

# SITE DEVELOPMENT PLAN

## PATAPSCO CROSSING

### LOT 39

### HOWARD COUNTY, MARYLAND

#### GENERAL NOTES:

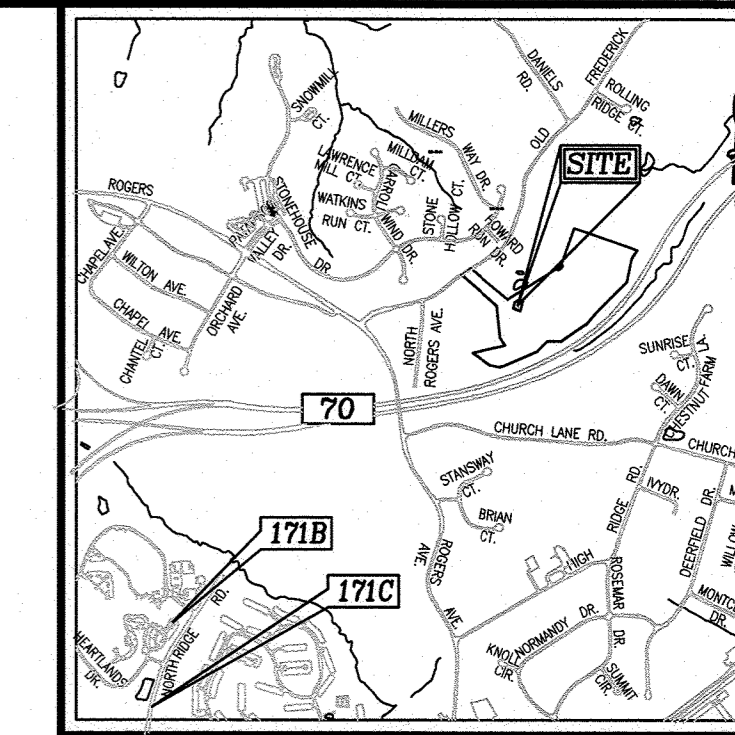
1. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
2. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
3. ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS ALTERNATIVE COMPLIANCE REQUESTS HAVE BEEN APPROVED.
4. THE SUBJECT PROPERTY IS ZONED R-20 IN ACCORDANCE WITH THE 2013 COMPREHENSIVE ZONING PLAN.
5. THE EXISTING ON-SITE TOPOGRAPHY IS BASED ON A TOPOGRAPHIC SURVEY BY MCKENZIE-SNYDER DATED APRIL, 2011. OFF SITE AREAS HAVE BEEN SUPPLEMENTED WITH HO CO GIS TOPOGRAPHICAL INFORMATION.
6. EXISTING CONTOURS ON-SITE ASSUME PROPOSED GRADES FROM F-18-087 HAVE BEEN ESTABLISHED.
7. BOUNDARY INFORMATION IS FROM BOUNDARY SURVEYS BY GUTSCHICK, LITTLE, AND WEBER, P.A., DATED MAY 2013.
8. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 18 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
9. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENTS 171B AND 171C WERE USED FOR THIS PROJECT.
10. THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. DEVELOPMENT OR CONSTRUCTION OF THESE LOTS MUST COMPLY WITH SETBACKS AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, ALTERNATIVE COMPLIANCE, OR BUILDING AND GRADING PERMITS.
11. STORMWATER MANAGEMENT WAS REVIEWED AND APPROVED UNDER F-19-038. STORMWATER MANAGEMENT FOR THIS PROJECT IS PROVIDED BY THE USE OF ON-LOT MICRO-SCALE PRACTICES IN ACCORDANCE WITH ENVIRONMENTAL SITE DESIGN CRITERIA. ON-LOT MICRO-SCALE PRACTICES INCLUDE DRYWELLS. ON-LOT FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED.
12. PRIOR TO SIGNATURE APPROVAL OF THIS SITE DEVELOPMENT PLAN, THE BUILDER/DEVELOPER SHALL EXECUTE THE DECLARATION OF COVENANTS FOR THE CONSTRUCTION OF THE ON-LOT PRACTICES AND A MAINTENANCE AGREEMENT.
13. REFER TO THE STORMWATER MANAGEMENT INFORMATION CHART FOR FACILITIES CONSTRUCTED UNDER F-19-038 AND THE STORMWATER MANAGEMENT PRACTICE CHART FOR THE FACILITIES TO BE CONSTRUCTED UNDER THIS PLAN.
14. THE PROPOSED UNIT SHALL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.
15. EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS AND AVAILABLE RECORD DRAWINGS, APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE.
16. ANY DAMAGE TO THE COUNTY'S RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
17. SHC ELEVATIONS ARE LOCATED AT THE PROPERTY LINE/EDGE OF EASEMENT.
18. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING:
- AT&T 1-800-252-1133
- BOE (CONSTRUCTION SERVICES) 410-637-8713
- BOE (EMERGENCY) 410-685-0123
- BUREAU OF UTILITIES 410-313-4900
- COLONIAL PIPELINE CO 410-791-3900
- MISS UTILITY 1-800-257-7777
- STATE HIGHWAY ADMINISTRATION 410-531-5533
- VERIZON 1-800-743-0033
19. THERE ARE EXISTING DWELLING/STRUCTURES LOCATED ON LOT 34 TO REMAIN.
20. DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
  - A) WIDTH - 12 FEET (16 FEET IF SERVING MORE THAN ONE RESIDENCE)
  - B) SURFACE - 6" OF COMPACTED CRUSHER RUN BASE W/TAR AND CHIP COATING (1-1/2" MIN.)
  - C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE, AND MINIMUM 45 FOOT TURNING RADIUS
  - D) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING)
  - E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD EVENTS WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
  - F) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE
21. DRIVEWAY ENTRANCES ALONG 7" COMBINATION CURB & GUTTER LINED ROADWAYS/UC DRIVES SHALL UTILIZE HOWARD COUNTY STANDARD DETAIL NO. R-5.01
22. DRIVEWAY ENTRANCES ALONG MODIFIED COMBINATION CURB & GUTTER LINED ROADWAYS SHALL UTILIZE HOWARD COUNTY STANDARD DETAIL NO. R-6.03.
23. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS (S) OR FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.
24. TRASH & RECYCLING COLLECTION WILL BE AT THE COUNTY ROADWAYS WITHIN FIVE FEET (5') OF THE COUNTY ROADWAY.
25. THIS PROPERTY IS WITHIN THE METROPOLITAN DISTRICT.
26. WATER SERVICE CONNECTIONS (WHC) FOR THIS PROJECT ARE FROM PUBLIC CONTRACT NO. 14-4879-D.
27. SEWER SERVICE CONNECTIONS (SSC) FOR THIS PROJECT ARE FROM PUBLIC CONTRACT NO. 14-4879-D.
28. WATER AND SEWER SERVICE TO LOT 39 WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 18.122.B OF THE HOWARD COUNTY CODE.
29. PUBLIC WATER AND SEWER ALLOCATION WILL BE GRANTED AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF CAPACITY IS AVAILABLE AT THAT TIME.
