

SHEET INDEX

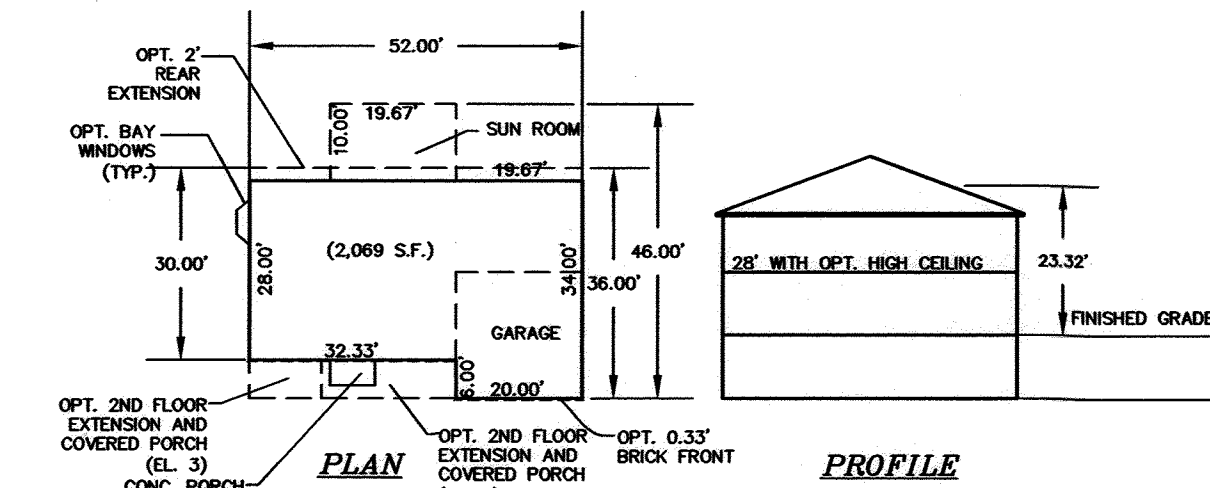
NO	TITLE
1	COVER SHEET
2	SITE DEVELOPMENT PLAN
3	GRADING, SEDIMENT CONTROL AND SWM PLAN
4	SEDIMENT CONTROL NOTES AND DETAILS

ADDRESS CHART

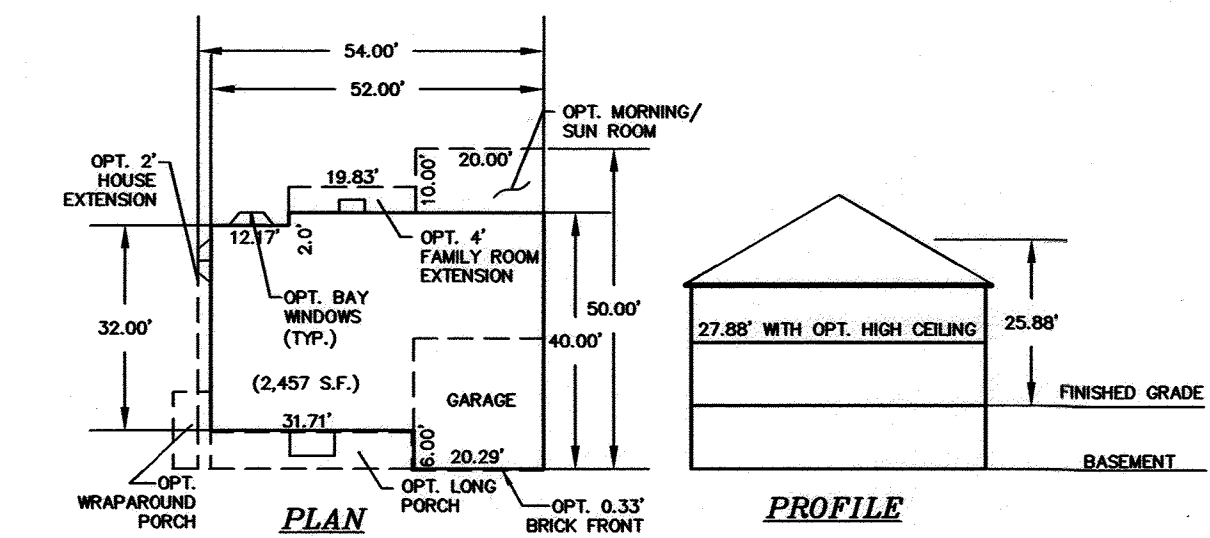
LOT #	ADDRESS
3	5025 POPLAR RIDGE LANE
4	5017 POPLAR RIDGE LANE
5	5013 POPLAR RIDGE LANE
6	5009 POPLAR RIDGE LANE
7	5005 POPLAR RIDGE LANE

SITE DEVELOPMENT PLAN PENKUSKY PROPERTY

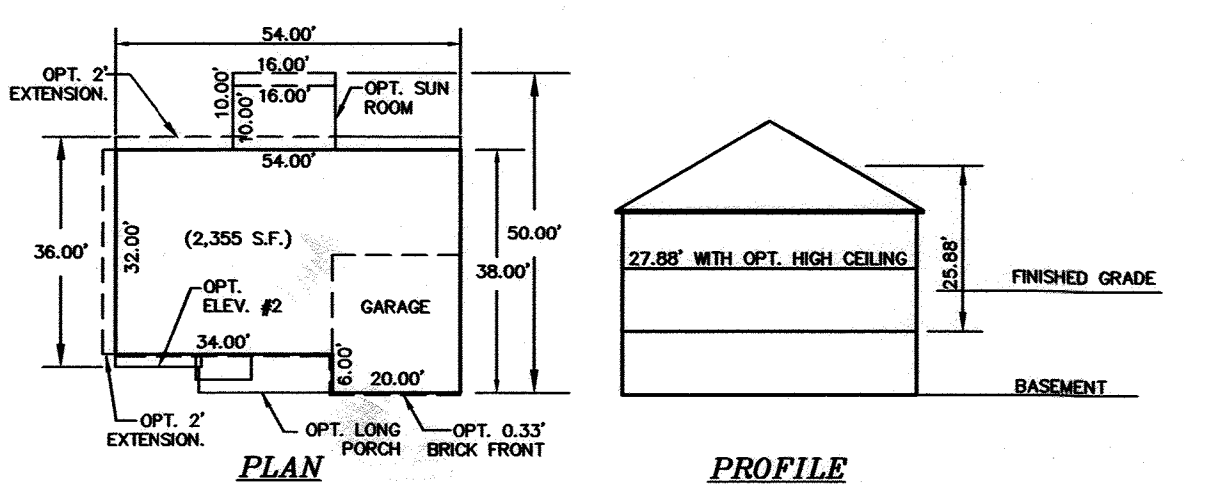
LOTS 3 THRU 7 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND



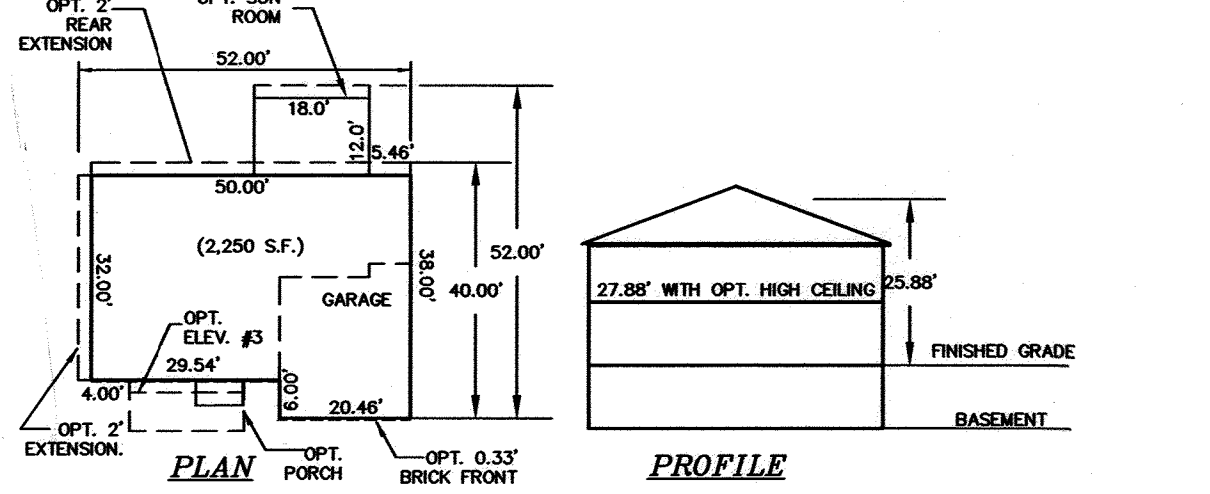
ARMISTEAD III
SCALE: 1"=30'



CHAMBERLAIN III
SCALE: 1"=30'

