

STANDARD DRAWING LEGEND FOR ENTIRE PLAN SET

Table with 3 columns: LIMIT OF WORK, LIMIT OF DISTURBANCE, EXISTING NOTE, TYPICAL NOTE TEXT, PROPOSED NOTE. Includes symbols for on-site property line, easement line, setback line, etc.

Table showing symbols for CONCRETE CURB & GUTTER, CURB AND GUTTER, SPILL, TRANSITION, DEPRESSED CURB AND GUTTER.

Table showing symbols for UTILITY POLE WITH LIGHT, POLE LIGHT, TRAFFIC LIGHT, UTILITY POLE, TYPICAL LIGHT, ACORN LIGHT, TYPICAL SIGN, PARKING COUNTS.

Table showing symbols for CONTOUR LINE, SPOT ELEVATIONS, and specific spot elevations like 190, 187, 516.4.

Table showing symbols for SANITARY LABEL, STORM LABEL, SANITARY SEWER LATERAL, UNDERGROUND WATER LINE, UNDERGROUND ELECTRIC LINE, UNDERGROUND GAS LINE, OVERHEAD WIRE, UNDERGROUND TELEPHONE LINE, UNDERGROUND CABLE LINE, STORM SEWER, SANITARY SEWER MAIN, HYDRANT.

Table showing symbols for SANITARY MANHOLE, STORM MANHOLE, WATER METER, WATER VALVE, GAS VALVE, GAS METER, TYPICAL END SECTION, HEADWALL OR ENDWALL, GRATE INLET, CURB INLET, CLEAN OUT, ELECTRIC MANHOLE, TELEPHONE MANHOLE, ELECTRIC BOX, ELECTRIC PEDESTAL.

Table showing symbols for MONITORING WELL, TEST PIT, BENCHMARK, BORING.

STANDARD ABBREVIATIONS

Table listing abbreviations for FOR ENTIRE PLAN SET, including AC (ACRES), ADA (AMERICANS WITH DISABILITY ACT), ARCH (ARCHITECTURAL), BC (BOTTOM OF CURB), BF (BASEMENT FLOOR), BK (BLOCK), BL (BASELINE), BLDG (BUILDING), BM (BUILDING BENCHMARK), BRL (BUILDING RESTRICTION LINE), CF (CUBIC FEET), CL (CENTERLINE), CMP (CORRUGATED METAL PIPE), CONN (CONNECTION), CONC (CONCRETE), CPP (CORRUGATED PLASTIC PIPE), CY (CUBIC YARDS), DEC (DECORATIVE), DEP (DEPRESSED), DIP (DUCTILE IRON PIPE), DOM (DOMESTIC), ELEC (ELECTRIC), ELEV (ELEVATION), EP (EDGE OF PAVEMENT), ES (EDGE OF SHOULDER), EW (END WALL), EX (EXISTING), FES (FLARED END SECTION), FF (FINISHED FLOOR), FH (FIRE HYDRANT), FG (FINISHED GRADE), G (GRADE), GF (GARAGE FLOOR (AT DOOR)), GH (GRADE HIGHER SIDE OF WALL), GL (GRADE LOWER SIDE OF WALL), GRT (GRATE), GV (GATE VALVE), HDPE (HIGH DENSITY POLYETHYLENE PIPE), HP (HIGH POINT), HOR (HORIZONTAL), HW (HEADWALL), INT (INTERSECTION), INV (INVERT), LF (LINEAR FOOT), LOC (LIMITS OF CLEARING), LOD (LIMITS OF DISTURBANCE), LOS (LINE OF SIGHT), LP (LOW POINT), LS (LANDSCAPE), MAX (MAXIMUM), MIN (MINIMUM), MH (MANHOLE), MJ (MECHANICAL JOINT), OC (ON CENTER), PA (POINT OF ANALYSIS), PC (POINT CURVATURE), PCOR (POINT OF COMPOUND CURVATURE, CURB RETURN), PI (POINT OF INTERSECTION), POG (POINT OF GRADE), PROP (PROPOSED), PT (POINT OF TANGENCY), PTRC (POINT OF TANGENCY, CURB RETURN), PVC (POLYVINYL CHLORIDE PIPE), PVI (POINT OF VERTICAL INTERSECTION), PVT (POINT OF VERTICAL TANGENCY), R (RADIUS), RCP (REINFORCED CONCRETE PIPE), RET WALL (RETAINING WALL), RW (RIGHT OF WAY), S (SLOPE), SAN (SANITARY SEWER), SF (SQUARE FEET), STA (STATION), STM (STORM), SW (SIDEWALK), TBR (TO BE REMOVED), TBR/L (TO BE RELOCATED), TC (TOP OF CURB), TELE (TELEPHONE), TPF (TREE PROTECTION FENCE), TW (TOP OF WALL), TYP (TYPICAL), UG (UNDERGROUND), UP (UTILITY POLE), W (WIDE), WL (WATER LINE), WM (WATER METER), +/- (PLUS OR MINUS), ° (DEGREE), Ø (DIAMETER), # (NUMBER).

SITE DEVELOPMENT PLAN FOR DASH IN STORE #1833

LOCATION OF SITE 4205 MONTGOMERY ROAD (MD ROUTE 103) ELLICOTT CITY, MD 21043 TM 24, GRID 24, PARCEL 311 HOWARD COUNTY 2ND ELECTION DISTRICT

ISSUED FOR CONSTRUCTION. Includes signatures of Scott Udell and a date of 2-28-22. Project # MD 132045 and revision date 4/18/22.

SHEET INDEX

Table with 2 columns: SHEET TITLE, SHEET NUMBER. Lists sheets from COVER SHEET to LIGHTING NOTES AND DETAILS.

MDOT SHA STANDARD DETAILS NOTE

THE FOLLOWING STANDARDS (CONSTRUCTION AND TEMPORARY TRAFFIC CONTROL) ARE REQUIRED FOR THIS PROJECT. MD-104-02.01 - SHOULDER WORK 2-LANE, 2-WAY GREATER THAN 40 MPH...

ALL ITEMS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT VERSION OF THE REFERENCED STANDARD AT THE TIME OF CONSTRUCTION.

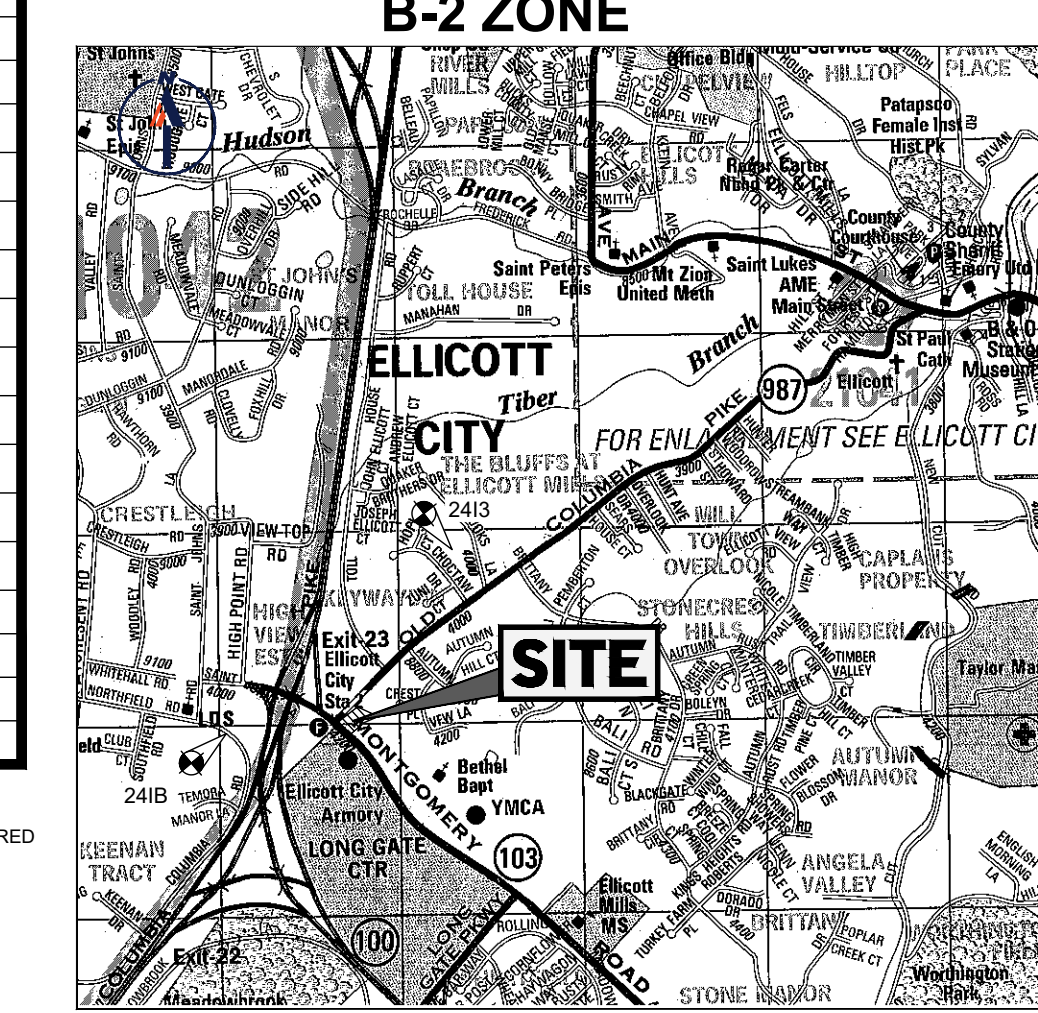
THE CONTRACTOR MUST HAVE A COPY OF THE APPROVED COMMERCIAL ACCESS PERMIT AND THE APPROVED SITE PLANS AT ALL TIMES DURING ANY WORK BEING PERFORMED IN THE MDOT SHA RIGHT-OF-WAY.

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS. Signed by Michael J. Davis, 6/27/2022.

APPROVED: DEPARTMENT OF PLANNING AND ZONING. Signed by Chad Edmondson, 6/28/2022.

Table with 4 columns: CHIEF, DEVELOPMENT ENGINEERING DIVISION, DATE, CHIEF, DIVISION OF LAND DEVELOPMENT, DATE, DIRECTOR, DATE.

GENERAL NOTES. 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MDOT SHA STANDARDS IF APPLICABLE...



VICINITY MAP. COPYRIGHT ADC. THE MAP PEOPLE. PERMIT USE NO. 20602153-5. SCALE: 1"=200'. ADC MAP COORDINATES: 4815-110 / 39-03.

BENCHMARKS. ELEVATIONS ARE BASED ON NAVD83 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 241B WITH A PUBLISHED ELEVATION OF 390.560 FEET.

PERMIT INFORMATION CHART. SUBDIVISION NAME: THE SHELL OIL CO., SECTION/AREA: N/A, LOT/PARCEL NO.: 311, TAX MAP: 24, ELECTION DISTRICT: 2, CENSUS TRACT: 6028.

HEALTH DEPT. APPROVAL NOTE:

HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT...

PREPARED BY BOHLER. CONTACT: ANDREW G. STINE, P.E.

PLAN REFERENCES AND CONTACTS

REFERENCES. BOUNDARY AND TOPOGRAPHIC SURVEY BY: BOHLER ENGINEERING. ENTITLED: "ALTANSPS LAND TITLE SURVEY: SMO INCORPORATED, 4205 MONTGOMERY ROAD, 2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND".

GEOTECHNICAL REPORT BY: ECS MID-ATLANTIC, LLC. ENTITLED: "GEOTECHNICAL ENGINEERING OF ENGINEERING CONSTRUCTION INSPECTION DIVISION #1833, 4205 MONTGOMERY ROAD, ELLICOTT CITY, HOWARD COUNTY, MARYLAND".

TRAFFIC IMPACT STUDY BY: THE TRAFFIC GROUP. ENTITLED: "DASH-IN CONVENIENCE STORE #1833, HOWARD COUNTY, MARYLAND; ADEQUATE ROAD FACILITIES TEST EVALUATION".

GOVERNING AGENCIES. HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING DEVELOPMENT ENGINEERING. 3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043.

HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING LAND DEVELOPMENT BUREAU OF UTILITIES. 8250 AND 8270 OLD MONTGOMERY ROAD, COLUMBIA, MD 21045.

UTILITY CONTACTS. SANITARY SEWER / WATER. HOWARD COUNTY DEPT. OF PUBLIC WORKS, STORMWATER MANAGEMENT DIVISION, 9801 BROKEN LAND PARKWAY, COLUMBIA, MD 21046.

GAS AND ELECTRIC. BALTIMORE GAS & ELECTRIC. 1066 N. FRONT ST. ROOM 401, BALTIMORE, MD 21202.

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS. HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SITE ANALYSIS DATA CHART

Table with 13 rows (A-M) detailing site analysis data: A. TOTAL PROJECT AREA: 41,536 S.F. OR 0.954 AC. B. TOTAL SITE AREA: 45,294 S.F. OR 1.04 AC. C. LIMIT OF DISTURBED AREA: 41,536 S.F. OR 0.954 AC. D. PRESENT ZONING: B-2 (BUSINESS GENERAL). E. PROPOSED USE: DASH-IN MOTOR VEHICLE FUELING FACILITY W/ CONVENIENCE STORE.

ADDITIONAL BENCHMARK NEARBY: HO. CO. #2413 (STAMPED BRASS DISC SET ON TOP OF CONC. BASE) N 580.648.901, E 1.364.974.507, ELEV. 403.703

ADDRESS CHART. LOT/PARCEL: 311, BUILDING #: 1 (CONVENIENCE STORE), STREET ADDRESS: 4205 MONTGOMERY ROAD.

OWNER: POTOMAC ENERGY HOLDINGS, LLC. DEVELOPER: DASH-IN. PO BOX 2810, 102 CENTENNIAL STREET, STE. 100. LA PLATA, MD 20646. CONTACT: JASON BELT. PHONE: 240-320-6448.

TAX MAP: 24, GRID: 24, PARCEL: 311. ZONED: B-2. 2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND.

FILE NO. SDP-21-009. SUBDIVISION NAME: THE SHELL OIL CO. SECTION/AREA: N/A. DEED #: 11525 / 10000.

BOHLER logo and contact information: SITE CIVIL AND CONSULTING ENGINEERING, PROGRAM MANAGEMENT, LANDSCAPE ARCHITECTURE, SUSTAINABLE DESIGN, PERMITTING SERVICES, TRANSPORTATION SERVICES.

REVISIONS table with columns: REV, DATE, COMMENT, DRAWN BY, CHECKED BY.

811 logo and text: Know what's below. Call before you dig. ALWAYS CALL 811. It's fast. It's free. It's the law.

APPROVED FOR CONSTRUCTION. THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD132045. DRAWN BY: MCO. CHECKED BY: RMS. DATE: 5/5/22. CAD ID: MD132045-SDP-3.DWG.

SITE DEVELOPMENT PLAN FOR DASH IN STORE # 1833. 4205 MONTGOMERY ROAD (MD ROUTE 103) ELLICOTT CITY, MD 21043 TM 24, GRID 24, PARCEL 311 HOWARD COUNTY 2ND ELECTION DISTRICT B-2 ZONE.

BOHLER logo and address: 901 DULANEY VALLEY ROAD, SUITE 801 TOWSON, MARYLAND 21204. Phone: (410) 821-7900. Fax: (410) 821-7987. MD@BohlerEng.com

ANDREW G. STINE logo and professional engineer information: PROFESSIONAL ENGINEER, LICENSE NO. 37687, EXPIRATION DATE: 7/23/23.

COVER SHEET. SHEET NUMBER: 1 OF 45.



LANDS N/F PINNACLE REALTY LLC
L. 6262 F. 464
TM: 24 23 840
ZONE: B-2
USE: EXISTING AUTOMOBILE SERVICE STATION

LANDS N/F KEVIN GREENE AND SHARON W. WOODSIDE LONDON
L. 18359 F. 902
TM: 24 24 736
ZONE: R-20
USE: EXISTING SINGLE FAMILY DWELLING

LANDS OF POTOMAC ENERGY HOLDINGS, LLC
L. 11525 F. 400
TM: 24 24 311
AREA: 45,294 S.F. OR 1.04 AC.±
ZONE: B-2

LANDS N/F HERMON A. EDDY
L. 4555 F. 349
TM: 24 24 719
ZONE: R-20
USE: EXISTING SINGLE FAMILY DWELLING

LANDS N/F CLOVERLAND FARMS DAIRY, INC.
L. 529 F. 404
TM: 24 24 677
ZONE: B-2
USE: EXISTING AUTOMOBILE SERVICE STATION

LANDS N/F HOWARD COUNTY MARYLAND FIRE STATION
L. 3544 F. 72
TM: 24 23 694
ZONE: B-2
USE: EXISTING FIRE STATION

SURVEY NOTES

- PROPERTY IS KNOWN AS THE LANDS OF POTOMAC ENERGY HOLDINGS, LLC AS RECORDED IN LIBER 11525 FOLIO 400, AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AND HAVING A TAX MAP NUMBER OF 24 24 311 PER THE DEPARTMENT OF ASSESSMENTS.
 - AREA = 45,294 SQUARE FEET OR 1.040 ACRES
 - LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. SOURCE INFORMATION FROM PLANS AND MARKINGS HAS BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
 - THIS SURVEY WAS PERFORMED IN THE FIELD UTILIZING THE REFERENCE MATERIAL AS LISTED HEREON AND DEPICTS BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS THEREON, ON FEBRUARY 6, 2017, BY BOHLER ENGINEERING.
 - THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE SEARCH REPORT PREPARED BY STEWART TITLE GUARANTY COMPANY, FILE NO. 17000360022, WITH AN EFFECTIVE DATE THRU DECEMBER 23, 2016. REFER TO THE SURVEY FOR THE FOLLOWING SURVEY RELATED EXCEPTIONS.
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS WAS OBSERVED AT THE TIME OF THE FIELD SURVEY AS SHOWN HEREON; THERE ARE ALSO TWO ABOVE GROUND OIL TANKS LOCATED AT THE BACK OF THE BUILDING AS SHOWN HEREON.
 - ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 2418 WITH A PUBLISHED ELEVATION OF 390.560 FEET.
 - THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANGE FLOODPLAIN) PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 90 OF 235", MAP NUMBER 24027C0090D, WITH A MAP EFFECTIVE DATE OF NOVEMBER 6, 2013.
 - TYPICAL ZONING: B-2 - BUSINESS GENERAL DISTRICT
- MINIMUM STRUCTURE AND USE SETBACKS:
PUBLIC STREET RIGHT-OF-WAY: 30 FEET
PARKING USE: 10 FEET
RESIDENTIAL DISTRICTS: 30 FEET
- LANDSCAPE/PARKING SETBACKS:
FRONT LOT LINE: 10 FEET*
SIDE LOT LINE: 10 FEET*
REAR LOT LINE: 10 FEET*
- *NOTE: WHERE POSSIBLE, THE LANDSCAPED EDGE SHOULD BE PLANTED WITHIN THE REQUIRED SETBACKS ESTABLISHED BY THE COUNTY ZONING REGULATIONS. IN ANY EVENT, A LANDSCAPE EDGE OF AT LEAST 20 FEET WIDE IN WIDTH IS REQUIRED, EXCEPT IN DISTRICTS WHERE ZONING SETBACKS PERMIT PARKING OR PRINCIPAL STRUCTURES IN CLOSER PROXIMITY TO PROPERTY LINES.
- *REFER TO SITE PLAN (SHEET 4) FOR SITE SPECIFIC SETBACKS PER APPROVED CONDITIONAL USE APPROVAL (BA CASE NO. 19-014C&V).
- PARKING COUNT: 20 STANDARD SPACES AND 1 ADA SPACE = 21 TOTAL SPACES.
 - DUE TO DEPTH OF SANITARY SEWER LINE-SIZE IS APPROXIMATE ON SOME OF THE STRUCTURES.

SURVEY REFERENCES

- MAP ENTITLED "HOWARD DISTRICT 2, TILE 6C-4-11" BY BGE DATE PRINTED 01/30/17
- MAP ENTITLED "WATER INSTALLATION RECORD" BY KIDDE CONSULTANTS, INC. NOT DATED
- MAP ENTITLED "STATE OF MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION STATE ROADS COMMISSION", DATED DECEMBER 16, 2016 AND PREPARED BY WHITNEY, BAILEY, COX, AND MAGNANI
- MAP "STATE OF MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION STATE ROADS COMMISSION", ISSUE DATE OF JANUARY 16, 2019, SHA PLAT NO. 61252.

LEGEND

- EXISTING EASEMENT
- LIMIT OF DISTURBANCE
- TO BE REMOVED
- TO BE RELOCATED

CLEANING INSTRUCTIONS:

- WITHIN MONTGOMERY ROAD (RTE 103) INLET STM B-10, THE 12" CMP, AND THE INLET DOWNSTREAM OF B-10 ARE TO BE CLEANED SUCH THAT FREE-FLOWING DRAINAGE IS PROVIDED.
- WITHIN OLD COLUMBIA PIKE INLET EX-1, THE 24" RCP CROSSING COLUMBIA PIKE, AND THE PIPE'S OUTFALL ARE TO BE CLEANED SUCH THAT FREE-FLOWING DRAINAGE IS PROVIDED.

Digitally signed by Andrew G. Stine, P.E.
DN: cn=Andrew G. Stine, P.E., o=Bohler, ou=engineering@bohlereng.com, c=US
Date: 2022.05.23 14:06:22 -04'00'



REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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PROJECT No.: MD132045
DRAWN BY: MCO
CHECKED BY: RMS
DATE: 5/22/22
CAD: MD132045-SDC-3.DWG

SITE DEVELOPMENT PLAN FOR

DASH IN

STORE # 1833
4205 MONTGOMERY ROAD (MD ROUTE 103)
ELLCOTT CITY, MD 21043
TM 24, GRID 24, PARCEL 311
HOWARD COUNTY
2ND ELECTION DISTRICT
B-2 ZONE

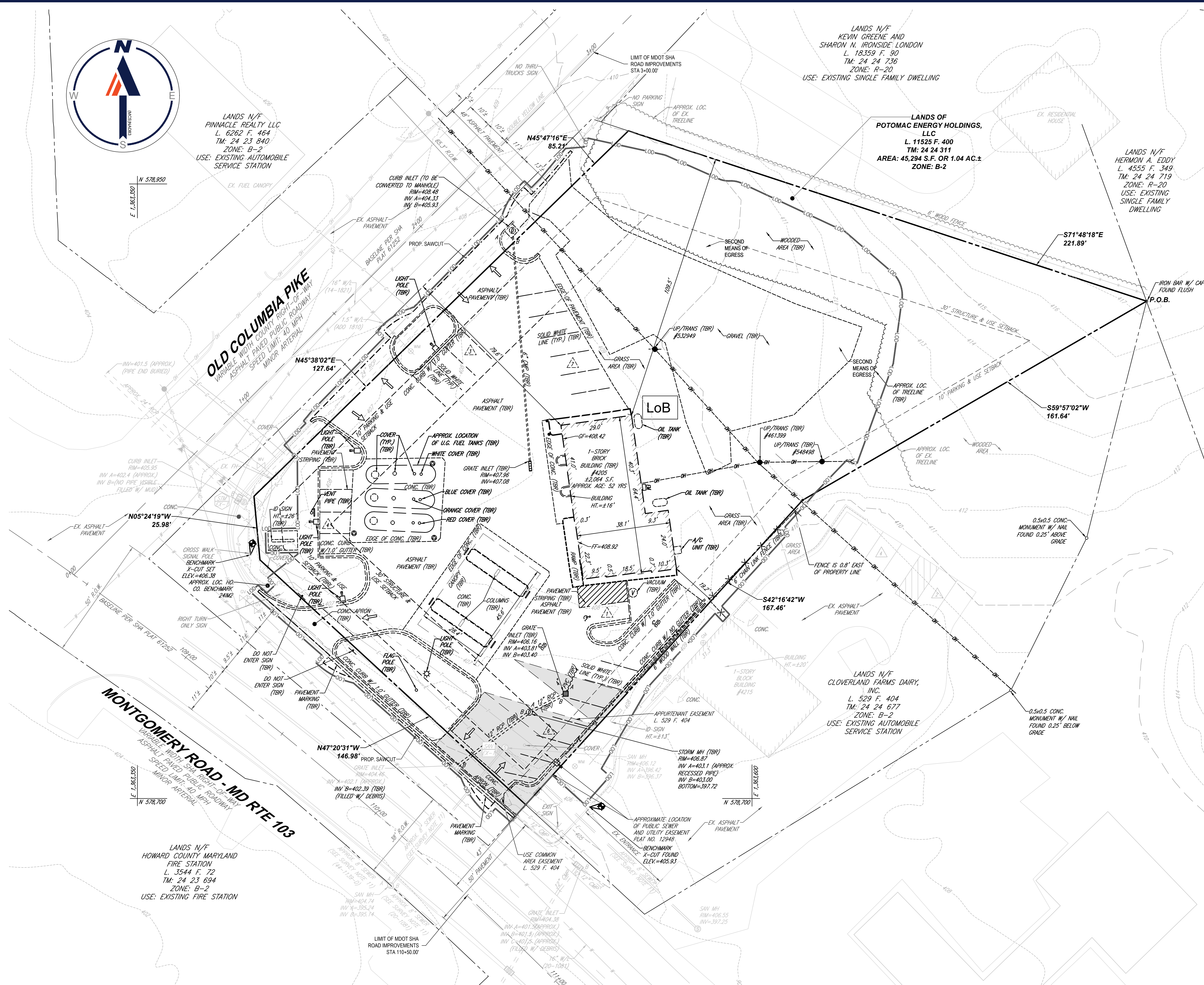
BOHLER

901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

ANDREW G. STINE
PROFESSIONAL ENGINEER
2300 WOODBURN AVE. SUITE 200
LANSING, MARYLAND 21085
PHONE: (410) 821-7900
EMAIL: andrew@bohlereng.com, c=US
Date: 2022.05.23
License No. 37687, EXPIRATION DATE: 7/23/23

EXISTING CONDITIONS & DEMOLITION PLAN

SHEET NUMBER: 3 OF 45

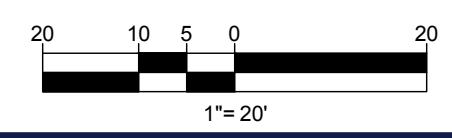


APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Documented by: 6/28/2022
 Chief, Development Engineering Division
 Documented by: 6/28/2022
 Chief, Division of Land Development
 Documented by: 6/28/2022
 Director

SOILS INFORMATION						
SYMBOL	DESCRIPTION	STRUCTURAL LIMITATIONS	HYDROLOGIC GROUP	K FACTOR	HIGHLY ERODIBLE?	HYDRIC
LoB	LEGORE-MONTALTO-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	SOMEWHAT LIMITED	C	NOT RATED	NO	NO

NOTE: ENTIRE SITE AND IMMEDIATE VICINITY IS OF THE SOIL TYPE LISTED ABOVE.

LIMIT OF DISTURBANCE 41,536 S.F. OR 0.954 AC.

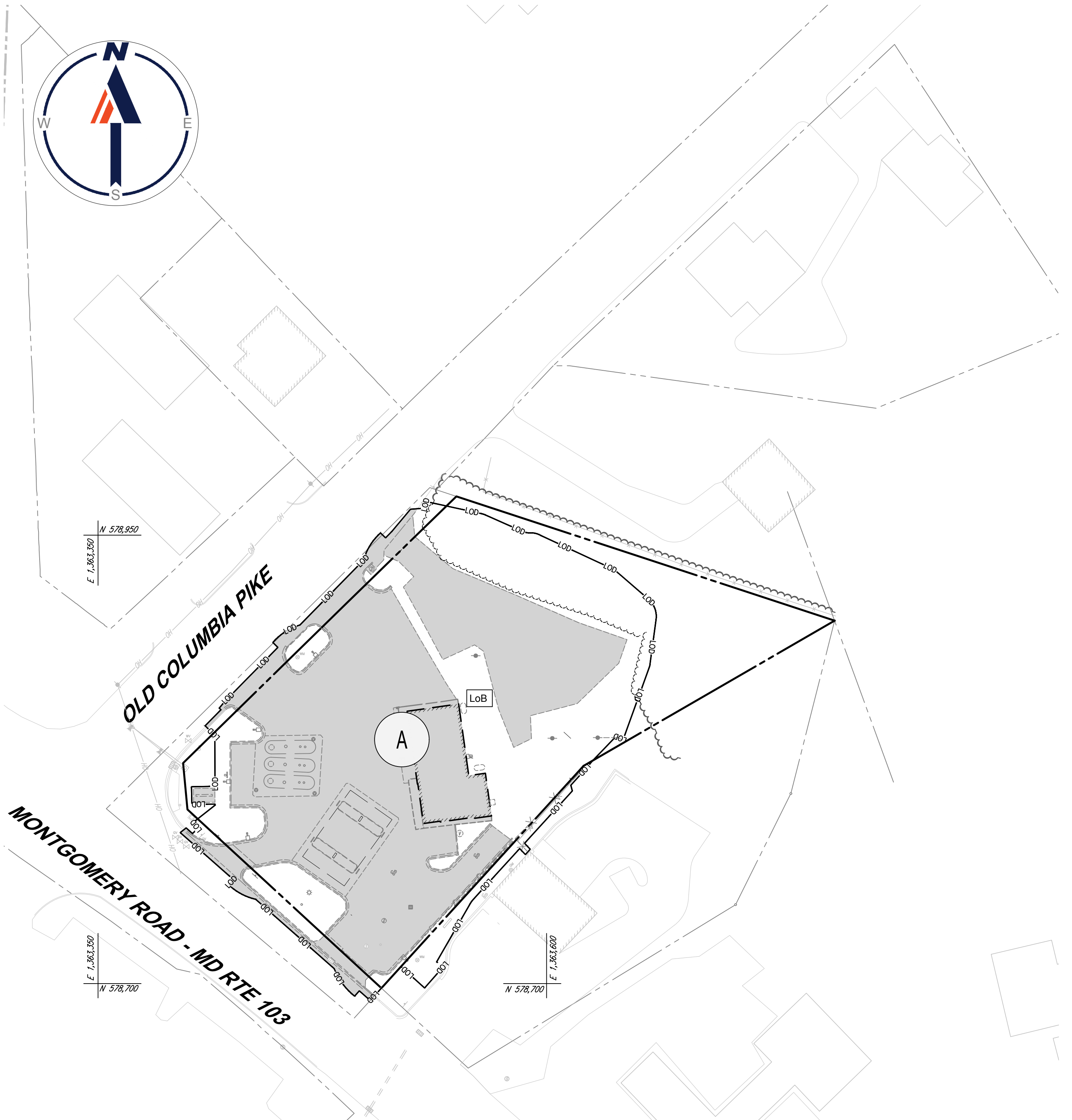


OWNER: POTOMAC ENERGY HOLDINGS, LLC
DEVELOPER: DASH-IN
LA PLATA, MD 20646
102 CENTENNIAL STREET, STE. 100
LA PLATA, MD 20645
CONTACT: JASON BELT
CONTACT: JASON BELT
PHONE: 240-320-6448
PHONE: 240-320-6448

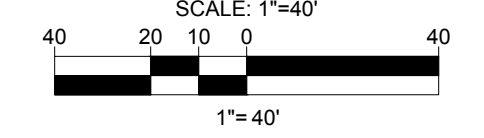
TAX MAP: 24 GRID: 24 PARCEL: 311
ZONED: B-2
2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: THE SHELL CO. CO.
SECTION/AREA: N/A
DEED #
11525 / 10400

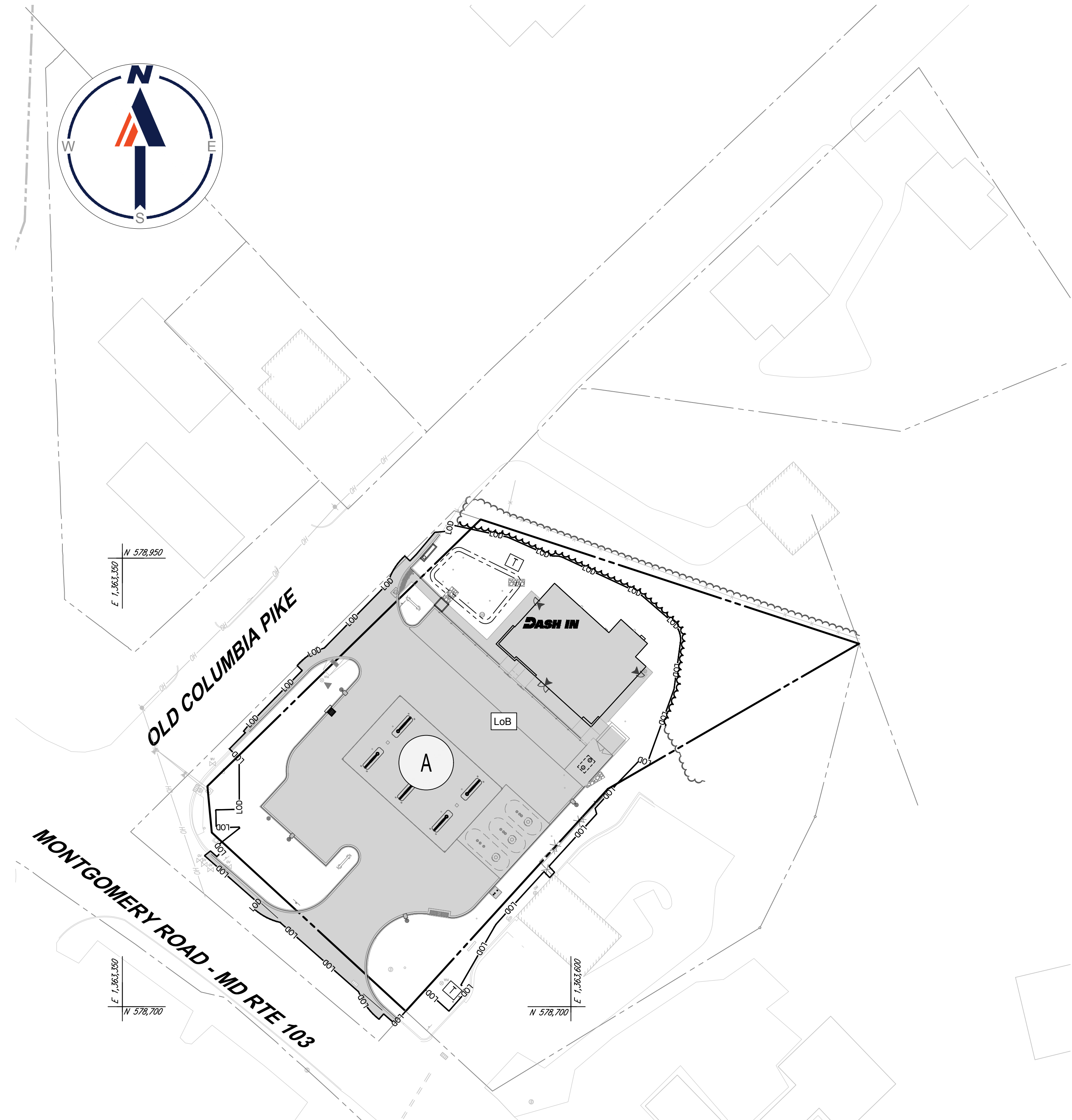
FILE NO. SDP-21-009



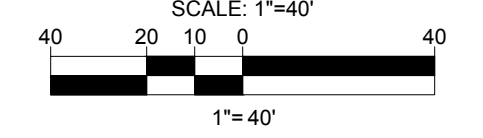
PRE-DEVELOPMENT COVERAGE MAP



QUALITY COVERAGE
 IMPERVIOUS AREA = 27,512 S.F. OR 0.632 AC
 PERVIOUS AREA = 14,024 S.F. OR 0.322 AC
 TOTAL = 41,536 S.F. OR 0.954 AC



POST-DEVELOPMENT COVERAGE MAP



QUALITY COVERAGE
 IMPERVIOUS AREA = 27,502 S.F. OR 0.631 AC
 PERVIOUS AREA = 14,034 S.F. OR 0.323 AC
 TOTAL = 41,536 S.F. OR 0.954 AC

SOILS INFORMATION

SYMBOL	DESCRIPTION	STRUCTURAL LIMITATIONS	HYDROLOGIC GROUP	K FACTOR	HIGHLY ERODIBLE?
LoB	LEGORE-MONTALTO-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	SOMEWHAT LIMITED	C	NOT RATED	NO

NOTE: ENTIRE SITE AND IMMEDIATE VICINITY IS OF THE SOIL TYPE LISTED ABOVE.

LEGEND

	IMPERVIOUS AREA
	SITE AREA

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: *And Edmondson* 6/28/2022
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

DocuSigned by: *18175478228164* 6/28/2022
 CHIEF, DIVISION OF LAND DEVELOPMENT

DocuSigned by: *Amy Steman* 6/28/2022
 DIRECTOR

OWNER: POTOMAC ENERGY HOLDINGS, LLC
 PO BOX 2810
 LA PLATA, MD 20646
 CONTACT: JASON BELT
 PHONE: 240-320-6448

DEVELOPER: DASH-IN
 102 CENTENNIAL STREET, STE. 100
 LA PLATA, MD 20645
 CONTACT: JASON BELT
 PHONE: 240-320-6448

TAX MAP: 24 GRID: 24 PARCEL: 311
 ZONED: B-2
 2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: THE SHELL OIL CO.
 SECTION/AREA: N/A
 DEED # 11625/100400

FILE NO. SDP-21-009

Digitally signed by Andrew G. Stine, P.E.
 DN: cn=Andrew G. Stine, P.E., o=Bohler, ou, email=astine@bohlereng.com, c=US
 Date: 2022.05.23 14:05:11 -04'00'

BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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 DRAWN BY: MGO
 CHECKED BY: RMS
 DATE: 5/22
 CAD ID: MD132045-HDP-3.DWG

SITE DEVELOPMENT PLAN
 FOR
DASH IN
 STORE # 1833
 4205 MONTGOMERY ROAD
 (MD ROUTE 103)
 ELLICOTT CITY, MD 21043
 TM 24, GRID 24, PARCEL 311
 HOWARD COUNTY
 2ND ELECTION DISTRICT
 B-2 ZONE

BOHLER
 901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21204
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 MD@BohlerEng.com

ANDREW G. STINE
 PROFESSIONAL ENGINEER
 2-2, 11/11/2015, 11/11/2015
 LANDSCAPE ARCHITECTURE
 DOCUMENTS: 11/11/2015, 11/11/2015
 THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 37687, EXPIRATION DATE: 7/12/23

SHEET TITLE:
COVERAGE AREA MAPS

SHEET NUMBER:
7
 OF 45



LANDS N/F
PINNACLE REALTY LLC
L. 6262 F. 464
TM: 24 23 840
ZONE: B-2
USE: EXISTING AUTOMOBILE SERVICE STATION

LANDS N/F
KEVIN GREENE AND SHARON M. IRONSIDE, LONDON
L. 18359 F. 90
TM: 24 24 736
ZONE: R-20
USE: EXISTING SINGLE FAMILY DWELLING

LANDS N/F
HERMON A. EDDY
L. 4555 F. 349
TM: 24 24 719
ZONE: R-20
USE: EXISTING SINGLE FAMILY DWELLING

LANDS N/F
CLOVERLAND FARMS DAIRY, INC.
L. 529 F. 404
TM: 24 24 677
ZONE: B-2
USE: EXISTING AUTOMOBILE SERVICE STATION

LANDS N/F
HOWARD COUNTY MARYLAND FIRE STATION
L. 3544 F. 72
TM: 24 23 694
ZONE: B-2
USE: EXISTING FIRE STATION

OLD COLUMBIA PIKE

MONTGOMERY ROAD - MD RTE 103

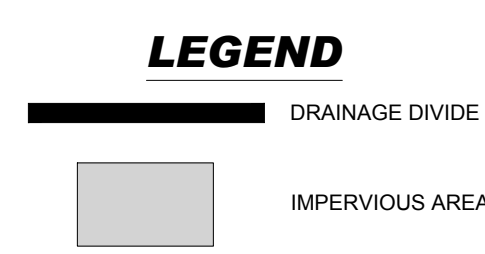
PROP. MICRO-BIORETENTION (M-6) FACILITY
ELEV = 406.75
A1 = 950 S.F.

DASH IN
PROP. CONVENIENCE STORE
3,351 S.F.
17 SPACES
HGT: 24'±
FF=410.00

PROP. 6-MPD CANOPY
3,711 S.F.
HGT: 18.04'

PROP. UNDERGROUND ADS STORAGE DETENTION FACILITY

SWM DRAINAGE AREAS		
1	IMPERVIOUS	7,754 S.F. OR 0.178 AC.
	PERVIOUS	5,924 S.F. OR 0.136 AC.
	TOTAL	13,678 S.F. OR 0.314 AC.
2	IMPERVIOUS	8,886 S.F. OR 0.204 AC.
	PERVIOUS	6,404 S.F. OR 0.147 AC.
	TOTAL	15,290 S.F. OR 0.351 AC.