30. ALL WATER HOSE CONNECTIONS SHALL BE OUTSIDE METER SETTING UNLESS OTHERWISE NOTED ON THE PLANS OR IN SPECIFICATIONS.
31. THERE IS A CEMETERY ON SITE LOCATED ON OPEN SPACE LOT 46. THE CEMETERY ON SITE IS LOCATED IN THE CEMETERY INVENTORY AS #17-6 / GOSNELL FAMILY CEMETERY IN ACCORDANCE WITH THE CEMETERY MAP INVENTORY. THE CEMETERY SHALL BE DEDICATED TO AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
32. SUNELL LANE IS CLASSIFIED AS A PUBLIC ACCESS STREET.
33. THE WETLANDS DELINEATION STUDY FOR THIS PROJECT WAS PREPARED BY KLEBASCO ENVIRONMENTAL, LLC DATED, OCTOBER 02, 2012, AND APPROVED ON JULY 30, 2015.
34. FOREST CONSERVATION EASEMENTS HAD BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE HOWARD COUNTY FOREST CONSERVATION MANUAL.
35. TOTAL FOREST CONSERVATION OBLIGATION OF THIS PROJECT HAD BEEN FULFILLED, RECORDED AND AMENDED UNDER F-19-038.
36. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
37. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED MAY 5, 2014, AND APPROVED ON AUGUST 21, 2014.
38. A NOISE STUDY HAS BEEN COMPLETED BY PHOENIX ENGINEERING DATED JANUARY 2015 AND WAS APPROVED WITH SP-15-002 ON JULY, 2015.
39. THE 65db noise line ESTABLISHED BY HOWARD COUNTY IS TO ALERT DEVELOPERS, BUILDERS AND FUTURE RESIDENTS THAT AREAS BEHIND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
40. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY GTA, DATED JUNE 4, 2014.
41. THE PRE-SUBMISSION COMMUNITY MEETING WAS HELD FOR THIS PROJECT ON JULY 18, 2013.
42. THE ENVIRONMENTAL CONCEPT PLAN (ECP-14-059) WAS APPROVED ON DECEMBER 2018.
43. PERIMETER LANDSCAPING FOR THIS PROJECT WAS APPROVED WITH F-19-038. A LANDSCAPE PLAN WAS PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE LANDSCAPE MANUAL. THE FINANCIAL SURETY FOR PERIMETER LANDSCAPING WAS POSTED AS PART OF THE F-19-038 DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$14,700.00 FOR THE 47 SHADE TREES AND 4 EVERGREEN TREES. THE FINANCIAL SURETY FOR THE SINGLE FAMILY DETACHED INTERNAL LANDSCAPING SHALL BE POSTED WITH THE DEVELOPERS GRADING PERMIT.
44. A PRELIMINARY PLAN (SP-12-002) RECEIVED SIGNATURE APPROVAL JUNE 23, 2015.
45. SOIL TYPES SHOWN HEREON ARE IN ACCORDANCE WITH THE SOIL SURVEY HOWARD COUNTY, MARYLAND.
46. THE FLOODPLAIN STUDY FOR THIS PROJECT WAS PREPARED BY MASER CONSULTING P.A., DATED JANUARY 5, 2017 AND APPROVED ON JANUARY 19, 2018.
47. STEEP SLOPES OVER 20,000 SF CONTIGUOUS ARE SHOWN HEREON.
48. IN ACCORDANCE WITH DESIGN MANUAL-VOLUME 3, CHAPTER 2 - SECTION 2.9.B. PARKING IS REQUIRED AT TWO (2) SPACES PER UNIT OFF STREET PARKING TO INCLUDE GARAGE SPACE, DRIVEWAY AND PARKING PADS. GARAGES COUNT AS A FULL SPACE.
49. THE ONE (1) GARAGE SPACE MAY NOT BE CONVERTED TO LIVING SPACE AND SHALL ONLY BE UTILIZED FOR VEHICULAR PARKING SPACE.
50. REFER TO PARKING TABULATION.
51. THE HOMEOWNERS ASSOCIATION DOCUMENTS HAVE BEEN RECORDED WITH THE MARYLAND STATE DEPARTMENT OF ASSESSMENTS AND TAXATION AS RECORDING REFERENCE NUMBER F-18-087 ON 5/10/2019. HOMEOWNERS ASSOCIATION COVENANTS AND RESTRICTIONS WERE RECORDED SIMULTANEOUSLY WITH F-18-087 AS LIBER 13057340 WITH 10-00-2019.
52. THE MODERATE INCOME HOUSING UNIT REQUIREMENT (COUNCIL BILL 35-2013) SHALL BE FULFILLED BY DEVELOPER BY PAYING THE FEE IN LIEU.
53. THIS PROJECT IS SUBJECT TO WP-15-011 APPROVED ON JULY 30, 2014. THE DIRECTOR APPROVED AN ALTERNATIVE COMPLIANCE OF SECTION 16.1205(a)(7), PROHIBITING REMOVAL OF SPECIMEN TREES SUBJECT TO THE FOLLOWING CONDITIONS:
  - 1.) THE DEVELOPER PROPOSES THE PLACEMENT OF APPROXIMATELY 13 AC. OF EXISTING FOREST AND AFFORESTATION INTO FOREST CONSERVATION EASEMENT AREAS. IN ADDITION TO PERIMETER LANDSCAPING, STORMWATER MANAGEMENT SCREENING AND STREET TREES WILL BE PROVIDED. ALL PROPOSED PLANTINGS AND CREATION OF FOREST CONSERVATION EASEMENT AREAS WILL SERVE TO PROVIDE AN ALTERNATE PROPOSAL FOR THE REMOVAL OF 18 SPECIMEN TREES.
  - 2.) REMOVAL IS APPROVED FOR 18 OF 29 SPECIMEN TREES AS IDENTIFIED ON THE WAIVER PETITION EXHIBIT.
  - 3.) COMPLIANCE WITH THE SUBDIVISION REVIEW COMMITTEE AGENCY COMMENTS FOR SP-15-002 SUBDIVISION PLAN.
54. OPEN SPACE LOT 44 SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. OPEN SPACE LOTS 45 AND 46 SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
55. FOR STORMWATER MANAGEMENT SOIL BORING LOGS SEE FINAL PLAN F-19-038, SHEET 14.