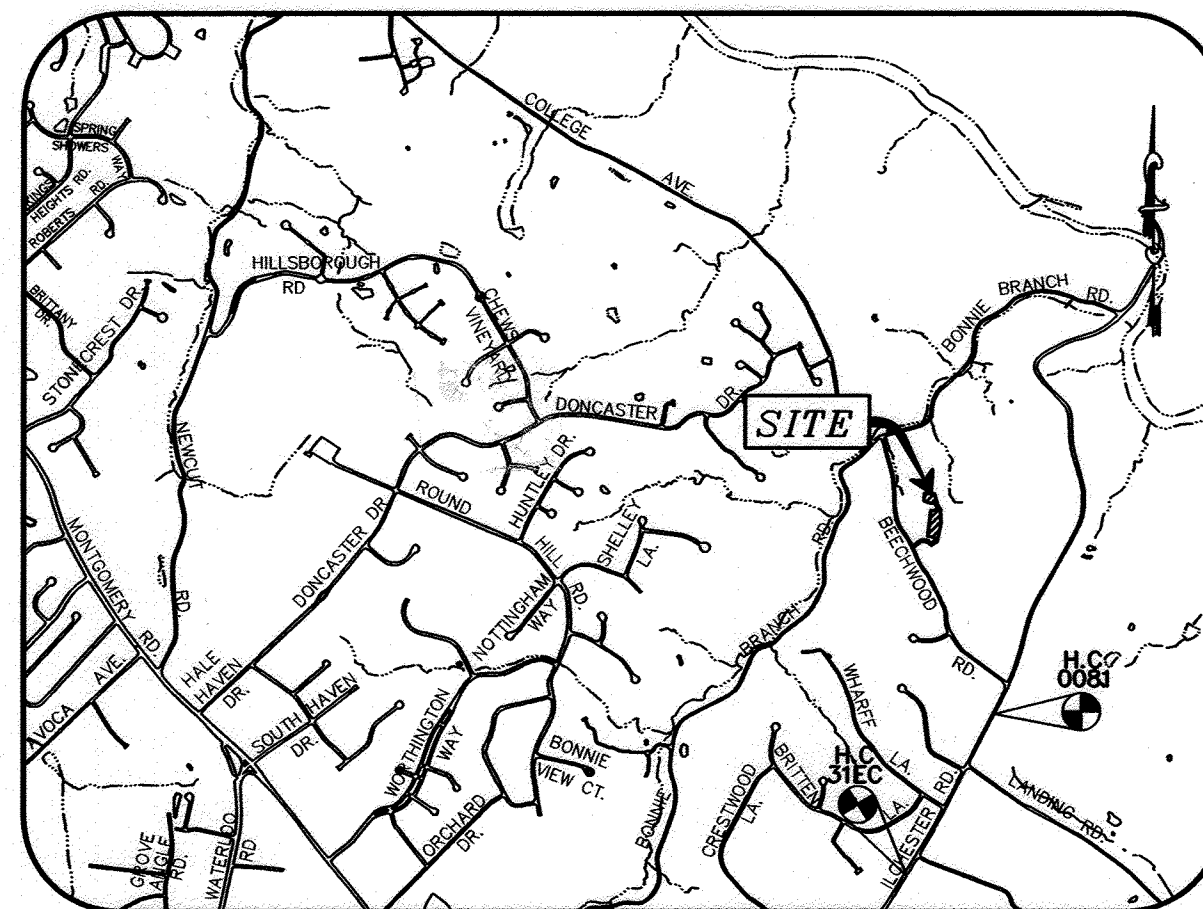


CALVERT
SCALE: 1"=30'



RIDGELY
SCALE: 1"=30'

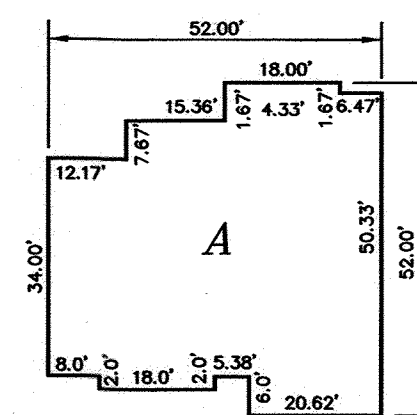
NOTE: 1. HOUSE AREA SHOWN INCLUDES ALL OPTIONS.



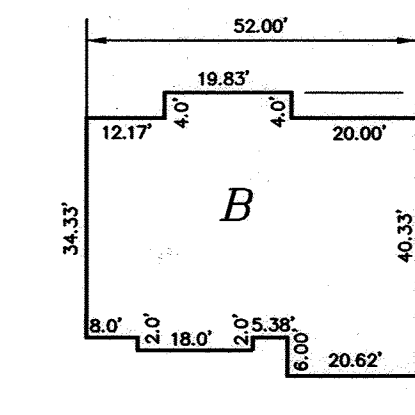
VICINITY MAP
SCALE: 1"=2,000'
ADC MAP 21 GRIDS D-4 AND D-5A-2

STORMWATER MANAGEMENT PRACTICES CHART

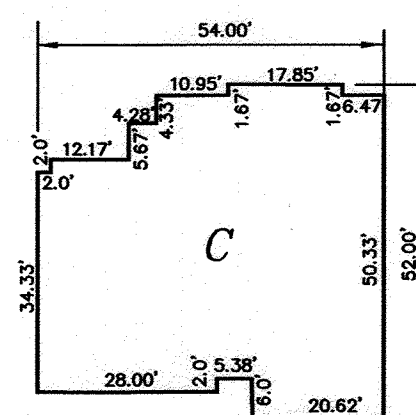
LOT NO.	DRY WELLS (NUMBER)	MICRO-BIORENTION (NUMBER)
3	4	-
4	4	-
5	4	-
6	4	-
7	4	-



GENERIC BOX "A"
SCALE: 1"=30'



GENERIC BOX "B"
SCALE: 1"=30'



GENERIC BOX "C"
SCALE: 1"=30'

- THIS PROJECT IS SUBJECT TO WP-21-007, ON AUGUST 24, 2020 AN ALTERNATIVE COMPLIANCE PETITION WP-21-007 TO WAIVE SECTION 16.11(a)(2)(i) AND SECTION 16.116(a)(3) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO PERMIT GRADING, REMOVAL OF THE VEGETATIVE COVER AND TREES, PAVING AND NEW STRUCTURES WITHIN 50 FEET OF AN INTERMITTENT STREAM BANK AND TO PERMIT WETLANDS, STREAMS, AND THEIR BUFFERS ON RESIDENTIAL LOTS WAS APPROVED BY THE DIRECTOR OF THE PLANNING AND ZONING SUBJECT TO THE FOLLOWING CONDITIONS:
 - THE DISTURBANCE TO THE STREAM AND ITS BUFFER SHALL BE LIMITED TO THE GRADING REQUIRED TO WIDEN THE DRIVEWAY AND TO CONSTRUCT THE STORM DRAIN SYSTEM AND BIOTENTION FACILITY.
 - ANY NATURAL VEGETATION DISTURBED DURING THE GRADING IN THE STREAM BUFFER MUST BE RESTORED TO ITS NATURAL CONDITION ONCE THE CONSTRUCTION IS COMPLETED.
 - THE ULTIMATE LOWER STREAM CHANNEL AND ITS BUFFER MUST BE DELINEATED ON THE PLAT AND MUST BE LOCATED ENTIRELY WITHIN OPEN SPACE, EXCEPT THE STREAM BUFFER MAY BE WITHIN THE PIPESTEM AREAS OF THE RESIDENTIAL LOTS.
 - A COPY OF THE MARYLAND DEPARTMENT OF ENVIRONMENT PERMIT APPROVAL FOR THE DISTURBANCE TO THE STREAM CHANNEL MUST BE PROVIDED TO DPZ PRIOR TO THE RECORDATION OF THE FINAL PLAT AND REFERENCED AS A NOTE ON THE PLAT.
 - ADDITIONAL LANDSCAPING THAT INCLUDES A MIX OF AT LEAST 2 TREES AND 8 SHRUBS TO HELP SLOW STORMWATER RUNOFF, CONTROL EROSION AND REDUCE SEDIMENTATION TO THE STREAM MUST BE PROVIDED IN THE STREAM BUFFER. THIS ADDITIONAL LANDSCAPING MUST BE SHOWN ON THE FINAL LANDSCAPE PLAN AND BONDED WITH THE FINAL PLAN.
 - INCLUDE THIS ALTERNATIVE COMPLIANCE PETITION DECISION AS A GENERAL NOTE ON THE PLAT AND SITE DEVELOPMENT PLAN. THIS NOTE SHALL INCLUDE THE PETITION'S FILE NUMBER, THE REGULATORY SECTIONS, THE DECISION DATE, AND THE CONDITIONS OF APPROVAL.

THIS ALTERNATIVE COMPLIANCE IS FOR THE FOLLOWING SECTIONS:
 *SECTION 16.116(a)(2)(i) - GRADING, REMOVAL OF VEGETATIVE COVER AND TREES, PAVING, AND NEW STRUCTURES SHALL NOT BE PERMITTED WITHIN FIFTY FEET OF AN INTERMITTENT STREAM BANK.
 *SECTION 16.116(a)(3) - IN RESIDENTIAL SUBDIVISIONS, WETLANDS, STREAMS, AND THEIR BUFFERS SHALL BE IN REQUIRED OPEN SPACE OR A NON-BUILDABLE PRESERVATION PARCEL RATHER THAN ON RESIDENTIAL LOTS.
- A PERMIT TO THE MARYLAND DEPARTMENT OF ENVIRONMENT AND ARMY CORPS OF ENGINEERS TO DISTURB THE STREAM BUFFER SYSTEM HAS BEEN APPROVED BY THOSE AGENCIES. THE PERMIT NO IS 202060573/20-NT-3081.
- FINAL HOUSE SELECTION, THE GRADES WITHIN 4' OF THE HOUSE SHOULD NOT EXCEED 2.18.

GENERAL NOTES:

- SUBJECT PROPERTY ZONED R-ED IN ACCORDANCE WITH THE OCTOBER 6, 2013 COMPREHENSIVE ZONING PLAN.
- ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS.
- SITE ANALYSIS DATA:
 LOCATION: TAX MAP: 31 PARCEL: 119 GRID: 4
 ELECTION DISTRICT: FIRST
 TOTAL AREA (LOTS 3-7): 1.17 AC.±
 LIMIT OF DISTURBED AREA: 0.82 AC.±
 PROPOSED USE FOR THE SITE: RESIDENTIAL
 TOTAL NUMBER OF UNITS: 5
 TYPE OF PROPOSED UNITS: SFD
 NUMBER OF REQUIRED PARKING SPACES: 5 UNITS x 2.5 SPACES = 13 SPACES
 NUMBER OF PARKING SPACES PROVIDED: 4 SPACES (2 IN GARAGE + 2 ON DRIVEWAY) x 5 = 20 SPACES.
 DEED REFERENCE: LIBER 12616, FOLIO 91
 PREVIOUS HOWARD COUNTY FILE NUMBERS: ECP-15-007, WP-16-047, WP-17-124, SP-17-006, PB 433, F-19-018, WP-21-007.
- COORDINATES BASED ON NAD'83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 0081 AND NO. 31EC.
 STA. No. 0081 N 572,2335.36 E 1,377,504.01 ELV. 477.89
 STA. No. 31EC N 570,387.05 E 1,376,436.70 ELV. 477.73
- EXISTING TOPOGRAPHY IS BASED ON CONDITION OF FINAL PLAN (F-19-018).
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - WIDTH - 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENCE).
 - SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2 INCH MINIMUM).
 - GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45-FOOT TURNING RADIUS.
 - STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING)
 - DRAINAGE ELEMENTS-CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
 - MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST 48 HOURS PRIOR TO EXCAVATION WORK BEING DONE.