Digitally signed by Andrew G. Stine, P.E.
DN: cn=Andrew G. Stine, P.E., o=Bohler, ou, email=astine@bohlereng.com, c=US
Date: 2022.05.23 14:04:51 -04'00'

ESD SUMMARY TABLE																
DRAINAGE AREA	FAC. NUM / TYPE	MDE TYPE	TOTAL DA S.F.	TOTAL DA AC	IMPERV. AREA S.F.	IMPERV. AREA AC	IMPERV. %	C _p	A ₁		ESD _v		P _e PROVIDED	RECHARGE PROVIDED 10' DEPTH		
									REQUIRED (S.F.)	PROVIDED (S.F.)	REQUIRED (ICF)	PROVIDED (ICF)				
1	CornTech StormFilter	NA	13,678	0.314	7,754	0.178	57%	0.00	NA	NA	NA	NA	638	1.00*	NA	
2	Micro-Bioretenion	M-6	15,290	0.351	8,886	0.204	58%	1.55	305.00	650.00	305.00	0.75	726	1.196	1.64*	316.7
TOTAL PROVIDED			28,968	0.665	16,640	0.382			306	950	PASS	726	1.835	1.34	317	
TOTAL REQUIRED													1.086	1.00	0	

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: *Bill Edmondson* 6/28/2022
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by: *1EB75478A22B49A* 6/28/2022
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by: *Angy Goman* 6/28/2022
DIRECTOR DATE

OWNER: POTOMAC ENERGY HOLDINGS, LLC
LA PLATA, MD 20646
CONTACT: JASON BELT
PHONE: 240-320-6448

DEVELOPER: DASH-IN
102 CENTENNIAL STREET, STE. 100
LA PLATA, MD 20645
CONTACT: JASON BELT
PHONE: 240-320-6448

TAX MAP: 24 GRID: 24 PARCEL: 311
ZONED: B-2

2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: THE SHELL OIL CO.
SECTION/AREA: N/A
DEED #
11625 / 104000

FILE NO. SDP-21-009

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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PROJECT No.: MD132045
DRAWN BY: MCO
CHECKED BY: RMS
DATE: 5/5/22
CAD ID: MD132045-HDP-3.DWG

SITE DEVELOPMENT PLAN

FOR

DASH IN

STORE # 1833

4205 MONTGOMERY ROAD
(MD ROUTE 103)
ELLCOTT CITY, MD 21043
TM 24, GRID 24, PARCEL 311
HOWARD COUNTY
2ND ELECTION DISTRICT
B-2 ZONE

BOHLER

901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

ANDREW G. STINE

PROFESSIONAL ENGINEER
2300 WOODBURY DRIVE, SUITE 202
LANSING, MICHIGAN 48150
LICENSE NO. 93822, EXPIRATION DATE: 12/31/2023

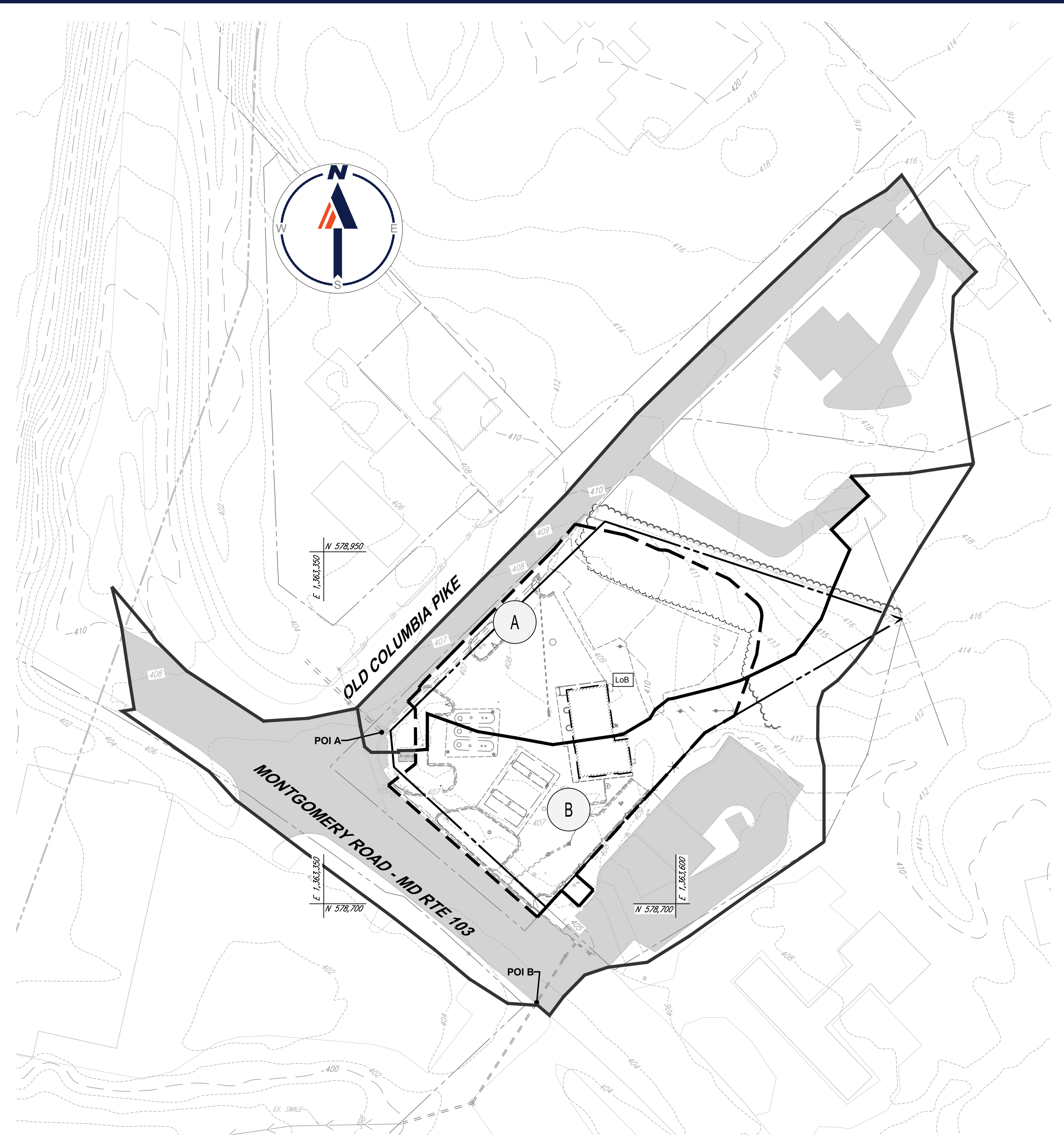
SHEET TITLE:

SWM QUALITY DRAINAGE AREA MAP

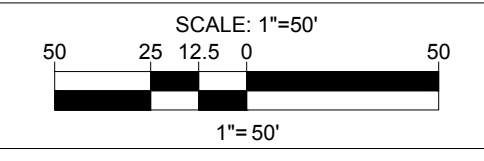
SHEET NUMBER:

8

OF 45



PRE-DEVELOPMENT DRAINAGE AREA MAP



PEAK FLOW ANALYSIS

POI	Area	Area (S.F.)	Area (AC)
A	SITE AREA (WOODS, GOOD CONDITION)	23,804 S.F.	OR 0.547 AC.
	WOODS	4,900 S.F.	OR 0.113 AC.
	IMPERVIOUS	20,854 S.F.	OR 0.479 AC.
	PERVIOUS	28,204 S.F.	OR 0.646 AC.
	TOTAL	77,762 S.F.	OR 1.785 AC.
	RCN	81	
	Tc	0.10 HRS	
Q ₁₀	7.97 CFS		
Q ₁₀₀	16.65 CFS		
Q _{2.5}	19.48 CFS		
B	SITE AREA (WOODS, GOOD CONDITION)	17,732 S.F.	OR 0.407 AC.
	WOODS	4,360 S.F.	OR 0.100 AC.
	IMPERVIOUS	33,988 S.F.	OR 0.781 AC.
	PERVIOUS	17,769 S.F.	OR 0.407 AC.
	TOTAL	73,849 S.F.	OR 1.695 AC.
	RCN	85	
	Tc	0.10 HRS	
Q ₁₀	8.47 CFS		
Q ₁₀₀	16.72 CFS		
Q _{2.5}	19.96 CFS		

SITE TOTAL (ALL POI's)

Q₁₀ = 16.44 CFS
 Q₁₀₀ = 33.37 CFS
 Q_{2.5} = 39.44 CFS

SOILS INFORMATION

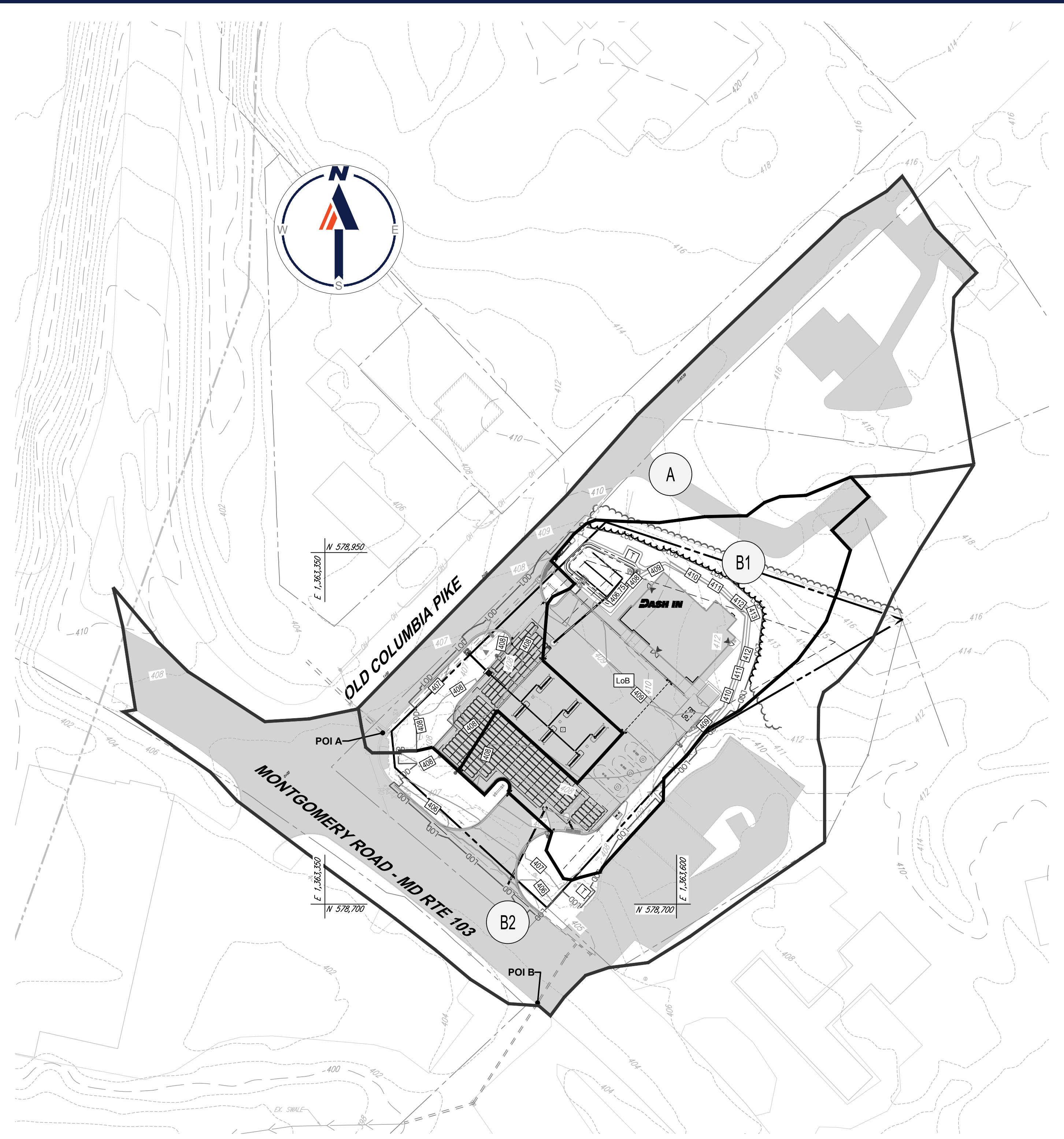
SYMBOL	DESCRIPTION	STRUCTURAL LIMITATIONS	HYDROLOGIC GROUP	K FACTOR	HIGHLY ERODIBLE?
LoB	LEGORE-MONTALTO-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	SOMEWHAT LIMITED	C	NOT RATED	NO

NOTE: ENTIRE SITE AND IMMEDIATE VICINITY IS OF THE SOIL TYPE LISTED ABOVE.

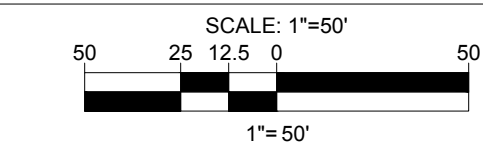
LEGEND

- IMPERVIOUS AREA
- DRAINAGE DIVIDE
- SITE AREA (WOODS, GOOD CONDITION)

NOTE:
 ALL TC PATHS ARE ASSUMED TO BE 0.1 HRS SINCE THE SITE IS DEVELOPED.



POST-DEVELOPMENT DRAINAGE AREA MAP



PEAK FLOW ANALYSIS

A	IMPERVIOUS	27,166 S.F.	OR 0.624 AC.
	PERVIOUS	27,267 S.F.	OR 0.626 AC.
	TOTAL	54,433 S.F.	OR 1.250 AC.
	RCN	88	
	Tc	0.10 HRS	
	Q ₁₀ (UNMANAGED)	6.72 CFS	
	Q ₁₀₀ (UNMANAGED)	12.76 CFS	
Q _{2.5} (UNMANAGED)	15.46 CFS		
B1	IMPERVIOUS	18,469 S.F.	OR 0.424 AC.
	PERVIOUS	12,872 S.F.	OR 0.295 AC.
	WOODS	4,900 S.F.	OR 0.113 AC.
	TOTAL	36,241 S.F.	OR 0.832 AC.
	RCN	88	
	Tc	0.10 HRS	
	Q ₁₀ (UNMANAGED)	4.47 CFS	
Q ₁₀₀ (UNMANAGED)	8.49 CFS		
Q _{2.5} (UNMANAGED)	4.92 CFS		
Q _{2.5} (UNMANAGED)	10.29 CFS		
Q _{2.5} (MANAGED)	5.10 CFS		

B2	IMPERVIOUS	36,902 S.F.	OR 0.848 AC.
	PERVIOUS	19,856 S.F.	OR 0.455 AC.
	WOODS	4,360 S.F.	OR 0.100 AC.
	TOTAL	61,118 S.F.	OR 1.403 AC.
	RCN	91	
	Tc	0.10 HRS	
	Q ₁₀ (UNMANAGED)	8.02 CFS	
Q ₁₀₀ (UNMANAGED)	14.73 CFS		
Q _{2.5} (UNMANAGED)	18.09 CFS		
TOTAL FLOW TO POI B BEFORE MANAGEMENT	Q ₁₀	12.57 CFS	
	Q ₁₀₀	23.22 CFS	
	Q _{2.5}	28.38 CFS	
TOTAL FLOW TO POI B AFTER MANAGEMENT (ROUTED UTILIZING TR-20)	Q ₁₀	8.46 CFS	
	Q ₁₀₀	16.16 CFS	
	Q _{2.5}	18.64 CFS	

SITE TOTAL UNMANAGED (ALL POI's)

Q₁₀ = 19.29 CFS
 Q₁₀₀ = 35.98 CFS
 Q_{2.5} = 43.84 CFS

Andrew G. Stine, P.E.
 Digitally signed by Andrew G. Stine, P.E., cn=Andrew G. Stine, o=Bohler, ou=eng@bohlereng.com, c=US
 Date: 2022.05.23 14:04:33 -0400

SITE TOTAL MANAGED (ALL POI's)

Q₁₀ = 15.18 CFS
 Q₁₀₀ = 28.92 CFS
 Q_{2.5} = 34.10 CFS

OWNER: POTOMAC ENERGY HOLDINGS, LLC
 DEVELOPER: DASH-IN
 PO BOX 2810
 102 CENTENNIAL STREET, STE. 100
 LA PLATA, MD 20646
 CONTACT: JASON BELT
 PHONE: 240-320-6448

TAX MAP: 24 GRID: 24 PARCEL: 311
 ZONED: B-2
 2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: THE SHELL OIL CO.
 SECTION/AREA: N/A
 DEED #
 11625 / 10400

FILE NO. SDP-21-009

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 6/28/2022
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DIRECTOR

BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
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 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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PROJECT No.: MD132045
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 CHECKED BY: RMS
 DATE: 5/5/22
 CAD ID: MD132045-HDP-3.DWG

SITE DEVELOPMENT PLAN
 FOR
DASH IN
 STORE # 1833
 4205 MONTGOMERY ROAD
 (MD ROUTE 103)
 ELLICOTT CITY, MD 21043
 TM 24, GRID 24, PARCEL 311
 HOWARD COUNTY
 2ND ELECTION DISTRICT
 B-2 ZONE

BOHLER
 901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21204
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 Fax: (410) 821-7987
 MD@BohlerEng.com

ANDREW G. STINE
 PROFESSIONAL ENGINEER
 2310 WOODBURY DRIVE, SUITE 202
 LA PLATA, MD 20646
 LICENSE NO. 37667, EXPIRATION DATE: 7/23/23

SWM QUANTITY DRAINAGE AREA MAPS

SHEET NUMBER:
9
 OF 45

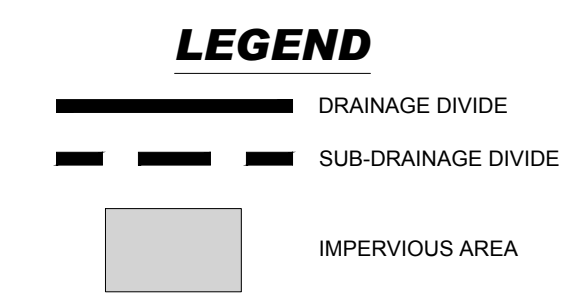


STORMDRAIN DRAINAGE AREAS

LABEL	DRAINAGE AREA		PERCENT IMPERVIOUS	'C' FACTOR
	IMPERVIOUS	PERVIOUS		
A-20	6,098 S.F. OR 0.140 AC.	0 S.F. OR 0.0 AC.	100%	0.86
	TOTAL			
	6,098 S.F. OR 0.140 AC.			
A-12	14,453 S.F. OR 0.332 AC.	24,314 S.F. OR 0.558 AC.	37.28%	0.44
	TOTAL			
	38,767 S.F. OR 0.890 AC.			
B-10	5,140 S.F. OR 0.118 AC.	2,701 S.F. OR 0.062 AC.	65.56%	0.63
	TOTAL			
	7,841 S.F. OR 0.180 AC.			
B-20	7,754 S.F. OR 0.178 AC.	7,057 S.F. OR 0.162 AC.	52.35%	0.54
	TOTAL			
	14,811 S.F. OR 0.340 AC.			
B-30	10,890 S.F. OR 0.250 AC.	10,716 S.F. OR 0.246 AC.	50.40%	0.53
	TOTAL			
	21,606 S.F. OR 0.496 AC.			
EX-1	6,578 S.F. OR 0.151 AC.	3,007 S.F. OR 0.069 AC.	68.64%	0.65
	TOTAL			
	9,585 S.F. OR 0.220 AC.			

SHA ENTRANCE DRAINAGE AREA

LABEL	DRAINAGE AREA		'C' FACTOR
	IMPERVIOUS	PERVIOUS	
ENT	1,089 S.F. OR 0.025 AC.	1,699 S.F. OR 0.039 AC.	0.45
	TOTAL		
	2,788 S.F. OR 0.064 AC.		



SOILS INFORMATION

SYMBOL	DESCRIPTION	STRUCTURAL LIMITATIONS	HYDROLOGIC GROUP	K FACTOR	HIGHLY ERODIBLE?
LoB	LEGORE-MONTAL TO-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	SOMEWHAT LIMITED	C	NOT RATED	NO

NOTE: ENTIRE SITE AND IMMEDIATE VICINITY IS OF THE SOIL TYPE LISTED ABOVE.

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 DATE: 5/5/22
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SITE DEVELOPMENT PLAN
 FOR
DASH IN
 STORE # 1833
 4205 MONTGOMERY ROAD
 (MD ROUTE 103)
 ELLICOTT CITY, MD 21043
 TM 24, GRID 24, PARCEL 311
 HOWARD COUNTY
 2ND ELECTION DISTRICT
 B-2 ZONE

BOHLER
 901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21204
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 MD@BohlerEng.com

ANDREW G. STINE
 PROFESSIONAL ENGINEER
 License No. 37687, Expiration Date: 7/23/23

STORMDRAIN DRAINAGE AREA MAP

SHEET NUMBER: **10**
 OF 45

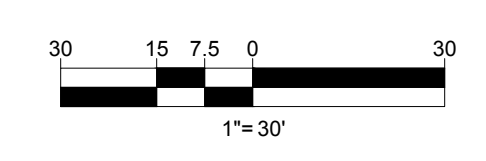
May 18, 2022
 H:\132045\DRAWINGS\PLAN SET\SITE DEVELOPMENT PLAN\MD132045-HDP-3-1-KAYOUT-10-STORMDRAIN DRAINAGE AREA.MXD

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: *Will Edmondson* 6/28/2022
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by: *Will Edmondson* 6/28/2022
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by: *Amy Stonan* 6/28/2022
 DIRECTOR DATE

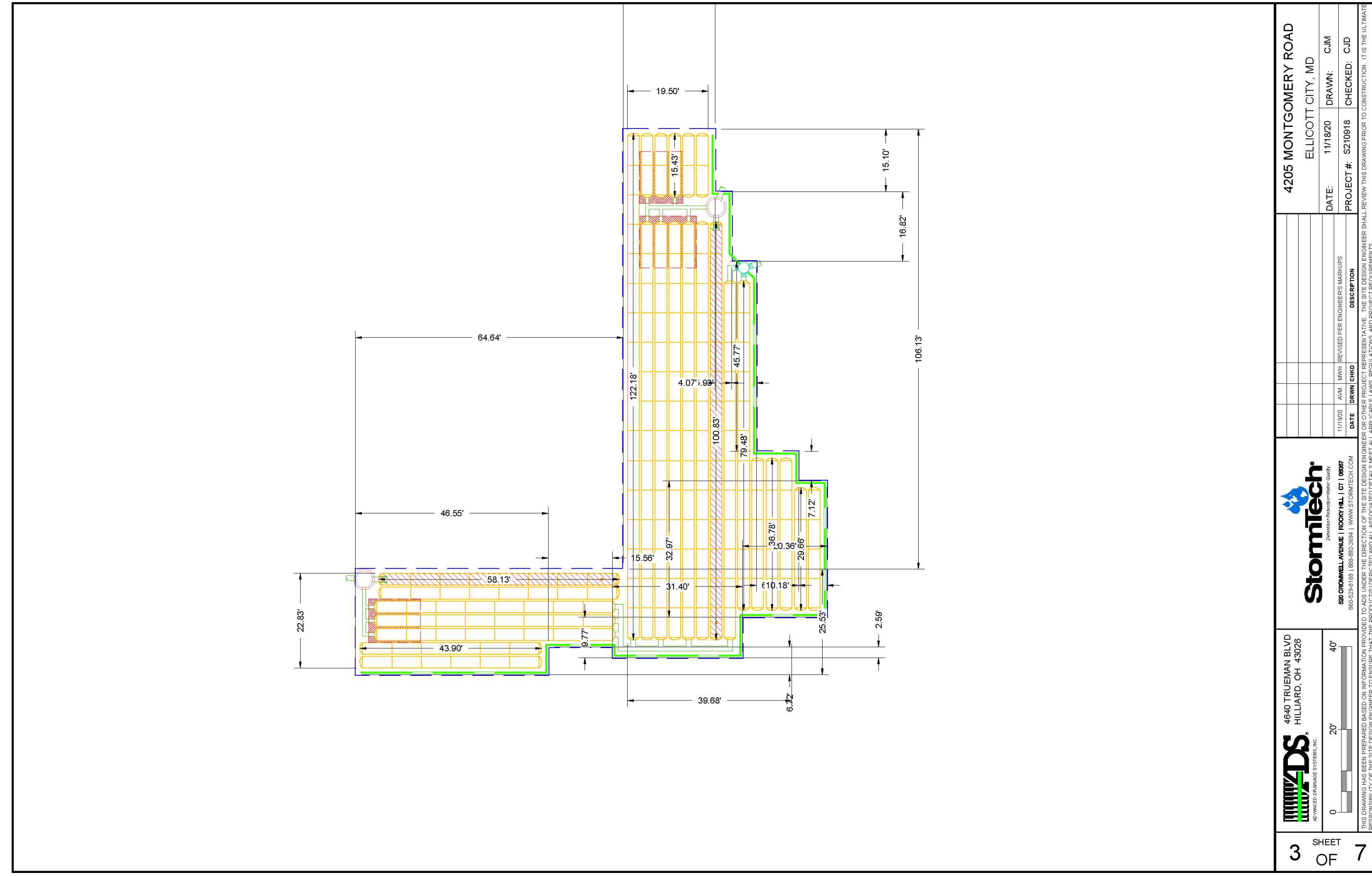


OWNER: POTOMAC ENERGY HOLDINGS, LLC
 DEVELOPER: DASH-IN
 102 CENTENNIAL STREET, STE. 100
 LA PLATA, MD 20646
 CONTACT: JASON BELT
 PHONE: 240-320-6448

TAX MAP: 24 GRID: 24 PARCEL: 311
 ZONED: B-2
 2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: THE SHELL OIL CO.
 SECTION/AREA: N/A
 DEED # 11625/100400

FILE NO. SDP-21-009



4205 MONTGOMERY ROAD
ELLCOTT CITY, MD

DATE: 11/18/20 DRAWN: CAM
PROJECT #: S21018 CHECKED: CID

Stormtech
80 CHOWAN AVENUE (NOVY HILL) CT 10407
ROCKVILLE, MD 20850 | WWW.STORMTECH.COM

4640 TRUBMAN BLVD
MILLARD, OH 43005

DATE: 11/18/20 DRAWN: CAM
PROJECT #: S21018 CHECKED: CID

3 SHEET OF 7

ACCEPTABLE FILL MATERIALS: STORMTECH SC-310 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

PLEASE NOTE:

- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR A LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) MAX LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2022 (POLETHYLENE) OR ASTM F2418-16a (POLYPROPYLENE), "STANDARD SPECIFICATION FOR CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-310 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2922 SHALL BE GREATER THAN OR EQUAL TO 400 LBS/IN. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

4205 MONTGOMERY ROAD
ELLCOTT CITY, MD

DATE: 11/18/20 DRAWN: CAM
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Stormtech
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4640 TRUBMAN BLVD
MILLARD, OH 43005

DATE: 11/18/20 DRAWN: CAM
PROJECT #: S21018 CHECKED: CID

4 SHEET OF 7

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Designed by: *Chad Edmondson* DATE: 6/28/2022
CHIEF, DEVELOPMENT ENGINEERING DIVISION

Designed by: *Amy Stoen* DATE: 6/28/2022
CHIEF, DIVISION OF LAND DEVELOPMENT

DESIGNED BY: *Amy Stoen* DATE: 6/28/2022
DIRECTOR

OWNER: POTOMAC ENERGY HOLDINGS, LLC
PO BOX 2810
LA PLATA, MD 20646
CONTACT: JASON BELT
PHONE: 240-320-6448

DEVELOPER: DASH-IN
102 CENTENNIAL STREET, STE. 100
LA PLATA, MD 20645
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PHONE: 240-320-6448

TAX MAP: 24 GRID: 2-4 PARCEL: 311
ZONED: B-2

2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: THE SHELL OIL CO.
SECTION/AREA: N/A
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11625 / 10400

FILE NO. SDP-21-009

Digitally signed by Andrew G. Stine, P.E.
DN: cn=Andrew G. Stine, P.E., o=Bohler, ou=Hiereng.com, c=US
Date: 2022.05.23 14:03:36 -04'00'

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
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FOR

DASH IN

STORE # 1833

4205 MONTGOMERY ROAD
(MD ROUTE 103)
ELLCOTT CITY, MD 21043
TM 24, GRID 24, PARCEL 311
HOWARD COUNTY
2ND ELECTION DISTRICT
B-2 ZONE

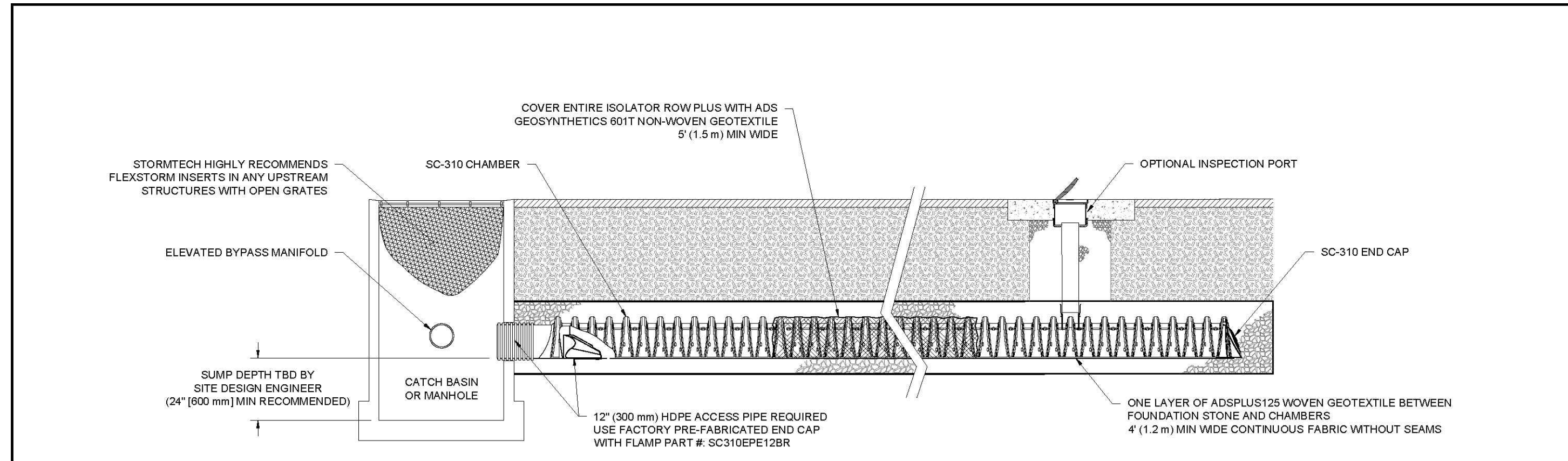
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901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

ANDREW G. STINE
PROFESSIONAL ENGINEER
LICENSE NO. 37687, EXPIRATION DATE: 7/12/23

STORMWATER MANAGEMENT NOTES & DETAILS

SHEET NUMBER: 13 OF 45



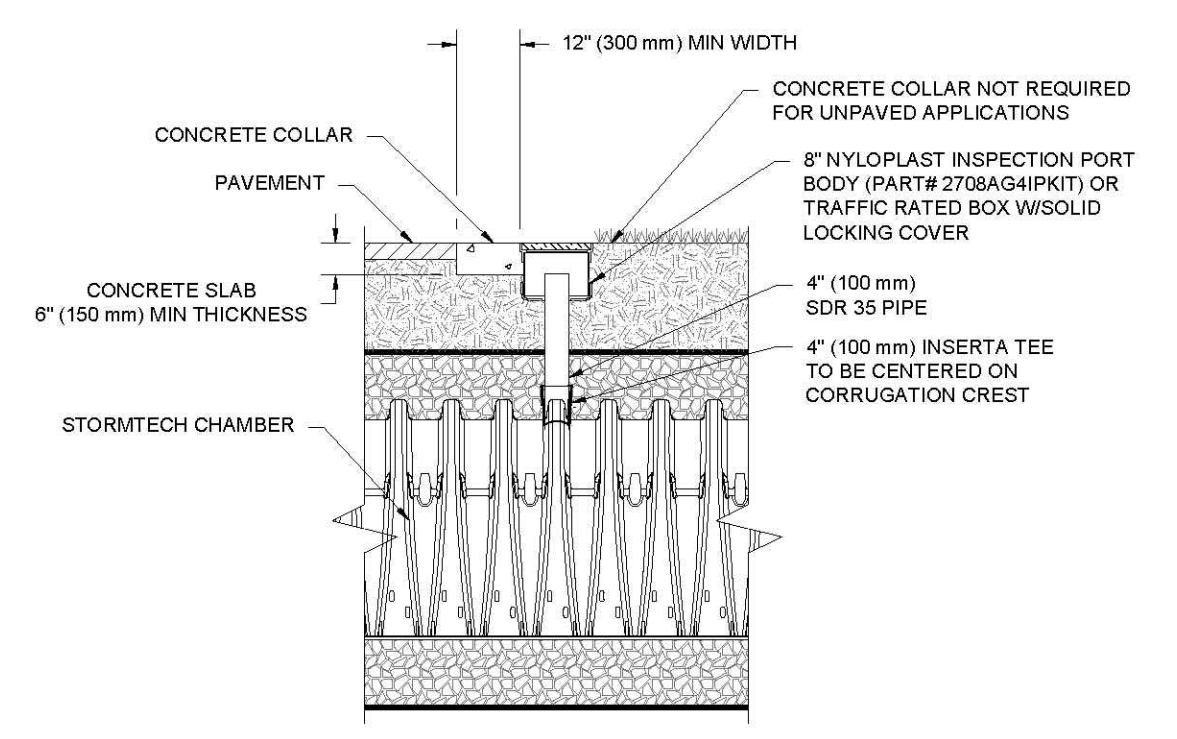
SC-310 ISOLATOR ROW PLUS DETAIL
NTS

INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- A. INSPECTION PORTS (IF PRESENT)
 - A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
 - B. ALL ISOLATOR PLUS ROWS
 - B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
 - B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
 - i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
 - B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - C. VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



4" PVC INSPECTION PORT DETAIL
(SC SERIES CHAMBER)
NTS

4205 MONTGOMERY ROAD
ELLCOTT CITY, MD

DATE: 11/18/20 DRAWN: CJM
PROJECT #: SC21018 CHECKED: CJD

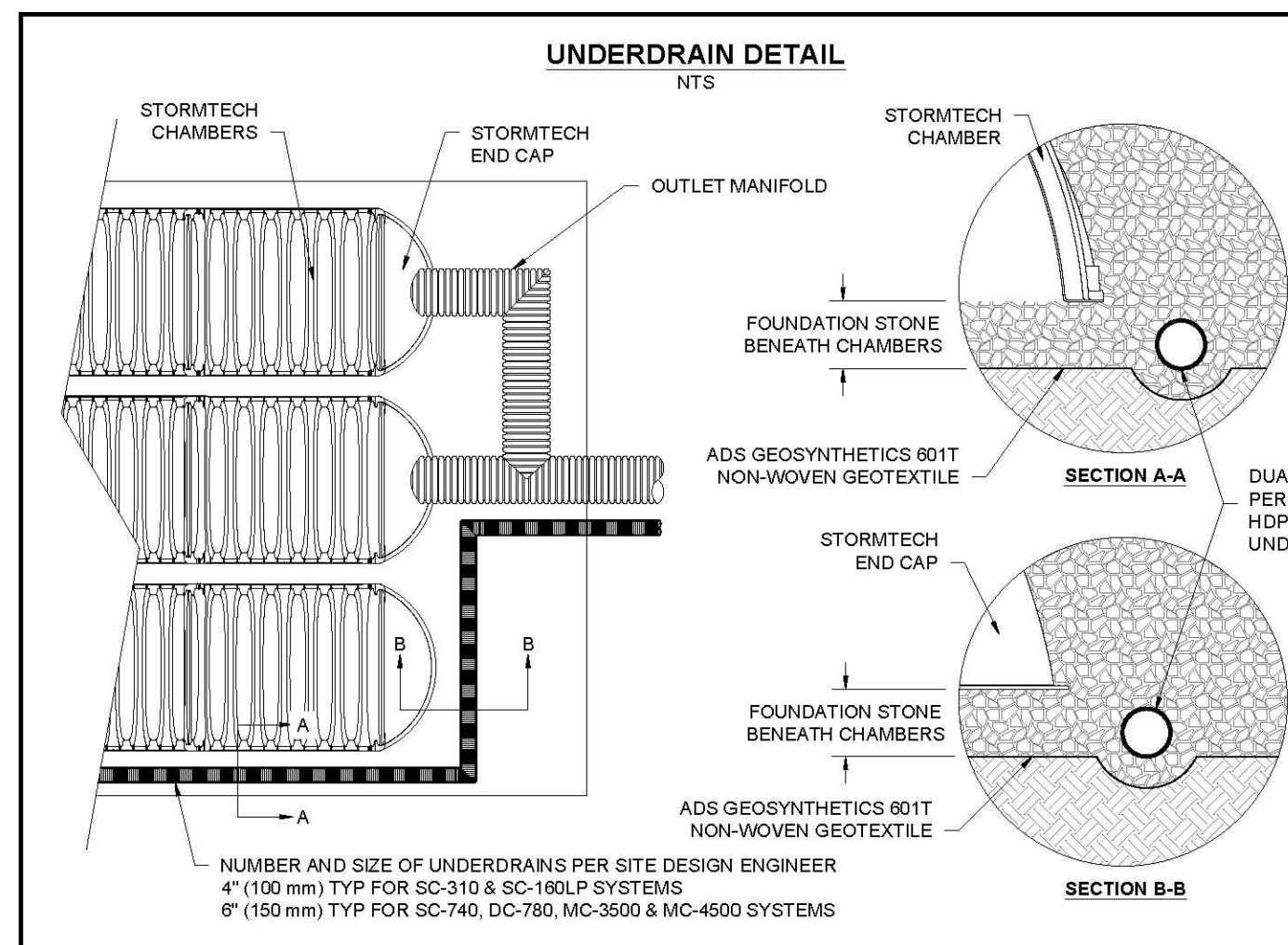
11/1/2020 JAW MHW PROVIDED FOR ENGINEER'S MANIPULATION
11/1/2020 JAW MHW PROVIDED FOR ENGINEER'S MANIPULATION

STORMTECH
10000 N. LUTHER BLVD. CT 10007
MARIETTA, GA 30067
www.stormtech.com

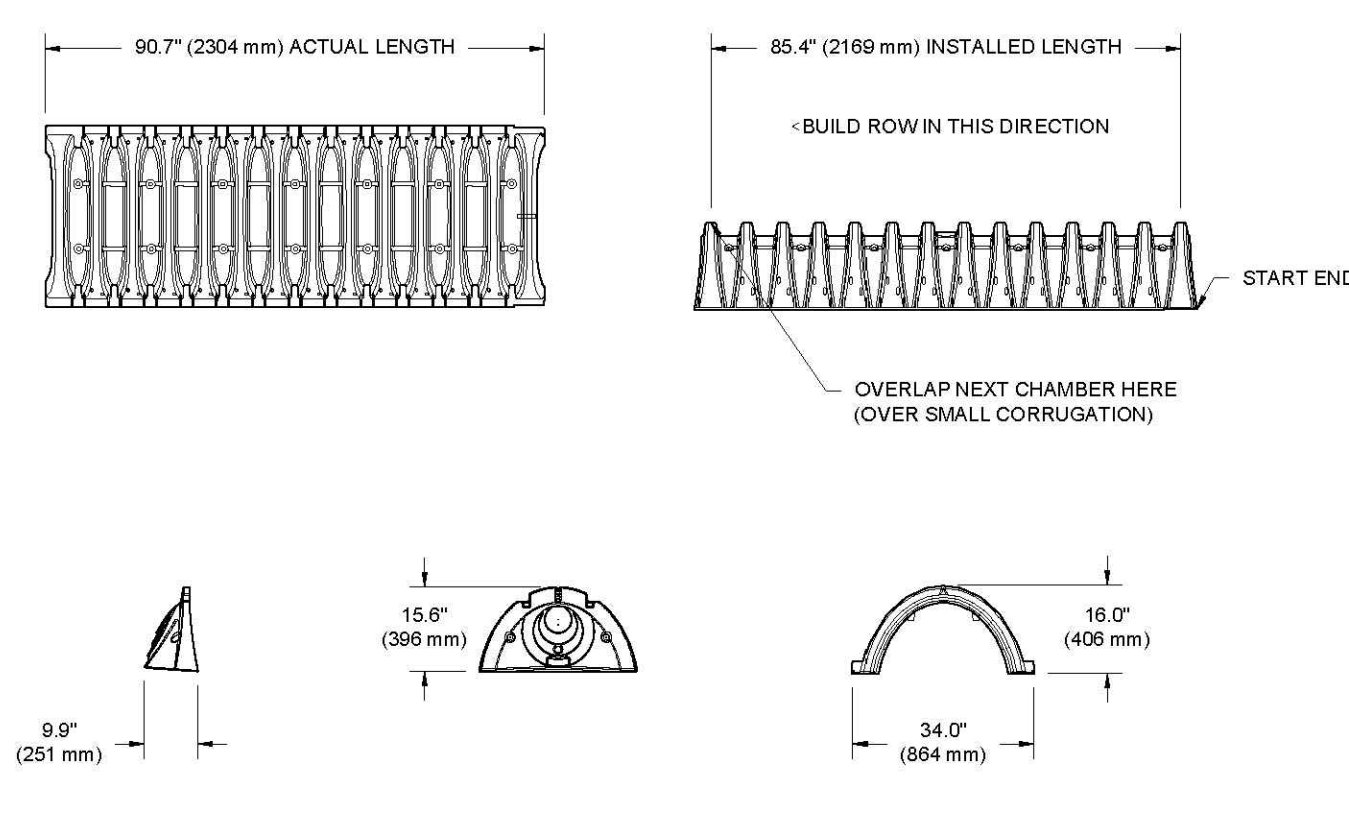
ASH TRUMAN BLVD
HILLIARD, OH 43026

DS
www.ds-engineering.com

5 SHEET OF 7



SC-310 TECHNICAL SPECIFICATION
NTS



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	34.0\"/>	
CHAMBER STORAGE	14.7 CUBIC FEET (0.42 m ³)	(864 mm X 406 mm X 2169 mm)
MINIMUM INSTALLED STORAGE*	31.0 CUBIC FEET (0.88 m ³)	
WEIGHT	35.0 lbs. (16.8 kg)	

*ASSUMES 6\"/>



PART #	STUB	A	B	C
SC310EPED0T / SC310EPED0TPC	6\"/>			
SC310EPED0B / SC310EPED0BPC	8\"/>			
SC310EPED0T / SC310EPED0TPC	10\"/>			
SC310EPED0B / SC310EPED0BPC	12\"/>			
SC310EPE10T / SC310EPE10TPC	10\"/>			
SC310EPE10B / SC310EPE10BPC	12\"/>			
SC310EPE12B	12\"/>			
SC310EPE12BR	12\"/>			

ALL STUBS, EXCEPT FOR THE SC310EPE12B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-862-2894.

