

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE. FOLLOWING HAS BEEN APPROVED.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
  - MSU UTILITY 1-800-257-7777
  - VERIZON TELEPHONE COMPANY 1-800-257-7777
  - HOWARD COUNTY BUREAU OF UTILITIES 410-313-2366
  - AT&T LIGHTING DIVISION 410-313-2366
  - B.G.&E. CO. CONTRACTOR SERVICES 410-850-4620
  - B.G.&E. CO. UNDERGROUND DAMAGE CONTROL 410-787-4620
  - STATE HIGHWAY ADMINISTRATION 410-531-5533
- THE CONTRACTOR SHALL NOTIFY "MSS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE SUBJECT PROJECT IS SUBJECT TO THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- THE SUBJECT PROJECT IS SUBJECT TO THE 10/6/13 ZONING REGULATIONS, AND IS SUBJECT TO THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS EFFECTIVE 10/2/03 PER COUNCIL BILL 75-2003.
- DEVELOPMENT OR CONSTRUCTION OF THESE LOTS MUST COMPLY WITH BUILDING AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, ALTERNATIVE COMPLIANCE, GRADING AND GROUNDING PERMITS.
- THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. REFER TO NOTE 5.
- THE SUBJECT PROJECT IS BASED ON A FIELD PLAN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT MARCH, 2013 BY ROBERT H. VOGEL ENGINEERING, INC.
- THE EXISTING TOPOGRAPHY SHOWN HEREON IS BASED ON THE MASS GRADING FROM FINAL ROAD CONSTRUCTION PLAN F-20-024. OFFSITE TOPOGRAPHY TAKEN FROM HOWARD COUNTY GIS.
- SOIL TYPES SHOWN HEREON ARE WITH THE USDA NRCS WEB SOIL SURVEY.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 3148 AND 3154 WERE USED FOR THIS PROJECT.
- TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL GROUNDS, CEMETERIES, OR HISTORIC STRUCTURES LOCATED ON THIS PROPERTY. EXISTING MONUMENTS PER SP-15-016 AND OUTBUILDINGS WERE RAISED REFER TO F-20-024.
- THE PROPOSED UNITS SHALL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.
- THE PROPOSED SUBDIVISION AND RELATED CONSTRUCTION WILL NOT IMPACT ENVIRONMENTAL FEATURES OR BUFFERS.
- EXISTING UTILITIES SHOWN FROM ROAD CONSTRUCTION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE.
- THE OFFICIAL PRE-SUBMISSION MEETING WAS HELD FOR THIS PROJECT ON NOVEMBER 5, 2014 AT THE ELLICOTT CITY SENIOR CENTER.
- BONNIE BRANCH ROAD IS CLASSIFIED AS A MINOR COLLECTOR. NO IMPROVEMENTS ARE PROPOSED.
- ATTENBOROUGH WAY IS CLASSIFIED AS A LOT R/W ACCESS PLACE (F-20-024).
- PROPOSED EXTENSION SHALL CONFORM WITH GUIDELINES WITHIN THE DESIGN MANUAL / ACCESS PLACE. REFER TO F-20-024.
- THERE ARE 2 PROPOSED USE-IN-COMMON-DRIVEWAYS REFER TO F-20-024.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
  - A) WIDTH - 12 FEET (18 FEET SERVING MORE THAN ONE RESIDENCE).
  - B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MIN).
  - C) GEOMETRY - MAXIMUM 15% GRADE. MAXIMUM 10% CHANGE AND MINIMUM OF 45-FOOT DEPTH TURNING RADIUS.
  - D) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (425 LOADING).
  - E) DRAINAGE ELEMENTS-CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
  - F) STRUCTURE CLEARANCES-MINIMUM 12 FEET.
  - G) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
- THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
  - WATER FOR THIS PROJECT IS TO BE PUBLIC EXTENSIONS OF CONTRACT NO. 14-4182-D.
  - SEWER FOR THIS PROJECT IS TO BE PUBLIC EXTENSIONS OF CONTRACT NO. 14-4180-D.
  - REFER TO CONTRACT 14-4926-D.
- ANY DAMAGE INCURRED TO HOWARD COUNTY EXISTING UTILITIES, DUE TO CONTRACTOR'S OPERATIONS, SHALL BE REPAIRED IMMEDIATELY AT THE DEVELOPER'S EXPENSE.
- ANY DAMAGE TO HOWARD COUNTY PUBLIC RIGHT-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- A NON CRITICAL FLOODPLAIN IS LOCATED ON OPEN SPACE LOT 18. THERE ARE NO WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS LOCATED ON LOTS 1-14. THE ENVIRONMENTAL FINDINGS ARE BASED ON ECO-SCIENCE PROFESSIONALS, INC. C/O MR. JOHN CANALES, SEPTEMBER 2014.
  - THE PROJECT IS LOCATED WITHIN THE BONNIE BRANCH DRAINAGE AREA, THE APPROXIMATE FLOODPLAIN COMMON TO BONNIE BRANCH IS SHOWN HEREON PER THE HOWARD COUNTY FLOOD INSURANCE RATE MAP (EFIRM). THIS FLOODPLAIN HAS AN "X" DESIGNATION REPRESENTING HIGH FLOOD RISK. AS THE PROJECT PROPOSAL IS SEPARATED BY OVER 80 VERTICAL FEET, THE FLOODPLAIN LOCATED ONSITE CAN BE CONSIDERED "NON CRITICAL" TO THE PROJECT.
  - A NON-CRITICAL FLOODPLAIN REPORT FOR THIS PROJECT WAS PREPARED BY ROBERT H. VOGEL ENGINEERING, INC., DATED AUGUST, 2015, AND WAS APPROVED SEPTEMBER 2015.
- WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS SHOWN ON OPEN SPACE LOT 18. THERE ARE NO WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS LOCATED ON LOTS 1-14. THE ENVIRONMENTAL FINDINGS ARE BASED ON ECO-SCIENCE PROFESSIONALS, INC. C/O MR. JOHN CANALES, SEPTEMBER 2014.
- NO GRASSING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100-YEAR FLOODPLAIN.
- FOREST STAND DELINEATION PLAN PREPARED BY ECO-SCIENCE PROFESSIONALS, INC. C/O MR. JOHN CANALES, SEPTEMBER 2014.
- FOREST CONSERVATION EASEMENTS HAVE BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. THE HOWARD COUNTY FOREST CONSERVATION EASEMENT, HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
- A TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, INC., DATED OCTOBER 2, 2014 WAS APPROVED UNDER F-20-024.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- A TEST PIT REPORT FOR THIS PROJECT WAS PREPARED BY ROBERT H. VOGEL ENGINEERING, DATED APRIL 2, 2014 WAS APPROVED UNDER F-20-024.
- AN ENVIRONMENTAL CONCEPT PLAN (ECP-15-027) WAS APPROVED ON FEBRUARY 13, 2015.
- A PRELIMINARY EQUIVALENT SKETCH PLAN (SP-15-016) WAS APPROVED ON JANUARY 27, 2016.
- A FINAL PLAN F-20-024 (SP-15-016) WAS APPROVED ON FEBRUARY 23, 2016.
- STORMWATER MANAGEMENT FOR THE PROJECT IS PROVIDED BY:
  - THE USE OF MICRO-SCALE PRACTICES IN ACCORDANCE WITH ENVIRONMENTAL SITE DESIGN CRITERIA.
  - PRIVATE OFF-LOT (OPEN SPACE) STRUCTURE PRACTICES. NON-MD-378 COMBINATION WATER QUALITY F-1 SAND FILTER AND QUANTITY CONTROL FACILITY. REFER TO F-20-024.
  - THE PROJECT IS LOCATED WITHIN THE BONNIE BRANCH DRAINAGE AREA, 10 YEAR PEAK MANAGEMENT IS REQUIRED.
  - PRIVATE OFF-LOT (OPEN SPACE) MICRO-SCALE PRACTICES. MICRO-BIORETENTION (M-6) WILL BE PRIVATELY OWNED AND MAINTAINED BY THE H.O.A. REFER TO F-20-024.
  - PRIVATE ON-LOT PRACTICES WILL BE PRIVATELY OWNED AND MAINTAINED BY INDIVIDUAL PROPERTY OWNERS. ON-LOT (RESIDENTIAL) MICRO-SCALE PRACTICES INCLUDE THE USE OF MICRO-BIORETENTION (M-6) AND OPEN SPACE LOT 18. REFER TO F-20-024 FOR THE PRIVATE ON-LOT MICRO-BIORETENTIONS. THE DRY WELLS WILL BE CONSTRUCTED UNDER SP-21-010.
  - STORMWATER MANAGEMENT DECLARATION OF COVENANTS WILL BE EXECUTED WITH THE DEVELOPER'S AGREEMENT FOR F-20-024.
- A LANDSCAPE PLAN WAS PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE LANDSCAPE MANUAL AND APPROVED UNDER F-20-024.
- PUBLIC STREET TREES ARE PROVIDED FOR THIS PROJECT UNDER F-20-024 IN ACCORDANCE WITH SECTION 16.124(A)(1) OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL.
- FINANCIAL SURETY WAS PROVIDED AS PART OF F-20-024 ENGINEERING COST GUARANTEE.
- IN ACCORDANCE WITH SECTION 16.121(A)(2) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, THE OPEN SPACE REQUIREMENTS FOR THIS R-20 PROJECT (1200 SF MIN LOT SIZE) IS 40% OF GROSS AREA.
- OPEN SPACE LOTS 15-17 SHALL BE OWNED AND MAINTAINED BY THE H.O.A. OPEN SPACE REQUIREMENTS WERE ADDRESSED UNDER F-20-024.
- IN ACCORDANCE WITH SECTION 16.121(A)(4) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, RECREATION OPEN SPACE FOR THIS R-20 PROJECT IS 200 SF / UNIT.
  - OPEN SPACE REQUIREMENTS WERE ADDRESSED UNDER F-20-024.
- PER SECTION 1006(C) OF THE ZONING REGULATIONS, AT LEAST 10% OF THE DWELLINGS IN A R-20 DEVELOPMENT SHALL BE MODERATE INCOME HOUSING UNITS (MIHU). 14 x 10% = 1.4 UNITS OR THE EQUIVALENT SHALL BE PROVIDED FOR THIS PROJECT. ALL LOTS / RESIDENTIAL UNITS IN THIS SUBDIVISION ARE SUBJECT TO THE MIHU FEE-IN-LIEU REQUIREMENT THAT IS TO BE CALCULATED AND PAID TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT THE TIME OF BUILDING PERMIT ISSUANCE BY THE PERMIT APPLICANT.
- IN ACCORDANCE WITH SECTION 133.012.2(A) OF THE HOWARD COUNTY ZONING REGULATIONS PARKING IS REQUIRED AT 2.5 SPACES PER UNIT. OFF-STREET PARKING TO INCLUDE GARAGE SPACE, DRIVEWAY AND PARKING PADS. GARAGES COUNT AS A FULL SPACE. SEE TABULATION HEREON.
- DRIVEWAY ENTRANCE DETAILS REFER TO HOWARD COUNTY DESIGN MANUAL, VOLUME III, STANDARD DETAIL PD-6.01 FOR LOTS 1, 8 AND 8-10. FOR LOTS 11-14, DRIVEWAY CONNECTIONS TO THE USE IN COMMON DRIVEWAYS SHALL CONNECT DIRECTLY TO THE EDGE OF THE USE-IN-COMMON DRIVEWAY PAVEMENT. SEE DETAIL SHEET 5.
- TRAFFIC CONTROL DEVICES:
  - A. THE R1-(STOP) SIGNS AND STREET NAME SIGNS (SNS) ASSEMBLIES FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETE.
  - B. THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2400) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
  - C. ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
  - D. ALL SIGN POST USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, "QUICK PUNCH" SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE W/FLANGE (12 GAUGE) 3" LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL.
  - E. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON THE TOP OF EACH POST.
- STREET LIGHTING REQUIREMENTS WERE ADDRESSED UNDER F-20-024.
- THIS PROJECT IS SUBJECT TO MD-15-111 ON NOVEMBER 18, 2015. THE PLANNING DIRECTOR APPROVED THE REQUEST, TO MAKE SECTION 16.1205(A)(7) - SPECIMEN TREE RETENTION AND SECTION 16.116(B)(1) - STEEP SLOPE PRESERVATION. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
  - THE APPROVAL OF THIS WAIVER REQUEST APPLIES TO THE 30 SPECIMEN TREES AS SHOWN TO BE REMOVED ON THE WAIVER EXHIBIT. THE REMOVAL OF ANY OTHER SPECIMEN TREE ON THE PROPERTY IS NOT PERMITTED UNDER THIS REQUEST UNLESS IT CAN BE SUFFICIENTLY DEMONSTRATED BY THE APPLICANT TO BE JUSTIFIED.
  - ANY DISTURBANCE TO EXISTING STEEP SLOPES BEYOND THE REQUESTED 1.9% SQUARE FEET IS NOT PERMITTED UNDER THIS WAIVER REQUEST UNLESS IT CAN BE SUFFICIENTLY DEMONSTRATED BY THE APPLICANT TO BE JUSTIFIED.
  - THE DEVELOPER SHALL PLANT THIRTY (30) 3" MINIMUM - CALIPER NATIVE SHADE TREES IN ADDITION TO THE REQUIRED PERIMETER LANDSCAPING TO MITIGATE THE REMOVAL OF THE SPECIMEN TREES. THESE TREES WILL BE BONDED WITH THE DEVELOPER'S AGREEMENT UNDER THE FINAL SUBDIVISION PLAN.
  - PROTECTIVE MEASURES SHALL BE UTILIZED DURING CONSTRUCTION TO PROTECT THE SPECIMEN TREES THAT ARE PROPOSED TO REMAIN. INCLUDE DETAILS OF THE PROPOSED TREE PROTECTION MEASURES ON SP-15-016 AND ALL SUBSEQUENT CONSTRUCTION PLANS.
  - A PRIVATE RANGE OF ADDRESS SIGN ASSEMBLIES FOR PRIVATE LOTS 2-A & 4 & 8-14 SHALL BE FABRICATED AND INSTALLED BY HOWARD COUNTY BUREAU OF HIGHWAYS AT THE DEVELOPER'S EXPENSE. CONTACT HOWARD COUNTY TRAFFIC DIVISION AT 410-313-5752 FOR DETAILS AND COST ESTIMATES. REFER TO F-20-024.
  - PUBLIC TRASH AND RECYCLING COLLECTION WILL BE PROVIDED ALONG THE PUBLIC AND PRIVATE ROADS WITHIN 5' OF THE EDGE OF THE PUBLIC ROADWAY.
  - IN ACCORDANCE WITH SECTION 128.0 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES, OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 16 FEET INTO THE FRONT OR REAR YARD SETBACK.
  - FLAG AND PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND ROAD RIGHT-OF-WAY AND NOT OVER THE PIPESTEM LOT DRIVEWAY.
  - SIC ELEVATIONS SHOWN ARE LOCATED AT THE PROPERTY LINE, COUNTY RIGHT-OF-WAY LINE OR THE EDGE OF PUBLIC EASEMENT.
  - STORM DRAINS, STORMWATER MANAGEMENT SAND FILTER AND MICRO-BIO-RETENTION FACILITIES ARE CONSTRUCTED UNDER F-20-024.
- AS A LETTER DATED DECEMBER 12, 2012, THE DEPARTMENT OF PLANNING AND ZONING APPROVED AN ADMINISTRATIVE ADJUSTMENT (AA-22-015) FROM SECTION 108.0.D.1(A)(1) OF THE ZONING REGULATIONS TO REDUCE THE REQUIRED 30' FEET SETBACK TO 25.4' FOR THE CONSTRUCTION OF A SINGLE FAMILY DETACHED DWELLING ON LOT B AT 4776 ATTENBOROUGH WAY.

