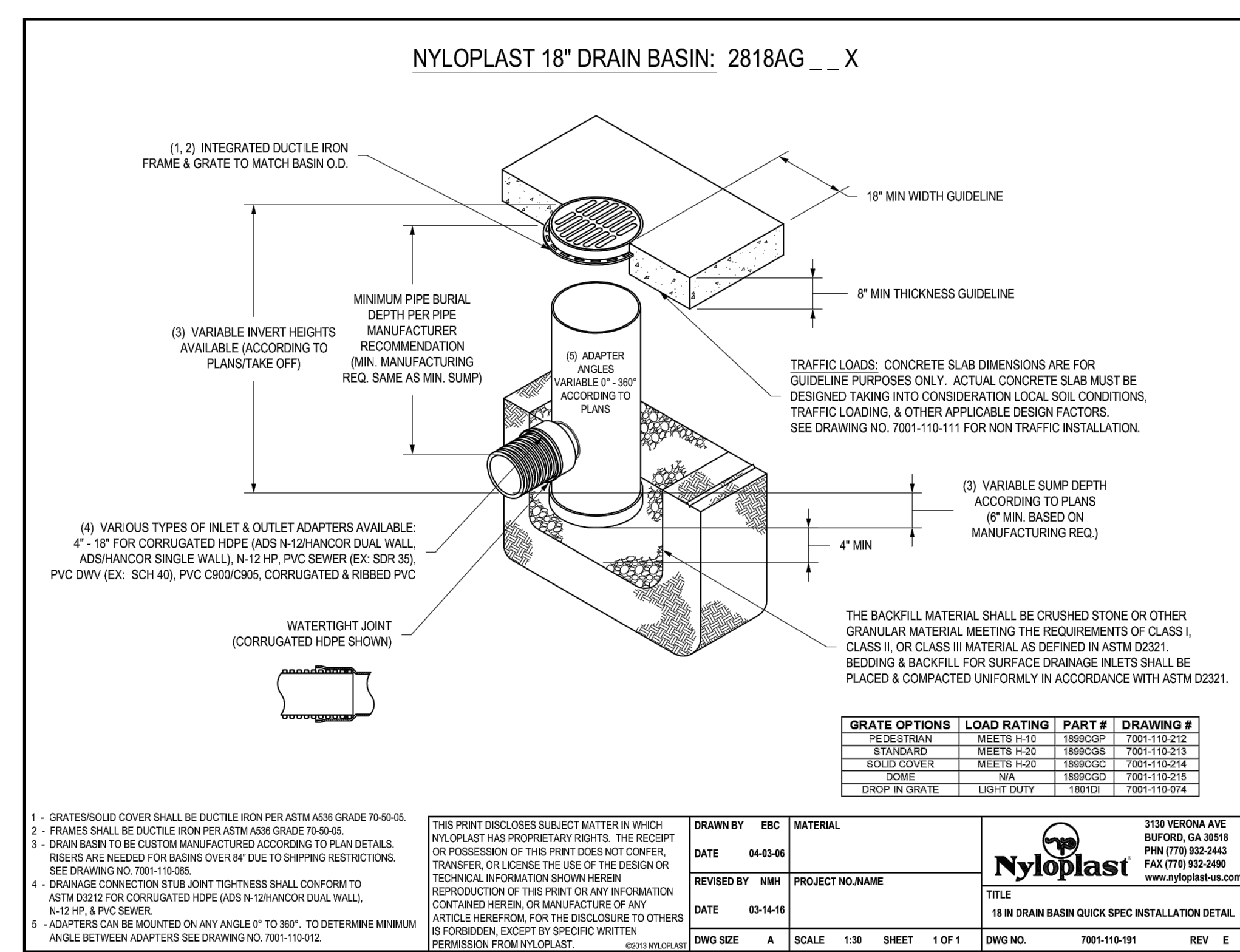
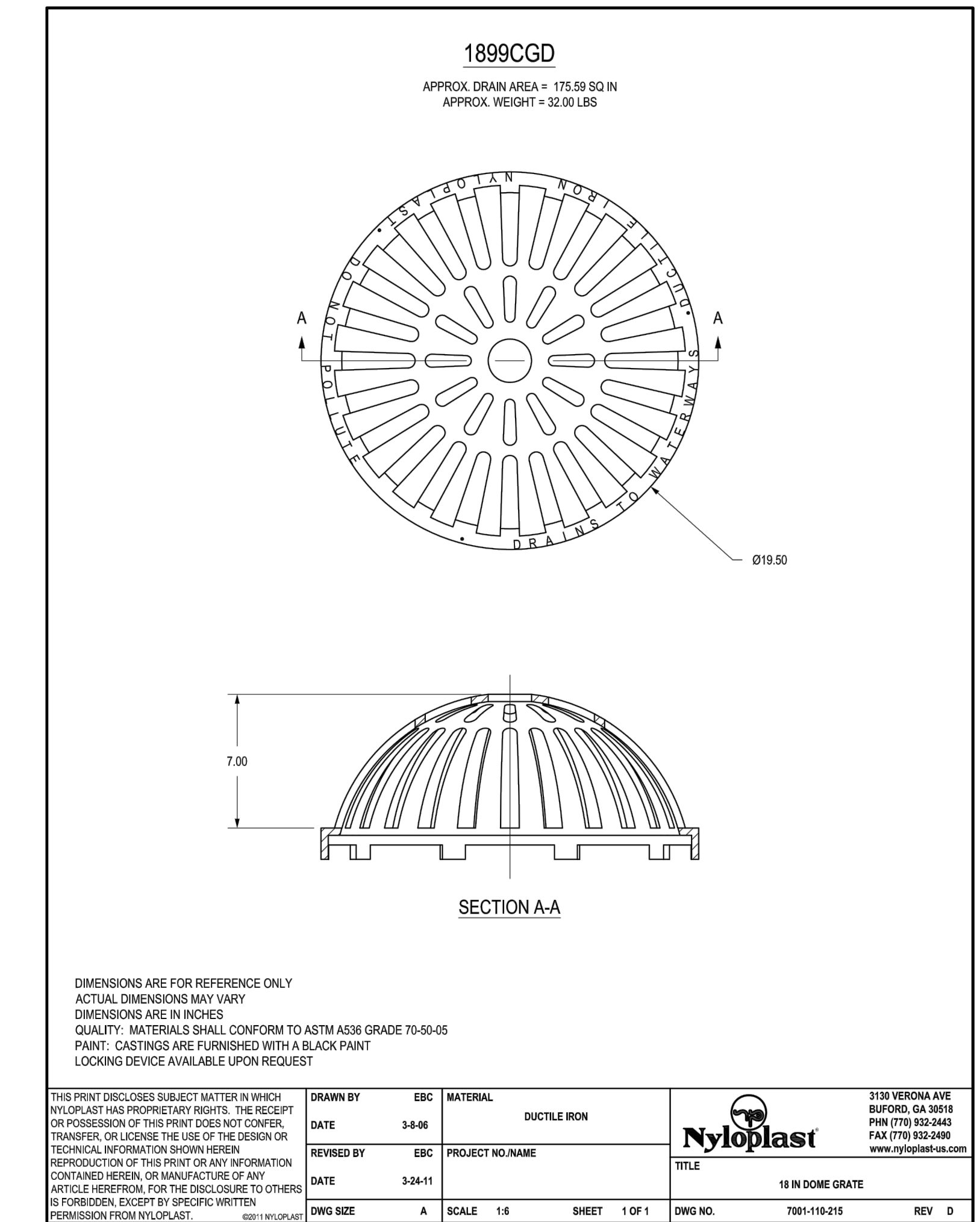
PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12915
 EXPIRATION DATE: MAY 26, 2022
 05/13/21

SITE PLAN DETAILS
UNITED WAY DAYCARE
 COLUMBIA GATEWAY
 PARCEL L
 PLAT No. 6812
 ELECTION DISTRICT No. 6

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	M-1	20133
DATE	TAX MAP - GRID	SHEET
FEB., 2021	43-01	4 OF 12

HOWARD COUNTY, MARYLAND
SDP-21-023

L1 CAD/DRAWINGS/2013 PLANS BY GLW/SPP/2013-3-SEP-04-05-SF-DTL.dwg
 PLOTTED: 7/2/2021 8:17 AM, LAST SAVED: 5/16/2021 8:17 AM, PLOTTED BY: Ewan Michael



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Designed by: Any Goman Date: 5/21/2021
 Director: [Signature] Date: 5/19/2021
 Chief, Department of Land Development: [Signature] Date: 5/20/2021
 Chief, Department of Engineering Division: [Signature] Date: _____

GLW
 PLANNING | ENGINEERING | SURVEYING
 3509 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLW@PA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

