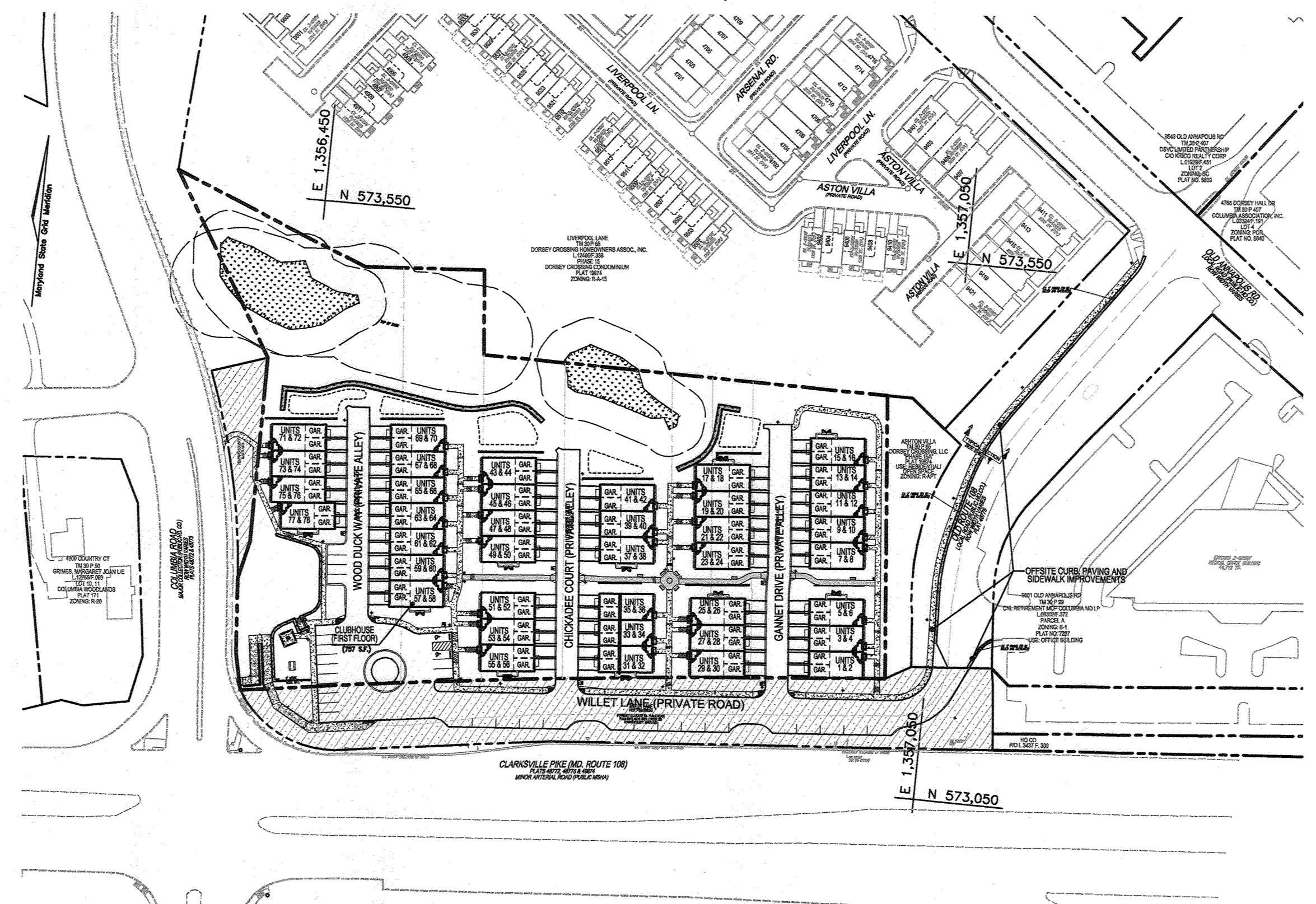


GENERAL NOTES:

- 1. PROJECT BACKGROUND: SUBDIVISION NAME: COLUMBIA WOODLANDS (PLAT BOOK 1, PAGE 71) GRID: 9 TAX MAP: 30 SECTION/AREA: N/A LOT/PARCEL: PARCELS 67, 51, 52, 288, 53, 54, AND 55 ZONING: R-APT 1 (R-20) BA-20-003V; AA-21-010 (ZB/BA) 2ND TRACT AREA: 4.49 ACRES AREA OF PERPETUAL EASEMENT: 1.08 AC. NUMBER OF PROPOSED UNITS: 78 APARTMENTS TOTAL AREA OF PROJECT: 5.57 ACRES± (TRACT AREA 4.49 ACRES + PERPETUAL EASEMENT 1.08 ACRES) AREA OF PROPOSED R/W: 0.00 AC. OPEN SPACE REQ.: N/A GREEN AREA PROVIDED: 2.82 ACRES± WATER & SEWER: WATER CONTRACT NO. 223-W/S SEWER CONTRACT NO. 223-W/S AND 14-1374 ECP-15-012, WP-16-112, S-16-004, P-17-003, F-21-023 (PLAT 26183-84), BA-20-003V; AA-21-010, WP-22-014, L-21387/F/246

DORSEY OVERLOOK SITE DEVELOPMENT PLAN APARTMENT UNITS 1-78 PARCEL 'A' HOWARD COUNTY, MARYLAND



LOCATION MAP SCALE: 1"=100'

AMENITY AREA TABULATION: SECTION 112.1.G AMENITY AREAS: R-APT DEVELOPMENTS SHALL INCLUDE AN AMENITY AREA OR AREAS. A MINIMUM OF 10% OF THE NET ACREAGE SHALL BE PROVIDED AS OPEN SPACE WHICH MUST BE DESIGNED AS AN AMENITY AREA. NO AMENITY AREA SHALL BE SMALLER THAN 0.25 ACRES. THE AMENITY AREA SHALL INCLUDE SEATING AND TREES PROPORTIONAL TO THE SIZE OF THE AMENITY AREA. AMENITY AREAS SHALL BE CONNECTED BY PEDESTRIAN AND BICYCLE IMPROVEMENTS THAT LINK WITH EXISTING AND FUTURE CONNECTIONS TO SURROUNDING DEVELOPMENTS. REQUIRED = 10% X NET AREA = 10% X 5.57 ACRES = 0.557 ACRES OR 24,263 SF PROVIDED = 0.56 ACRES OR 24,492± SF LAND AREA

BENCHMARKS: HOWARD COUNTY BENCHMARK - 308A (CONC. MONUMENT) N 573149.04 E 1357083.21 ELEV. 397.20 LOCATION: OLD ROUTE 108, 480' SOUTH OF OLD ANNAPOLIS ROAD HOWARD COUNTY BENCHMARK - 308B (CONC. MONUMENT) N 572298.12 E 1353001.79 ELEV. 409.16 LOCATION: SOUTH SIDE OF ROUTE 108, 700' EAST ENTRANCE TO CENTENAL PARK

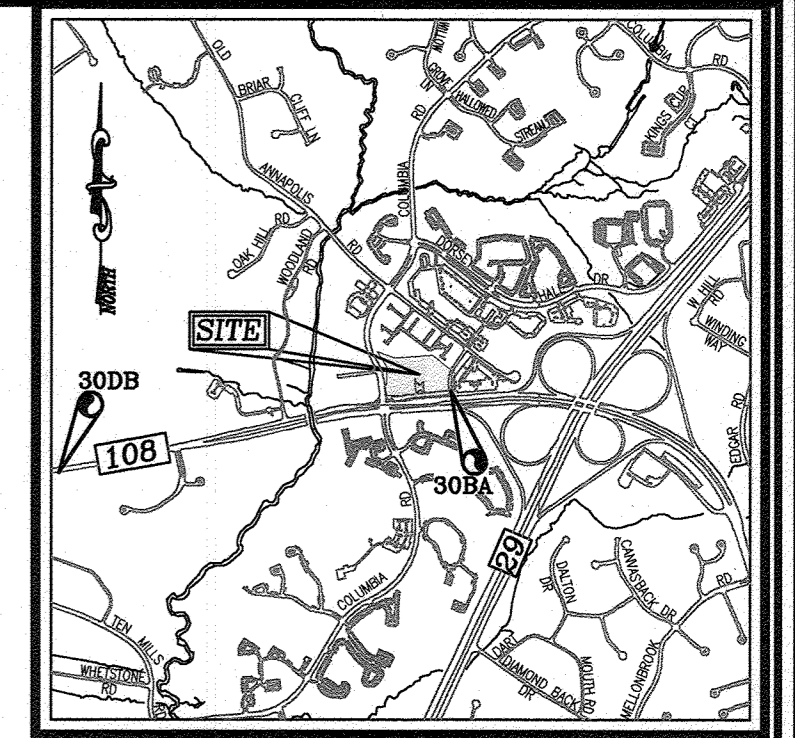


Table with 5 columns: SUBDIVISION AREA, FLOODPLAIN, STEEP SLOPES (>20,000 S.F.), NET AREA, UNITS PERMITTED BY NET (25/AC), UNITS PROPOSED. Values: 4.49 ACRES, 0.00 ACRES, 0.00 ACRES, 4.49 AC, 112, 78 APARTMENTS

ADDRESS CHART table with columns: BUILDING, UNIT, ADDRESS. Lists units 1-78 and their corresponding addresses like 4000-A GANNET DRIVE.

LEGEND:

- PROPERTY LINE
RIGHT-OF-WAY LINE
ADJACENT PROPERTY LINE
EXISTING CURB AND GUTTER
PROPOSED CURB AND GUTTER
PROPOSED CONCRETE
STAMPED CONCRETE SIDEWALK
PERPETUAL EASEMENT FOR THE BENEFIT OF PARCEL A L-21387/F-246

SHEET INDEX

Table with 3 columns: COVER SHEET, DESCRIPTION, SHEET NO. Lists various sheets like SITE LAYOUT PLAN, EXISTING CONDITIONS, etc.

OWNER/DEVELOPER: DORSEY OVERLOOK, LLLP C/O J. KIRBY DEVELOPMENT, LLC 5670 B FURNACE AVENUE ELKRIODE, MARYLAND 21075 PHONE: (410) 788-0027

GENERAL NOTES (CONT'D)

- 46. REFERENCE VARIANCE PETITION BOA CASE NO. BA-20-003V, APPROVED OCTOBER 26, 2020. A. SECTION 112.1.D.4.A.(1)(A) A1. REDUCE THE REQUIRED 30' STRUCTURE SETBACK TO 8.74' FOR THE PURPOSE OF RETAINING WALL ALONG COLUMBIA ROAD. A2. REDUCE THE REQUIRED 30' USE SETBACK TO 10.41' FOR THE PURPOSE OF PRIVATE DRIVE, SIDEWALK AND PARKING. B. SECTION 112.1.D.4.C.(2)(A) B1. REDUCE THE REQUIRED 50' APARTMENT SETBACK TO 40.67' FOR THE PURPOSE OF AN APARTMENT BUILDING AT NORTH SITE BOUNDARY. B2. REDUCE THE REQUIRED 50' APARTMENT SETBACK TO 20.70' FOR THE PURPOSE OF APARTMENTS ALONG EAST SITE BOUNDARY. C. SECTION 112.1.D.4.C.(2)(B) C1. REDUCE THE REQUIRED 20' OTHER STRUCTURES AND USE SETBACK TO 16.05' FOR THE PURPOSE OF SIDEWALK ALONG THE NORTHERN BOUNDARY. C2. REDUCE THE REQUIRED 20' BUILDING AND USE SETBACK TO 5.0' FOR SIDEWALK ALONG THE EAST BOUNDARY. D. SECTION 112.1.D.4.B.(1)(C): REDUCE THE REQUIRED 20' STRUCTURE AND USE SETBACK FROM 20' TO 16.39' TO A PRIVATE STREET FOR THE CLUBHOUSE. E. SECTION 112.1.D.4.C.(2)(A) E1. THE 65 DBA NOISE CONTOUR LINE SHOWN ON THIS DEVELOPMENT PLAN IS ADVISORY AS REQUIRED BY THE HOWARD COUNTY DESIGN MANUAL, CHAPTER 5, REVISED FEBRUARY 1992, AND CANNOT BE CONSIDERED TO EXACTLY LOCATE THE 65 DBA NOISE EXPOSURE. THE 65 DBA NOISE LINE WAS ESTABLISHED BY HOWARD COUNTY TO ALERT DEVELOPERS, BUILDERS AND FUTURE RESIDENTS THAT AREAS BEYOND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT. NOISE LEVELS INSIDE THE BUILDINGS WILL MEET THE INTERIOR NOISE DBA REQUIREMENTS PER HUD. E2. REFERENCE COUNTY RESOLUTION CR 89-2019, AN ACT DECLARING THAT A PORTION OF OLD MARYLAND ROUTE 108 (NOW WILLET LANE), ALONG WITH A PORTION OF COLUMBIA ROAD, THE COMBINED AREA CONTAINING APPROXIMATELY 1.087 ACRES, IS NO LONGER NEEDED FOR PUBLIC PURPOSE AND AUTHORIZING THE COUNTY EXECUTIVE TO WAIVE THE ADVERTISING AND BIDDING REQUIREMENTS OF SECTION 4.201 OF THE HOWARD COUNTY CODE IN ORDER FOR THE COUNTY TO CONVEY A PERPETUAL NON-EXCLUSIVE EASEMENT IN THE 1.087 ACRES FOR ACCESS AND PARKING TO THE DEVELOPER OF THE ADJACENT PROPERTY, DORSEY OVERLOOK, LLLP (L-21387 / F-246), RECORDED ON MARCH 4, 2022. E3. OUTDOOR LIGHTING SHALL BE IN ACCORDANCE WITH SECTION 134.0 OF THE ZONING REGULATIONS. INSULATION, NOISE INCLUDING WINDOW). F. REFERENCE AA-21-010, APPROVED 05/10/2022, TO THE SECTIONS LISTED BELOW. A. SECTION 112.1.D.4.B.(1)(C) - TO REDUCE THE REQUIRED 20' STRUCTURE AND USE SETBACK TO A PRIVATE ROAD (WILLET LANE) TO A MINIMUM OF 16.00' (20% REDUCTION). B. SECTION 112.1.D.4.C.(2)(A) - TO REDUCE THE REQUIRED 50' APARTMENT DWELLINGS SETBACK TO THE R-15 DISTRICT TO 40.00' (20% REDUCTION). C. SECTION 112.1.D.5.C. - TO REDUCE THE REQUIRED 30' SIDE TO SIDE DIMENSION BETWEEN APARTMENT BUILDINGS TO A MINIMUM OF 24.00' (20% REDUCTION). D. SECTION 112.1.D.5.D - TO REDUCE THE REQUIRED 60' REAR TO REAR DIMENSION BETWEEN APARTMENT BUILDINGS TO A MINIMUM OF 51' (15% REDUCTION).

SITE ANALYSIS DATA CHART

Table with 2 columns: CATEGORY, VALUE. Includes TOTAL PROJECT AREA (4.49 AC +/-), GROSS TRACT AREA (5.57 AC +/-), NET TRACT AREA (4.49 AC +/-), AREA OF PERPETUAL EASEMENT (1.08 AC +/-), etc.

PARKING TABULATION

Table with 2 columns: STACKED TOWNHOUSE APARTMENT, REQUIRED PER CODE, SPACES PROVIDED. Shows 78 units requiring 156 spaces, with 156 spaces provided.

Moderate Income Housing Units (MIHU) Allocation Exemptions Tracking table with columns: TOTAL NUMBER OF LOTS/UNITS PROPOSED, NUMBER OF MIHU PROVIDED, etc.