* FOR THE SC310EPE12B THE 12\"/>

NOTE: ALL DIMENSIONS ARE NOMINAL

4205 MONTGOMERY ROAD
ELLCOTT CITY, MD

DATE: 11/18/20 DRAWN: CJM
PROJECT #: SC21018 CHECKED: CJD

11/1/2020 JAW MHW PROVIDED FOR ENGINEER'S MANIPULATION
11/1/2020 JAW MHW PROVIDED FOR ENGINEER'S MANIPULATION

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MARIETTA, GA 30067
www.stormtech.com

ASH TRUMAN BLVD
HILLIARD, OH 43026

DS
www.ds-engineering.com

6 SHEET OF 7

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Designed by: *Chad Edmondson* 6/28/2022
CHIEF, DEVELOPMENT ENGINEERING DIVISION

Designed by: *Amy Edmondson* 6/28/2022
CHIEF, DIVISION OF LAND DEVELOPMENT

Designed by: *Amy Edmondson* 6/28/2022
DIRECTOR

OWNER: POTOMAC ENERGY HOLDINGS, LLC
DEVELOPER: DASH-IN
102 CENTENNIAL STREET, STE. 100
LA PLATA, MD 20646
CONTACT: JASON BELT
PHONE: 240-320-6448

TAX MAP: 24 GRID: 24 PARCEL: 311
ZONED: B-2

2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: THE SHELL CO. CO.
SECTION/AREA: N/A
DEED #
11625 / 10400

FILE NO. SDP-21-009

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

811

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Call before you dig.
ALWAYS CALL 811
It's fast. It's free. It's the law.

APPROVED FOR CONSTRUCTION

PROJECT No.: MD132045
DRAWN BY: MCO
CHECKED BY: RMS
DATE: 5/5/22
CAD ID: MD132045-SWM-3.DWG

SITE DEVELOPMENT PLAN
FOR

DASH IN

STORE # 1833

4205 MONTGOMERY ROAD
(MD ROUTE 103)
ELLCOTT CITY, MD 21043
TM 24, GRID 24, PARCEL 311
HOWARD COUNTY
2ND ELECTION DISTRICT
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BOHLER

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Digitally signed by Andrew G. Stine, P.E.
DN: cn=Andrew G. Stine, P.E., o=Bohler, ou=ohlereng.com, email=astine@ohlereng.com, c=US
Date: 2022.05.23 14:03:19 -0400

STORMWATER MANAGEMENT NOTES & DETAILS

SHEET NUMBER: 14 OF 45

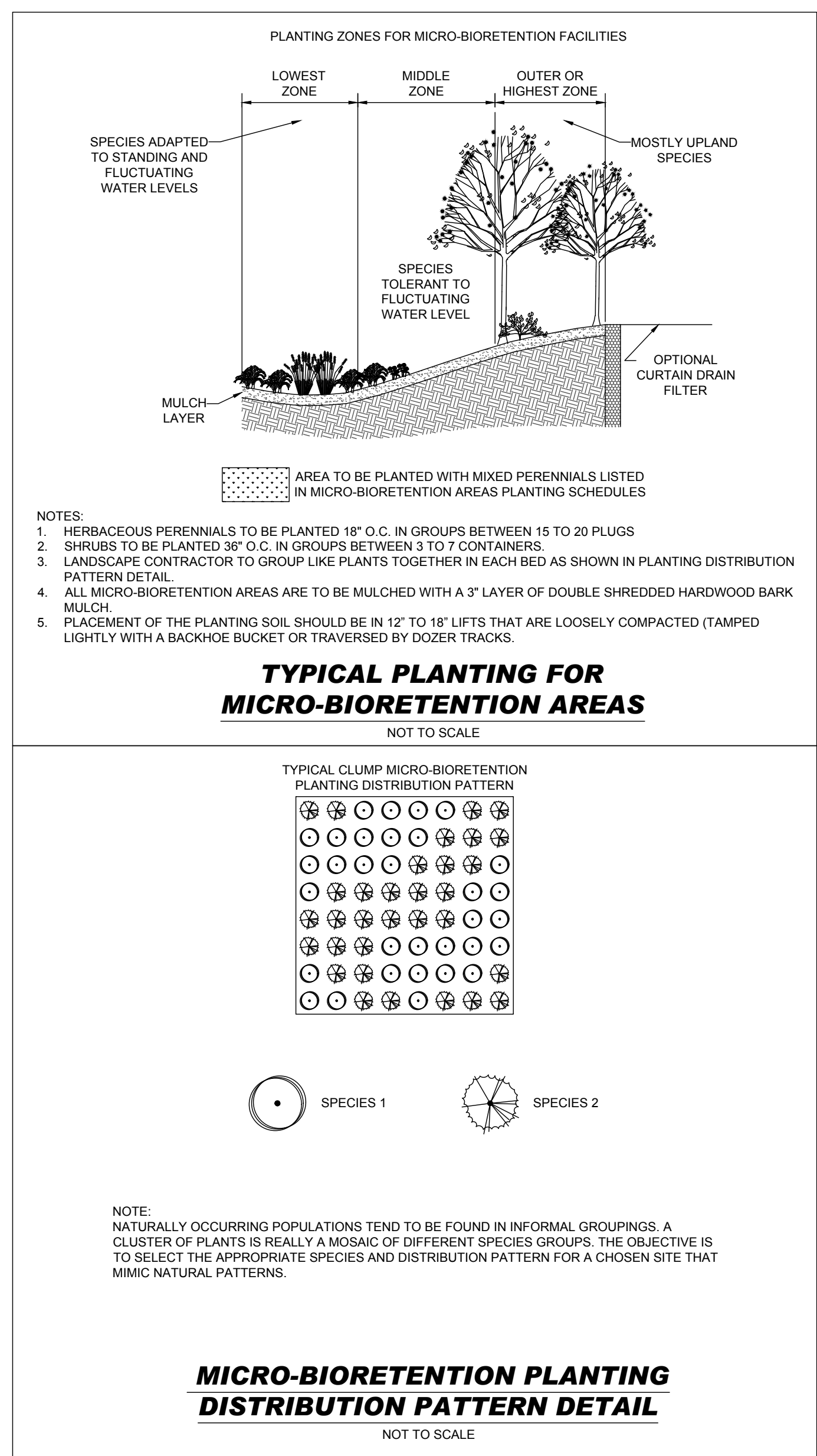
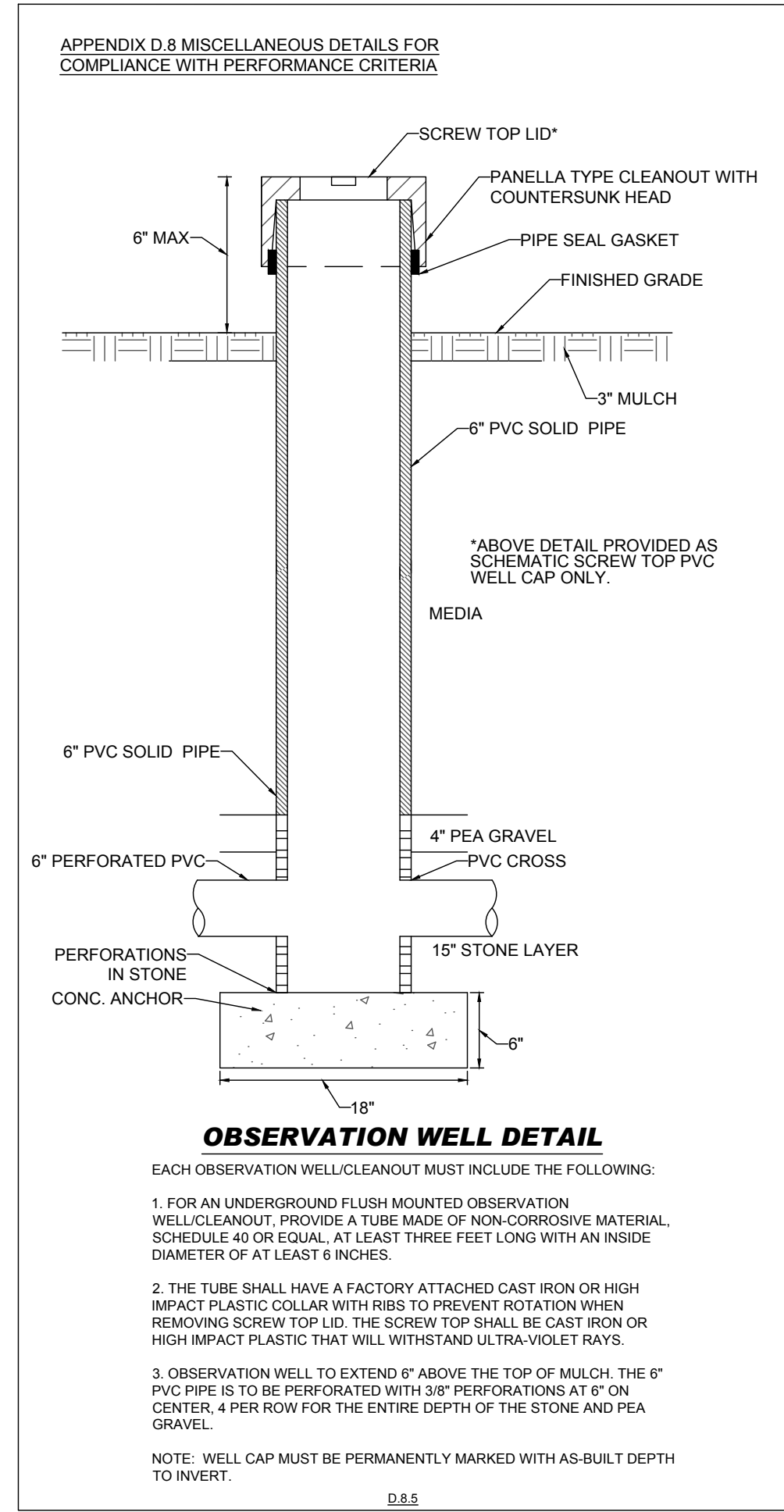
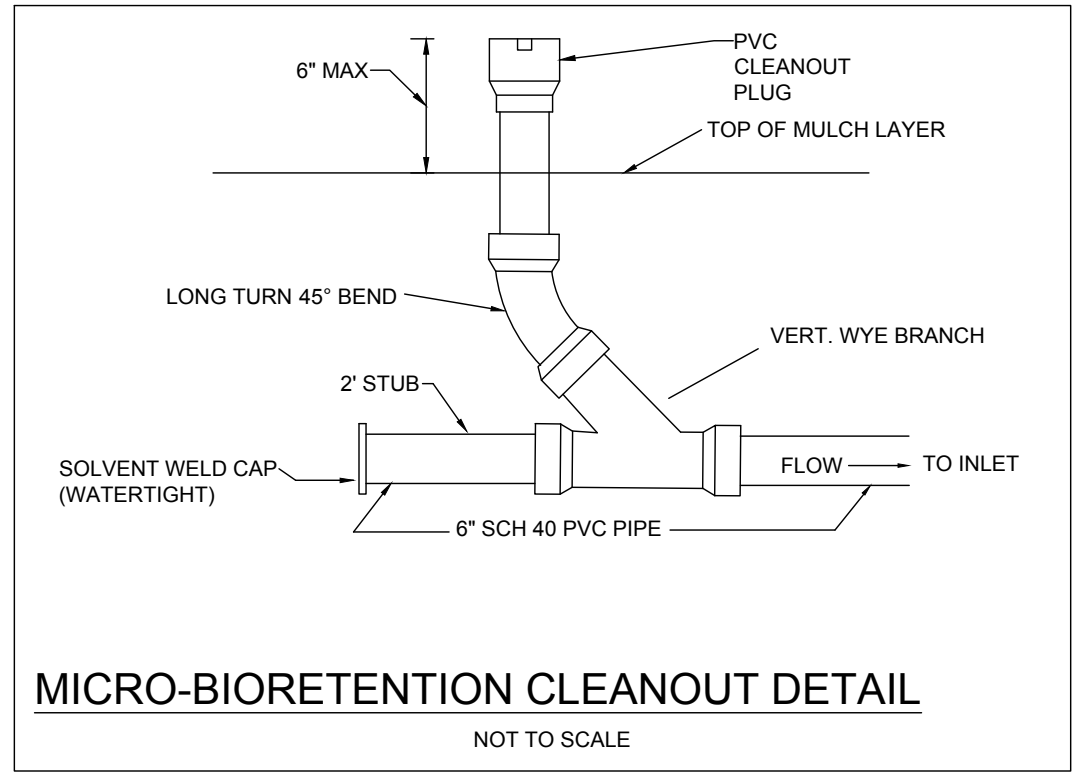


TABLE B.4.1 MATERIALS SPECIFICATIONS FOR MICRO-BIORETENTION, RAIN GARDENS & LANDSCAPE INFILTRATION

MATERIAL	SPECIFICATIONS	SIZE	NOTES
PLANTINGS	SEE APPENDIX A, TABLE A.4	N/A	PLANTINGS ARE SITE-SPECIFIC
PLANTING SOIL [2 TO 4"]	SEE TABLE FOR COMPOSITION - BIORETENTION SOIL MIX (BSM) (THIS SHEET)	N/A	
ORGANIC CONTENT	MIN. 10% BY DRY WEIGHT (ASTM-D-2974)		
MULCH	SHREDDED HARDWOOD		AGED 6 MONTHS, MINIMUM; NO PINE OR WOOD CHIPS
PEA GRAVEL DIAPHRAGM	PEA GRAVEL: ASTM-D-448	WASHED NO. 8 OR NO. 9 (1/8" TO 3/8")	
CURTAIN DRAIN	ORNAMENTAL STONE: WASHED COBBLES	STONE: 2" TO 5"	
GEOTEXTILE		N/A	PE TYPE 1 NONWOVEN
GRAVEL (UNDERDRAINS AND INFILTRATION BERMS)	AASHTO M-43	WASHED NO. 57 OR NO. 6 AGGREGATE (3/8" TO 3/4")	
UNDERDRAIN PIPING	F 758, TYPE PS 28 OR AASHTO M-Z78	4" TO 6" RIGID SCHEDULE 40 PVC OR SDR35	SLOTTED OR PERFORATED PIPE: 3/8" PERF. @ 6" ON CENTER, 4 HOLES PER ROW; MINIMUM OF 3" GRAVEL OVER PIPES; NOT NECESSARY UNDERNEATH PIPES. PERFORATED PIPE SHALL BE WRAPPED WITH 1/4-INCH GALVANIZED HARDWARE CLOTH
POURED IN PLACE CONCRETE (IF REQUIRED)	MSHA MIX NO. 3; f _c = 3500 psi @ 28 DAYS, NORMAL WEIGHT, AIR-ENTRAINED, REINFORCING TO MEET ASTM-615-60	N/A	ON-SITE TESTING OF POUR-IN-PLACE CONCRETE REQUIRED; 28 DAY STRENGTH AND SLUMP TEST; ALL CONCRETE DESIGN (CAST-IN-PLACE OR PRE-CAST) NOT USING PREVIOUSLY APPROVED STATE OR LOCAL STANDARDS REQUIRES DESIGN DRAWINGS SEALED AND APPROVED BY A PROFESSIONAL STRUCTURAL ENGINEER LICENSED IN THE STATE OF MARYLAND - DESIGN TO INCLUDE MEETING ACI CODE 350.8R/89; VERTICAL LOADING (H-10 OR H-20); ALLOWABLE HORIZONTAL LOADING (BASED ON SOIL PRESSURES); AND ANALYSIS OF POTENTIAL CRACKING
SAND	AASHTO-M-6 OR ASTM-C-33	0.02" TO 0.04"	SAND SUBSTITUTIONS SUCH AS DIABASE AND GRAYSTONE (AASHTO) #10 ARE NOT ACCEPTABLE. NO CALCIUM CARBONATED OR DOLOMITIC SAND SUBSTITUTIONS ARE ACCEPTABLE. NO "ROCK DUST" CAN BE USED FOR SAND.

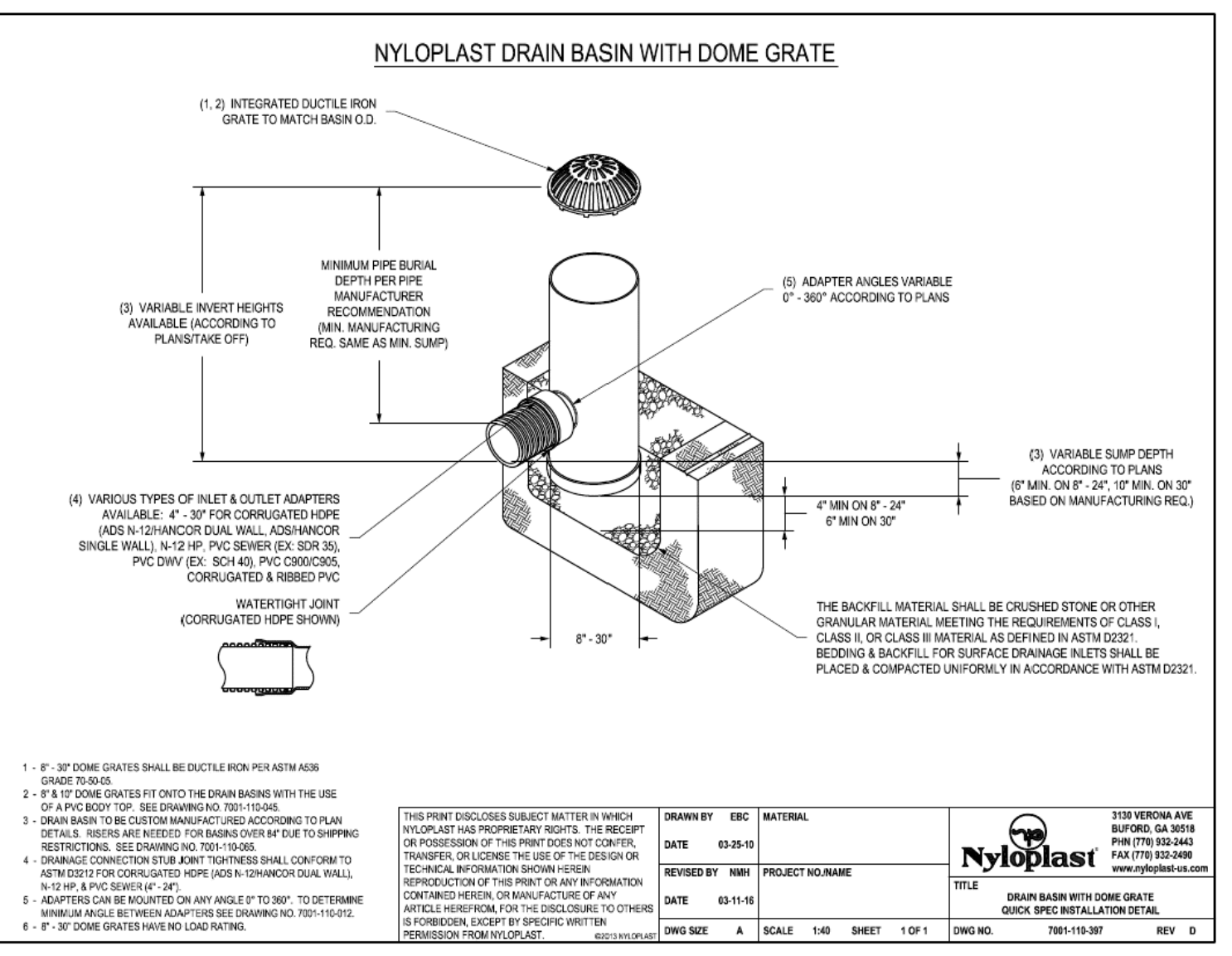
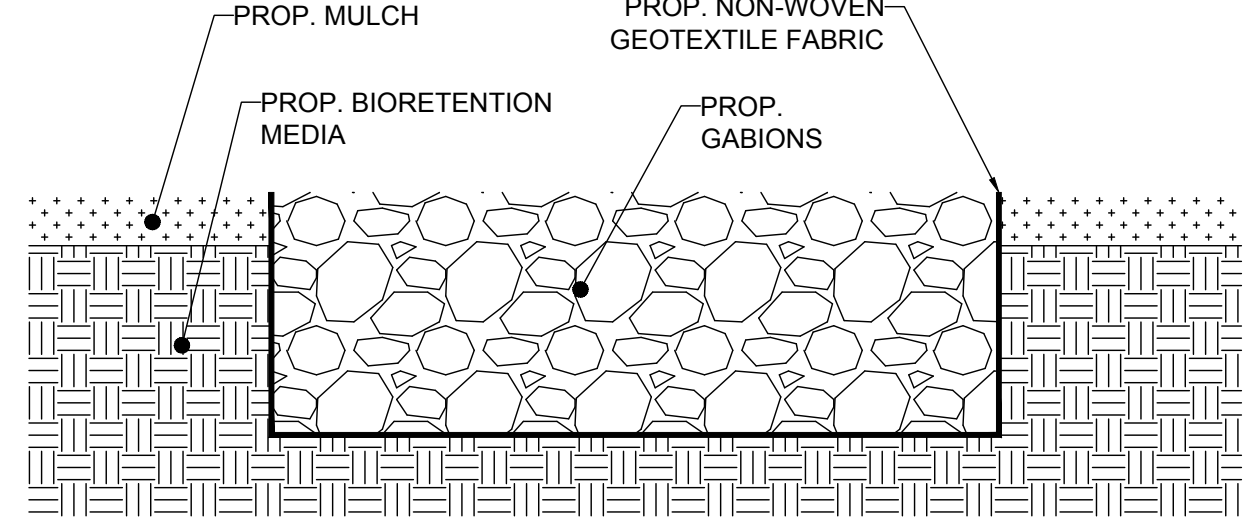
CONSTRUCTION SPECIFICATIONS FOR MICRO BIORETENTION FACILITY

- SOIL COMPACTION: EXCAVATION SHOULD BE CONDUCTED IN DRY CONDITIONS WITH EQUIPMENT LOCATED OUTSIDE OF THE PRACTICE TO MINIMIZE BOTTOM AND SIDEWALL COMPACTION. ONLY LIGHTWEIGHT, LOW GROUND-CONTACT EQUIPMENT SHOULD BE USED WITHIN MICRO-BIORETENTION PRACTICES AND THE BOTTOM SCARIFIED BEFORE INSTALLING UNDERDRAINS AND FILTERING MEDIA.
- UNDERDRAIN INSTALLATION: GRAVEL FOR THE UNDERDRAIN SYSTEM SHOULD BE CLEAN, WASHED, AND FREE OF FINES. UNDERDRAIN PIPES SHOULD BE CHECKED TO ENSURE THAT BOTH THE MATERIAL AND PERFORATIONS MEET SPECIFICATIONS. THE UPSTREAM ENDS OF THE UNDERDRAIN PIPE SHOULD BE CAPPED PRIOR TO INSTALLATION.
- FILTER MEDIA INSTALLATION: BSM MAY BE MIXED ON-SITE BEFORE PLACEMENT. HOWEVER, BSM SHOULD NOT BE PLACED UNDER SATURATED CONDITIONS. BSM SHOULD BE PLACED AND GRADED USING EXCAVATORS OR BACKHOES OPERATING ADJACENT TO THE PRACTICE AND BE PLACED IN HORIZONTAL LAYERS (12 INCHES PER LIFT MAXIMUM). PROPER COMPACTION OF THE BSM WILL OCCUR NATURALLY. SPRAYING OR SPRINKLING WATER ON EACH LIFT UNTIL SATURATED MAY QUICKEN SETTLING TIMES.
- LANDSCAPE INSTALLATION: THE OPTIMUM PLANTING TIME IS DURING THE FALL. SPRING PLANTING IS ALSO ACCEPTABLE BUT MAY REQUIRE WATERING.



OPERATION AND MAINTENANCE SCHEDULE FOR MICRO-BIORETENTION FACILITIES

- THE STORMWATER MANAGEMENT FACILITIES ARE PRIVATELY OWNED AND IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO PERIODICALLY INSPECT AND CLEAN THE FACILITY TO MAINTAIN ITS OPERATION AND FUNCTION.
- THE MICRO-BIORETENTION FACILITIES SHALL BE INSPECTED YEARLY AT A MINIMUM AND AFTER ESPECIALLY SEVERE STORM EVENTS.
- WHEN SEDIMENT ACCUMULATION OF MORE THAN 1" IS OBSERVED OR ANY DEBRIS THAT MIGHT OBSTRUCT THE OUTFALL IS OBSERVED, THE FACILITIES SHALL BE CLEANED. THE OWNER SHALL FOLLOW PROPER CLEANING PROCEDURES AND PROPERLY DISPOSE OF THE REMOVED MATERIAL AND LIQUID.
- THE TOP FEW INCHES OF MEDIA SHOULD BE REMOVED AND REPLACED WHEN WATER PONDS FOR MORE THAN 48 HOURS.
- THE 3" MULCH LAYER SHALL BE REPLACED ANNUALLY.
- OCCASIONAL PRUNING AND REPLACEMENT OF DEAD VEGETATION IS NECESSARY. IF SPECIFIC PLANTS ARE NOT SURVIVING, MORE APPROPRIATE SPECIES SHOULD BE USED. WATERING MAY BE REQUIRED DURING PROLONGED DRY PERIODS.
- THE INLET AND OUTLET PIPES SHALL BE CHECKED FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX MONTHS. IF OBSTRUCTIONS ARE FOUND, THE OWNER SHALL HAVE THEM REMOVED AND PROPERLY DISPOSED OF.
- STORM DRAINAGE SYSTEMS - THE STORMWATER MANAGEMENT FACILITIES INCLUDING THE INLETS AND STORMWATER PIPING ON THIS SITE SHALL BE MAINTAINED IN PROPER WORKING ORDER IN ACCORDANCE WITH THESE PLANS AND PER THE RECOMMENDATION OF THE STRUCTURE(S) MANUFACTURER(S). MAINTENANCE OF THESE STORMWATER MANAGEMENT FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNERS UPON WHOSE LOT AREA THE FACILITIES ARE LOCATED.
- ALL ON-SITE INLETS, MANHOLES, AND STORMWATER PIPING SHALL BE CLEARED OF DEBRIS EVERY THREE (3) MONTHS OR WHEN ACCUMULATION HINDERS OPERATION OF THE FACILITY.
- ALL SEDIMENT/DEBRIS/OIL REMOVED FROM THE STORMWATER MANAGEMENT SYSTEM SHALL BE DISPOSED PER LOCAL, STATE, AND FEDERAL STANDARDS.
- SHOULD ON-SITE EROSION OCCUR FROM THE LANDSCAPED AREAS, SOURCE OF EROSION SHALL BE IMMEDIATELY STABILIZED AND THE INLETS, MANHOLES, AND STORMWATER PIPING SHALL BE CHECKED FOR SEDIMENT ACCUMULATION AND CLEARED IF ACCUMULATION OF SEDIMENT EXISTS.
- FACILITIES MAY REQUIRE MORE FREQUENT MAINTENANCE THAN TYPICAL MICRO-BIORETENTION FACILITIES DUE TO VOLUME OF STORMWATER RUNOFF REACHING THE FACILITIES.



LANDSCAPING 920

(b) **Composition.** BSM shall be sampled and tested according to the requirements of MSMT 356 and conform to the following:

COMPOSITION- BIORETENTION SOIL MIX (BSM)						
TEST PROPERTY	TEST METHOD	TEST VALUE AND AMENDMENT				
Weeds	—	Free of seed and viable plant parts of species in 920.06.02(a)(b)(c) when inspected.				
Debris	—	920.01.05(a)(2)				
Textural Analysis	T 88	Particle				
		Size	% Passing by Weight			
		Sand	2.0 - 0.050	55	85	
		Silt	0.050 - 0.002	—	20	
Clay	less than 0.002	1	8			
Soil pH	D 4972	pH of 5.7 to 7.1.				
Organic Matter	T 194	Minimum 1.5 % by weight.				
Nutrient Analysis and Soluble Salts	Mehlich-3	Concentration				
		Element	Minimum	FIV	Maximum	
		Calcium (Ca)	32	25	no limit	no limit
		Magnesium (Mg)	15	25	no limit	no limit
		Phosphorus (P)	18	25	22	100
		Potassium (K)	22	25	no limit	no limit
Sulfur (S)	25	n/a	no limit	no limit		
Harmful Materials	ECT-2 (V-V)	Soluble Salts	40	n/a	500	n/a
		—	920.01.01(a).			

(c) **Amendment or Failure.** BSM that does not conform to composition requirements for pH or nutrient analysis shall be amended as specified by the NMP. BSM that exceeds maximum phosphorus concentration or fails other composition requirements will not be accepted, and shall not be delivered or used as BSM.

(d) **Storage.** 920.01.02(b). BSM shall be stored in a stockpile that is protected from weather under tarp or shed. BSM stored for 6 months or longer shall be resampled, retested, and reapproved before use.

(e) **Approval.** 920.01.02(c).

(f) **Certification and Delivery.** 920.01.02(d).

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: **Edmond** 6/28/2022
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by: **Edmond** 6/28/2022
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by: **Edmond** 6/28/2022
DIRECTOR DATE

OWNER: POTOMAC ENERGY HOLDINGS, LLC
DEVELOPER: DASH-IN
102 CENTENNIAL STREET, STE. 100
LA PLATA, MD 20646
CONTACT: JASON BELT
PHONE: 240-320-6448

TAX MAP: 24 GRID: 24 PARCEL: 311
ZONED: B-2

2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: THE SHELL OIL CO.
SECTION/AREA: N/A
DEED # 11625/10400

FILE NO. SDP-21-009

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SITE CIVIL AND CONSULTING ENGINEERING
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APPROVED FOR CONSTRUCTION

PROJECT No.: MD132045
DRAWN BY: MCO
CHECKED BY: RMS
DATE: 5/5/22
CAD ID.: MD132045-SDP-3.DWG

SITE DEVELOPMENT PLAN
FOR
DASH IN
STORE # 1833
4205 MONTGOMERY ROAD
(MD ROUTE 103)
ELLICOTT CITY, MD 21043
TM 24, GRID 24, PARCEL 311
HOWARD COUNTY
2ND ELECTION DISTRICT
B-2 ZONE

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

ANDREW G. STINE
PROFESSIONAL ENGINEER
2-21-2019
ANDREW G. STINE, P.E.
THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 31667, EXPIRATION DATE: 7/12/23

STORMWATER MANAGEMENT NOTES & DETAILS

SHEET NUMBER: **16**
OF 45



LANDS N/F
PINNACLE REALTY LLC
L. 6262 F. 464
TM: 24 23 840
ZONE: B-2
USE: EXISTING AUTOMOBILE SERVICE STATION

LANDS N/F
KEVIN GREENE AND SHARON W. IRONSIDE LONDON
L. 18359 F. 90
TM: 24 24 736
ZONE: R-20
USE: EXISTING SINGLE FAMILY DWELLING

LANDS N/F
HERMON A. EDDY
L. 4555 F. 349
TM: 24 24 719
ZONE: R-20
USE: EXISTING SINGLE FAMILY DWELLING

LANDS N/F
CLOVERLAND FARMS DAIRY, INC.
L. 529 F. 404
TM: 24 24 677
ZONE: B-2
USE: EXISTING AUTOMOBILE SERVICE STATION

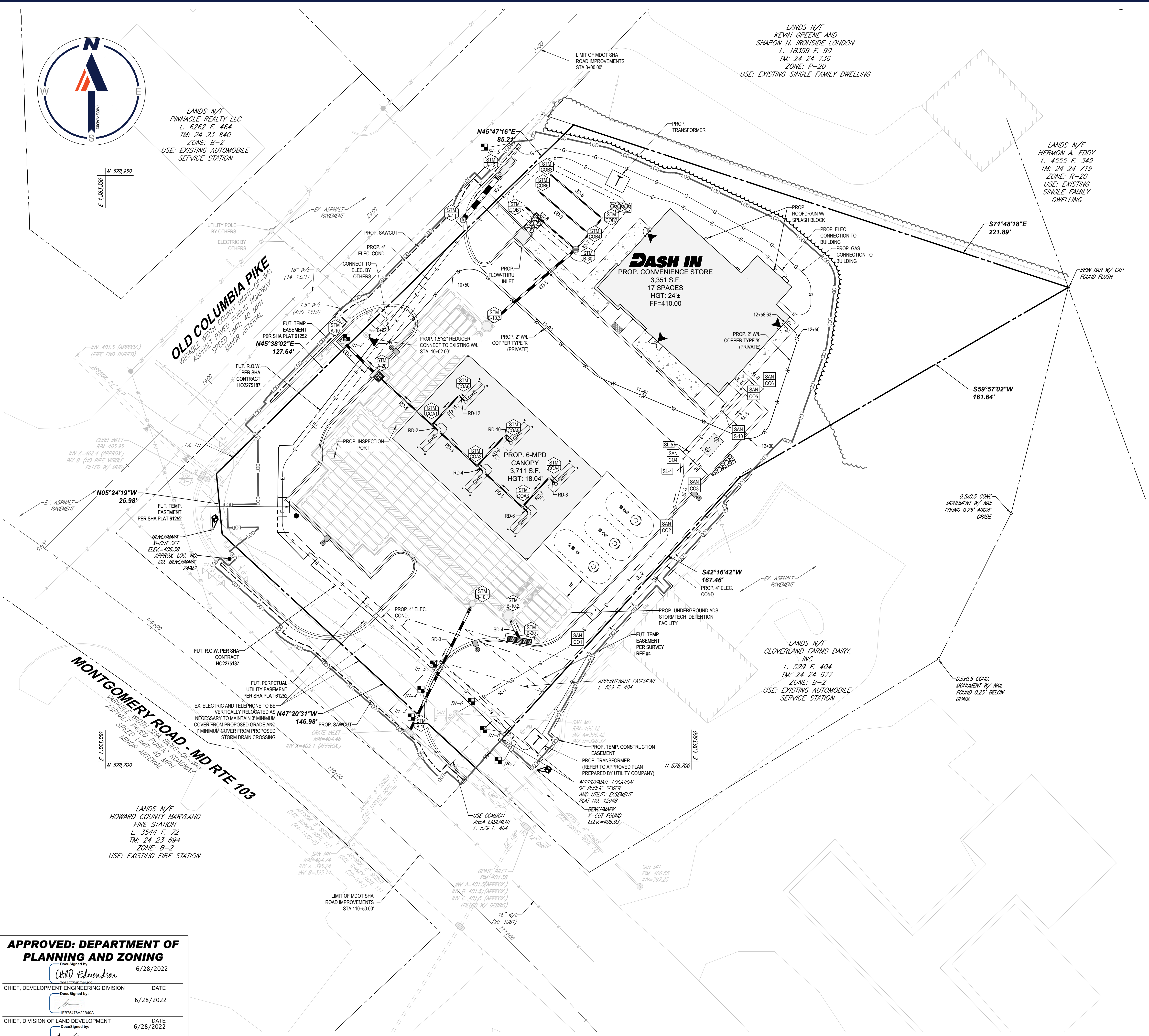
LANDS N/F
HOWARD COUNTY MARYLAND FIRE STATION
L. 3544 F. 72
TM: 24 23 694
ZONE: B-2
USE: EXISTING FIRE STATION

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Designed by: **Chad Edmondson** 6/28/2022
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

Designed by: **David Edmondson** 6/28/2022
 CHIEF, DIVISION OF LAND DEVELOPMENT

Designed by: **Amy Edmondson** 6/28/2022
 DIRECTOR



SPECIFIC UTILITY NOTES
 1. REFER TO APPROVED PLAN PREPARED BY UTILITY COMPANY FOR ALL ELECTRIC, GAS, AND COMMUNICATION DESIGN INFORMATION.

SANITARY STRUCTURE SCHEDULE

NAME	TYPE	RIM ELEV. (FT.)	INVERTS
C01	CLEANOUT	407.64'	INV IN = 400.50' (6') INV OUT = 400.50' (6')
C02	CLEANOUT	408.94'	INV IN = 401.13' (6') INV OUT = 401.13' (6')
C03	CLEANOUT	408.61'	INV IN = 401.59' (6') INV OUT = 401.41' (6')
C04	CLEANOUT	408.83'	INV IN = 401.49' (6') INV OUT = 401.49' (6')
C05	CLEANOUT	409.92'	INV IN = 405.43' (6') INV OUT = 401.96' (6')
C06	CLEANOUT	409.67'	INV IN = 405.38' (6') INV OUT = 402.66' (6')
EX-1	EX. MANHOLE	406.12'	INV IN = 396.42' (6') INV OUT = 396.37' (6')
S-10	GREASE TRAP (REFER TO ARCHITECTURAL PLANS)	VARIABLE	INV IN = 402.25' (6') INV OUT = 402.00' (6')

SANITARY PIPE SCHEDULE

FROM	FROM INV	TO	TO INV	PIPE LENGTH	SLOPE (%)	DIAMETER (IN.)	MATERIAL	NAME	PRIVATE?
EX-1	398.37'	C01	400.50'	55.70'	3.82%	6"	SDR-35 PVC	SL-1	YES
C01	400.50'	C02	401.13'	62.09'	1.01%	6"	SDR-35 PVC	SL-2	YES
C02	401.13'	C03	401.41'	27.89'	1.00%	6"	SDR-35 PVC	SL-3	YES
C03	401.41'	C04	401.49'	7.07'	1.13%	6"	SDR-35 PVC	SL-4	YES
C04	401.49'	C05	401.96'	38.89'	1.21%	6"	SDR-35 PVC	SL-5	YES
C05	405.43'	BLDG	405.50'	5.17'	1.35%	6"	SDR-35 PVC	SL-6	YES
C03	401.59'	S-10	402.00'	13.43'	3.05%	6"	SDR-35 PVC	SL-7	YES
S-10	402.25'	C06	402.66'	27.83'	1.47%	6"	SDR-35 PVC	SL-8	YES
C06	405.38'	BLDG	405.50'	12.00'	1.00%	6"	SDR-35 PVC	SL-9	YES

Andrew G. Stine, P.E.

TEST PIT NOTE
 FOR TEST PIT DATA REFER TO REPORT ENTITLED "UTILITY TEST PIT DATA FOR DASH-IN #1833, 4205 MONTGOMERY ROAD, ELLICOTT CITY, HOWARD COUNTY, MARYLAND," DATED MARCH 23, 2021, PREPARED BY A.I. DATA

OWNER: POTOMAC ENERGY HOLDINGS, LLC
 DEVELOPER: DASH-IN
 LA PLATA, MD 20646
 102 CENTENNIAL STREET, STE. 100
 LA PLATA, MD 20645
 CONTACT: JASON BELT
 PHONE: 240-320-8448
 CONTACT: JASON BELT
 PHONE: 240-320-6448

TAX MAP: 24 GRID: 24 PARCEL: 311
 ZONED: B-2

2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: THE SHELL OIL CO.
 SECTION/AREA: N/A
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FILE NO. SDP-21-009

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

811

Know what's below.
 Call before you dig.
 ALWAYS CALL 811
 It's fast. It's free. It's the law.

APPROVED FOR CONSTRUCTION

PROJECT No.: MD132045
 MCO
 DRAWN BY: RMS
 CHECKED BY: S522
 DATE: 5/5/22
 CAD ID: MD132045-SDC-3.DWG

SITE DEVELOPMENT PLAN

FOR

DASH IN

STORE # 1833

4205 MONTGOMERY ROAD
 (MD ROUTE 103)
 ELLICOTT CITY, MD 21043
 TM 24, GRID 24, PARCEL 311
 HOWARD COUNTY
 2ND ELECTION DISTRICT
 B-2 ZONE

BOHLER

901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21204
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 MD@BohlerEng.com

ANDREW G. STINE

PROFESSIONAL ENGINEER
 LICENSE NO. 37687, EXPIRATION DATE: 7/23/23

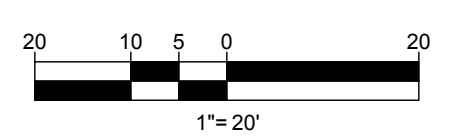
SHEET TITLE:

UTILITY PLAN

SHEET NUMBER:

17

OF 45





LANDS N/F
PINNACLE REALTY LLC
L. 6262 F. 464
TM: 24 23 840
ZONE: B-2
USE: EXISTING AUTOMOBILE
SERVICE STATION

N 578,950
E 1,962,890

OLD COLUMBIA PIKE
ASPHALT PAVED PUBLIC ROADWAY
MINOR ARTERIAL
SPEED LIMIT 40 MPH

MONTGOMERY ROAD - MD RTE 103
ASPHALT PAVED PUBLIC ROADWAY
MINOR ARTERIAL
SPEED LIMIT 40 MPH

LANDS N/F
HOWARD COUNTY MARYLAND
FIRE STATION
L. 3544 F. 72
TM: 24 23 694
ZONE: B-2
USE: EXISTING FIRE STATION

LANDS N/F
KEVIN GREENE AND
SHARON W. IRONSIDE LONDON
L. 18359 F. 026
TM: 24 24 736
ZONE: R-20
USE: EXISTING SINGLE FAMILY DWELLING

LANDS N/F
HERMON A. EDDY
L. 4555 F. 349
TM: 24 24 719
ZONE: R-20
USE: EXISTING
SINGLE FAMILY
DWELLING

LANDS N/F
CLOVERLAND FARMS DAIRY,
INC.
L. 529 F. 404
TM: 24 24 677
ZONE: B-2
USE: EXISTING AUTOMOBILE
SERVICE STATION

PROP. 5'X5'
RIP-RAP PAD AT
END OF
DIVERSION FENCE
END DIVERSION
FENCE BEGIN SSF
N45°47'16"E
85.21'

S71°48'18"E
221.89'

S59°57'02"W
161.64'

S42°16'42"W
167.46'

N05°24'19"W
25.98'

N45°38'02"E
127.64'

N47°20'31"W
146.98'

5

3

2

1B

1A

4

SSF TO BE PLACED ON
LIMIT OF DISTURBANCE
SSF AND LOD OFFSET
FOR CLARITY

FUTURE SIDEWALK
PER SHA CONTRACT
H02275187

BENCHMARK
1/4" DIA SET
ELEV=406.38
APPROX. LOC. TO
CD. BENCHMARK
24" DIA

DO NOT
ENTER SIGN
(TBR)

DO NOT
ENTER SIGN
(TBR)

WORK IN THIS AREA TO BE
STABILIZED IMMEDIATELY
WITH STONE
SSF TO BE PLACED ON
LIMIT OF DISTURBANCE
SSF AND LOD OFFSET
FOR CLARITY

WORK IN THIS AREA TO BE
STABILIZED IMMEDIATELY
WITH STONE

USE COMMON
AREA EASEMENT
L. 529 F. 404

APPROXIMATE LOCATION
OF PUBLIC SEWER
AND UTILITY EASEMENT
PLAT NO. 12948

BENCHMARK
1/4" DIA ROUND
ELEV=405.93

0.5x0.5 CONC.
MONUMENT W/ NAIL
FOUND 0.25" BELOW
GRADE

N 578,700
E 1,963,600

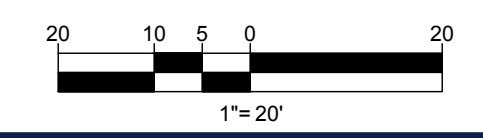
N 578,700
E 1,963,890

**HOWARD SCD
SIGNATURE BLOCK**
THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT
CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
6/28/2022
DocuSigned by:
Alexander Brathis
HOWARD SOIL CONSERVATION DISTRICT

**APPROVED: DEPARTMENT OF
PLANNING AND ZONING**
6/28/2022
CHIEF, DEVELOPMENT ENGINEERING DIVISION
6/28/2022
CHIEF, DIVISION OF LAND DEVELOPMENT
6/28/2022
DIRECTOR

OWNER'S/DEVELOPER'S CERTIFICATION:
I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE
DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING
AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE
CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF
THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT
PRIOR TO BEGINNING THE PROJECT. I ALSO CERTIFY THAT THE SITE WILL BE INSPECTED AT THE END
OF EACH WORKING DAY, AND THAT ANY NEEDED MAINTENANCE WILL BE COMPLETED SO AS TO ENSURE
THAT ALL SEDIMENT CONTROL PRACTICES ARE LEFT IN OPERATIONAL CONDITION. I WE CERTIFY THE
RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL
CONSERVATION DISTRICT AND/OR MDE.
5/19/2022
Joseph Wills
President

DESIGN CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT
MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS,
THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL
KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE
REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
3/7/22
Andrew G. Stine, P.E.
37887
MD LICENSE NUMBER



**EROSION & SEDIMENT CONTROL MEASURE
DRAINAGE AREAS**

DRAINAGE AREA	MEASURE	AREA
1A	DIVERSION FENCE	0.334 AC.
1B	DIVERSION FENCE	0.150 AC.
2	SUPER SILT FENCE	0.486 AC.
3	AT GRADE INLET PROTECTION	0.024 AC.
4	AT GRADE INLET PROTECTION	0.142 AC.
5	SUPER SILT FENCE	0.275 AC.