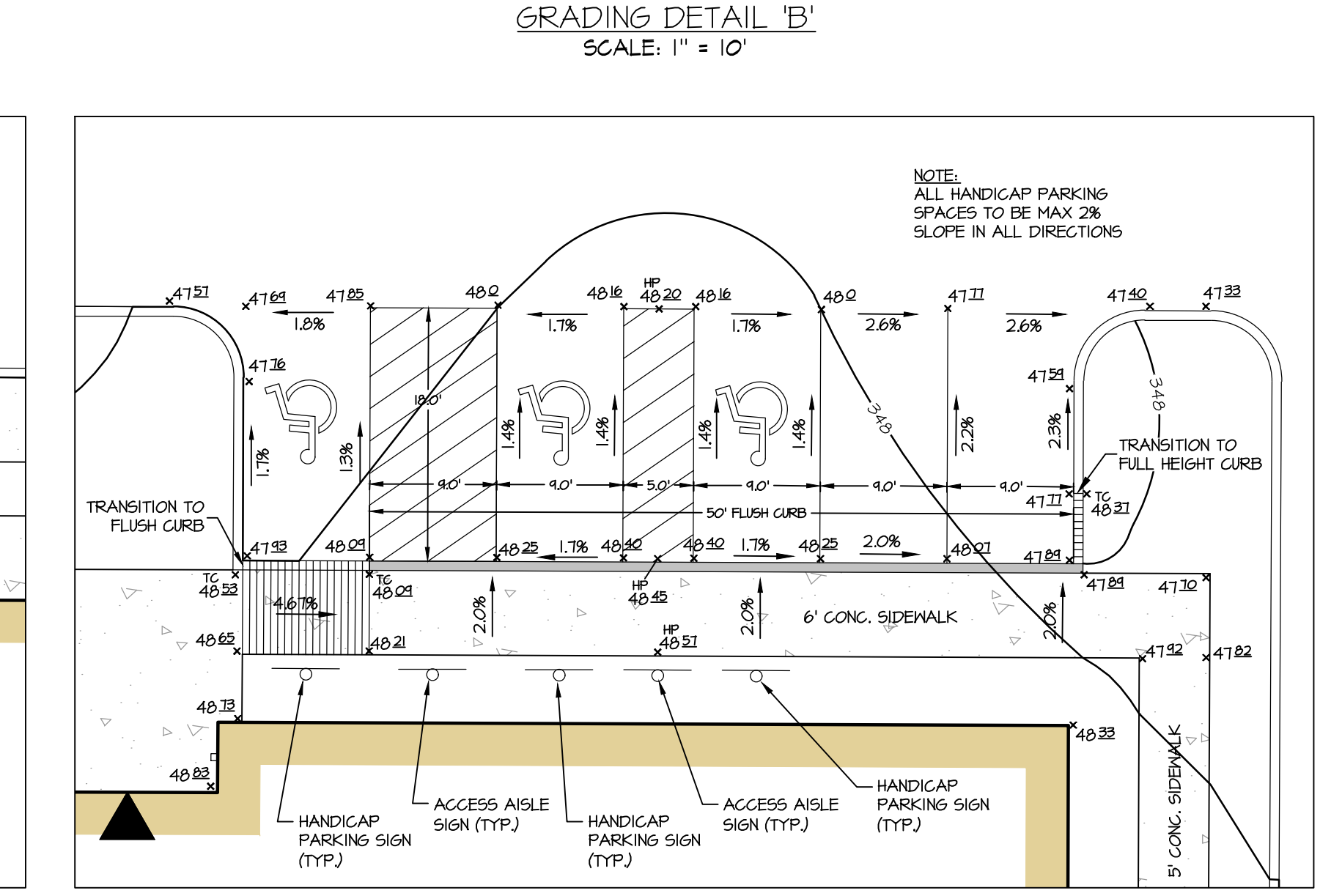
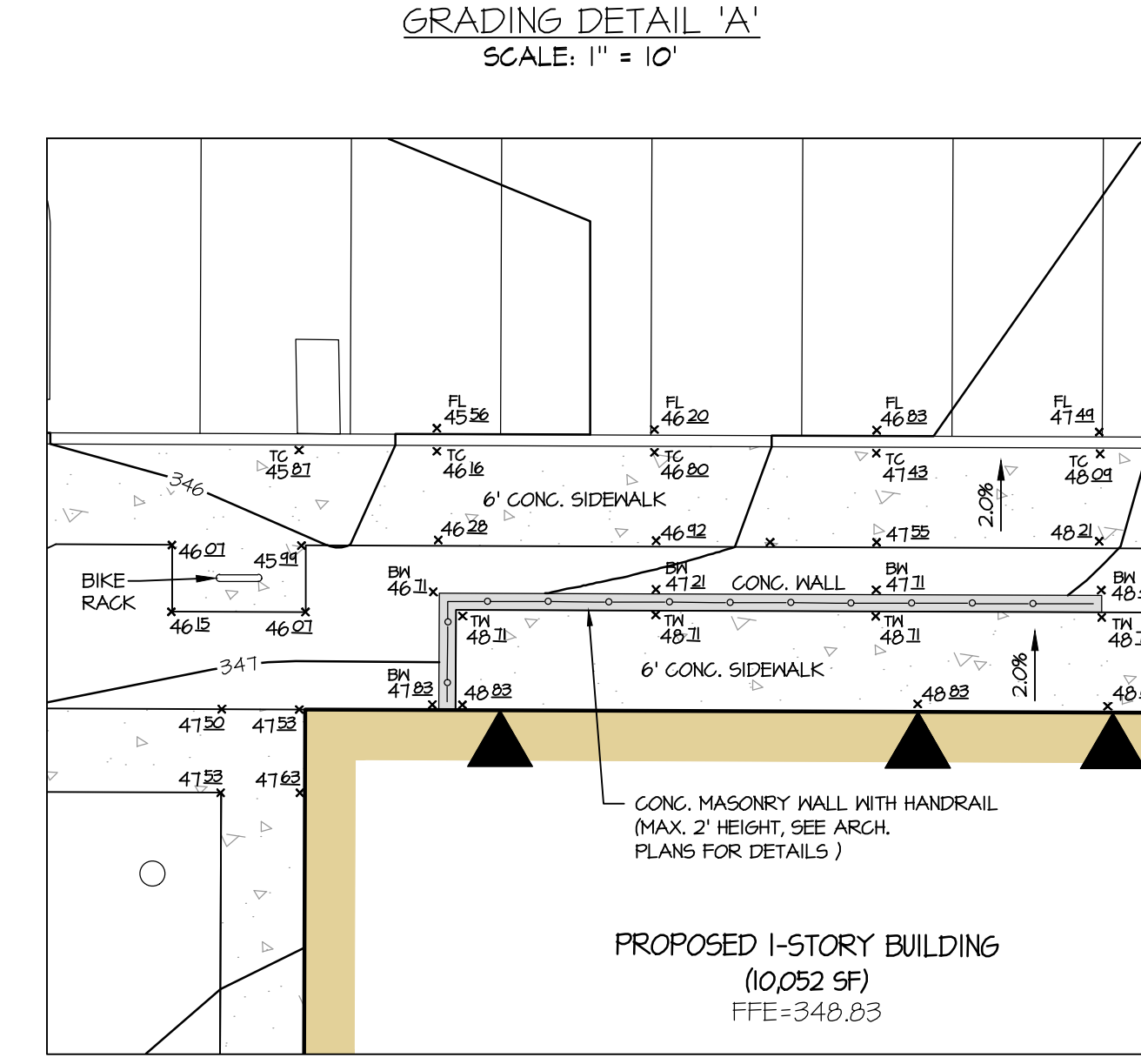
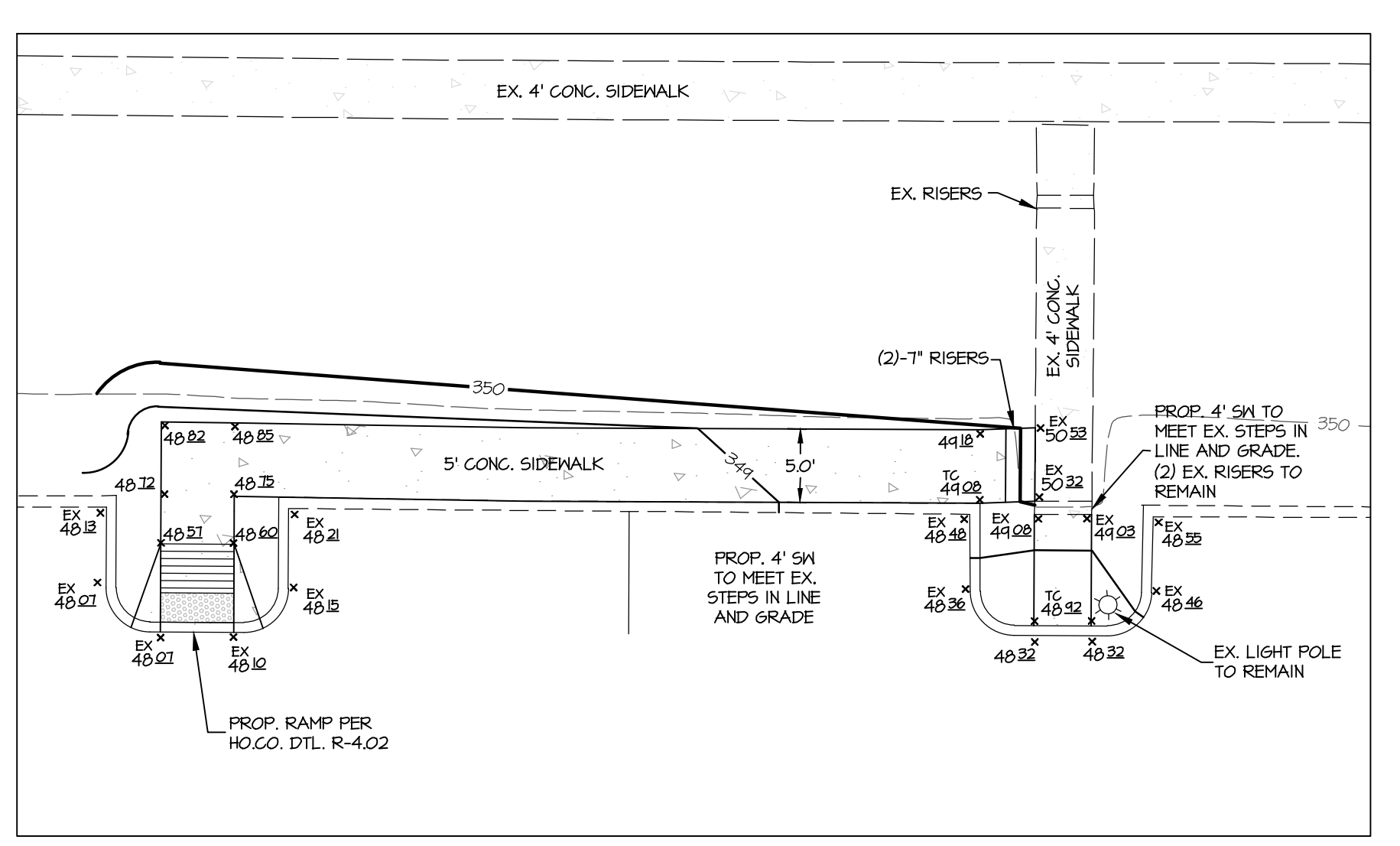
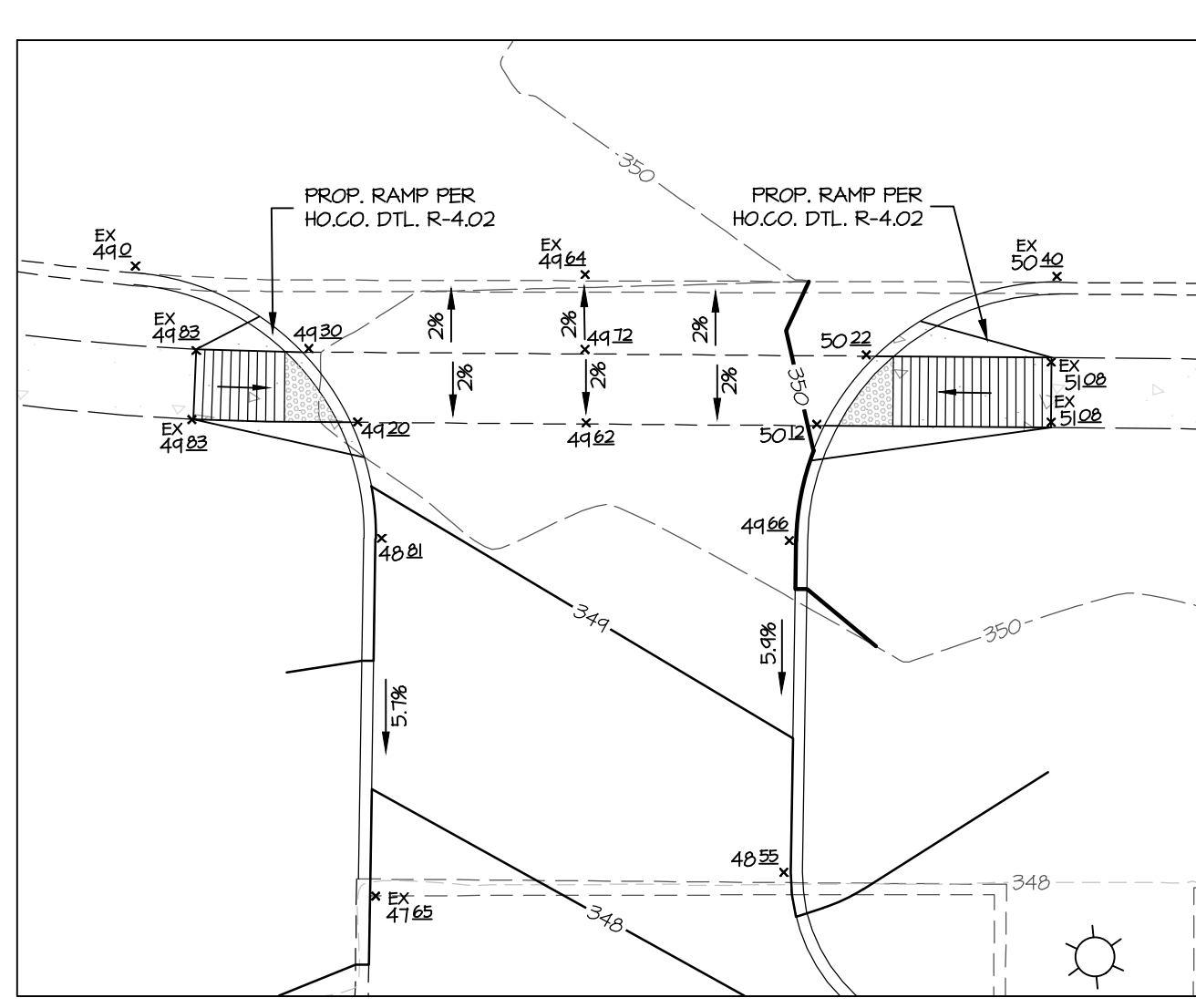
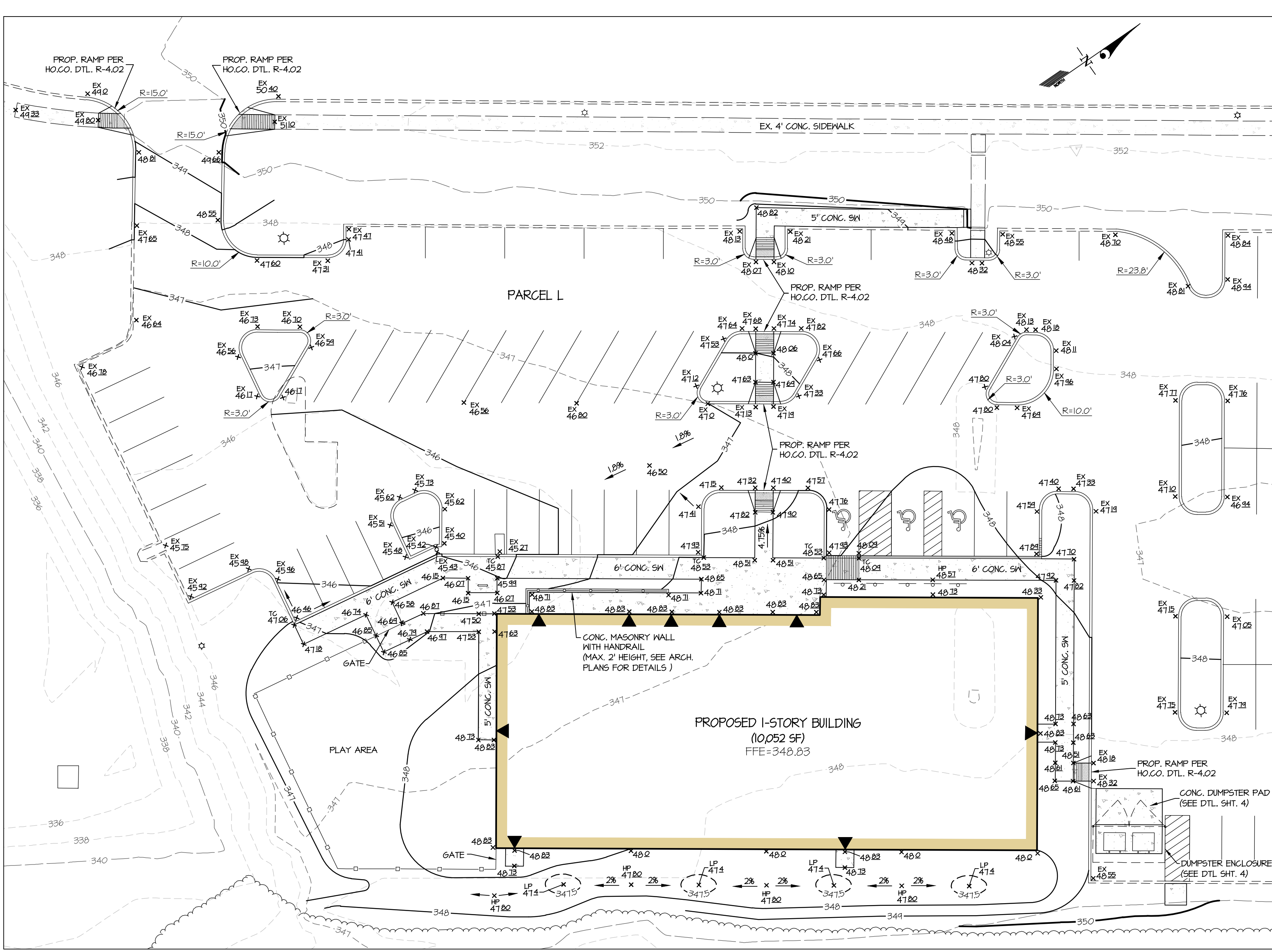
DESIGNED BY:	DATE	REVISION	BY	APPR.
EWM				
EWM				
DDS				

OWNER/DEVELOPER:
 COLGATEDRIVE ASSOCIATES, LLC
 6711 COLUMBIA GATEWAY DRIVE
 SUITE 300
 COLUMBIA, MD 21046
 ATTN: THOMAS FAHS
 TEL: 443-285-5647

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12915
 EXPIRATION DATE: MAY 26, 2022
 05/13/21