NOTE:

- ALL WATER CONNECTIONS SHALL BE 1-1/2" WITH "1" OUTSIDE METER SETTINGS, UNLESS OTHERWISE NOTED. REFER TO HOWARD COUNTY DETAILS W-3.28 OUTSIDE METER SETTINGS.

COORDINATE TABLE

POINT	NORTHING	EASTING
150	573533.406	1374023.851
151	573568.901	1374100.854
152	573583.973	1374115.679
153	573603.8181	1374127.4183
154	573618.250	1374144.7407
155	573620.733	1374191.394
156	573660.588	1374232.1358
157	573529.766	1374221.5401
158	573513.1602	1374204.1918
159	573516.0999	1374135.8963
160	573519.2085	1374111.1644
161	573488.3722	1374059.4484
162	573503.0977	1374885.1548
163	573591.9506	1374886.6925
164	572995.7415	1374881.2310
165	573010.0742	1375012.4439
166	573038.2814	1375088.6684
167	573084.2430	1375153.6980
168	573096.0321	1375168.1544
169	573283.6865	1375375.8347
170	573293.2787	1375315.1924
171	573338.4477	1374579.5118
172	573326.0032	1374565.7836
173	573260.9996	1374590.9294
174	573244.3302	1374565.5503
175	573262.6439	1374487.9568
176	573218.9735	1374437.5782
177	573251.7954	1374408.6098
178	573238.4743	1374393.3148
179	573207.9586	1374312.0213
180	573093.3308	1375015.3721
201	573313.3165	1375443.3045
202	573291.9302	1375458.7602
203	573147.5008	1375233.4899
204	573010.0320	1375090.9884
205	572888.9203	1374919.4320
206	572925.3188	1374899.8198
1006	573202.5863	1374544.3064
1007	573034.4817	1374469.3972
1010	573124.5729	1374384.2421
1022	573291.4669	1373981.6017
1038	573017.1150	1374871.0482

NOTE:

THE EXISTING GRADES SHOWN HEREON WILL BE ESTABLISHED UNDER THE FINAL ROAD AND STORM DRAIN CONSTRUCTION PLANS FOR HAMPTON HILLS F-20-024.

# SITE DEVELOPMENT PLAN

## HAMPTON HILLS

LOTS 1-14  
(SFD RESIDENTIAL)  
HOWARD COUNTY, MD

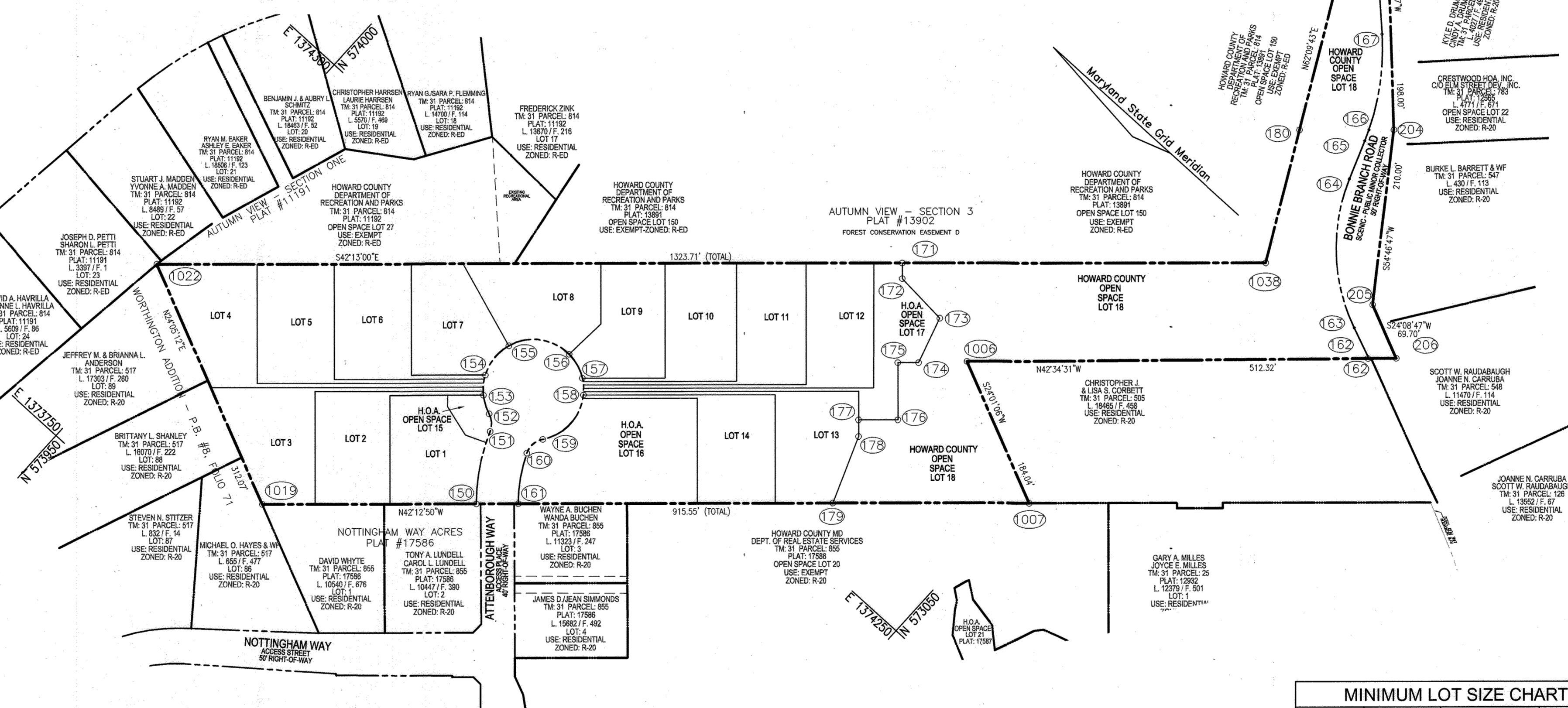
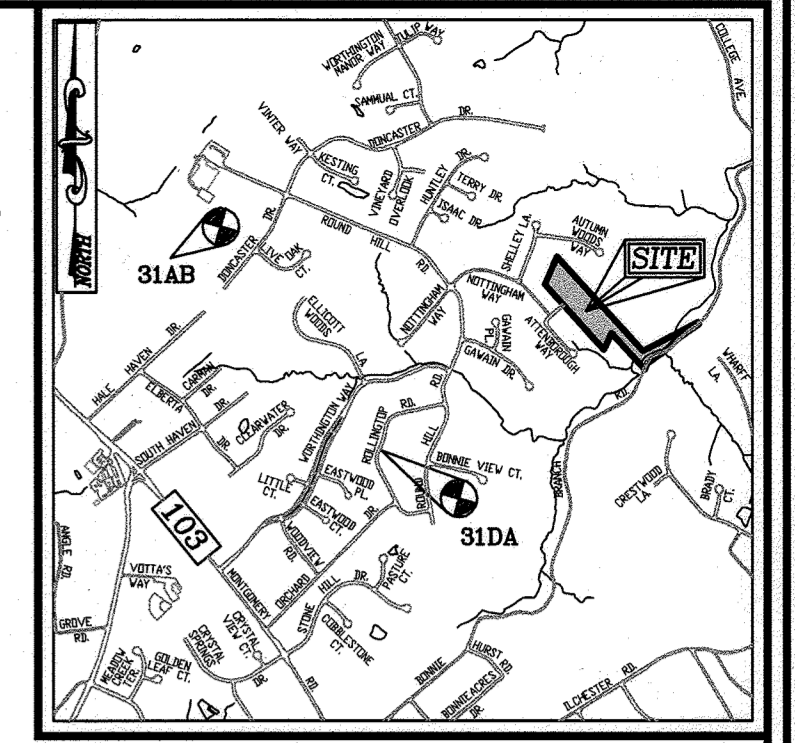
**BENCHMARKS**