#### BENCHMARKS

HOWARD COUNTY BENCHMARK 171B  
N 592,199.767 E 1,364,004.914 ELEV.: 376.282  
HOWARD COUNTY BENCHMARK 171C  
N 591,056.916 E 1,363,154.631 ELEV.: 415.413

#### LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- CENTERLINE OF EXISTING STREAM
- EXISTING CURB AND GUTTER
- EXISTING FOREST CONSERVATION AREA EASEMENT  
PLAT #25232-25237
- RECREATIONAL OPEN SPACE



VICINITY MAP  
SCALE: 1" = 2000'  
ADC MAP COORDINATE: 21 - B4

#### SHEET INDEX

COVER SHEET	DESCRIPTION	SHEET NO.
LAYOUT PLAN		1 OF 5
HOUSE TYPES, SITE DETAILS, STORMWATER MANAGEMENT - NOTES AND DETAILS		2 OF 5
SOILS MAP, GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN		3 OF 5
SOIL EROSION & SEDIMENT CONTROL PLAN - NOTES & DETAILS		4 OF 5
		5 OF 5

#### SITE ANALYSIS DATA

- |  |  |
|--|--|
| A. TOTAL PROJECT AREA:   | 0.22 AC  |
| B. AREA OF PLAN SUBMISSION:  | 0.22 AC (LOT 39)   |
| C. TOTAL NET AREA:   | 0.22 AC  |
| D. LIMIT OF DISTURBANCE:   | 0.237 AC   |
| E. PRESENT ZONING DESIGNATION:   | R-20   |
| F. PROPOSED USES FOR SITE AND STRUCTURES:  | SINGLE FAMILY DETACHED   |
| G. FLOOR SPACE ON EACH LEVEL OF BUILDING PER USE:  | N/A  |
| H. TOTAL NUMBER OF UNITS ALLOWED FOR PROJECT AS SHOWN ON FINAL PLAN:                       | 1 BUILDABLE LOT (THIS SDP)                                     |
| I. TOTAL NUMBER OF UNITS PROPOSED ON THIS SUBMISSION:                                      | 1 BUILDABLE LOT (THIS SDP)                                     |
| J. MAXIMUM NUMBER OF EMPLOYEES, TENANTS ON SITE PER USE:                                   | N/A  |
| K. NUMBER OF PARKING SPACES REQUIRED BY HO.C.O. ZONING REGULATIONS:                        | 2.5 PER UNIT   |
| L. NUMBER OF PARKING SPACES PROVIDED ON SITE:  | SEE PARKING TABULATION HEREON                                  |
| M. OPEN SPACE ON SITE:   | REFER TO F-19-038 = 13,711 SF                                  |
| N. AREA OF RECREATIONAL OPEN SPACE REQUIRED BY SUBDIVISION & LAND DEVELOPMENT REGULATIONS: | REFER TO F-19-038 = 11,700 SF ON LOT 42                        |
| O. BUILDING COVERAGE OF SITE:  | N/A  |
| P. APPLICABLE DPZ FILE REFERENCES:   | SP-15-002, ECP-14-059, WP-15-011, F-19-038, SDP-19-051, PB 414 |
| Q. ANY OTHER INFORMATION WHICH MAY BE RELEVANT:  | TAX MAP 18, GRID 13, PARCEL 25 2ND ELECTION DISTRICT           |
| FLOOR AREA RATIO:  | N/A  |

#### MIHU AGREEMENT

PLEASE NOTE THAT ALL LOTS (LOT 39) IN THIS SUBDIVISION ARE SUBJECT TO THE MIHU REQUIREMENT. 1 SINGLE FAMILY UNIT X 10% = 0.1 UNITS. AN MIHU FEE IN LIEU IS BEING PROVIDED FOR LOT 39.

MODERATE INCOME HOUSING UNIT (MIHU) CHART	
NUMBER OF DWELLING UNITS	1
10 % MIHU REQUIREMENT	0.10
MIHU PROVIDED	0

#### BUILDER

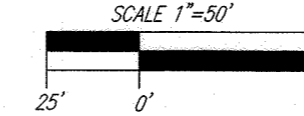
MILLER AND SMITH  
ATTN: STEVE B. AYLLOR  
1960 GALLOWAY ROAD, SUITE 200  
VIENNA, VA 22182  
703-821-2500

#### DEVELOPER

PLEASANTS DEVELOPMENT, LLC.  
24012 FREDERICK ROAD  
CLARKSBURG, MD 20871  
301-428-0800

#### LOCATION MAP

SCALE: 1" = 50'



ADDRESS CHART AND STORMWATER MANAGEMENT PRACTICES KEY		
LOT NO.	ADDRESS	FACILITY TYPE & MDE NO.
39	8504 SUNELL LANE	(3) DRY WELL (M-5)

#### PARKING TABULATION

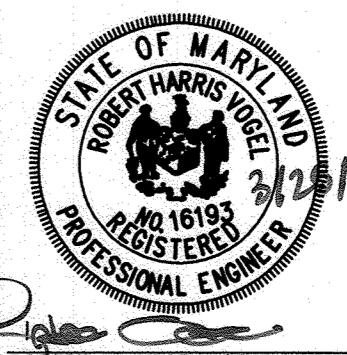
NUMBER OF SINGLE FAMILY DETACHED LOTS: 1  
REQUIRED PARKING (2 SPACES PER UNIT): 2  
REQUIRED OVERFLOW PARKING (0.5 SPACE PER UNIT): 1  
TOTAL REQUIRED SPACES: 3  
PARKING PROVIDED:  
4 SPACES PER UNIT (2 GARAGE + 2 DRIVEWAY): 5  
TOTAL PROVIDED SPACES: 5

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

4/13/21  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
4/19/21  
CHIEF, DIVISION OF LAND DEVELOPMENT  
4/19/21  
DIRECTOR