REVISIONS

REV	DATE	COMMENT	DRAWN BY



**APPROVED FOR
CONSTRUCTION**

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DRAWN BY: MCO
CHECKED BY: RMS
DATE: 5/5/22
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PLAN**
FOR
DASH IN
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(MD ROUTE 103)
ELLICOTT CITY, MD 21043
TM 24, GRID 24, PARCEL 311
HOWARD COUNTY
2ND ELECTION DISTRICT
B-2 ZONE

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TOWSON, MARYLAND 21204
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ANDREW G. STINE
PROFESSIONAL ENGINEER
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2-160, 2-161, 2-162, 2-163, 2-164, 2-165, 2-166, 2-167, 2-168, 2-169, 2-170, 2-171, 2-172, 2-173, 2-174, 2-175, 2-176, 2-177, 2-178, 2-179, 2-180, 2-181, 2-182, 2-183, 2-184, 2-185, 2-186, 2-187, 2-188, 2-189, 2-190, 2-191, 2-192, 2-193, 2-194, 2-195, 2-196, 2-197, 2-198, 2-199, 2-200, 2-201, 2-202, 2-203, 2-204, 2-205, 2-206, 2-207, 2-208, 2-209, 2-210, 2-211, 2-212, 2-213, 2-214, 2-215, 2-216, 2-217, 2-218, 2-219, 2-220, 2-221, 2-222, 2-223, 2-224, 2-225, 2-226, 2-227, 2-228, 2-229, 2-230, 2-231, 2-232, 2-233, 2-234, 2-235, 2-236, 2-237, 2-238, 2-239, 2-240, 2-241, 2-242, 2-243, 2-244, 2-245, 2-246, 2-247, 2-248, 2-249, 2-250, 2-251, 2-252, 2-253, 2-254, 2-255, 2-256, 2-257, 2-258, 2-259, 2-260, 2-261, 2-262, 2-263, 2-264, 2-265, 2-266, 2-267, 2-268, 2-269, 2-270, 2-271, 2-272, 2-273, 2-274, 2-275, 2-276, 2-277, 2-278, 2-279, 2-280, 2-281, 2-282, 2-283, 2-284, 2-285, 2-286, 2-287, 2-288, 2-289, 2-290, 2-291, 2-292, 2-293, 2-294, 2-295, 2-296, 2-297, 2-298, 2-299, 2-300, 2-301, 2-302, 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2-732, 2-733, 2-734, 2-735, 2-736, 2-737, 2-738, 2-739, 2-740, 2-741, 2-742, 2-743, 2-744, 2-745, 2-746, 2-747, 2-748, 2-749, 2-750, 2-751, 2-752, 2-753, 2-754, 2-755, 2-756, 2-757, 2-758, 2-759, 2-760, 2-761, 2-762, 2-763, 2-764, 2-765, 2-766, 2-767, 2-768, 2-769, 2-770, 2-771, 2-772, 2-773, 2-774, 2-775, 2-776, 2-777, 2-778, 2-779, 2-780, 2-781, 2-782, 2-783, 2-784, 2-785, 2-786, 2-787, 2-788, 2-789, 2-790, 2-791, 2-792, 2-793, 2-794, 2-795, 2-796, 2-797, 2-798, 2-799, 2-800, 2-801, 2-802, 2-803, 2-804, 2-805, 2-806, 2-807, 2-808, 2-809, 2-810, 2-811, 2-812, 2-813, 2-814, 2-815, 2-816, 2-817, 2-818, 2-819, 2-820, 2-821, 2-822, 2-823, 2-824, 2-825, 2-826, 2-827, 2-828, 2-829, 2-830, 2-831, 2-832, 2-833, 2-834, 2-835, 2-836, 2-837, 2-838, 2-839, 2-840, 2-841, 2-842, 2-843, 2-844, 2-845, 2-846, 2-847, 2-848, 2-849, 2-850, 2-851, 2-852, 2-853, 2-854, 2-855, 2-856, 2-857, 2-858, 2-859, 2-860, 2-861, 2-862, 2-863, 2-864, 2-865, 2-866, 2-867, 2-868, 2-869, 2-870, 2-871, 2-872, 2-873, 2-874, 2-875, 2-876, 2-877, 2-878, 2-879, 2-880, 2-881, 2-882, 2-883, 2-884, 2-885, 2-886, 2-887, 2-888, 2-889, 2-890, 2-891, 2-892, 2-893, 2-894, 2-895, 2-896, 2-897, 2-898, 2-899, 2-900, 2-901, 2-902, 2-903, 2-904, 2-905, 2-906, 2-907, 2-908, 2-909, 2-910, 2-911, 2-912, 2-913, 2-914, 2-915, 2-916, 2-917, 2-918, 2-919, 2-920, 2-921, 2-922, 2-923, 2-924, 2-925, 2-926, 2-927, 2-928, 2-929, 2-930, 2-931, 2-932, 2-933, 2-934, 2-935, 2-936, 2-937, 2-938, 2-939, 2-940, 2-941, 2-942, 2-943, 2-944, 2-945, 2-946, 2-947, 2-948, 2-949, 2-950, 2-951, 2-952, 2-953, 2-954, 2-955, 2-956, 2-957, 2-958, 2-959, 2-960, 2-961, 2-962, 2-963, 2-964, 2-965, 2-966, 2-967, 2-968, 2-969, 2-970, 2-971, 2-972, 2-973, 2-974, 2-975, 2-976, 2-977, 2-978, 2-979, 2-980, 2-981, 2-982, 2-983, 2-984, 2-985, 2-986, 2-987, 2-988, 2-989, 2-990, 2-991, 2-992, 2-993, 2-994, 2-995, 2-996, 2-997, 2-998, 2-999, 3-000, 3-001, 3-002, 3-003, 3-004, 3-005, 3-006, 3-007, 3-008, 3-009, 3-010, 3-011, 3-012, 3-013, 3-014, 3-015, 3-016, 3-017, 3-018, 3-019, 3-020, 3-021, 3-022, 3-023, 3-024, 3-025, 3-026, 3-027, 3-028, 3-029, 3-030, 3-031, 3-032, 3-033, 3-034, 3-035, 3-036, 3-037, 3-038, 3-039, 3-040, 3-041, 3-042, 3-043, 3-044, 3-045, 3-046, 3-047, 3-048, 3-049, 3-050, 3-051, 3-052, 3-053, 3-054, 3-055, 3-056, 3-057, 3-058, 3-059, 3-060, 3-061, 3-062, 3-063, 3-064, 3-065, 3-066, 3-067, 3-068, 3-069, 3-070, 3-071, 3-072, 3-073, 3-074, 3-075, 3-076, 3-077, 3-078, 3-079, 3-080, 3-081, 3-082, 3-083, 3-084, 3-085, 3-086, 3-087, 3-088, 3-089, 3-090, 3-091, 3-092, 3-093, 3-094, 3-095, 3-096, 3-097, 3-098, 3-099, 3-100, 3-101, 3-102, 3-103, 3-104, 3-105, 3-106, 3-107, 3-108, 3-109, 3-110, 3-111, 3-112, 3-113, 3-114, 3-115, 3-116, 3-117, 3-118, 3-119, 3-120, 3-121, 3-122, 3-123, 3-124, 3-125, 3-126, 3-127, 3-128, 3-129, 3-130, 3-131, 3-132, 3-133, 3-134, 3-135, 3-136, 3-137, 3-138, 3-139, 3-140, 3-141, 3-142, 3-143, 3-144, 3-145, 3-146, 3-147,



LANDS N/F
PINNACLE REALTY LLC
L. 6262 F. 464
TM: 24 23 840
ZONE: B-2
USE: EXISTING AUTOMOBILE
SERVICE STATION

LANDS N/F
KEVIN GREENE AND
SHARON W. IRONSIDE LONDON
L. 18359 F. 026
TM: 24 24 736
ZONE: R-20
USE: EXISTING SINGLE FAMILY DWELLING

LANDS N/F
HERMON A. EDDY
L. 4555 F. 349
TM: 24 24 719
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HOWARD COUNTY MARYLAND
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OLD COLUMBIA PIKE
ASPHALT PAVED PUBLIC ROADWAY
MINOR ARTERIAL
SPEED LIMIT 40 MPH

MONTGOMERY ROAD - MD RTE 103
ASPHALT PAVED PUBLIC ROADWAY
MINOR ARTERIAL
SPEED LIMIT 40 MPH

N 578,850
E 1,962,890

N 578,700
E 1,963,600

N 578,700
E 1,962,890

HOWARD SCD
SIGNATURE BLOCK
THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT
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DocuSigned by:
Alexander Bratchis/28/2022
65648D58A9884C1
DATE

OWNER'S/DEVELOPER'S CERTIFICATION:
I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE
DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING
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DocuSigned by:
Joseph Wills
OWNER/DEVELOPER'S SIGNATURE
DATE: 5/19/2022
PRINT NAME: Joseph Wills
TITLE: President

DESIGN CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT
MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS,
THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL
KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE
REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
DocuSigned by:
Andrew G. Stine
DESIGNER'S SIGNATURE
DATE: 5/18/22
PRINT NAME: ANDREW G. STINE, P.E.
37687
MD LICENSE NUMBER

APPROVED: DEPARTMENT OF PLANNING AND ZONING
DocuSigned by:
Chris Edmondson
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 6/28/2022
DocuSigned by:
1E875478A22848A
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 6/28/2022
DocuSigned by:
Amy Stovan
DIRECTOR
DATE

DRAINAGE AREA	MEASURE	AREA
1A	DIVERSION FENCE	0.334 AC.
1B	DIVERSION FENCE	0.150 AC.
2	AT GRADE INLET PROTECTION	0.286 AC.
3	AT GRADE INLET PROTECTION	0.359 AC.
4	COMBINATION INLET PROTECTION	0.055 AC.
5	SUPER SILT FENCE	0.222 AC.
6	SUPER SILT FENCE	0.009 AC.

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REV	DATE	COMMENT	DRAWN BY

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APPROVED FOR CONSTRUCTION
THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD132045
DRAWN BY: MCO
CHECKED BY: RMS
DATE: 5/5/22
CAD ID: MD132045-0CP-3.DWG

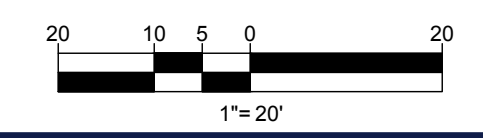
SITE DEVELOPMENT PLAN
FOR
DASH IN
STORE # 1833
4205 MONTGOMERY ROAD
(MD ROUTE 103)
ELLICOTT CITY, MD 21043
TM 24, GRID 24, PARCEL 311
HOWARD COUNTY
2ND ELECTION DISTRICT
B-2 ZONE

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

ANDREW G. STINE
PROFESSIONAL ENGINEER
2300 WOODBURN AVE. SUITE 202
L.A. PLATA, MD 20646
PHONE: 240-320-6448
EMAIL: a@bohlereng.com
DATE: 2022.05.23
14:01:36 -04'00'

INTERIM E&S MEASURE DRAINAGE AREA MAP
SHEET NUMBER:
20
OF 45
FILE NO. SDP-21-009

OWNER: POTOMAC ENERGY HOLDINGS, LLC
DEVELOPER: DASH-IN
LA PLATA, MD 20646
102 CENTENNIAL STREET, STE. 100
LA PLATA, MD 20645
CONTACT: JASON BELT
PHONE: 240-320-6448
CONTACT: JASON BELT
PHONE: 240-320-6448
TAX MAP: 24
GRID: 24
PARCEL: 311
ZONED: B-2
2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SUBDIVISION NAME: THE SHELL OIL CO.
SECTION/AREA: N/A
DEED #
11625/10400



B-4 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

DEFINITION
USING VEGETATION AS COVER TO PROTECT EXPOSED SOIL FROM EROSION.
PURPOSE
TO PROMOTE THE ESTABLISHMENT OF VEGETATION ON EXPOSED SOIL.
CONDITIONS WHERE PRACTICE APPLIES
ON ALL DISTURBED AREAS NOT STABILIZED BY OTHER METHODS...

B-4-1 STANDARDS AND SPECIFICATIONS FOR INCREMENTAL STABILIZATION

DEFINITION
ESTABLISHMENT OF VEGETATIVE COVER ON CUT AND FILL SLOPES.
PURPOSE
TO PROVIDE TIMELY VEGETATIVE COVER ON CUT AND FILL SLOPES AS WORK PROGRESSES.
CONDITIONS WHERE PRACTICE APPLIES
ANY CUT OR FILL SLOPE GREATER THAN 15 FEET IN HEIGHT...

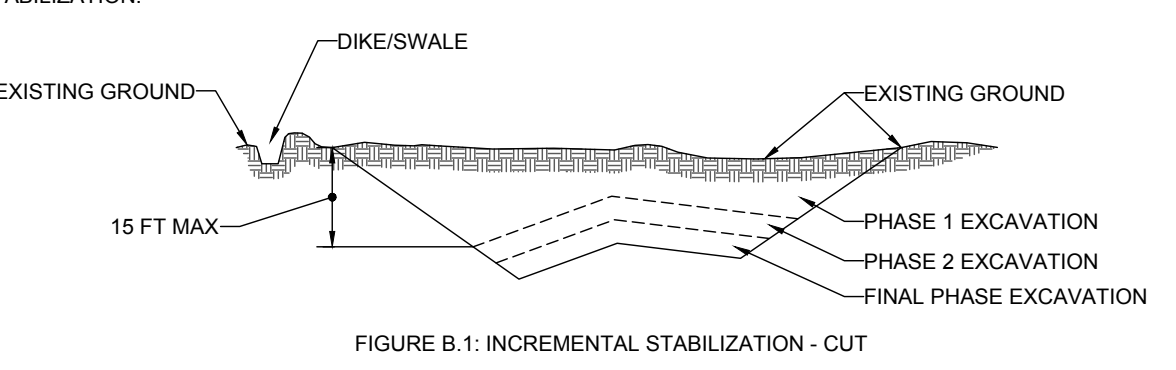


FIGURE B.1: INCREMENTAL STABILIZATION - CUT

B. INCREMENTAL STABILIZATION - FILL SLOPES
1. CONSTRUCT AND STABILIZE FILL SLOPES IN INCREMENTS NOT TO EXCEED 15 FEET IN HEIGHT. PREPARE SEEDBED AND APPLY SEED AND MULCH ON ALL SLOPES AS THE WORK PROGRESSES.
2. STABILIZE SLOPES IMMEDIATELY WHEN THE VERTICAL HEIGHT OF A LIFT REACHES 15 FEET...

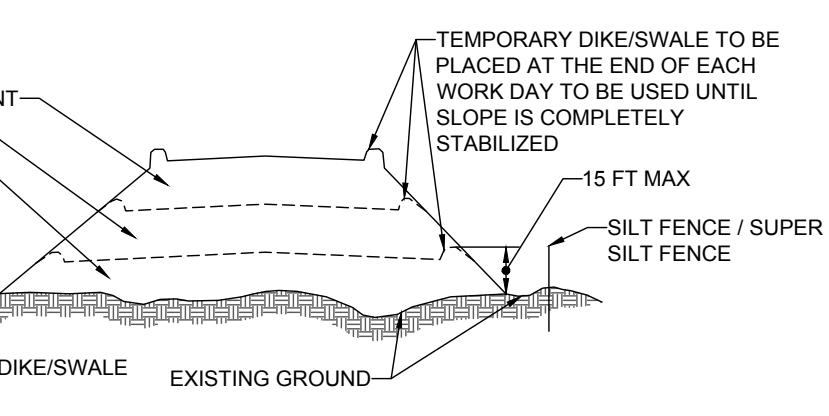


FIGURE B.2: INCREMENTAL STABILIZATION - FILL

B-4-2 STANDARDS AND SPECIFICATIONS FOR FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

DEFINITION
THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.
PURPOSE
TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.
CONDITIONS WHERE PRACTICE APPLIES
WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.
CRITERIA
A. SOIL PREPARATION
1. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT...

B. TOPSOILING
1. TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.
2. TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS...

6. TOPSOIL APPLICATION
a. EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL.
b. UNIFORMLY DISTRIBUTE TOPSOIL IN A 1.5 TO 2 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES.
c. TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION.
C. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)
1. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE...

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITION
THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.
PURPOSE
TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.
CONDITIONS WHERE PRACTICE APPLIES
TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.

CRITERIA
A. SEEDING
1. SPECIFICATIONS
a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY.
b. MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN.
c. INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA...
2. APPLICATION
a. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS.
b. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND FERTILIZER).
c. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE...

Table with 5 columns: NO., SPECIES, APPLICATION RATE (LB/AC), SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE (10-20-20), LIME RATE. Includes sections for COOL SEASON GRASSES and WARM SEASON GRASSES.

1. SEEDING RATES FOR THE WARM-SEASON GRASSES ARE IN POUNDS OF PURE LIVE SEED (PLS). ACTUAL PLANTING RATES SHALL BE ADJUSTED TO REFLECT PERCENT SEED GERMINATION AND PURITY AS TESTED. ADJUSTMENTS ARE USUALLY NOT NEEDED FOR THE COOL-SEASON GRASSES.
SEEDING RATES LISTED ABOVE ARE FOR TEMPORARY SEEDINGS. WHEN PLANTED ALONE AS A NURSE CROP WITH PERMANENT SEED MIXES, USE 1/3 OF THE SEEDING RATE LISTED ABOVE FOR BARLEY, OATS, AND WHEAT...

APPROVED: DEPARTMENT OF PLANNING AND ZONING. Includes signatures and dates for Chief Development Engineering Division and Chief Division of Land Development.

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION
TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.
PURPOSE
TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.
CONDITIONS WHERE PRACTICE APPLIES
EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

CRITERIA
A. SEED MIXTURES
1. GENERAL USE
a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2.
b. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 - CRITICAL AREA PLANTING.
c. FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY.
d. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY USE-A FORM FERTILIZER (40-0-0) AT 1 1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.
2. TURFGRASS MIXTURES
a. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.
b. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
i. KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT. IRRIGATION REQUIRED IN THE AREAS OF CENTRAL, MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
ii. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
iii. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURE INCLUDES: CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED.
iv. KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS, FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA. MIXTURE INCLUDES: CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATE: 1 1/2 TO 3 POUNDS PER 1000 SQUARE FEET.
NOTES:
SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND." CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES: WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 15 (HARDINESS ZONES: 5B, 6A) CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: 6B) SOUTHERN MD, EASTERN SHORE, MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONES: 7A, 7B)
d. TILL AREAS TO RECEIVE SEED BY DISKS OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES. LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 1/2 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY.
e. SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE SITES.

PERMANENT SEEDING SUMMARY table with columns for NO., SPECIES, APPLICATION RATE (LB/AC), SEEDING DATES, SEEDING DEPTHS, N, P205, K2O, LIME RATE.

NOTES:
1. THE PLANTING DATES LISTED ARE AVERAGES FOR EACH ZONE. THESE DATES MAY REQUIRE ADJUSTMENT TO REFLECT LOCAL CONDITIONS, ESPECIALLY NEAR THE BOUNDARIES OF THE ZONES. WHEN SEEDING TOWARD THE END OF THE LISTED PLANTING DATES, OR WHEN CONDITIONS ARE EXPECTED TO BE LESS THAN OPTIMAL, SELECT AN APPROPRIATE NURSE CROP FROM TABLE B.1 TEMPORARY SEEDING FOR SITE STABILIZATION AND PLANT TOGETHER WITH THE PERMANENT SEEDING MIX.
2. WHEN PLANTING DURING THE GROWING SEASON, MOST OF THESE MATERIALS MUST BE PURCHASED AND KEPT IN A DORMANT CONDITION UNTIL PLANTING. BARE-ROOT GRASSES ARE THE EXCEPTION—THEY MAY BE SUPPLIED AS GROWING (NON-DORMANT) PLANTS.
* ADDITIONAL PLANTING DATES FOR THE LOWER COASTAL PLANT, DEPENDENT ON ANNUAL RAINFALL AND TEMPERATURE TRENDS. RECOMMEND ADDING A NURSE CROP, AS NOTED ABOVE, IF PLANTING DURING THIS PERIOD.
** WARM-SEASON GRASSES NEED A SOIL TEMPERATURE OF AT LEAST 50 DEGREES F IN ORDER TO GERMINATE. IF SOIL TEMPERATURES ARE COLDER THAN 50 DEGREES, OR MOISTURE IS NOT ADEQUATE, THE SEEDS WILL REMAIN DORMANT UNTIL CONDITIONS ARE FAVORABLE. IN GENERAL, PLANTING DURING THE LATTER PORTION OF THIS PERIOD ALLOWS MORE TIME FOR WEED EMERGENCE AND WEED CONTROL PRIOR TO PLANTING.
* WHEN SELECTING A PLANTING DATE, CONSIDER THE NEED FOR WEED CONTROL VS. THE LIKELIHOOD OF HAVING SUFFICIENT MOISTURE FOR LATER PLANTINGS, ESPECIALLY ON DROUGHTY SITES.
* ADDITIONAL PLANTING DATES DURING WHICH SUPPLEMENTAL WATERING MAY BE NEEDED TO ENSURE PLANT ESTABLISHMENT.
** FROST-FREEZING AND THAWING OF WET SOILS MAY RESULT IN FROST-HEAVING OF MATERIALS PLANTED IN LATE FALL. IF PLANTS HAVE NOT SUCCEFULLY ROOTED IN PLACE, SOIL USUALLY NEEDS 4 TO 6 WEEKS TO BECOME SUFFICIENTLY ROOTED. LARGE CONTAINERIZED AND BALLED-AND-BURLAPPED STOCK MAY BE PLANTED INTO THE WINTER MONTHS AS LONG AS THE GROUND IS NOT FROZEN AND SOIL MOISTURE IS ADEQUATE.
** FOR THE PERIOD 5/1 - 8/14 ADD EITHER FOXTAIL OR PEARL MILLET - 6 LB/AC. TO MIX NO. 9, 2.25 LB/AC. TO MIX NO. 5

B. SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).
1. GENERAL SPECIFICATIONS
a. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.
b. SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 1/4 INCH, PLUS OR MINUS 1/8 INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH. BROKEN PANS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE.
c. STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.
d. SOD MUST NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
e. SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPORTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.
2. SOD INSTALLATION
a. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD.
b. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS.
c. WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP. PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS AND THE UNDERLYING SUBSOIL SURFACE.
d. WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN EIGHT HOURS.
3. SOD MAINTENANCE
a. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING.
b. AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT.
c. DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/2 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

OWNER'S/DEVELOPER'S CERTIFICATION: WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL BE PROVIDED WITH A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. WE ALSO CERTIFY THAT THE SITE WILL BE INSPECTED AT THE END OF EACH WORKING DAY TO ENSURE THAT ANY NECESSARY CORRECTIVE MEASURES WILL BE COMPLETED SO AS TO ENSURE THAT ALL SEDIMENT CONTROL PRACTICES ARE LEFT IN OPERATIONAL CONDITION. WE CERTIFY THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR NDE.

HOWARD SCD SIGNATURE BLOCK. Includes signature of Alexander Brantner, dated 5/19/2022, for Howard Soil Conservation District.

OWNER/DEVELOPER INFORMATION: OWNER: POTOMAC ENERGY HOLDINGS, LLC; DEVELOPER: DASH-IN; ADDRESS: 102 CENTENNIAL STREET, STE. 100, LA PLATA, MD 20646; CONTACT: JASON BELT; PHONE: 240-320-6448.

BOHLER logo and vertical text: SITE CIVIL AND CONSULTING ENGINEERING, PROGRAM MANAGEMENT, LANDSCAPE ARCHITECTURE, SUSTAINABLE DESIGN, PERMITTING SERVICES, TRANSPORTATION SERVICES.

REVISIONS table with columns: REV, DATE, COMMENT, DRAWN BY, CHECKED BY.

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APPROVED FOR CONSTRUCTION stamp with project details: PROJECT NO. MD132045, DRAWN BY MCO, CHECKED BY RSM, DATE 5/19/2022, PROJECT: MD132045-SD-3.DWG.

SITE DEVELOPMENT PLAN FOR DASH IN STORE # 1833. 4205 MONTGOMERY ROAD (MD ROUTE 103), ELLICOTT CITY, MD 21043, TM 24, GRID 24, PARCEL 311, HOWARD COUNTY, 2ND ELECTION DISTRICT, B-2 ZONE.

BOHLER logo and address: 901 DULANEY VALLEY ROAD, SUITE 801, TOWSON, MARYLAND 21204. Phone: (410) 821-7900, Fax: (410) 821-7987, Email: astine@bohlereng.com, MD@BohlerEng.com.

ANDREW G. STINE logo and text: PROFESSIONAL ENGINEER, LICENSE NO. 31667, EXPIRATION DATE: 7/12/23. SHEET TITLE: EROSION & SEDIMENT CONTROL NOTES & DETAILS. SHEET NUMBER: 22 OF 45. FILE NO. SDP-21-009.

DETAIL E-3 SUPER SILT FENCE

CONSTRUCTION SPECIFICATIONS

- INSTALL 2 3/8 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 8 INCHES INTO THE GROUND.
- FASTEN 8 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2 1/2 INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUB RINGS.
- FASTEN WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH THIS SPACING EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 6 INCHES INTO THE GROUND.
- WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.
- EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.
- PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/PERMITS AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN, IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011

DETAIL E-9-6 COMBINATION INLET PROTECTION

CONSTRUCTION SPECIFICATIONS

- USE NOMINAL 2 INCH x 4 INCH LUMBER.
- USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
- LIFT GRATE AND WRAP WITH NONWOVEN GEOTEXTILE TO COMPLETELY COVER ALL OPENINGS. THEN SET GRATE BACK IN PLACE.
- ATTACH A CONTINUOUS PIECE OF 1/2 INCH GALVANIZED HARDWARE CLOTH WITH A MINIMUM WIDTH OF 30 INCHES AND A MINIMUM LENGTH OF 4 FEET LONGER THAN THE THROAT OPENING. TO THE 2X4 WEIR, EXTENDING 2 FEET BEYOND THROAT ON EACH SIDE.
- PLACE A CONTINUOUS PIECE OF NONWOVEN GEOTEXTILE THE SAME DIMENSIONS AS THE HARDWARE CLOTH OVER THE HARDWARE CLOTH AND SECURELY ATTACH IT TO THE WEIR.
- NAIL THE 2X4 WEIR TO THE TOP OF A 6 INCH LONG VERTICAL SPACER TO BE LOCATED BETWEEN THE WEIR AND THE INLET FACE (MAXIMUM 4 FEET APART).
- PLACE THE ASSEMBLY AGAINST THE INLET THROAT AND NAIL TO 2X4 ANCHORS (MINIMUM 2 FOOT LENGTH) OF 2x4 INCH TO THE TOP OF THE WEIR AT SPACER LOCATIONS. EXTEND 2X4 ANCHORS ACROSS THE INLET TOP AND HOLD IN PLACE BY SANDBAGS OR OTHER APPROVED ANCHORING METHOD.
- INSTALL END SPACERS A MINIMUM OF 1 FOOT BEYOND BOTH ENDS OF THE THROAT OPENING.
- FORM THE 1/2 INCH HARDWARE CLOTH AND GEOTEXTILE TO THE CONCRETE GUTTER AND AGAINST THE FACE OF THE CURB ON BOTH SIDES OF THE INLET. PLACE CLEAN 1/2 TO 3/4 INCH STONE OR EQUIVALENT RECYCLED CONCRETE OVER THE HARDWARE CLOTH AND GEOTEXTILE IN SUCH A MANNER TO PREVENT WATER FROM ENTERING THE INLET UNDER OR AROUND THE GEOTEXTILE.
- AT NON-SUMP LOCATIONS, INSTALL A TEMPORARY SANDBAG OR ASPHALT BERM TO PREVENT INLET BYPASS.
- STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

DEFINITION
TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

PURPOSE
TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES
EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

CRITERIA

- SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TABLE B.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN.
- FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY. SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING.
- WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3-1.1B AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: [Signature] 6/28/2022

Chief, Division of Land Development: [Signature] 6/28/2022

Director: [Signature] 6/28/2022

B-4-6 STANDARDS AND SPECIFICATIONS FOR SOIL STABILIZATION MATTING

DEFINITION
MATERIAL USED TO TEMPORARILY OR PERMANENTLY STABILIZE CHANNELS OR STEEP SLOPES UNTIL GROUND COVER IS ESTABLISHED.

PURPOSE
TO PROTECT THE SOILS UNTIL VEGETATION IS ESTABLISHED.

CONDITIONS WHERE PRACTICE APPLIES
ON NEWLY SEEDED SURFACES TO PREVENT THE APPLIED SEED FROM WASHING OUT, IN CHANNELS AND ON STEEP SLOPES WHERE THE FLOW HAS EROSION VELOCITIES OR CONVEYS CLEAR WATER, ON TEMPORARY SWALES, EARTH DIKES, AND PERMETER DIKE SWALES AS REQUIRED BY THE RESPECTIVE DESIGN STANDARD, AND, ON STREAM BANKS WHERE MOVING WATER IS LIKELY TO WASH OUT NEW VEGETATIVE PLANTINGS.

DESIGN CRITERIA

- THE SOIL STABILIZATION MATTING THAT IS USED MUST WITHSTAND THE FLOW VELOCITIES AND SHEAR STRESSES DETERMINED FOR THE AREA, BASED ON THE 2-YEAR, 24-HOUR FREQUENCY STORM FOR TEMPORARY APPLICATIONS AND THE 10-YEAR, 24-HOUR FREQUENCY STORM FOR PERMANENT APPLICATIONS. DESIGNATE ON THE PLAN THE TYPE OF SOIL STABILIZATION MATTING USING THE STANDARD SYMBOL AND INCLUDE THE CALCULATED SHEAR STRESS FOR THE RESPECTIVE TREATMENT AREA.
- MATting IS REQUIRED ON PERMANENT CHANNELS WHERE THE RUNOFF VELOCITY EXCEEDS TWO AND HALF FEET PER SECOND (2.5 FPS) OR THE SHEAR STRESS EXCEEDS TWO POUNDS PER SQUARE FOOT (2 LBS/FT²). ON TEMPORARY CHANNELS DISCHARGING TO A SEDIMENT TRAPPING PRACTICE, PROVIDE MATTING WHERE THE RUNOFF VELOCITY EXCEEDS FOUR FEET PER SECOND (4 FPS).
- TEMPORARY SOIL STABILIZATION MATTING IS MADE WITH DEGRADABLE (LASTS 6 MONTHS MINIMUM), NATURAL, OR MANMADE FIBERS OF UNIFORM THICKNESS AND DISTRIBUTION OF FIBERS THROUGHOUT AND IS SMOLDER RESISTANT. THE MAXIMUM PERMISSIBLE VELOCITY FOR TEMPORARY MATTING IS 6 FEET PER SECOND.
- PERMANENT SOIL STABILIZATION MATTING IS AN OPEN WEAVE, SYNTHETIC MATERIAL CONSISTING OF NONDEGRADABLE FIBERS OR ELEMENTS OF UNIFORM THICKNESS AND DISTRIBUTION OF WEAVE THROUGHOUT. THE MAXIMUM PERMISSIBLE VELOCITY FOR PERMANENT MATTING IS 8.5 FEET PER SECOND.
- CALCULATE CHANNEL VELOCITY AND SHEAR STRESS USING THE PROCEDURE OUTLINED ON PAGE B.36 OF THE MDE MANUAL.
- USE TABLE B.7 ON PAGE B.37 OF THE MDE MANUAL TO ASSIST IN SELECTING THE APPROPRIATE SOIL STABILIZATION MATTING FOR SLOPE APPLICATIONS BASED ON THE SLOPE, THE SLOPE LENGTH, AND THE SOIL-EROSIBILITY K FACTOR.

MAINTENANCE
VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

OWNER'S/DEVELOPER'S CERTIFICATION:
I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION OF THIS PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I/WE ALSO CERTIFY THAT THE SITE WILL BE INSPECTED AT THE END OF EACH WORKING DAY, AND THAT ANY NEEDED MAINTENANCE WILL BE COMPLETED SO AS TO ENSURE THAT ALL SEDIMENT CONTROL PRACTICES ARE LEFT IN OPERATIONAL CONDITION. I/WE CERTIFY THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR ME.

DESIGN CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICABLE AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Andrew G. Stine, P.E.
Digitally signed by Andrew G. Stine, P.E.
DN: cn=Andrew G. Stine, P.E., o=Bohler, ou=HOWARD COUNTY, email=astine@bohlereng.com, c=US
Date: 2022.05.23 14:00:50 -0400

HOWARD SCD SIGNATURE BLOCK
THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
[Signature] 6/28/2022
HOWARD SOIL CONSERVATION DISTRICT DATE

OWNER: POTOMAC ENERGY HOLDINGS, LLC
PO BOX 2810
LA PLATA, MD 20646
CONTACT: JASON BELT
PHONE: 240-320-6448

DEVELOPER: DASH IN
102 CENTENNIAL STREET, STE. 100
LA PLATA, MD 20645
CONTACT: JASON BELT
PHONE: 240-320-6448

TAX MAP: 24 GRID: 24 PARCEL: 311
ZONED: B-2
2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SUBDIVISION NAME: THE SHELL OIL CO.
SECTION/AREA: N/A
DEED # 11625/10400
FILE NO. SDP-21-009

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY

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APPROVED FOR CONSTRUCTION

PROJECT NO.: MD132045
DRAWN BY: MCO
CHECKED BY: RMS
DATE: 5/19/2022
CAD ID: MD132045-RDP-3.DWG

SITE DEVELOPMENT PLAN

FOR

DASH IN

STORE # 1833

4205 MONTGOMERY ROAD
(MD ROUTE 103)
ELLCOTT CITY, MD 21043
TM 24, GRID 24, PARCEL 311
HOWARD COUNTY
2ND ELECTION DISTRICT
B-2 ZONE

BOHLER

901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

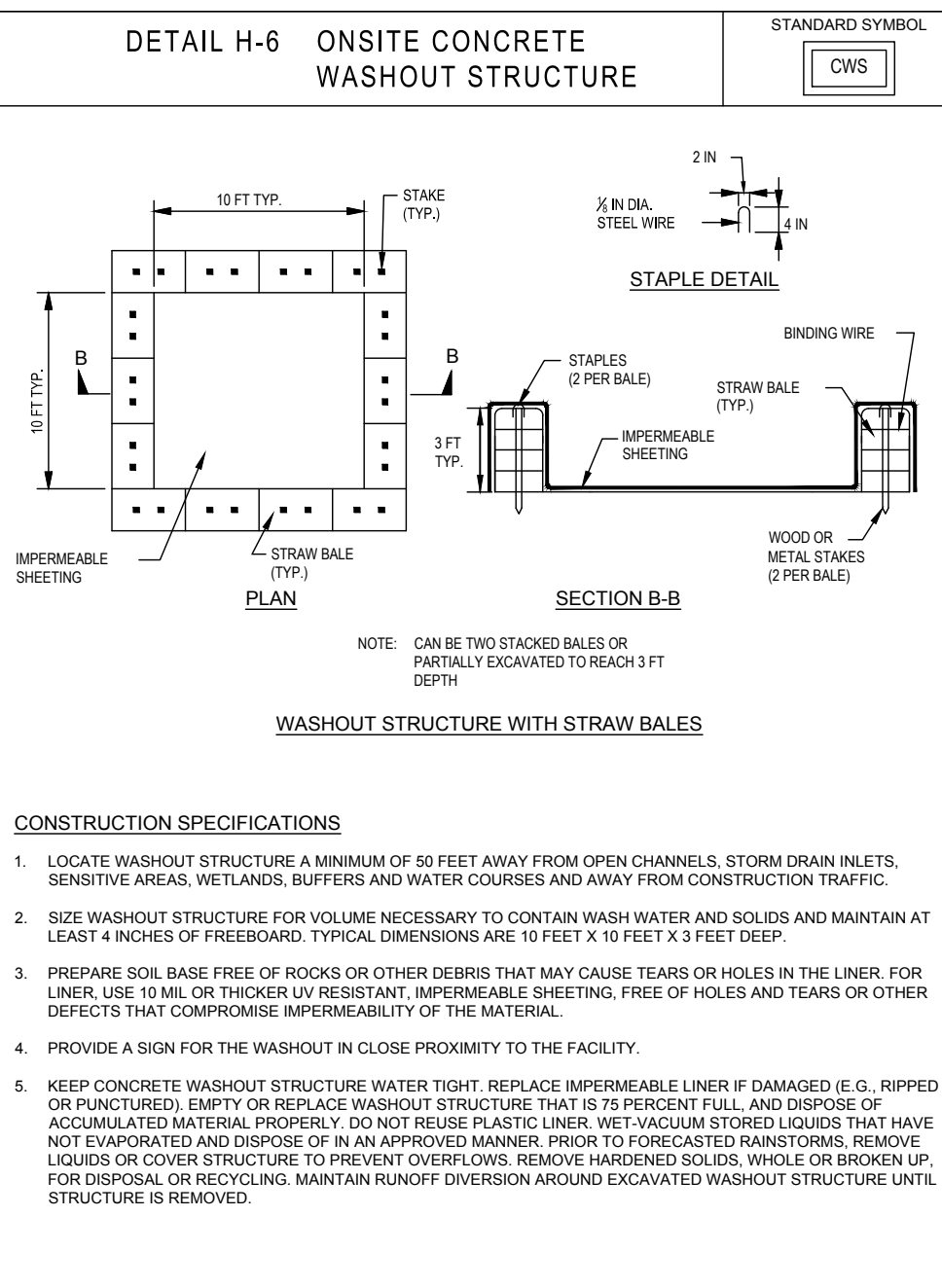
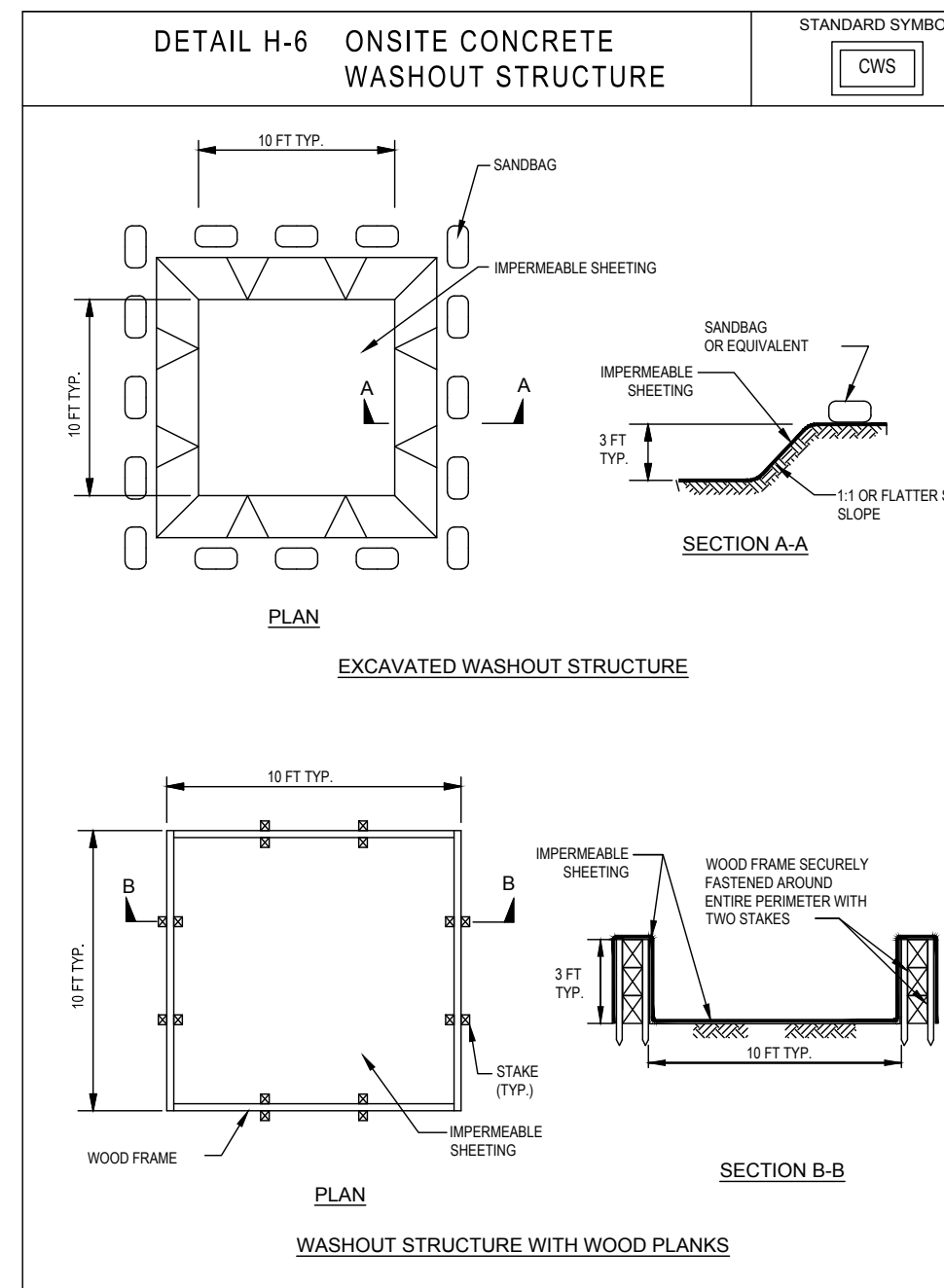
ANDREW G. STINE
PROFESSIONAL ENGINEER
DESIGNATION NO. 37887
LICENSE NO. 37887, EXPIRATION DATE: 7/1/23