HOWARD COUNTY BENCHMARK 31AB (CONC. MON.)  
N 573984.52 E 1369949.46 ELEV. 499.905  
LOCATION: TRANSMISSION LINE 0.2 MILES EAST OF NEW CUT ROAD

HOWARD COUNTY BENCHMARK 31DA (CONC. MON.)  
N 571982.70 E 1372145.06 ELEV. 481.604  
LOCATION: ROLLING TOP ROAD 0.1 MILES NORTH OF ORCHARD ROAD

**LEGEND**

- PROPERTY LINE
- RIGHT-OF-WAY LOS
- ADJACENT PROPERTY LINE



**SHEET INDEX**

DESCRIPTION	SHEET NO.
COVER SHEET	1 OF 5
SITE LAYOUT PLAN	2 OF 5
GRADING, SOIL EROSION AND SEDIMENT CONTROL PLAN	3 OF 5
GRADING, SOIL EROSION AND SEDIMENT CONTROL PLAN - NOTES & DETAILS	4 OF 5
HOUSE TYPES, STORMWATER MANAGEMENT AND SITE DETAILS	5 OF 5

**MODERATE INCOME HOUSING UNITS (MIHU) ALLOCATION EXEMPTIONS TRACKING**

DESCRIPTION	QUANTITY
TOTAL NUMBER OF LOTS/UNITS PROPOSED	14
NUMBER OF MIHU REQUIRED	1.4
NUMBER OF MIHU PROVIDED (EXEMPT FROM AFPO ALLOCATIONS)	0
NUMBER OF AFPO ALLOCATIONS REQUIRED (SIGNING LOTS UNITS)	1.4*
MIHU FEE-IN-LIEU (INDICATE LOT/UNIT NUMBERS)	1-14

\* CREDIT FOR 1 EXISTING HOME

**MIHU AGREEMENT**

PLEASE NOTE THAT ALL LOTS/RESIDENTIAL UNITS IN THIS SUBDIVISION ARE SUBJECT TO THE MIHU FEE-IN-LIEU REQUIREMENT THAT IS TO BE CALCULATED AND PAID TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT THE TIME OF BUILDING PERMIT ISSUANCE BY THE PERMIT APPLICANT.

**OWNER**  
HAMPTON HILLS, LLC  
3675 PARK AVE., SUITE 301  
ELLICOTT CITY, MD 21043  
(410) 480-0023

**DEVELOPER**  
TRINITY HOMES MARY LAND, LLC  
3675 PARK AVE., SUITE 301  
ELLICOTT CITY, MD 21043  
(410) 480-0023

NO.	REVISION	DATE
4	REVISE HOUSE TYPE AND GRADING ON LOTS 6, 11, ADD PRIVATE RETAINING WALL EASEMENT ON LOT 7 AND REVISE SAND FILTER ON HOA OS LOT 16	4-12-24
3	REVISE HOUSE TYPE AND GRADING ON LOT 4 AND FLOOR ELEVATIONS ON LOTS 1-14 AND 10	1-25-21
2	REVISE THE DRIVEWAY AND GRADING ON LOT B	4-6-23
1	REVISE HOUSE TYPE AND GRADING ON LOT B, ADD OPTIONAL DRIVEWAY TO SYCAMORE HOUSE MODEL AND REVISE DRIVELL DESIGN ELEVATION CHART	1-24-23



**SITE DATA**

A. TOTAL PROJECT AREA:	8.47 AC
B. AREA OF PLAN SUBMISSION:	4.15 AC
C. LIMIT OF DISTURBANCE:	3.39 AC
D. PRESENT ZONING DESIGNATION:	R-20
E. PROPOSED USES FOR SITE AND STRUCTURES:	SINGLE FAMILY DETACHED (SFD)
F. FLOOR SPACE ON EACH LEVEL OF BUILDING PER USE:	N/A
G. TOTAL NUMBER OF UNITS ALLOWED FOR PROJECT AS SHOWN ON FINAL PLAN:	14 TOTAL UNITS
H. TOTAL NUMBER OF UNITS PROPOSED IN THIS SUBMISSION:	14 BUILDABLE LOTS (THIS SDP)
I. TENANTS ON SITE PER USE:	N/A
J. NUMBER OF PARKING SPACES REQUIRED BY HO CO. ZONING REGULATIONS:	2.5 PER UNIT
K. NUMBER OF PARKING SPACES PROVIDED ON SITE:	SEE PARKING TABULATION HEREON
L. AREA OF RECREATION OPEN SPACE REQUIRED BY SUBDIVISION & LAND DEVELOPMENT REGULATIONS:	REFER TO F-20-024
M. BUILDING COVERAGE OF SITE:	N/A
N. APPLICABLE DPZ FILE REFERENCES:	F-20-024, AA-22-015, F-23-013
P. ANY OTHER INFORMATION WHICH MAY BE RELEVANT:	TAX MAP 31, GRID 9, PARCEL 24 2ND ELECTION DISTRICT
Q. FLOOR AREA RATIO:	N/A

**PARKING TABULATION:**

TOTAL NUMBER OF DWELLING UNITS PROPOSED : 14  
TOTAL PARKING REQUIRED: 35 SPACES

-OFF-STREET PARKING SPACES REQUIRED: 2 SPACES PER UNIT  
28 SPACES (14 x 2 = 28)

-OVERFLOW/GUEST PARKING SPACES REQUIRED:  
D.5 SPACES PER STD UNIT X 14 = 7 SPACES

**TOTAL PARKING PROVIDED: 35 SPACES**

OFF-STREET PARKING SPACES PROVIDED:  
SFD = 2 GARAGE/2 DRIVEWAY  
2 SPACE IN GARAGE = 28 SPACES (FOR 14 UNITS)  
2 SPACES ON DRIVEWAY = 28 SPACES (FOR 14 UNITS)

TOTAL OVERFLOW PARKING SPACES PROVIDED: REFER TO OFF-STREET EXCESS

**TOTAL PARKING SPACES PROVIDED: 56 SPACES OFF-STREET**  
ONSTREET PARKING AS DIRECTED BY TRAFFIC ENGINEERING REFER TO F-20-024.

**MINIMUM LOT SIZE CHART**

LOT	GROSS AREA	PIPESTEM AREA	NET AREA
1	12,546 SF	535 SF	12,011 SF
2	13,983 SF	964 SF	13,019 SF
3	14,103 SF	1,296 SF	12,807 SF
4	13,911 SF	857 SF	13,054 SF
5	13,041 SF	421 SF	12,620 SF
6	12,396 SF	395 SF	12,002 SF
10	12,740 SF	733 SF	12,007 SF
11	13,065 SF	1,064 SF	12,001 SF
12	12,832 SF	916 SF	12,016 SF
13	12,587 SF	545 SF	12,042 SF

**ADDRESS CHART / ONLOT STORMWATER MANAGEMENT PRACTICES**

LOT ADDRESS	SWM PRACTICE
1 4788 ATTENBOROUGH WAY	DRYWELL (M-5)
2 7106 ELLA MAE WAY	DRYWELL (M-5)
3 7110 ELLA MAE WAY	MICRO-BIORETENTION (M-6)
4 7113 ELLA MAE WAY	DRYWELL (M-5)
5 7109 ELLA MAE WAY	MICRO-BIORETENTION (M-6) DRYWELL (M-5)
6 7105 ELLA MAE WAY	MICRO-BIORETENTION (M-6) DRYWELL (M-5)
7 7101 ELLA MAE WAY	DRYWELL (M-5)
8 4776 ATTENBOROUGH WAY	MICRO-BIORETENTION (M-6)
9 7000 GENIEVIEW WAY	MICRO-BIORETENTION (M-6), DRYWELL (M-5)
10 7004 GENIEVIEW WAY	MICRO-BIORETENTION (M-6), DRYWELL (M-5)
11 7008 GENIEVIEW WAY	MICRO-BIORETENTION (M-6), DRYWELL (M-5)
12 7012 GENIEVIEW WAY	DRYWELL (M-5)
13 7006 GENIEVIEW WAY	DRYWELL (M-5)
14 7005 GENIEVIEW WAY	DRYWELL (M-5)

**PERMIT INFORMATION CHART**

SUBDIVISION NAME	SECTION/AREA	LOTS/PARCEL #
HAMPTON HILLS	N/A	1-14 / 24
PLAT # OR L/F	BLOCK NO.	ZONE
25874-25879	9	R-20
TAX MAP	ELECT. DIST.	CENSUS TR.
25874-25879	31	2ND 602700

Summary of findings for APFO Traffic Analysis

- Date of report: OCTOBER 2, 2014
- Date of County: SEPTEMBER 2014
- Report submitted as part of Plan number: SP-15-016, F-20-024
- Provide statement that schools were in session on that date(s): SCHOOLS WERE IN SESSION
- List intersections studied, identify intersection on State or County jurisdiction, and label LOS for the horizon year of each intersection: MD 103 & MD 104, STATE JURISDICTION, LOS B - 2017
- Provide statement as to whether mitigation is required and explain the method of mitigation/in-lieu fee. NO MITIGATION REQUIRED