PERMIT INFORMATION CHART

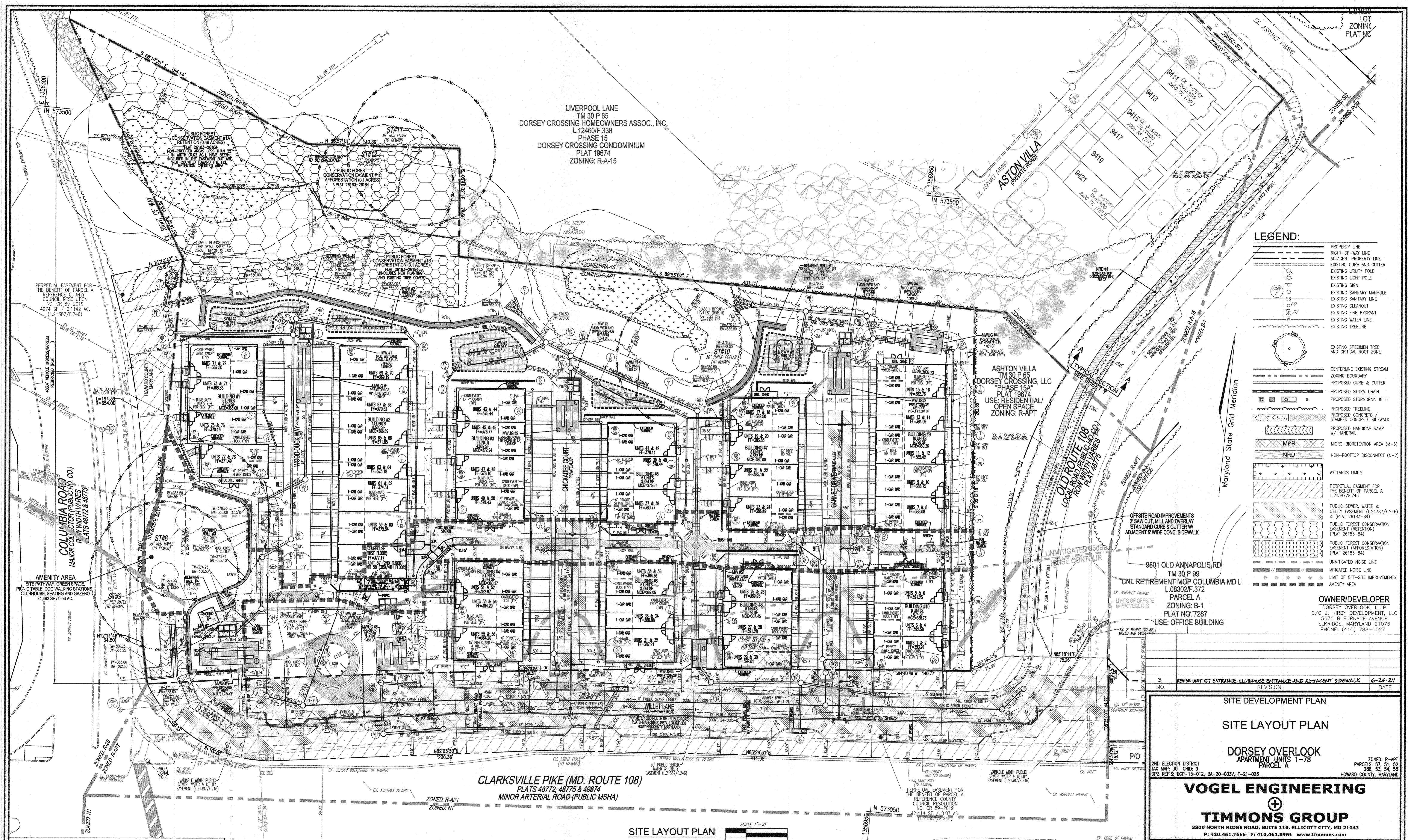
Table with 5 columns: SUBDIVISION NAME, SECTION/AREA, LOT/PARCELS, PLAT REF #, BLOCK NO, ZONE, TAX MAP, ELECT DIST, CENSUS TR. Values: DORSEY OVERLOOK SDP-20-074, N/A, PARCELS 51-55, 67 AND 288, L-21387/F-246, 09, R-20, 30, 2, 60230

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Chief, Development Engineering Division: 1/23/2023. Chief, Division of Land Development: 1/24/2023. Director: 1/24/2023.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS. Chief, Bureau of Highways: 1/24/2023.

Site Development Plan Cover Sheet for Dorsey Overlook Apartment Units 1-78. Includes project name, address, and contact information for Vogel Engineering and Timmons Group.

Professional Certificate section with fields for Design By, Drawn By, Checked By, Date, Scale, and W.O. No. Includes a signature line for the engineer.



LEGEND:

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANDOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING TREELINE
- EXISTING SPECIMEN TREE AND CRITICAL ROOT ZONE
- CENTERLINE EXISTING STREAM
- ZONING BOUNDARY
- PROPOSED CURB & GUTTER
- PROPOSED STORM DRAIN
- PROPOSED STORMRAIN INLET
- PROPOSED TREELINE
- PROPOSED CONCRETE/STAMPED CONCRETE SIDEWALK
- PROPOSED HANDICAP RAMP W/ HANDRAIL
- MBR
- NRD
- WETLANDS LIMITS
- PERPETUAL EASEMENT FOR THE BENEFIT OF PARCEL A (L21387/F246)
- PUBLIC SEWER, WATER & UTILITY EASEMENT (L21387/F246) & PLAT 26183-84
- PUBLIC FOREST CONSERVATION EASEMENT (RETENTION) (PLAT 26183-84)
- PUBLIC FOREST CONSERVATION EASEMENT (AFFORESTATION) (PLAT 26183-84)
- UNMITIGATED NOISE LINE
- MITIGATED NOISE LINE
- LIMIT OF OFF-SITE IMPROVEMENTS
- AMENITY AREA

OWNER/DEVELOPER
 DORSEY OVERLOOK, L.L.P.
 C/O J. KIRBY DEVELOPMENT, LLC
 5670 B FURNACE AVENUE
 ELKBRIDGE, MARYLAND 21075
 PHONE: (410) 788-0027

CLARKVILLE PIKE (MD. ROUTE 108)
 PLATS 48772, 48775 & 49874
 MINOR ARTERIAL ROAD (PUBLIC MSHA)

SITE LAYOUT PLAN
 SCALE: 1"=30'

- NOTES:**
- REFER TO ARCHITECTURAL PLANS FOR NOISE MITIGATION NOTES AND DETAILS FOR UNITS THAT FALL WITHIN THE UNMITIGATED NOISE LINE.
 - SEE SHEET 9 OF 30 FOR MSHA CROSSWALK DETAIL.
 - DIMENSIONS WITH AN ASTERISK (*) HAVE BEEN APPROVED UNDER BA-20-003V AND AA-21-010 FOR LESS THAN THE MINIMUM REQUIRED SETBACKS UNDER SECTION 112.1 OF THE HOWARD COUNTY ZONING REGULATIONS.
 - SEE SHEET 23 FOR TOWNHOUSE GARAGE STEP(S) CHART.

NOTE:
 REFERENCE COUNCIL RESOLUTION CR 89-2019, AN ACT DECLARING THAT A PORTION OF OLD MARYLAND ROUTE 108, (ALONG WITH A PORTION OF COLUMBIA ROAD), THE COMBINED AREA CONTAINING APPROXIMATELY 1.087 ACRES, IS NO LONGER NEEDED FOR PUBLIC PURPOSE AND AUTHORIZING THE COUNTY EXECUTIVE TO WAIVE THE ADVERTISING AND BIDDING REQUIREMENTS OF SECTION 4.201 OF THE HOWARD COUNTY CODE IN ORDER FOR THE COUNTY TO CONVEY A PERPETUAL, NON-EXCLUSIVE EASEMENT IN THE 1.087 ACRES FOR ACCESS AND PARKING TO THE DEVELOPER OF THE ADJACENT PROPERTY, DORSEY OVERLOOK, L.L.P. (L21387/F246)
 SETBACKS WILL BE MEASURED FROM THE PROJECT BOUNDARY, IN ACCORDANCE WITH SECTION 128.0A.10 OF THE ZONING REGULATIONS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 1/23/2023
Chief, Development Engineering Division
 DATE: 1/23/2023
Chief, Division of Land Development
 DATE: 1/24/2023
Director
 DATE:

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 1/24/2023
Chief, Bureau of Highways
 DATE:

SITE DEVELOPMENT PLAN
SITE LAYOUT PLAN
DORSEY OVERLOOK
 APARTMENT UNITS 1-78
 PARCEL A

VOGEL ENGINEERING
TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

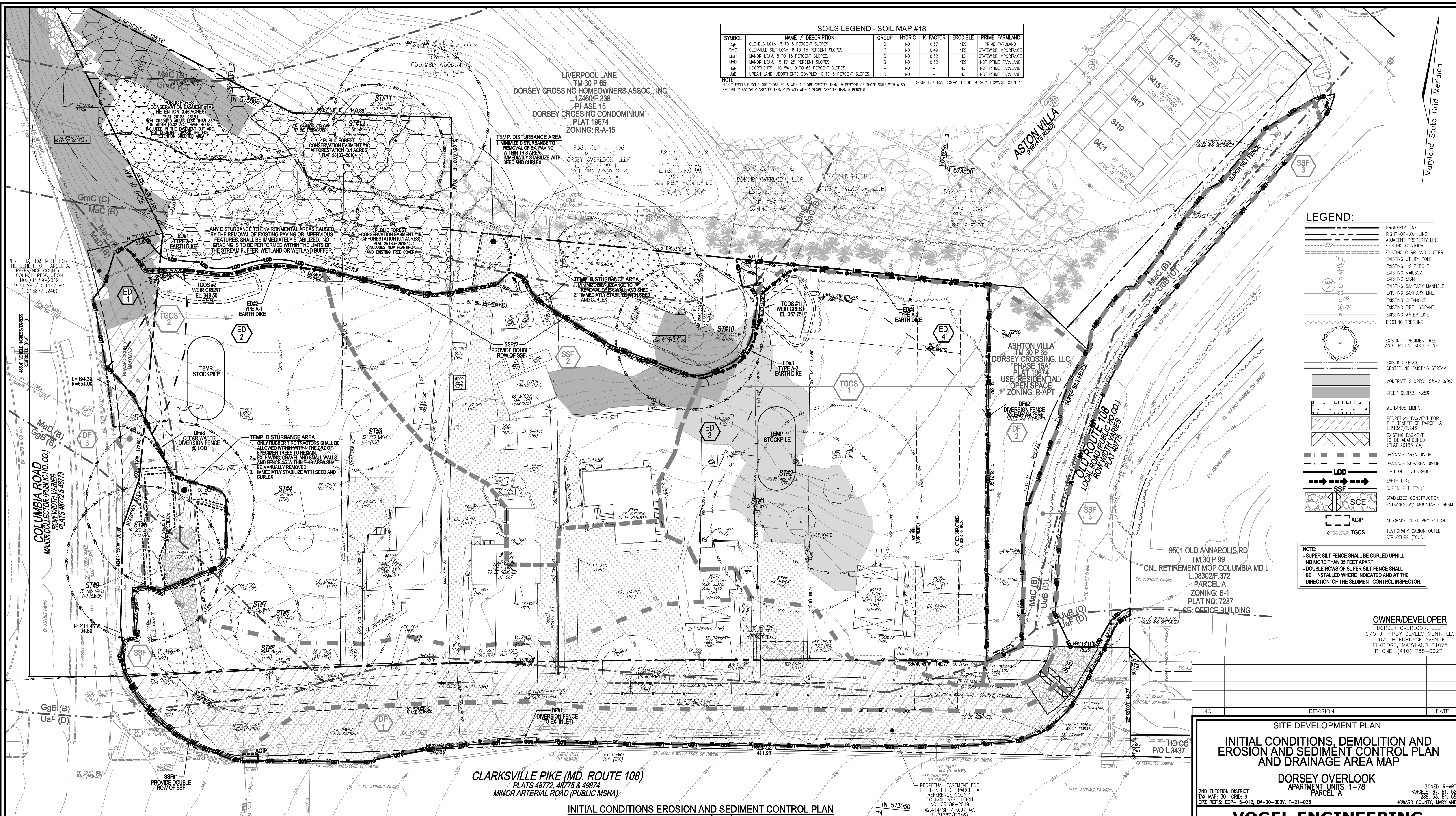
2ND ELECTION DISTRICT
 TAX MAP: 30 GRID: 9
 DPZ REF'S: ECP-15-012, BA-20-003V, F-21-023

ZONED: R-APT
 PARCEL: 87, 91, 92
 ZONING: R-APT
 HOWARD COUNTY, MARYLAND

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

DESIGN BY: DZE/RHY
 DRAWN BY: DZE/IR/KG
 CHECKED BY: RHY
 DATE: NOVEMBER 2022
 SCALE: AS SHOWN
 W.O. NO.: 12-69

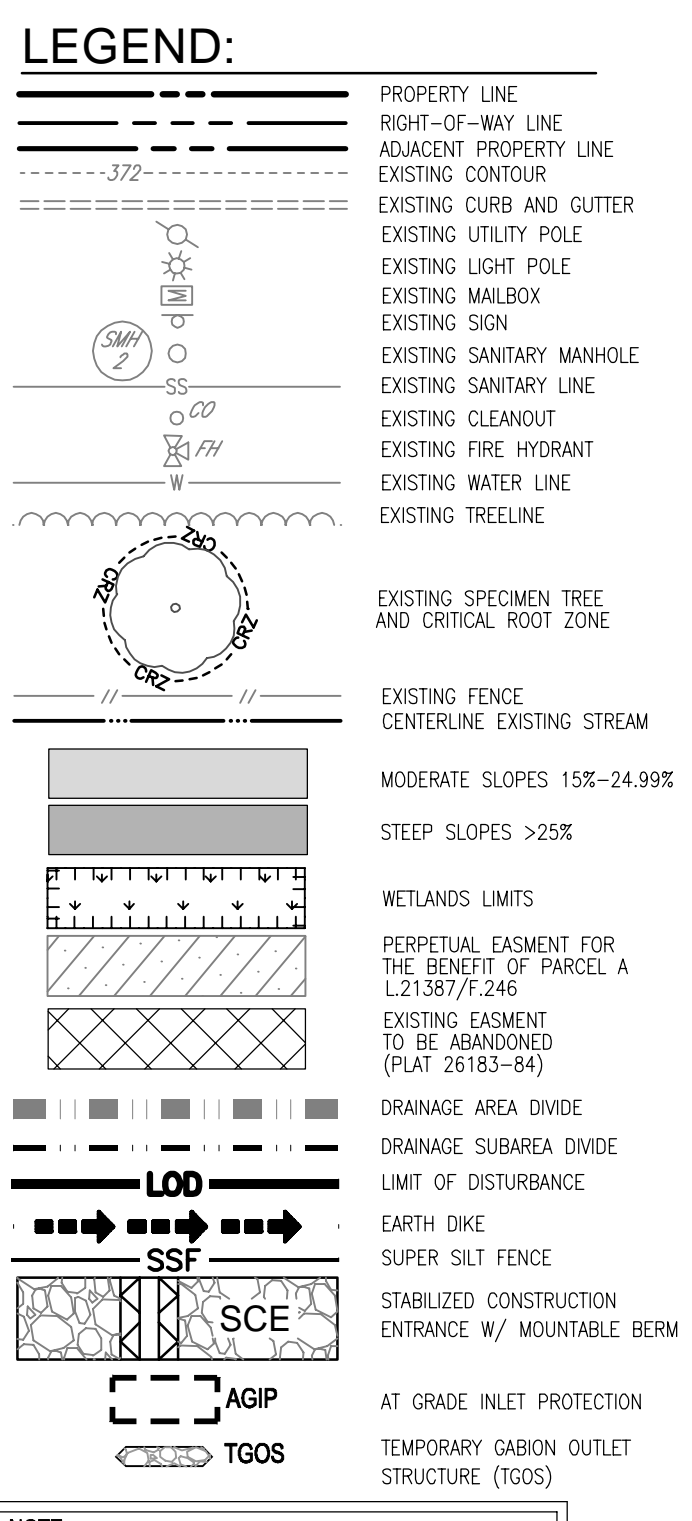
2 SHEET OF 30



SOILS LEGEND - SOIL MAP #18

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	K FACTOR	ERODIBLE	PRIME FARMLAND
GgB	GLENNLEAD LOAM, 3 TO 8 PERCENT SLOPES.	B	NO	0.37	YES	PRIME FARMLAND
GgC	GLENNLEAD SILT LOAM, 8 TO 15 PERCENT SLOPES.	C	NO	0.49	YES	STATEWIDE IMPORTANCE
MaC	MAJOR LOAM, 8 TO 15 PERCENT SLOPES.	B	NO	0.32	NO	STATEWIDE IMPORTANCE
MaD	MAJOR LOAM, 15 TO 25 PERCENT SLOPES.	B	NO	0.32	YES	NOT PRIME FARMLAND
Uaf	UDORTHEMUS, HIGHWAY, 0 TO 8 PERCENT SLOPES.	-	NO	-	NO	NOT PRIME FARMLAND
Uaf	UDORTHEMUS, HIGHWAY, 0 TO 8 PERCENT SLOPES.	-	NO	-	NO	NOT PRIME FARMLAND
Uaf	UDORTHEMUS, HIGHWAY, 0 TO 8 PERCENT SLOPES.	-	NO	-	NO	NOT PRIME FARMLAND
Uaf	UDORTHEMUS, HIGHWAY, 0 TO 8 PERCENT SLOPES.	-	NO	-	NO	NOT PRIME FARMLAND
Uaf	UDORTHEMUS, HIGHWAY, 0 TO 8 PERCENT SLOPES.	-	NO	-	NO	NOT PRIME FARMLAND
Uaf	UDORTHEMUS, HIGHWAY, 0 TO 8 PERCENT SLOPES.	-	NO	-	NO	NOT PRIME FARMLAND

NOTE: HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A K FACTOR GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.
SOURCE: USDA, SCS-WEB SOIL SURVEY, HOWARD COUNTY



NOTE:
- SUPER SILT FENCE SHALL BE CURLED UPHILL NO MORE THAN 35 FEET APART
- DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED WHERE INDICATED AND AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

OWNER/DEVELOPER
DORSEY OVERLOOK, LLLP
C/O J. KIRBY DEVELOPMENT, LLC
5670 B FURNACE AVENUE
ELK RIDGE, MARYLAND 21075
PHONE: (410) 788-0027

SITE DEVELOPMENT PLAN
INITIAL CONDITIONS, DEMOLITION AND EROSION AND SEDIMENT CONTROL PLAN AND DRAINAGE AREA MAP
DORSEY OVERLOOK
APARTMENT UNITS 1-78
PARCEL A

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7656 F: 410.461.8961 www.timmons.com

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DocuSigned by:

1/24/2023
CHIEF, BUREAU OF HIGHWAYS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
DocuSigned by:

1/23/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION

CHIEF, DIVISION OF LAND DEVELOPMENT
DocuSigned by:

1/24/2023
DIRECTOR

OWNER/DEVELOPER CERTIFICATION:
I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

DocuSigned by:

11/14/2022
ROBERT H. VOGEL
MD REGISTRATION NO. 16193
(☒) R.L.S., OR R.L.A. (circle one)

DESIGN CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DocuSigned by:

11/14/2022
ALEXANDER BRATOVICH
HOWARD S.C.D.