MISS UTILITY	800-257-7777
VERIZON TELEPHONE COMPANY	(410) 725-9976
HOWARD COUNTY BUREAU OF UTILITIES	(410) 313-4900
AT&T CABLE LOCATION DIVISION	(410) 393-3533
BALTIMORE GAS & ELECTRIC	(410) 655-0123
STATE HIGHWAY ADMINISTRATION	(410) 531-5533
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/CONSTRUCTION INSPECTIONS AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START WORK.
- ANY DAMAGE TO COUNTY RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- EXISTING UTILITIES ARE BASED ON EXISTING WATER AND SEWER CONTRACT NUMBER 14-5000-D AND FINAL PLAN F-19-018.
- PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT. PUBLIC WATER AND SEWER WILL BE UTILIZED UNDER CONTRACT # 14-5000-D.
- SEWER CONNECTION ELEVATIONS SHOWN ARE LOCATED AT THE PROPERTY LINE OR EASEMENT LINE.
- FOR DRIVEWAY ENTRANCE DETAIL FOR LOTS 3-7, REFER TO HOWARD COUNTY DESIGN MANUAL, VOLUME IV, DETAIL R-6.03.
- A WETLAND AND STREAM STUDY WAS PREPARED BY ECO-SCIENCE PROFESSIONALS, INC. IN JULY 2014 AND WAS APPROVED UNDER ECP-15-007, ACCORDING TO THE WETLAND AND STREAM STUDY THERE ARE TWO STREAMS, A WETLAND, AND THEIR BUFFERS LOCATED ON SITE.
- THERE ARE NO FLOODPLAINS ON-SITE.
- THERE ARE NO CEMETERIES ON-SITE.
- NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
- TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY MARS GROUP, DATED FEBRUARY 2016 UNDER F-19-018.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS, UNLESS ALTERNATIVE COMPLIANCES HAVE BEEN APPROVED OR ACTIVITIES HAVE BEEN DETERMINED ESSENTIAL BY THE DEPARTMENT OF PLANNING AND ZONING.
- STORMWATER MANAGEMENT FOR LOTS 3-7 IS PROVIDED BY DRYWELLS (M-5). IT WAS APPROVED UNDER F-19-018. ALL STORMWATER MANAGEMENT FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED.
- THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS ALTERNATIVE COMPLIANCES HAVE BEEN APPROVED.
- THIS PROJECT IS SUBJECT TO WP-16-047, A REQUEST TO WAIVE SECTIONS 16.144(b) AND 16.145(c) OF THE SUBDIVISION REGULATIONS WAS DENIED ON NOVEMBER 6, 2015.
- THE FOREST CONSERVATION ACT REQUIREMENT FOR THIS PROJECT HAS BEEN MET BY 1.9 ACRES OF ON-SITE FOREST RETENTION, APPROVED UNDER F-19-018.
- THIS PLAN IS IN COMPLIANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL, APPROVED UNDER F-19-018. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING IN THE AMOUNT OF \$42,400.00 WAS POSTED AS PART OF DPW DEVELOPERS AGREEMENT.
- IN ACCORDANCE WITH SECTION 16.128 OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, A PRE-SUBMISSION COMMUNITY MEETING WAS HELD ON NOVEMBER 2, 2016 AT BONNIE BRANCH MIDDLE SCHOOL.
- THIS PROJECT IS SUBJECT TO WP-17-124, ON FEBRUARY 26, 2018 AN ALTERNATIVE COMPLIANCE PETITION WP-17-124 TO WAIVE SECTION 16.116(A)(1)&(2), SECTION 16.116(B)(1) AND SECTION 16.1205(A)(7) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, TO PERMIT GRADING, REMOVAL OF VEGETATIVE COVER AND TREES, PAVING AND NEW STRUCTURES WITHIN 25' OF WETLANDS, WITHIN 50' OF AN INTERMITTENT STREAM BANK AND ON LANDS WITH EXISTING STEEP SLOPES, AND TO PERMIT THE REMOVAL OF SPECIMEN TREES, WAS APPROVED BY THE DIRECTOR OF PLANNING AND ZONING SUBJECT TO THE FOLLOWING CONDITIONS:
 - COMPLIANCE WITH SRC COMMENTS SP-17-006 AND PLANNING BOARD APPROVAL PB CASE 433 FOR THE PROPOSED SUBDIVISION PLAN DESIGN, LAYOUT AND LOCATION OF LOTS, SHARED DRIVEWAY AND UTILITIES.
 - NO ADDITIONAL DISTURBANCE OR GRADING SHALL OCCUR BEYOND THE LIMITS OF DISTURBANCE (LOD) OF THE 25% STEEP SLOPES THAT ARE DETAILED ON THE PRELIMINARY GRADING PLAN AND AS APPROVED BY THE PLANNING BOARD, UNLESS IT CAN BE SUFFICIENTLY DEMONSTRATED TO BE WARRANTED OR JUSTIFIED BY THE PETITIONER AS NECESSARY DISTURBANCE OR THROUGH THE FILING OF AN ADDITIONAL ALTERNATIVE COMPLIANCE PETITION.
 - THE AFFECTED STEEP SLOPES MUST BE SUFFICIENTLY STABILIZED BY SOIL STABILIZATION DEVICES/METHODS THAT SHALL LESSEN THE ERODIBILITY OF SOILS AND THE IMPACTED STEEP SLOPE AREAS MUST BE REVEGETATED OR STABILIZED WITH SUITABLE NATIVE SPECIES THAT WILL BIND THE SURFACE TIGHTLY. THESE STABILIZATION TECHNIQUES MUST BE CLEARLY DEMONSTRATED ON THE SITE DEVELOPMENT PLAN.
 - THE REMOVAL OF NINE (9) SPECIMEN TREES WILL REQUIRE MITIGATION WITH THE PLANTING OF REPLACEMENT TREES (18 TOTAL) WITH A MINIMUM OF 3" CALIPER NATIVE PLANT SPECIES. THE REPLACEMENT TREES SHALL BE PROPOSED WITHIN A REASONABLE LOCATION ON THE SITE, BONDED AND SHOWN ON THE LANDSCAPE PLAN WITH THE FORTHCOMING FINAL PLAN.
 - THE REMAINING TWELVE (12) SPECIMEN TREES SHALL BE SAVED AND PROTECTED DURING CONSTRUCTION ACTIVITIES. ANY ADDITIONAL REMOVAL OF SPECIMEN TREES SHALL REQUIRE THE SUBMITTAL OF A NEW ALTERNATIVE COMPLIANCE PETITION APPLICATION.
 - PROVIDE TREE PROTECTION FENCING AT THE TREES DRIP LINE, OR FARTHER OUT, TO PREVENT TREE DAMAGE FROM EXCAVATION, SOIL COMPACTION OF SOIL OVER ROOTS. THESE PROTECTION TECHNIQUES MUST BE DEMONSTRATED ON THE SITE DEVELOPMENT PLAN.
 - PROVIDE A NOTE ON THE PLAN (SP-17-006). THE FINAL PLAT AND THE SITE DEVELOPMENT PLAN REGARDING THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL, THIS NOTE SHALL INCLUDE THOSE SUBDIVISION REGULATION SECTIONS PETITIONED, THE DATE OF THE ALTERNATIVE COMPLIANCE APPROVAL, AND THE CONDITIONS OF APPROVAL.
- A PRIVATE ROAD STREET NAME SIGN AND PRIVATE RANGE OF ADDRESSES SIGN ASSEMBLY SHALL BE FABRICATED AND INSTALLED BY HOWARD COUNTY BUREAU OF HIGHWAYS AT THE DEVELOPERS/OWNERS EXPENSE. CONTACT HOWARD COUNTY TRAFFIC DIVISION AT 410-313-5751 FOR DETAILS AND COST ESTIMATES.
- THE APPLICANT SHALL OBTAIN ANY REQUIRED PERMITS FOR THE PUBLIC SEWER LINE CONNECTION.
- IN ACCORDANCE WITH SECTION 128.0 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEY, OR EXTERIOR STAIRWAYS NO MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NO MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- LOTS 3-7 IN THIS PROJECT ARE SUBJECT TO THE MODERATE INCOME HOUSING UNIT (MIHU) REQUIREMENTS PER SECTION 105.0E OF THE ZONING REGULATIONS. THE REQUIREMENT FOR LOTS 3-7 WILL BE SATISFIED BY A PAYMENT OF FEE-IN-LIEU, WHICH WILL BE CALCULATED AND PAID TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT THE TIME OF BUILDING PERMIT ISSUANCE BY THE PERMIT APPLICANT. MIHU AGREEMENT FOR THIS PROJECT WAS RECORDED WITH F-19-018.
- FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND PUBLIC ROAD RIGHT-OF-WAY LINE AND NOT ONTO THE PIPESTEM LOT DRIVEWAY.
- THIS SDP IS NOT SUBJECT TO COUNCIL BILLS 61-2019, 62-2019 AND 63-2019 BECAUSE THE PRELIMINARY EQUIVALENT SKETCH PLAN (SP-17-006) WAS SIGNED ON MAY 8, 2018 WHICH IS PRIOR TO THE FEBRUARY 5, 2020 ENACTMENT DATE OF THESE BILLS, PER SECTION 16.102(h)(1) OF THE SUBDIVISION REGULATIONS.
- THIS SUBDIVISION FRONTS ON A SCENIC ROAD (BEECHWOOD ROAD) AND COMPLIES WITH SECTION 16.125 OF THE SUBDIVISION REGULATIONS.
- THE PLANNING BOARD SIGNED THE DECISION AND ORDER FOR PB CASE 433 ON MARCH 1, 2018.

MIHU ALLOCATION EXEMPTION TRACKING

TOTAL NUMBER OF LOTS/UNITS	5
NUMBER OF MIHU REQUIRED	1
NUMBER OF MIHU PROVIDED ONSITE (EXEMPT FROM APFO ALLOCATIONS)	0
NUMBER OF APFO ALLOCATION REQUIRED (REMAINING LOTS/UNITS)	5
MIHU FEE-IN-LIEU (INDICATED LOT/UNIT NUMBERS)	3-7

PERMIT INFORMATION BLOCK

SUBDIVISION NAME:	SECTION/AREA:	PARCEL:
PENKUSKY PROPERTY	N/A	119
PLAT NO. 25807-08	BLOCK(S) 4	ZONING R-ED
	TAX MAP NO. 31	ELECTION DISTRICT FIRST
		CENSUS TRACT 602700

DEVELOPERS CERTIFICATE

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature of Developer: *Ross L. Dixon, Jr.* DATE: 8/20/21

Signature of Engineer: *Samer A. Alomer, P.E.* DATE: 8-27-21

Signature of Owner/Developer: *Alexander Bratcu* DATE: 09/09/21

Signature of Department of Planning and Zoning: *Donna* DATE: 9/1/21

Signature of Chief, Development Engineering Division: *Wax* DATE: 9/22/21

Signature of Chief, Division of Land Development: *Samer* DATE: 9-22-21

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature of Engineer: *Samer A. Alomer, P.E.* DATE: 8-27-21

Printed Name of Engineer: SAMER A. ALOMER, P.E.