EROSION & SEDIMENT CONTROL NOTES & DETAILS

SHEET NUMBER: **23** OF 45

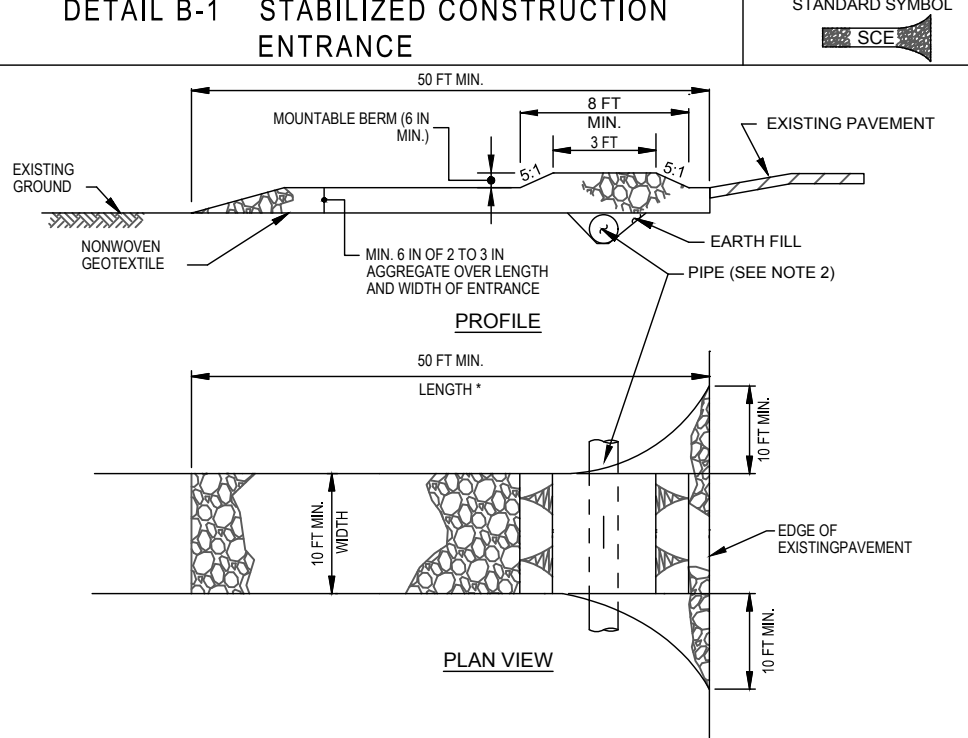
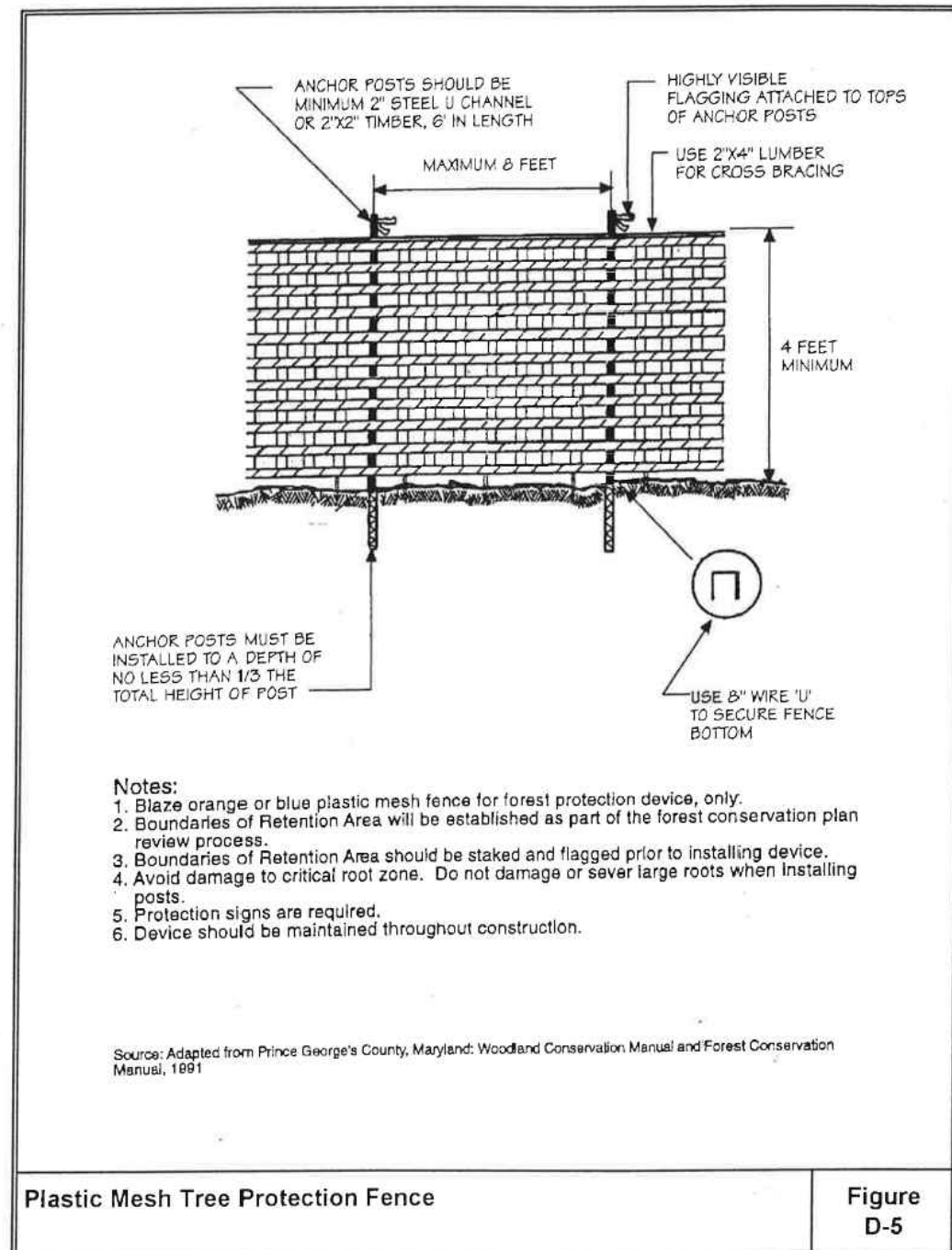
HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES

- A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER THE FUTURE LOD AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MINIMUM OF 48 HOUR NOTICE TO CID MUST BE GIVEN AT THE FOLLOWING STAGES:
 - PRIOR TO THE START OF EARTH DISTURBANCE.
 - UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
 - PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF ANOTHER GRADING UNIT.
 - PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL PRACTICES.
 OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE. OTHER RELATED STATE AND FEDERAL PERMITS SHALL BE REFERENCED, TO ENSURE COORDINATION AND TO AVOID CONFLICTS WITH THIS PLAN.
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE GRADING.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR TOPSOIL (SEC. B-4-2), PERMANENT SEEDING (SEC. B-4-5), TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES IF THE GROUND IS FROZEN. INCREMENTAL STABILIZATION (SEC. B-4-1) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH >15' OF CUT AND/OR FILL. STOCKPILES (SEC. B-4-8) IN EXCESS OF 20 FT. MUST BE BENCHED WITH STABLE OUTLET. ALL CONCENTRATED FLOW, STEEP SLOPE, AND HIGHLY ERODIBLE AREAS SHALL RECEIVE SOIL STABILIZATION MATTINGS (SEC. B-4-6).
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE CID.
- SITE ANALYSIS:
 - TOTAL AREA OF SITE: 1.04 ACRES
 - AREA DISTURBED: 0.97 ACRES
 - AREA TO BE ROOFED OR PAVED: 0.69 ACRES
 - AREA TO BE VEGETATIVELY STABILIZED: 0.35 ACRES
 - TOTAL CUT: 990 CU. YDS
 - TOTAL FILL: 70 CU. YDS
 - OFFSITE WASTE/BORROW AREA LOCATION: _____
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE CID. THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY, AND THE NEXT DAY AFTER EACH RAIN EVENT. A WRITTEN REPORT BY THE CONTRACTOR, MADE AVAILABLE UPON REQUEST, IS PART OF EVERY INSPECTION AND SHOULD INCLUDE:
 - INSPECTION DATE
 - INSPECTION TYPE (ROUTINE, PRE-STORM EVENT, DURING RAIN EVENT)
 - NAME AND TITLE OF INSPECTOR
 - WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST RECORDED PRECIPITATION)
 - BRIEF DESCRIPTION OF PROJECT'S STATUS (E.G., PERCENT COMPLETE) AND/OR CURRENT ACTIVITIES
 - EVIDENCE OF SEDIMENT DISCHARGES
 - IDENTIFICATION OF PLAN DEFICIENCIES
 - IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAINTENANCE
 - IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS
 - COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTRUCTION AND STABILIZATION REQUIREMENTS
 - PHOTOGRAPHS
 - MONITORING/SAMPLING
 - MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED
 - OTHER INSPECTION ITEMS AS REQUIRED BY THE GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES (NPDES, MDE).
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER.
- ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE HSCD PRIOR TO PROCEEDING WITH CONSTRUCTION. MINOR REVISIONS MAY ALLOWED BY THE CID PER THE LIST OF HSCD-APPROVED FILE CHANGES.
- DISTURBANCE SHALL NOT OCCUR OUTSIDE THE L.O.D. A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE CID. UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE HSCD, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME. WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT STRUCTURE.
- TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDISTRIBUTION ONTO FINAL GRADE.
- ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON-THE-CONTOUR, AND BE IMBRICATED AT 25' MINIMUM INTERVALS, WITH LOWER ENDS CURLED UPHILL BY 2' IN ELEVATION.
- STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS (INCLUSIVE):
 - USE I AND II: MARCH 1 - JUNE 15
 - USE III AND IIII: OCTOBER 1 - APRIL 30
 - USE IV: MARCH 1 - MAY 31
- A COPY OF THIS PLAN, THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND ASSOCIATED PERMITS SHALL BE ON-SITE AND AVAILABLE WHEN THE SITE IS ACTIVE.



MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

CONSTRUCTION SPECIFICATIONS

- PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (30 FEET FOR SINGLE RESIDENCE LOTS). USE MINIMUM WIDTH OF 10 FEET. FLARE SIZE: 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BEAM WITH 5' SLOPES AND A MINIMUM OF 15 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BEAM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
- PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
- PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
- MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE. MOUNTABLE BEAM AND SPECIFIED DIMENSIONS IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

Plastic Mesh Tree Protection Fence Figure D-5

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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APPROVED FOR CONSTRUCTION

PROJECT No.: MD132045
DRAWN BY: MCO
CHECKED BY: RMS
DATE: 5/22/22
CAD ID.: MD132045-SDP-3.DWG

SITE DEVELOPMENT PLAN
FOR
DASH IN
STORE # 1833
4205 MONTGOMERY ROAD (MD ROUTE 103)
ELLICOTT CITY, MD 21043
TM 24, GRID 24, PARCEL 311
HOWARD COUNTY
2ND ELECTION DISTRICT
B-2 ZONE

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

ANDREW G. STINE
PROFESSIONAL ENGINEER
1 ANDREW G. STINE DRIVE
DUMFRIES, MD 21046
PHONE: 410-286-1111
FAX: 410-286-1112
E-MAIL: ANDREW@AGSTINE.COM
I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 37687, EXPIRATION DATE: 7/12/23

OWNER'S/DEVELOPER'S CERTIFICATION:

I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I, WE ALSO CERTIFY THAT THE SITE WILL BE INSPECTED AT THE END OF EACH WORKING DAY, AND THAT ANY NEEDED MAINTENANCE WILL BE COMPLETED SO AS TO ENSURE THAT ALL SEDIMENT CONTROL PRACTICES ARE LEFT IN OPERATIONAL CONDITION. I, WE CERTIFY THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

OWNER'S/DEVELOPER'S SIGNATURE: *Joseph Wills* DATE: 5/19/2022
PRINT NAME: Joseph Wills TITLE: President

DESIGN CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DESIGNER'S SIGNATURE: *Andrew G. Stine* DATE: 5/19/22
ANDREW G. STINE, P.E. 37687
PRINT NAME: Andrew G. Stine, P.E. MDC LICENSE NUMBER

OWNER: POTOMAC ENERGY HOLDINGS, LLC PO BOX 2810 LA PLATA, MD 20646 CONTACT: JASON BELT PHONE: 240-320-6448
DEVELOPER: DASH-IN 102 CENTENNIAL STREET, STE. 100 LA PLATA, MD 20645 CONTACT: JASON BELT PHONE: 240-320-6448

TAX MAP: 24 GRID: 24 PARCEL: 311
ZONED: B-2
2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SUBDIVISION NAME: THE SHELL OIL CO. SECTION/AREA: N/A DEED # 11627/10400

FILE NO. SDP-21-009

SHEET TITLE
EROSION & SEDIMENT CONTROL NOTES & DETAILS
SHEET NUMBER:
24
OF 45

HOWARD SCD SIGNATURE BLOCK
THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
DocuSigned by: Alexander Brubaker 5/28/2022
HOWARD SOIL CONSERVATION DISTRICT DATE

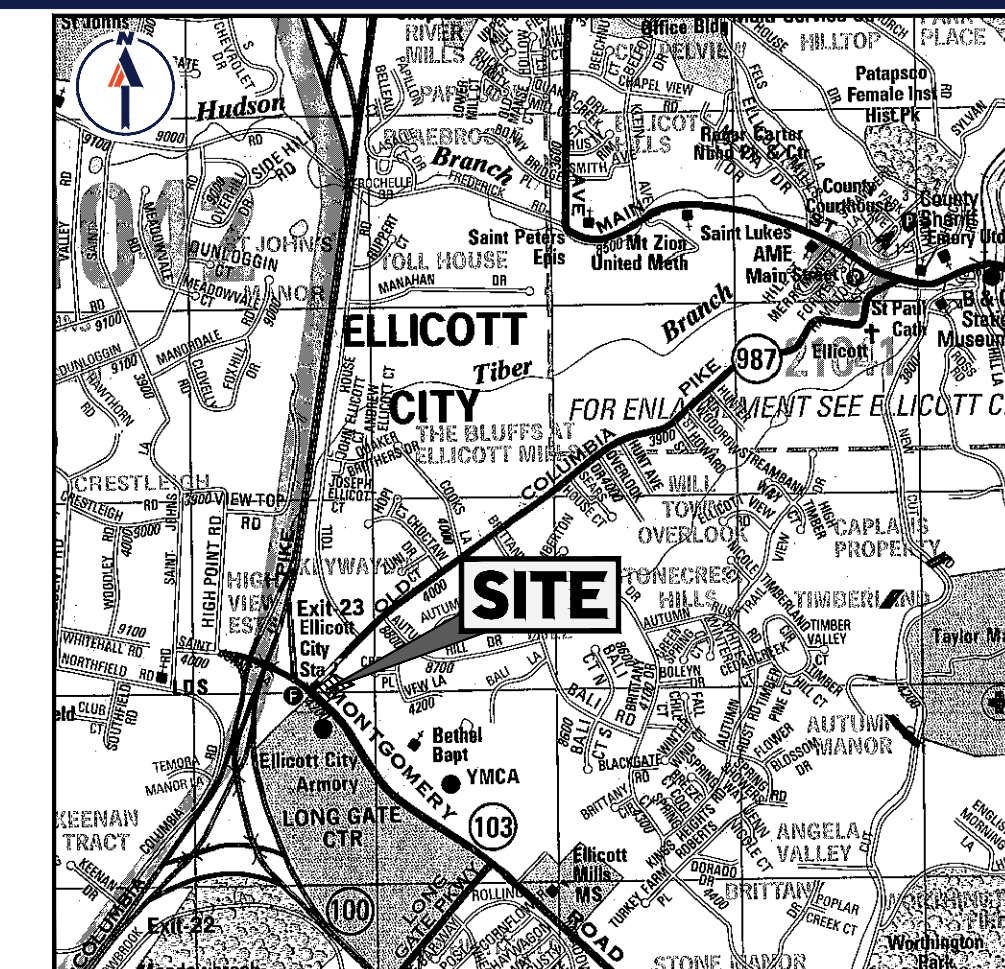
APPROVED: DEPARTMENT OF PLANNING AND ZONING
DocuSigned by: *Phil Edmondson* 6/28/2022
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
DocuSigned by: *Heidi K. P. P. P.* 6/28/2022
CHIEF, DIVISION OF LAND DEVELOPMENT DATE
DocuSigned by: *Angi Stoen* 6/28/2022
DIRECTOR DATE



LANDS N/F
PINNACLE REALTY LLC
L. 6262 F. 464
TM: 24 23 840
ZONE: B-2
USE: EXISTING AUTOMOBILE SERVICE STATION

LANDS N/F
KEVIN GREENE AND SHARON W. WINDSIDE LONDON
L. 18359 F. 90
TM: 24 24 736
ZONE: R-20
USE: EXISTING SINGLE FAMILY DWELLING

LANDS N/F
HERMON A. EDDY
L. 4555 F. 349
TM: 24 24 719
ZONE: R-20
USE: EXISTING SINGLE FAMILY DWELLING



LOCATION MAP
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PERMIT USE NO. 20602153-5
SCALE: 1"=200'

NOTE:

- LANDSCAPE CALCULATION:
20,298 S.F. OF LANDSCAPED AREA / 51,050 S.F. OF TOTAL SITE AREA = 0.398
OR 39.8% OF LANDSCAPED AREA ON SITE
39.8% > 20% REQUIRED LANDSCAPE AREA (COMPLIANT)
- BA-19-014C&V:
ALLOWS ONLY 17 PARKING SPACES

LANDSCAPE SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL. / HT.	CONT.
SHADE TREES					
GT1	7	GLEDITSIA TRIACANTHOS INERMIS	THORNLESS HONEYLOCUST	2 1/2-3' CAL. / 12-14'	B+B
OBC	3	QUERCUS BICOLOR	SWAMP WHITE OAK	2 1/2-3' CAL. / 12-14'	B+B
QPH	4	QUERCUS PHELLOS	WILLOW OAK	2 1/2-3' CAL. / 12-14'	B+B
QR	7	QUERCUS RUBRA	RED OAK	2 1/2-3' CAL. / 12-14'	B+B
SUBTOTAL: 21					
DECIDUOUS SHRUBS					
RCW	14	ROSA 'CAREFREE WONDER'	CAREFREE WONDER ROSE	24" HT. & SPREAD	3 GAL.
SBAW	21	SPIRAEA X BUMBALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	18-24" HT. & SPREAD	#3 CAN
SUBTOTAL: 35					
EVERGREEN SHRUBS					
JDP	55	JUNIPERUS DAURICA 'PARSON'	PARSON JUNIPER	15-18" SPRD.	#3 CAN

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	17 (INCLUDING 1 ADA SPACE)
NUMBER OF TREES REQUIRED: (1 / 20 SPACES)	NUMBER OF TREES REQUIRED: 1
NUMBER OF PLANTS PROVIDED: SHADE TREES	NUMBER OF PLANTS PROVIDED: 1
NUMBER OF LANDSCAPE ISLANDS REQUIRED: (1 / 20 SPACES)	1 REQUIRED / 1 PROVIDED

GENERAL NOTE:
1) STREET TREE REQUIREMENTS HAVE NOT BEEN PROVIDED AS PART OF THIS SITE DEVELOPMENT PLAN. THEY WILL BE PROVIDED AS PART OF THE MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION IMPROVEMENTS TO MD ROUTE 103 AND INTERSECTION OF OLD COLUMBIA PIKE.

Eric McWilliams
Digitally signed by Eric McWilliams
DN: cn=Eric McWilliams, o=Eric McWilliams, ou=Eric McWilliams, email=eric@bohlereng.com, c=US
Date: 2022.05.23 14:12:45 -0400

SCHEDULE A - PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAY (MONTGOMERY ROAD)	ADJACENT TO ROADWAY (OLD COLUMBIA PIKE)	ADJACENT TO DETACHED RESIDENTIAL	ADJACENT TO ALL OTHER USES (NON - RESIDENTIAL)
PERIMETER	PERIMETER 1	PERIMETER 2 & 3	PERIMETER 4	PERIMETER 5
LANDSCAPE TYPE	E	E	C	A
LINEAR FEET OF ROADWAY FRONTAGE / PERIMETER	173' - 35' (ENTRANCE) = 138'	213' - 35' (ENTRANCE) = 178'	222' - 222' (EX. VEGETATION) = 0'	330' - 117' (EX. VEGETATION) = 213'
CREDIT FOR EXISTING VEGETATION (YES/NO/LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	N/A	N/A	N/A	N/A
CREDIT FOR WALL, FENCE, OR BERM (YES/NO/LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	N/A	N/A	N/A	N/A
NUMBER OF PLANTS REQUIRED: SHADE TREES OTHER TREES EVERGREEN TREES SHRUBS	NUMBER OF PLANTS REQUIRED: 4 0 0 35	NUMBER OF PLANTS REQUIRED: 5 0 0 45	NUMBER OF PLANTS REQUIRED: 0 0 0 0	NUMBER OF PLANTS REQUIRED: 4 0 0 0
NUMBER OF PLANTS PROVIDED: SHADE TREES EVERGREEN TREES OTHER TREES (2:1 SUBSTITUTION) SHRUBS (10:1 SUBSTITUTION) (DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)	NUMBER OF PLANTS PROVIDED: 4 0 0 35	NUMBER OF PLANTS PROVIDED: 4* 0 0 55	NUMBER OF PLANTS PROVIDED: 0 0 0 0	NUMBER OF PLANTS PROVIDED: 4 0 0 0
SUBSTITUTIONS	NONE	*PROVIDED (10) SHRUBS IN LIEU OF (1) SHADE TREES	NONE	NONE

HOWARD COUNTY LANDSCAPE NOTES

- LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF \$5,250.00 FOR THE INSTALLATION OF 12 SHADE TREES (\$300.00 EACH); 0 ORNAMENTAL TREES (\$150.00 EACH); 0 EVERGREEN TREES (\$150.00 EACH); AND 55 SHRUBS (\$30.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, SDP-21-009.
- NO CLEARING OF EXISTING VEGETATION IS PERMITTED WITHIN A LANDSCAPE EDGE FOR WHICH CREDIT IS BEING TAKEN; HOWEVER, LANDSCAPE MAINTENANCE IS AUTHORIZED.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THE SITE SHALL BE OF PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATIONS.
- SHOULD ANY TREE DESIGNATED FOR PRESERVATION, FOR WHICH CREDIT IS GIVEN, DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH OBTAIN THE SAME HEIGHT, SPREAD AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE LANDSCAPE MANUAL.
- THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, PLANT MATERIALS, BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

DEVELOPER'S/OWNER'S LANDSCAPE CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

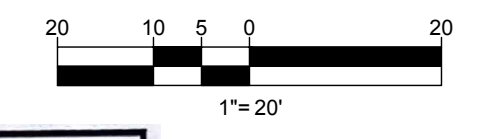
Potomac Energy Holdings LLC
DEVELOPER'S / OWNER'S NAME

APPROVED: [Signature] 6/28/2022 DATE
HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION 6/28/2022 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DIRECTOR [Signature] 6/28/2022 DATE



BIORETENTION AREAS PLANTING SCHEDULE

BOTANICAL NAME	COMMON NAME	TYPE	SPACING	SIZE	FACILITY 1 (917 S.F.)
CLETHERA ALNIFOLIA	SWEET PEPPERBUSH	SHRUB	30" O.C.	1 GAL. CONT.	67
CORNUS AMOMIUM	SILKY DOGWOOD	SHRUB	30" O.C.	1 GAL. CONT.	67
RUBROCKIA HIRTA	BLACK EYE SUSAN	PERENNIAL	12" O.C.	PLUG	101
ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER	PERENNIAL	12" O.C.	PLUG	101
RUBROCKIA LACINIATA	TALL CONEFLOWER	PERENNIAL	12" O.C.	PLUG	101
JUNCUS EFFUSUS	SOFT RUSH	PERENNIAL	12" O.C.	PLUG	203
SCIRPUS ACUTUS	HARDSTEMMED BULLRUSH	PERENNIAL	12" O.C.	PLUG	203

OWNER: POTOMAC ENERGY HOLDINGS, LLC
PO BOX 2810
LA PLATA, MD 20646
CONTACT: JASON BELT
PHONE: 240-320-8448

DEVELOPER: DASH-IN
102 CENTENNIAL STREET, STE. 100
LA PLATA, MD 20645
CONTACT: JASON BELT
PHONE: 240-320-8448

TAX MAP: 24 GRID: 24 PARCEL: 311
ZONED: B-2

2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: THE SHELL OIL CO.
SECTION/AREA: N/A
DEED #
11625 / 10000

FILE NO. SDP-21-009

REVISIONS

REV	DATE	COMMENT	DRAWN BY

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APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MD132045
DRAWN BY: MCO
DATE: 5/5/22
CAD ID.: MD132045-LSP-3.DWG

SITE DEVELOPMENT PLAN
FOR
DASH IN
STORE # 1833
4205 MONTGOMERY ROAD
(MD ROUTE 103)
ELLCOTT CITY, MD 21043
TM 24, GRID 24, PARCEL 311
HOWARD COUNTY
2ND ELECTION DISTRICT
B-2 ZONE

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

E.R. McWILLIAMS
REGISTERED LANDSCAPE ARCHITECT
1 E. RICHLAND AVENUE, SUITE 101
ELLCOTT CITY, MD 21043
I, ERIC McWILLIAMS, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A QUALIFIED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 3697, EXPIRATION DATE: 9/2022

SHEET TITLE:
LANDSCAPE PLAN
SHEET NUMBER:
25
OF 45



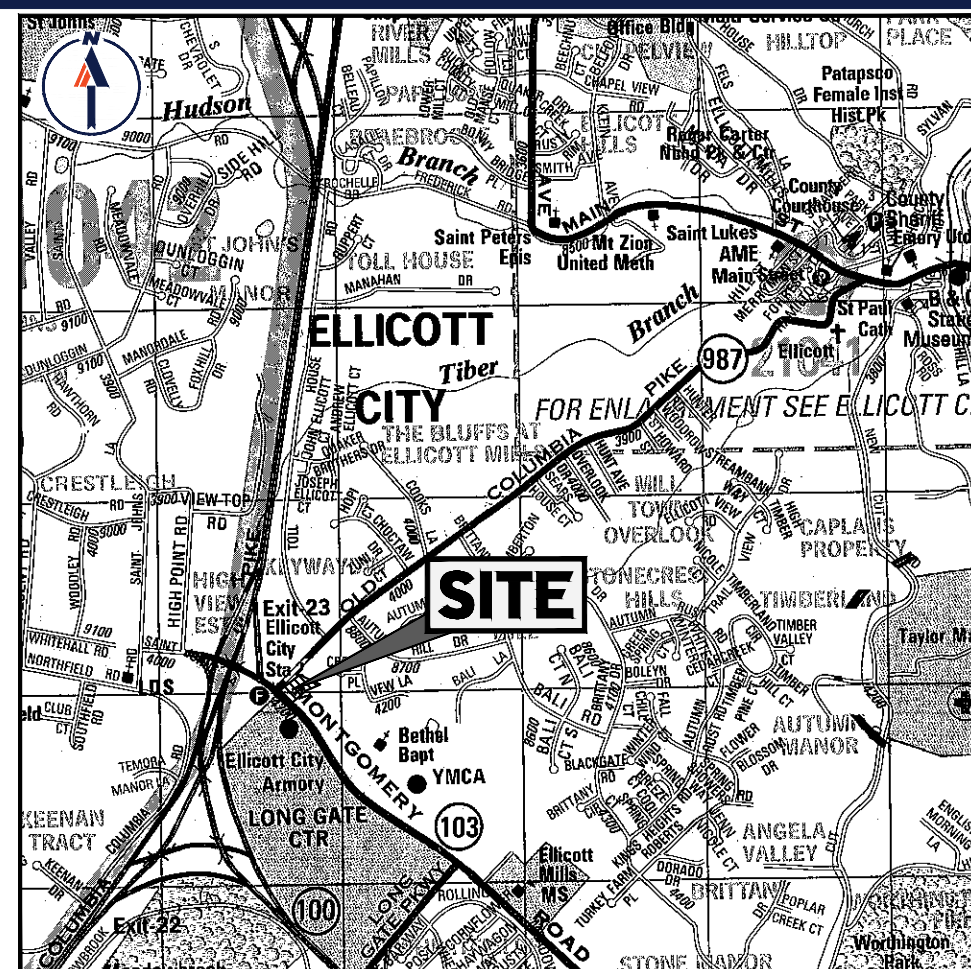
LANDS N/F
PINNACLE REALTY LLC
L. 6262 F. 464
TM: 24 23 840
ZONE: B-2
USE: EXISTING AUTOMOBILE
SERVICE STATION

LANDS N/F
KEVIN GREENE AND
SHARON M. WINDSIDE LONDON
L. 18359 F. 90
TM: 24 24 736
ZONE: R-20
USE: EXISTING SINGLE FAMILY
DWELLING

LANDS N/F
HERMON A. EDDY
L. 4555 F. 349
TM: 24 24 719
ZONE: R-20
USE: EXISTING
SINGLE FAMILY
DWELLING

LANDS N/F
CLOVERLAND FARMS DAIRY,
INC.
L. 529 F. 404
TM: 24 24 677
ZONE: B-2
USE: EXISTING AUTOMOBILE
SERVICE STATION

LANDS N/F
HOWARD COUNTY MARYLAND
FIRE STATION
L. 3544 F. 72
TM: 24 23 694
ZONE: B-2
USE: EXISTING FIRE STATION



LOCATION MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=200'

LEGEND

TURFGRASS SOD ESTABLISHMENT
(SEE SHA LANDSCAPE NOTE 7.9)

DASH IN
PROP. CONVENIENCE STORE
3,351 S.F.
17 SPACES
HGT: 24'
FF=410.00

PROP. 6-MPD
CANOPY
3,711 S.F.
HGT: 18.04'

SHA LANDSCAPE NOTES

NO.	TITLE	DESCRIPTION
7.1	TITLE	LANDSCAPE CONSTRUCTION WITHIN RIGHTS OF WAY OF THE MARYLAND STATE HIGHWAY ADMINISTRATION (SHA) AND WITHIN SHA PROPERTY, EASEMENT AREAS AND LANDS TO BE CONVEYED TO SHA SHALL CONFORM TO THESE NOTES. FOR GUIDANCE REGARDING DESIGN MODIFICATIONS DURING CONSTRUCTION, REFER TO SHA LANDSCAPE DESIGN GUIDE, SHA LANDSCAPE ESTIMATING MANUAL, AND SHA ENVIRONMENTAL GUIDE FOR ACCESS AND DISTRICT PERMIT APPLICATIONS AT HTTP://WWW.ROADS.MARYLAND.GOV/INDEX.ASPX?PAGEID=25
7.2	SPECIFICATIONS	LANDSCAPE CONSTRUCTION SHALL CONFORM TO SECTIONS 701 THROUGH 716, AND LANDSCAPE MATERIALS SHALL CONFORM TO SECTION 920 OF THE MOST RECENT REVISION OF SHA STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, INCLUDING ALL REVISIONS AND SUPPLEMENTS, AND AS SPECIFIED IN THESE NOTES. THESE REQUIREMENTS SHALL SUPERSEDE ALL OTHER SPECIFICATIONS FOR WORK ON SHA PROPERTY. ALL SHA SPECIFICATIONS FOR LANDSCAPING AND LANDSCAPE MATERIALS PUBLISHED IN 2008 HAVE BEEN REPLACED. CURRENT SPECIFICATIONS ARE AT HTTP://WWW.ROADS.MARYLAND.GOV/INDEX.ASPX?PAGEID=44 .
7.3	E&S MANAGER (ESCM)	SOIL DISTURBANCE SUCH AS GRADING, EXCAVATION, SOIL PLACEMENT OR OTHER ACTIVITIES THAT INVOLVE SOIL DISTURBANCE SHALL BE SUPERVISED BY AN ESCM MANAGER WITH A VALID "SHA YELLOW CARD" IN CONFORMANCE WITH SHA STANDARD SPECIFICATIONS AND ANY APPLICABLE EROSION AND SEDIMENT CONTROL PERMIT.
7.4	STANDARD DETAILS	THE INSTALLATION OF TREES, SHRUBS, PLANTING BEDS AND OTHER LANDSCAPE CONSTRUCTION RELATED TO SECTION 710 OF THE SHA STANDARD SPECIFICATIONS SHALL CONFORM TO THE "SHA BOOK OF STANDARDS FOR HIGHWAY & INCIDENTAL STRUCTURES - CATEGORY 7" AT HTTP://WWW.ROADS.MARYLAND.GOV/BUSINESSWITHSHABIZSTDSPECDESMANULSTD/PUBLICATIONSONLINE/OHDBOOKSSTDTOCCAT7.ASP .
7.5	TEMPORARY STABILIZATION	TEMPORARY STABILIZATION SHALL BE INSTALLED IN CONFORMANCE WITH SECTION 704 TO ENSURE THAT AREAS OF SOIL DISTURBANCE ARE PROTECTED FROM WIND, RAINFALL AND FLOWING WATER UNTIL PERMANENT STABILIZATION IS INSTALLED. 1. TEMPORARY MULCH, EITHER AS TEMPORARY STRAW MULCH OR TEMPORARY MATTING MULCH, SHALL BE INSTALLED AT THE END OF EACH WORKING DAY TO PROVIDE "SAME DAY STABILIZATION" UNLESS OTHER APPROVED STABILIZATION IS INSTALLED. 2. TEMPORARY STRAW MULCH SHALL BE INSTALLED ON AREAS AND SLOPES FLATTER THAN 4:1; TEMPORARY MATTING MULCH SHALL BE APPLIED ON SLOPES 4:1 AND STEEPER, AND TO AREAS WITHIN CHANNELS. 3. TEMPORARY SEED SHALL BE INSTALLED IN LIEU OF TEMPORARY MULCH WHEN SOIL REDISTRIBUTION IS EXPECTED MORE THAN 30 DAYS AFTER SOIL DISTURBANCE. THE REQUIRED APPLICATION RATE SHALL BE 100 LBS PER ACRE OF 37-0-0 (SCU) FERTILIZER.
7.6	ROADWAY PAVEMENT REMOVAL	AREAS OF ROADWAY PAVEMENT REMOVAL SHALL BE EXCAVATED TO REMOVE PAVEMENTS, AGGREGATE BASE, AND COMPACTED SOIL TO A MINIMUM DEPTH OF 10 INCHES BELOW THE PAVEMENT SURFACE, OR AS NECESSARY TO REMOVE ALL MATERIALS UNSUITABLE FOR LANDSCAPING. THE EXCAVATED AREAS SHALL BE RESTORED WITH SUBSOIL AND TOPSOIL AS PART OF SOIL RESTORATION.
7.7	EXCAVATION AND DEBRIS REMOVAL	DEBRIS RELATED TO THE DEMOLITION OF SIDEWALKS, DRIVEWAYS, CURBS, TREES, STUMPS, ROOTS, FENCING, PIPES, AND OTHER MATERIALS THAT MAY INTERFERE WITH LANDSCAPE INSTALLATION OR FUTURE MAINTENANCE SHALL BE EXCAVATED AS NECESSARY FOR THEIR COMPLETE REMOVAL AND DISPOSAL.
7.8	SOIL RESTORATION	AREAS OF PAVEMENT REMOVAL, EXCAVATION OR DRILLING IN LANDSCAPED AREAS SHALL REMOVE EXCAVATED DEBRIS AND RESTORE THE SUBGRADE WITH APPROVED SUBSOIL AND TOPSOIL PLACED IN CONFORMANCE WITH SECTION 701 OF THE SHA STANDARD SPECIFICATIONS. 1. A LAYER OF APPROVED TOPSOIL OF AT LEAST A 4-INCH DEPTH SHALL BE PLACED ON ALL DISTURBED AREAS FLATTER THAN 2:1 AND IN ALL CHANNELS PRIOR TO SEEDING, SODDING OR OTHER LANDSCAPING, UNLESS OTHERWISE SPECIFIED. 2. A LAYER OF APPROVED TOPSOIL OF AT LEAST A 2-INCH DEPTH SHALL BE PLACED ON ALL DISTURBED AREAS 2:1 AND STEEPER PRIOR TO SEEDING, SODDING OR OTHER LANDSCAPING, UNLESS OTHERWISE SPECIFIED. 3. BIORETENTION SOIL MIX (BSM) AND OTHER MATERIALS INSTALLED IN CONJUNCTION WITH SPI 316 - STORMWATER FILTRATION FACILITIES AND SHA STORMWATER DETAILS SHALL BE INSTALLED IN CONFORMANCE WITH SHA LANDSCAPE NOTES AND LANDSCAPE PLANS. PLANT MATERIALS AND MULCH SHALL BE INSTALLED IN BSM IN CONFORMANCE WITH STORMWATER DETAILS, SECTION 710 OR OTHER SHA SPECIFICATIONS.
7.9	TURFGRASS SOD ESTABLISHMENT	TURFGRASS SOD ESTABLISHMENT SHALL BE PERFORMED IN ALL DISTURBED AREAS, OR WITHIN THE AREAS INDICATED IN THE PLANS, IN CONFORMANCE WITH SECTION 708 OF THE SHA STANDARD SPECIFICATIONS. THE REQUIRED APPLICATION RATE OF 20-16-12 FERTILIZER SHALL BE 200 LBS PER ACRE, AND NO FERTILIZER SHALL BE APPLIED FROM NOVEMBER 15 TO MARCH 1.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: *Will Edmondson* 6/28/2022

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by: *Eric McWilliams* 6/28/2022

CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by: *Andy Groman* 6/28/2022

DIRECTOR DATE

Eric McWilliams
Digitally signed by Eric McWilliams
DN: cn=Eric McWilliams, o=Bohler, ou=email=emcwilliams@bohlereng.com, c=US
Date: 2022.05.23 14:13:07 -0400

OWNER: POTOMAC ENERGY HOLDINGS, LLC
PO BOX 2810
LA PLATA, MD 20646
CONTACT: JASON BELT
PHONE: 240-320-6448

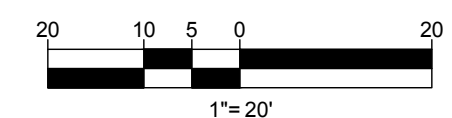
DEVELOPER: DASH-IN
102 CENTENNIAL STREET, STE. 100
LA PLATA, MD 20645
CONTACT: JASON BELT
PHONE: 240-320-6448

TAX MAP: 24 GRID: 24 PARCEL: 311
ZONED: B-2

2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: THE SHELL OIL CO.
SECTION/AREA: N/A
DEED #
11625/10400

FILE NO. SDP-21-009



BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY

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APPROVED FOR CONSTRUCTION

PROJECT No.: MD132045
DRAWN BY: MCO
DATE: 5/22
CAD ID: MD132045-LSP-1 DWG

SITE DEVELOPMENT PLAN

FOR

DASH IN

STORE # 1833

4205 MONTGOMERY ROAD
(MD ROUTE 103)
ELLCOTT CITY, MD 21043
TM 24, GRID 24, PARCEL 311
HOWARD COUNTY
2ND ELECTION DISTRICT
B-2 ZONE

BOHLER

901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

E.R. McWILLIAMS

REGISTERED PROFESSIONAL ARCHITECT
PROFESSIONAL DESIGNATION
I, ERIC McWILLIAMS, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A QUALIFIED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 9897, EXPIRATION DATE: 9/2022

SHEET TITLE:

MDOT SHA LANDSCAPE PLAN

SHEET NUMBER:

26

OF 45

LANDSCAPE SPECIFICATIONS

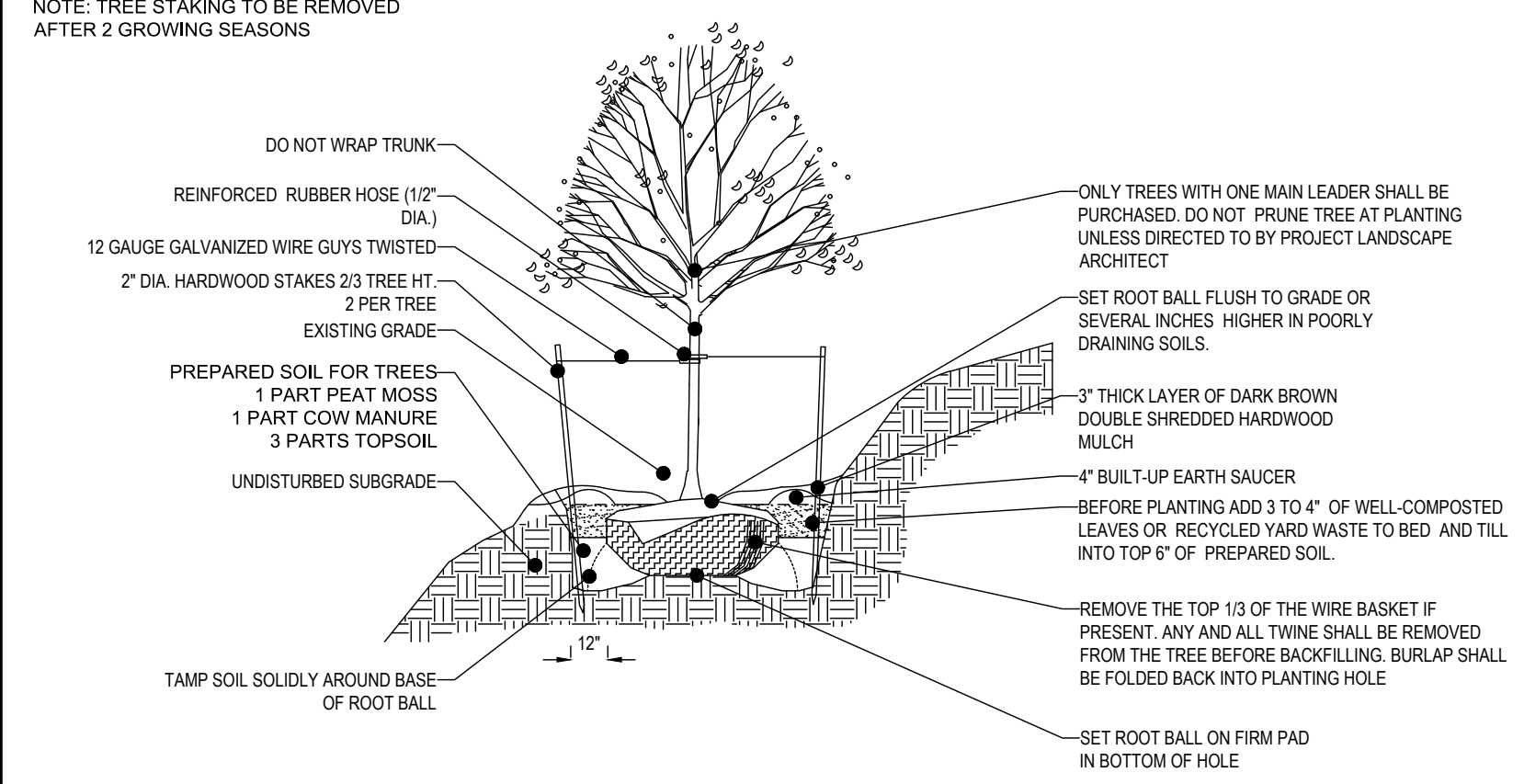
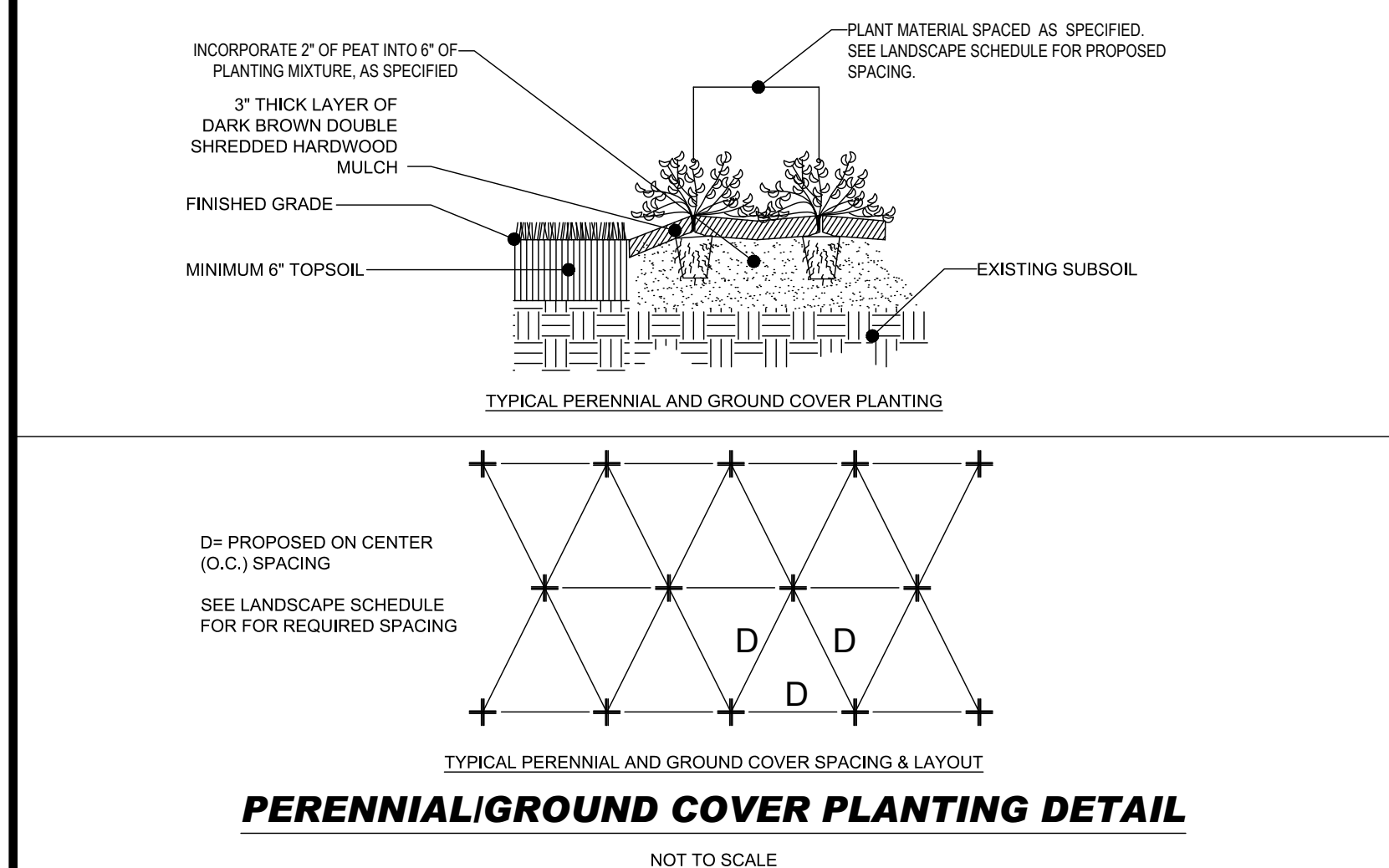
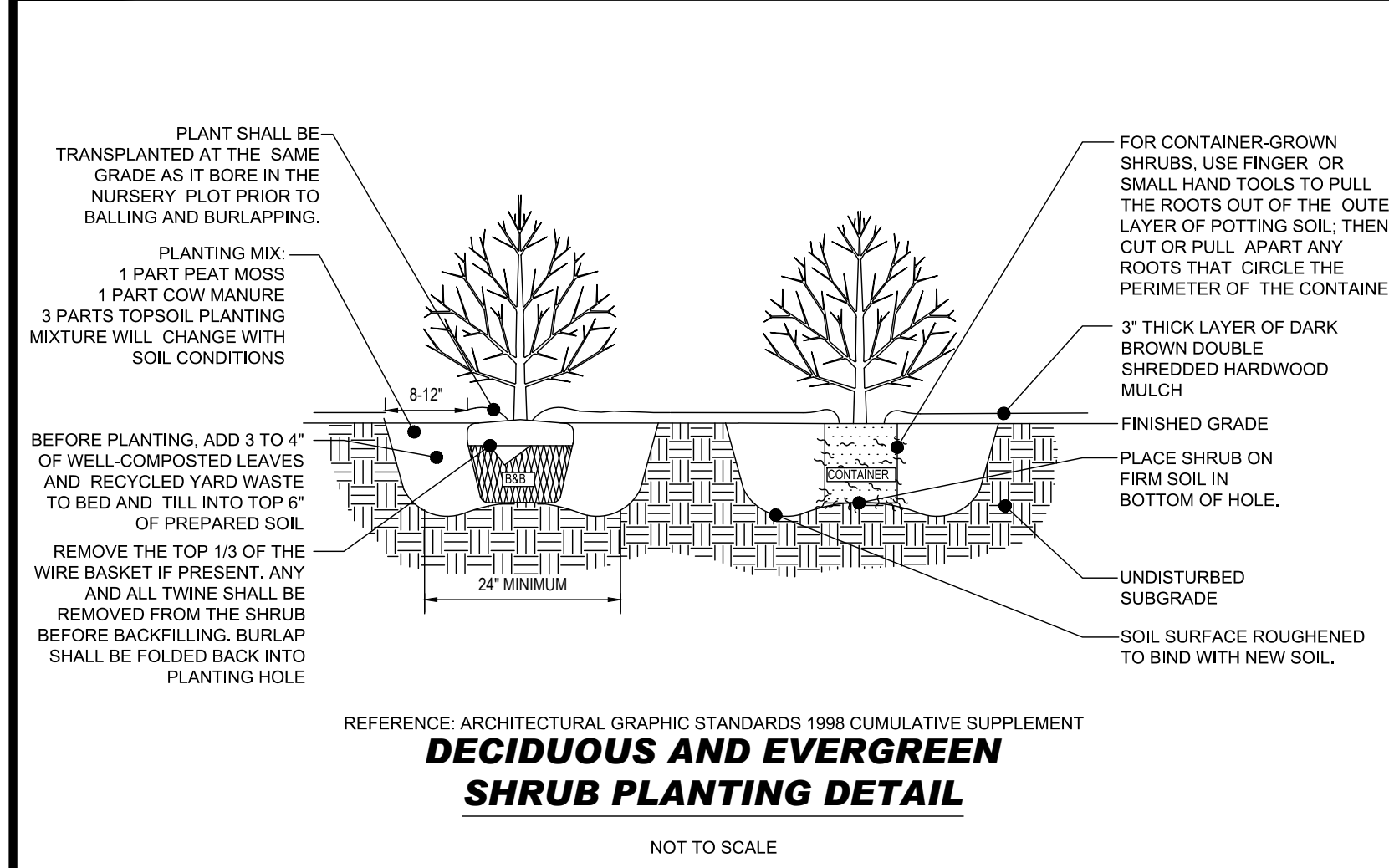
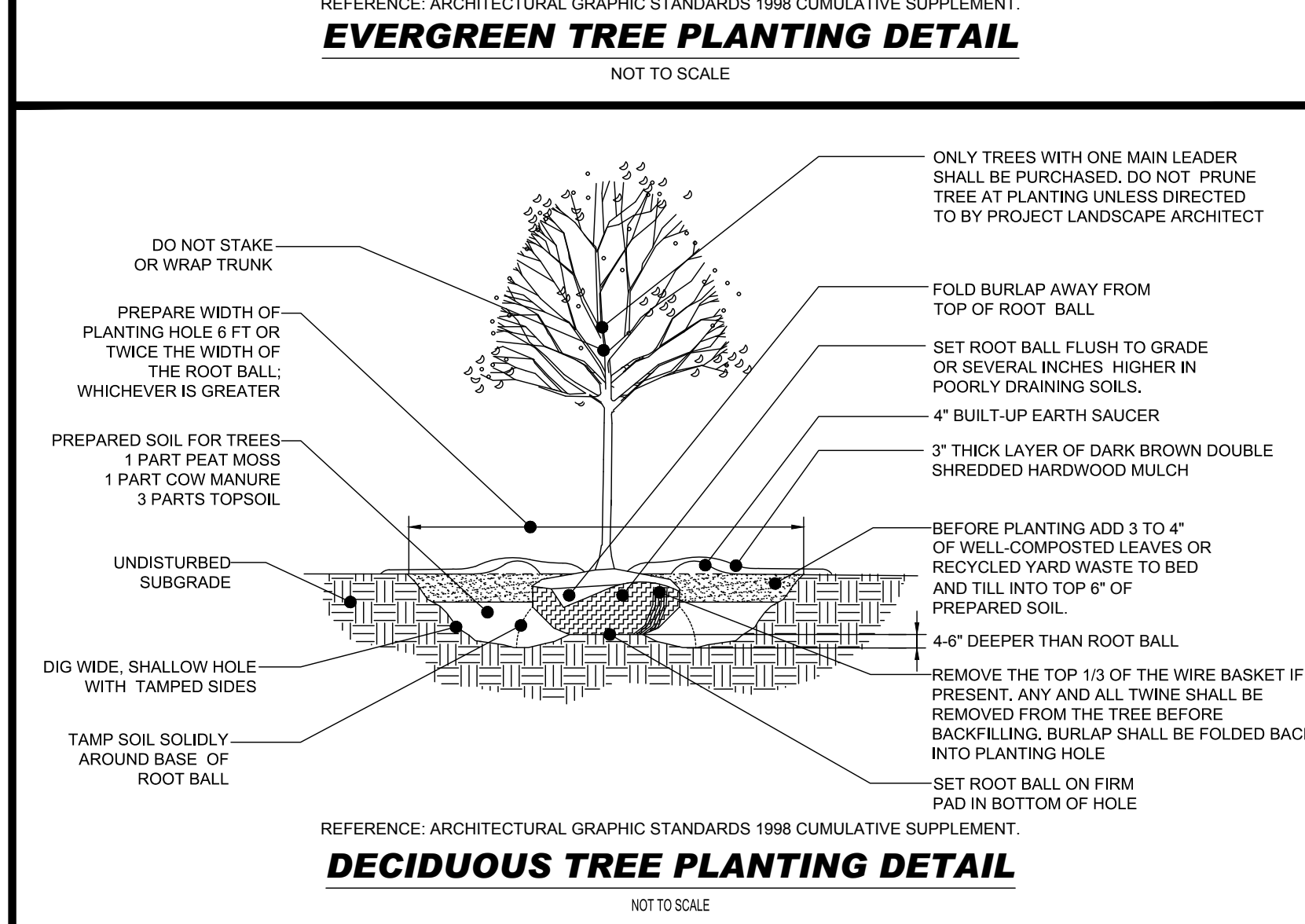
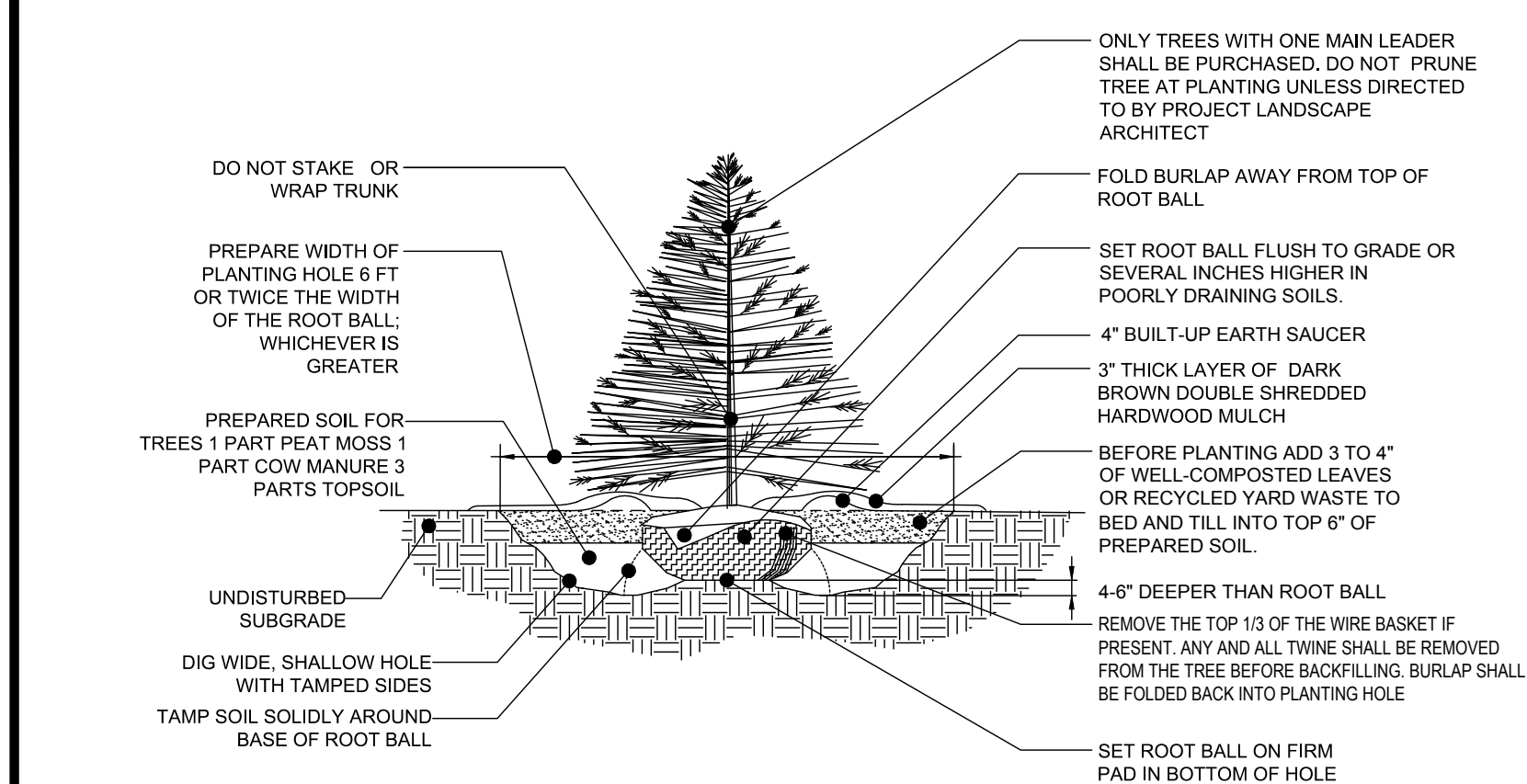
- 1. SCOPE OF WORK:**
THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.
- 2. MATERIALS**
- A. GENERAL** - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.
- B. TOPSOIL** - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
- C. LAWN** - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM SIX INCH (6") THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES.
- 1.1. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.
1.2. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS.
1.3. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.
- D. MULCH** - THE MULCH AROUND THE PERIMETER OF THE BUILDING SHALL BE A 3" LAYER OF DOUBLE SHREDDED BLACK CEDAR MULCH ONLY. ALL OTHER AREAS SHALL BE MULCHED WITH A 3" LAYER OF DOUBLE SHREDDED DARK BROWN HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN.
- E. FERTILIZER**
- 1.1. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
1.2. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.
- F. PLANT MATERIAL**
- 1.1. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
1.2. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.
1.3. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
1.4. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/4", WHICH HAVE NOT BEEN COMPLETELY CALLED, SHALL BE REJECTED. PLANTS SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
1.5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.
1.6. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
1.7. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.
1.8. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

- 9. PLANTING**
- A. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.**
- B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.**
- C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.**
- D. ALL PLANTING CONTAINERS AND NON-BIOGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.**
- E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.**
- F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:**
- 1.1. PLANTS: MARCH 15 TO DECEMBER 15
1.2. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1
- G. PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.**
- H. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPORT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:**
- ACER RUBRUM PLATANUS X ACERIFOLIA
BETULA VARIETIES POPULUS VARIETIES
CARPINUS VARIETIES PRUNUS VARIETIES
CRATAEGUS VARIETIES PYRUS VARIETIES
KOELFUERTERA QUERCUS VARIETIES
LIQUIDAMBAR STYRACIFLUA TILIA TOMENTOSA
LIRIODENDRON TULIPIFERA ZELKOVA VARIETIES

- 3. GENERAL WORK PROCEDURES**
- A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.**
- B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.**
- 4. SITE PREPARATIONS**
- A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG UP BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.**
- B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.**
- C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.**

- 5. TREE PROTECTION**
- A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.**
- B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY VISI-FENCE, OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.**
- C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.**
- D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.**
- 6. SOIL MODIFICATIONS**
- A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.**
- B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.**
- C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.**
- 1.1. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.
1.2. TO INCREASE DRAINAGE, MOODY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
1.3. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

- 7. FINISHED GRADING**
- A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.**
- B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1").**
- C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS SPECIFIED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.**
- D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.**
- 8. TOPSOILING**
- A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.**
- B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.**
- C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.**
- D. ALL PLANTING AND LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE FILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA):**
- 1.1. 20 POUNDS GROW POWER OR APPROVED EQUAL
1.2. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP
- E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.**



SEEDING SPECIFICATIONS

1. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.	
2. PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.	
3. SEEDING RATES:	
PERENNIAL RYEGRASS	1/2 LBS/1,000 SQ FT
KENTUCKY BLUEGRASS	1 LBS/1,000 SQ FT
RED FESCUE	1 1/2 LBS/1,000 SQ FT
SPREADING FESCUE	1 1/2 LBS/1,000 SQ FT
FERTILIZER (20-10-10) MULCH	14 LBS/1,000 SQ FT 90 LBS/1,000 SQ FT
4. GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.	

- OWNER MAINTENANCE RESPONSIBILITIES**
- UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, LIKES, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPE AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:
- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. FROM ALL DESIGN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
 - TREES WITH VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. FROM ALL PAVED, TRAVELED SURFACES, OR AS OTHERWISE INDICATED ON THE PLANS.
 - VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.
 - FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.
- THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEE THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

Pydon
Permanent Placement of NEW 6.5H PID

PRICING: P100 = 42.25 SQ FT, P150 = 28.50 SQ FT, P200 = 26.50 SQ FT, P250 = 23.50 SQ FT, P300 = 20.50 SQ FT, P350 = 17.50 SQ FT, P400 = 14.50 SQ FT, P450 = 11.50 SQ FT, P500 = 8.50 SQ FT, P550 = 5.50 SQ FT, P600 = 2.50 SQ FT, P650 = 0.50 SQ FT, P700 = 0.50 SQ FT, P750 = 0.50 SQ FT, P800 = 0.50 SQ FT, P850 = 0.50 SQ FT, P900 = 0.50 SQ FT, P950 = 0.50 SQ FT, P1000 = 0.50 SQ FT, P1050 = 0.50 SQ FT, P1100 = 0.50 SQ FT, P1150 = 0.50 SQ FT, P1200 = 0.50 SQ FT, P1250 = 0.50 SQ FT, P1300 = 0.50 SQ FT, P1350 = 0.50 SQ FT, P1400 = 0.50 SQ FT, P1450 = 0.50 SQ FT, P1500 = 0.50 SQ FT, P1550 = 0.50 SQ FT, P1600 = 0.50 SQ FT, P1650 = 0.50 SQ FT, P1700 = 0.50 SQ FT, P1750 = 0.50 SQ FT, P1800 = 0.50 SQ FT, P1850 = 0.50 SQ FT, P1900 = 0.50 SQ FT, P1950 = 0.50 SQ FT, P2000 = 0.50 SQ FT, P2050 = 0.50 SQ FT, P2100 = 0.50 SQ FT, P2150 = 0.50 SQ FT, P2200 = 0.50 SQ FT, P2250 = 0.50 SQ FT, P2300 = 0.50 SQ FT, P2350 = 0.50 SQ FT, P2400 = 0.50 SQ FT, P2450 = 0.50 SQ FT, P2500 = 0.50 SQ FT, P2550 = 0.50 SQ FT, 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REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY



APPROVED FOR CONSTRUCTION

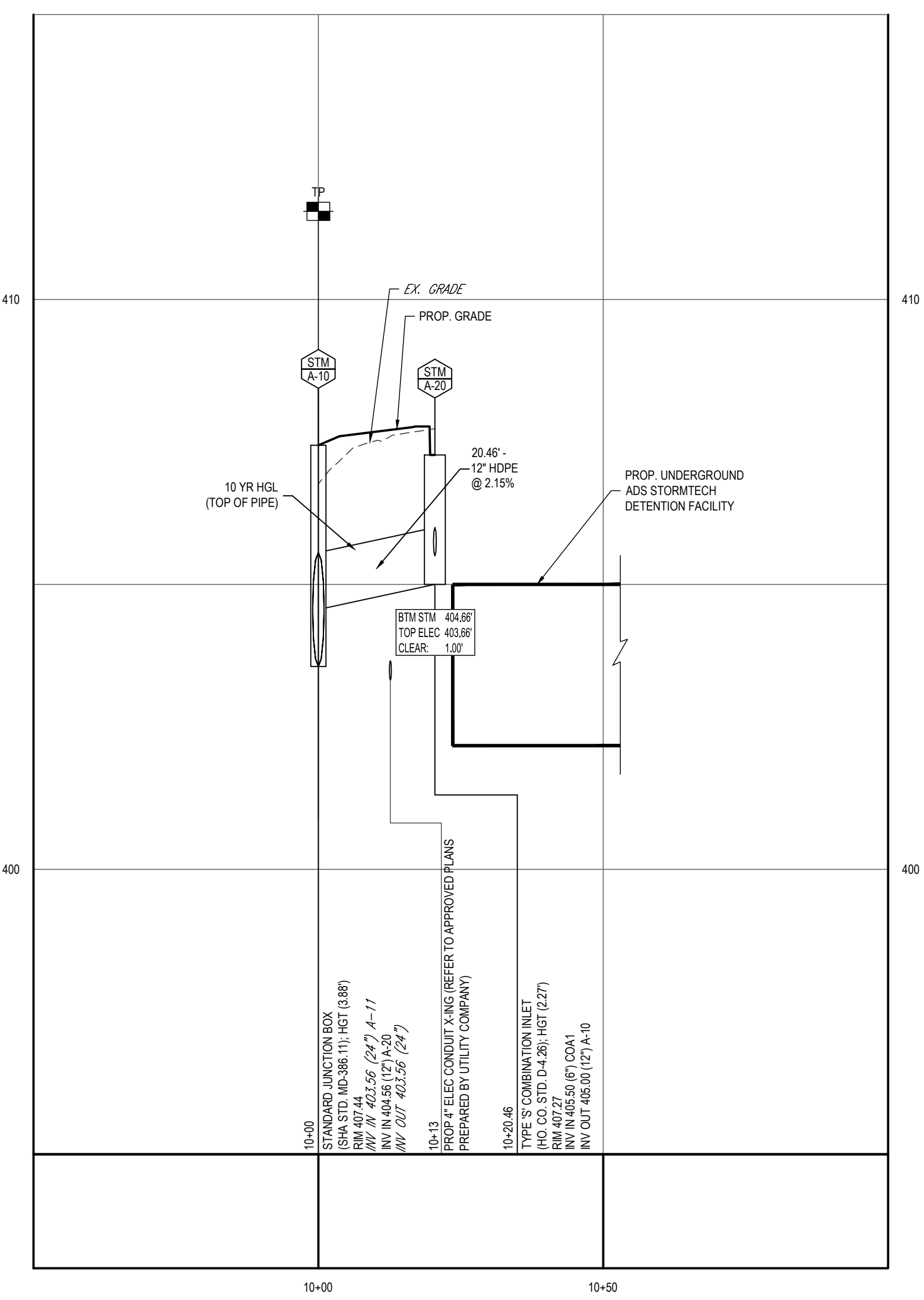
PROJECT No.: MD132045
 DRAWN BY: MCO
 CHECKED BY: RMS
 DATE: 5/5/22
 CAD ID: MD132045-PPD-3.DWG

SITE DEVELOPMENT PLAN
 FOR
DASH IN
 STORE # 1833
 4205 MONTGOMERY ROAD
 (MD ROUTE 103)
 ELLICOTT CITY, MD 21043
 TM 24, GRID 24, PARCEL 311
 HOWARD COUNTY
 2ND ELECTION DISTRICT
 B-2 ZONE

BOHLER
 901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21204
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 MD@BohlerEng.com

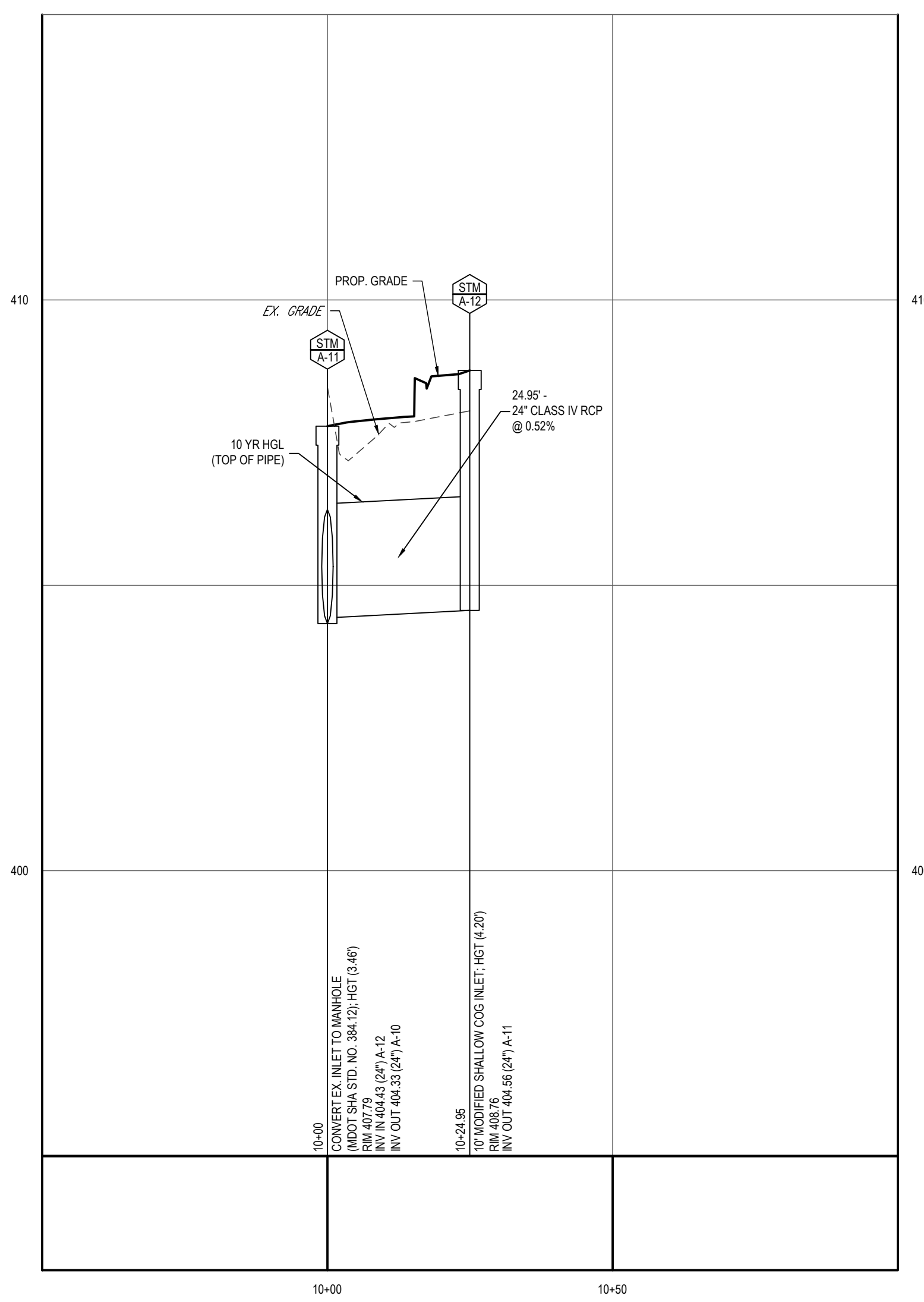
ANDREW G. STINE
 PROFESSIONAL ENGINEER
 License No. 15123
 EXPIRES 03/31/2025

STORMDRAIN PROFILES
 SHEET NUMBER: **28**
 OF 45



PROPOSED STORMDRAIN PROFILE - A-10 TO A-20

SCALE: 1"=20' HORIZONTAL
 1"=2' VERTICAL



PROPOSED STORMDRAIN PROFILE - A-11 TO A-12

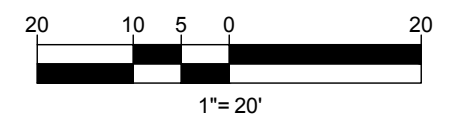
SCALE: 1"=20' HORIZONTAL
 1"=2' VERTICAL

STORMDRAIN COMPUTATIONS

PROJECT NAME: DASH-IN #1833 - SDP-21-009
 PROJECT NO: M0133045
 DATE: 11/29/2020
 BY: JSCZ

DESIGN FREQUENCY: 10 YR (REAL)

FROM NO.	TO NO.	DRAINAGE AREA #	INC. AREA (AC)	TOTAL AREA (AC)	C	CxI	SUM (CA)	TIME (MIN.)	I (in/hr) (10yr)	I (in/hr) (25yr)	Adjusted CA (sump)	Q (CFS)	DES. SLOPE (%)	DIAMETER (IN.)	VELOCITY (FT./SEC.)	LENGTH (FT.)	TIME (MIN.)	REMARKS
A-20	A-10	A-20	0.140	0.140	0.86	0.12	0.12	5.00	8.50	9.78	0.14	1.19	--	--	--	20.46	0.02	Sump Inlet
A-12	A-11	A-12	0.890	0.890	0.44	0.39	0.39	5.00	8.50	9.78	--	3.32	0.52	24	4.07	24.95	0.10	Modified Shallow GOC Inlet
B-20	B-10.2	B-20	0.340	0.340	0.54	0.18	0.18	5.00	8.50	9.78	0.21	1.79	6.96	12	11.13	11.32	0.02	Cartech 4 Cartridge Stormwater Catch Basin
B-30	B-10.3	B-30	0.498	0.498	0.53	0.26	0.26	5.00	8.50	9.78	0.30	2.55	6.50	12	4.61	50.00	0.18	Nyloplast Drain Basin
B-10.1	B-10		--	--	--	--	--	--	--	--	0.83	0.12	12	1.92	60.84	0.53	0.04	UNGO ADS Stormwash Facility (2' from TR-20)



APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: **Chad Edmondson** 6/28/2022
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by: **[Signature]** 6/28/2022
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by: **Romy Branan** 6/28/2022
 DIRECTOR DATE

Andrew G. Stine, P.E.
 Digitally signed by Andrew G. Stine, P.E.
 DN: cn=Andrew G. Stine, P.E., email=astine@bohlereng.com, c=US
 Date: 2022.05.23 14:00:09 -0400'

NOTE:
 CONTRACTOR TO VERIFY ALL STRUCTURE SIZES PRIOR TO ORDERING.

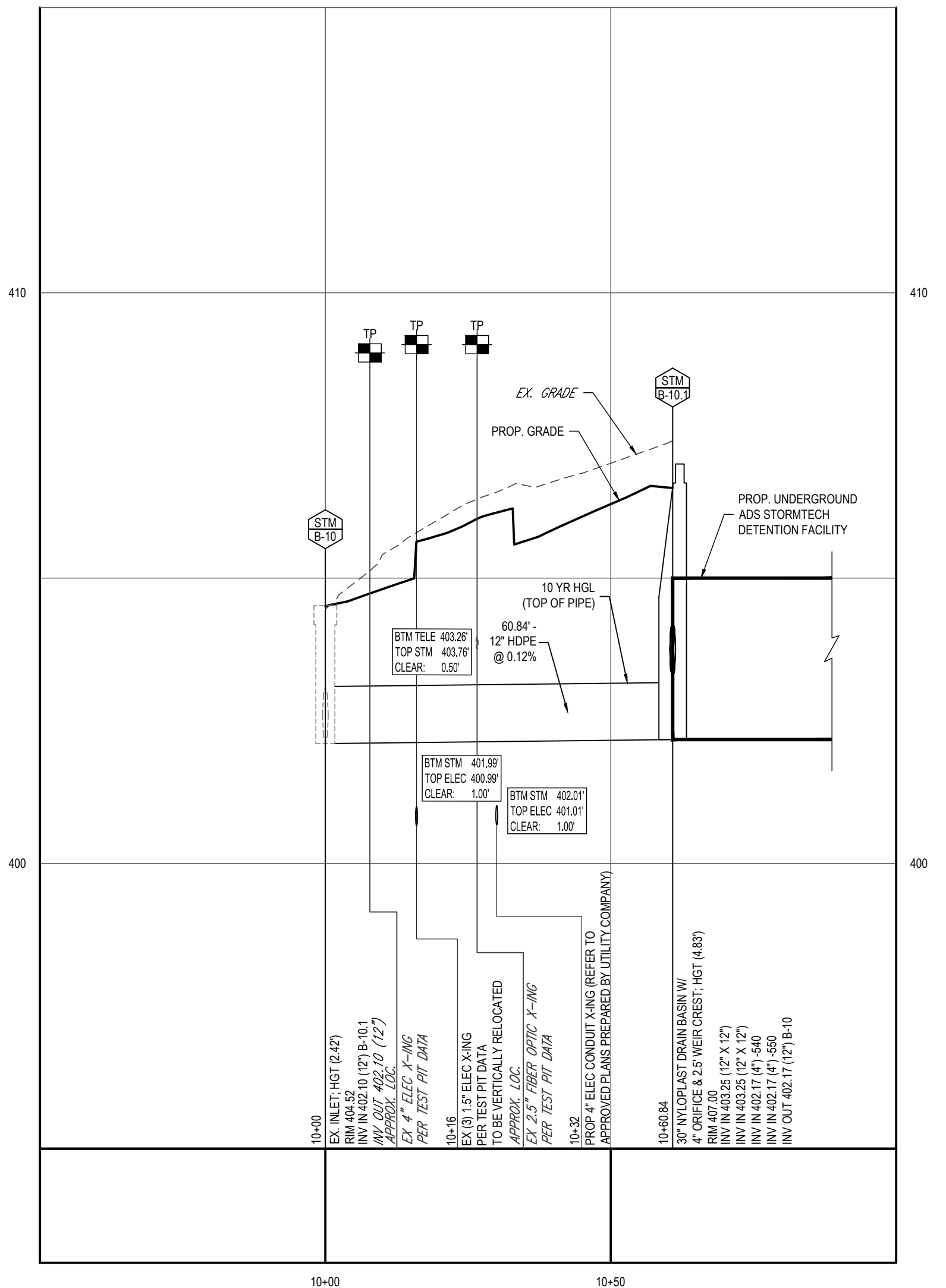
TEST PIT NOTE
 TP FOR TEST PIT DATA REFER TO REPORT ENTITLED "UTILITY TEST PIT DATA FOR DASH-IN #1833, 4205 MONTGOMERY ROAD, ELLICOTT CITY, HOWARD COUNTY, MARYLAND," DATED MARCH 23, 2021, PREPARED BY A.I. DATA

OWNER: POTOMAC ENERGY HOLDINGS, LLC
 DEVELOPER: DASH-IN
 102 CENTENNIAL STREET, STE. 100
 LA PLATA, MD 20646
 CONTACT: JASON BELT
 PHONE: 240-320-6448

TAX MAP: 24 GRID: 24 PARCEL: 311
 ZONED: B-2
 2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

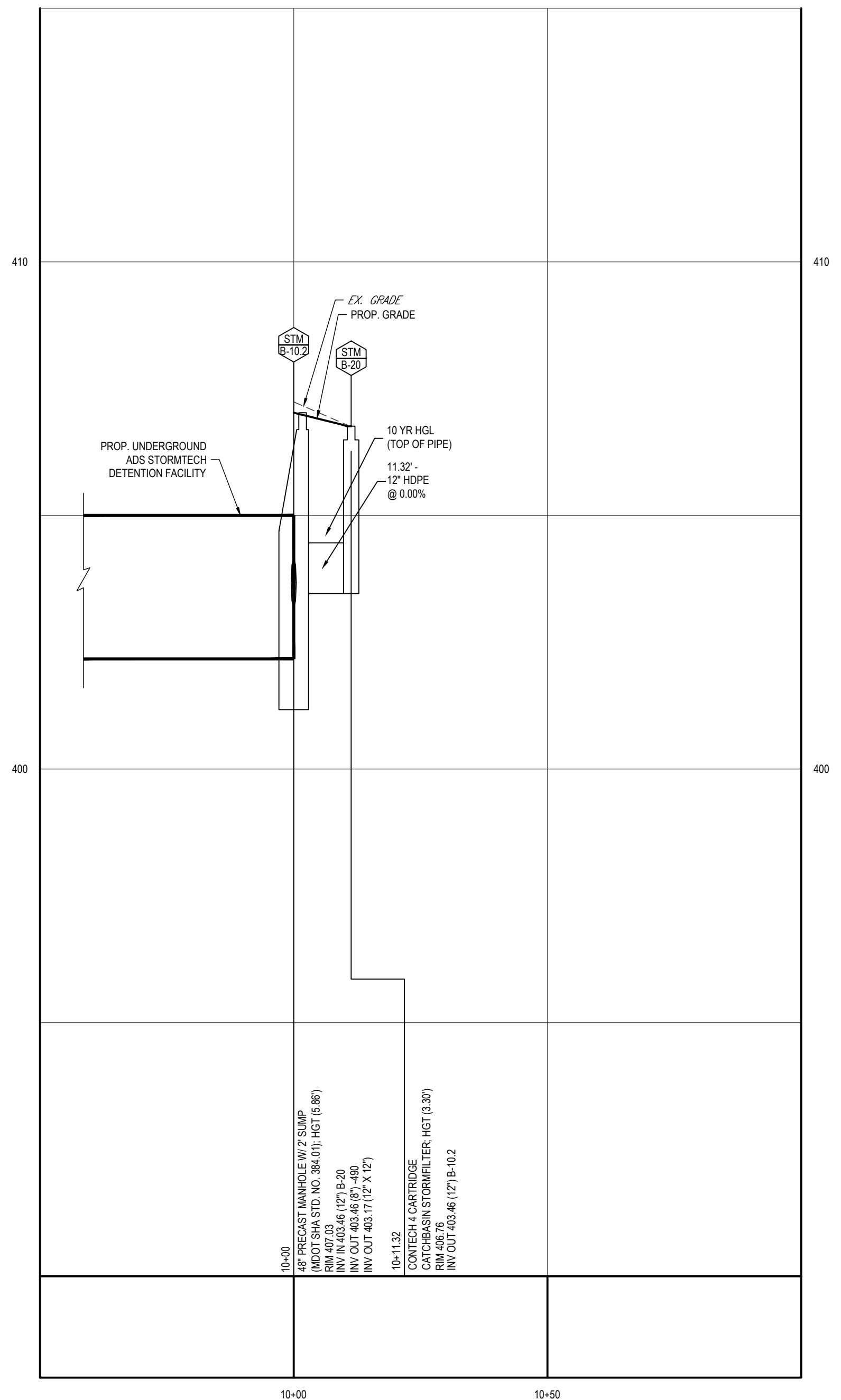
SUBDIVISION NAME: THE SHELL OIL CO.
 DEED #
 11925 / 100400

FILE NO. SDP-21-009



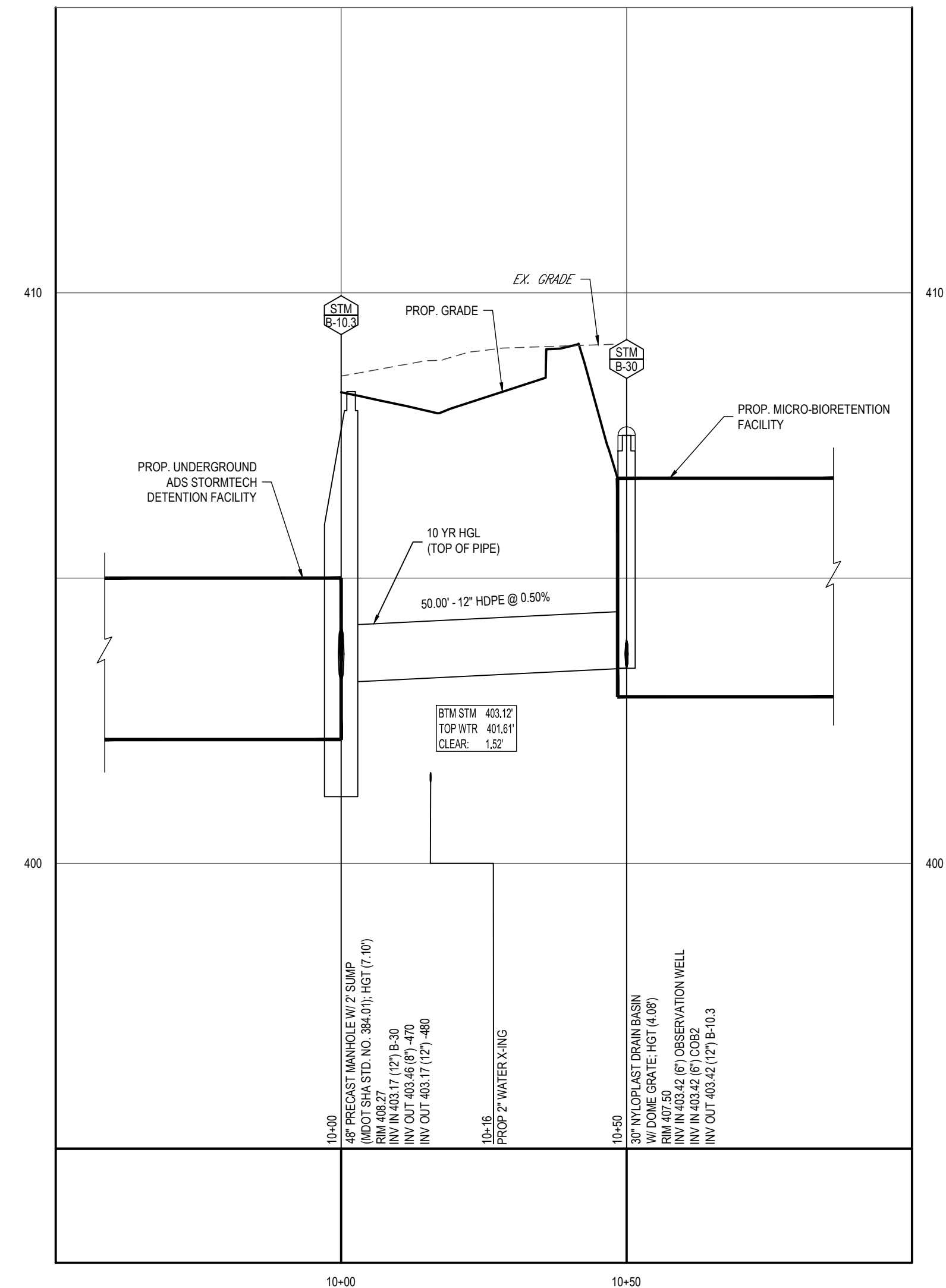
PROPOSED STORMDRAIN PROFILE - B-10 TO B-10.1

SCALE: 1"=20' HORIZONTAL
1"=2' VERTICAL



PROPOSED STORMDRAIN PROFILE - B-10.2 TO B-20

SCALE: 1"=20' HORIZONTAL
1"=2' VERTICAL



PROPOSED STORMDRAIN PROFILE - B-10.3 TO B-30

SCALE: 1"=20' HORIZONTAL
1"=2' VERTICAL

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: *W.D. Edmondson* 6/28/2022
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by: *15876478A02840A* 6/28/2022
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by: *Amy Goman* 6/28/2022
DIRECTOR DATE

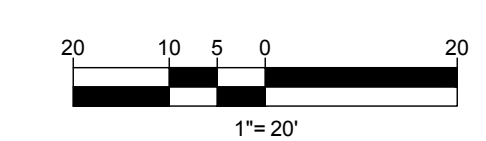
OWNER: POTOMAC ENERGY HOLDINGS, LLC
DEVELOPER: DASH-IN
102 CENTENNIAL STREET, STE. 100
LA PLATA, MD 20646
CONTACT: JASON BELT
PHONE: 240-320-6448

TAX MAP: 24 GRID: 24 PARCEL: 311
ZONED: B-2

2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: THE SHELL OIL CO.
SECTION/AREA: N/A
DEED # 11625/10400

FILE NO. SDP-21-009



NOTE:
CONTRACTOR TO VERIFY ALL STRUCTURE SIZES PRIOR TO ORDERING.