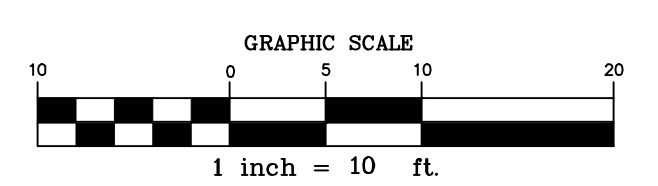
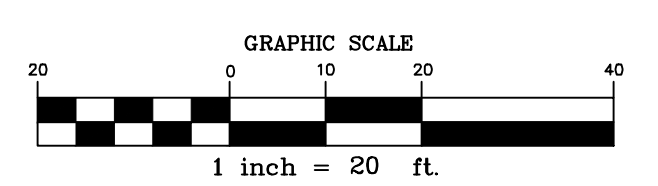
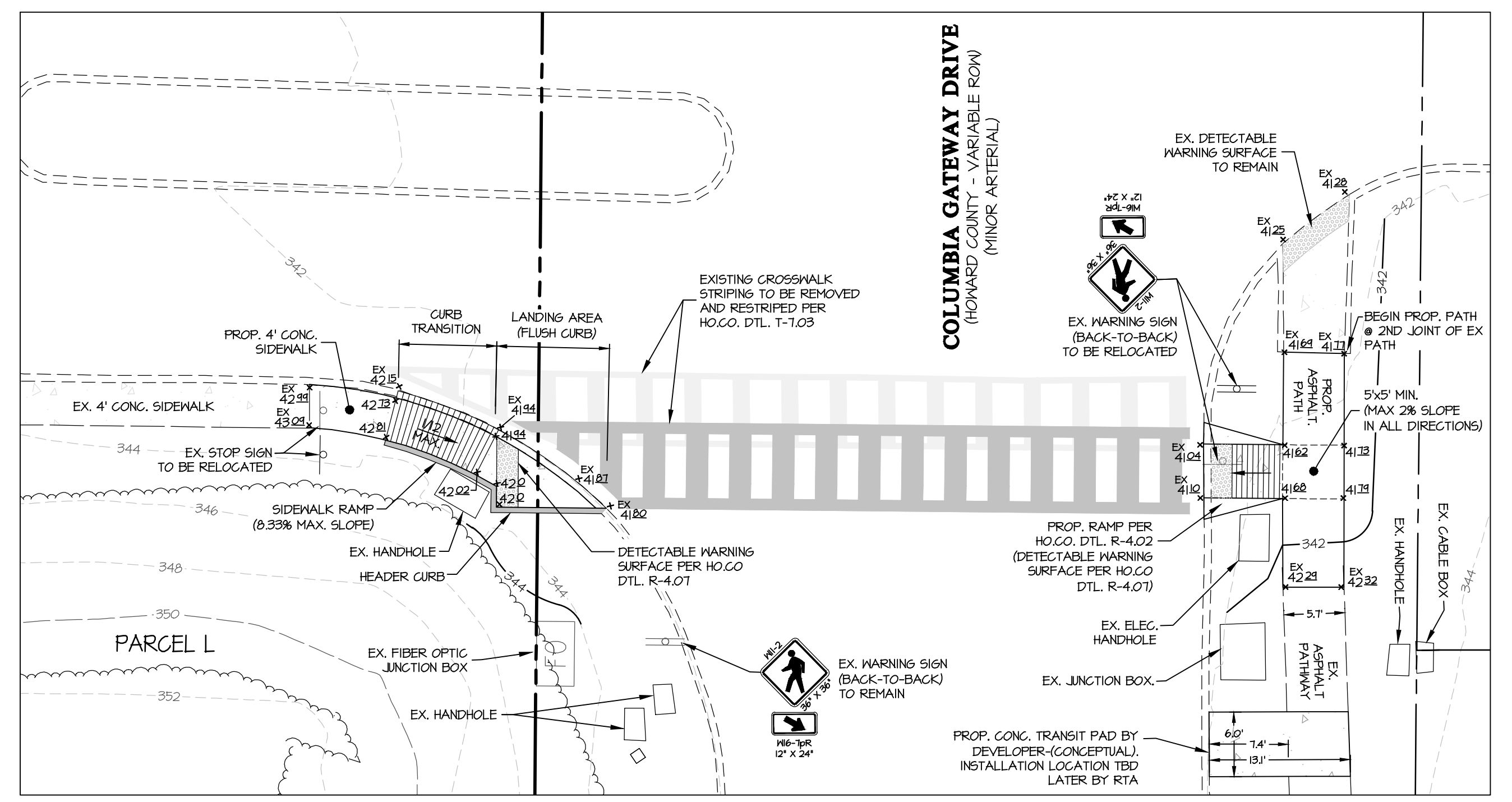
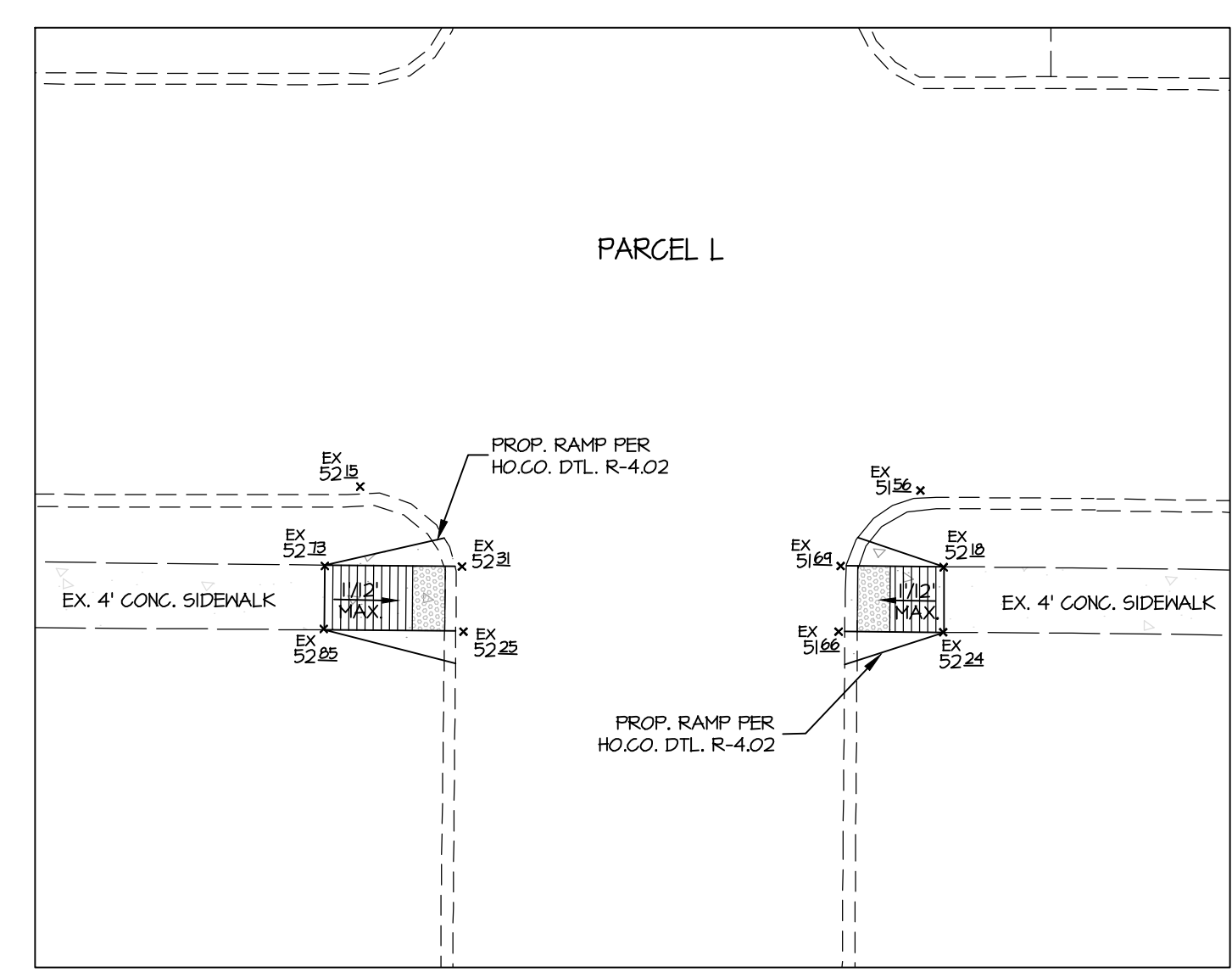
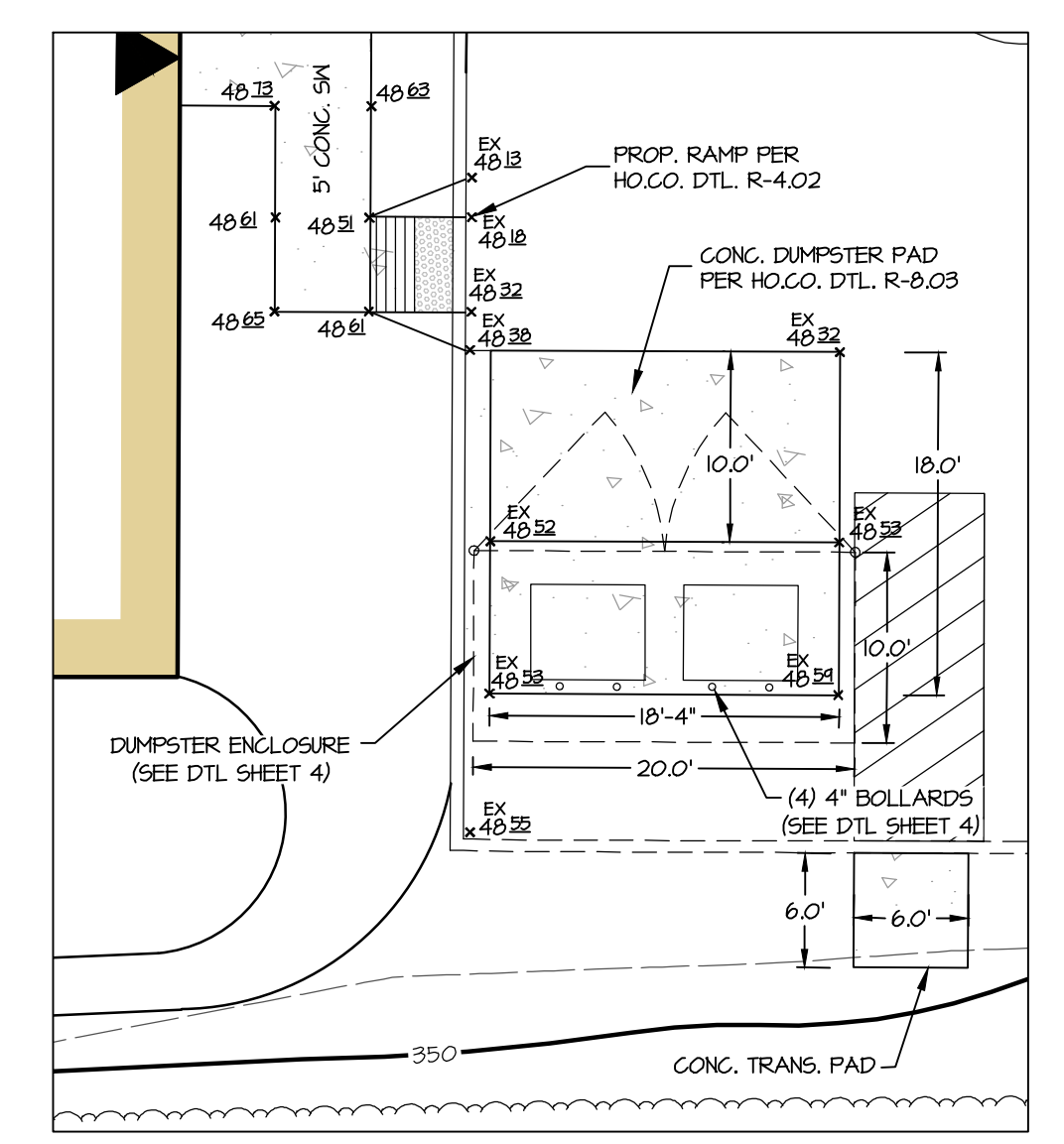
SITE PLAN DETAILS
UNITED WAY DAYCARE
COLUMBIA GATEWAY
PARCEL L
 PLAT No. 6812
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
N/A	M-1	20133
DATE	TAX MAP - GRID	SHEET
FEB., 2021	43-01	5 OF 12



NOTE: ALL CURB RADII ARE 5' UNLESS NOTED OTHERWISE

PLAN VIEW
SCALE: 1" = 20'



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Undersigned by: *Amy Stroman* Date: 5/21/2021

Directed by: *Chad Edmondson* Date: 5/19/2021

Chief, Planning & Land Development Date: 5/20/2021

Chief, Engineering Division Date:

GLW
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3809 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY	DATE	REVISION	BY	APPR.
EWM				
DRAWN BY				
EWM				
CHECKED BY				
DDS				

OWNER/DEVELOPER:
COLGATEDRIVE ASSOCIATES, LLC
6711 COLUMBIA GATEWAY DRIVE
SUITE 300
COLUMBIA, MD 21046
ATTN: THOMAS FAHS
TEL: 443-285-5647

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2022

05/13/21

GRADING PLAN

UNITED WAY DAYCARE
COLUMBIA GATEWAY
PARCEL L
PLAT No. 6812

SCALE: 1" = 20'