#### PERMIT INFORMATION CHART

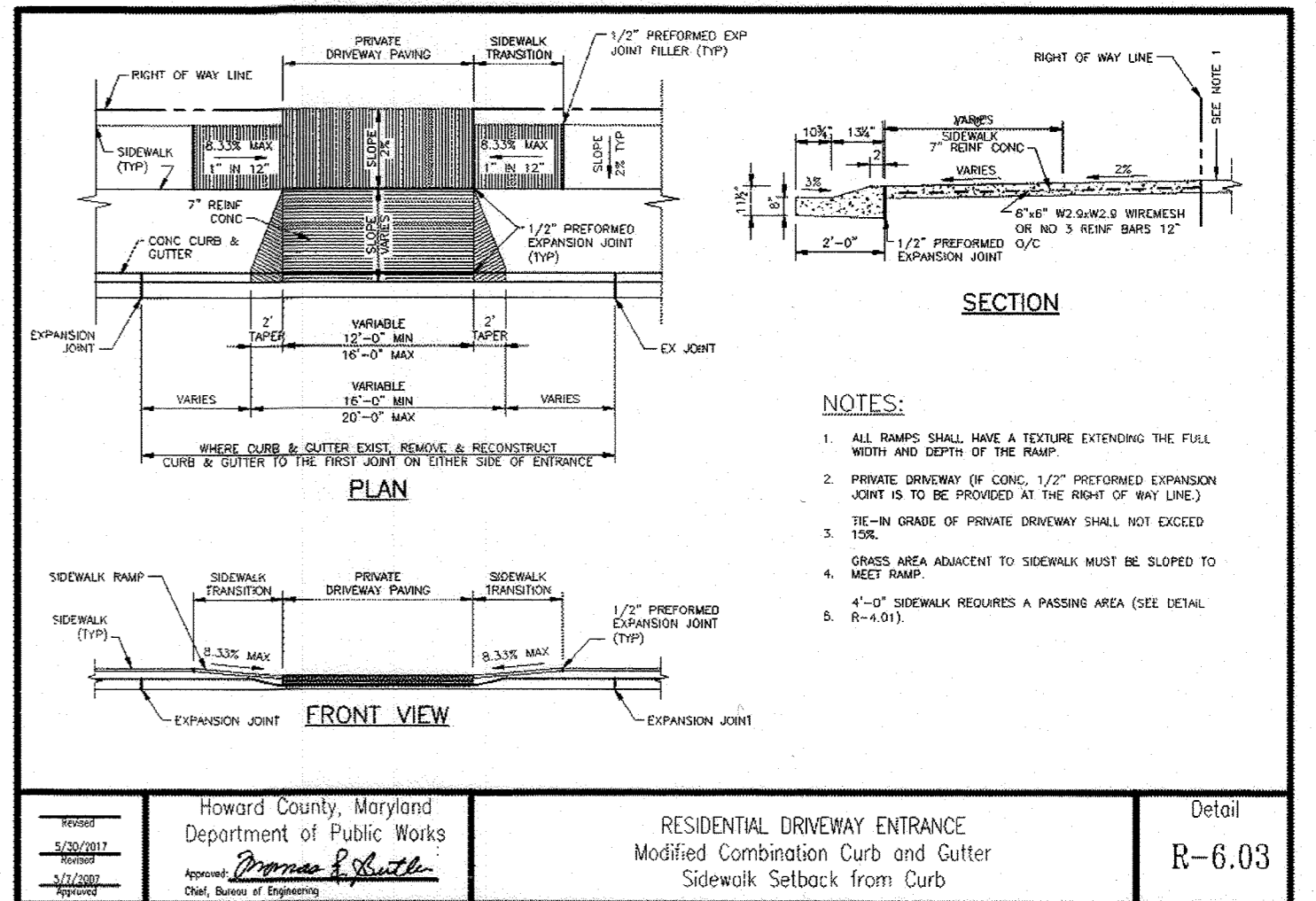
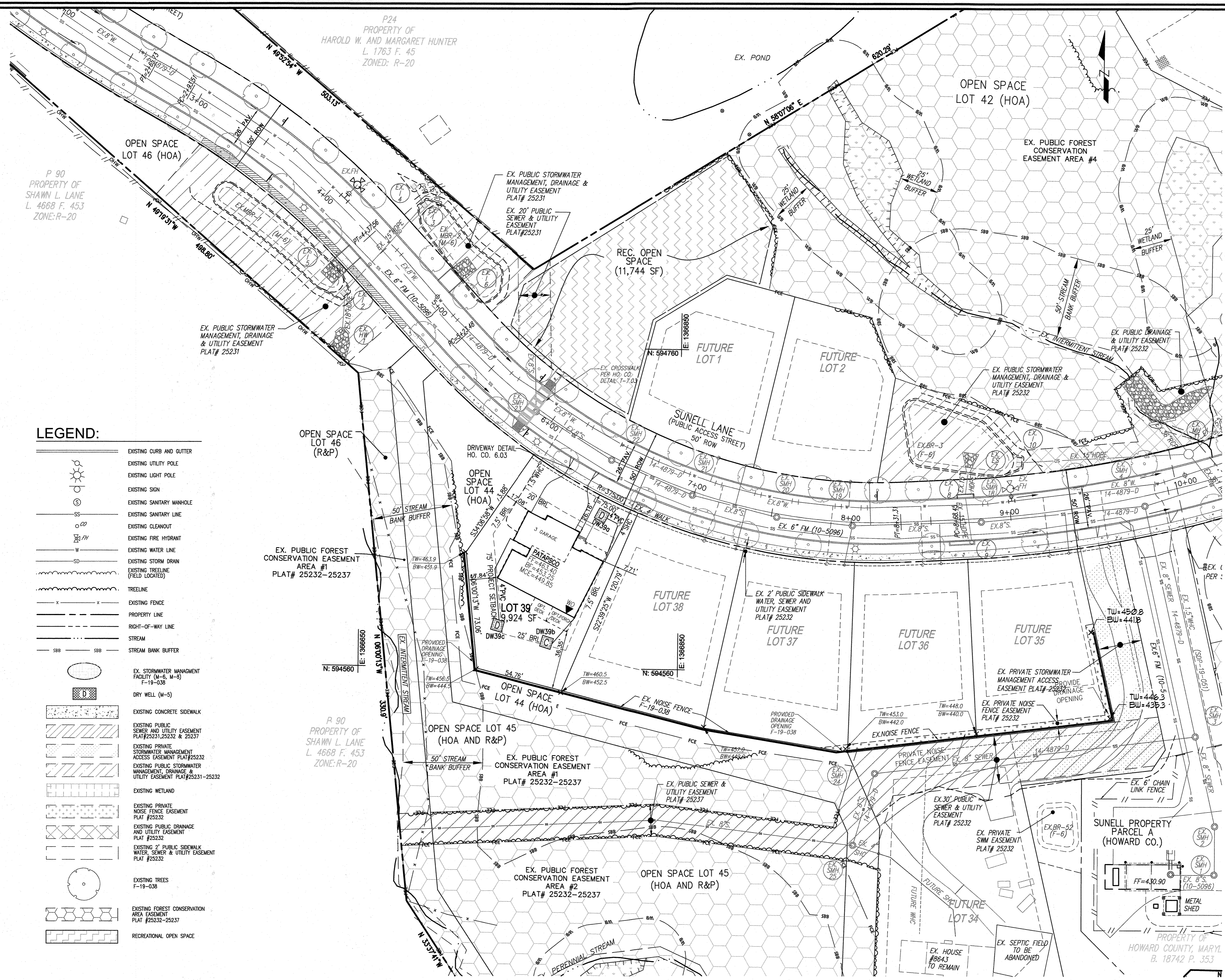
SUBDIVISION NAME	SECTION/AREA	LOTS/PARCEL #			
PATAPSCO CROSSING	N/A	25			
PLAT # OR L/F	BLOCK NO.	ZONE	TAX MAP	ELECT. DIST.	CENSUS TR.
25230-37	13	R-20	18	2ND	602100