TEST PIT NOTE
FOR TEST PIT DATA REFER TO REPORT ENTITLED "UTILITY TEST PIT DATA FOR DASH-IN #1833, 4205 MONTGOMERY ROAD, ELLICOTT CITY, HOWARD COUNTY, MARYLAND," DATED MARCH 23, 2021. PREPARED BY A.I. DATA

Digitally signed by Andrew G. Stine, P.E.
DN: cn=Andrew G. Stine, P.E., o=Bohler, ou, email=astine@bohler-eng.com, c=US
Date: 2022.05.23 13:59:55 -0400

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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PROJECT No.: MD132045
DRAWN BY: MCO
CHECKED BY: RMS
DATE: 5/5/22
CAD ID.: MD132045-PPD-3.DWG

SITE DEVELOPMENT PLAN
FOR
DASH IN
STORE # 1833
4205 MONTGOMERY ROAD
(MD ROUTE 103)
ELLICOTT CITY, MD 21043
TM 24, GRID 24, PARCEL 311
HOWARD COUNTY
2ND ELECTION DISTRICT
B-2 ZONE

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

ANDREW G. STINE
PROFESSIONAL ENGINEER
LICENSE NO. 37687, EXPIRATION DATE: 7/12/23

SHEET TITLE:
STORMDRAIN PROFILES
SHEET NUMBER:
29
OF 45

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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PROJECT No.: MD132045
 DRAWN BY: MCO
 CHECKED BY: RMS
 DATE: 5/5/22
 CAD ID: MD132045-PPS-3.DWG

PROJECT: **SITE DEVELOPMENT PLAN** FOR **DASH IN**
 STORE # 1833
 4205 MONTGOMERY ROAD
 (MD ROUTE 103)
 ELLICOTT CITY, MD 21043
 TM 24, GRID 24, PARCEL 311
 HOWARD COUNTY
 2ND ELECTION DISTRICT
 B-2 ZONE

BOHLER
 901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21204
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 MD@BohlerEng.com

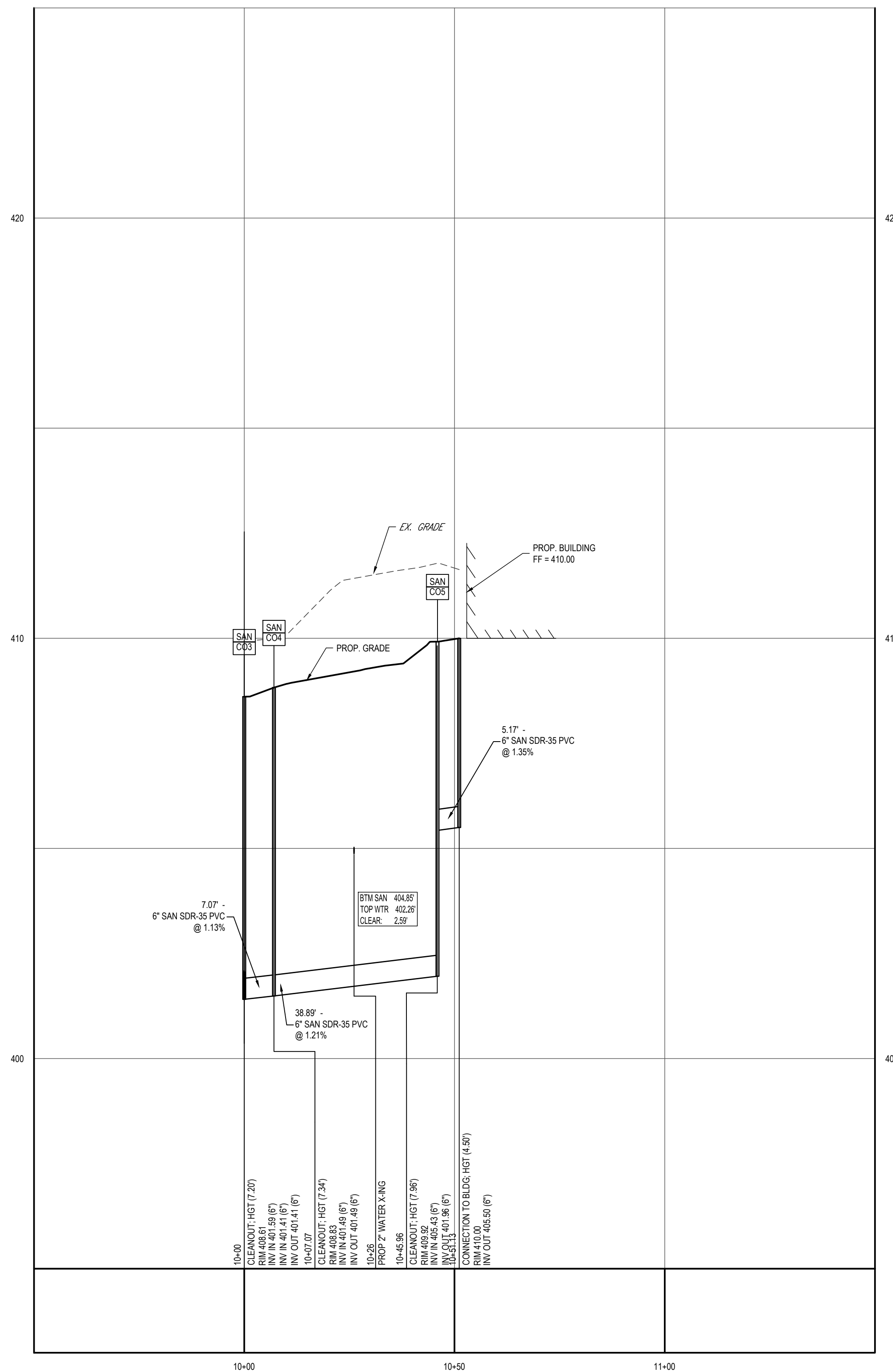
Digitally signed by **Andrew G. Stine, P.E.**
 DN: cn=Andrew G. Stine, P.E., o=Bohler, ou, email=astine@bohlereng.com, c=US
 Date: 2022.05.23 13:59:27 -0400

TEST PIT NOTE
 FOR TEST PIT DATA REFER TO REPORT ENTITLED "UTILITY TEST PIT DATA FOR DASH-IN #1833, 4205 MONTGOMERY ROAD, ELLICOTT CITY, HOWARD COUNTY, MARYLAND," DATED MARCH 23, 2021, PREPARED BY A.I. DATA

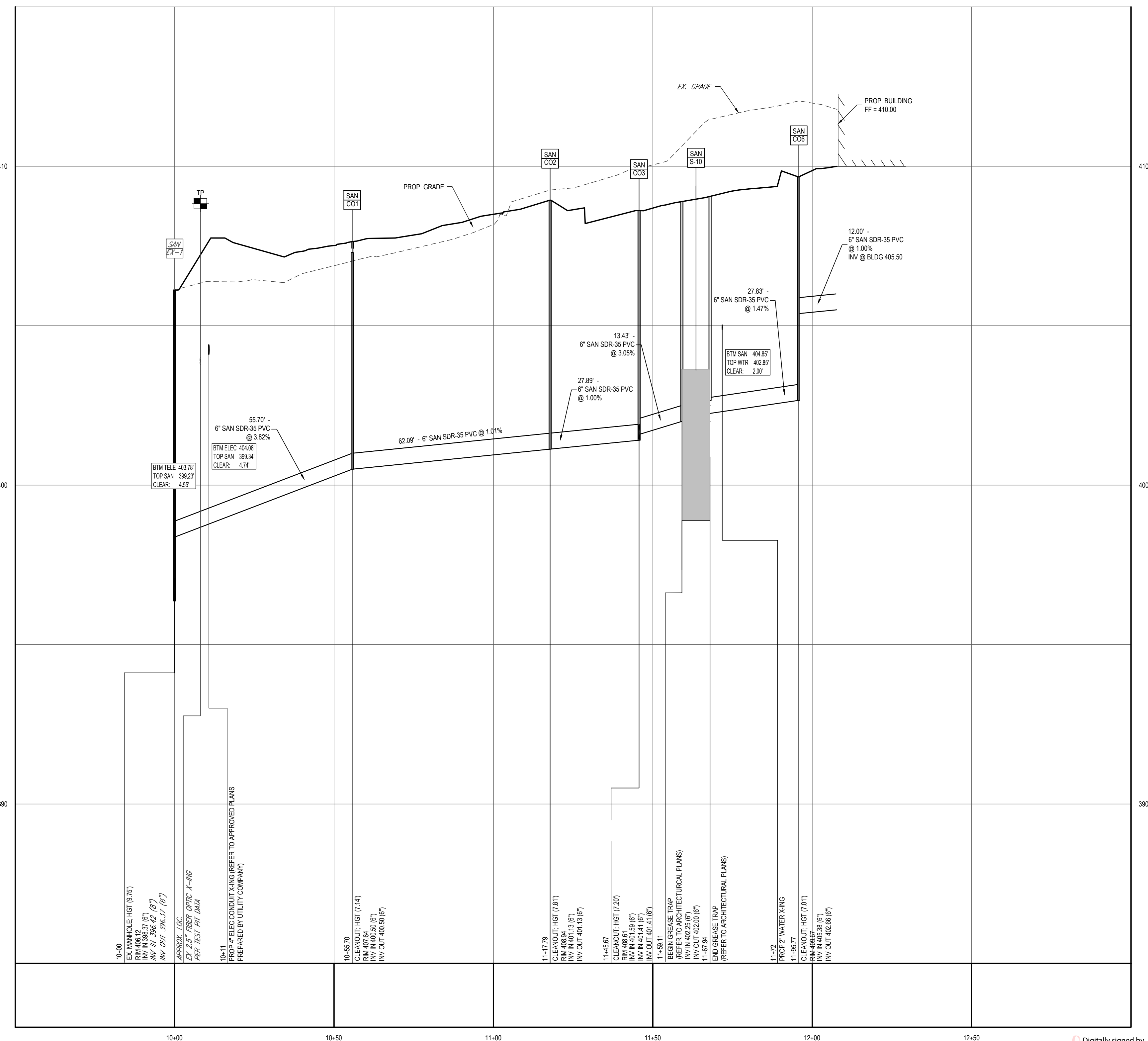
ANDREW G. STINE
 PROFESSIONAL ENGINEER
 LICENSE NO. 37687, EXPIRATION DATE: 7/23/23

SANITARY PROFILES

SHEET NUMBER: **31** OF 45



PROPOSED SANITARY PROFILE - CO3 TO BUILDING
 SCALE: 1"=20' HORIZONTAL
 1"=2' VERTICAL



PROPOSED SANITARY PROFILE - EX-1 TO BUILDING
 SCALE: 1"=20' HORIZONTAL
 1"=2' VERTICAL

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: **CHAD Edmondson**, 6/28/2022

Chief, Division of Land Development: **Ray Goman**, 6/28/2022

Director: **SB40009470C404**, DATE

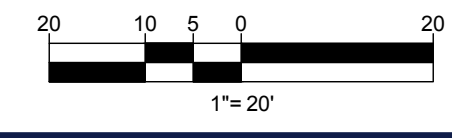
OWNER: POTOMAC ENERGY HOLDINGS, LLC
 DEVELOPER: DASH-IN
 LA PLATA, MD 20646
 102 CENTENNIAL STREET, STE. 100
 LA PLATA, MD 20645
 CONTACT: JASON BELT
 PHONE: 240-320-6448
 CONTACT: JASON BELT
 PHONE: 240-320-6448

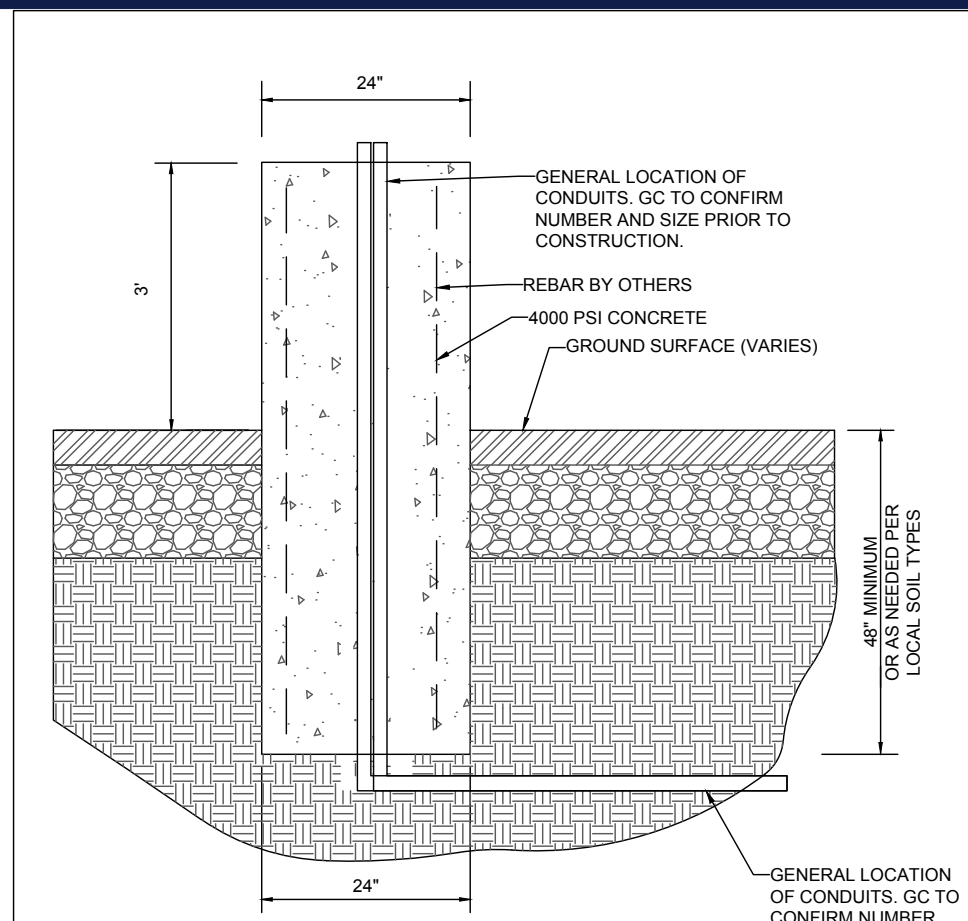
TAX MAP: 24 GRID: 24 PARCEL: 311
 ZONED: B-2

2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

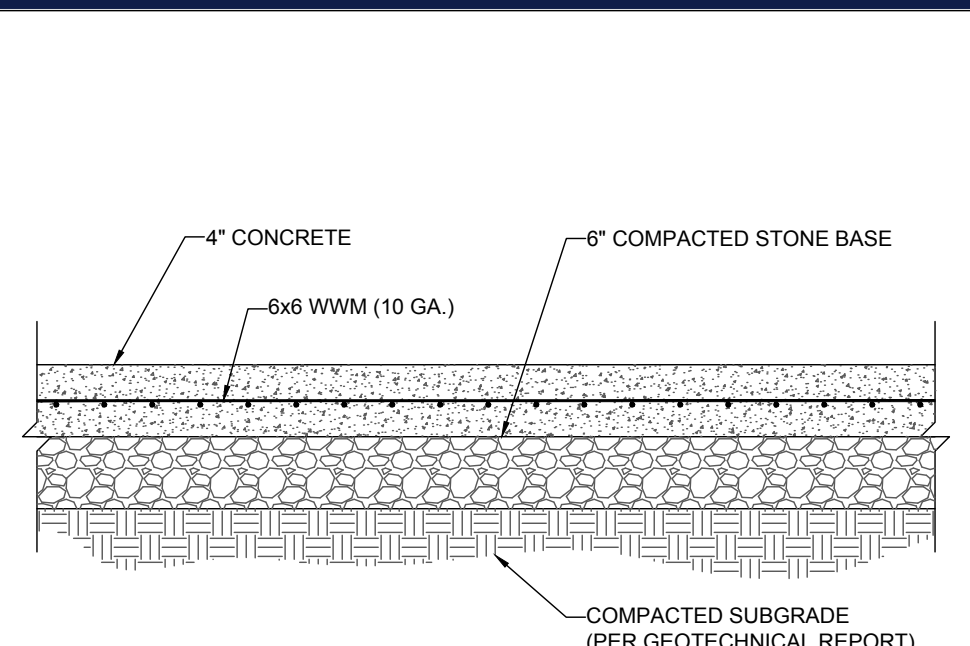
SUBDIVISION NAME: THE SHELL OIL CO.
 SECTION/AREA: N/A
 DEED # 11925/10400

FILE NO. SDP-21-009

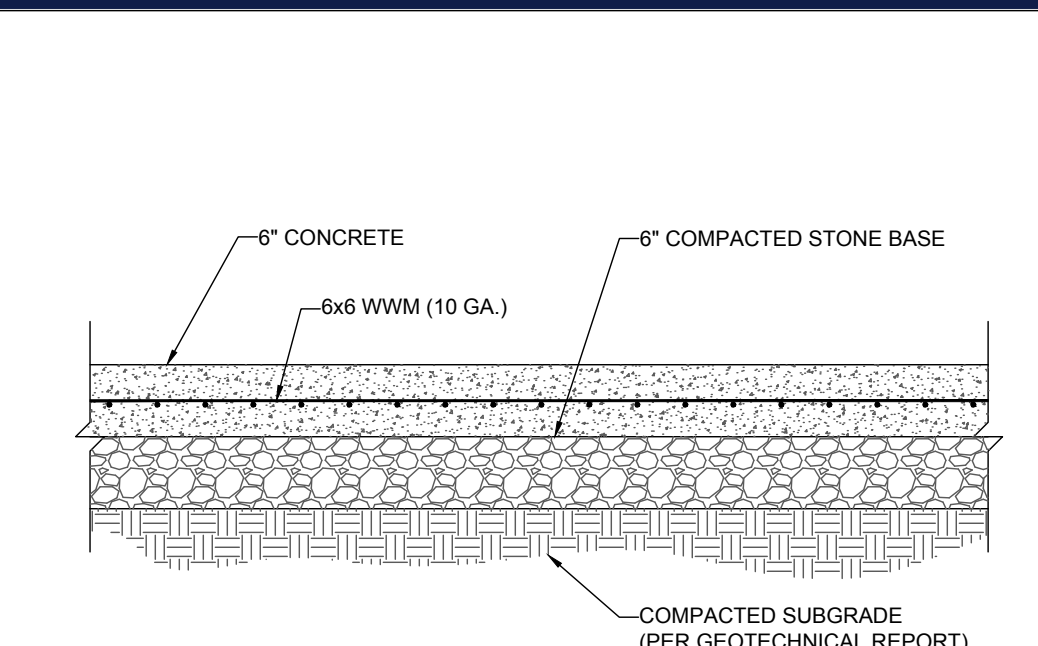




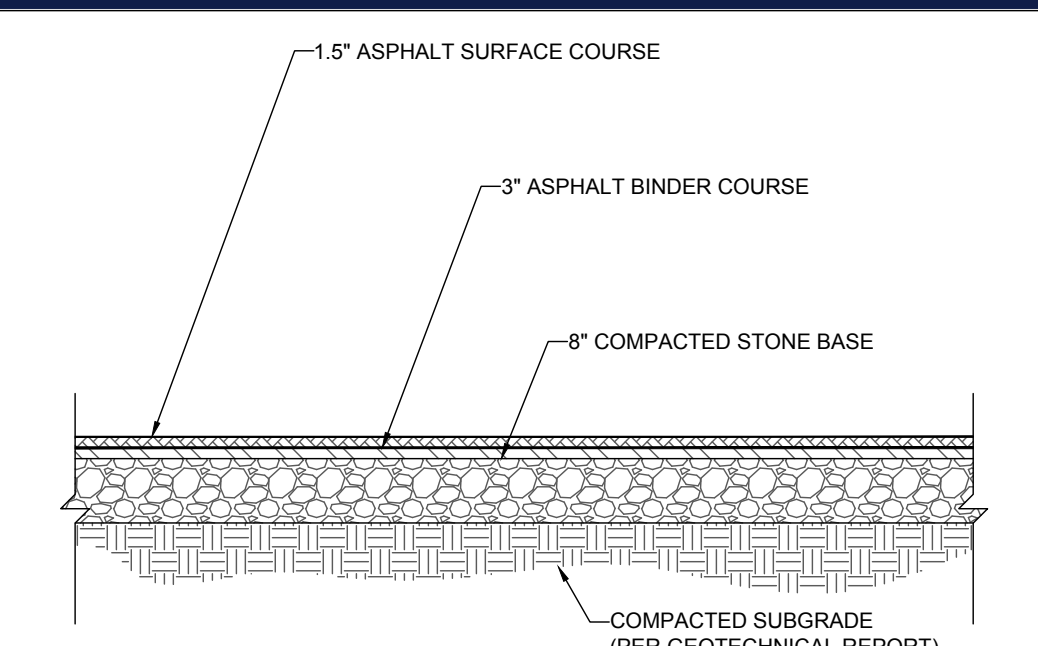
3' TALL CONCRETE LIGHT POLE BASE
NOT TO SCALE



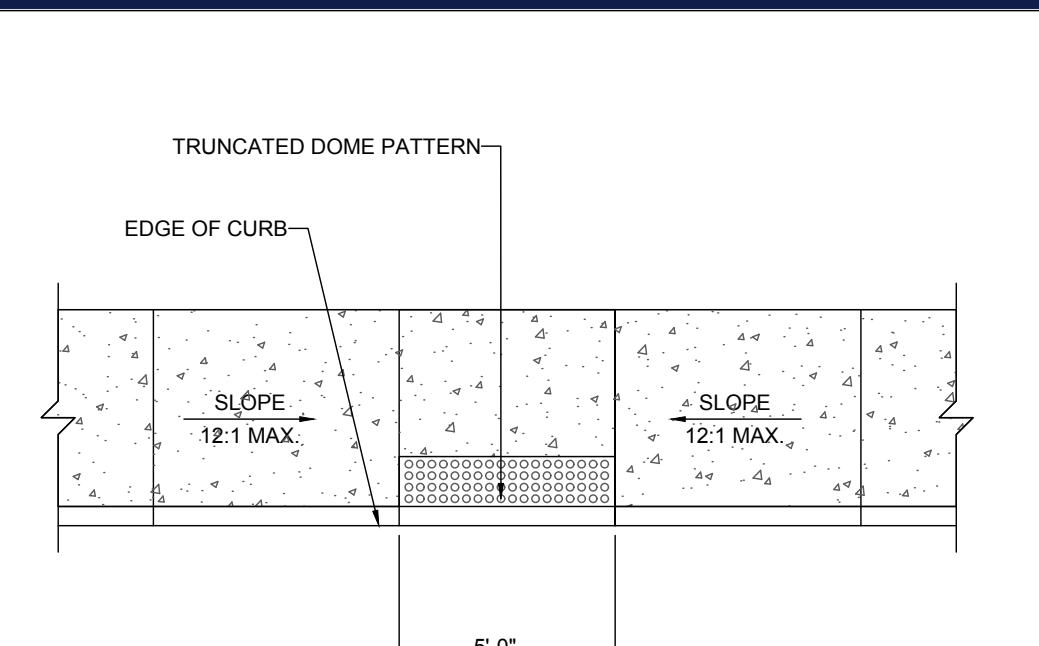
STANDARD DUTY CONCRETE SECTION
NOT TO SCALE



HEAVY DUTY CONCRETE SECTION
NOT TO SCALE



STANDARD DUTY ASPHALT PAVEMENT SECTION
NOT TO SCALE



ADA ACCESSIBLE RAMP DETAIL
NOT TO SCALE

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS			
REV	DATE	COMMENT	DRAWN BY

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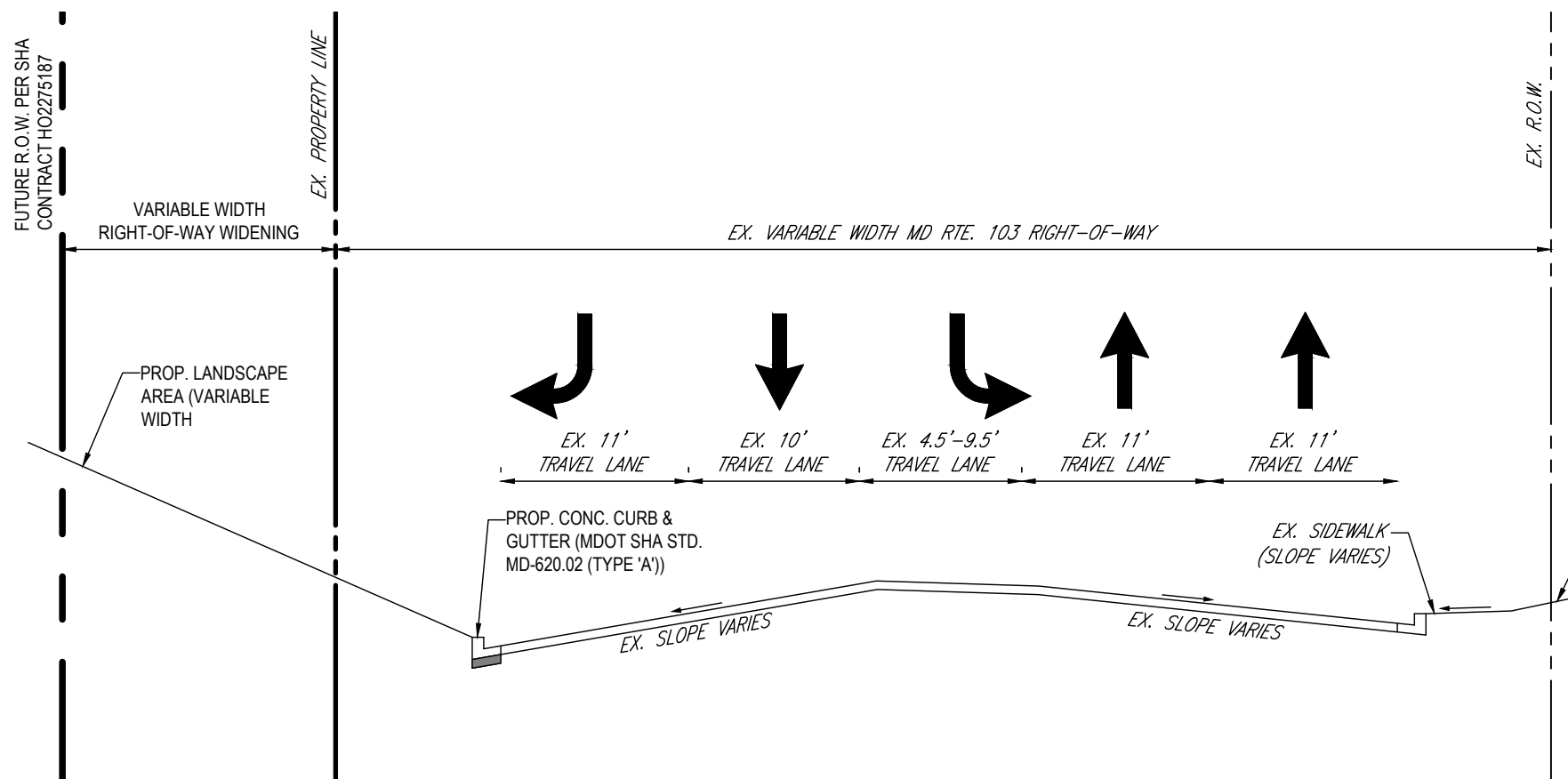
PROJECT No.: MD132045
DRAWN BY: MCO
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DATE: 5/5/22
CAD ID: MD132045-SDP-3.DWG

SITE DEVELOPMENT PLAN
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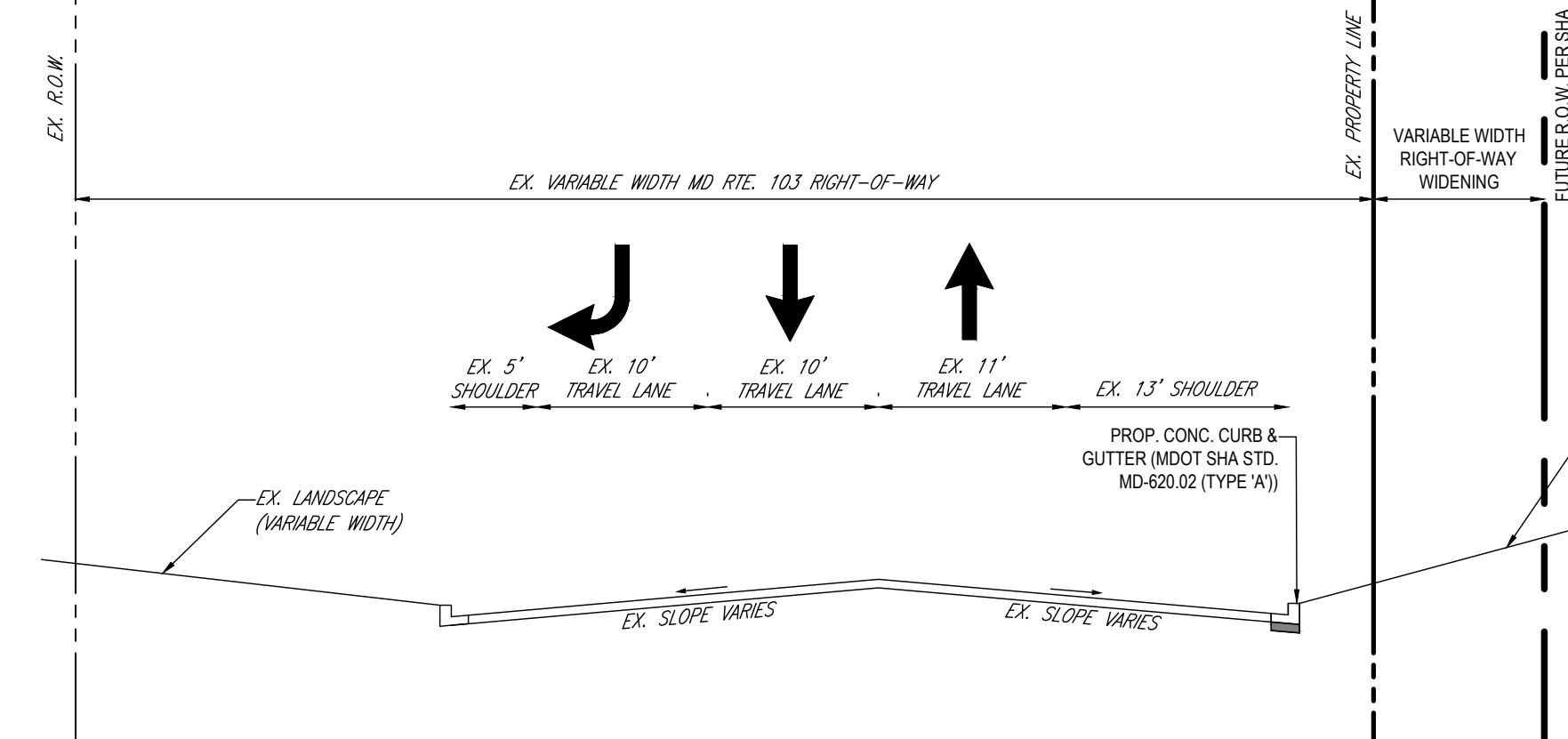
BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

Digitally signed by
Andrew G. Stine, P.E.
DN: cn=Andrew G. Stine, P.E., o=Bohler, ou=lereng.com, c=US
Date: 2022.05.23 13:59:10 -0400'