ZONING: M-1

G. L. W. FILE NO.: 20133

DATE: FEB., 2021

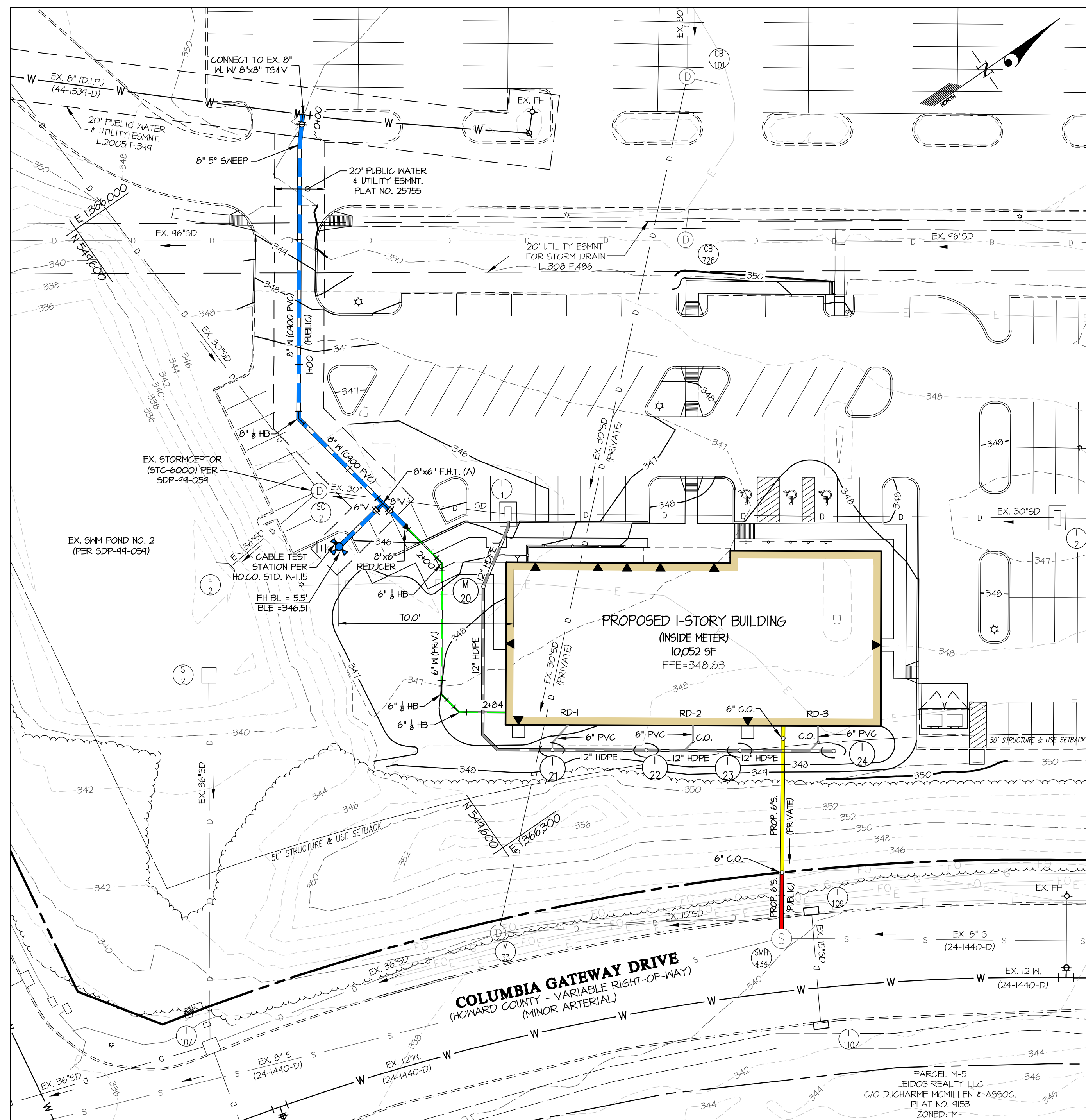
TAX MAP - GRID: 43-01

SHEET: 6 OF 12

HOWARD COUNTY, MARYLAND

ELECTION DISTRICT No. 6

L: CAD DRAWINGS 2013 PLANS BY GLW (SPP) 2013-SEP-06-GRADING.dwg
 PLOTTED: 5/13/2021 8:44 AM, LAST SAVED: 5/19/2021 8:44 AM, PLOTTED BY: Ecom Mitchell
 © GLW 2021

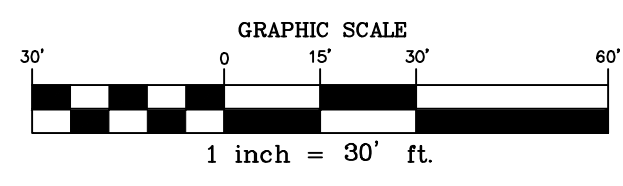


PLAN VIEW
SCALE: 1" = 30'

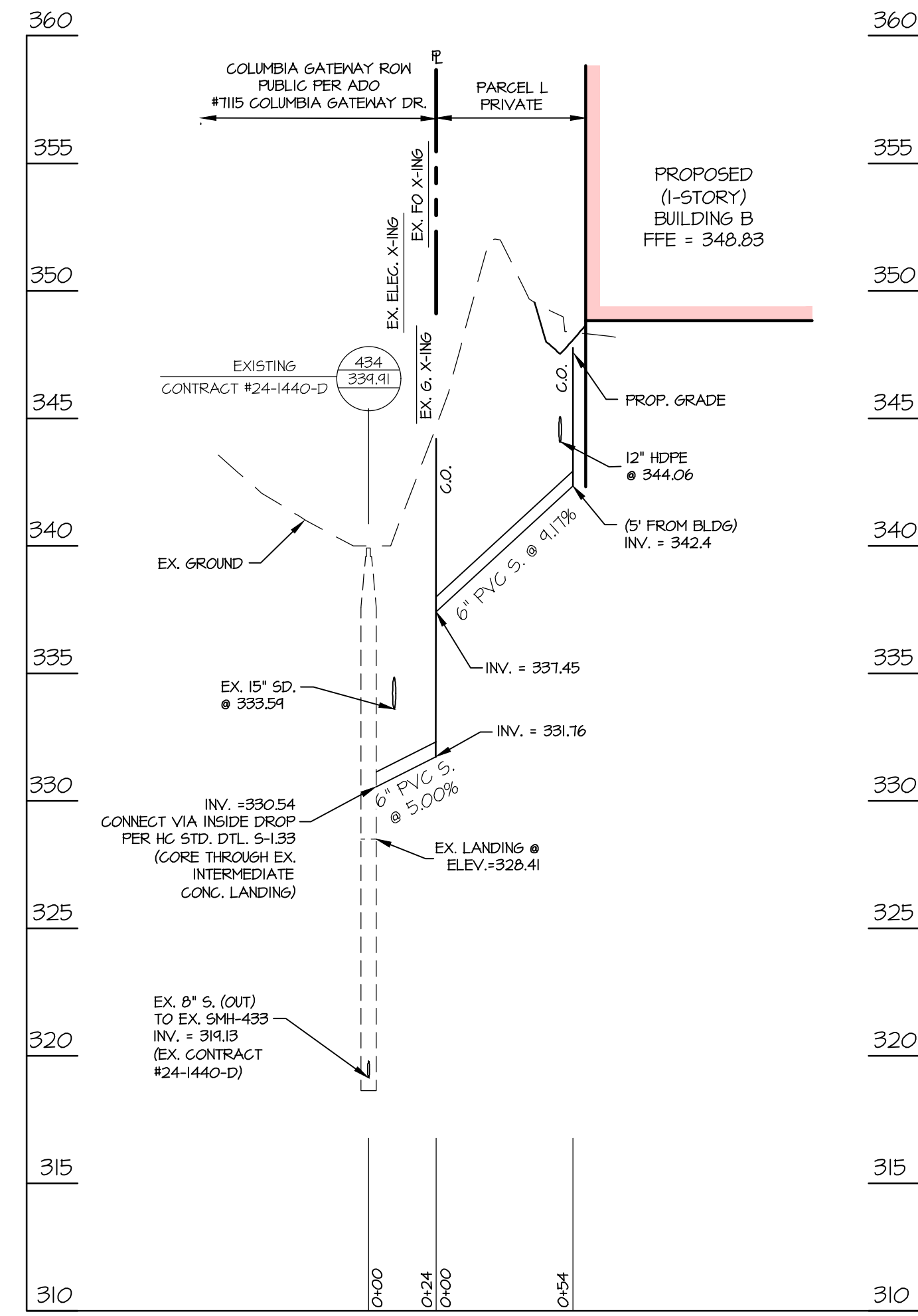
NO.	TYPE	WIDTH (INSIDE)	TOP ELEVATION				INVERT				STD. DETAIL	LOCATION	REMARKS
			PROPOSED		AS-BUILT		PROPOSED		AS-BUILT				
			UPPER	LOWER	UPPER	LOWER	UPPER	LOWER	UPPER	LOWER			
M-20	NYLOPLAST DRAIN BASIN	18"	341.60*	---	---	---	340.35	340.00	---	---	NYLOPLAST DRAIN	SEE THIS SHEET	SOLID GRATE
I-21	NYLOPLAST DRAIN BASIN	18"	341.40*	---	---	---	343.21	342.91	---	---	NYLOPLAST DRAIN	SEE THIS SHEET	DOME GRATE
I-22	NYLOPLAST DRAIN BASIN	18"	341.40*	---	---	---	343.43	343.33	---	---	NYLOPLAST DRAIN	SEE THIS SHEET	DOME GRATE
I-23	NYLOPLAST DRAIN BASIN	18"	341.40*	---	---	---	343.84	343.74	---	---	NYLOPLAST DRAIN	SEE THIS SHEET	DOME GRATE
I-24	NYLOPLAST DRAIN BASIN	18"	341.40*	---	---	---	344.25	---	---	---	NYLOPLAST DRAIN	SEE THIS SHEET	DOME GRATE

* ELEV. = GRATE ELEV.

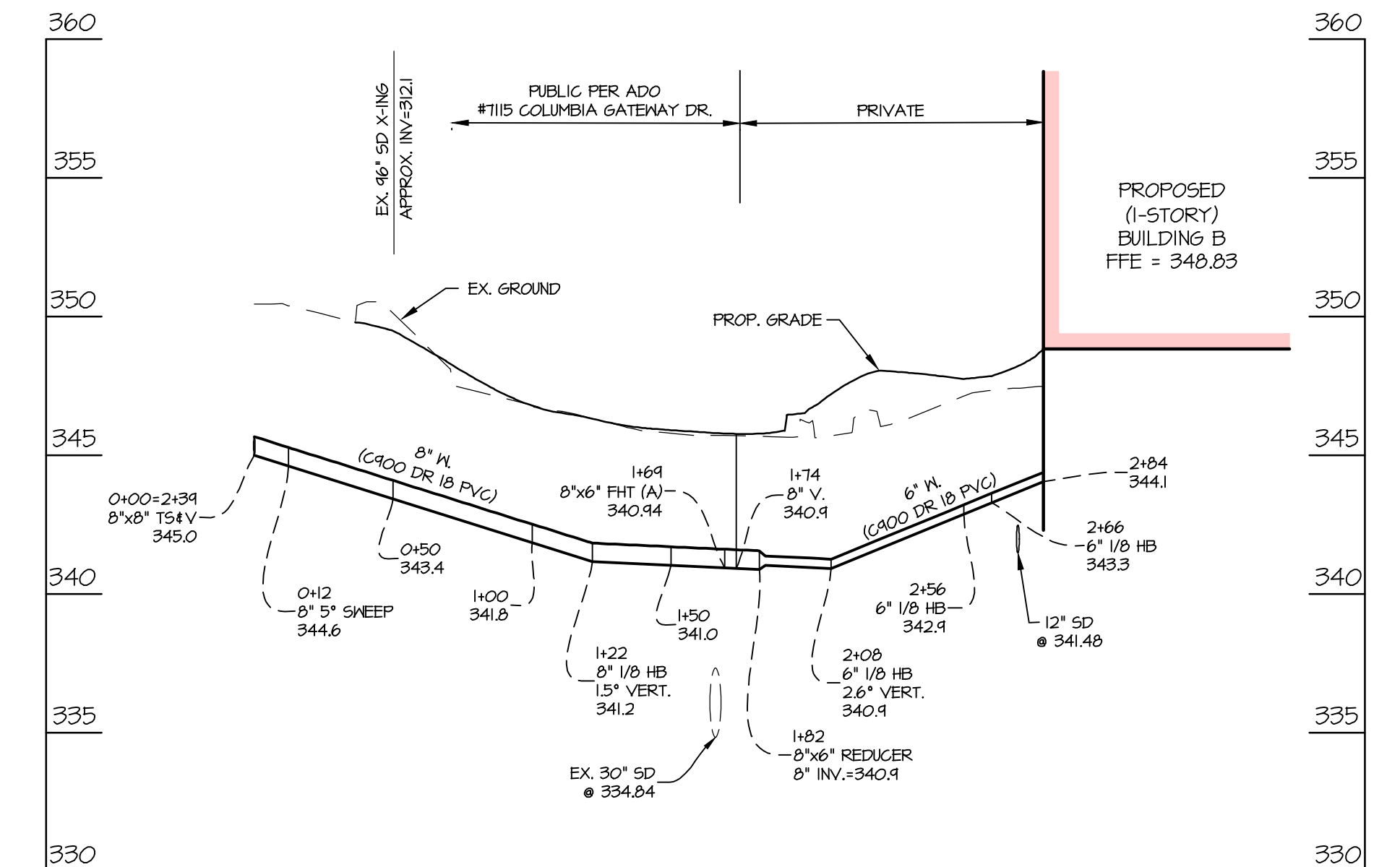
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Documented by: Amy Granan 5/21/2021
 Date: 5/19/2021
 Chief Engineer: Chad Edmondson 5/20/2021
 Date: 5/20/2021



PRIVATE PIPE SUMMARY		
SIZE	TYPE	QUANTITY (L.F.)
6"	PVC	33
12"	HDPE	220



SEWER PROFILE
SCALE: HOR. 1" = 50'
VER. 1" = 5'