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

OWNER / DEVELOPER

DORSEY FAMILY HOMES, INC.
10717 BIRMINGHAM WAY
WOODSTOCK, MARYLAND 21163
(410)465-5739

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 26859, EXP. DATE 08/08/23.

Signature of Engineer: *Samer A. Alomer, P.E.* DATE: 08/27/2021

HOWARD COUNTY, MARYLAND

PLANNING AND ZONING DEPARTMENT

DATE: 08/27/2021

PENKUSKY PROPERTY
LOTS 3 THRU 7
SINGLE FAMILY DETACHED UNITS
1ST ELECTION DISTRICT, TAX MAP: 31, PARCEL: 119, GRID: 4
COVER SHEET

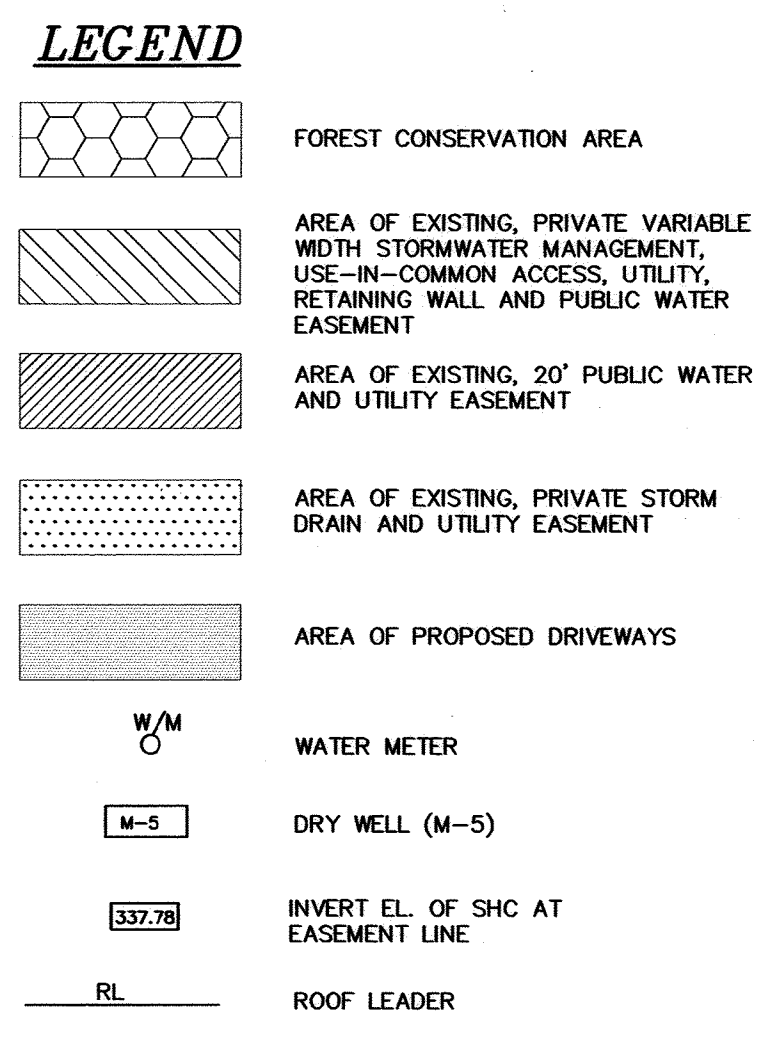
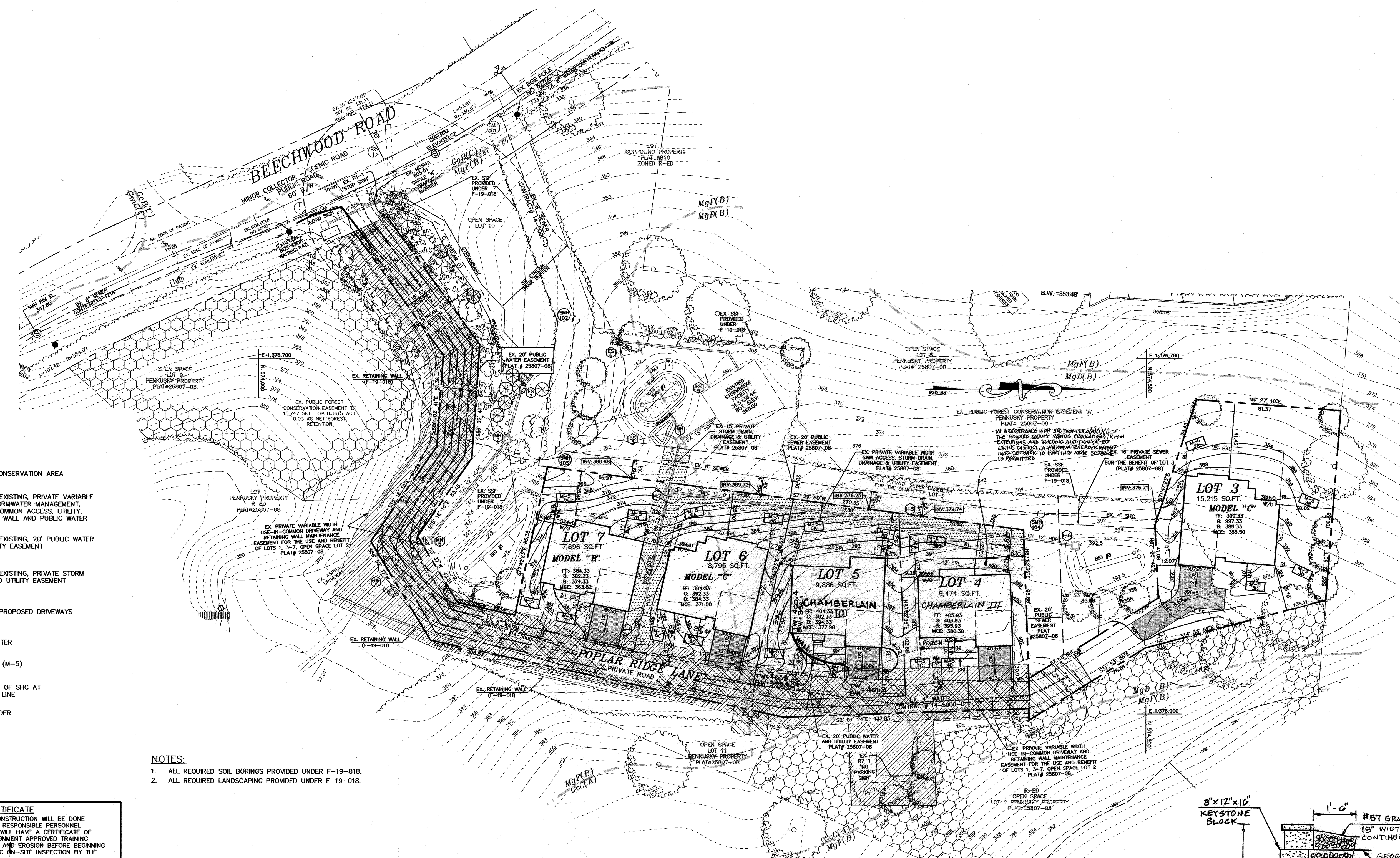
1 OF 4

SDP-21-014

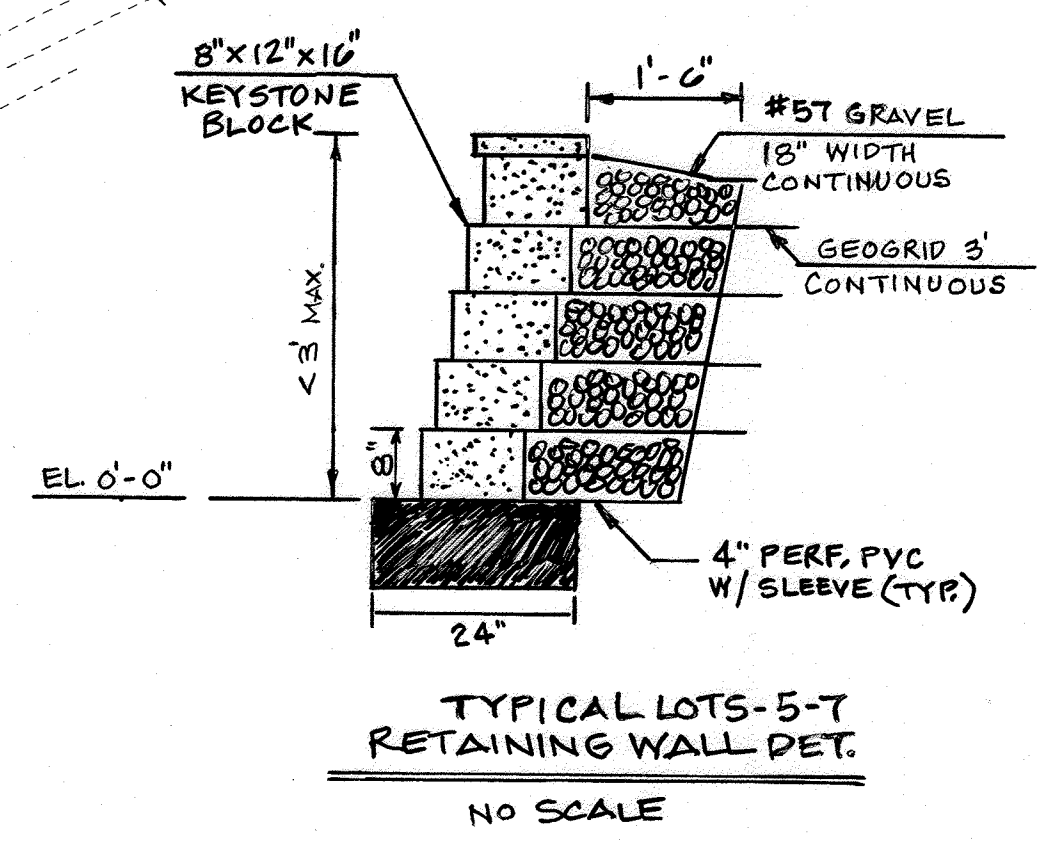
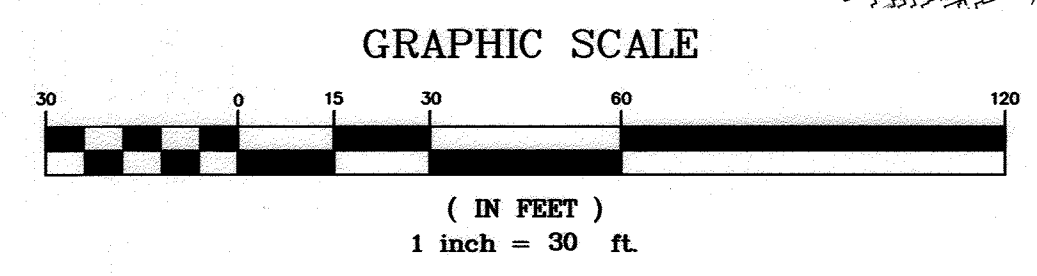
MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
7800-B Grace Drive, Columbia, Maryland 21044
(410) 997-0288 Fax
(410) 997-0286 Tel.