INITIAL CONDITIONS EROSION AND SEDIMENT CONTROL PLAN
SCALE: 1"=30'

INITIAL SEC DRAINAGE AREA AND PRACTICE DATA

NAME	AREA	SLOPE	PRACTICE TYPE	DETAIL NO.	REMARKS
TGOS-1	1.14 AC.	-	TEMP. CARBON OUTLET STRUCTURE	E-8	BOT. EL. 365.50, WEIR EL. 367.75
TGOS-2	1.42 AC.	-	TEMP. CARBON OUTLET STRUCTURE	E-8	BOT. EL. 347.25, WEIR EL. 349.50
ED-1	0.05 AC.	3.25%	TEMPORARY EARTH DIKE	C-1/B-4-6	TYPE A-2 / TSSMC 0.18 LB/FT ²
ED-2	1.25 AC.	1.00%	TEMPORARY EARTH DIKE	C-1/B-4-6	TYPE A-1 / SEED & MULCH
ED-3	0.12 AC.	9.55%	TEMPORARY EARTH DIKE	C-1/B-4-6	TYPE A-2 / TSSMC 0.49 LB/FT ²
ED-4	0.12 AC.	6.30%	TEMPORARY EARTH DIKE	C-1/B-4-6	TYPE A-2 / TSSMC 0.20 LB/FT ²
SSF-1	0.87 AC.	-	SUPER SILT FENCE	E-3	DOUBLE ROW
SSF-2	0.69 AC.	-	SUPER SILT FENCE	E-3	DOUBLE ROW
SSF-3	0.23 AC.	-	SUPER SILT FENCE	E-3	DOUBLE ROW
DF-1	0.35 AC.	4.95%	DIVERSION FENCE	C-9	
DF-2	0.21 AC.	5.10%	DIVERSION FENCE (CLEAN WATER)	C-9	
DF-3	0.12 AC.	3.25%	DIVERSION FENCE (CLEAN WATER)	C-9	
EX. INLET	0.35 AC.	-	AGP-AT GRADE INLET PROTECTION	E-9-2	EX. INLET/INSIDE JERSEY WALL

NOTE:
REFERENCE: COUNCIL RESOLUTION OR 89-2019, AN ACT DECLARING THAT A PORTION OF OLD MARYLAND ROUTE 108, (ALONG WITH A PORTION OF COLUMBIA ROAD), THE COMBINED AREA CONTAINING APPROXIMATELY 1.087 ACRES, IS NO LONGER NEEDED FOR PUBLIC PURPOSE AND AUTHORIZING THE COUNTY EXECUTIVE TO MAKE THE ADVERTISING AND BIDDING REQUIREMENTS OF SECTION 4.201 OF THE HOWARD COUNTY CODE IN ORDER FOR THE COUNTY TO CONVEY A PERPETUAL NON-EXCLUSIVE EASEMENT IN THE 1.087 ACRES FOR ACCESS AND PARKING TO THE DEVELOPER OF THE ADJACENT PROPERTY, DORSEY OVERLOOK, LLLP. (L21387/F246)
SETBACKS WILL BE MEASURED FROM THE PROJECT BOUNDARY, IN ACCORDANCE WITH SECTION 128.0A.10 OF THE ZONING REGULATIONS.

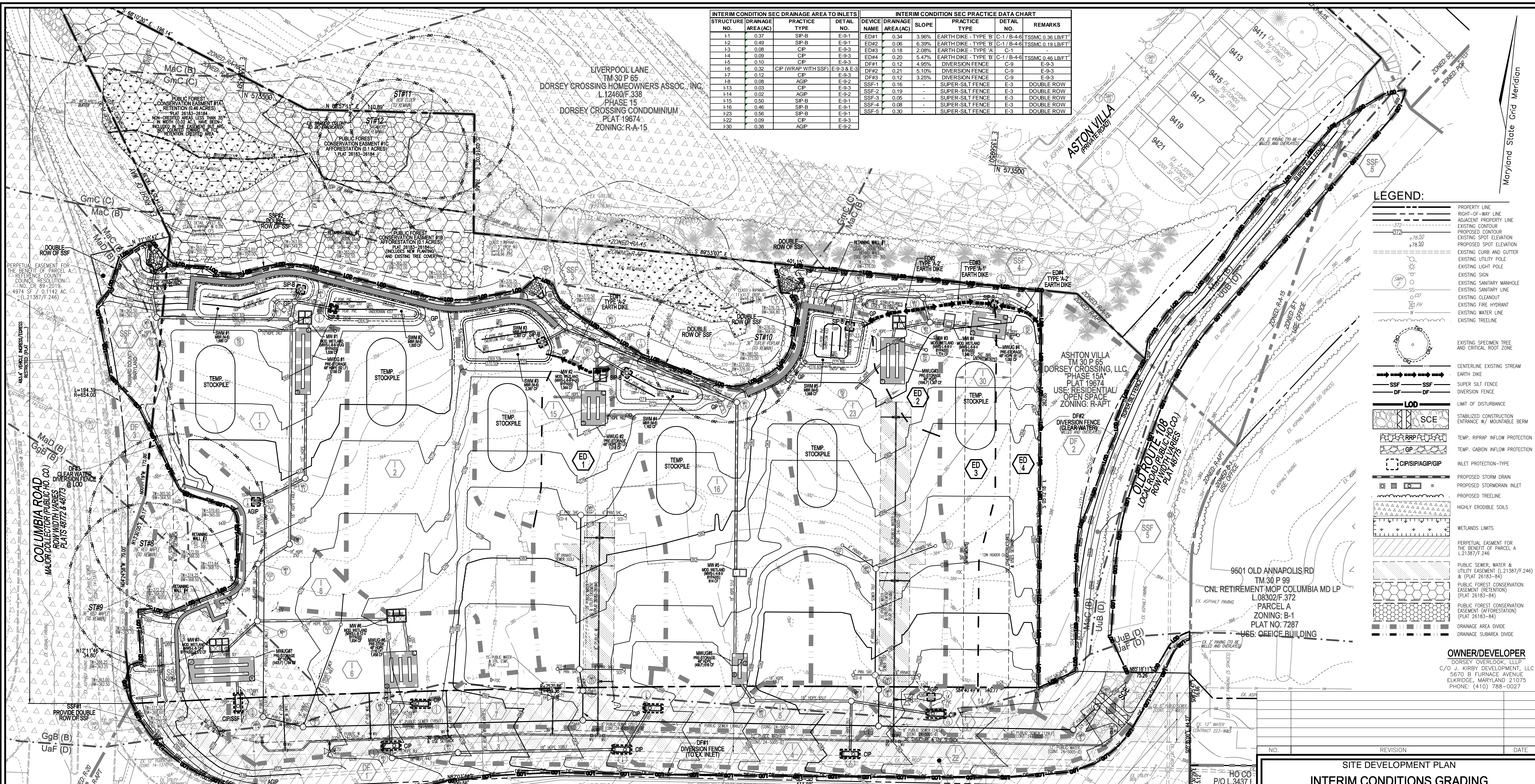
2ND ELECTION DISTRICT
TAX MAP, 30 GRID: 9
DPZ REF: ECP-15-012, BA-20-003V, F-21-023

ZONED: R-APT
PARCELS: ST. 51, 52, 288, 53, 54, 55
HOWARD COUNTY, MARYLAND

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
EXPIRATION DATE: 09-27-2024

DESIGN BY: DZE/RHV
DRAWN BY: DZE/R/KG
CHECKED BY: RHV
DATE: NOVEMBER 2022
SCALE: AS SHOWN
W.D. NO.: 12-69

3 SHEET OF 30



INTERIM CONDITION SEC DRAINAGE AREA TO INLETS				INTERIM CONDITION SEC PRACTICE DATA CHART					
STRUCTURE NO.	DRAINAGE AREA (AC)	PRACTICE TYPE	DETAIL NO.	DEVICE NAME	DRAINAGE AREA (AC)	SLOPE	PRACTICE TYPE	DETAIL NO.	REMARKS
L-1	0.37	SP-B	E-9-1	ED#1	0.34	3.98%	EARTH DIKE - TYPE B	C-1/1/B-4-6	TSSMC 0.36 LB/FT
L-2	0.49	SP-B	E-9-1	ED#2	0.06	6.39%	EARTH DIKE - TYPE B	C-1/1/B-4-6	TSSMC 0.19 LB/FT
L-3	0.08	CP	E-9-3	ED#3	0.18	2.08%	EARTH DIKE - TYPE A	C-1	
L-4	0.09	CP	E-9-3	ED#4	0.20	5.47%	EARTH DIKE - TYPE B	C-1/1/B-4-6	TSSMC 0.46 LB/FT
L-5	0.10	CP	E-9-3	DF#1	0.12	4.95%	DIVERSION FENCE	C-9	E-9-3
L-6	0.32	CIP (WRAP WITH SSF)	E-9-3 & E-3	DF#2	0.21	5.10%	DIVERSION FENCE	C-9	E-9-3
L-7	0.12	CP	E-9-3	DF#3	0.12	3.25%	DIVERSION FENCE	C-9	E-9-3
L-8	0.08	AGP	E-9-2	SSF-1	0.16	-	SUPER-SILT FENCE	E-3	DOUBLE ROW
L-13	0.03	AGP	E-9-3	SSF-2	0.19	-	SUPER-SILT FENCE	E-3	DOUBLE ROW
L-14	0.02	AGP	E-9-2	SSF-3	0.05	-	SUPER-SILT FENCE	E-3	DOUBLE ROW
L-15	0.50	SP-B	E-9-1	SSF-4	0.08	-	SUPER-SILT FENCE	E-3	DOUBLE ROW
L-16	0.46	SP-B	E-9-1	SSF-5	0.30	-	SUPER-SILT FENCE	E-3	DOUBLE ROW
L-23	0.56	SP-B	E-9-1						
L-22	0.09	CP	E-9-3						
L-30	0.38	AGP	E-9-2						

LEGEND:

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJACENT PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	EXISTING CURB AND GUTTER
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY LINE
	EXISTING CLEANOUT
	EXISTING FIRE HYDRANT
	EXISTING WATER LINE
	EXISTING TREELINE
	EXISTING SPECIMEN TREE AND CRITICAL ROOT ZONE
	CENTERLINE EXISTING STREAM
	EARTH DIKE
	SUPER SILT FENCE
	DIVERSION FENCE
	LIMIT OF DISTURBANCE
	STABILIZED CONSTRUCTION ENTRANCE W/ MOUNTABLE BERM
	TEMP. RIPRAP INFLOW PROTECTION
	TEMP. GABION INFLOW PROTECTION
	INLET PROTECTION-TYPE
	PROPOSED STORM DRAIN
	PROPOSED STORM DRAIN INLET
	PROPOSED TREELINE
	HIGHLY ERODIBLE SOILS
	WETLANDS LIMITS
	PERPETUAL EASEMENT FOR THE BENEFIT OF PARCEL A (L21387/F-246) & (PLAT 26183-84)
	PUBLIC SEWER, WATER & UTILITY EASEMENT (RETENTION) (PLAT 26183-84)
	PUBLIC FOREST CONSERVATION EASEMENT (AFFORESTATION) (PLAT 26183-84)
	DRAINAGE AREA DIVIDE
	DRAINAGE SUBAREA DIVIDE

CLARKSVILLE PIKE (MD ROUTE 108)
PLATS 48772, 48775 & 48974
MINOR ARTERIAL ROAD (PUBLIC MSHA)

ASHTON VILLA
TM 30 P 65
DORSEY CROSSING, LLC
PHASE 15A
USE: RESIDENTIAL/ OPEN SPACE
ZONING: R-APT

9501 OLD ANNAPOLIS RD
TM 30 P 99
CNL RETIREMENT MOP COLUMBIA MD LP
L.08302/F.372
PARCEL A
ZONING: B-1
PLAT NO. 7287
USE: OFFICE BUILDING

OLD ROUTE 108
LOCAL ROAD (PUBLIC MSHA)
PLAT 48775

INTERIM CONDITIONS GRADING, EROSION AND SEDIMENT CONTROL PLAN
SCALE: 1"=30'

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
1/24/2023
CHIEF, BUREAU OF HIGHWAYS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
1/23/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION

CHIEF, DIVISION OF LAND DEVELOPMENT
1/24/2023
DIRECTOR

OWNER/DEVELOPER CERTIFICATION:
I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

11/14/2022
DATE

OWNER/DEVELOPER SIGNATURE:
KYLE WITTMAN

DESIGN CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

11/14/2022
DATE

DESIGNER'S SIGNATURE:
ROBERT H. VOGEL

NOTE: REFERENCE COUNCIL RESOLUTION OR 89-2019, AN ACT DECLARING THAT A PORTION OF OLD MARLAND ROUTE 108, (ALONG WITH A PORTION OF COLUMBIA ROAD), THE COVERED AREA CONTAINING APPROXIMATELY 1.087 ACRES, IS NO LONGER NEEDED FOR PUBLIC PURPOSE AND AUTHORIZING THE COUNTY EXECUTIVE TO WAIVE THE ADVERTISING AND BIDDING REQUIREMENTS OF SECTION 4-201 OF THE HOWARD COUNTY CODE IN ORDER FOR THE COUNTY TO CONVEY A PERPETUAL, NON-EXCLUSIVE EASEMENT IN THE 1.087 ACRES FOR ACCESS AND PARKING TO THE DEVELOPER OF THE ADJACENT PROPERTY, DORSEY OVERLOOK, L.L.P. (L21387/F-246) SETBACKS WILL BE MEASURED FROM THE PROJECT BOUNDARY, IN ACCORDANCE WITH SECTION 128.0A.10 OF THE ZONING REGULATIONS.

1/23/2023
DATE

DESIGNED BY:
ALEXANDER BRATCHE

NOTE: REFER TO SEQUENCE OF CONSTRUCTION ON PUBLIC WATER AND SEWER CONTRACT 24-5005-D FOR THE REMOVAL OF THE EXISTING PUBLIC WATER AND SEWER, AND FOR THE CONSTRUCTION OF EXISTING SEWER, WHICH MUST BE DONE CONCURRENTLY.