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *Carl Edmondson* 10/18/2022

Chief, Division of Land Development: *Angy Groman* 10/19/2022

Director: *Sharon Groman* 10/19/2022

**SITE DEVELOPMENT PLAN**  
COVER SHEET  
**HAMPTON HILLS**  
LOTS 1-14

TAX MAP 31 GRID: 9  
2ND ELECTION DISTRICT

**VOGEL ENGINEERING**  
**TIMMONS GROUP**  
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com

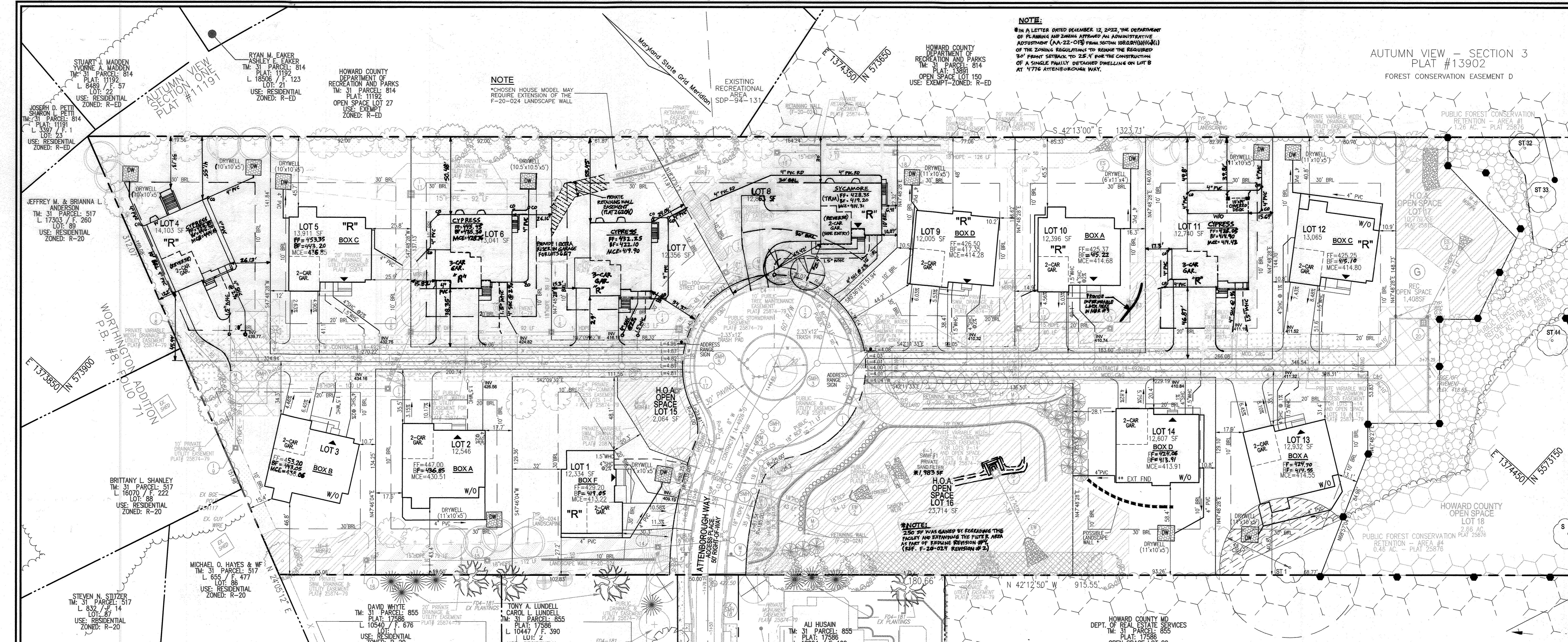
DESIGN BY: RHV  
DRAWN BY: IHL, VETG  
CHECKED BY: EDS  
DATE: OCTOBER 2022  
SCALE: AS SHOWN  
W.O. NO.: 12-10

PROFESSIONAL CERTIFICATE  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. EXPIRATION DATE: 09-27-2024

1 SHEET OF 5



**NOTE:**  
# IN A LETTER DATED DECEMBER 12, 2022, THE DEPARTMENT OF PLANNING AND ZONING APPROVED AN ADMINISTRATIVE ADJUSTMENT (AA-22-018) FROM SECTION 10B.03(B)(1) OF THE ZONING REGULATIONS TO REDUCE THE REQUIRED 30' FRONT SETBACK TO 25' IF THE CONSTRUCTION OF A SINGLE FAMILY DETACHED DWELLING ON LOT 8 AT 4776 ATTENBOROUGH WAY.



LAYOUT PLAN  
SCALE: 1"=30'

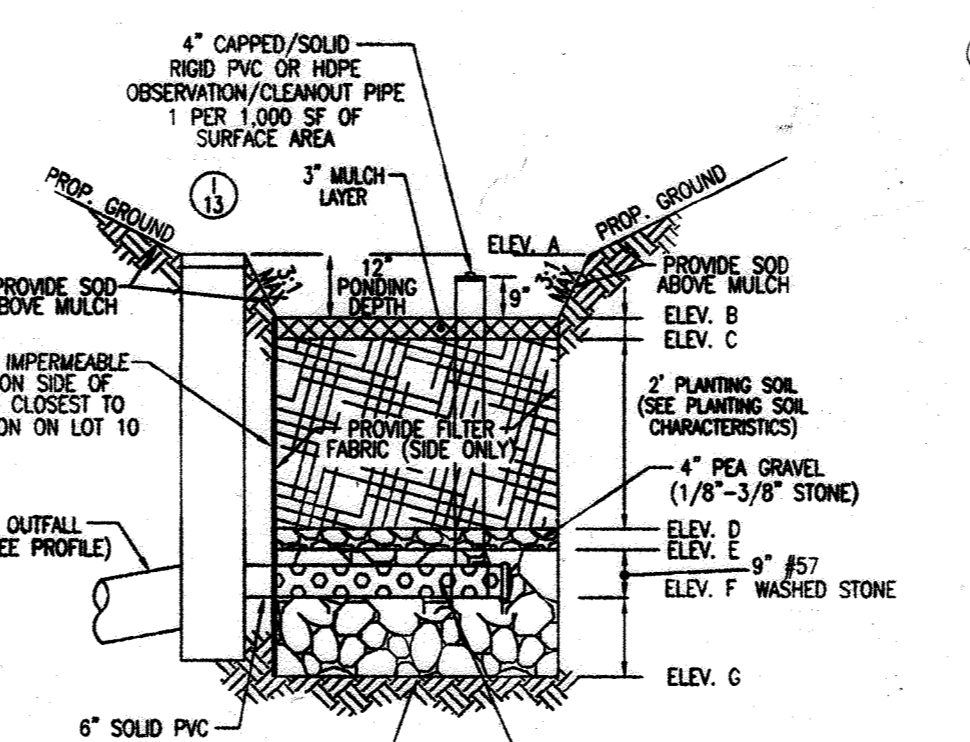
**LEGEND:**

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJACENT PROPERTY LINE
	EXISTING CURB AND GUTTER
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY LINE
	EXISTING CLEANOUT
	EXISTING FIRE HYDRANT
	EXISTING WATER LINE
	EXISTING STORM DRAIN
	EXISTING TREELINE
	EXISTING FENCE
	CENTERLINE OF EXISTING STREAM
	MICRO-BORE RETENTION FACILITY (M-6) F-20-024
	DRY WELL (M-5)
	UNDERDRAIN / ROOF DRAIN
	FOREST CONSERVATION EASEMENT SIGN F-20-024
	FRONT DOOR LOCATION
	ADDRESS RANGE SIGN
	REVERSE HOUSE FOOTPRINT
	EXISTING FOREST CONSERVATION EASEMENT (PLAT # 25874-25879)
	EXISTING CONCRETE SIDEWALK
	EXISTING PUBLIC STORM DRAIN EASEMENT (PLAT # 25874-25879)
	EXISTING PRIVATE SWM, DRAINAGE, AND UTILITY EASEMENT (PLAT # 25874-25879)
	EXISTING PRIVATE DRAINAGE AND UTILITY EASEMENT (PLAT # 25874-25879)
	EXISTING 10' TREE MAINTENANCE EASEMENT (PLAT # 25874-25879)
	EXISTING PRIVATE MONUMENT EASEMENT (PLAT # 25874-25879)
	EXISTING PRIVATE USE-IN-COMMON ACCESS EASEMENT (PLAT # 25874-25879)
	SPECIMEN TREE
	MAXIMUM ALLOWED SPECIMEN TREE CRITICAL ROOT ZONE DISTURBANCE AREA SEE F-20-024
	ST-1: 30X DISTURBANCE
	PRIVATE ONLOT WHC
	PRIVATE ONLOT SHC W/ INVERT AT CLEANOUT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
DATE: 10/18/2022  
CHIEF, DEVELOPMENT AND ENGINEERING DIVISION  
DATE: 10/19/2022  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 10/19/2022  
DIRECTOR

**IMPERMEABLE LINER SPECIFICATIONS**

Impermeable liner (if required)	ASTM-D-4033 (thickness) ASTM-D-412 (tensile strength) 1,100 lb., elongation 200% ASTM-D-634 (Tear resistance - 150 lb./in) ASTM-D-471 (water adsorption: +8 to -25 mm)	30 mil thickness	Liner to be ultraviolet resistant. A geotextile fabric should be used to protect the liner from punctures.
---------------------------------	---	------------------	--



MBR #3 IMPERMEABLE LINER DETAIL  
NOT TO SCALE

**LOT 14 - NOTE**  
\*CHOSEN HOUSE MODEL MAY REQUIRE A LANDSCAPE WALL AND/OR EXTENDED FOUNDATION

**STORMWATER MANAGEMENT NOTE:**  
1. REFER TO SHEET 5 FOR DRYWELL (DW) SIZE, NOTES & DETAILS.

**DRIVEWAY NOTES:**

- 1. TYPICAL DRIVEWAY WIDTH SHOWN HEREON IS 18 FEET WIDE FOR THE PROPOSED 2 CAR GARAGE. WIDTH SUBJECT TO CHANGE WITH BUILDER RESISTE.
- 2. DRIVEWAYS: THE SHOWN DRIVEWAY LOCATION CANNOT CHANGE UNLESS NOTED ON THIS SDP. CONFIRMING THAT THE GRADING AND DRIVEWAY SLOPES WILL REMAIN THE SAME WHETHER THE DRIVEWAY IS ON THE RIGHT OR LEFT SIDE OF THE HOUSE. ONLY ONE DRIVEWAY ORIENTATION CAN BE SHOWN FOR CORNER LOTS.