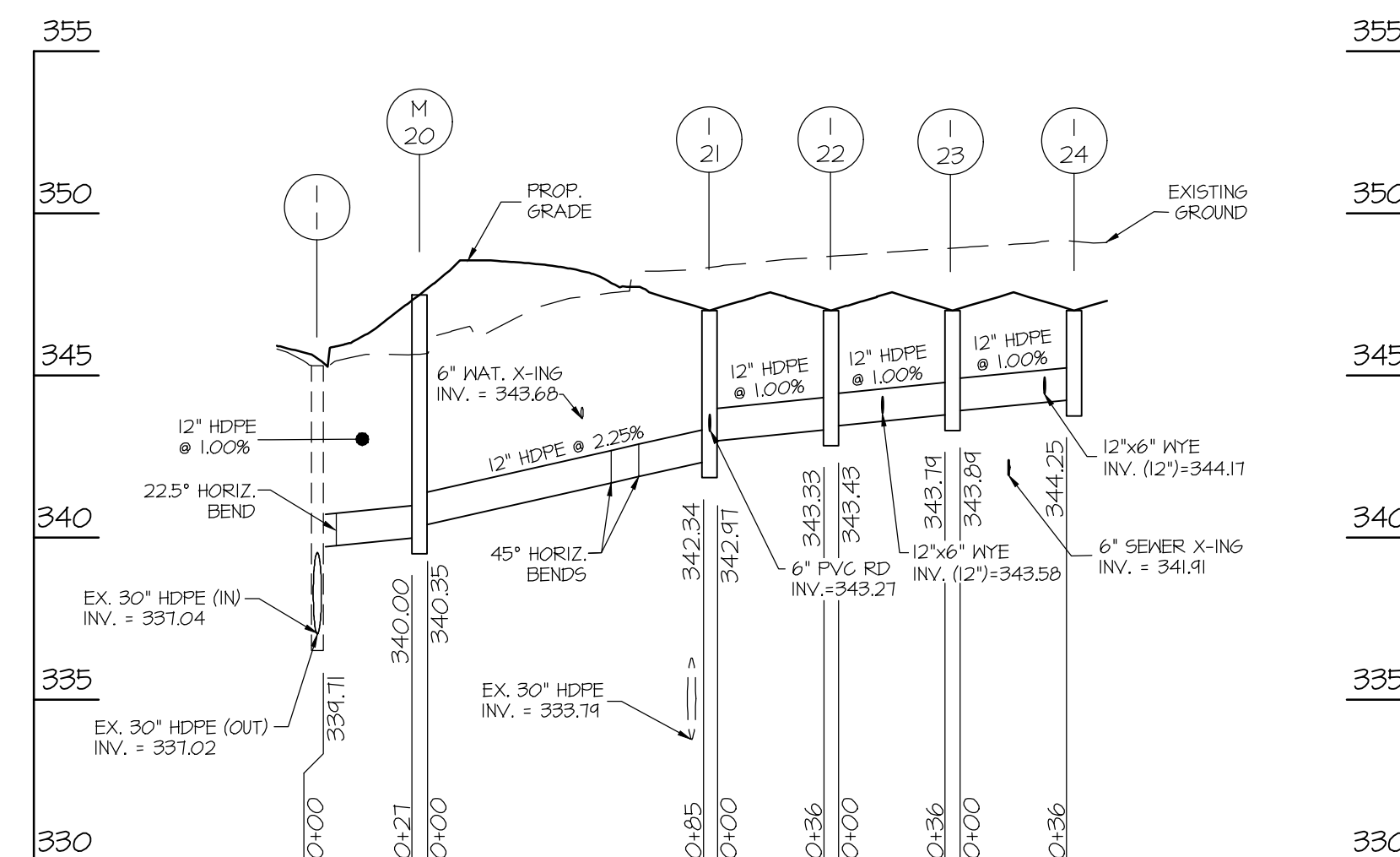
WATER PROFILE
SCALE: HOR. 1" = 50'
VER. 1" = 5'

ITEMS	ESTIMATED QUANTITIES	PUBLIC WATER / SEWER QUANTITIES	
		QUANTITIES	AS-BUILT TYPE MANUFACTURER/SUPPLIER
6" SEWER PVC SDR 35	22 LF		
6" SEWER C.O.	1 EA.		
8" WATER (C400 DR 18 PVC)	175 LF		
8"x8" T.S.#V	1 EA.		
8" 5" SWEEP	1 EA.		
8" 1/8" H.B.	1 EA.		
8"x6" F.H.T.	1 EA.		
6" V.	1 EA.		
8" V.	1 EA.		
FIRE HYDRANT	1 EA.		
CABLE TEST STATION	1 EA.		

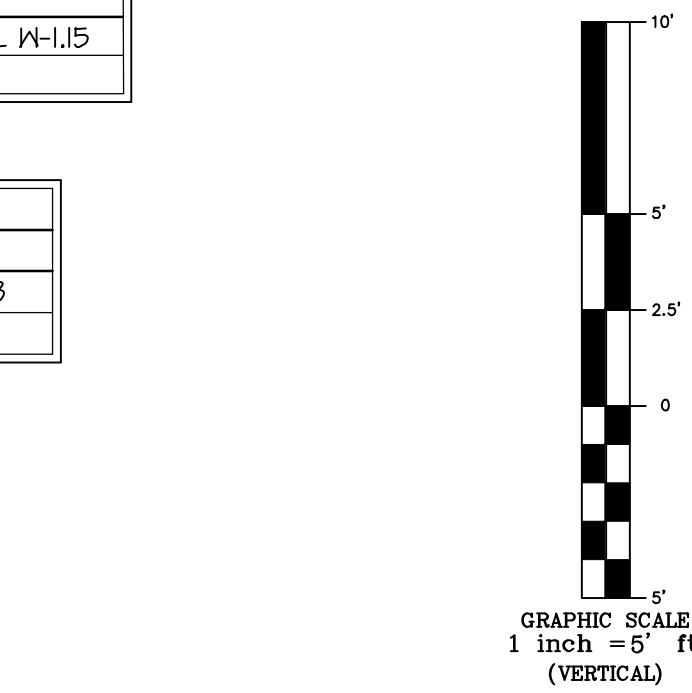
ITEMS	ESTIMATED QUANTITIES	PRIVATE WATER / SEWER QUANTITIES	
		QUANTITIES	AS-BUILT TYPE MANUFACTURER/SUPPLIER
6" SEWER PVC SDR 35	54 LF		
6" WATER C400 DR 18 PVC	102 LF		
8" WATER C400 DR 18 PVC	5 LF		
8"x6" REDUCER	1 EA.		
6" 1/8" H.B.	3 EA.		
6" SEWER C.O.	1 EA.		

CABLE TEST STATION CHART			
STR.	STATION	OFFSET	REMARKS
I	I-67	24.5' R.	HO. CO. STD. DETAIL W-115

FIRE HYDRANT CHART		
FH	NAD '83 COORDINATES	
A	N 549,614.42	E 1,366,164.13



PRIVATE STORM DRAIN PROFILE
SCALE: HOR. 1" = 50'
VER. 1" = 5'



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 3809 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
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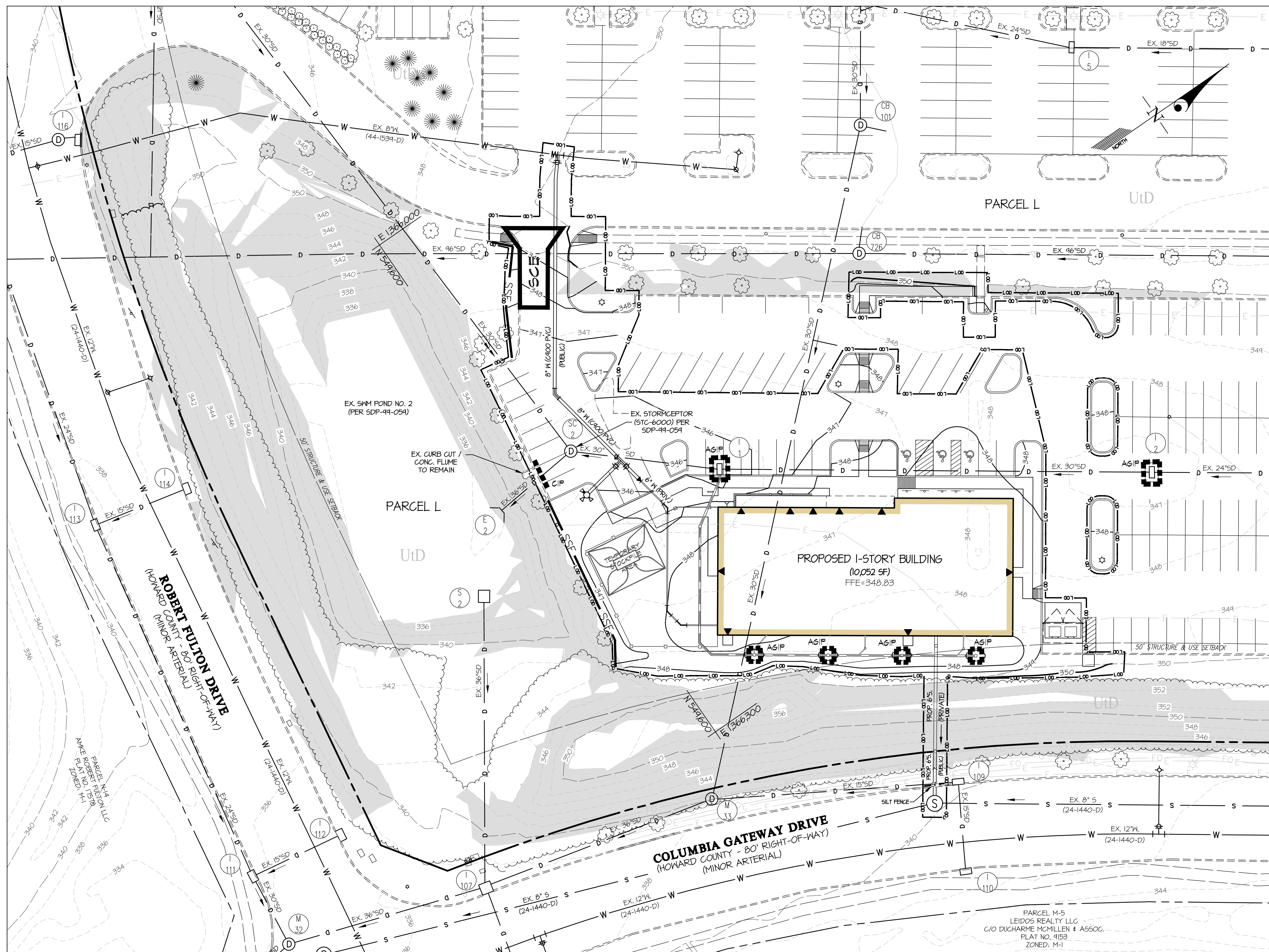
DESIGNED BY:	DATE:	REVISION:	BY:	APPR.:
EWM				
DRAWN BY:				
EWM				
CHECKED BY:				
DDS				

OWNER/DEVELOPER:
 COLGATEDRIVE ASSOCIATES, LLC
 6711 COLUMBIA GATEWAY DRIVE
 SUITE 300
 COLUMBIA, MD 21046
 ATTN: THOMAS FAHS
 TEL: 443-285-5647

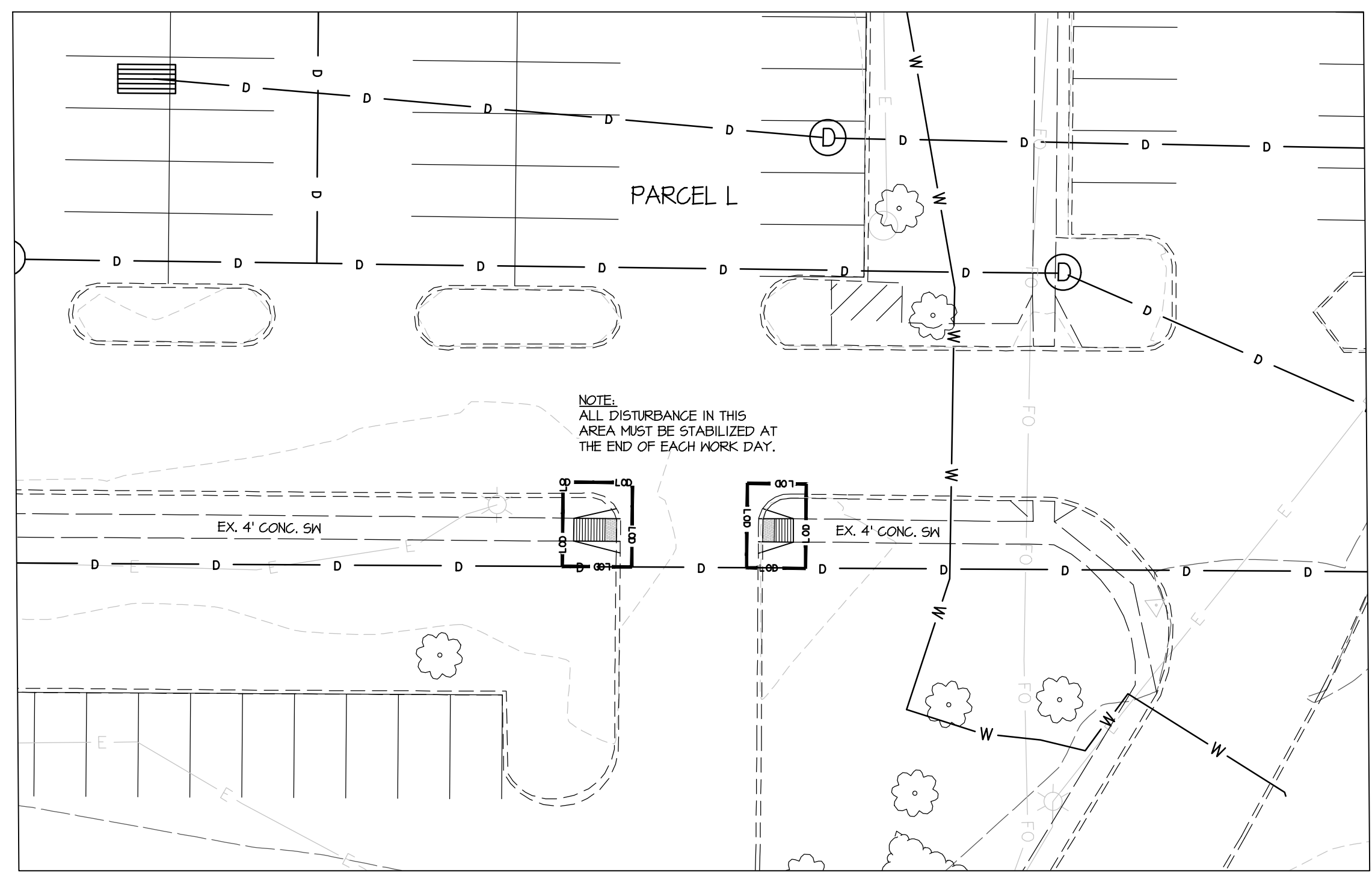
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12915, EXPIRATION DATE: MAY 26, 2022
 05/13/21