SOILS LEGEND - SOIL MAP #18

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	K FACTOR	ERODIBLE	PRIME FARMLAND
GcB	GLENELG LOAM, 3 TO 8 PERCENT SLOPES.	B	NO	0.37	YES	PRIME FARMLAND
GmC	GLENVILLE SILT LOAM, 8 TO 15 PERCENT SLOPES.	C	NO	0.49	YES	STATEWIDE IMPORTANCE
MaC	MANOR LOAM, 8 TO 15 PERCENT SLOPES.	B	NO	0.32	NO	STATEWIDE IMPORTANCE
MdD	MANOR LOAM, 15 TO 25 PERCENT SLOPES.	B	NO	0.32	YES	NOT PRIME FARMLAND
UdF	UDORTHERTS, HIGHWAY, 0 TO 65 PERCENT SLOPES.	D	NO	-	NO	NOT PRIME FARMLAND
UuB	URBAN LAND-UDORTHERTS COMPLEX, 0 TO 8 PERCENT SLOPES.	D	NO	-	NO	NOT PRIME FARMLAND

NOTE: HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

SITE DEVELOPMENT PLAN
INTERIM CONDITIONS GRADING, EROSION AND SEDIMENT CONTROL PLAN AND DRAINAGE AREA MAP
DORSEY OVERLOOK
APARTMENT UNITS 1-78
PARCEL A

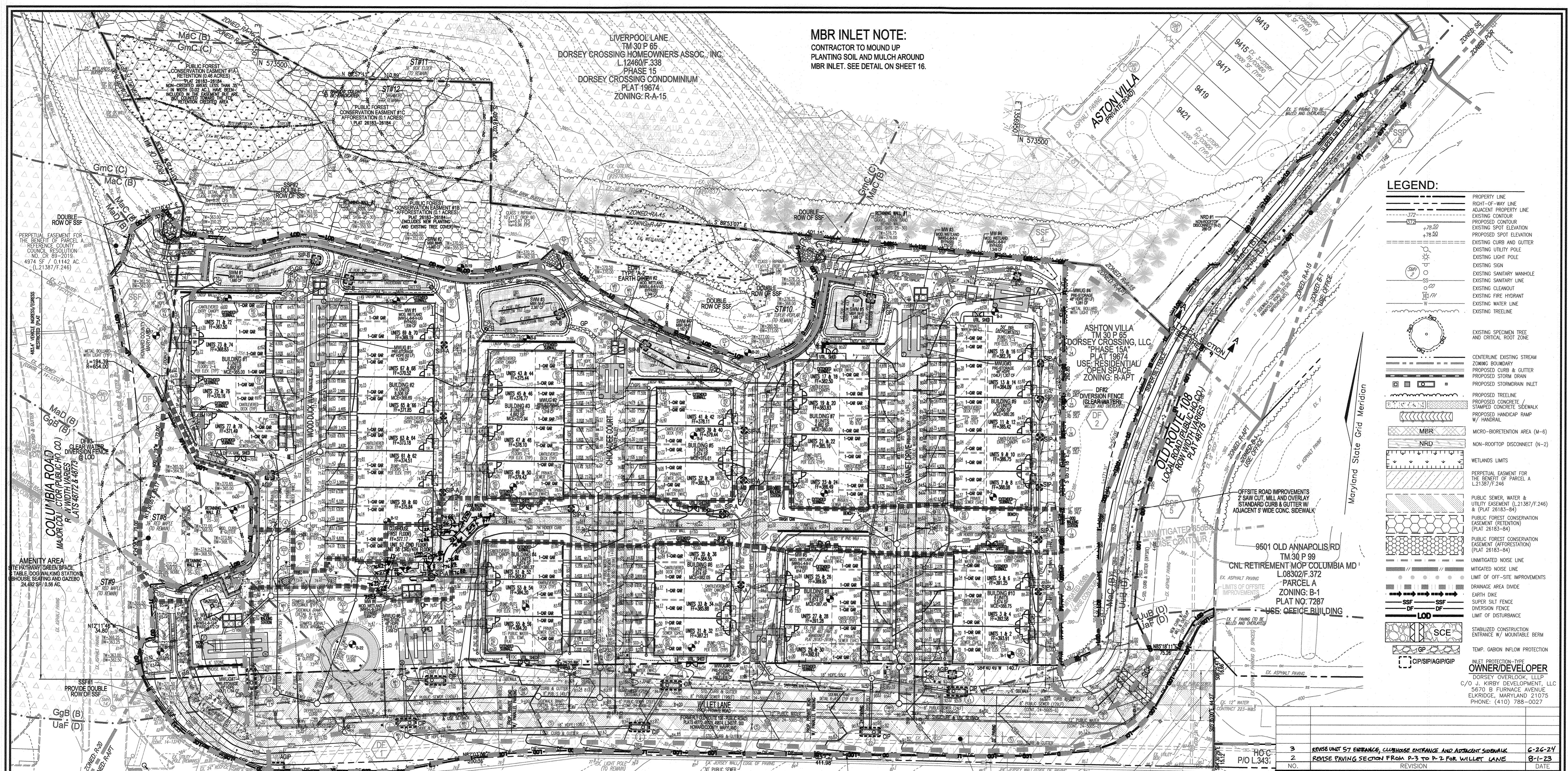
2ND ELECTION DISTRICT
TAX MAP, 30 GRID: 9
DPZ REF'S: ECP-15-012, BA-20-003V, F-21-023

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7656 F: 410.461.8961 WWW.TIMMONS.COM

DESIGN BY: DZE/RHV
DRAWN BY: DZE/RK/G
CHECKED BY: RHV
DATE: NOVEMBER 2022
SCALE: AS SHOWN
W.D. NO.: 12-69

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DUCK LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19194, EXPIRATION DATE: 09-27-2024

4 SHEET OF 30



MBR INLET NOTE:
CONTRACTOR TO MOUND UP
PLANTING SOIL AND MULCH AROUND
MBR INLET. SEE DETAIL ON SHEET 16.

LEGEND:

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING TREELINE
- EXISTING SPECIMEN TREE AND CRITICAL ROOT ZONE
- CENTERLINE EXISTING STREAM
- ZONING BOUNDARY
- PROPOSED CURB & GUTTER
- PROPOSED STORM DRAIN
- PROPOSED STORMRAIN INLET
- PROPOSED TREELINE
- PROPOSED CONCRETE STAMPEDED SIDEWALK
- PROPOSED HANDICAP RAMP W/ HORIZONTAL
- MBR
- NRD
- WETLANDS LIMITS
- PERPETUAL EASEMENT FOR THE BENEFIT OF PARCEL A L21387/F.246
- PUBLIC SEWER, WATER & UTILITY EASEMENT (L21387/F.246) & (PLAT 26183-84)
- PUBLIC FOREST CONSERVATION EASEMENT (AFFORESTATION) (PLAT 26183-84)
- PUBLIC FOREST CONSERVATION EASEMENT (AFFORESTATION) (PLAT 26183-84)
- UNMITIGATED NOISE LINE
- UNMITIGATED NOISE LINE
- LIMIT OF OFF-SITE IMPROVEMENTS
- DRAINAGE AREA DIVIDE
- EARTH DIKE
- SUPER SILT FENCE
- DIVERSION FENCE
- LIMIT OF DISTURBANCE
- STABILIZED CONSTRUCTION ENTRANCE W/ MOUNTABLE BERM
- TEMP. CARBON INFLOW PROTECTION
- INLET PROTECTION-TYPE
- OWNER/DEVELOPER
- DORSEY OVERLOOK, LLLP
- C/O J. KIRBY DEVELOPMENT, LLC
- 5670 B FURNACE AVENUE
- ELK RIDGE, MARYLAND 21175
- PHONE: (410) 788-0027

CLARKSVILLE PIKE (MD. ROUTE 108)
PLATS 48772, 48775 & 49874
MINOR ARTERIAL ROAD (PUBLIC MSHA)

FINAL CONDITIONS EROSION AND SEDIMENT CONTROL PLAN
SCALE: 1"=30'

SOILS LEGEND - SOIL MAP #18

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	K FACTOR	ERODIBLE	PRIME FARMLAND
GgB	GLENELG LOAM, 3 TO 8 PERCENT SLOPES.	B	NO	0.37	YES	PRIME FARMLAND
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UgF	UDORCHENTS, HIGHWAY, 0 TO 65 PERCENT SLOPES.	-	NO	0.32	YES	NOT PRIME FARMLAND
UgE	URBAN LAND-UDORCHENTS COMPLEX, 0 TO 8 PERCENT SLOPES.	D	NO	-	NO	NOT PRIME FARMLAND

NOTE: HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

NOTE: MICRO-BIORETENTION FACILITIES TO BE PROTECTED WITH SILT FENCE AS SHOWN ON SHEET 8 OF 30.
SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
SILT FENCE/SUPER SILT FENCE SHALL BE CURLED UPHILL NO MORE THAN 35 FEET APART.
DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

- NOTES:**
- SEE SHEET 6 FOR GRADING ENLARGEMENT DETAIL OF AMENITY AREAS AND ADA ACCESSIBLE ROUTES TO HANDICAP PARKING, GAZEBO, MULTI-PURPOSE PATHWAY AND CLUBHOUSE.
 - DRAINAGE AREA TO INLETS IN FINAL CONDITION SEC ARE SAME AS FINAL DRAINAGE AREAS TO INLETS. DRAINAGE AREAS AND SEC PRACTICE CHART ARE SHOWN ON THIS SHEET. REFERENCE SHEET 13 FOR FINAL STORM DRAIN DRAINAGE AREA MAP.
 - SEE SHEET 23 FOR TOWNHOUSE GARAGE STEP(S) CHART.

FINAL CONDITION SEC PRACTICE DATA CHART

DEVICE	DRAINAGE AREA(AC)	SLOPE	PRACTICE	DETAIL NO.	REMARKS
DF#1	0.12	4.95%	DIVERSION FENCE	C-9	E-9-3
DF#2	0.21	5.10%	DIVERSION FENCE	C-9	E-9-3
DF#3	0.12	3.25%	DIVERSION FENCE	C-9	E-9-3
SSF-1	0.16	-	SUPER-SILT FENCE	E-3	DOUBLE ROW
SSF-2	0.17	-	SUPER-SILT FENCE	E-3	DOUBLE ROW
SSF-3	0.04	-	SUPER-SILT FENCE	E-3	DOUBLE ROW
SSF-4	0.10	-	SUPER-SILT FENCE	E-3	DOUBLE ROW
SSF-5	0.30	-	SUPER-SILT FENCE	E-3	DOUBLE ROW

FINAL CONDITION SEC DRAINAGE AREA TO INLETS

STRUCTURE NO.	DRAINAGE AREA(AC)	PRACTICE	DETAIL NO.
1-1	0.24	SP-B	E-9-1
1-2	0.06	SP-B	E-9-1
1-3	0.08	CP	E-9-3
1-4	0.08	CP	E-9-3
1-5	0.10	CP	E-9-3
1-6	0.34	CIP (WRAP WITH SSF)	E-9-3 & E-3
1-7	0.12	SP	E-9-3
1-8	0.07	AGP	E-9-2
1-9	0.02	SP-A	E-9-1
1-10	0.04	SP-A	E-9-1
1-11	0.04	SP-A	E-9-1
1-12	0.06	SP-A	E-9-1
1-13	0.05	CP	E-9-3
1-14	0.02	AGP	E-9-2
1-15	0.35	SP-B	E-9-1
1-16	0.07	SP-A	E-9-1
1-17	0.07	SP-A	E-9-1
1-18	0.04	SP-A	E-9-1
1-19	0.05	SP-A	E-9-1
1-20	0.03	SP-A	E-9-1
1-21	0.07	SP-A	E-9-1
1-22	0.10	CP	E-9-3
1-23	0.40	SP-A	E-9-1
1-24	0.01	SP-A	E-9-1
1-25	0.01	SP-A	E-9-1
1-26	0.01	SP-A	E-9-1
1-27	0.09	SP-A	E-9-1
1-28	0.02	SP-A	E-9-1
1-29	0.02	SP-A	E-9-1
1-30	0.06	SP-B	E-9-1

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
1/24/2023
CHIEF, BUREAU OF HIGHWAYS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
1/23/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
1/24/2023
CHIEF, DIVISION OF LAND DEVELOPMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
1/24/2023
DIRECTOR

OWNER/DEVELOPER CERTIFICATION:
I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

DESIGN CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL REGULATIONS AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

OWNER/DEVELOPER SIGNATURE: kyle wittman DATE: 1/18/2023
DESIGNER'S SIGNATURE: Rob Vogel DATE: 1/23/2023

HOWARD S.C.D. DATE: 1/23/2023

REFERENCE COUNCIL RESOLUTION CR 89-2019, AN ACT DECLARING THAT A PORTION OF OLD MARYLAND ROUTE 108, (ALONG WITH A PORTION OF COLUMBIA ROAD), THE COVERED AREA CONTAINING APPROXIMATELY 1.087 ACRES, IS NO LONGER NEEDED FOR PUBLIC PURPOSE AND AUTHORIZING THE COUNTY EXECUTIVE TO MAKE THE ADVERTISING AND BIDDING REQUIREMENTS OF SECTION 4.201 OF THE HOWARD COUNTY CODE IN ORDER FOR THE COUNTY TO CONVEY A PERPETUAL NON-EXCLUSIVE EASEMENT IN THE 1.087 ACRES FOR ACCESS AND PARKING TO THE DEVELOPER OF THE ADJACENT PROPERTY, DORSEY OVERLOOK, LLLP, (L21387/F.246). SETBACKS WILL BE MEASURED FROM THE PROJECT BOUNDARY, IN ACCORDANCE WITH SECTION 128.0A.10 OF THE ZONING REGULATIONS.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD S.C.D. DATE: 1/23/2023

SITE DEVELOPMENT PLAN
FINAL CONDITIONS GRADING
EROSION AND SEDIMENT CONTROL PLAN,
AND DRAINAGE AREA MAP

DORSEY OVERLOOK
APARTMENT UNITS 1-78
PARCEL A

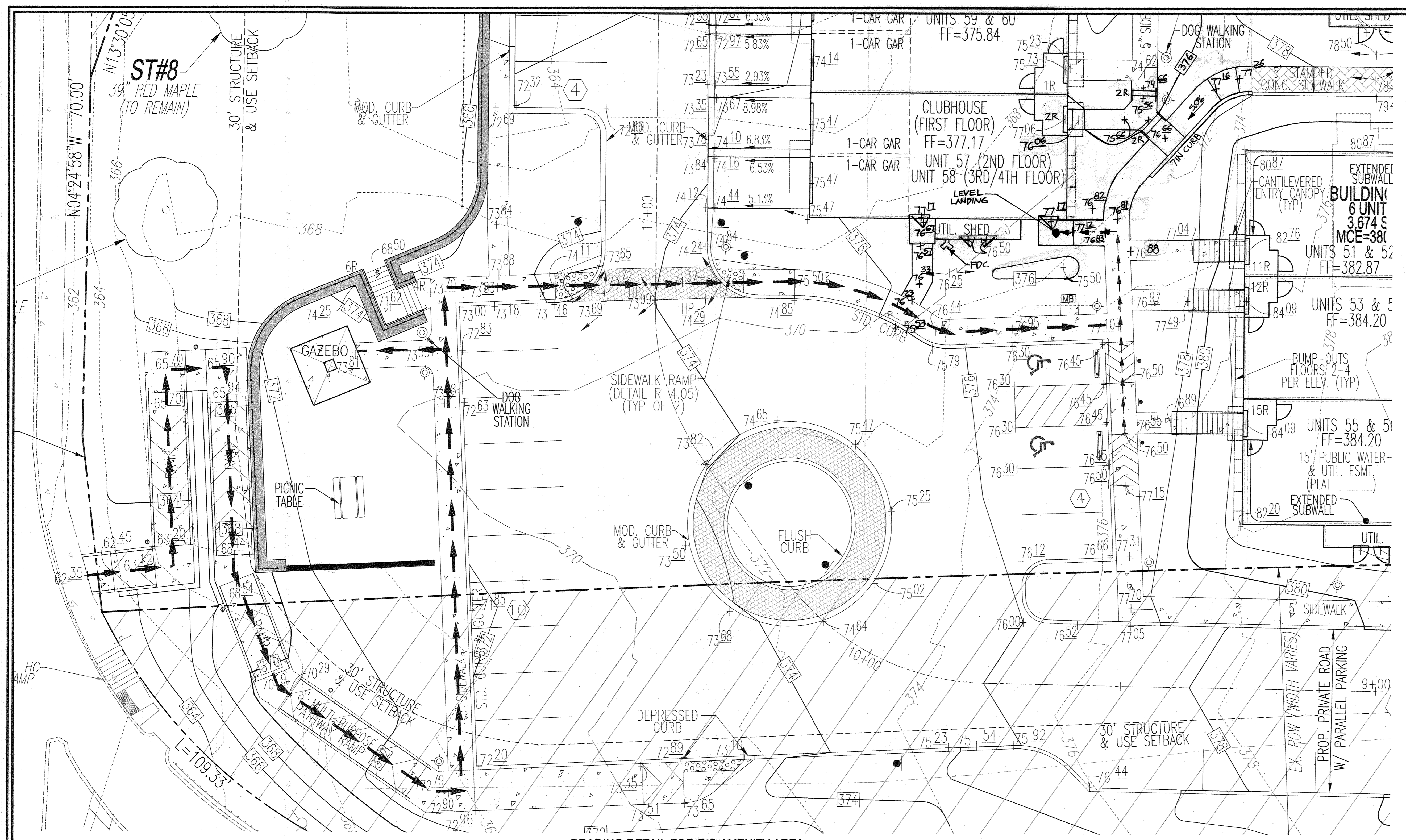
ZONED: R-APT
PARCELS: 87, 91, 92
ZONING: R-APT
TAX MAP: 30, GRID: 9
DPZ REF'S: ECP-15-012, BA-20-003V, F-21-023
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21103
P: 410.461.7666 F: 410.461.8961 www.timmons.com