**OWNER**  
HAMPTON HILLS, LLC.  
3675 PARK AVE., SUITE 301  
ELLCOTT CITY, MD 21043  
(410) 480-0023

**DEVELOPER**  
TRINITY HOMES MARY LAND, LLC.  
3675 PARK AVE., SUITE 301  
ELLCOTT CITY, MD 21043  
(410) 480-0023

NO.	REVISION	DATE
4	REVISE HOUSE TYPE AND GRADING ON LOTS 6, 7, 11, ADD PRIVATE RETAINING WALL FOOTING ON LOT 7 AND REVISE SWP FILTER ON HOA 05 LOT 16	4-12-24
3	REVISE HOUSE TYPE AND GRADING ON LOT 4 AND FLOOR ELEVATIONS ON LOTS 17 AND 19	1-25-24
2	REVISE THE DRIVEWAY AND GRADING ON LOT 8	1-6-23
1	REVISE HOUSE TYPE AND GRADING ON LOT 8, ADD OPTIONAL ARWAYWAY TO SYCAMORE HOUSE MODEL AND REVISE DRYWELL DESIGN ELEVATION CHART	1-24-23

**SITE DEVELOPMENT PLAN  
LAYOUT PLAN  
HAMPTON HILLS  
LOTS 1-14**

TAX MAP: 31 GRID: 9  
2ND ELECTION DISTRICT

PARCEL: 24  
ZONING: R-20  
HOWARD COUNTY, MARYLAND

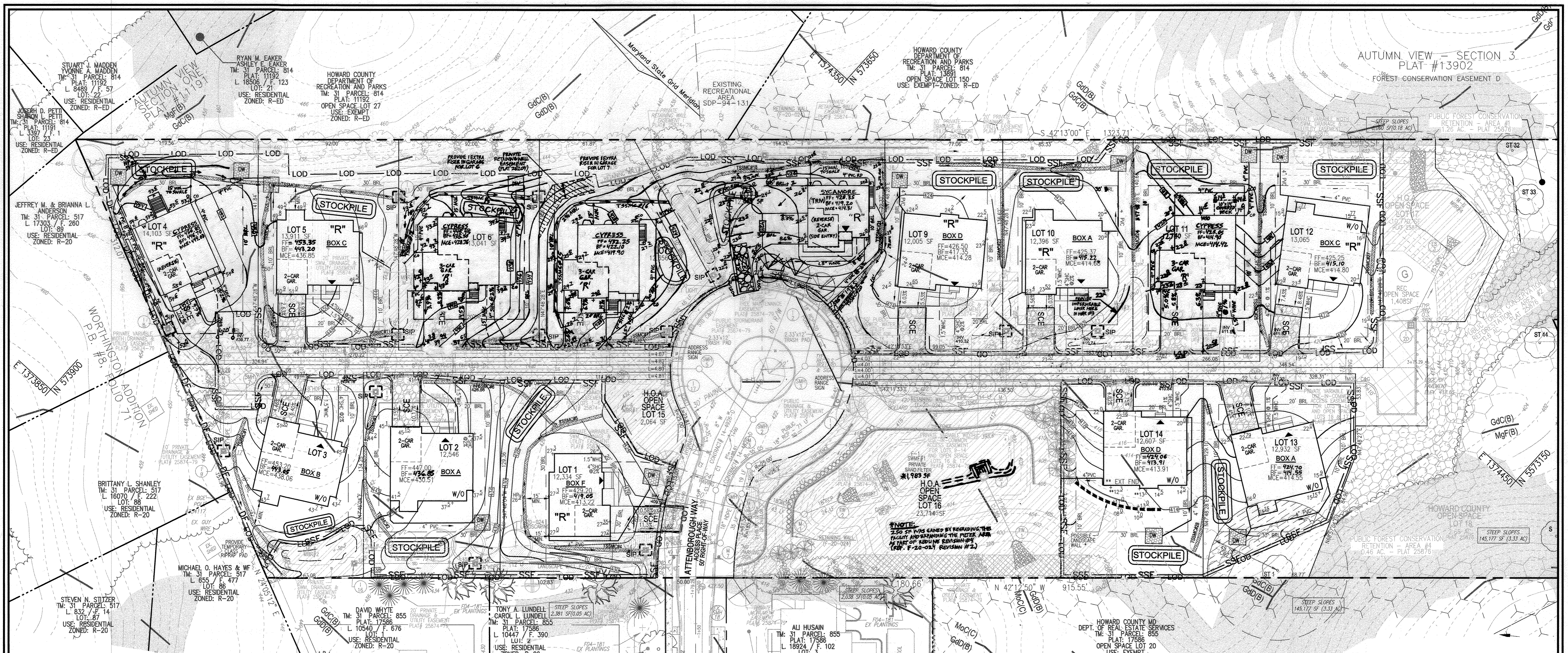
**VOGEL ENGINEERING**  
TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com

**PROFESSIONAL CERTIFICATE**  
DESIGN BY: RHY  
DRAWN BY: IHL, VETG  
CHECKED BY: EDS  
DATE: OCTOBER 2022  
SCALE: AS SHOWN  
W.O. NO.: 12-10

2 SHEET OF 5





**BUILDER NOTE:**  
SPECIMEN TREE:  
1. SPECIMEN TREE #1 SHALL BE PROTECTED WITH TREE PROTECTION & SUPER SILT FENCE DURING ALL PHASES OF CONSTRUCTION. TREE PROTECTION MEASURES SHALL BE USED AS NECESSARY.

**SOIL EROSION & SEDIMENT CONTROL PLAN NOTES**  
1. REFER TO SHEET 4 FOR SEQUENCE OF CONSTRUCTION  
2. REFER TO SHEETS 4 FOR STANDARD DETAILS AND STABILIZATION NOTES  
3. IF REQUIRED BY SEDIMENT CONTROL INSPECTOR, SUPER SILT FENCE SHALL REPLACE STANDARD SILT FENCE WHERE FENCING INTERCEPTS CONCENTRATED FLOWS.

**GRADING & SOIL EROSION AND SEDIMENT CONTROL PLAN**  
SCALE: 1"=30'  
30' 0 30' 60' 90'

**NOTES**  
1. IMBRICATE SF/SSF IN 35' SEGMENTS AS REQUIRED UPHILL BY 2' IN ELEVATION.

**NOTES:**  
1. TYPICAL DRIVEWAY WIDTH SHOWN HEREON IS 18 FEET WIDE FOR THE PROPOSED 2 CAR GARAGE. WIDTH SUBJECT TO CHANGE WITH BUILDER RESISTE.  
2. DRIVEWAYS: THE SHOWN DRIVEWAY LOCATION CANNOT CHANGE UNLESS NOTED ON THIS SDP CONFIRMING THAT THE GRADING AND DRIVEWAY SLOPES WILL REMAIN THE SAME WHETHER THE DRIVEWAY IS ON THE RIGHT OR LEFT SIDE OF THE HOUSE. ONLY ONE DRIVEWAY ORIENTATION CAN BE SHOWN FOR CORNER LOTS.  
**NOTE:**  
1. REFER TO SHEET 5 FOR DRYWELL (DW) SIZE, NOTES & DETAILS.

**NOTE:** LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. ANY STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED.

**NOTE:** STOCKPILING WILL BE PERMITTED ON EACH LOT ONLY.

**NOTE:**  
- SUPER SILT FENCE MAY BE REPLACED WITH STANDARD SILT FENCE WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR.  
- SILT FENCE SHALL BE CURLED UPHILL NO MORE THAN 35 FEET APART  
- DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

**NOTE:**  
EITHER PERMANENT OR TEMPORARY STABILIZATION IS TO BE APPLIED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR REGARDLESS OF DAYS/DATES IN THE STANDARD SEDIMENT CONTROL NOTES AND/OR SEEDING SPECIFICATIONS.

**SOILS LEGEND**

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	K FACTOR	CRITICAL ROOT ZONE
Co	COORRIS AND HATHORO SILT LOAMS, 0 TO 3 PERCENT SLOPES	A	NO	0.28	NO
GdC	GLADSTONE-LEGORE COMPLEX, 8 TO 15 PERCENT SLOPES, STONY	A	NO	0.28	NO
GdD	GLADSTONE-LEGORE COMPLEX, 15 TO 25 PERCENT SLOPES, STONY	A	NO	0.28	NO
Cc	CLAYSTONE-HIRSHLAND COMPLEX, 8 TO 15 PERCENT SLOPES	A	NO	0.32	NO
GmC	GLENNVILLE SILT LOAM, 8 TO 15 PERCENT SLOPES	C	NO	0.49	YES
Maf	MAJOR-BANNERSTOWN SANDY LOAMS, 25 TO 65 PERCENT SLOPES, ROCKY	B	NO	0.24	YES
Msc	MOUNT LUIS SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	C/D	NO	0.37	YES

**NOTE:** HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL PROODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT

**LEGEND:**

---	PROPERTY LINE	---	EXISTING FENCE	---	EXISTING FOREST CONSERVATION EASEMENT (PLAT # 25874-25879)
---	RIGHT-OF-WAY LINE	---	CENTERLINE OF EXISTING STREAM	---	EXISTING PRIVATE STORMDRAIN EASEMENT (PLAT # 25874-25879)
---	ADJACENT PROPERTY LINE	---	10' CONTOUR	---	EXISTING PRIVATE SWIM, DRAINAGE AND UTILITY EASEMENT (PLAT # 25874-25879)
---	EXISTING CURB AND GUTTER	---	2' CONTOUR	---	EXISTING PRIVATE DRAINAGE AND UTILITY EASEMENT (PLAT # 25874-25879)
---	EXISTING UTILITY POLE	---	MICRO-BIORETENTION FACILITY (M-6) F-20-02A	---	EXISTING 10' TREE MAINTENANCE EASEMENT (PLAT # 25874-25879)
---	EXISTING LIGHT POLE	---	DRY WELL (M-5)	---	EXISTING PRIVATE MONUMENT EASEMENT (PLAT # 25874-25879)
---	EXISTING MAILBOX	---	UNDERDRAIN / ROOF DRAIN	---	EXISTING PRIVATE USE-IN-COMMON ACCESS EASEMENT (PLAT # 25874-25879)
---	EXISTING CLEANOUT	---	PROPOSED SUPER SILT FENCE	---	EXISTING RETAINING WALL EASEMENT (PLAT # 25874-25879)
---	EXISTING SANITARY MANHOLE	---	PROPOSED DIVERSION FENCE	---	EXISTING FOREST CONSERVATION EASEMENT (PLAT # 25874-25879)
---	EXISTING SANITARY LINE	---	PROPOSED LIMIT OF DISTURBANCE	---	EXISTING PRIVATE MONUMENT EASEMENT (PLAT # 25874-25879)
---	EXISTING FIRE HYDRANT	---	PROPOSED STABILIZED CONSTRUCTION ENTRANCE	---	EXISTING PRIVATE MONUMENT EASEMENT (PLAT # 25874-25879)
---	EXISTING WATER LINE	---	TEMPORARY STOCKPILE	---	EXISTING PRIVATE MONUMENT EASEMENT (PLAT # 25874-25879)
---	EXISTING STORM DRAIN	---	STANDARD INLET PROTECTION	---	EXISTING PRIVATE MONUMENT EASEMENT (PLAT # 25874-25879)
---	EXISTING 10' CONTOUR	---	TEMPORARY SOIL STABILIZATION MATING	---	EXISTING PRIVATE MONUMENT EASEMENT (PLAT # 25874-25879)
---	EXISTING 2' CONTOUR	---	TEMPORARY RIPRAP PAD	---	EXISTING PRIVATE MONUMENT EASEMENT (PLAT # 25874-25879)
---	SOILS	---	REVERSE HOUSE FOOTPRINT	---	EXISTING PRIVATE MONUMENT EASEMENT (PLAT # 25874-25879)
---	EXISTING TREELINE	---		---	EXISTING PRIVATE MONUMENT EASEMENT (PLAT # 25874-25879)

**OWNER**  
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NO.	REVISION	DATE
4	REVISE HOUSE TYPE AND GRADING ON LOTS 6, 7, 11, ADD PRIVATE RETAINING WALL EASEMENT ON LOT 7 AND REVISE SAND FILTER ON HOA 05 LOT 16	4-12-24
3	REVISE HOUSE TYPE AND GRADING ON LOT 4 AND FLOOR ELEVATIONS ON LOTS 17 AND 18	1-25-24
2	REVISE THE DRIVEWAY AND GRADING ON LOT B	4-6-23
1	REVISE HOUSE TYPE AND GRADING ON LOT 8, ADD OPTIONAL DRIVEWAY TO SYCAMORE	1-24-23