Project: 20-015
Date: AUG 2021
Illustration: MMT
Scale: 1"=30'
Approval: RHH

1/2024
ADP: RET. WALL & PAVT. FOR LOT 5
CONCRETE: 150 TO 200 HOUSE, 150 TO 200 DRIVE



NOTES:
 1. ALL REQUIRED SOIL BORINGS PROVIDED UNDER F-19-018.
 2. ALL REQUIRED LANDSCAPING PROVIDED UNDER F-19-018.



DEVELOPER'S CERTIFICATE
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

Rolfs
 SIGNATURE OF DEVELOPER
 8/31/21
 DATE
 ROX DOSEY JR.
 PRINTED NAME OF DEVELOPER

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

S. A. Alomer
 SIGNATURE OF ENGINEER
 8.21.21
 DATE
 SAMER A. ALOMER P.E.
 PRINTED NAME OF ENGINEER

OWNER / DEVELOPER
 DORSEY FAMILY HOMES, INC.
 10717 BRIMMINGHAM WAY
 WOODSTOCK, MARYLAND 21163
 (410)465-5739

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

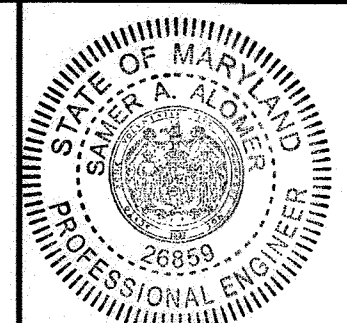
Alexander Brizola
 HOWARD SOIL CONSERVATION DISTRICT
 09/09/21
 DATE

APPROVED DEPARTMENT OF PLANNING AND ZONING

[Signature]
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 9/1/21
 DATE

[Signature]
 CHIEF, DIVISION OF LAND DEVELOPMENT
 9/22/21
 DATE

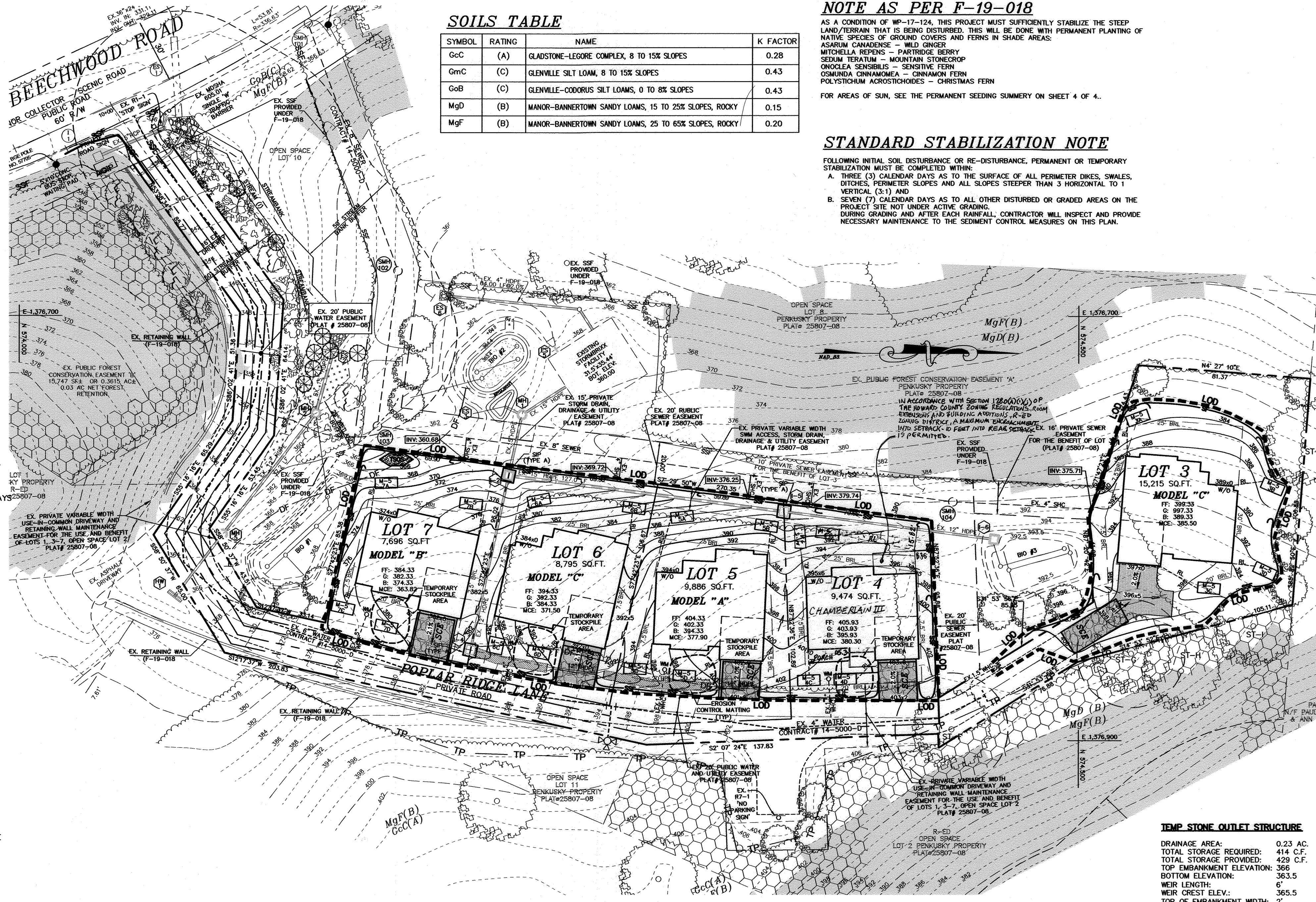
[Signature]
 DIRECTOR



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 26859, EXP. DATE 08/08/23.

[Signature]
 SAMER A. ALOMER, P.E.
 08/27/2021
 DATE

M: 12020120-015 PENKUSKY SDP (DWG) 20-015 PENKUSKY SDP.DWG

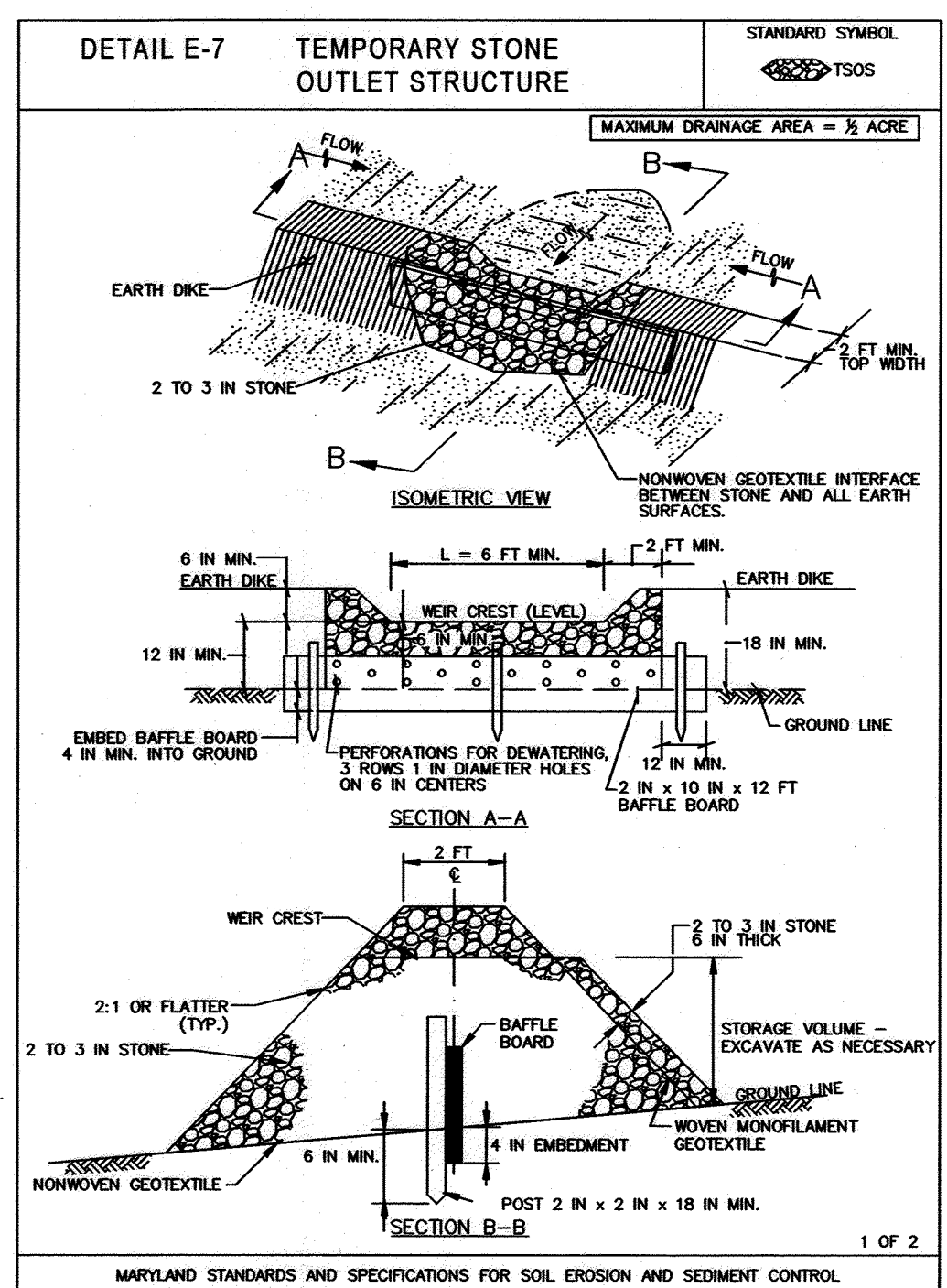


SOILS TABLE

SYMBOL	RATING	NAME	K FACTOR
GcC	(A)	GLADSTONE-LEGORE COMPLEX, 8 TO 15% SLOPES	0.28
GcC	(C)	GLENVILLE SILT LOAM, 8 TO 15% SLOPES	0.43
GcB	(C)	GLENVILLE-CODORUS SILT LOAMS, 0 TO 8% SLOPES	0.43
MgD	(B)	MANOR-BANNERTOWN SANDY LOAMS, 15 TO 25% SLOPES, ROCKY	0.15
MgF	(B)	MANOR-BANNERTOWN SANDY LOAMS, 25 TO 65% SLOPES, ROCKY	0.20