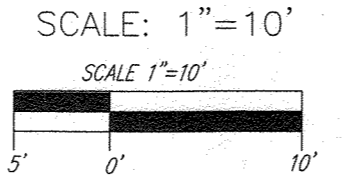
PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
EXPIRATION DATE: 09-27-2025

DESIGN BY: DZE/RHV
DRAWN BY: DZE/JR/KG
CHECKED BY: RHV
DATE: NOVEMBER 2022
SCALE: AS SHOWN
W.O. NO.: 12-69

5 SHEET OF 30



GRADING DETAIL FOR P/O AMENITY AREA



LEGEND:

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJACENT PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	PROPOSED TREELINE
	PROPOSED CONCRETE SIDEWALK
	STAMPED CONCRETE SIDEWALK
	PROPOSED HANDICAP RAMP W/ HANDRAIL
	PERPETUAL EASEMENT FOR THE BENEFIT OF PARCEL A L21387/F248
	ADA ACCESSIBLE ROUTE

Maryland State Grid Meridian

OWNER/DEVELOPER
 DORSEY OVERLOOK, LLLP
 C/O J. KIRBY DEVELOPMENT, LLC
 5670 B FURNACE AVENUE
 ELK RIDGE, MARYLAND 21075
 PHONE: (410) 788-0027

NO.	REVISION	DATE
3	REVISE UNIT 57 ENTRANCE, CLUBHOUSE ENTRANCE AND ADJACENT SIDEWALK	6-26-24

SITE DEVELOPMENT PLAN
GRADING DETAIL FOR A.D.A. ROUTES AND P/O AMENITY AREA

DORSEY OVERLOOK
 APARTMENT UNITS 1-78
 PARCEL A

2ND ELECTION DISTRICT
 TAX MAP: 30 GRID: 9
 DPZ REF'S: ECP-15-012, BA-20-003V, F-21-023

ZONED: R-APT
 PARCELS: 87, 51, 52, 288, 53, 54
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 08-27-2024

DESIGN BY: DZE/RHY
 DRAWN BY: DZE/R/KC
 CHECKED BY: RHY
 DATE: NOVEMBER 2022
 SCALE: AS SHOWN
 W.O. NO.: 12-69

6 SHEET OF 30

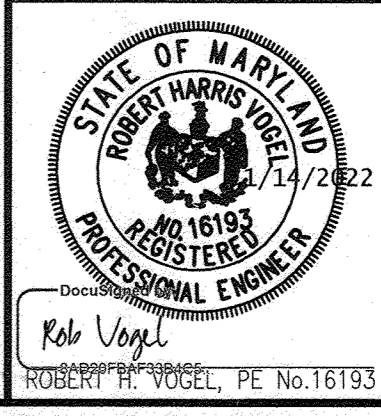
APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 1/24/2023
 CHIEF, BUREAU OF HIGHWAYS

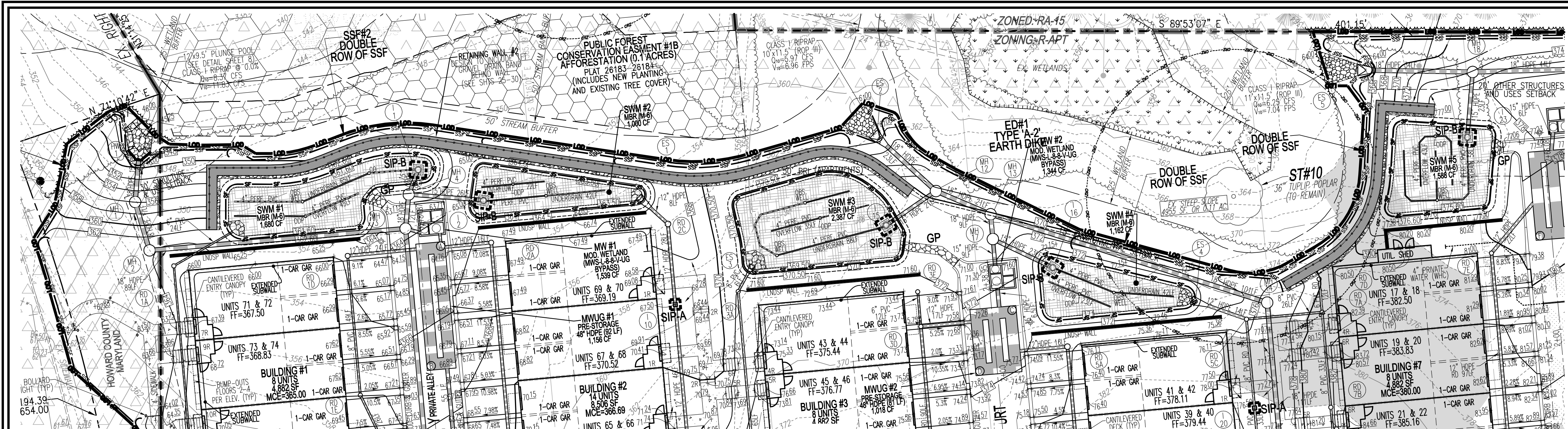
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 1/23/2023
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