**SITE DEVELOPMENT PLAN  
GRADING, SOIL EROSION AND  
SEDIMENT CONTROL PLAN  
HAMPTON HILLS  
LOTS 1-14**

TAX MAP: 31 GRID: 9  
2ND ELECTION DISTRICT

**VOGEL ENGINEERING**  
TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLCOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com

**PROFESSIONAL CERTIFICATE**  
DESIGN BY: JHV  
DRAWN BY: JHV, RVC  
CHECKED BY: EDS  
DATE: OCTOBER 2022  
SCALE: AS SHOWN  
W.O. NO.: 12-10

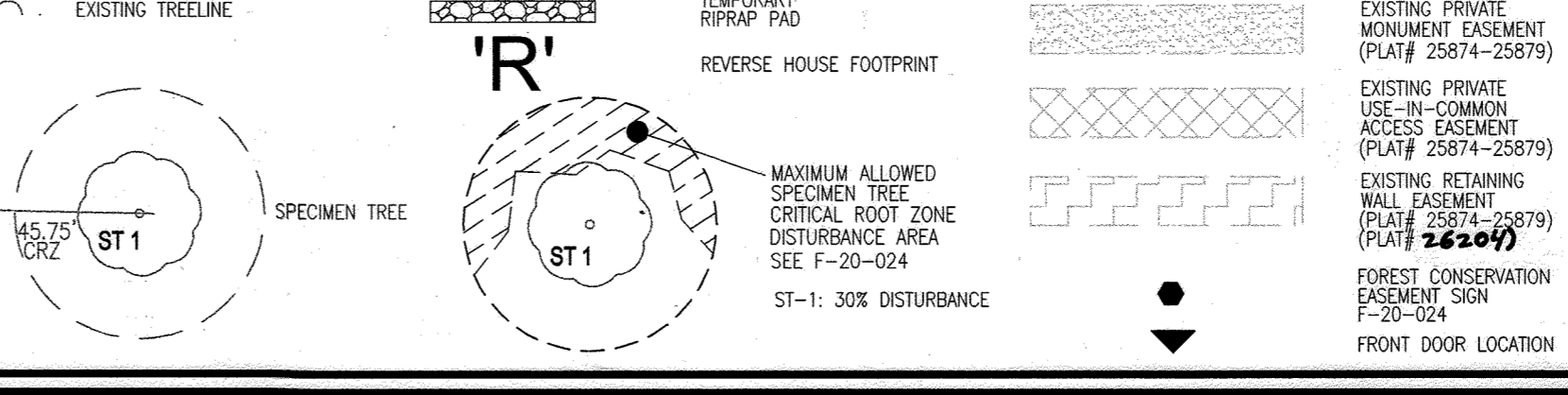
3 SHEET OF 5

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
10/18/2022  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
10/19/2022  
CHIEF, DIVISION OF LAND DEVELOPMENT  
10/19/2022  
DIRECTOR

**OWNER/DEVELOPER CERTIFICATION:**  
I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.  
Michael Pfau  
OWNER/DEVELOPER SIGNATURE  
Michael Pfau  
PRINTED NAME & TITLE  
10/11/2022  
DATE

**DESIGN CERTIFICATION:**  
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
Rob Vogel  
DESIGNED BY  
Rob Vogel  
DESIGNER'S SIGNATURE  
10/12/2022  
DATE  
ROBERT H. VOGEL  
PRINTED NAME  
NO. REGISTRATION NO. 16193  
P.E. R.L.S., OR R.L.A. (circle one)

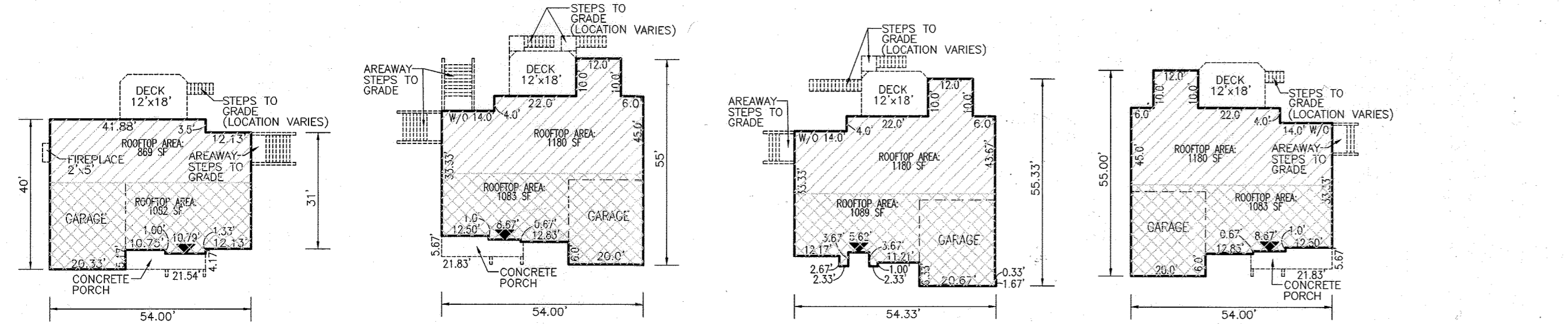
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
Approved by: Olga Bratovic  
10/18/2022  
HOWARD S.C.D. DATE



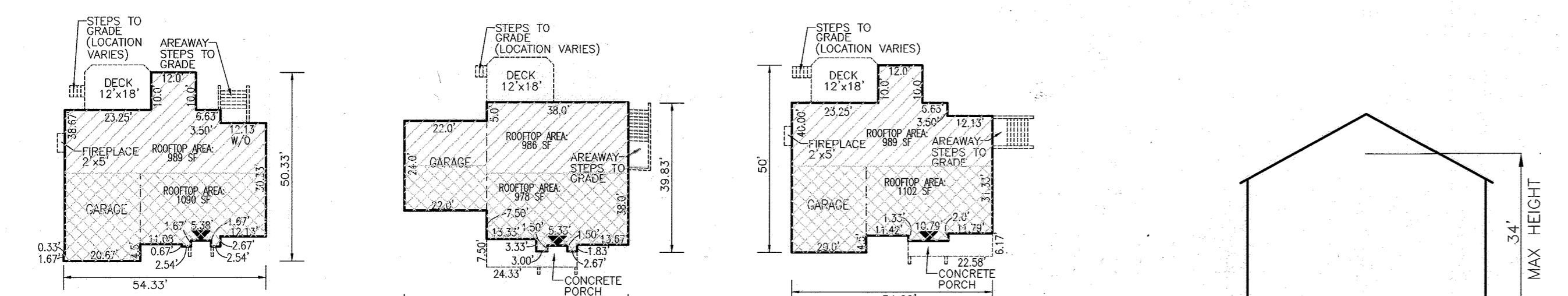








AMESBURY SCALE: 1"=30' ELEVATION 710  
YORKSHIRE MANOR SCALE: 1"=30' ELEVATION 790  
YORKSHIRE MANOR SCALE: 1"=30' ELEVATION 585  
YORKSHIRE MANOR SCALE: 1"=30' ELEVATION 770

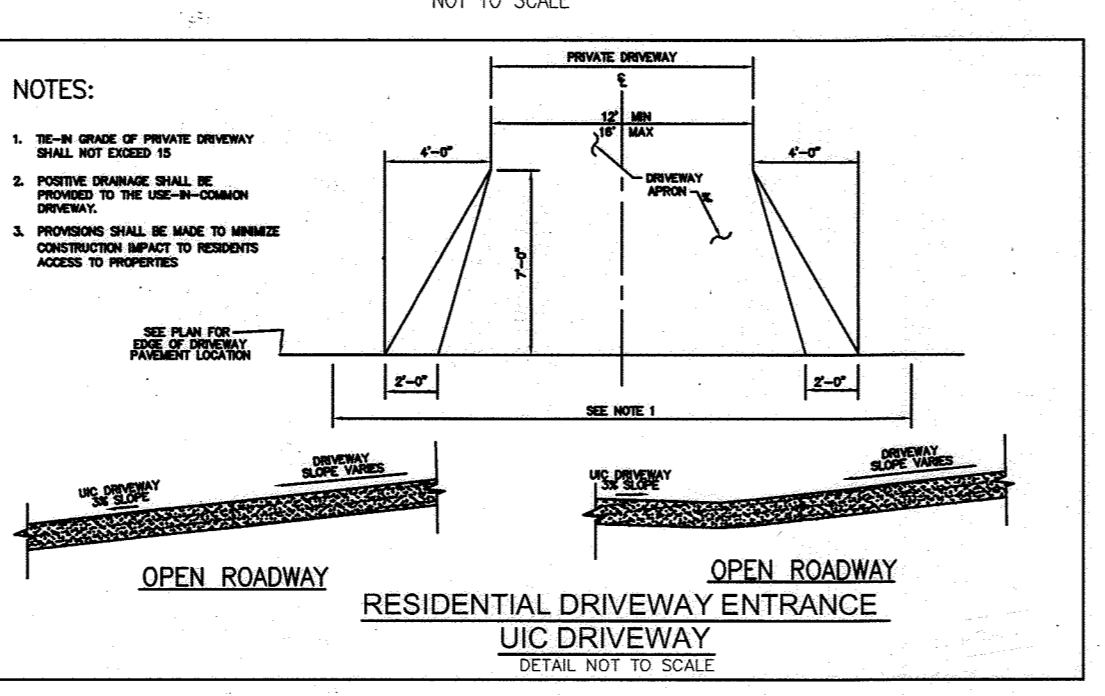
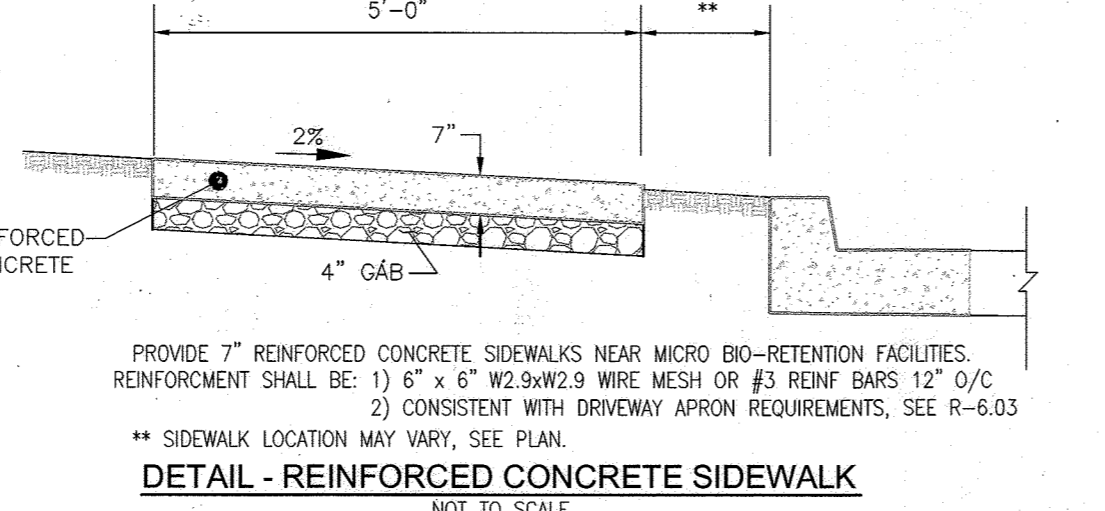
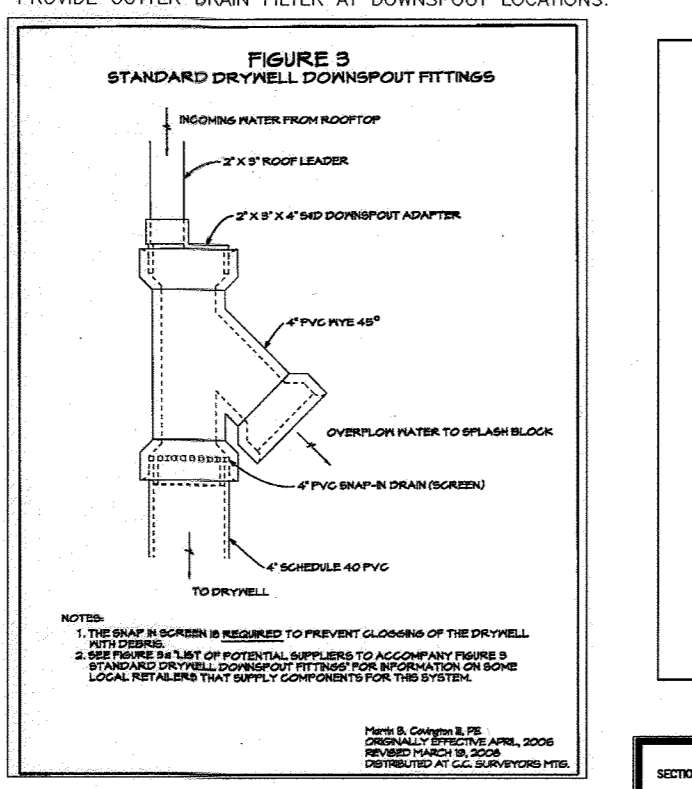
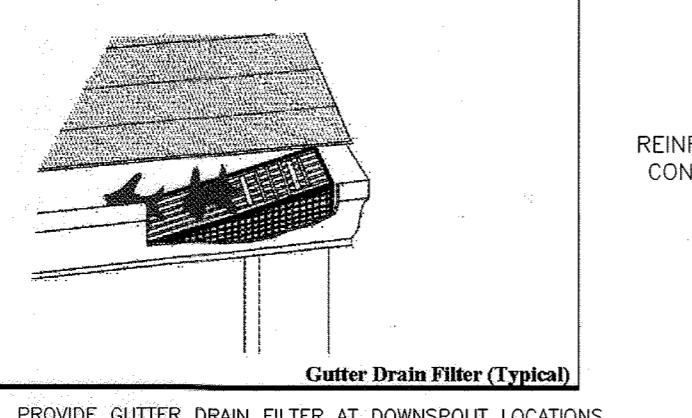