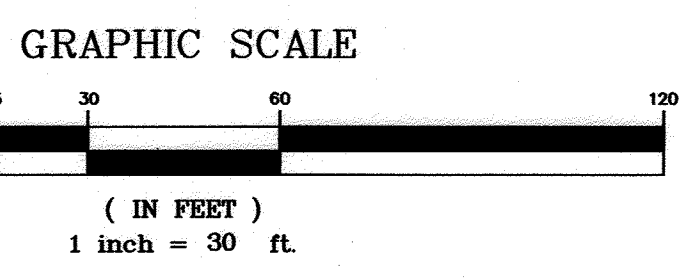
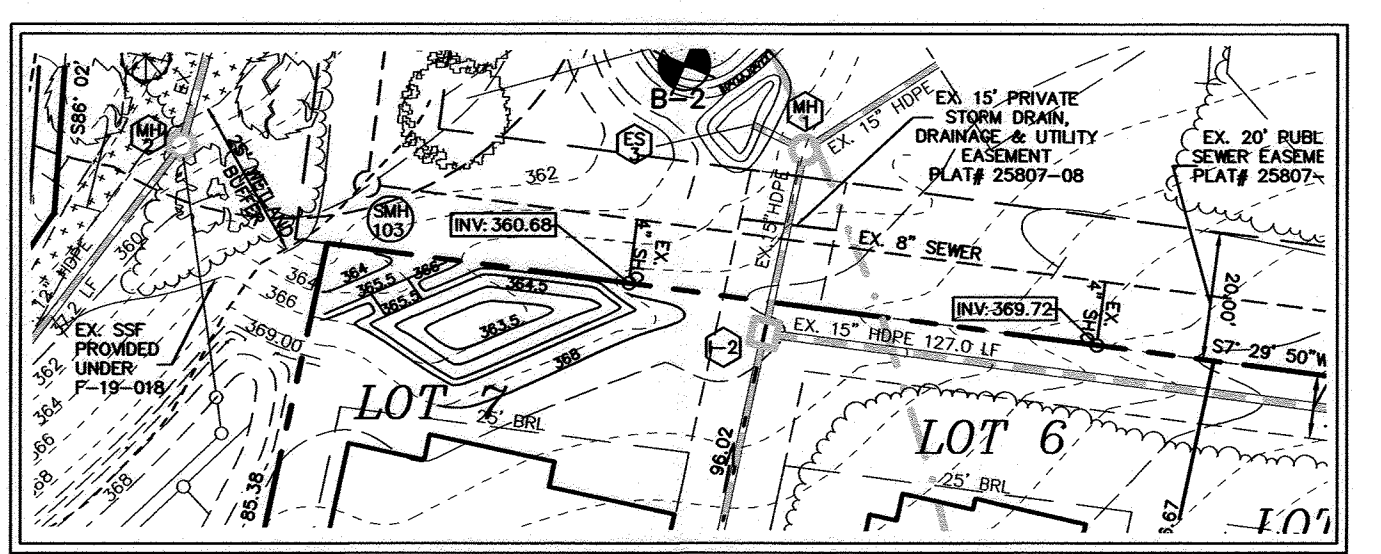
NOTE AS PER F-19-018
 AS A CONDITION OF WP-17-124, THIS PROJECT MUST SUFFICIENTLY STABILIZE THE STEEP LAND/TERRAIN THAT IS BEING DISTURBED. THIS WILL BE DONE WITH PERMANENT PLANTING OF NATIVE SPECIES OF GROUND COVERS AND FERNS IN SHADE AREAS:
 ASARUM CANADENSE - WILD GINGER
 MITCHELLIA REPENS - PARTRIDGE BERRY
 SEDUM TERRESTRIS - MOUNTAIN STONECROP
 ONOCLEA SENSIBILIS - SENSITIVE FERN
 OSUNDA CINNAMOMEA - CINNAMON FERN
 POLYSTICHUM ACROSTICHOIDES - CHRISTMAS FERN
 FOR AREAS OF SUN, SEE THE PERMANENT SEEDING SUMMARY ON SHEET 4 OF 4.

STANDARD STABILIZATION NOTE
 FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:
 A. THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) AND
 B. SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.
 DURING GRADING AND AFTER EACH RAINFALL, CONTRACTOR WILL INSPECT AND PROVIDE NECESSARY MAINTENANCE TO THE SEDIMENT CONTROL MEASURES ON THIS PLAN.



CONSTRUCTION SPECIFICATIONS

- PROVIDE STORAGE VOLUME AS SPECIFIED ON APPROVED PLANS.
- USE NONWOVEN GEOTEXTILE ON INTERFACE BETWEEN GRASS AND STONE.
- PERFORATE Baffle BOARD WITH 3 ROWS OF 1 INCH DIAMETER HOLES 6 INCHES ON CENTER. EMBED A MINIMUM OF 4 INCHES INTO GROUND, AND EXTEND Baffle BOARD MINIMUM OF 12 INCHES INTO EARTH DIKE.
- USE CLEAN 2 TO 3 INCH STONE OR EQUIVALENT RECYCLED CONCRETE. PLACE NONWOVEN MONOLAMINAR GEOTEXTILE ON UPSTREAM FACE AND COVER WITH A MINIMUM OF 6 INCHES OF ADDITIONAL STONE.
- USE NONWOVEN AND WOVEN MONOLAMINAR GEOTEXTILES AS SPECIFIED IN SECTION H-1 MATERIALS.
- SET WEIR CREST OF STONE 6 INCHES LOWER THAN THE TOP OF EARTH DIKE. USE MINIMUM LENGTH OF 6 FEET FOR WEIR CREST.
- REMOVE SEDIMENT WHEN IT HAS ACCUMULATED TO WITHIN 6 INCHES OF WEIR CREST. REPLACE GEOTEXTILE AND STONE FACING WHEN STRUCTURE CEASES TO DRAIN, MAINTAIN LINE, GRADE, AND CROSS SECTION.
- UPON REMOVAL OF STONE OUTLET STRUCTURE, GRADE AREA FLUSH WITH EXISTING GROUND, WITHIN 24 HOURS STABILIZE DISTURBED AREA WITH TOPSOIL, SEED, AND MULCH, OR AS SPECIFIED ON APPROVED PLAN.



- LEGEND**
- FOREST CONSERVATION AREA
 - AREA OF PROPOSED DRIVEWAYS
 - WATER METER
 - DRY WELL (M-5)
 - INVERT EL. OF SHC AT EASEMENT LINE
 - ROOF LEADER
 - EROSION CONTROL MATTING
 - SUPER SILT FENCE
 - LIMIT OF DISTURBANCE
 - STABILIZED CONSTRUCTION ENTRANCE
 - DRAINAGE AREA
 - EX. SPECIMEN TREE TO REMAIN UNDER F-19-018
 - STREET AND PERIMETER TREE PROVIDED UNDER F-19-018
 - AREA OF SLOPES 15%-25%
 - AREA OF SLOPES 25% OR GREATER

DEVELOPERS CERTIFICATE
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: [Signature]
 Date: 8/27/21

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

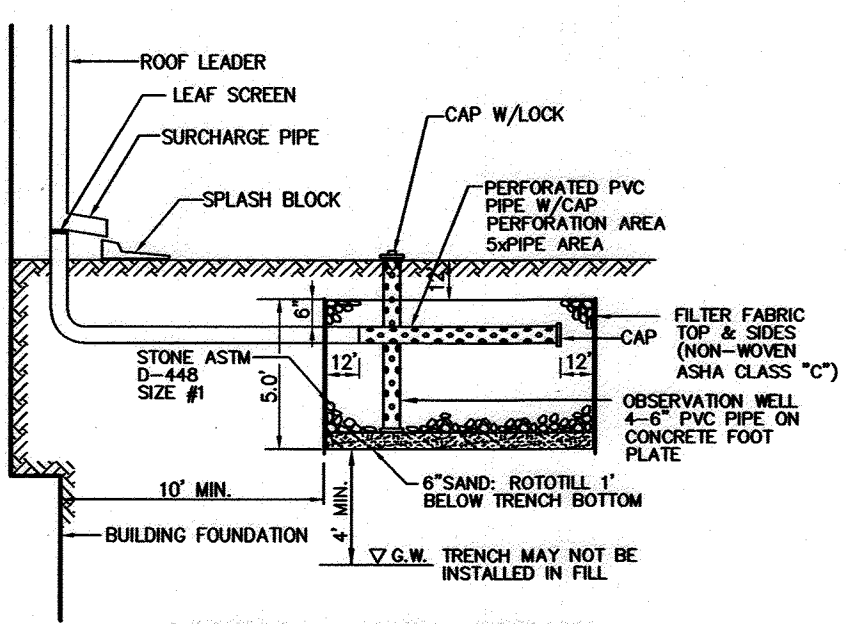
Signature: [Signature]
 Date: 8/27/21

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 9/14/21

CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 9/22/21

OPERATION AND MAINTENANCE SCHEDULE FOR DRY WELLS (M-5)