DESIGN BY: RHY  
DRAWN BY: KG  
CHECKED BY: RHY  
DATE: MARCH 2021  
SCALE: AS SHOWN  
W.D. NO.: 47411

PROFESSIONAL CERTIFICATE  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16183 EXPIRATION DATE: 09-27-2022

1 SHEET OF 5



**NOTES:**

DECELERATION OF COVENANTS AND MAINTENANCE AND RIGHT OF ENTRY AGREEMENT FOR PRIVATE STORMWATER MANAGEMENT FACILITIES IS RECORDED AT BOOK 19061 PAGE 358.

**LEGEND:**

- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING STORM DRAIN
- EXISTING TREELINE (FIELD LOCATED)
- TREELINE
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- STREAM
- STREAM BANK BUFFER
- EX. STORMWATER MANAGEMENT FACILITY (M-5, M-8) F-19-038
- DRY WELL (M-5)
- EXISTING CONCRETE SIDEWALK
- EXISTING PUBLIC SEWER AND UTILITY EASEMENT PLAT# 25231, 25232 & 25237
- EXISTING PRIVATE STORMWATER MANAGEMENT ACCESS EASEMENT PLAT# 25232
- EXISTING PUBLIC STORMWATER MANAGEMENT, DRAINAGE & UTILITY EASEMENT PLAT# 25231-25232
- EXISTING WETLAND
- EXISTING PRIVATE NOISE FENCE EASEMENT PLAT #25232
- EXISTING PUBLIC DRAINAGE AND UTILITY EASEMENT PLAT #25232
- EXISTING 2' PUBLIC SIDEWALK WATER, SEWER & UTILITY EASEMENT PLAT #25232
- EXISTING TREES F-19-038
- EXISTING FOREST CONSERVATION AREA EASEMENT PLAT #25232-25237
- RECREATIONAL OPEN SPACE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

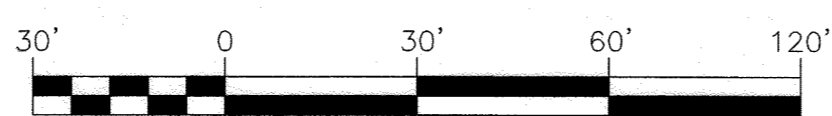
4/13/21  
DATE

4/19/21  
DATE

4/19/21  
DATE

**SITE LAYOUT PLAN**

SCALE: 1"=30'



**NOTES:**

1. REFER TO SHEET 3 FOR DRYWELL (DW) SIZE, NOTES & DETAILS

**NOTES:**

1. ALL WATER CONNECTIONS SHALL BE 1-1/2" WITH 1" OUTSIDE METER SETTINGS, UNLESS OTHERWISE NOTED. REFER TO HOWARD COUNTY DETAILS W-328 OUTSIDE METER SETTINGS.

**NOTE:**

1. TYPICAL DRIVEWAY WIDTH SHOWN HEREON IS 16 FEET WIDE FOR THE PROPOSED 2 CAR GARAGE. WIDTH SUBJECT TO CHANGE WITH BUILDER RESITE.

2. DRIVEWAYS: THE SHOWN DRIVEWAY LOCATION CANNOT CHANGE UNLESS NOTED ON THIS SDP CONFIRMING THAT THE GRADING AND DRIVEWAY SLOPES WILL REMAIN THE SAME WHETHER THE DRIVEWAY IS ON THE RIGHT OR LEFT SIDE OF THE HOUSE. ONLY ONE DRIVEWAY ORIENTATION CAN BE SHOWN FOR CORNER LOTS.