AMESBURY SCALE: 1"=30' ELEVATION 500  
GRACE MARIE SCALE: 1"=30' ELEVATION 745  
AMESBURY SCALE: 1"=30' ELEVATION 725  
TYP. ELEVATION NOT TO SCALE

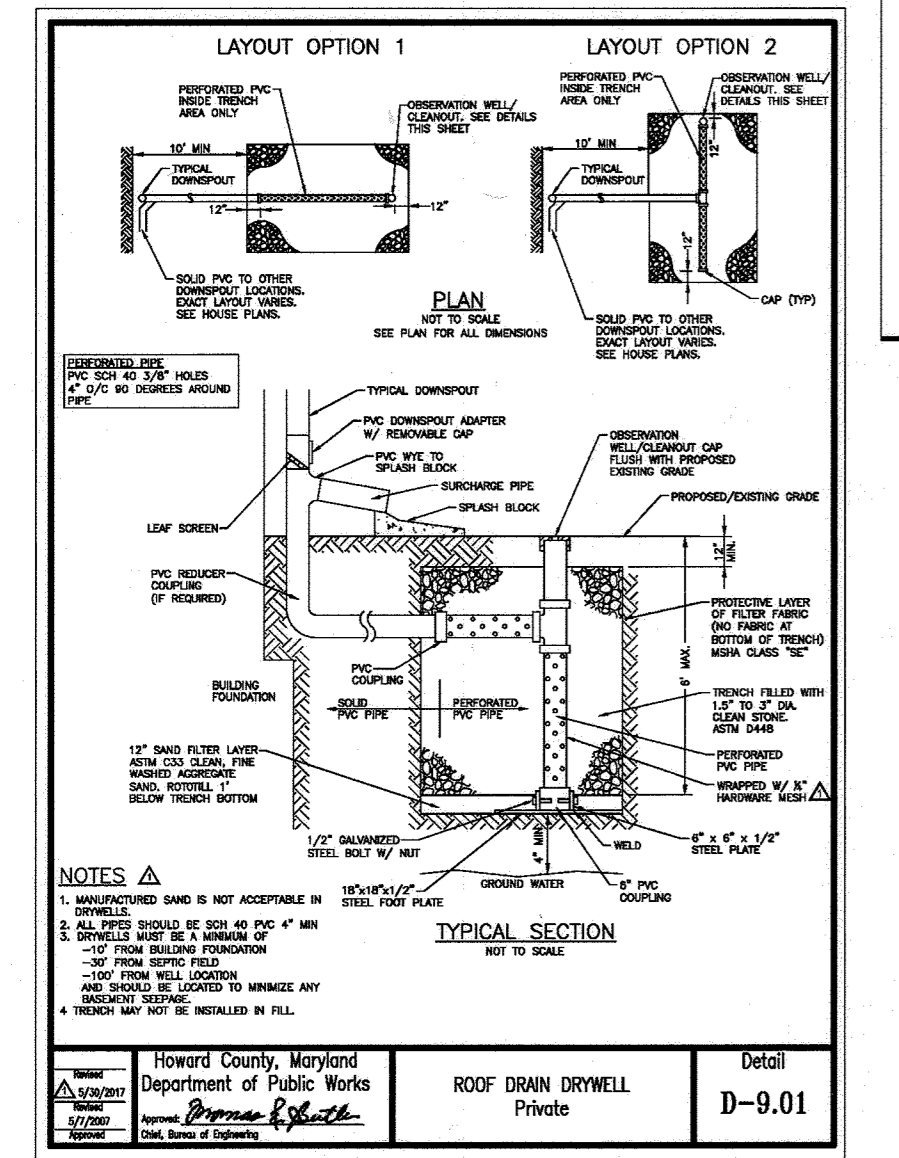
OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER INFILTRATION TRENCHES (I-1), STORMWATER DRY WELLS (M-5)

- 1. THE MONITORING WELLS AND STRUCTURES SHALL BE INSPECTED ON A QUARTERLY BASIS AND AFTER EVERY LARGE STORM EVENT.
2. WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS SHALL BE RECORDED OVER A PERIOD OF SEVERAL DAYS TO INSURE TRENCH DRAINAGE.
3. A LOG BOOK SHALL BE MAINTAINED TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
4. WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN THE 72 HOUR TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
5. THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
6. ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION FACILITY HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

ON-LOT DRYWELL - DESIGN ELEVATION CHART table with columns: SWM DA, DW LOT, DW LOCATION, NUMBER OF DW'S, PROP GRADE, TOP STONE, INV. STONE, SURFACE SIZE (I), STONE DEPTH, SAND DEPTH.



SECTION table with columns: ROAD AND STREET CLASSIFICATION, CALIFORNIA BEARING RATIO (CBR), MIN. SUBGRADE MATERIAL (INCHES), SUPERPAVE AGENCY USE ONLY, SUPERPAVE AGENCY USE ONLY.



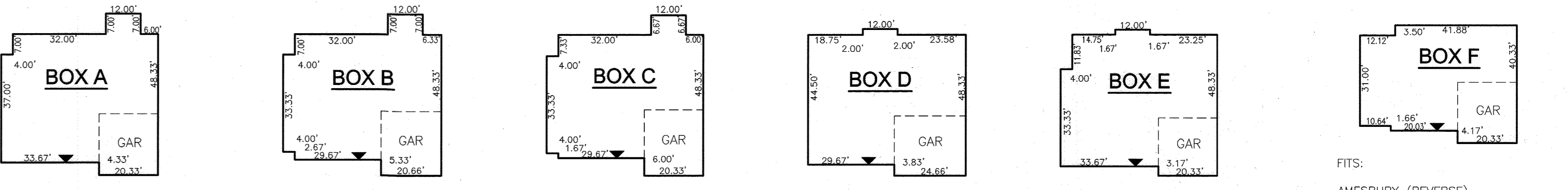
Howards County, Maryland Department of Public Works ROOF DRAIN DRYWELL Detail D-9.01

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Chief, Development Engineering Division. Date: 10/19/2022.