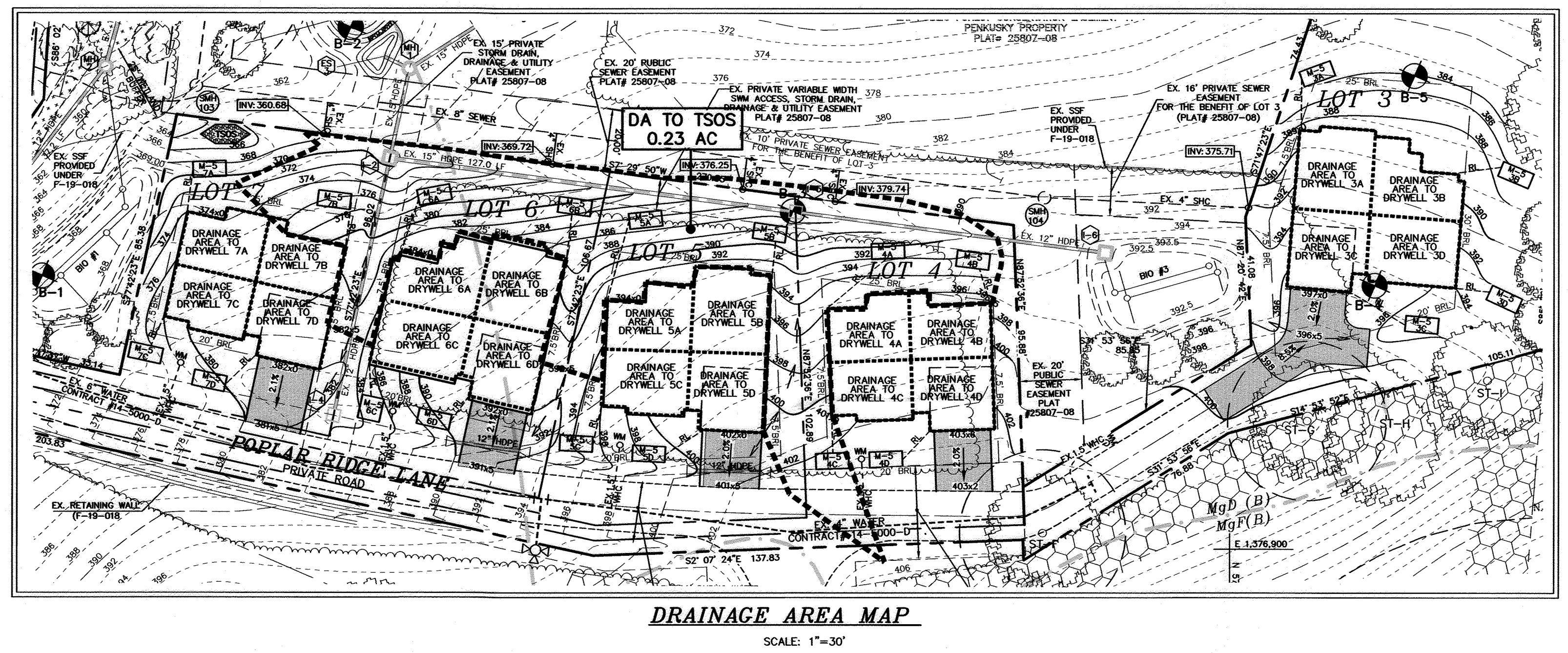
- THE OWNER SHALL INSPECT THE MONITORING WELLS AND STRUCTURES ON A QUARTERLY BASIS AND AFTER EVERY HEAVY STORM EVENT.
- THE OWNER SHALL RECORD THE WATER LEVELS AND SEDIMENT BUILD-UP IN THE MONITORING WELLS OVER A PERIOD OF SEVERAL DAYS TO ENSURE TRENCH DRAINAGE.
- THE OWNER SHALL MAINTAIN A LOG BOOK TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
- WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN A 72-HOUR TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
- THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO ENSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
- ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION FACILITY HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.



DRYWELL TYP. DETAIL

* DRYWELL SIZE: LENGTH: 10.5 FT, WIDTH: 5.0 FT, DEPTH: 5.0 FT
 DRYWELL #6C SIZE (only): LENGTH: 7.5 FT, WIDTH: 7.0 FT, DEPTH: 5.0 FT

NOTE: ALL ROOF LEADERS MUST BE CONNECTED TO DRYWELLS
 * ALL DRYWELLS EXCEPT 6C



Project: 20-015
 Date: AUG. 2021
 Illustration: MMT
 Scale: 1"=30'

19/2/21
 19/2/21
 19/2/21

PENKUSKY PROPERTY
 LOTS 3 THRU 7
 SINGLE FAMILY DETACHED UNITS
 1ST ELECTION DISTRICT, TAX MAP 31, PARCEL 119, GRID: 4
 GRADING, SEDIMENT CONTROL AND SWM PLAN

MILDENBERG, BOENDER & ASSOC., INC.
 Surveyors
 Planners
 Engineers
 7350-B Grace Drive, Columbia, Maryland 21044
 (410) 997-0286 Tel. (410) 997-0288 Fax.

(B-4-2) STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

DEFINITION: THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.

PURPOSE: TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

CONDITIONS WHERE PRACTICE APPLIES: WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

CRITERIA:

A. SOIL PREPARATION

1. **TEMPORARY STABILIZATION**

a. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOWS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENEED, IT MUST NOT BE ROLLED OR DRAGGED SOON BUT LEFT IN THE ROUGHENED CONDITION. SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE.

b. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS.

c. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.

2. **PERMANENT STABILIZATION**

a. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE:

- SOIL PH BETWEEN 6.0 AND 7.0.
- SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM).
- SOIL CONTAINS AT LEAST 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN EXCEPTION: IF LOVGRASS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD BE ACCEPTABLE.
- SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT.
- SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.

b. APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE CONDITIONS.

c. GRADATIONS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN, THEN SCATTERED OR OTHERWISE LOOSENEED TO A DEPTH OF 3 TO 5 INCHES.

d. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS OF SOIL TESTS.

e. SIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. RAKE LAWN AREAS TO SMOOTH THE SURFACE, REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES, AND READY THE AREA FOR SEED APPLICATION. LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO SOFTEN THE SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION. TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR MANAGEMENT WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRISBLE. SEEDBED LOOSENING MAY BE UNNECESSARY ON NEWLY DISTURBED AREAS.

B. TOPSOILING

1. TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

2. TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TOPSOIL FROM A SOURCE OTHER THAN THE EXISTING SITE MAY BE USED IF THE TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTIONS IN THE SOIL SURVEY PUBLISHED BY USDA-NRCS.

3. TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:

- THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
- THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR URNUPH CONTINUES SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
- THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
- THE SOIL IS SO ALOPIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

4. AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN.

5. TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA:

- TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. TOPSOIL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY VOLUME OF CONCRETE, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2 INCHES IN DIAMETER.
- TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACK GRASS, JOHNSON GRASS, AND OTHERS AS SPECIFIED.
- TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.

6. TOPSOIL APPLICATION

- EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL.
- UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
- TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

C. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)

1. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER. DISTURBED AREAS OF 5 ACRES OR MORE: SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSIS.

2. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FLOW EVENLY AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS MUST BE FULLY LABELED AND DELIVERED TO THE SITE ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME OR TRADEMARK AND WARRANTY OF THE MANUFACTURER OR OTHER APPROVED EQUAL MAY BE USED.

3. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME) OR SUBSTITUTED EXCEPT WHEN HYDROSEEDING WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A #100 MESH SIEVE.

4. LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.

5. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE RATE OF 10 TO 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACING OF SOIL.

(B-4-3) STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITION: THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

PURPOSE: TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

CONDITIONS WHERE PRACTICE APPLIES: TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.

CRITERIA:

A. SEEDING

1. **SPECIFICATIONS**

a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE SEEDING IS TO BE PERFORMED.

b. REGARDING THE QUALITY OF SEED, SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE.

c. MULCH ALONE MAY BE APPLIED TO SLOPES AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WHEN THE GROUND THAWS.

d. INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANTS AS COOL AS POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS EFFECTIVE.

e. SOIL OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

2. **APPLICATION**

a. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS.

i. INCORPORATE SEED INTO THE SOIL AS PRESCRIBED ON THE TEMPORARY SEEDING TABLE B.1, PERMANENT SEEDING TABLE B.3, OR SITE-SPECIFIC SEEDING SUMMARIES.

ii. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDING AREA WITH A WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT.

b. DRILL OR CULTRIPACKER SEEDING: MECHANIZED SEEDING THAT APPLY AND COVER SEED WITH SOIL. CULTRIPACKER SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDING MUST BE FROM AFTER PLANTING.

ii. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION.

c. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND FERTILIZER).

i. IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE TOTAL; PHOSPHORUS, 50 POUNDS PER ACRE; POTASSIUM, 200 POUNDS PER ACRE.

ii. LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE) MAY BE APPLIED BY HYDROSEEDING. NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING.

iii. MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT INTERRUPTION.

iv. WHEN HYDROSEEDING IS USED, DO NOT INCORPORATE SEED INTO THE SOIL.

B. MULCHING

1. MULCH MATERIALS (IN ORDER OF PREFERENCE)

- STRAW CONSISTING OF WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLLY, CAKED, DECAYED, OR EXCESSIVELY DUSTY. NOTE: USE ONLY STERILE STRAW MULCH IN AREAS WHERE ONE SPORE OF GRASS IS DESIRED.
- WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE.
- WCFM IS TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT WILL PROVIDE AN APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNIFORMLY SPREAD SLURRY.
- WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITING FACTORS.
- WCFM IS TO BE APPLIED TO A NET DRY WEIGHT OF 1500 POUNDS PER ACRE. THE MULCH MATERIAL MUST BE A BLOTTER-LIKE GROUND COVER, ON APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS.
- WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE PHYTO-TOXIC.
- WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH OF APPROXIMATELY 1 MILLIMETER DIAMETER APPROXIMATELY MILLIMETER; PH RANGES OF 4.0 TO 8.5. ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER HOLDING CAPACITY OF 90 PERCENT MINIMUM.

2. **APPLICATION**

- APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING.
- WHERE STRAW MULCH IS USED, STRAW MUST BE APPLIED AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE.
- WOOD CELLULOSE FIBER MULCH AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.

3. **ANCHORING**

1. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING ON THE SIZE OF THE AREA AND EROSION HAZARD:

- A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS. USE OF AN ANCHORING TOOL WITH A MULCH ANCHORING EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS PRACTICE SHOULD FOLLOW THE CONTOUR.
- WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.
- SYNTHETIC BINDERS SUCH AS ACRYLIC OIL (AGRO-TACK), DCA-70, PETROSEAL, TERRA TAC II, TERRA TACK 40, OR OTHER APPROVED EQUAL MAY BE USED.
- THE MANUFACTURER'S APPLICATION OF LIQUID BINDERS NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRISTS OF BANKS.
- USE OF ASPHALT BINDERS IS STRICTLY PROHIBITED.
- LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET LONG.

(B-4-5) STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION: TO STABILIZE DISTURBED SOIL WITH PERMANENT VEGETATION.