**BUILDER**  
MILLER AND SMITH  
ATTN: STEVE B. AYLER  
1960 GALLOWAY ROAD, SUITE 200  
VIENNA, VA 22182  
703-821-2500

**DEVELOPER**  
PLEASANTS DEVELOPMENT, LLC.  
24012 FREDERICK ROAD  
CLARKSBURG, MD 20871  
301-428-0800

NO.	REVISION	DATE

**SITE DEVELOPMENT PLAN**  
**LAYOUT PLAN**  
**PATAPSCO CROSSING**  
**LOT 39**

TAX MAP 18 GRID 13  
2ND ELECTION DISTRICT

PARCELS 25 - ZONED: R-20  
HOWARD COUNTY, MARYLAND

**VOGEL ENGINEERING**  
**TIMMONS GROUP**  
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

DESIGN BY: RHY  
DRAWN BY: KG  
CHECKED BY: RHY  
DATE: MARCH 2021  
SCALE: AS SHOWN  
W.O. NO.: 47411

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-29-2022

2 SHEET OF 5

ON-LOT STORMWATER MANAGEMENT PRACTICES

LOT NO.	PROJECT PHASE	M-5 DRYWELL	M-1 RAIN BARREL	N-1 ROOF OR DISCONNECT
39	N/A	3	0	0

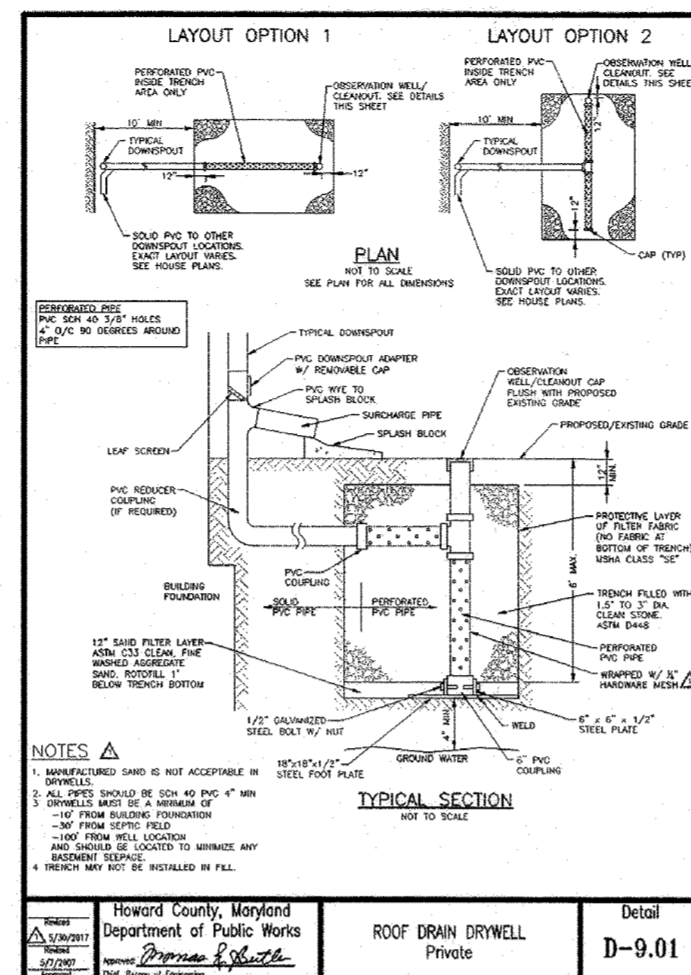
ON-LOT DRYWELL - DESIGN ELEVATION CHART

LOT NO.	SWM DA	DW LOCATION	NUMBER OF DWS	PROP. GRADE (OVER)	TOP STONE	INV. STONE	INV. SAND	SURFACE GRADE (OVER) (R)	STONE DEPTH (R)	SAND DEPTH (R)
39	DA-1a	F	1	461.00	460.00	455.00	454.00	8'x8'	5	1
	DA-1b	R	1	449.00	448.00	443.00	442.00	8'x8'	5	1
	DA-1c	R	1	450.50	449.50	444.50	443.50	7'x8'	5	1

\* ELEVATIONS ARE APPROXIMATE AND MAY VARY BASED ON OVERLOT FINE GRADING.  
R = REAR OF LOT  
F = FRONT OF LOT

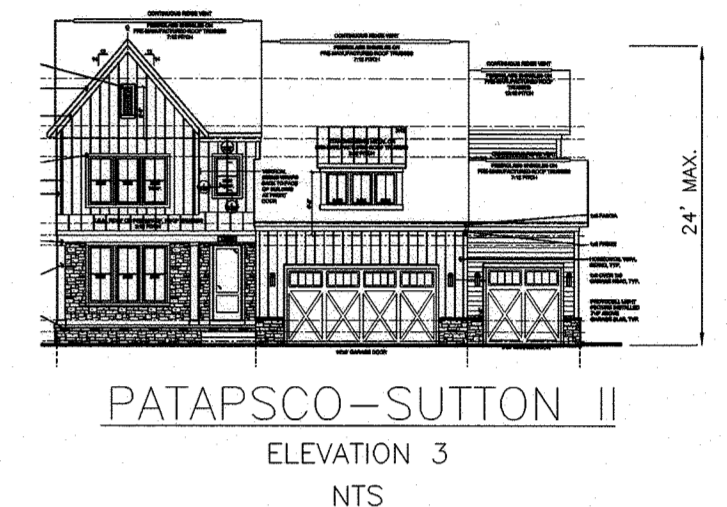
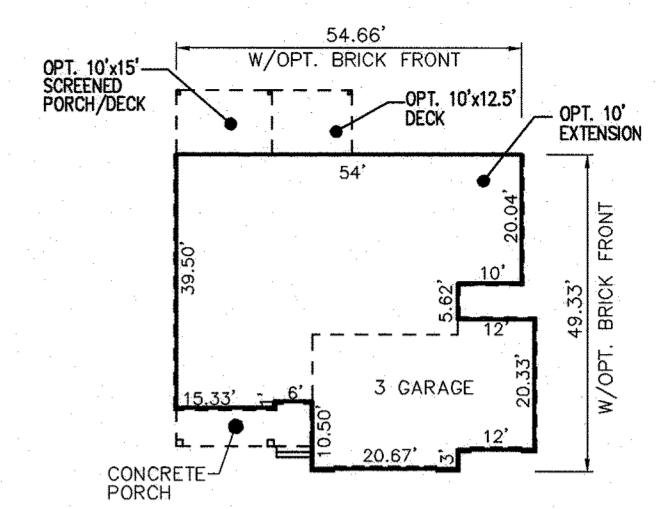
OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER DRY WELLS (M-5)

1. THE MONITORING WELLS AND STRUCTURES SHALL BE INSPECTED ON A QUARTERLY BASIS AND AFTER EVERY LARGE STORM EVENT.
2. WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS SHALL BE RECORDED OVER A PERIOD OF SEVERAL DAYS TO INSURE TRENCH DRAINAGE.
3. A LOG BOOK SHALL BE MAINTAINED TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
4. WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN THE 72 HOUR TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
5. THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
6. ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION FACILITY HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.



NOTES:

1. ADDITIONAL HOUSE TYPES AND OPTIONS MAY FIT ON ANY GIVEN LOT.
2. THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY BUILDING RESTRICTION LINES IS RECOMMENDED.
3. A MINIMUM OF 10 FEET SHALL BE PROVIDED BETWEEN THE CHOSEN HOME MODEL AND AN ON-LOT DRYWELL.
4. MODEL ELEVATION SHALL NOT EXCEED 34' MAX HEIGHT AS ALLOWED BY CEF-R ZONE.
5. IN ACCORDANCE WITH SECTION 128.0.A OF THE HOWARD COUNTY ZONING REGULATIONS:  
A. MAX ENCROACHMENT INTO SETBACK FOR CORNICES, EAVES AND CANTILEVERED BUILDING FEATURES WHICH DO NOT CONTAIN ANY FLOOR AREA OR EXTENSION OF INTERIOR LIVING SPACE IS: 3 FEET INTO ANY SETBACK.  
B. MAX ENCROACHMENT INTO SETBACK FOR BAY WINDOWS, WINDOW WELLS, ORIELS, VESTIBULES, BALCONIES AND CHIMNEYS IS: 4 FEET INTO ANY SETBACK OR A REQUIRED DISTANCE BETWEEN BUILDINGS, PROVIDED THE FEATURE HAS A MAXIMUM WIDTH OF 16 FEET AS MEASURED HORIZONTALLY ALONG THE WALL FROM WHICH THE FEATURE EXTENDS.  
C. MAX ENCROACHMENT INTO SETBACK FOR EXTERIOR STAIRWAYS OR RAMPS, ABOVE OR BELOW GROUND LEVEL EXCLUDING THOSE ATTACHED TO A PORCH OR DECK (SEE E) IS: 10 FEET INTO A FRONT SETBACK OR A SETBACK FROM A PROJECT BOUNDARY OR DIFFERENT ZONING DISTRICT; 16 FEET INTO A REAR SETBACK; 4 FEET INTO A SIDE SETBACK OR A REQUIRED DISTANCE BETWEEN BUILDINGS.  
D. MAX ENCROACHMENT INTO SETBACK FOR OPEN OR ENCLOSED PORCHES AND DECKS, AND THE STAIRWAYS OR RAMPS ATTACHED THERETO IS: 10 FEET INTO A FRONT OR REAR SETBACK, A SETBACK FROM A PROJECT BOUNDARY, A SETBACK FROM A DIFFERENT ZONING DISTRICT, OR A REQUIRED DISTANCE BETWEEN BUILDINGS.