CHIEF, DIVISION OF LAND DEVELOPMENT
 1/24/2023

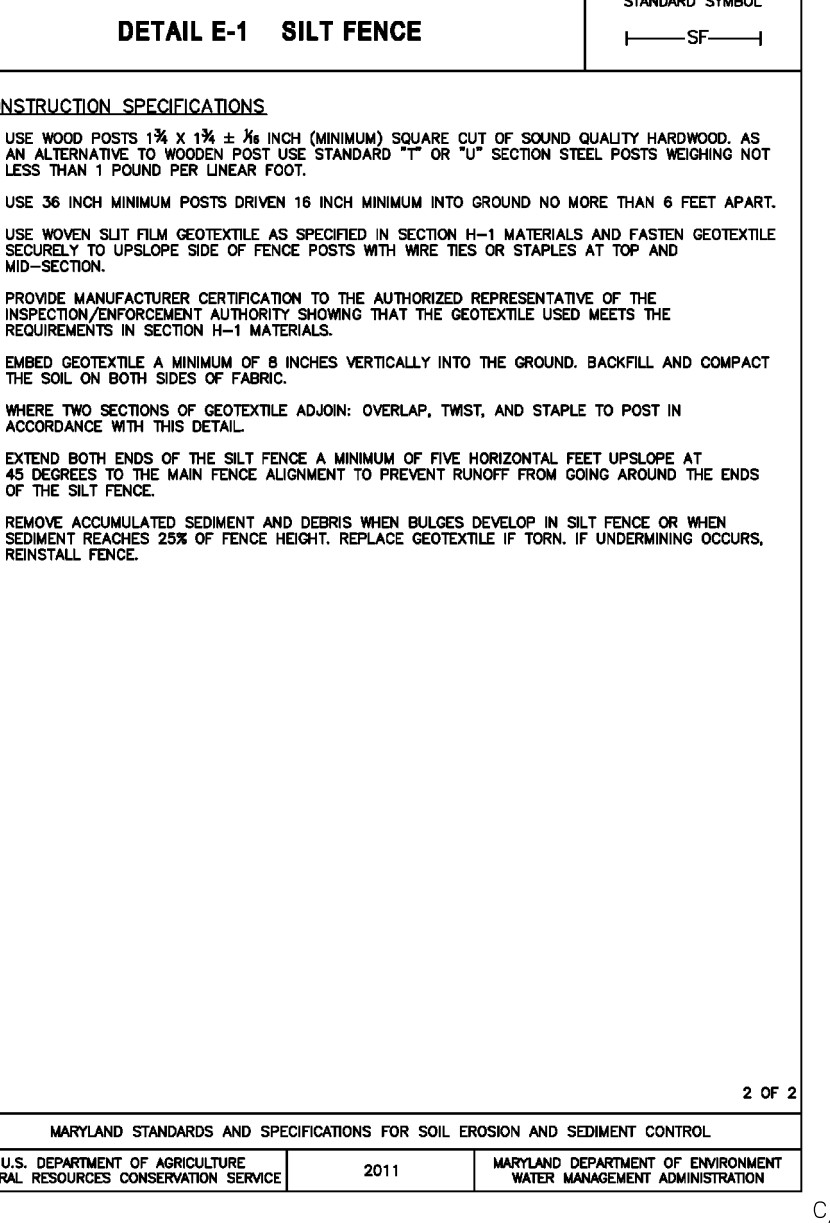
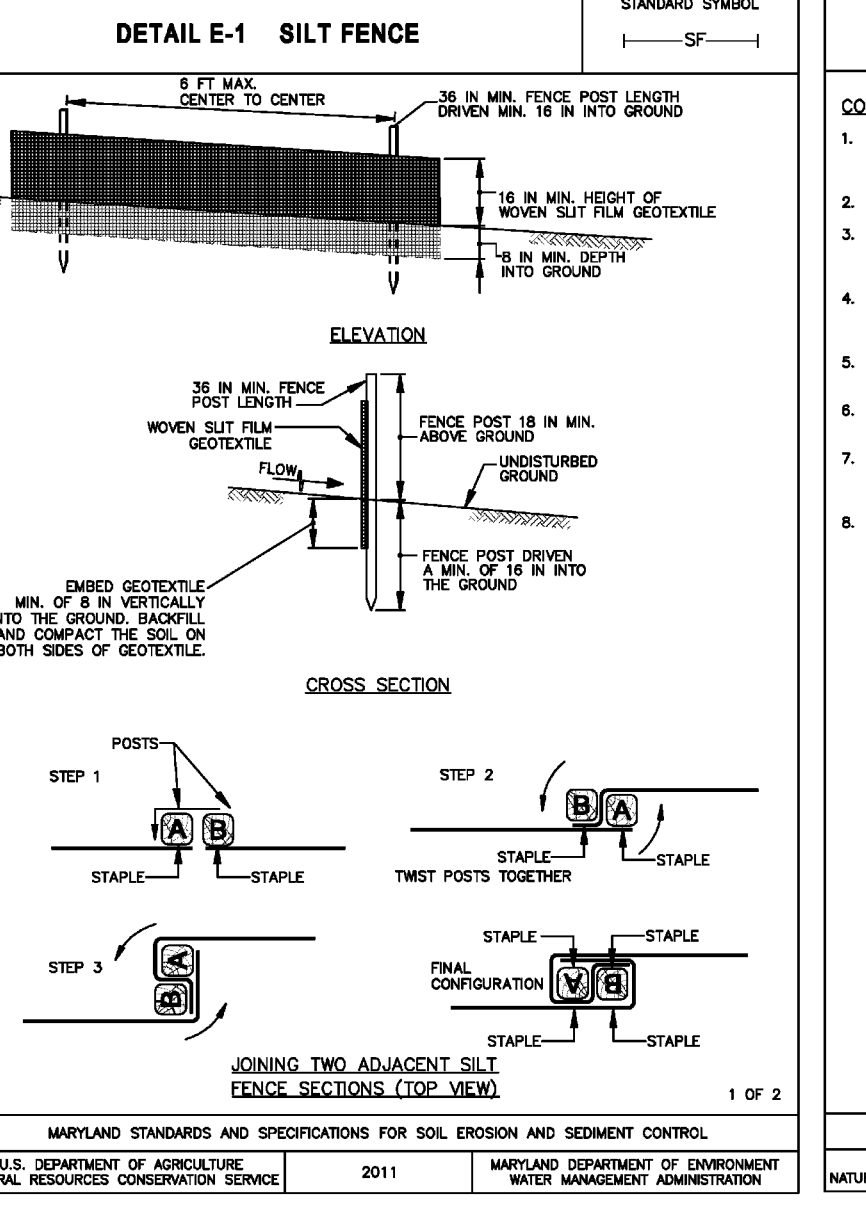
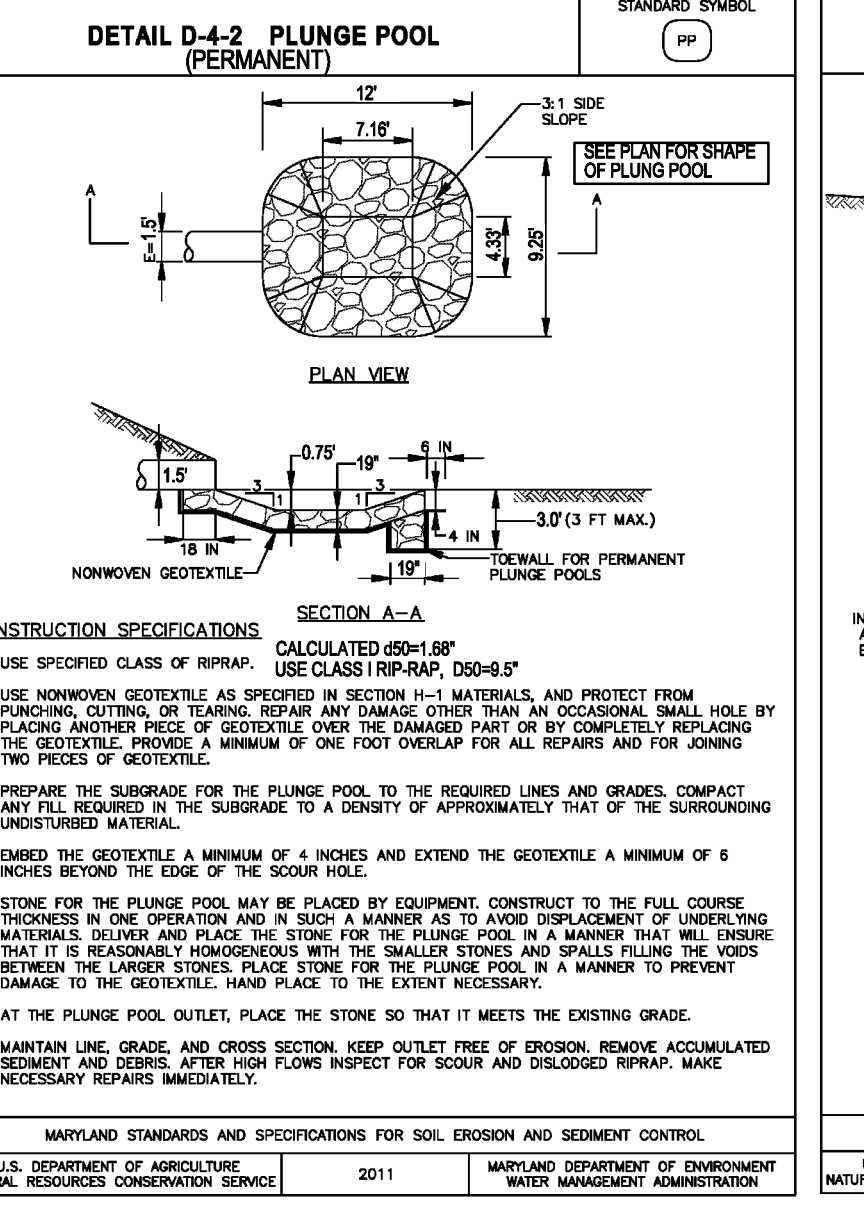
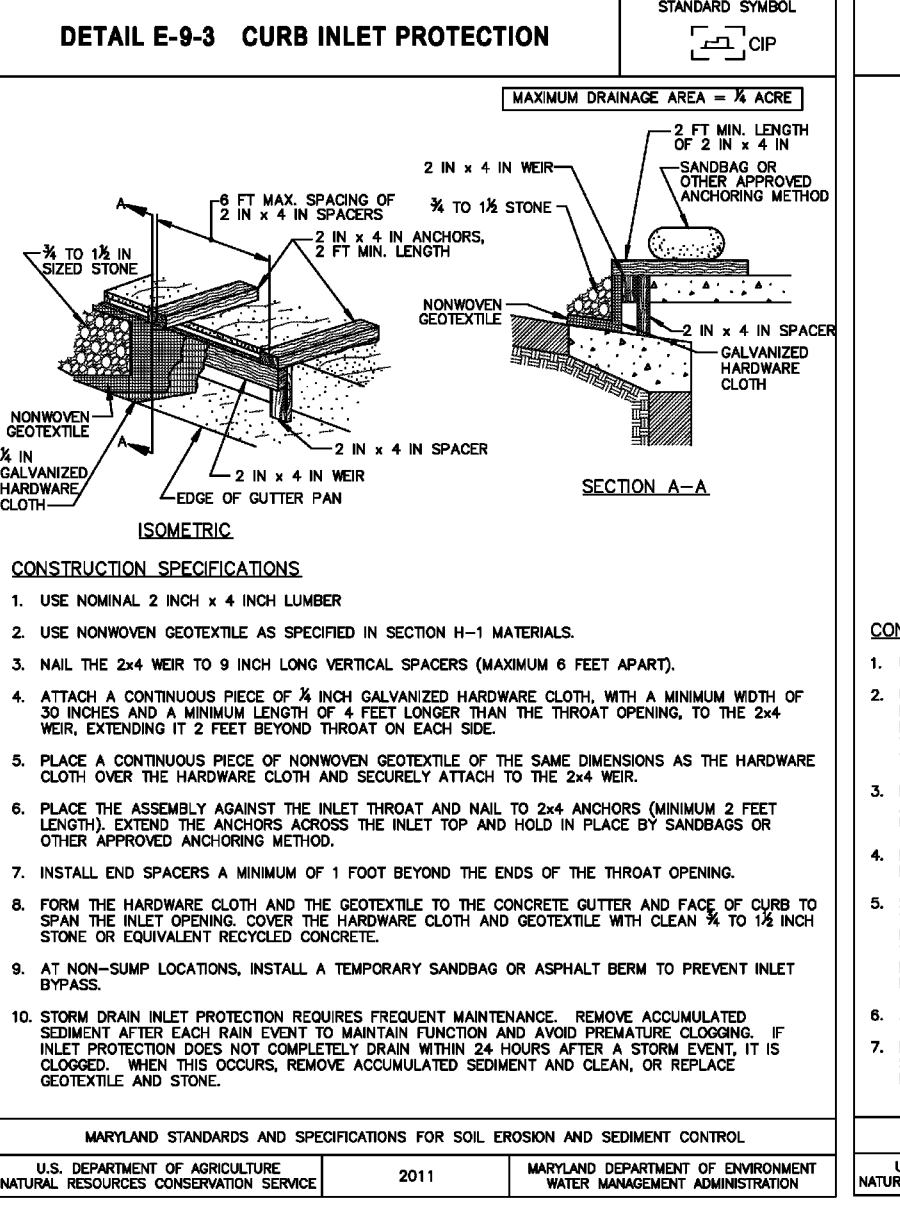
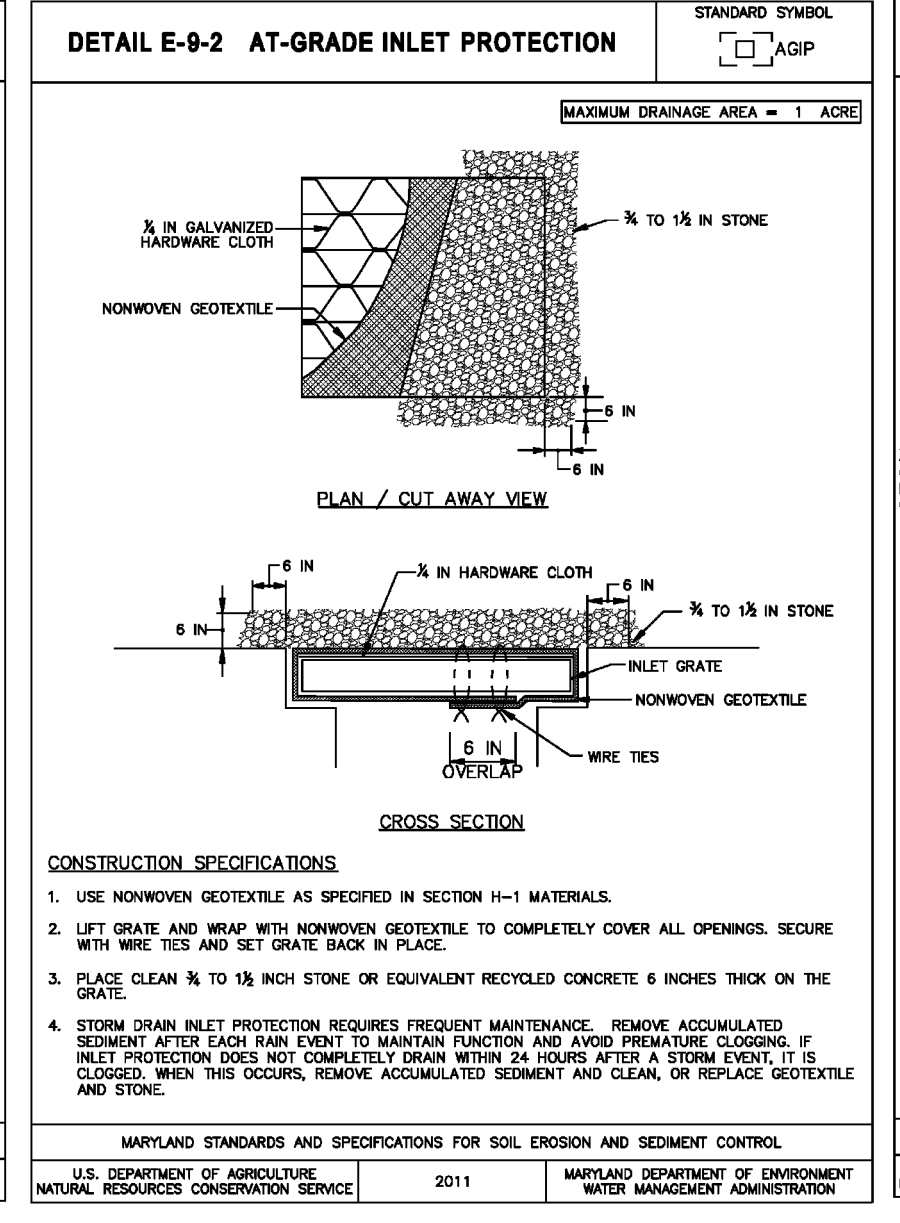
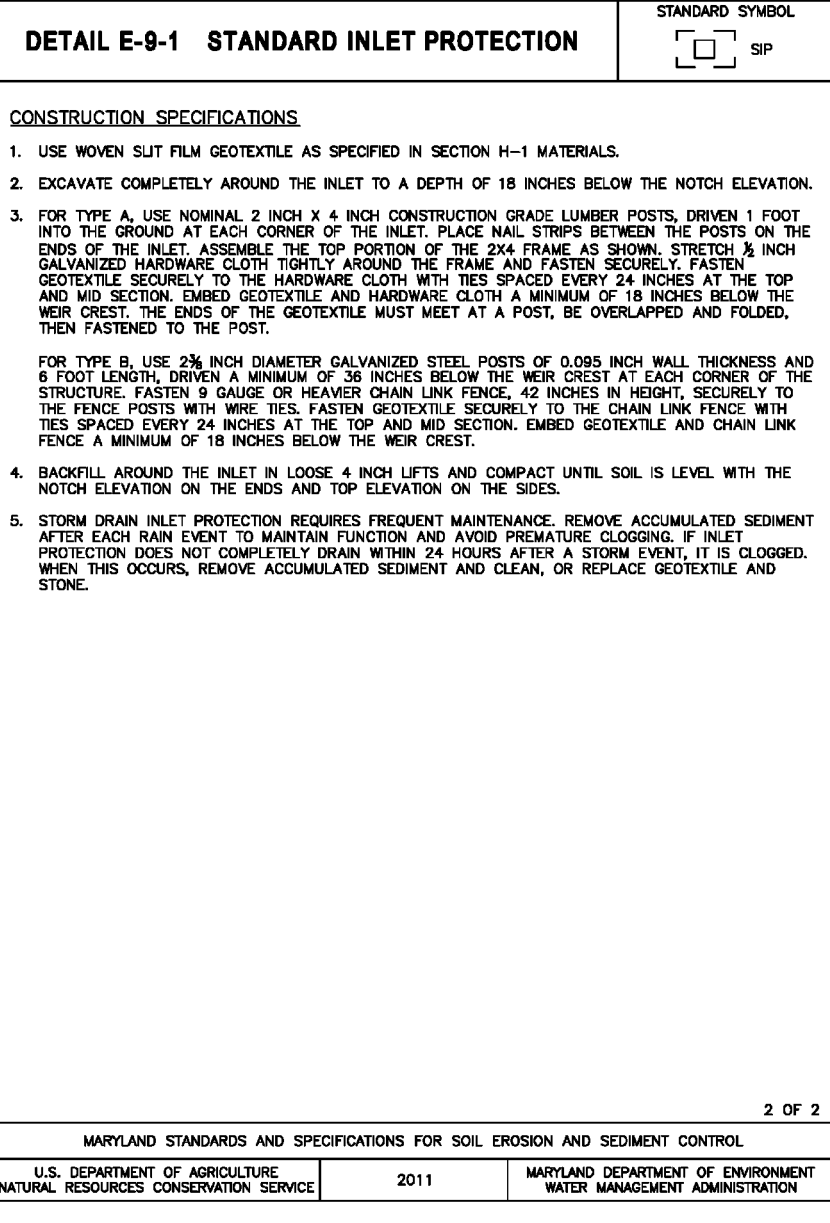
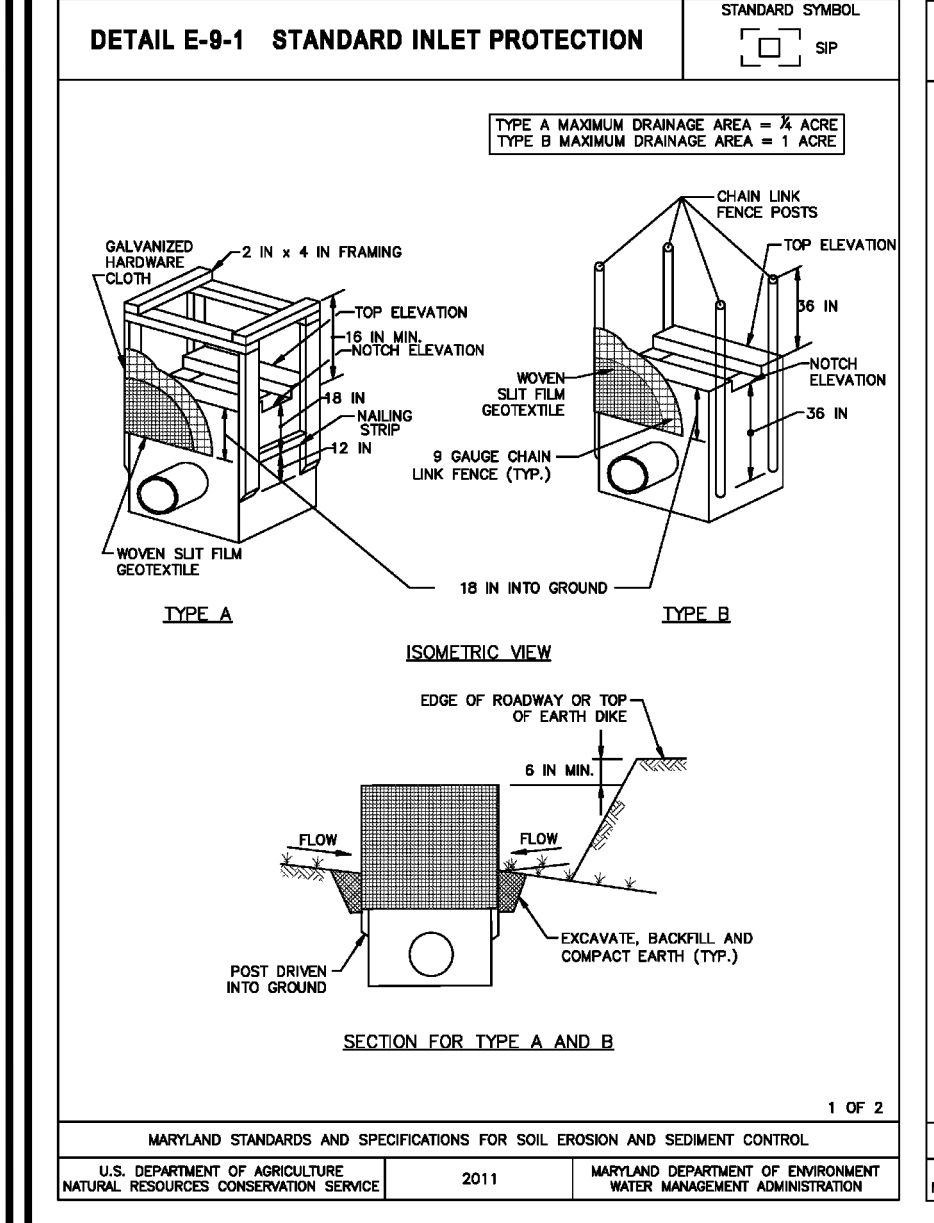
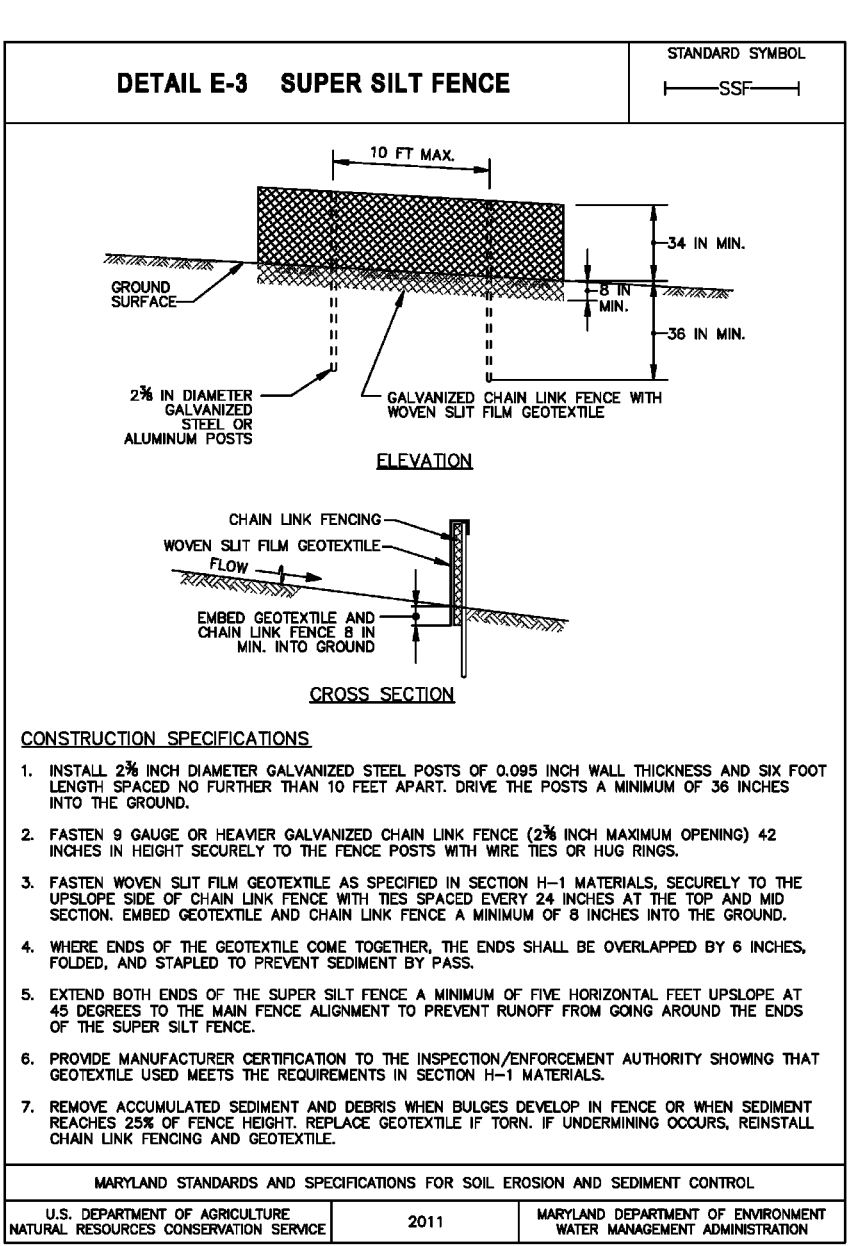
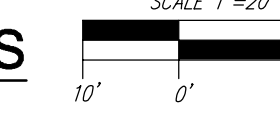
DIRECTOR

NOTE:
 REFERENCE COUNCIL RESOLUTION CR 89-2019, AN ACT DECLARING THAT A PORTION OF OLD MARYLAND ROUTE 108, (ALONG WITH A PORTION OF COLUMBIA ROAD), THE COMBINED AREA CONTAINING APPROXIMATELY 1.087 ACRES, IS NO LONGER NEEDED FOR PUBLIC PURPOSE AND AUTHORIZING THE COUNTY EXECUTIVE TO WAIVE THE ADVERTISING AND BIDDING REQUIREMENTS OF SECTION 4.201 OF THE HOWARD COUNTY CODE IN ORDER FOR THE COUNTY TO CONVEY A PERPETUAL NON-EXCLUSIVE EASEMENT IN THE 1.087 ACRES FOR ACCESS AND PARKING TO THE DEVELOPER OF THE ADJACENT PROPERTY, DORSEY OVERLOOK, LLLP, (L21387/F248)
 SETBACKS WILL BE MEASURED FROM THE PROJECT BOUNDARY, IN ACCORDANCE WITH SECTION 128.0A.10 OF THE ZONING REGULATIONS.