PURPOSE: TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER OF DISTURBED EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

CRITERIA:

A. SEED MIXTURES

1. **GENERAL USE**

a. SELECT ONE OR MORE OF THE SPECIES OF MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3) AND BASED IN THE SITE CONDITION OR PURPOSE.

b. FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY.

c. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DITCHES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD GUIDE, SECTION 342-CRITICAL AREA PLANTING.

d. FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW RATES RECOMMENDED BY THE SOIL TESTING AGENCY.

e. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FROM FERTILIZED (40-0-0) AT 1 1/2 POUNDS PER 1000 S.F. (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.

2. **TURFGRASS MIXTURES**

a. AREAS WHERE TURFGRASS MAY BE DESIRE INCLUDING LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.

b. SELECT ONE OR MORE OF THE SPECIES OF MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY.

i. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT. IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 S.F. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.

ii. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL TURFGRASS CULTIVARS (CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1000 S.F. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT).

iii. TALL FESCUE/KENTUCKY BLUEGRASS: FULL MIXTURE: FOR USE IN DROUGHT AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURE INCLUDES: CERTIFIED TALL FESCUE CULTIVARS 65 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 S.F. ONE OR MORE CULTIVARS MAY BE BLENDED.

iv. KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA. MIXTURE INCLUDES: CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATES 1 1/2 TO 3 POUNDS PER 1000 S.F.

c. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURE

WESTERN MD. MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES: 5B,6A)
CENTRAL MD. MARCH 15 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: 6B)
SOUTHERN MD. EASTERN SHORE: MARCH 15 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: 7A, 7B)

d. TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES. LEVEL AND RAKE THE AREA AND RAKE THE AREA TO MEDIUM SHADE. RECOMMENDED OVER 1.5 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH A CONDITION THAT FUTURE MOWING OF GRASS WILL BE NO DIFFICULTY.

e. IF SOIL TEXTURE IS DEFICIENT, APPLY SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH 0.5 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LAITE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASON, OR ON ADVERSE SITES.

(B-4-8) STANDARDS AND SPECIFICATION FOR STOCKPILE AREA

DEFINITION: A MOUND OR PILE OF SOIL PROTECTED BY APPROPRIATELY DESIGNED EROSION AND SEDIMENT CONTROL MEASURES.

PURPOSE: TO PROVIDE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION, AND CHANGES TO DRAINAGE PATTERNS.

CONDITIONS WHERE PRACTICE APPLIES: STOCKPILE AREAS ARE UTILIZED WHEN IT IS NECESSARY TO SALVAGE AND STORE SOIL FOR LATER USE.

CRITERIA:

- THE STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE CLEARLY INDICATED ON THE EROSION AND SEDIMENT CONTROL PLAN.
- THE FOOTPRINT OF STOCKPILE MUST BE SIZED TO ACCOMMODATE THE ANTICIPATED VOLUME OF MATERIAL AND BASED ON A MINIMUM SLOPE RATIO NO STEEPER THAN 2:1. BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADING.
- RUNOFF FROM THE STOCKPILE AREA MUST DRAIN TO A SUITABLE SEDIMENT CONTROL PRACTICE.
- ACCESS THE STOCKPILE AREA FROM THE UPGRADE SIDE.
- CLEAR WATER RUNOFF INTO THE STOCKPILE AREA MUST BE MINIMIZED BY USE OF A DIVERSION DEWSE SUCH AS AN EARTH OKE, TEMPORARY SWALE OR DIVERSION FENCE. PROMIONS MUST BE MADE FOR DISCHARGING CONCENTRATED FLOW IN A NON-EROSIVE MANNER.
- WHERE RUNOFF CONCENTRATES ALONG THE TOE OF THE STOCKPILE FILL, AN APPROPRIATE EROSION/SEDIMENT CONTROL PRACTICE MUST BE USED TO INTERCEPT THE DISCHARGE.
- STOCKPILE MUST BE STABILIZED IN ACCORDANCE WITH THE 3/7 DAY STABILIZATION REQUIREMENT AS WELL AS STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION.
- IF THE STOCKPILE IS LOCATED ON AN IMPERVIOUS SURFACE, A LINER SHOULD BE PROVIDED BELOW THE STOCKPILE TO FACILITATE CLEANUP. STOCKPILES CONTAINING CONTAMINATED MATERIAL MUST COVERED WITH IMPERMEABLE SHEETING.

MAINTENANCE: THE STOCKPILE AREA MUST CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION. SIDE SLOPES MUST BE MAINTAINED AT NO STEEPER THAN 2:1 RATIO. THE STOCKPILE AREA MAY BE KEPT FREE OF EROSION, IF THE VERTICAL HEIGHT OF A STOCKPILE EXCEEDS 20 FEET FOR 2:1 SLOPES, 30 FEET FOR 3:1 SLOPES, OR 40 FEET FOR 4:1 SLOPES. BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADING.

SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT (1 DAY).
- INSTALL PERIMETER CONTROLS: SILT FENCES AND SUPER SILT FENCES (5 DAYS)
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AT LOCATION INDICATED (1 DAY)
- INSTALL INLET PROTECTION TYPE A FOR THE EXISTING INLETS 1-2, 1-4 AND 1-5 (1 DAY)
- CONSTRUCT TEMPORARY STONE OUTLET STRUCTURE (TSOS) AT LOCATION SHOWN ON LOT 7 (3 DAYS)
- CLEAR AND GRUB SITE (2 DAYS)
- GRADE SITE PER PLAN (6 DAYS)
- CONSTRUCT HOUSES (90-120 DAYS PER HOUSE). AFTER COMPLETION OF EACH HOUSE, IMMEDIATELY STABILIZE DISTURBED AREA USING NATIVE PLANTING MATERIAL. CONSTRUCT STORMWATER MANAGEMENT FACILITIES (M-5). DELAY CONSTRUCTION OF DWELLING ON LOT 7 UNTIL COMPLETION OF LOTS 4, 5, AND 6. PRIOR TO CONSTRUCTION OF THE HOUSE ON LOT 7 AND WITH THE PERMISSION OF SEDIMENT CONTROL INSPECTOR REMOVE TEMPORARY STONE OUTLET STRUCTURE (TSOS)
- COMPLETE FINE GRADING OF SITE TO GRADES INDICATED. (2 DAYS PER HOUSE)
- SEED AND MULCH ALL REMAINING DISTURBED AREAS. (1 DAY PER HOUSE)
- WHEN ALL CONTRIBUTING DRAINAGE AREAS TO SEDIMENT CONTROL DEVICES HAVE BEEN STABILIZED AND WITH THE APPROVAL OF SEDIMENT CONTROL INSPECTOR REMOVE SEDIMENT CONTROL DEVICES AND STABILIZE REMAINING DISTURBED AREAS (2 DAYS)

PERMANENT SEEDING SUMMARY

NO.	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)			LIME RATE
					N	P ₂ O ₅	K ₂ O	
1	TALL FESCUE	100	MARCH 1-MAY 15 AUG 15-OCT 15	1/4"-1/2"	45 LBS. PER ACRE (1 LB./1000 SF)	90 LBS. PER ACRE (2 LB./1000 SF)	90 LBS. PER ACRE (2 LB./1000 SF)	2 TONS / ACRE (90 LBS / 1000 SF)

MIXTURES 1, 4-7, 9, AND 10 FROM TABLE B.3 OF THE 2011 MARYLAND STANDARD AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL MAY BE USED.

STANDARD SEDIMENT CONTROL NOTES

- A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER THE FUTURE LOT AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MINIMUM OF 48 HOUR NOTICE TO CID MUST BE GIVEN AT THE FOLLOWING STAGES:
 - PRIOR TO THE START OF EARTH DISTURBANCE.
 - PRIOR TO THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
 - PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF ANOTHER GRADING UNIT.
 - PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL PRACTICES.
 OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE. OTHER RELATED STATE AND FEDERAL PERMITS SHALL BE REFERENCED, TO ENSURE COORDINATION AND TO AVOID CONFLICTS WITH THIS PLAN.
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 2011 MARYLAND STANDARD AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1), AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE GRADING.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARD AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR TOPSOIL (SEC. B-4-2), PERMANENT SEEDING (SEC. B-4-5), TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES IF THE GROUND IS FROZEN. INCREMENTAL STABILIZATION (SEC. B-4-1) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH >15' OF CUT AND/OR FILL. STOCKPILES (SEC. B-4-8) IN EXCESS OF 20 FT. MUST BE BENCHING WITH STABLE OUTLET. ALL CONCENTRATED FLOW, STEEP SLOPE, AND HIGHLY ERODABLE AREAS SHALL RECEIVE SOIL STABILIZATION MATTING (SEC. B-4-6).
- ALL SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE CID.
- SITE ANALYSIS:**

TOTAL AREA OF SITE: 1.17 ACRES

AREA DISTURBED: 0.82 ACRES

AREA TO BE ROOFED OR PAVED: 0.34 ACRES

AREA TO BE VEGETATIVE STABILIZED: 0.49 ACRES

TOTAL CUT: 5,000 CU. YDS.

TOTAL FILL: 5,000 CU. YDS.

OFFSITE WASTE/BORROW AREA LOCATION: N/A
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR REPLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE CID. THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR MONTHLY AND IMMEDIATELY REPAIR OR REPLACE AS NECESSARY. A WRITTEN REPORT BY THE CONTRACTOR, MADE AVAILABLE UPON REQUEST, IS PART OF EVERY INSPECTION AND SHOULD INCLUDE:
 - INSPECTION DATE
 - INSPECTION TYPE (ROUTINE, PRE-STORM EVENT, DURING RAIN EVENT)
 - NAME AND TITLE OF INSPECTOR
 - WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST RECORDED PRECIPITATION)
 - BRIEF DESCRIPTION OF PROJECT'S STATUS (E.G., PERCENT COMPLETE) AND/OR CURRENT ACTIVITIES
 - EVIDENCE OF SEDIMENT DISCHARGES
 - IDENTIFICATION OF PLAN DEFICIENCIES
 - IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAINTENANCE
 - IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS
 - COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTRUCTION AND STABILIZATION REQUIREMENTS
 - PHOTOGRAPHS
 - MONITORING/SAMPLING
 - MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED
 - OTHER INSPECTION ITEM
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER.
- ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE HSD PRIOR TO PROCEEDING WITH CONSTRUCTION. MINOR REVISIONS MAY ALLOWED BY THE CID EACH RAIN EVENT. A WRITTEN REPORT BY THE CONTRACTOR, MADE AVAILABLE UPON REQUEST, IS PART OF EVERY INSPECTION AND SHOULD INCLUDE:
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