**BUILDER**  
MILLER AND SMITH  
ATTN: STEVE B. AYLER  
1960 GALLOWAY ROAD, SUITE 200  
VIENNA, VA 22182  
703-821-2500

**DEVELOPER**  
PLEASANTS DEVELOPMENT, LLC.  
24012 FREDERICK ROAD  
CLARKSBURG, MD 20871  
301-428-0800

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN  
HOUSE TYPES, GENERAL NOTES,  
AND STORMWATER MANAGEMENT NOTES & DETAILS  
**PATAPSCO CROSSING**  
LOT 39

TAX MAP 18 GRID 13  
2ND ELECTION DISTRICT

PARCELS 25 - ZONED: R-20  
HOWARD COUNTY, MARYLAND

**VOGEL ENGINEERING**  
TIMMONS GROUP  
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com

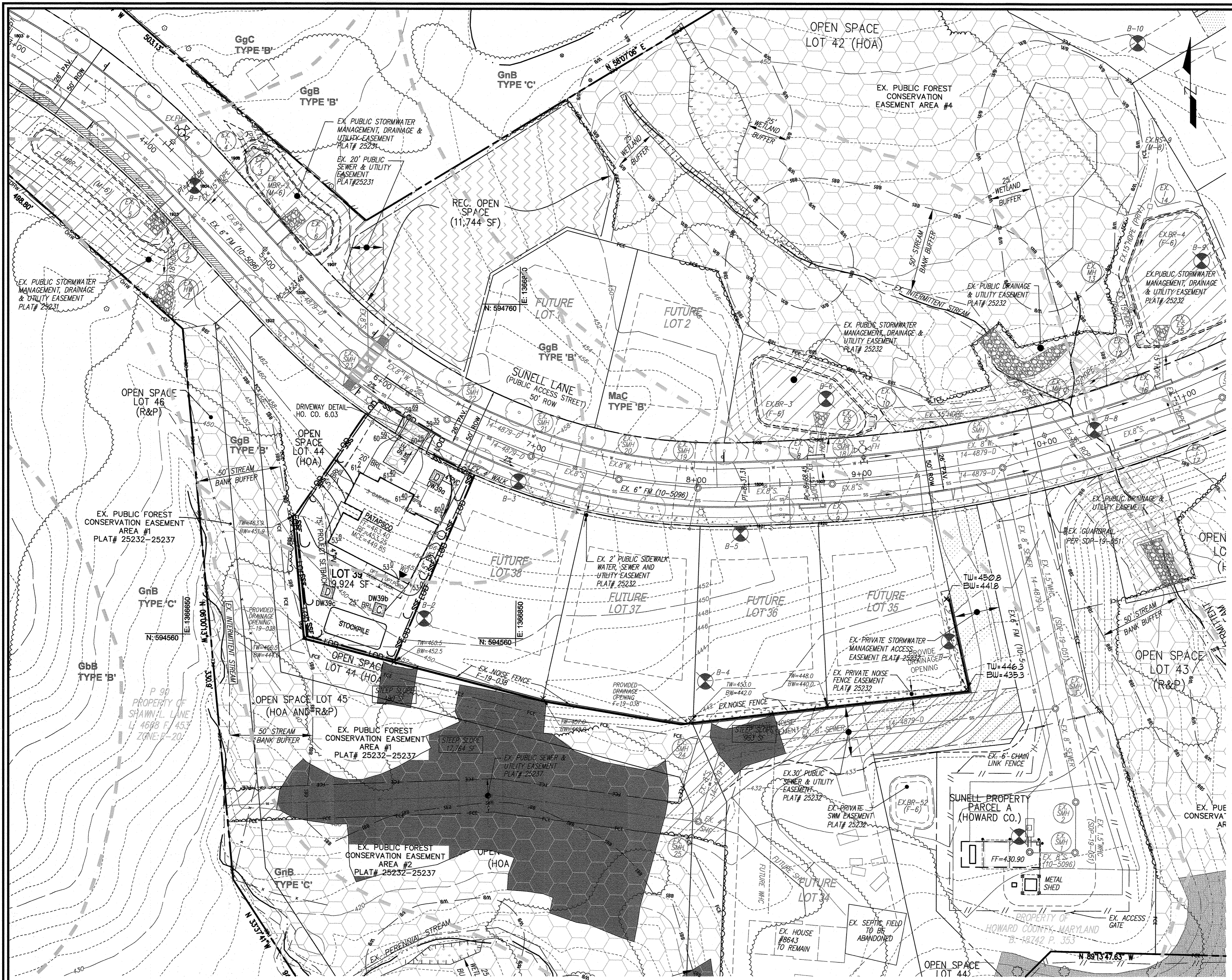
	DESIGN BY: RHY	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRES DATE: 03-27-2022.
	DRAWN BY: KG	
	CHECKED BY: RHY	
	DATE: MARCH 2021	
SCALE: AS SHOWN	W.O. NO.: 47411	3 SHEET OF 5

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 4/13/21  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 4/19/21  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 4/19/21  
DIRECTOR DATE



**SOIL EROSION & SEDIMENT CONTROL PLAN NOTES**

1. REFER TO SHEET 5 FOR SEQUENCE OF CONSTRUCTION
2. REFER TO SHEETS 5 FOR STANDARD DETAILS AND STABILIZATION NOTES
3. IF REQUIRED BY SEDIMENT CONTROL INSPECTOR, SUPER SILT FENCE SHALL REPLACE STANDARD SILT FENCE WHERE FENCING INTERCEPTS CONCENTRATED FLOWS.