UTILITY PLAN & PROFILES
UNITED WAY DAYCARE
COLUMBIA GATEWAY
PARCEL L
 PLAT No. 6812
 ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

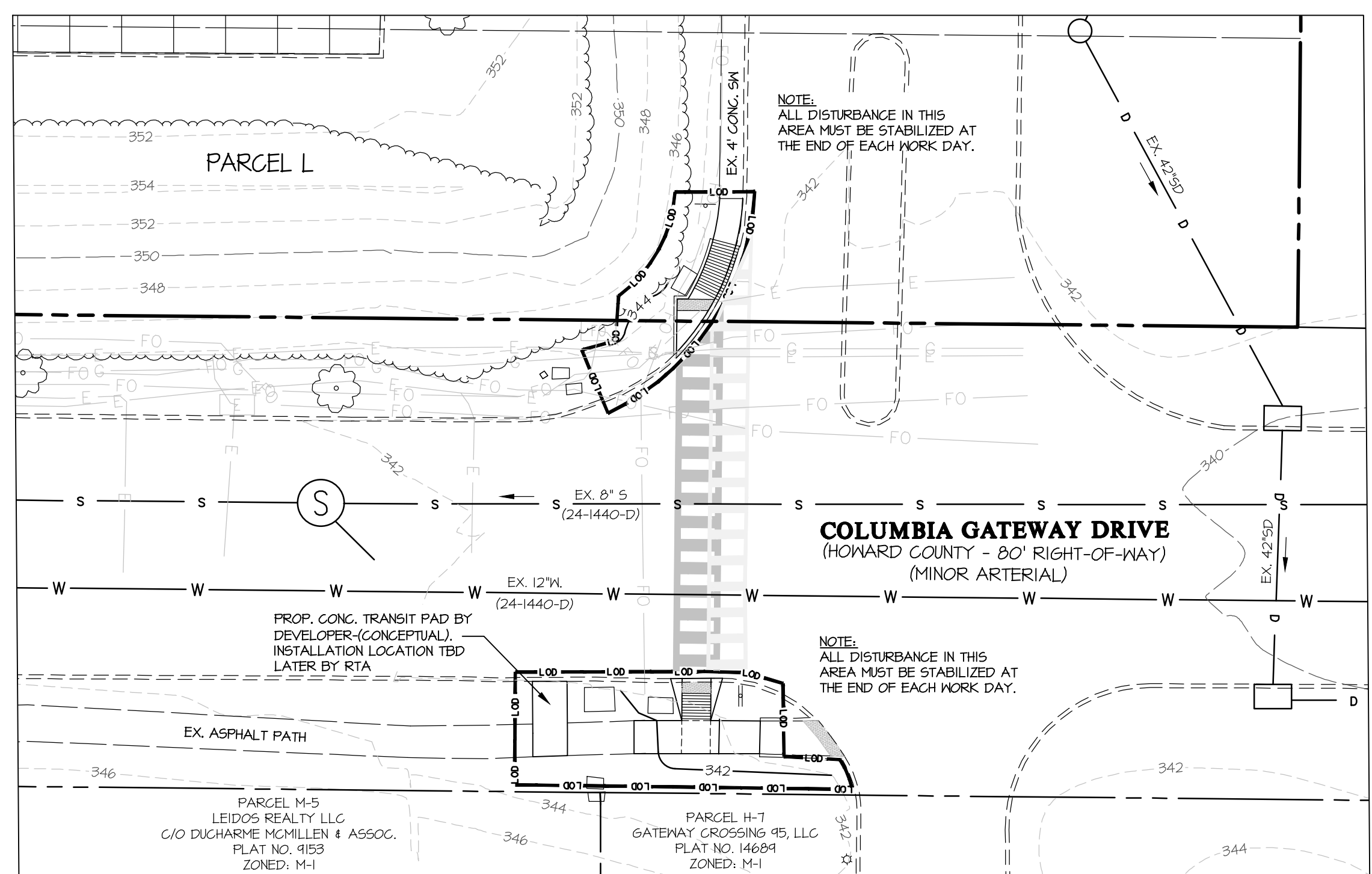
SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	M-1	20133
DATE	TAX MAP - GRID	SHEET
FEB., 2021	43-01	7 OF 12



PLAN VIEW
SCALE: 1" = 30'



INSET 'A'
SCALE: 1" = 20'



INSET 'B'
SCALE: 1" = 20'

SOILS

SYMBOL	SOIL NAME	H ₅₀	K _f FACTOR
UID	URBAN LAND-UDORTHERENTS COMPLEX (0-15% SLOPES)	D	--

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DocuSigned by:
Alexander Bratche
5/19/2021

DESIGN CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

OWNERS/DEVELOPERS CERTIFICATION

I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

DocuSigned by:
Amy Staman
5/21/2021

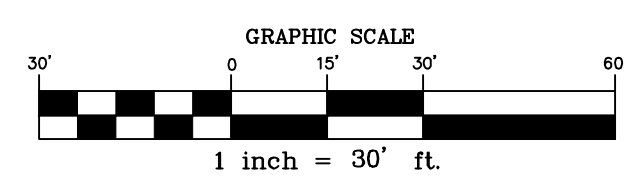
Director
Chad Edmondson
5/20/2021

DESIGNER'S SIGNATURE: *[Signature]* DATE: 05/13/21

DESIGNER'S NAME: CARL GUTSCHICK DATE: 12/15 (PE) MD REGISTRATION NO. [REDACTED]

OWNERS / DEVELOPER'S SIGNATURE: *[Signature]* DATE: 4/29/21

OWNERS / DEVELOPER'S NAME & TITLE: **W. Thomas Jones, Director, Dept. of Const.**



SEQUENCE OF CONSTRUCTION

1. APPLY FOR GRADING PERMIT AND SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE COUNTY INSPECTOR. OBTAIN GRADING PERMIT FROM THE INSPECTOR AT THE MEETING. DURATION: 1 day.
 2. INSTALL STABILIZED CONSTRUCTION ENTRANCE (SCE), SUPER SILT FENCE (SSF), AND INLET PROTECTION ON EXISTING STRUCTURES AS SHOWN ON THESE PLANS. IF CLEARING AND GRUBBING IS REQUIRED TO INSTALL THE PERIMETER DEVICES, IT MUST BE LIMITED TO JUST THAT AREA. DURATION: 1 week.
 3. BEGIN MASS GRADING. DURATION: 1 month.
 4. INSTALL STORM DRAIN, WATER, SEWER, AND DRY UTILITIES. DURATION: 1 month.
 5. BEGIN BUILDING CONSTRUCTION. DURATION: 6 months.
 6. INSTALL CURB & GUTTER, SIDEWALK, RAMPS, AND BASE PAVING. STABILIZE ALL OTHER DISTURBED AREAS WITH PERMANENT SEEDING, MULCH AND LANDSCAPING. DURATION: 1 month.
 7. FLUSH AND CLEAN STORM DRAIN SYSTEM. DURATION: 1-day.
 8. WHEN PERMISSION HAS BEEN GRANTED BY THE SEDIMENT CONTROL INSPECTOR, AND ALL AREAS DRAINING TO THE SEDIMENT CONTROL DEVICES HAVE BEEN STABILIZED, REMOVE THE SEDIMENT CONTROLS. CONTRACTOR IS TO IMMEDIATELY STABILIZE AREAS DISTURBED DURING THE REMOVAL OF THE DEVICES. DURATION: 1 week.
 9. INSTALL SURFACE COURSE PAVING AND PARKING LOT STRIPINGS. DURATION: 2 weeks.
 10. INSTALL LANDSCAPING.
- NOTE: WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, SOME OF THE ITEMS DESCRIBED ABOVE MAY BE PERFORMED CONCURRENTLY.

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PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4188

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APPR.
EWM	EWM	DDS				

OWNER/DEVELOPER:
COLGATEDRIVE ASSOCIATES, LLC
6711 COLUMBIA GATEWAY DRIVE
SUITE 300
COLUMBIA, MD 21046
ATTN: THOMAS FAHS
TEL: 443-285-5647

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2022.

05/13/21



SEDIMENT CONTROL PLAN

**UNITED WAY DAYCARE
COLUMBIA GATEWAY
PARCEL L
PLAT No. 6812**

SCALE: 1" = 30'
ZONING: M-1
DATE: FEB., 2021
TAX MAP - GRID: 43-01
G. L. W. FILE NO.: 20133
SHEET: 8 OF 12

HOWARD COUNTY, MARYLAND
ELECTION DISTRICT No. 6

B-4-2 STANDARD AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

DEFINITION THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.

PURPOSE TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

CONDITIONS WHERE PRACTICE APPLIES WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

CRITERIA

- A. SOIL PREPARATION
1. TEMPORARY STABILIZATION
a. SEEDING PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT...

B. TOPSOILING

- 1. TOPSOIL IS PLACED OVER PREPARED SUBSOIL TO ESTABLISHMENT OF PERMANENT VEGETATION...

C. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)

- 1. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS...

DESIGN CERTIFICATION

"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS...

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

HOWARD S.C.D. DATE

DESIGNED BY: Alexander Bratovic 5/19/2021

DATE: 5/21/2021

DATE: 5/19/2021

DATE: 5/20/2021

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B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITION THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

PURPOSE TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

CONDITIONS WHERE PRACTICE APPLIES TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.

CRITERIA

- A. SEEDING
1. SPECIFICATIONS
a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW...

B. MULCHING

- 1. MULCH MATERIALS (IN ORDER OF PREFERENCE)
a. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY...

OWNERS/DEVELOPERS CERTIFICATION

"I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN...

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

HOWARD S.C.D. DATE

DESIGNED BY: Alexander Bratovic 05/13/21

DATE: 05/13/21

DATE: 05/13/21

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HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES

DEFINITION TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

PURPOSE TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

CRITERIA

- 1. GENERAL USE
a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE...

PERMANENT SEEDING SUMMARY

Table with columns: HARDNESS ZONE, SEED MIXTURE, SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE

TEMPORARY SEEDING SUMMARY

Table with columns: HARDNESS ZONE, SEED MIXTURE, SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE

STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

DEFINITION CONTROLLING THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES.

PURPOSE TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES TO REDUCE ON AND OFF-SITE DAMAGE INCLUDING HEALTH AND TRAFFIC HAZARDS.

CONDITIONS WHERE PRACTICE APPLIES AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT.

CRITERIA

- 1. MULCHES: SEE SECTION B-4-2 SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS...

OWNERS/DEVELOPERS CERTIFICATION

"I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN...

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

HOWARD S.C.D. DATE

DESIGNED BY: Alexander Bratovic 05/13/21

DATE: 05/13/21

DATE: 05/13/21

DATE: 05/13/21

DATE: 05/13/21

LANDSCAPE NOTES

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE & THE HOWARD COUNTY LANDSCAPE MANUAL.
- CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET NO.1 SHALL APPLY.
- FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
- PLANT QUANTITIES SHOWN ON THE PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
- ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE AMERICAN STD. FOR NURSERY STOCK (ANSI Z60.1-Latest Edition). ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL.
- AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SOEDED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS (FOR TOPSOIL SPEC, SEE SHEET 0).
- THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
- ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.
- DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT, IF ANY.
- THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- SCHEDULES "A" AND "B" IS PROVIDED FOR LANDSCAPE SURETY CALCULATION PURPOSES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED WITH THE GRADING PERMIT IN THE AMOUNT OF \$ 400.00 AS FOLLOWS:
 3 SHADE TREES AT \$300/TREE = \$ 900.00

FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE LANDSCAPE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-313-2950.