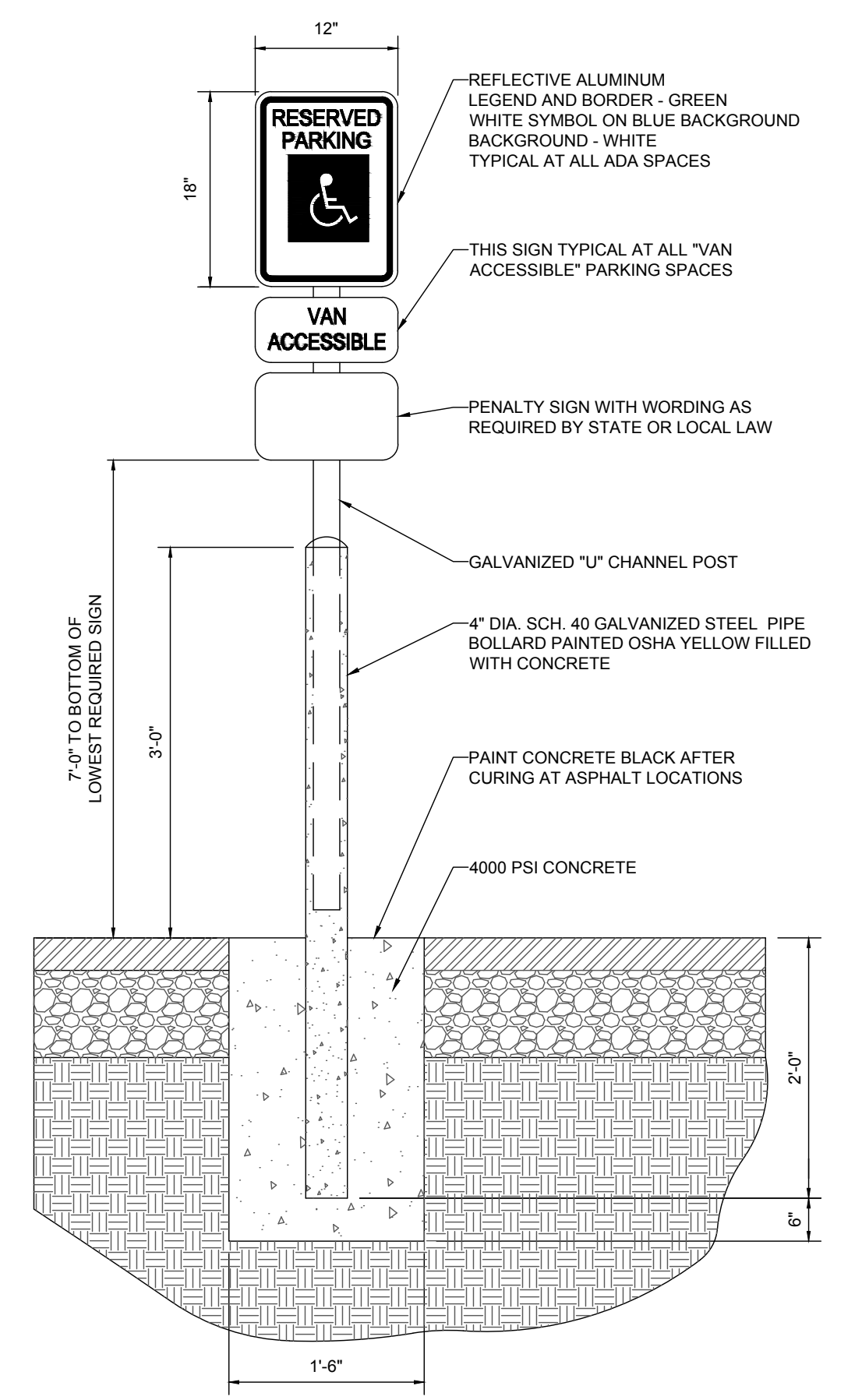
CONSTRUCTION DETAILS
SHEET NUMBER: **32**
OF 45
FILE NO. SDP-21-009



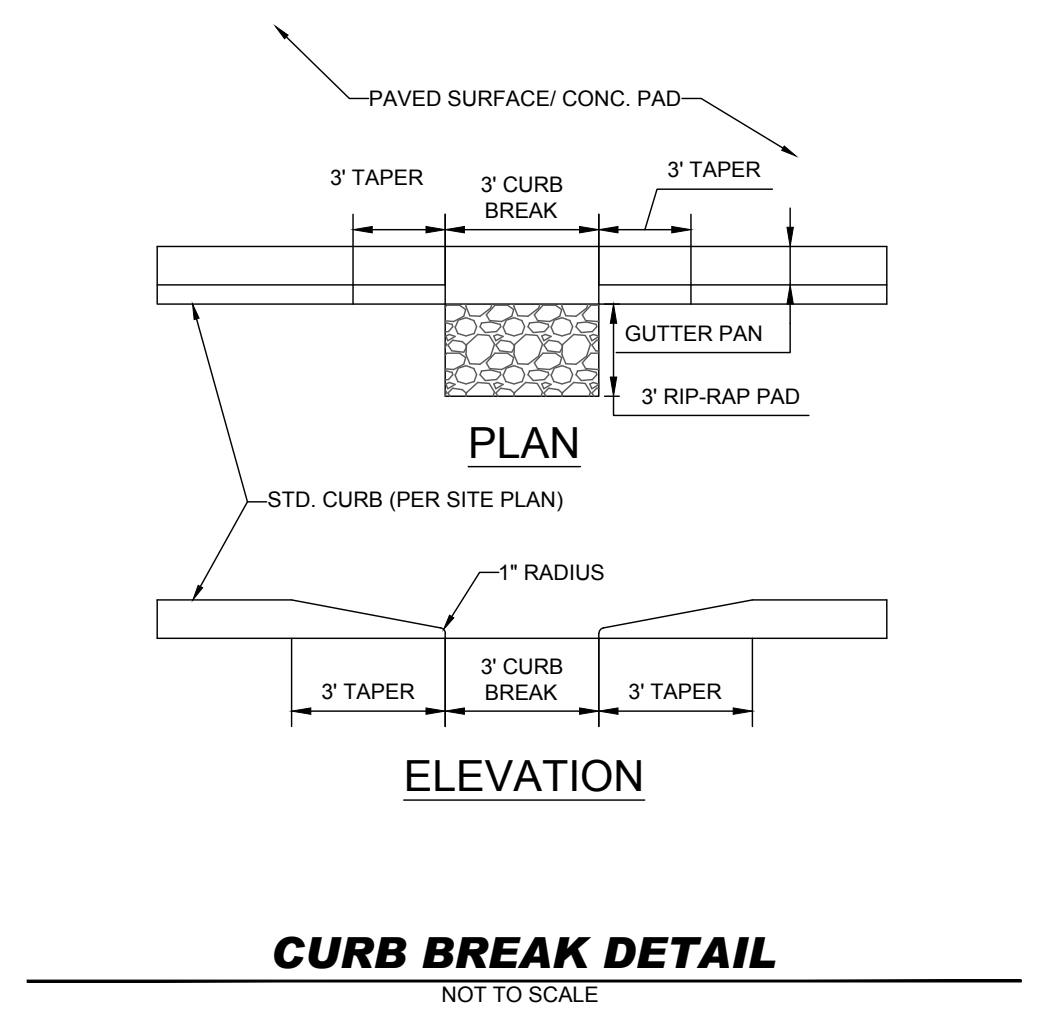
TYPICAL SECTION - MD RTE. 103 (MONTGOMERY ROAD)
NOT TO SCALE



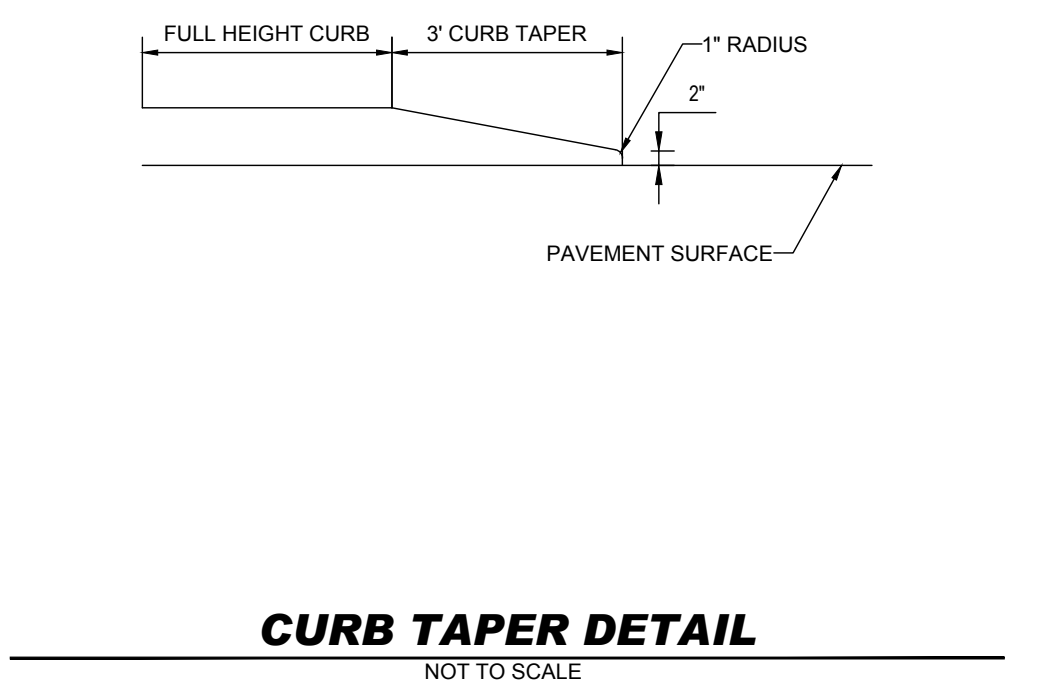
TYPICAL SECTION - OLD COLUMBIA PIKE
NOT TO SCALE



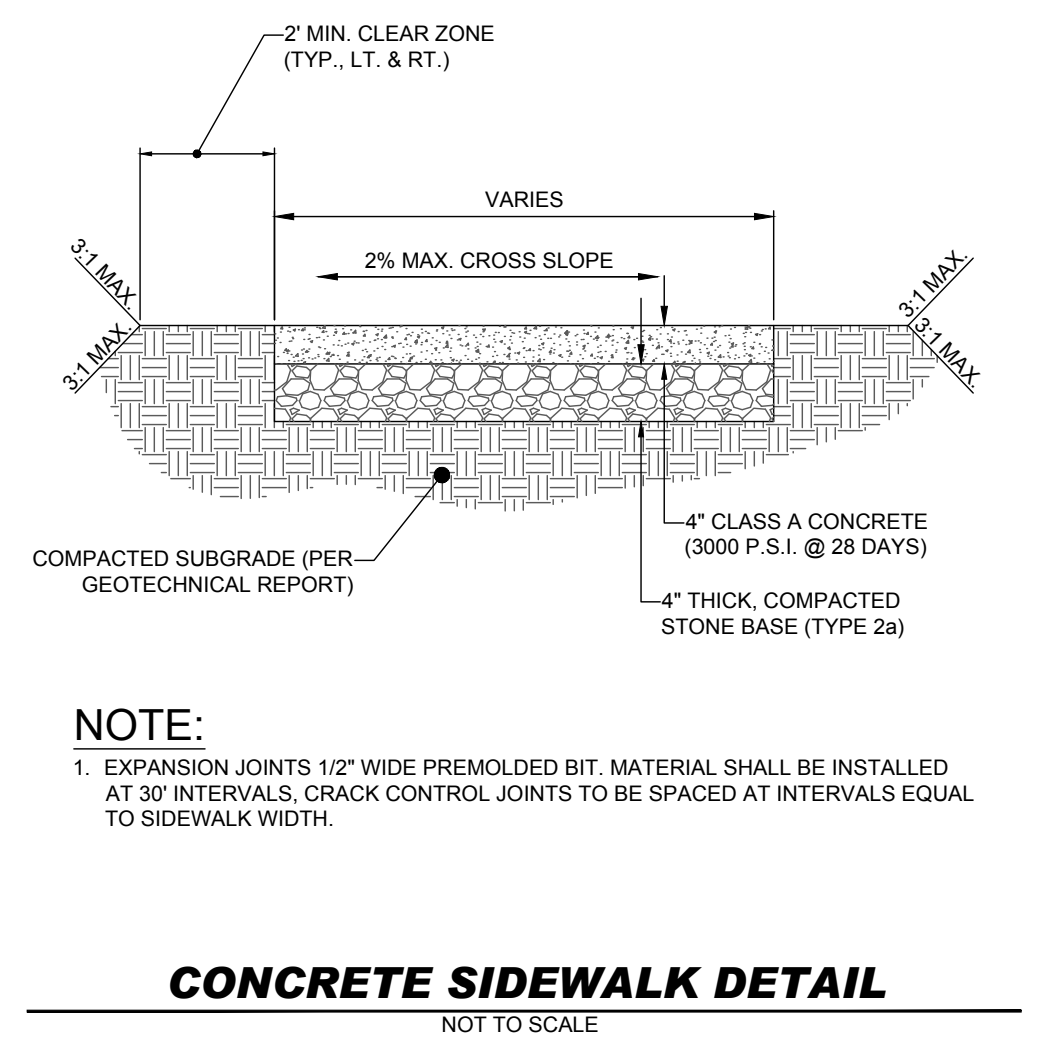
BOLLARD MOUNTED ADA PARKING SIGN DETAIL
NOT TO SCALE



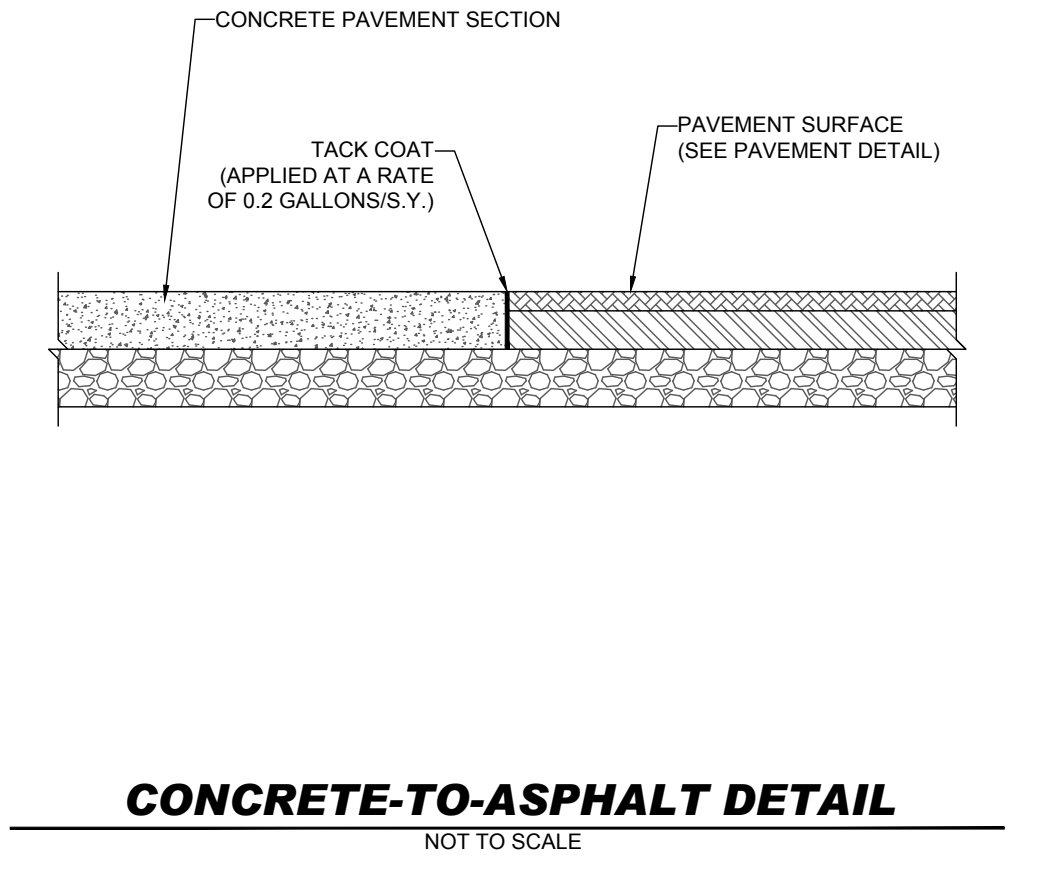
CURB BREAK DETAIL
NOT TO SCALE



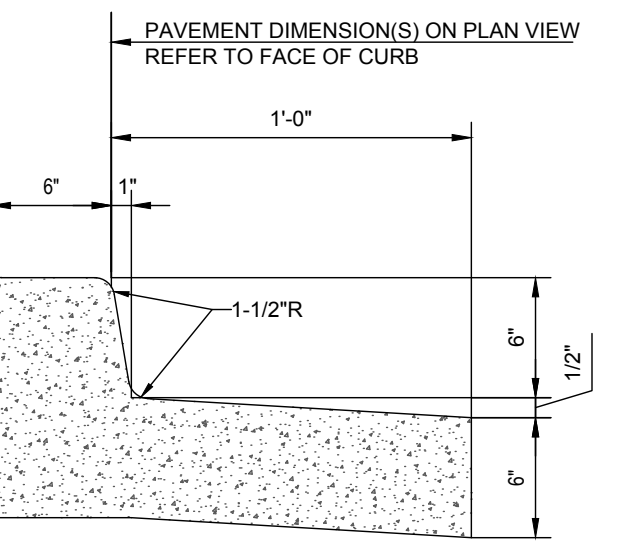
CURB TAPER DETAIL
NOT TO SCALE



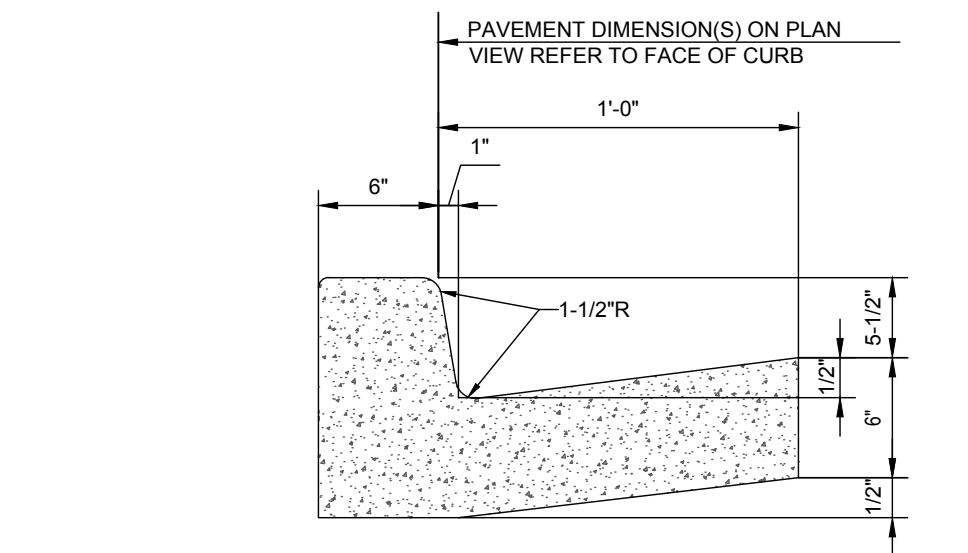
CONCRETE SIDEWALK DETAIL
NOT TO SCALE



CONCRETE-TO-ASPHALT DETAIL
NOT TO SCALE



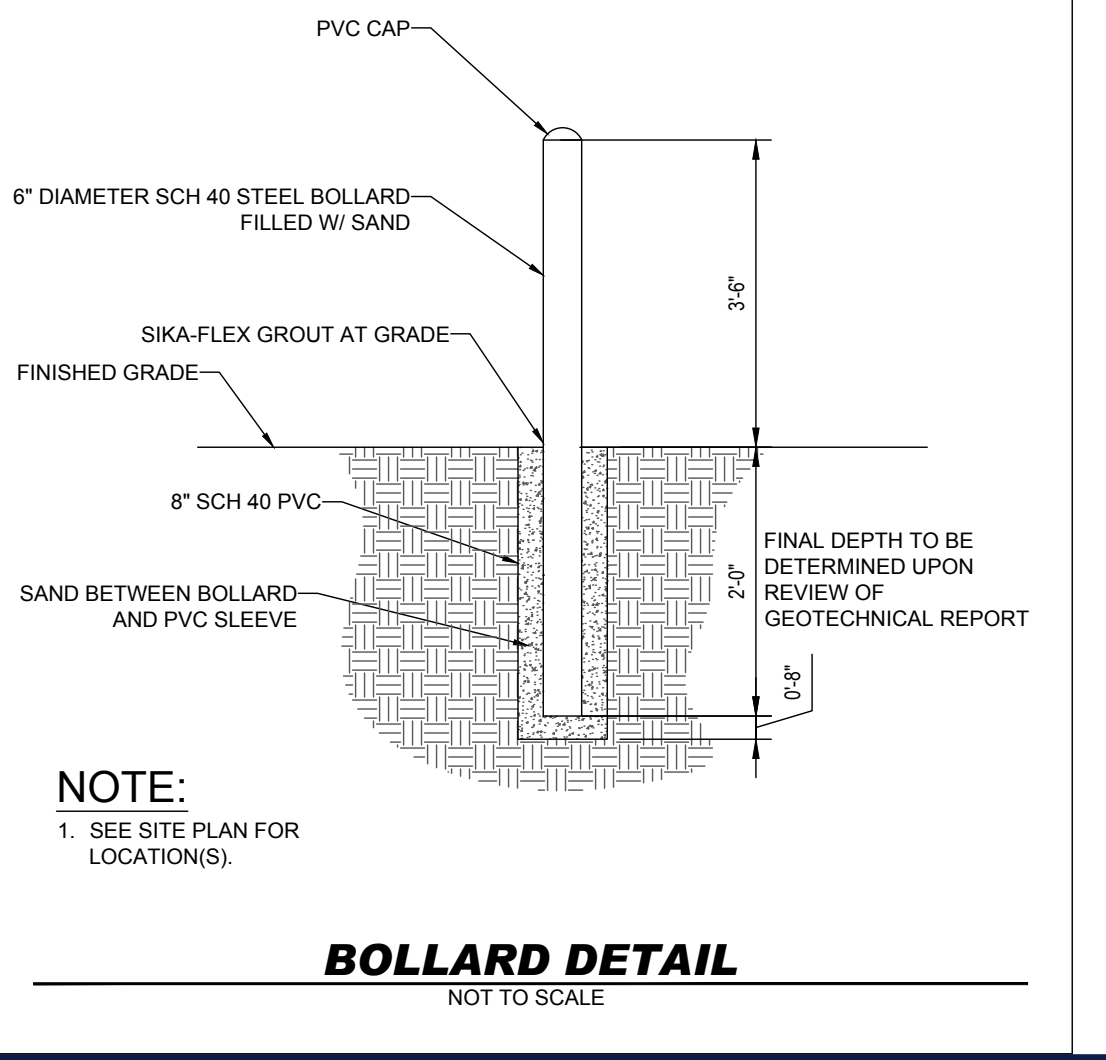
SPILL CURB & GUTTER



COLLECTOR CURB & GUTTER

- NOTES:**
- CONCRETE FOR CURBING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 P.S.I. @ 28 DAYS.
 - CONSTRUCTION STAKING FOR CURB INSTALLATION SHALL BE REFERENCED (CUT OR FILL) TO THE TOP OF CURB.
 - AT CONTRACTOR'S OPTION, THE GUTTER THICKNESS MAY BE INCREASED AT THE EDGE OF PAVEMENT TO MAKE BOTTOM OF GUTTER CONTIGUOUS WITH BOTTOM OF ASPHALT PAVEMENT.
 - CONTRACTION JOINTS SHALL BE PLACED @ 10'-0" O.C. TOOLED 1/4" (+1/16") WIDE, 1" DEEP. EXPANSION JOINTS SHALL BE PLACED @ 40'-0" INTERVALS, MAXIMUM, AND ALL P.C.S.
 - GUTTER PAN SLOPE TO BE ADJUSTED WITHIN ACCESSIBLE PARKING SPACES TO MATCH SLOPE BETWEEN SPOT ELEVATIONS.

CONCRETE CURB & GUTTER DETAIL
NOT TO SCALE



BOLLARD DETAIL
NOT TO SCALE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: **Michael Edmondson** 6/28/2022
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by: **Michael Edmondson** 6/28/2022
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by: **Ray Givens** 6/28/2022
DIRECTOR DATE



Proposed Exterior Materials

- AW-1** Awnings - Final Color and Graphic Design T.B.D.
- BR-1** Thin Brick: McNEar Brick & Block, Sandmold Series, Modular: Color, Genova. Brick Mortar: Workrite #2223 type "S" Masonry cement.
- LT-1** LED Wall Washer
- MT-2** Metal Coping: Englert, Color, Colonial Red
- MT-3** Metal Coping: Englert, Color, Bone White
- PC-1** Precast Watertable: Eldorado Stone, Split Edge Wainscot Sill: Color, White Cloud
- PT-3** Exterior Metal Grade Paint on Door & Frame: Color to match storefront, Black
- SD-1** Fiber Cement Panels: Nichiha, Vintage Wood, Color: Ash (EPC764F)
- SG-1** Brand Standard Internally Illuminated Sign
- ST-1** Stone Veneer: Eldorado Precast Stacked Stone: Color, Nantucket

Right Elevation

DASH IN 833
 Ellicott City, MD
 P.N. 19-315 | 07.22.2020
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BCT ARCHITECTS
 100 N Charles Street | 18th Floor
 Baltimore, Maryland 21201
 410.837.2727
 www.bctarchitects.com



Digitally signed by
 Andrew G. Stine, P.E.
 DN: cn=Andrew G.
 Stine, P.E., o=Bohler,
 ou,
 email=astine@bohlereng.com, c=US
 Date: 2022.05.23
 13:57:33 -04'00'

SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

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REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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PROJECT No.: MD132045
 DRAWN BY: MCO
 CHECKED BY: RMS
 DATE: 5/5/22
 CAD ID: MD132045-SDP-3.DWG

SITE DEVELOPMENT PLAN
 FOR

STORE # 1833

4205 MONTGOMERY ROAD
 (MD ROUTE 103)
 ELLICOTT CITY, MD 21043
 TM 24, GRID 24, PARCEL 311
 HOWARD COUNTY
 2ND ELECTION DISTRICT
 B-2 ZONE

901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21204
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 MD@BohlerEng.com

ANDREW G. STINE

PROFESSIONAL ENGINEER
 2-3, 11/1/2018 & 11/1/22
 PROFESSIONAL CERTIFICATION
 I AM A DULY LICENSED PROFESSIONAL ENGINEER
 UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 31687, EXPIRATION DATE: 7/12/23

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: <i>Chad Edmondson</i>	6/28/2022
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
DocuSigned by: <i>[Signature]</i>	6/28/2022
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
DocuSigned by: <i>Amy Goman</i>	6/28/2022
DIRECTOR	DATE

OWNER: POTOMAC ENERGY HOLDINGS, LLC PO BOX 2810 LA PLATA, MD 20646 CONTACT: JASON BELT PHONE: 240-320-6448	DEVELOPER: DASH-IN 102 CENTENNIAL STREET, STE. 100 LA PLATA, MD 20645 CONTACT: JASON BELT PHONE: 240-320-6448
TAX MAP: 24	GRID: 24
PARCEL: 311	
ZONED: B-2	
2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND	
SUBDIVISION NAME: THE SHELL OIL CO. SECTION/AREA: N/A DEED # 11925 / 10400	
FILE NO. SDP-21-009	

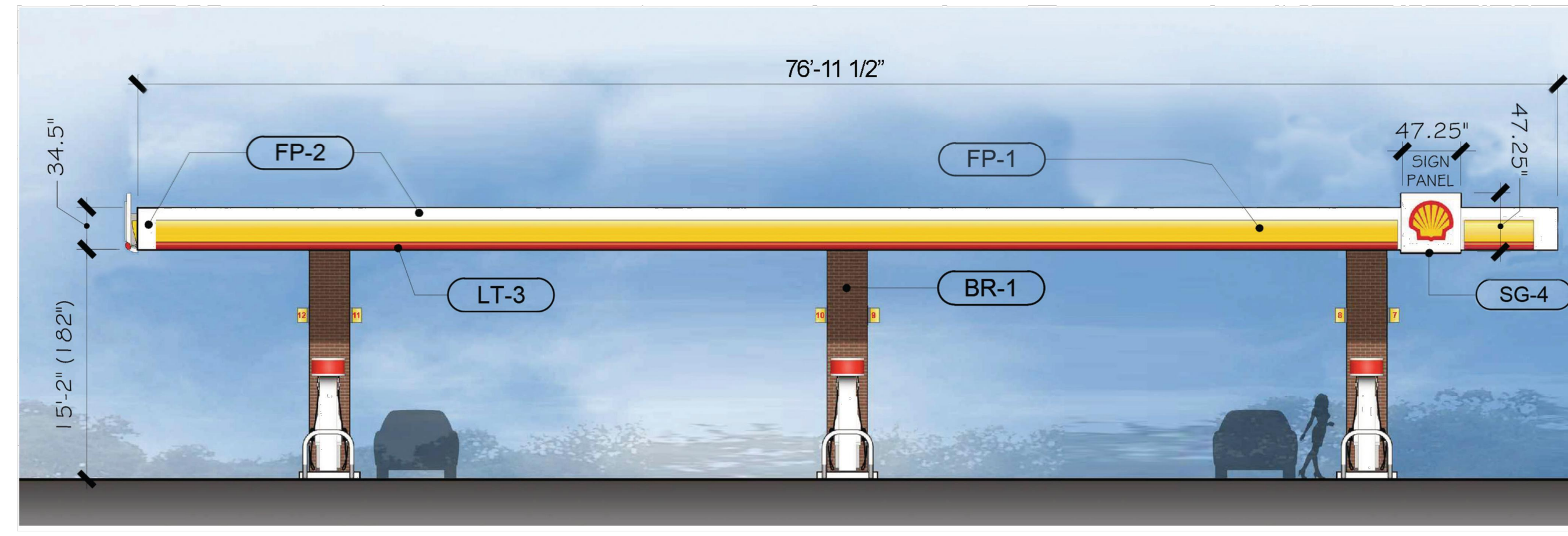
SHEET TITLE:

ARCHITECTURAL ELEVATIONS

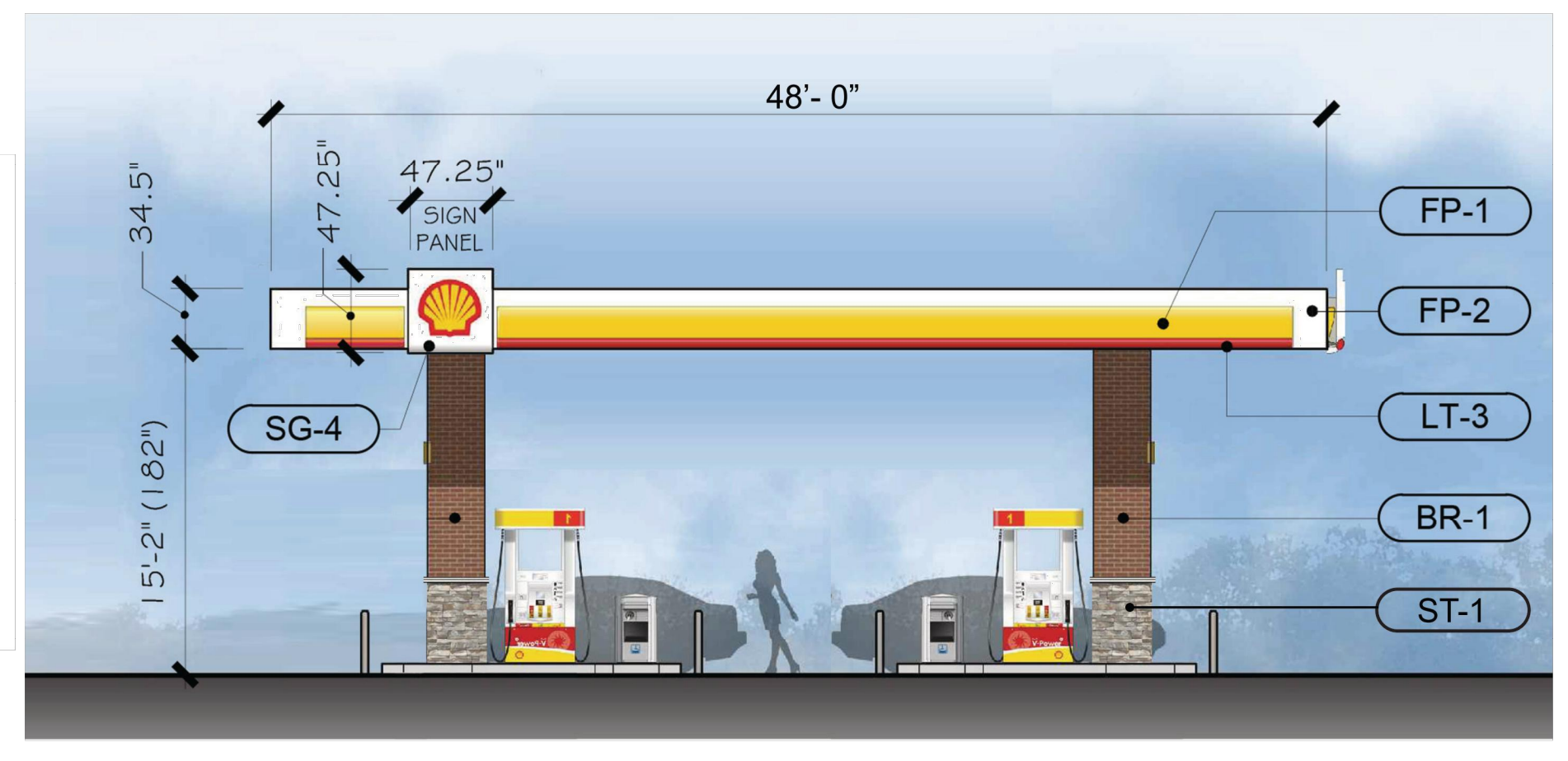
SHEET NUMBER:

35

OF 45



South Elevation - Montgomery Road



West Elevation - Old Columbia Pike

- BR-1** Thin Brick: McNear Brick & Block, Sandmold Series, Modular: Color, Genova. Brick Mortar: Workrite #2223 type "S" Masonry cement.
- FP-1** Curved Aluminum or ACM Fascia, Yellow
- FP-2** Metal Fascia Panel, Exposed at Ends, White
- LT-3** Internally Illuminated Linear Red Bar Light
- SG-4** Internally Illuminated Shell Pecten Light Panel
- ST-1** Stone Veneer: Eldorado Precast Stacked Stone: Color, Nantucket

SIGN AREA
 Sign 4 FT x 4 FT = 16 S.F.
 Total Canopy Sign Area = (2) 16 S.F. = 32 S.F.

Gas Canopy Elevations

DASH IN 833
 Ellicott City, MD
 P.N. 19-315 | 07.22.2020
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 410.837.2727
 www.bctarchitects.com

Digitally signed by Andrew G. Stine, P.E.
 DN: cn=Andrew G. Stine, P.E., o=Bohler, ou=ohlereng.com, c=US
 Date: 2022.05.23 13:56:43 -04'00'

APPROVED: DEPARTMENT OF PLANNING AND ZONING	
DocuSigned by: <i>Chad Edmondson</i>	6/28/2022
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DIRECTOR	DATE

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ZONED: B-2		
2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND		
SUBDIVISION NAME: THE SHELL OIL CO. SECTION/AREA: N/A DEED # 11625 / 10400		
FILE NO. SDP-21-009		

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 FOR
DASH IN
 STORE # 1833
 4205 MONTGOMERY ROAD
 (MD ROUTE 103)
 ELLICOTT CITY, MD 21043
 TM 24, GRID 24, PARCEL 311
 HOWARD COUNTY
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 B-2 ZONE

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ANDREW G. STINE
 PROFESSIONAL ENGINEER
 License No. 31687, Expiration Date: 7/12/23

ARCHITECTURAL ELEVATIONS
 SHEET NUMBER:
38
 OF 45



LANDS N/F
PINNACLE REALTY LLC
L. 6262 F. 464
TM: 24 23 840
ZONE: B-2
USE: EXISTING AUTOMOBILE
SERVICE STATION

LANDS N/F
KEVIN GREENE AND
SHARON W. IRONSIDE LONDON
L. 18359 F. 90
TM: 24 24 736
ZONE: R-20
USE: EXISTING SINGLE FAMILY DWELLING

LANDS N/F
HERMON A. EDDY
L. 4555 F. 349
TM: 24 24 719
ZONE: R-20
USE: EXISTING SINGLE FAMILY DWELLING

LANDS N/F
CLOVERLAND FARMS DAIRY, INC.
L. 529 F. 404
TM: 24 24 677
ZONE: B-2
USE: EXISTING AUTOMOBILE SERVICE STATION

FUTURE SIDEWALK
PER SHA CONTRACT
HOZ275187

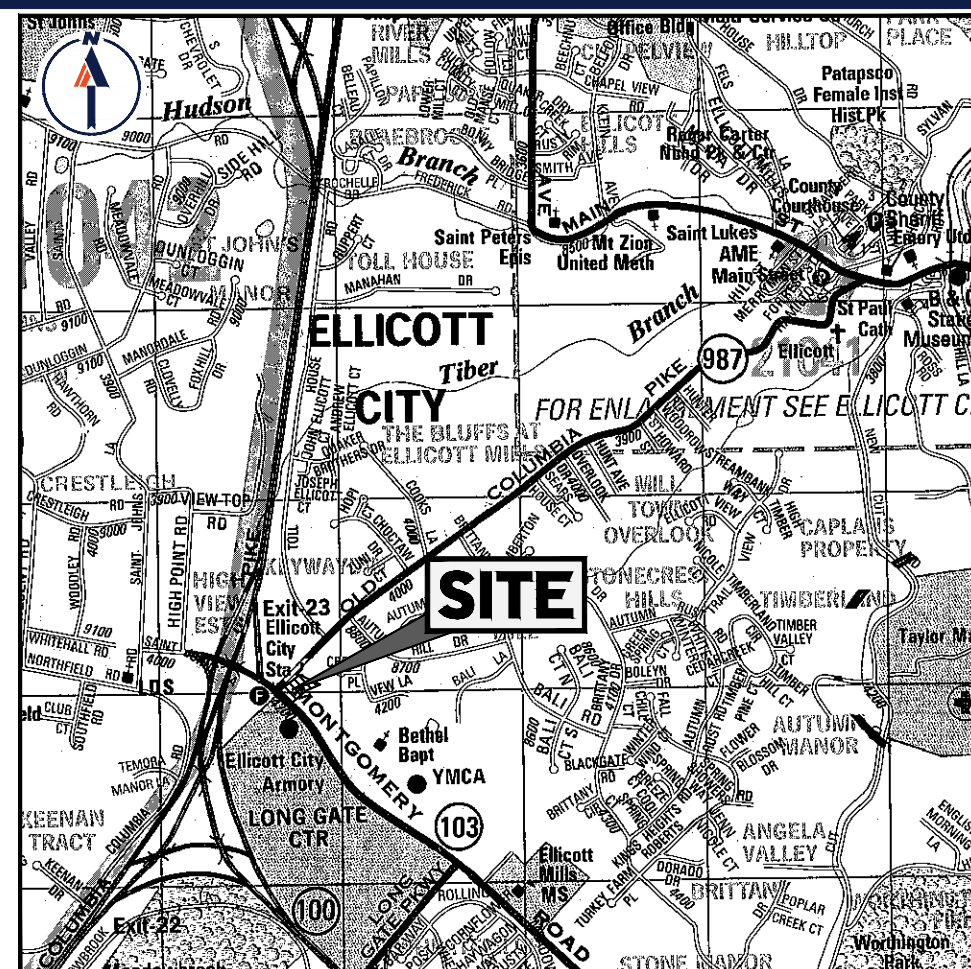
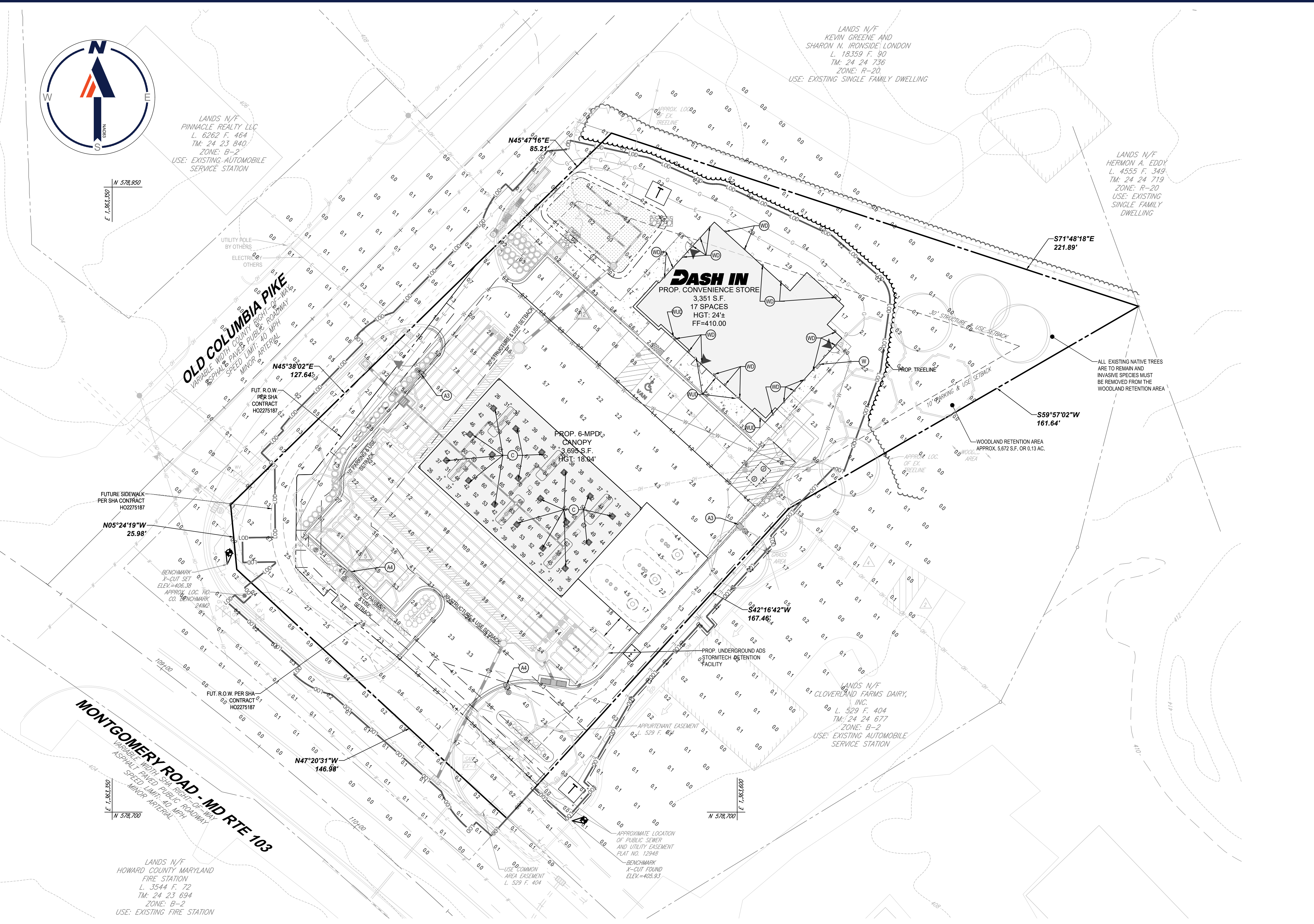
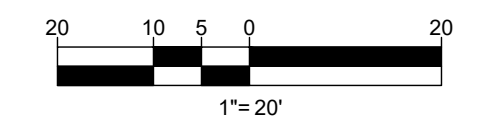
N05°24'19"W
25.98'

BENCHMARK
4'-CUT SET
ELEV=408.38
APPROX. LOC. TO
CO. BENCHMARK
24MG
L. 529 F. 404

FUT. R.O.W. PER SHA
CONTRACT
HOZ275187

N47°20'31"W
146.98'

LANDS N/F
HOWARD COUNTY MARYLAND
FIRE STATION
L. 3544 F. 72
TM: 24 23 694
ZONE: B-2
USE: EXISTING FIRE STATION



LOCATION MAP
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PERMIT USE NO. 20602153-5
SCALE: 1"=200'

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CHECKED BY: RMS
DATE: 5/5/22
CAD ID: MD132045-LGP-3.DWG

SITE DEVELOPMENT PLAN
FOR
DASH IN
STORE # 1833
4205 MONTGOMERY ROAD
(MD ROUTE 103)
ELLIPTICAL CITY, MD 21043
TM 24, GRID 24, PARCEL 311
HOWARD COUNTY
2ND ELECTION DISTRICT
B-2 ZONE

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

E.R. McWILLIAMS
REGISTERED PROFESSIONAL ARCHITECT
1 E RIC RD, ELLIPTICAL CITY, MD 21043
I, E.R. McWILLIAMS, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A QUALIFIED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 9897, EXPIRATION DATE: 9/2022

LUMINAIRE SCHEDULE

SYMBOL	QUANTITY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	DESCRIPTION
	2	A3	SINGLE	11075	1.030	B3-U0-G3	134	268	CREE LIGHTING	STR-LWY-3M-HT-06-E-UL-WH-700-57K
	2	A4	SINGLE	11683	1.030	B3-U0-G2	134	268	CREE INC.	STR-LWY-4M-HT-06-E-UL-WH-700-57K
	18	C	SINGLE	12516	1.030	B3-U0-G1	91.19	1641.42	CREE LIGHTING	CPY250-B-DM-F-13L-UL-WH-57K
	1	W	SINGLE	2490	1.030	B3-U0-G1	19	19	CREE INC.	XSPW-B-WM-3ME-2L-57K-UL-BK
	26	WD	SINGLE	983	1	N/A	19.4	504.4	FC/SSL LIGHTING	FC0410W-120V-4K-900-XX-UNO-DFL
	5	WUD	SINGLE	710	1	B0-US-G0	52	260	FC LIGHTING	FC0618W-120V-LED-4K-1000-COLOR-UFL-DFL

NOTE:
AREA LIGHTS ON NEW 15 FT. POLES MOUNTED ON 2 FT. CONCRETE BASES

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES

LABEL	AVG	MAX	MIN	MAX/MIN
PAVED AREA	3.48	10.0	0.2	50.0
UNDER CANOPY	48.7	70.0	25.0	2.80

THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS REGULATED BY LOCAL ORDINANCES

OWNER: POTOMAC ENERGY HOLDINGS, LLC
DEVELOPER: DASH IN
102 CENTENNIAL STREET, STE. 100
LA PLATA, MD 20646
CONTACT: JASON BELT
PHONE: 240-320-6448

TAX MAP: 24 GRID: 24 PARCEL: 311
ZONED: B-2
2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: THE SHELL OIL CO.
SECTION/AREA: N/A
DEED #
11625/100400

FILE NO. SDP-21-009

APPROVED:
HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
DocuSigned by:
Cheryl Edmondson
7083754E1459

CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 6/28/2022

CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 6/28/2022

DIRECTOR
DocuSigned by:
DATE: 6/28/2022

SHEET TITLE:
LIGHTING PLAN
SHEET NUMBER:
44
OF 45