- NOTES**
1. ALL EARTH DIKES ARE TO BE PLACED IN WORKING ORDER AT THE END OF EACH WORKING DAY.
  2. IMBRICATE SF/SSF IN 35' SEGMENTS AS REQUIRED UPHILL BY 2" IN ELEVATION.

- NOTES:**
1. REFER TO SHEET 3 FOR DRYWELL (DW) SIZE, NOTES & DETAILS

- NOTES:**
1. ALL WATER CONNECTIONS SHALL BE 1-1/2" WITH 1" OUTSIDE METER SETTINGS, UNLESS OTHERWISE NOTED. REFER TO HOWARD COUNTY DETAILS W-3.28 OUTSIDE METER SETTINGS.

- NOTES:**
- DRAINAGE OPENINGS HAVE BEEN PROVIDED ALONG EXISTING NOISE FENCE TO ALLOW WATER TO PASS THROUGH. PLEASE SEE SHEET 24 OF FINAL PLAN F-19-038 FOR LOCATION OF THESE OPENINGS.

**LEGEND:**

	EXISTING CONTOUR
	EXISTING SPOT ELEVATION
	EXISTING CURB AND GUTTER
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY LINE
	EXISTING FIRE HYDRANT
	EXISTING WATER LINE
	EXISTING STORM DRAIN
	EXISTING TREE LINE (FIELD LOCATED)
	TREE LINE
	EXISTING FENCE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	STREAM
	STREAM BANK BUFFER
	SOILS BOUNDARY
	EX. STORMWATER MANAGEMENT FACILITY (M-6, M-8)
	F-19-038
	DRY WELL (M-5)
	EXISTING CONCRETE SIDEWALK
	EXISTING PUBLIC SEWER AND UTILITY EASEMENT PLAT #25231, 25232 & 25237
	EXISTING PRIVATE STORMWATER MANAGEMENT ACCESS EASEMENT PLAT #25232
	EXISTING PUBLIC STORMWATER MANAGEMENT, DRAINAGE & UTILITY EASEMENT PLAT #25231-25232
	EXISTING WETLAND
	EXISTING PRIVATE NOISE FENCE EASEMENT PLAT #25232
	EXISTING PUBLIC DRAINAGE AND UTILITY EASEMENT PLAT #25232
	EXISTING 2' PUBLIC SIDEWALK WATER, SEWER & UTILITY EASEMENT PLAT #25232
	EXISTING FOREST CONSERVATION AREA EASEMENT PLAT #25232-25237
	RECREATIONAL OPEN SPACE
	PROP. CONTOUR SPOT ELEVATION
	EXISTING TREES F-19-038
	LIMIT OF DISTURBANCE
	SILT FENCE
	STABILIZED CONSTRUCTION ENTRANCE

**BUILDER**  
MILLER AND SMITH  
ATTN: STEVE B. AYLOR  
1960 GALLOWAY ROAD, SUITE 200  
VIENNA, VA 22182  
703-821-2500

**DEVELOPER**  
PLEASANTS DEVELOPMENT, LLC.  
24012 FREDERICK ROAD  
CLARKSBURG, MD 20871  
301-428-0800

**GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN**

SCALE: 1"=30'

NOTE: STOCKPILING WILL BE PERMITTED ONSITE.

NOTE:  
- SILT FENCE SHALL BE CURLED UPHILL NO MORE THAN 35 FEET APART

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 4/13/21  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 4/19/21  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 4/19/21  
DIRECTOR DATE

**OWNER/DEVELOPER CERTIFICATION:**  
I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

*[Signature]* 3/25/21  
OWNER/DEVELOPER SIGNATURE DATE  
Steven B. Aylor, President

**DESIGNER CERTIFICATION:**  
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS; THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE; AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]* 3/25/21  
DESIGNER'S SIGNATURE DATE  
ROBERT H. VOGEL  
PRINTED NAME

MD REGISTRATION NO. 16193  
R.L.S. OR R.L.A. (circle one)

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

SCALE 1"=30'

*[Signature]* 03/31/21  
HOWARD S.C.D. DATE

**MAPPED SOILS TYPES - CLARKSVILLE SE MAP #23**

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	WATER INCLUSIONS	K FACTOR	PERM. PARALLEL TO FLOW	CRYS. SLOPE POTENTIAL
GQB	CLAYSTONE LOAM, 3 TO 8 PERCENT SLOPES	B	NO	NO	0.20	YES	NO
GGB	GLENNIE LOAM, 3 TO 8 PERCENT SLOPES	B	NO	NO	0.20	YES	NO
GAC	GLENNIE LOAM, 8 TO 15 PERCENT SLOPES	B	NO	NO	0.37	YES	YES
GHR	GLENNIE SILT LOAM, 3 TO 8 PERCENT SLOPES	C	NO	NO	0.37	YES	YES
GHB	GLENNIE-SILT LOAM, 8 TO 15 PERCENT SLOPES	C	PARTIALLY	PARTIALLY	0.37	NO	PARTIAL
MAC	MAJOR LOAM, 8 TO 15 PERCENT SLOPES	B	NO	NO	0.24	YES	NO
MAD	MAJOR LOAM, 15 TO 25 PERCENT SLOPES	B	NO	NO	0.24	YES	NO

TAKEN FROM: USDA, SCS-NEB SOIL SURVEY, HOWARD COUNTY

NOTE: HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT AND WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT

\*BALE COMPONENT OF GGB, ERODIBILITY FACTOR IS 0.32 AND IS CONSIDERED HYDRIC

NO. \_\_\_\_\_ REVISION \_\_\_\_\_ DATE \_\_\_\_\_

**SITE DEVELOPMENT PLAN  
SOILS MAP, GRADING AND SOIL EROSION  
& SEDIMENT CONTROL PLAN  
PATAPSCO CROSSING  
LOT 39**

TAX MAP 18 GRID 13  
2ND ELECTION DISTRICT

PARCELS 25 - ZONED: R-30  
HOWARD COUNTY, MARYLAND

**VOGEL ENGINEERING**

**TIMMONS GROUP**

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

DESIGN BY: RHV  
DRAWN BY: KC  
CHECKED BY: RHV  
DATE: MARCH 2021  
SCALE: AS SHOWN  
W.O. NO.: 47411

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE 03-27-2022

4 OF 5

SDP-21-022