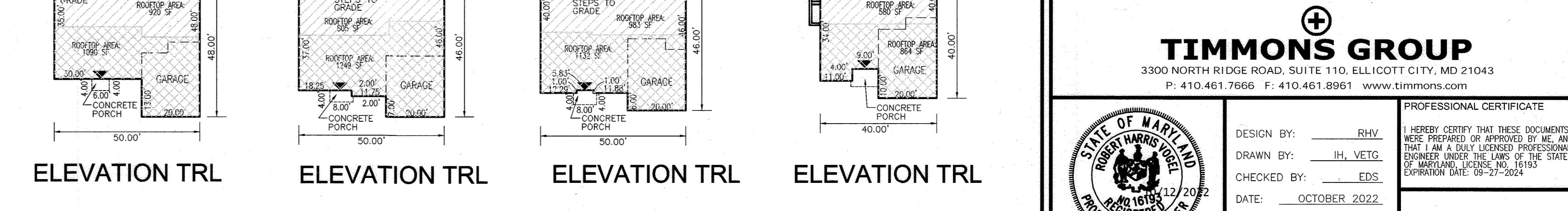
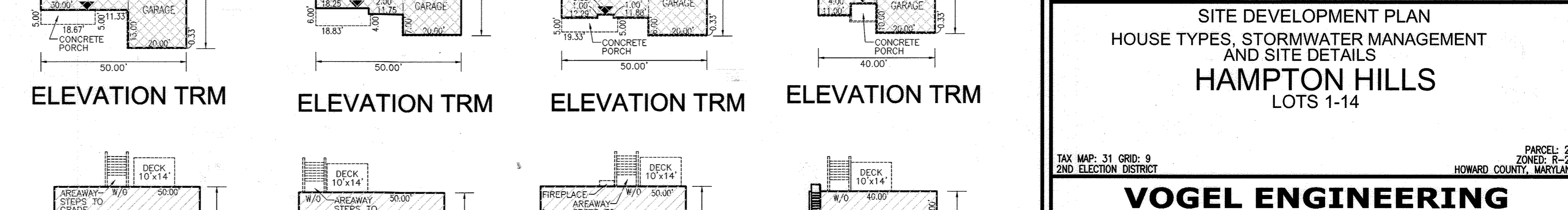
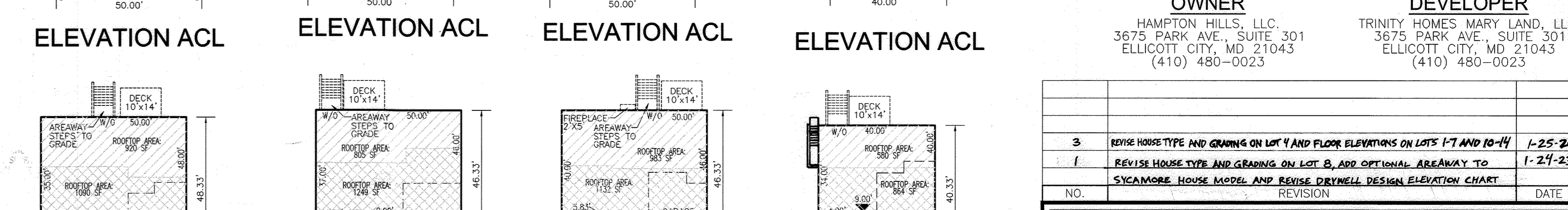
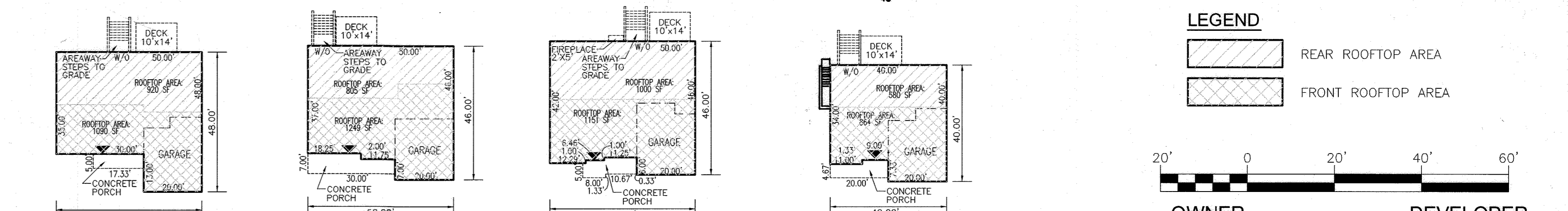
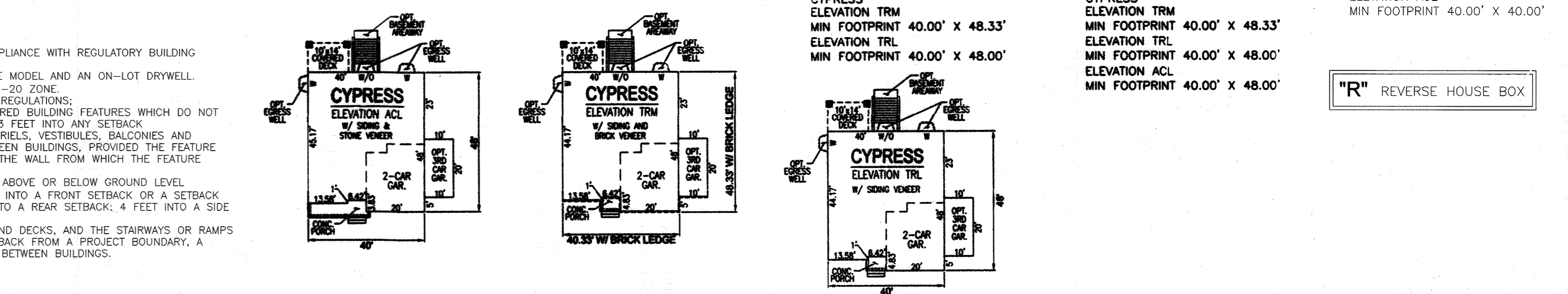
Chief, Division of Land Development. Date: 10/19/2022. Director.

NOTES:

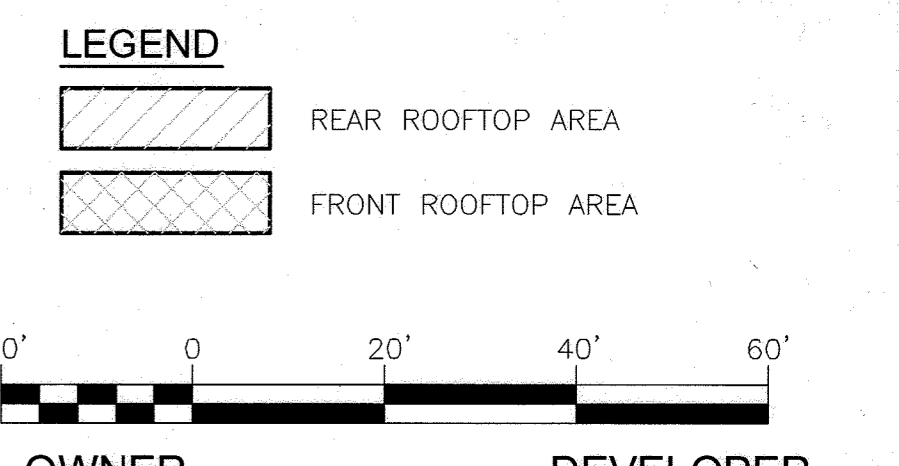
- 1. ADDITIONAL HOUSE TYPES AND OPTIONS MAY FIT ON ANY GIVEN LOT.
2. THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY BUILDING RESTRICTION LINES IS RECOMMENDED.
3. A MINIMUM OF 10 FEET SHALL BE PROVIDED BETWEEN THE CHOSEN HOME MODEL AND AN ON-LOT DRYWELL. MODEL ELEVATION SHALL NOT EXCEED 34' MAX HEIGHT AS ALLOWED BY R-20 ZONE.
4. IN ACCORDANCE WITH SECTION 128.0.A OF THE HOWARD COUNTY ZONING REGULATIONS:
5. MAX ENCROACHMENT INTO SETBACK FOR CORNICES, EAVES AND CANTILEVERED BUILDING FEATURES WHICH DO NOT CONTAIN ANY FLOOR AREA OR EXTENSION OF INTERIOR LIVING SPACE IS: 3 FEET INTO ANY SETBACK.
6. MAX ENCROACHMENT INTO SETBACK FOR BAY WINDOWS, WINDOW WELLS, ORIELS, VESTIBULES, BALCONIES AND CHIMNEYS IS: 4 FEET INTO ANY SETBACK OR A REQUIRED DISTANCE BETWEEN BUILDINGS, PROVIDED THE FEATURE HAS A MAXIMUM WIDTH OF 16 FEET AS MEASURED HORIZONTALLY ALONG THE WALL FROM WHICH THE FEATURE EXTENDS.
7. MAX ENCROACHMENT INTO SETBACK FOR EXTERIOR STAIRWAYS OR RAMPS, ABOVE OR BELOW GROUND LEVEL EXCLUDING THOSE ATTACHED TO A PORCH OR DECK (SEE E) IS: 10 FEET INTO A FRONT SETBACK OR A SETBACK FROM A PROJECT BOUNDARY OR DIFFERENT ZONING DISTRICT; 16 FEET INTO A REAR SETBACK; 4 FEET INTO A SIDE SETBACK OR A REQUIRED DISTANCE BETWEEN BUILDINGS.
8. MAX ENCROACHMENT INTO SETBACK FOR OPEN OR ENCLOSED PORCHES AND DECKS, AND THE STAIRWAYS OR RAMPS ATTACHED THERETO IS: 10 FEET INTO A FRONT OR REAR SETBACK, A SETBACK FROM A PROJECT BOUNDARY, A SETBACK FROM A DIFFERENT ZONING DISTRICT, OR A REQUIRED DISTANCE BETWEEN BUILDINGS.



FITS: YORKSHIRE MANOR ELEVATION 790 MIN FOOTPRINT 54.00' X 55.00'. HEMLock ELEVATION TRM MIN FOOTPRINT 50.00' X 48.33'. MULBERRY ELEVATION ACL MIN FOOTPRINT 50.00' X 46.00'. WILLOW ELEVATION ACL MIN FOOTPRINT 50.00' X 46.00'. SYCAMORE ELEVATION TRM MIN FOOTPRINT 40.00' X 40.00'. AMESBURY (REVERSE) ELEVATION 710 MIN FOOTPRINT 54.00' X 40.00'. SYCAMORE (REVERSE) ELEVATION 725 MIN FOOTPRINT 54.00' X 50.00'. HEMLock ELEVATION TRM MIN FOOTPRINT 50.00' X 48.33'. MULBERRY ELEVATION ACL MIN FOOTPRINT 50.00' X 46.00'. WILLOW ELEVATION ACL MIN FOOTPRINT 50.00' X 46.00'. SYCAMORE (REVERSE) ELEVATION 745 MIN FOOTPRINT 60.00' X 39.83'. SYCAMORE (REVERSE) ELEVATION TRM MIN FOOTPRINT 40.00' X 40.00'. SYCAMORE (REVERSE) ELEVATION ACL MIN FOOTPRINT 40.00' X 40.00'. GRACE MARIE ELEVATION 745 MIN FOOTPRINT 60.00' X 39.83'. SYCAMORE (REVERSE) ELEVATION TRM MIN FOOTPRINT 40.00' X 40.00'. SYCAMORE (REVERSE) ELEVATION ACL MIN FOOTPRINT 40.00' X 40.00'. CYPRESS ELEVATION TRM MIN FOOTPRINT 40.00' X 48.33'. CYPRESS ELEVATION TRM MIN FOOTPRINT 40.00' X 48.33'. CYPRESS ELEVATION ACL MIN FOOTPRINT 40.00' X 48.00'. CYPRESS ELEVATION ACL MIN FOOTPRINT 40.00' X 48.00'. "R" REVERSE HOUSE BOX



HEMLOCK SCALE: 1"=30'. MULBERRY SCALE: 1"=30'. WILLOW SCALE: 1"=30'. SYCAMORE SCALE: 1"=30'.



OWNER: HAMPTON HILLS, LLC. 3675 PARK AVENUE, SUITE 301, ELLICOTT CITY, MD 21043. DEVELOPER: TRINITY HOMES MARYLAND, LLC. 3675 PARK AVENUE, SUITE 301, ELLICOTT CITY, MD 21043.

Table with columns: NO., REVISION, DATE. Row 1: 3, REVISE HOUSE TYPE AND GRADING ON LOT 1 AND FLOOR ELEVATIONS ON LOTS 1-7 AND 10-14, 1-25-24. Row 2: 1, REVISE HOUSE TYPE AND GRADING ON LOT 8, ADD OPTIONAL AREAWAY TO LOT 8, 1-27-23.

SITE DEVELOPMENT PLAN HOUSE TYPES, STORMWATER MANAGEMENT AND SITE DETAILS HAMPTON HILLS LOTS 1-14. VOGEL ENGINEERING TIMMONS GROUP. 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043. P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE. DESIGN BY: VHV. DRAWN BY: IH, RYC. CHECKED BY: EDS. DATE: OCTOBER 2022. SCALE: AS SHOWN. W.O. NO.: 12-10. 5 SHEET OF 5.