EROSION AND SEDIMENT CONTROL DETAIL FOR INSTALLATION OF MICRO-BIORETENTION FACILITIES



MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE 2011. MARYLAND DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE 2011. MARYLAND DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE 2011. MARYLAND DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE 2011. MARYLAND DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION

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MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE 2011. MARYLAND DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION

OWNER/DEVELOPER
DORSEY OVERLOOK, LLP
C/O J. KIRBY DEVELOPMENT, LLC
5870 S FURMACE AVENUE
ELKRIDGE, MARYLAND 21075
PHONE: (410) 788-0027

NO.	REVISION	DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
1/23/2023
Chad Edmondson
CHIEF, DEVELOPMENT/ENGINEERING DIVISION
DATE 1/23/2023
CHIEF, DIVISION OF LAND DEVELOPMENT
1/24/2023
DIRECTOR

OWNER/DEVELOPER CERTIFICATION:
I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERMITS AND SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.
11/14/2022
OWNER/DEVELOPER SIGNATURE: Kyle Wittman
PRINTED NAME & TITLE: Kyle Wittman

DESIGN CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
11/14/2022
Designed by: Rob Vogel
DESIGNER'S SIGNATURE: ROBERT H. VOGEL
DATE: 11/14/2022
PRINTED NAME: ROBERT H. VOGEL
MDE REGISTRATION NO. 16193
EXA R.L.S., OR R.L.A. (Circle one)

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
1/23/2023
Designed by: Alexander Brostok
DATE: 1/23/2023
HOWARD S.C.D.

MICRO-BIORETENTION NOTES:
1. SEE SHEET 16 FOR MICRO-BIORETENTION DETAILS.
2. MICRO-BIORETENTION FACILITIES SHALL BE PROTECTED WITH SILT FENCE AS SHOWN HEREON PRIOR TO INSTALLATION OF PLANTING MATERIAL. INLET PROTECTION SHALL REMAIN IN PLACE FOR ALL INLETS UNTIL MICRO-BIORETENTION FACILITIES HAVE BEEN FULLY CONSTRUCTED AND ARE STABILIZED AND FUNCTIONING. SEDIMENT CONTROLS MAY ONLY BE REMOVED WITH PERMISSION OF INSPECTOR.

SEDIMENT CONTROL NOTES:
1. SEDIMENT CONTROLS INTERRUPTED BY INSTALLATION OF UTILITY LINES ARE TO BE REPAIRED IMMEDIATELY.
2. MOUND COVERS ARE NOT TO BE LOCATED IN CURB OR GUTTER PAN.
3. LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHES. SEE STABILIZATION SPECS.
4. SILT FENCE SHALL BE CURLED UPRILL AT 35 FT. INTERVALS WHEREVER IT RUNS DOWNHILL.
5. SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
6. DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
7. EITHER TEMPORARY OR PERMANENT SEEDING AND STABILIZATION IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE INTERVALS PROVIDED IN THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, WHICHEVER IS MORE STRINGENT.
8. EARTH BERMS ARE TO BE CONVERTED TO MACADAM BERMS AS NEEDED OR DIRECTED BY THE CD INSPECTOR.
9. MICRO-BIORETENTION FACILITIES TO BE PROTECTED WITH SILT FENCE AS SHOWN ON THIS SHEET.

SITE DEVELOPMENT PLAN
GRADING, EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

DORSEY OVERLOOK
APARTMENT UNITS 1-78
PARCEL A

2ND ELECTION DISTRICT
TAX MAP: 30 GRD: 3
DPZ REF'S: ECP-15-012, BA-20-003V, F-21-023

ZONED: R-4PT
PARCELS: 67, 51, 52, 288, 53, 54, 55
HOWARD COUNTY, MARYLAND

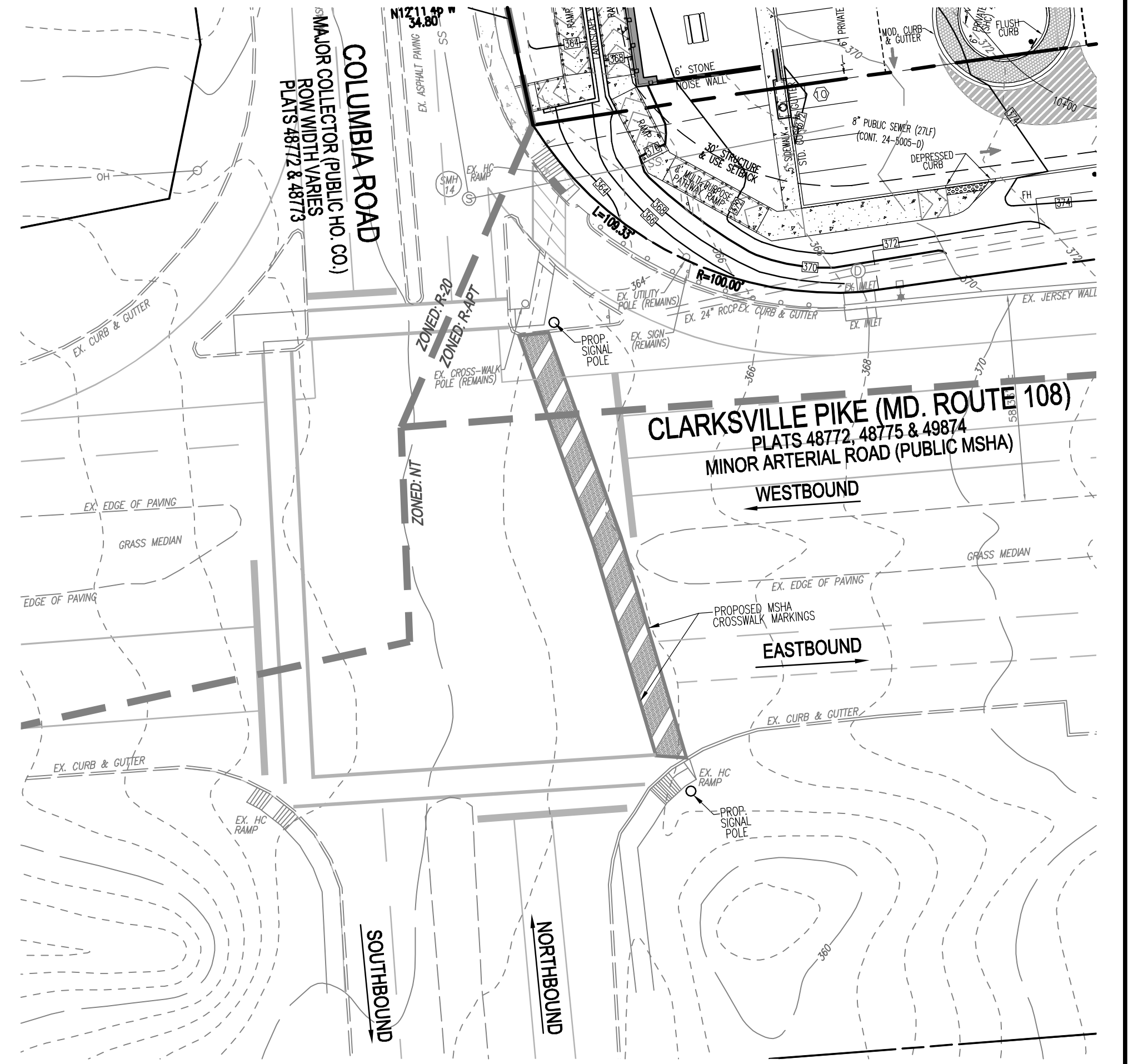
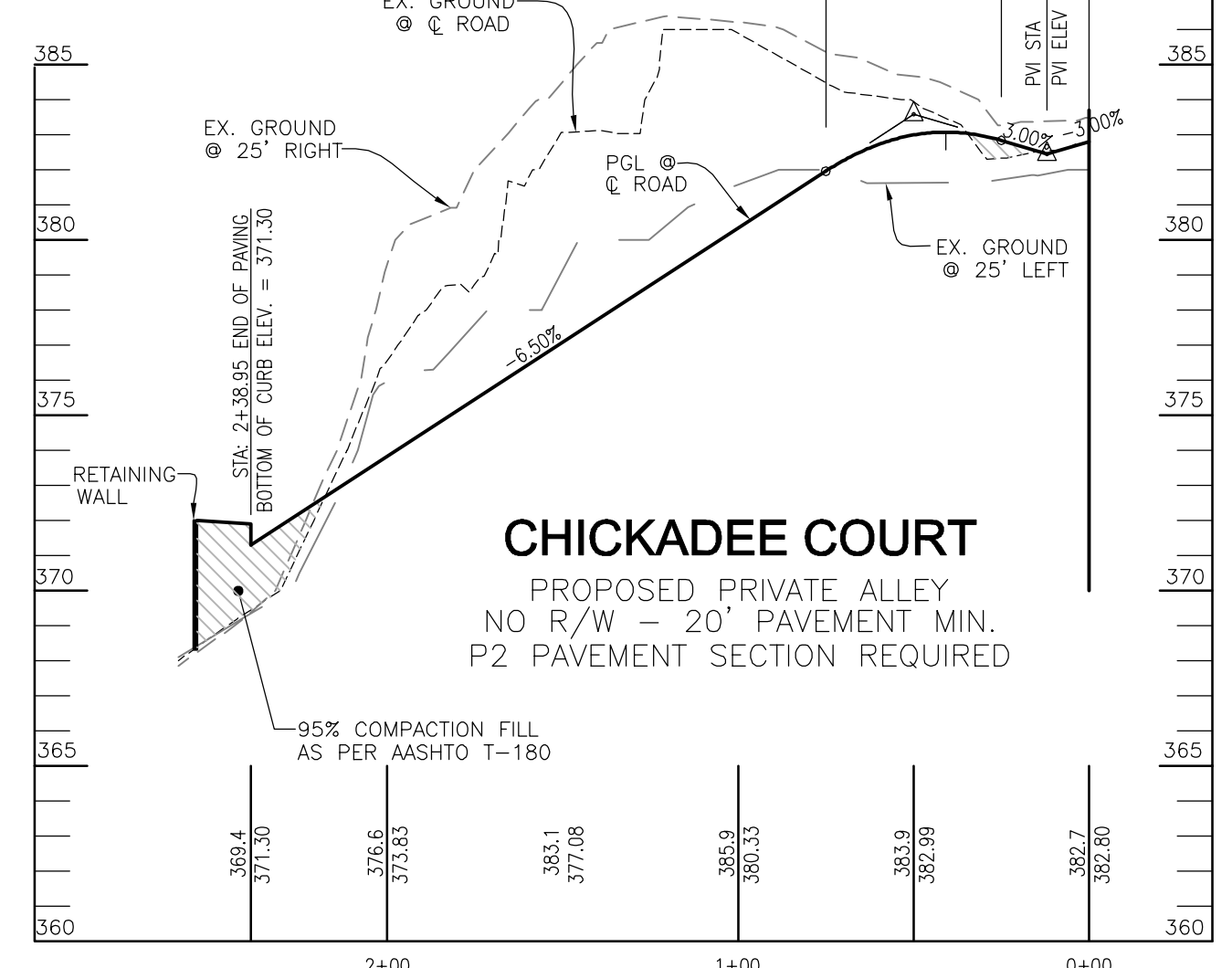
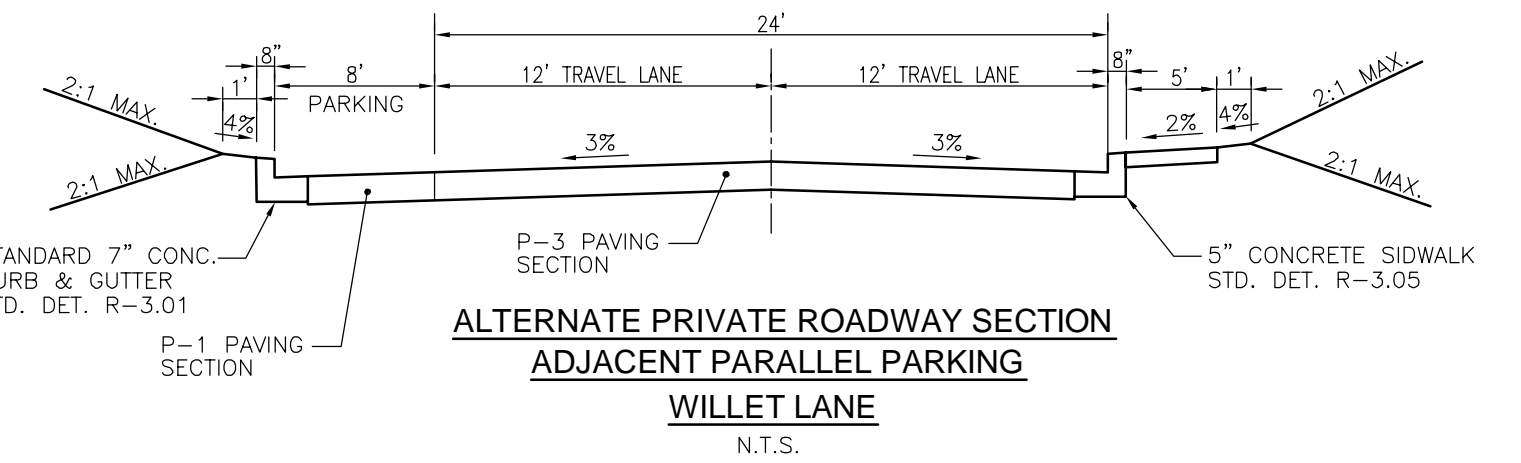
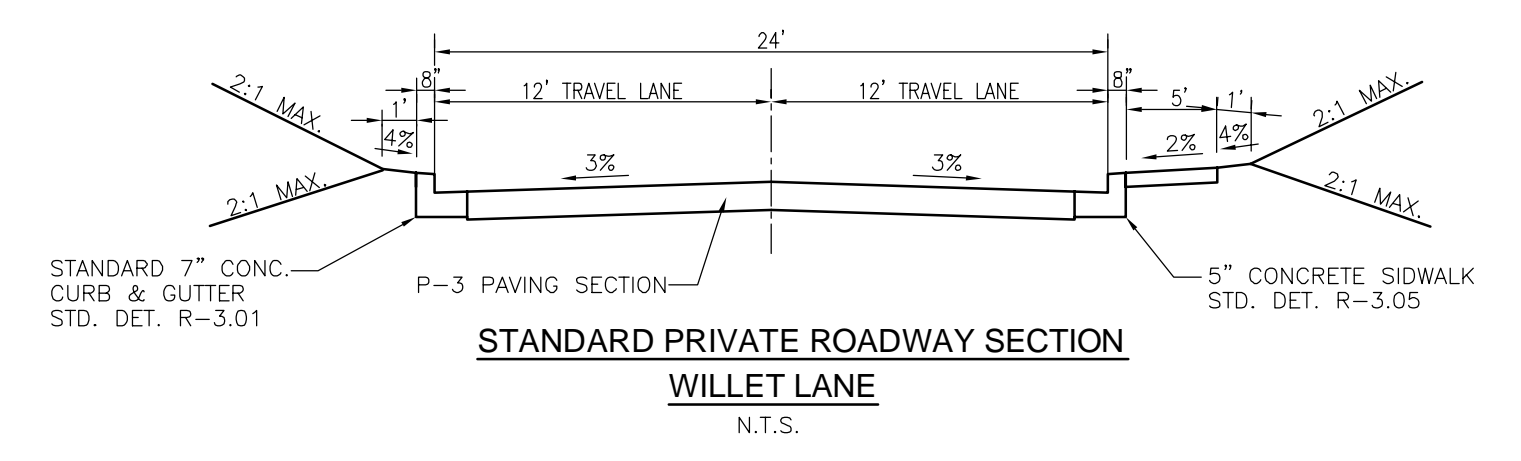
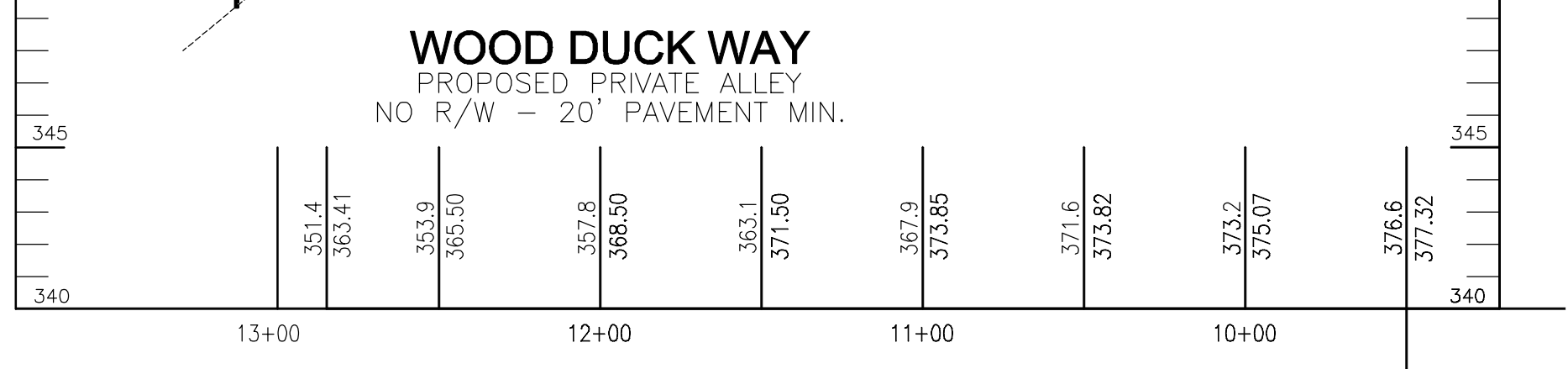
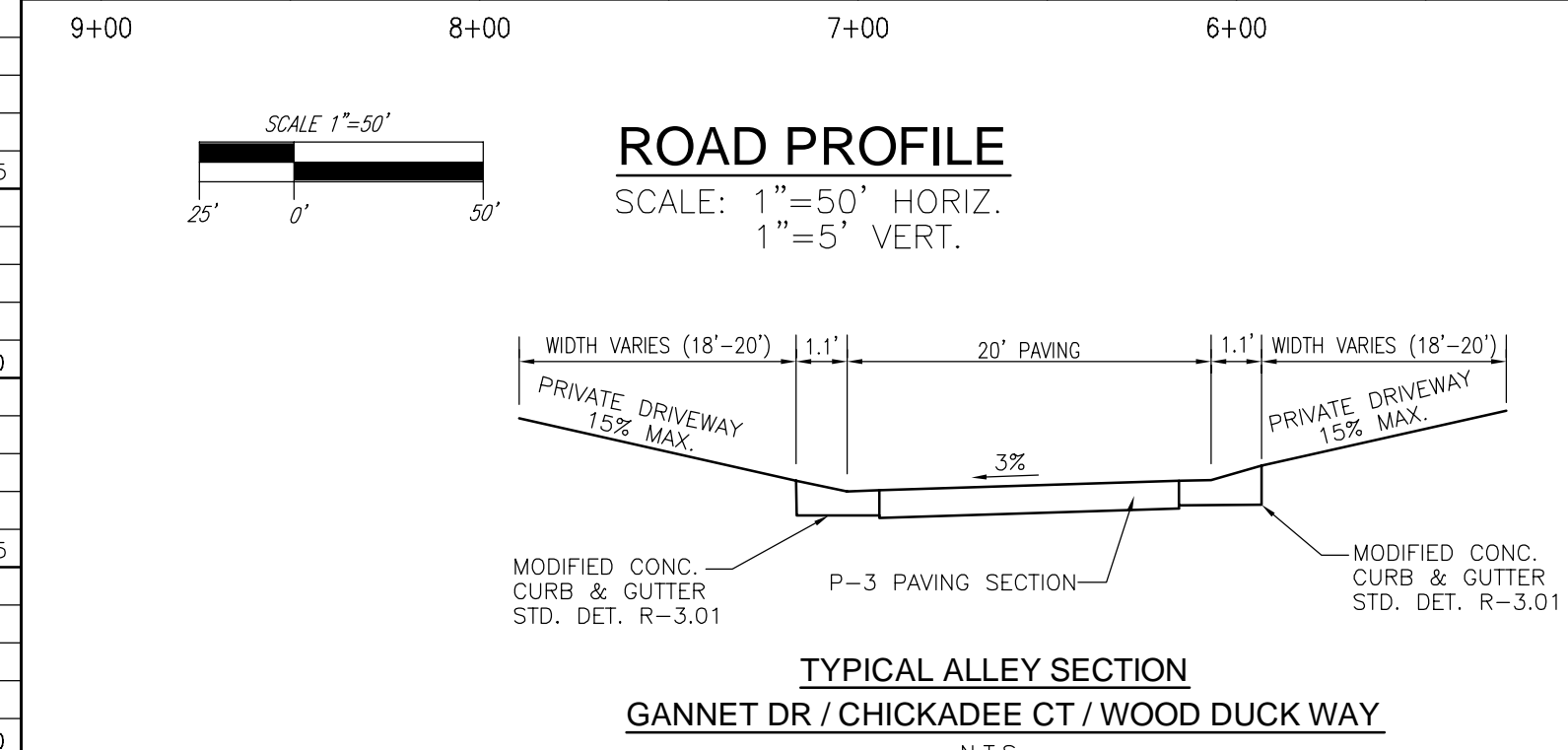
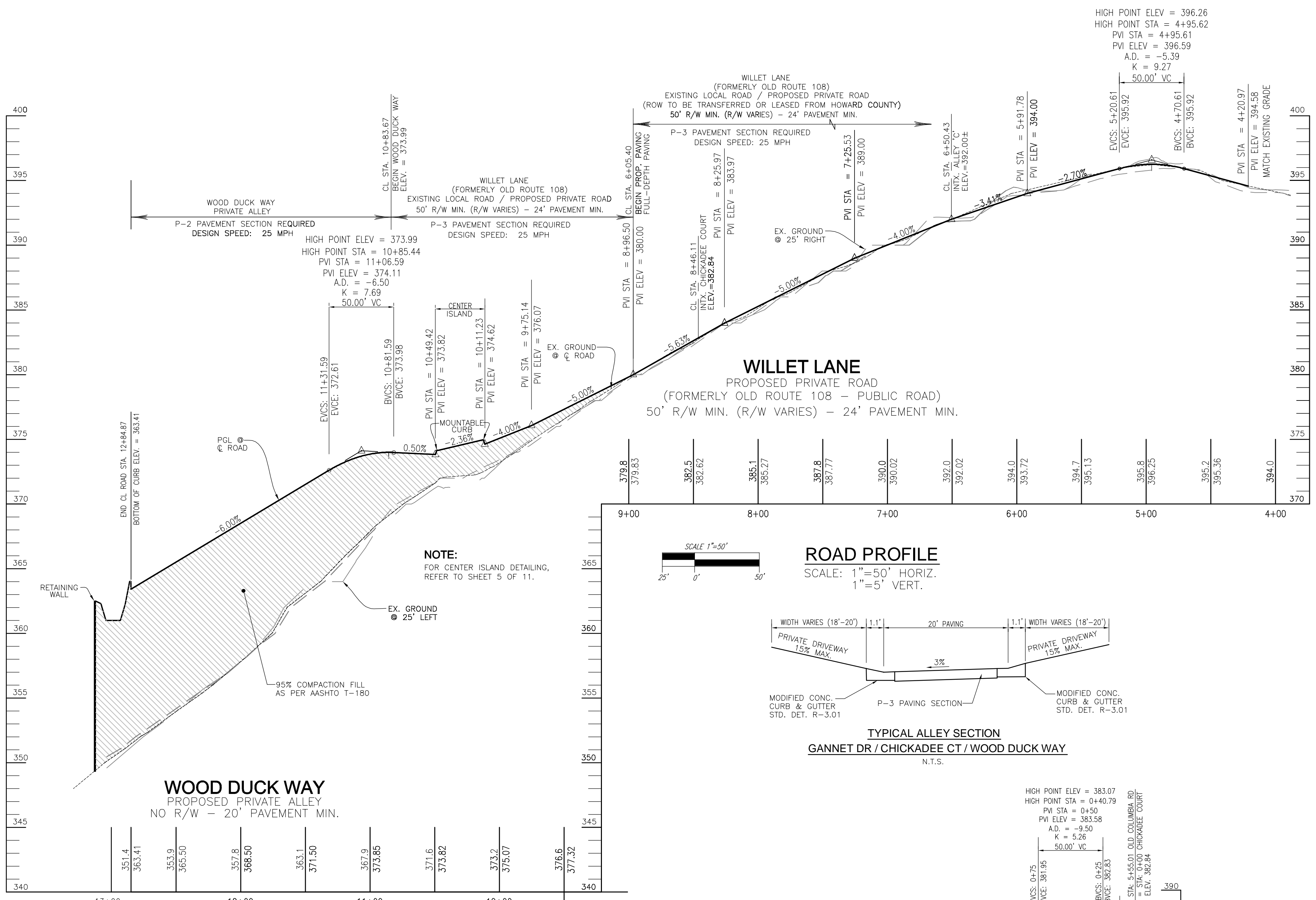
VOGEL ENGINEERING
TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, NO. 16193
EXPIRATION DATE: 09-27-2024