PLANTING LEGEND

- EXISTING TREELINE
- EXISTING EVERGREEN TREE TO REMAIN
- EXISTING DECIDUOUS TREE TO REMAIN
- EXISTING DECIDUOUS TREE TO BE REMOVED
- PROPOSED SHADE TREE

BUFFER TYPE	SHADE TREES/LF	EVG. TREES/LF	SHRUBS/LF
A	1:60	0	0
B	1:50	1:40	0
C	1:40	1:20	0
D	1:60	1:10	0
E	1:40	0	1:4

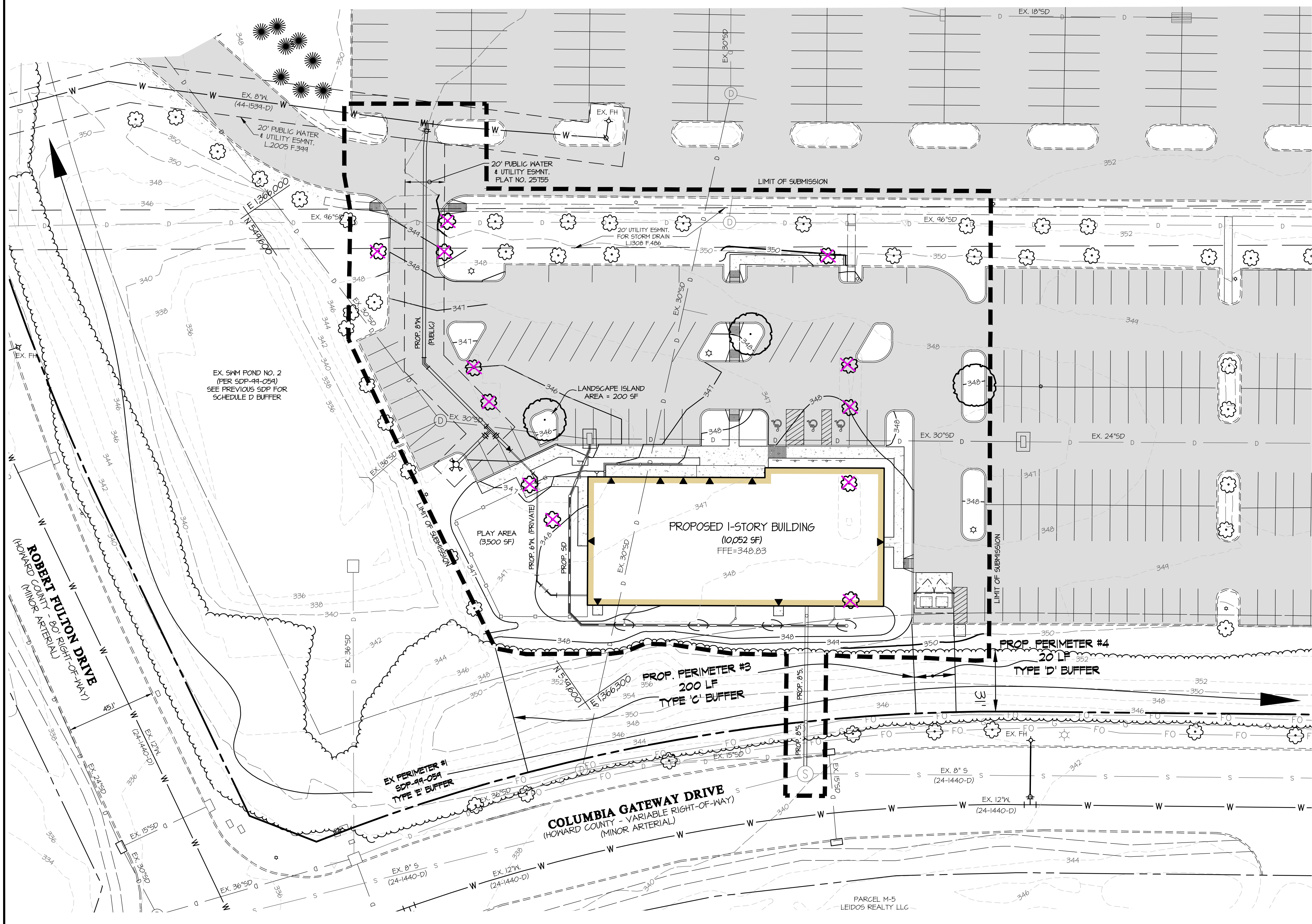
DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: DATE: 4/29/21

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Approved by: Date: 5/21/2021
 Director: Date: 5/19/2021
 Chief of Department: Date: 5/20/2021



SCHEDULE A: PERIMETER LANDSCAPE EDGE

PERIMETER #	EX. # (SDP-44-054)	#3	#4
USE SITUATION	PARKING ADJACENT TO ROADWAY	NON-RESIDENTIAL REAR ADJACENT TO ROADWAY	NON-RESIDENTIAL REAR LOADING (DUMPSTER) ADJACENT TO ROADWAY
LANDSCAPE BUFFER TYPE	TYPE E	TYPE C	TYPE D
LINEAR FEET OF ROADWAY/ PERIMETER FRONTAGE/BLDG.	2050' SEE NOTE	200'	20'
CREDIT FOR EX. VEGETATION (YES, NO; LINEAR FEET; DESCRIBE BELOW IF NEEDED)	YES 2050'	YES 200'	YES 20'
CREDIT FOR WALL, FENCE OR BERM (YES, NO; LINEAR FEET; DESCRIBE BELOW IF NEEDED)	N/A	NONE	NONE
NUMBER OF PLANTS REQUIRED			
SHADE TREES	0	0	0
EVERGREEN TREES	0	0	0
ORNAMENTALS	0	0	0
SHRUBS	0	0	0
NUMBER OF PLANTS PROVIDED			
SHADE TREES	0	0	0
EVERGREEN TREES	0	0	0
ORNAMENTALS	0	0	0
SHRUBS	0	0	0
SUBSTITUTIONS MADE			

NOTE - EXISTING PERIMETER #1 FROM SDP-44-051 ORIGINALLY INCLUDED THE NEW PERIMETERS #3 & 4. THE NEW PERIMETERS ARE SHOWN AS A RESULT OF THE CHANGE IN USE. THE EXISTING VEGETATION USED TO MEET PERIMETER #1 REQUIREMENT ON SDP-44-051 WILL BE USED TO MEET THE REQUIREMENTS FOR PROPOSED PERIMETERS #3 & 4.

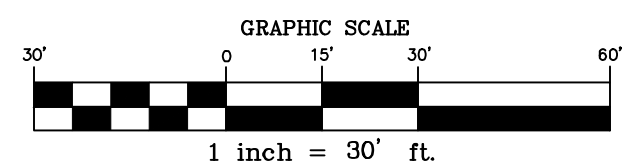
SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	51 SPACES (WITHIN LIMIT OF SUBMISSION)
NUMBER OF TREES REQUIRED	3 (1 SHADE TREE PER 20 PARKING SPACES)
NUMBER OF TREES PROVIDED	
SHADE TREES	3
OTHER TREES (2:1 substitution)	N/A

NOTE - SEE SDP-44-051 FOR THE OVERALL PARCEL L INTERNAL LANDSCAPING REQUIREMENT. ALL TREES REMOVED WITHIN THE LIMIT OF SUBMISSION ARE EXCESS TREES NOT REQUIRED TO MEET THE LANDSCAPE REQUIREMENTS SHOWN ON SDP-44-051.

PLANT LIST

SYMBOL	QTY.	NAMES (BOTANICAL / SCIENTIFIC)	SIZE	ROOT/COMMENTS
	3	MATCH EXISTING PARKING LOT TREES ACER RUBRUM RED SUNEYI RED SUNSET MAPLE	2 1/2-3" CAL	B&B



GLW
 PLANNING | ENGINEERING | SURVEYING
 3808 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-4024 | BALT. 410-880-1820 | DC/VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE	REVISION	BY	APPR.
EWM	EWM	DDS				

OWNER/DEVELOPER:
 COLGATEDRIVE ASSOCIATES, LLC
 6711 COLUMBIA GATEWAY DRIVE
 SUITE 300
 COLUMBIA, MD 21046
 ATTN: THOMAS FAHS
 TEL: 443-285-5647

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2022.
 05/13/21

LANDSCAPE PLAN
UNITED WAY DAYCARE
COLUMBIA GATEWAY
PARCEL L
PLAT No. 6812

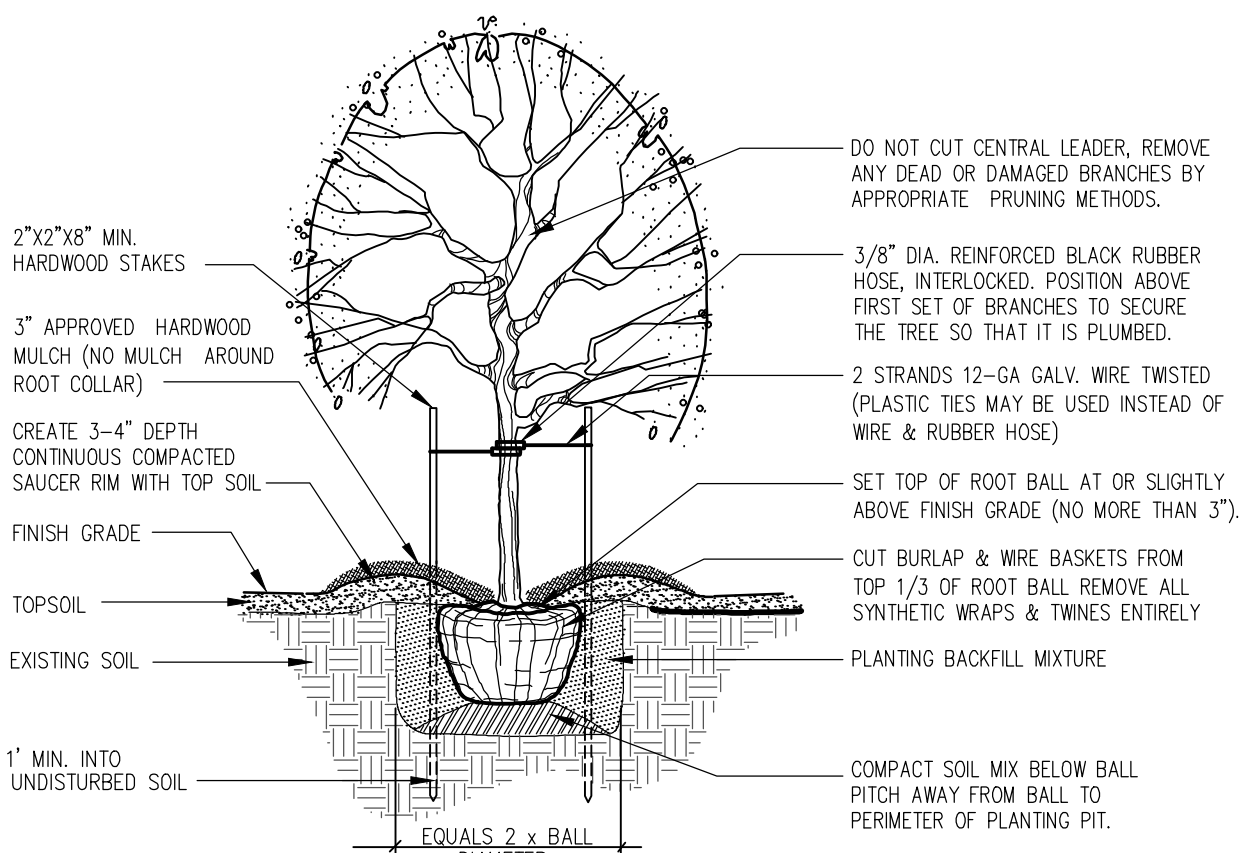
SCALE	ZONING	G. L. W. FILE No.
1"=30'	M-1	20133
DATE	TAX MAP - GRID	SHEET
FEB., 2021	43-01	10 OF 12

HOWARD COUNTY, MARYLAND
 ELECTION DISTRICT No. 6

L:\CADD\DRAWINGS\2013\PLANS BY GLW\SDP\2013-SDP-10-11-LS.dwg, PLOTTED: 5/13/2021 8:27 AM, LAST SAVED: 5/13/2021 8:27 AM, PLOTTED BY: Ecom Mitchell

LANDSCAPE SPECIFICATIONS:

- 1.0 GENERAL CONDITIONS**
- 1.1 SCOPE OF WORK:
 A. THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE ALL LANDSCAPE WORK AS SHOWN ON THE PLANS AND SPECIFICATIONS.
 B. TOTAL NUMBER OF PLANTS SHALL BE DRAWN ON THE LANDSCAPE PLAN. IF THERE IS A DISCREPANCY BETWEEN THE DRAWING AND THE LIST ON THE PLANS, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE LANDSCAPE ARCHITECT.
- 1.2 STANDARDS:
 A. ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT ISSUE OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI 260.1). ALL TREES TO BRANCH SYMMETRICALLY AROUND CENTRAL LEADER. NO FORKED LEADER STOCK WILL BE ACCEPTED.
 B. PLANT MATERIAL MUST BE SELECTED FROM NURSERIES THAT HAVE BEEN INSPECTED AND CERTIFIED BY STATE PLANT INSPECTORS.
 C. NOMENCLATURE WILL BE IN ACCORDANCE WITH HORTUS III BY L.H. BAILEY.
- 1.3 SUBMITTALS:
 WHEN REQUESTED BY THE OWNER OR OWNER'S REPRESENTATIVE, SAMPLES OF ALL MATERIAL OTHER THAN PLANTS SHALL BE SUBMITTED TO THE OWNER'S DESIGNATED REPRESENTATIVE FOR APPROVAL.
- 1.4 APPROVALS:
 ALL APPROVALS WILL BE IN WRITING.
- 1.5 SUBSTITUTIONS:
 IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO MAKE EVERY REASONABLE EFFORT TO FIND THE MATERIAL SPECIFIED BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE CONTRACTOR MAY OFFER SUBSTITUTIONS TO THE LANDSCAPE ARCHITECT FOR HIS/HER CONSIDERATION. THE LANDSCAPE CONTRACTOR WILL NOTIFY THE LANDSCAPE ARCHITECT IF THERE ARE KNOWN DISEASE OR INSECT RESISTANT SPECIES THAT CAN BE SUBSTITUTED FOR A SELECTED BEST-FRONE PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY HOWARD COUNTY GOVERNMENT.
- 1.6 UTILITIES AND UNDERGROUND FEATURES:
 THE LANDSCAPE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AND/OR THE GENERAL CONTRACTOR IN ADVANCE OF CONSTRUCTION TO LOCATE UTILITIES.
- 1.7 DRAINAGE:
 IF PLANTS ARE TO BE INSTALLED IN AREAS THAT SHOW OBVIOUS POOR DRAINAGE, AND THE PLANTS ARE INAPPROPRIATE FOR THAT CONDITION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND OWNER. IF THEY DEEM NECESSARY, THE PLANTS SHALL BE RELOCATED. THE CONTRACT SHALL BE ADJUSTED TO ALLOW FOR DRAINAGE CORRECTION AT A NEGOTIATED COST, OR THE PLANT SELECTION MODIFIED BY THE LANDSCAPE ARCHITECT TO ACCOMMODATE THE POOR DRAINAGE SITUATION.
- 1.8 WORKMANSHIP:
 A. DURING DELIVERY AND INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL PERFORM IN A WORKMANLIKE MANNER, COORDINATING HIS/HER ACTIVITIES SO AS NOT TO INTERFERE UNNECESSARILY WITH THE WORK OF OTHER TRADES AND LEAVING HIS/HER WORK AREAS CLEAN OF LETTER AND DEBRIS AT THE CLOSE OF EACH WORKDAY.
 B. DURING PLANTING, ALL AREAS SHALL BE KEPT NEAT AND CLEAN. PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING PLANTS, LARGE TREES, TREES AND STRUCTURES. WHERE EXISTING TREES ARE TO BE PRESERVED, ADDITIONAL PRECAUTIONS SHOULD BE TAKEN TO AVOID UNNECESSARY ACCUMULATION OF EXCAVATED MATERIALS, SOIL COMPACTION OR ROOT DAMAGE.
 C. UPON COMPLETION ALL DEBRIS AND WASTE MATERIAL RESULTING FROM PLANTING OPERATIONS SHALL BE REMOVED FROM THE PROJECT AND THE AREA CLEANED UP.
 D. ANY DAMAGE TO THE EXISTING UTILITIES, BUILDINGS, PAVING, CURB AND WALLS, AND VEGETATION (NOT SO DESIGNATED FOR REMOVAL ON THESE PLANS) SHALL BE REPAIRED TO PREVIOUS CONDITION OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- 1.9 WATER:
 A. THE OWNER SHALL SUPPLY WATER ON SITE AT NO COST. IF THE LANDSCAPE CONTRACTOR HAS TO SUPPLY WATER TO THE SITE, IT SHALL BE AT AN ADDITIONAL COST.
- 1.10 PLANTING SEASONS:
 A. RED OAK, WHITE OAK, HILLTOP OAK, SCARLET OAKS, DOGWOOD, SHEET GUM, CONIFERS, AND BROAD LEAF EVERGREENS WILL NOT BE PLANTED BETWEEN NOVEMBER 15 AND MARCH 1, UNLESS THE LANDSCAPE CONTRACTOR STATES IN WRITING THAT HE/SHE WILL GUARANTEE PLANTS.
- 1.11 INSPECTIONS AND ACCEPTANCE:
 A. INITIAL INSPECTION PRIOR TO PLANTING, ALL PLANT LOCATIONS SHALL BE STAKED IN THE FIELD BY THE CONTRACTOR. THE LANDSCAPE ARCHITECT SHALL BE CONTACTED TO INSPECT AND APPROVE ALL PLANT LOCATIONS BEFORE PLANTING.
 B. FINAL ACCEPTANCE INSPECTION: A VERIFICATION OF PERFORMANCE FOR WORK BY CONTRACT DOCUMENTS, TO BE CONDUCTED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE ON-SITE AND IN THE PRESENCE OF THE LANDSCAPE CONTRACTOR FOR THE PURPOSE OF ACCEPTANCE.
 C. FINAL WARRANTY INSPECTION: THE LANDSCAPE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION WITH THE OWNER OR OWNER'S REPRESENTATIVE AT THE END OF THE ONE YEAR PERIOD.
- 1.12 WARRANTY:
 A. THE STANDARD WARRANTY IS FOR ONE (1) YEAR PERIOD, EXCLUDING BULBS AND ANNUALS, COMMENCING ON THE DATE OF INITIAL ACCEPTANCE. ALL PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD.
 B. ANY MATERIAL THAT IS 25% DEAD OR MORE SHALL BE CONSIDERED DEAD AND MUST BE REPLACED AT NO CHARGE. A TREE SHALL BE CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR 25% OF THE CROWN IS DEAD.
 C. PERENNIALS SHALL BE GUARANTEED FOR ONE YEAR AFTER INITIAL ACCEPTANCE.
- 2.0 PLANT MATERIALS**
- 2.1 SCOPE OF WORK:
 THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL PLANT MATERIAL SHOWN ON THE DRAWINGS AND PLANT LIST.
- 2.2 INSPECTION:
 A. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR OWNER'S REPRESENTATIVE AT THE PLACE OF GROWTH (BEFORE DIGGING - TREES) OR HOLDING YARD (SHRUBS) FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AS TO QUALITY, SIZE, AND VARIETY.
- 3.0 PRODUCTS**
- 3.1 QUALITY ASSURANCE:
 MANUFACTURER'S CERTIFIED ANALYSIS SHALL ACCOMPANY PACKAGED STANDARD PRODUCTS.
- 3.2 ORGANIC MATTER:
 A. PEAT MOSS - TYPE 1 SPHAGNUM PEAT MOSS, FINELY DIVIDED WITH A PH OF 3.1 TO 5.0.
 B. SEDGE PEAT - DECOMPOSED PEAT CONTAINING NO IDENTIFIABLE FIBERS.
 C. LEAF COMPOST - THAT IS SCREENED AND FREE TO TRASH.
 D. COMPOSTED SEWAGE SLUDGE - APPROVED, SCREENED, POLYMER-DEWATERED SEWAGE SLUDGE WITH A PH OF 4.2 - 12.6 MA.
- 3.3 TOPSOIL:
 A. IT SHALL BE FREE OF STONES, LUMPS, PLANTS, ROOTS AND OTHER DEBRIS OVER 1/4". TOPSOIL MUST ALSO BE FREE OF PLANTS OR PLANT PARTS OF BERMUDAGRASS, QUACKGRASS, JOHNSONGRASS, MIGNORT, NITROGEN POISON IVY, CANADIAN HEMLOCK OR OTHERS AS SPECIFIED.
 B. IT SHALL NOT CONTAIN TOXIC SUBSTANCES HARMFUL TO PLANT GROWTH, I.E. PESTICIDE RESIDUES.
- 3.4 BACKFILL MIXTURE:
 A. BACKFILL MIXTURE FOR TREES AND SHRUBS SHALL BE 3/4 EXISTING SOIL MIXED WITH 1/4 ORGANIC MATERIAL, PLUS GRANULAR FERTILIZER.
- 3.5 MULCH:
 A. MATERIAL SHALL BE COMPOSTED, SHREDDED HARDWOOD BARK, WITH LESS THAN 10% SAPIWOOD, DARK BROWN IN COLOR, OR APPROVED EQUAL.
 B. MATERIAL SHALL BE UNIFORM IN SIZE AND FREE OF FOREIGN MATTER.
- 4.0 PLANTING PROCEDURE FOR TREES**
- 4.1 TREE PLANTING:
 A. WALL OF TREE PIT SHALL BE DUG SO THAT THEY ARE VERTICAL OR SLOPING OUTWARD IN HEAVY SOILS, BE AND SCARIFIED.
 B. THE TREE PIT MUST BE A MINIMUM OF 4" LARGER ON EVERY SIDE THAN THE BALL OF THE TREE.
 C. PLACE THE TREE IN THE PIT CARRYING THE BALL AND THEN LOWERING IT INTO THE PIT. NEVER LIFT THE TREE BY THE TRUNK OR BRANCHES.
 D. SET THE TREE STRAIGHT AND IN THE CENTER OF THE PIT WITH THE MOST DESIRABLE SIDE FACING TOWARD THE PROMINENT VIEW.
 E. BACKFILL TREE PIT WITH A SOIL MIXTURE STATED IN THE SPECIFICATIONS.
 F. CUT AND REMOVE ROPE OR WIRE OFF THE TOP 50% OF ROOTBALL AND PULL BURLAP BACK TO THE EDGE OF THE BALL. REMOVE AS MUCH BURLAP, ROPE PRODUCTS AND TWINE AS POSSIBLE. ALL PLASTIC OR SYNTHETIC FILM MUST BE REMOVED FROM THE ROOTBALL. CUT ALL TWINE AWAY FROM TRUNK.
 G. FORM A SAUCER ABOVE EXISTING GRADE, AROUND THE OUTER RIM OF THE TREE PIT, ESPECIALLY ON SLOPES AND IN HEAVY SOILS.
 H. MULCH TOP OF ROOT BALL AND SAUCER TO A MINIMUM DEPTH OF 2", NOT TO EXCEED 3". DO NOT PLACE MULCH AGAINST THE TRUNK.
 I. WATER THOROUGHLY ON THE INTERIOR OF THE TREE SAUCER UNTIL IT IS FILLED, EVEN IF IT IS RAINING. A SECOND WATERING MAY BE NECESSARY TO INSURE SATURATION OF THE ROOT BALL AND ELIMINATION OF AIR POCKETS.
 J. PRUNING SHOULD BE RESTRICTED TO CORRECTIVE PRUNING TO IMPROVE FORM ONLY.
 K. STAKE TREE PER PLANTING DETAIL.
- 5.0 PLANTING PROCEDURES FOR SHRUBS**
- 5.1 PLANTING SHRUBS:
 A. FOR A SINGLE SHRUB, THE PIT SHALL BE DUG 1" WIDER THAN THE ROOTBALL AND DEEP ENOUGH TO ALLOW 1/8TH OF THE ROOTBALL TO SET ABOVE EXISTING GRADE. (SINGLE SHRUB PLANTING ONLY IF NOTED ON PLANS)
 B. FOR A SHRUB MASS PLANTING, THE ENTIRE BED AREA SHALL BE TILLED 4-6" DEEP. TILLING SHOULD ONLY BE DONE IN DRY SOIL TO AVOID COMPACTION. IF THE SOIL IS HEAVY IN CLAY AND SILT, ORGANIC MATERIAL SHOULD BE ADDED. EACH SHRUB PIT SHALL BE EXCAVATED FOR THE PROPER SETTING OF THE ROOTBALL.
 C. PLACE THE SHRUB IN THE PIT BY LIFTING AND CARRYING IT BY THE ROOTBALL. REMOVE CONTAINERS FROM ALL CONTAINER-GROWN SHRUBS. SLASH THE EDGES OF THE ROOTBALL FROM TOP TO BOTTOM AT LEAST 1" DEEP.
 D. SET THE SHRUB AND IN THE CENTER OF THE PIT WITH THE MOST DESIRABLE SIDE FACING TOWARD THE PROMINENT VIEW.
 E. CUT AND REMOVE ROPE OR WIRE OFF THE TOP 50% OF ROOTBALL AND PULL BURLAP BACK TO THE EDGE OF THE BALL. REMOVE AS MUCH BURLAP, ROPE PRODUCTS AND TWINE AS POSSIBLE. ALL PLASTIC OR SYNTHETIC FILM MUST BE REMOVED FROM THE ROOTBALL. CUT ALL TWINE AWAY FROM TRUNK.
 F. FORM A SAUCER ABOVE THE EXISTING GRADE AND COMPLETELY AROUND THE PLANTING PIT.
 G. MULCH TOP OF ROOTBALL AND SAUCER A MAXIMUM DEPTH OF 2".
 H. WATER SHRUB MASS THOROUGHLY, EVEN IF IT IS RAINING. A SECOND WATERING MAY BE NECESSARY TO INSURE SATURATION OF THE ROOT BALL AND ELIMINATION OF AIR POCKETS.
- 6.0 PLANTING PROCEDURES FOR GROUND COVER, PERENNIALS AND ANNUALS**
- 6.1 PLANTING GROUND COVER, PERENNIAL AND ANNUAL BEDS:
 A. THE PLANTING BED SHALL BE LOOSENED WHEN THE SOIL IS DRY PRIOR TO PLANTING BY TILLING. SOIL SHALL BE LOOSENED TO A DEPTH OF 4 TO 6".
 B. ORGANIC MATTER SHALL BE SPREAD OVER THE BED TO A DEPTH OF 2" FOR PEAT MOSS OF 1" DEEP FOR COMPOST, I.E. NOT TO EXCEED 4 CUBIC YARDS OF COMPOST/1000 SQUARE FEET, AFTER THE SOIL HAS BEEN LOOSENED. THE ORGANIC MATTER SHALL BE WORKED INTO THE BED BY TILLING.
 C. FERTILIZER SHALL BE TOP-DRESSED OVER BED AREA.
 D. THE PLANT, EITHER POTTED OR BARE ROOT, SHALL BE INSTALLED SO THAT THE ROOTS ARE SURROUNDED BY SOIL BELOW THE MULCH. POTTED PLANTS SHALL BE SET SO THAT THE TOP OF THE POT IS EVEN WITH THE EXISTING GRADE. THE ROOTS OF BARE ROOT PLANTS SHALL BE COVERED TO THE GROWN.
 E. SPACING OF PLANTS SHALL BE INSTALLED AS NOTED ON THE LANDSCAPE PLAN.
 F. THE ENTIRE BED SHALL BE MULCHED TO A MINIMUM DEPTH OF 1.2" MAXIMUM, WITH APPROVED MULCH.
 G. THE ENTIRE PLANTING BED SHALL BE THOROUGHLY WATERED.



NOTE: ALL SUPPORTING DEVICES (STAKES, WIRES, ETC.) SHALL BE REMOVED AFTER 2 GROWING SEASONS.

DECIDUOUS TREE PLANTING DETAIL
 FOR PLANTING MATERIAL UP TO 3 1/2" CALIBER

L:\CADD\DRAWINGS\2013\PLANS BY GLW\SP/2013-SDP-10-10-11-LS.dwg, PLOTTED: 5/1/2021 11:15 AM, LAST SAVED: 5/1/2021 11:11 AM, PLOTTED BY: Ecom Mitchell

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Designated by: Amy Groman 5/21/2021
 Date

Checked by: Chad Edmondson 5/19/2021
 Date

Checked by: Chad Edmondson 5/20/2021
 Date

GLW
 PLANNING | ENGINEERING | SURVEYING

3809 NATIONAL DRIVE | SUITE 250 | BURTNSVILLE, MD 20896 | GLWPA.COM
 PHONE: 301-421-4024 | BALT. 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	DATE	REVISION	BY	APPR.
EWM				
DRAWN BY:				
EWM				
CHECKED BY:				
DDS				

OWNER/DEVELOPER:
 COLGATEDRIVE ASSOCIATES, LLC
 6711 COLUMBIA GATEWAY DRIVE
 SUITE 300
 COLUMBIA, MD 21046
 ATTN: THOMAS FAHS
 TEL: 443-285-5647

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12915
 EXPIRATION DATE: MAY 26, 2022

05/13/21

LANDSCAPE PLAN - NOTES AND DETAILS

SCALE	ZONING	G. L. W. FILE NO.
N/A	M-1	20133
DATE	TAX MAP - GRID	SHEET
FEB., 2021	43-01	11 OF 12

**UNITED WAY DAYCARE
 COLUMBIA GATEWAY
 PARCEL L
 PLAT No. 6812**

ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