DESIGN BY: DZE/RHV
DRAWN BY: DZE/JR/KGS
CHECKED BY: RHV
DATE: NOVEMBER 2022
SCALE: AS SHOWN
W.O. NO.: 12-69

8 OF **30**



SECTION A-A OLD ROUTE 108 CURB AND SIDEWALK IMPROVEMENTS
N.T.S.

OWNER/DEVELOPER
DORSEY OVERLOOK, LLLP
C/O J. KIRBY DEVELOPMENT, LLC
5870 S FURNACE AVENUE
ELK RIDGE, MARYLAND 21075
PHONE: (410) 788-0027

NO.	REVISION	DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
1/23/2023
Chris Edmondson
CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF LAND DEVELOPMENT
1/23/2023
1/24/2023
DIRECTOR

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
1/24/2023
David
CHIEF, BUREAU OF HIGHWAYS

SITE DEVELOPMENT PLAN
ROAD PROFILES, TYPICAL SECTIONS AND CROSSWALK DETAILS

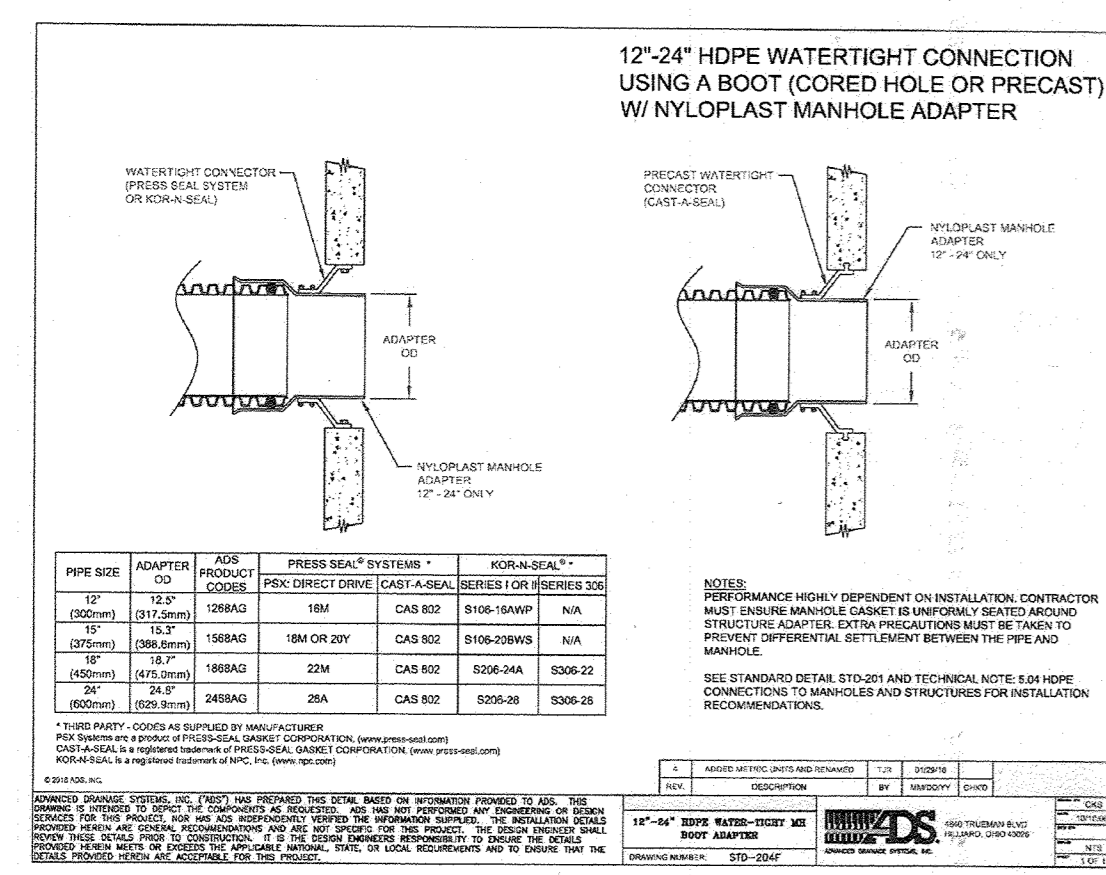
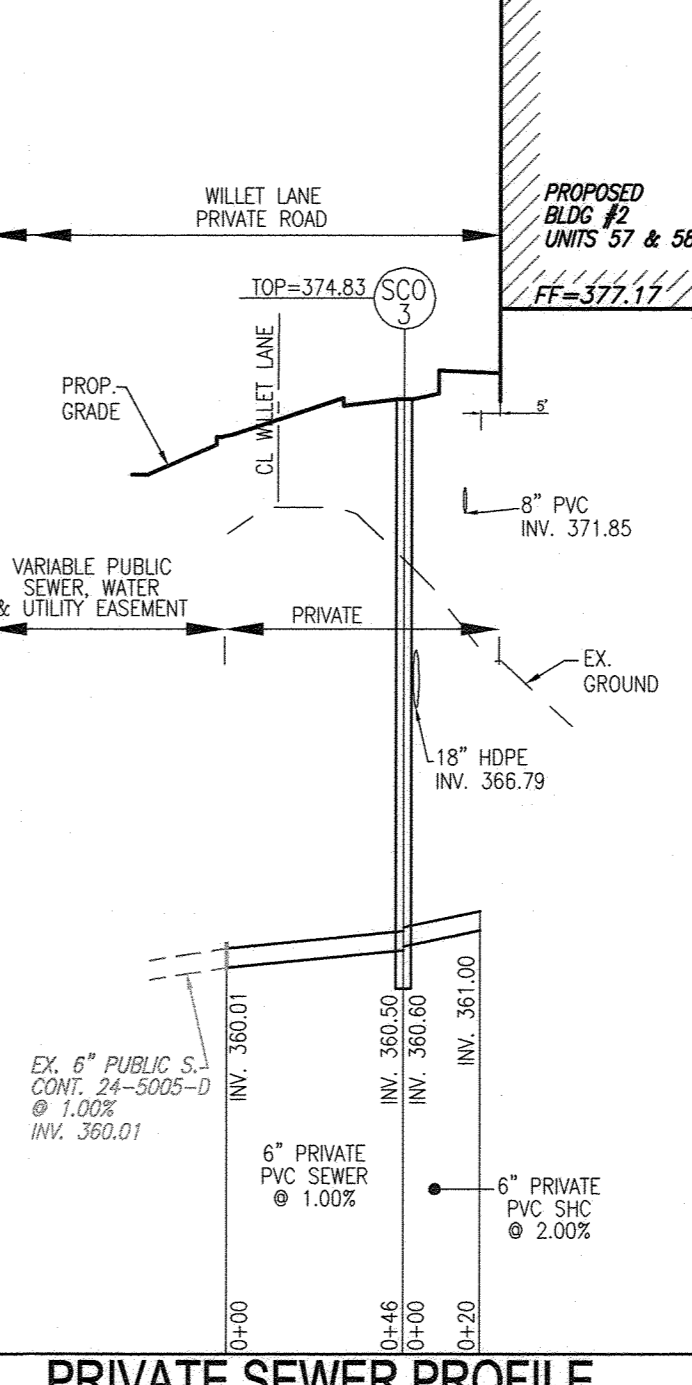
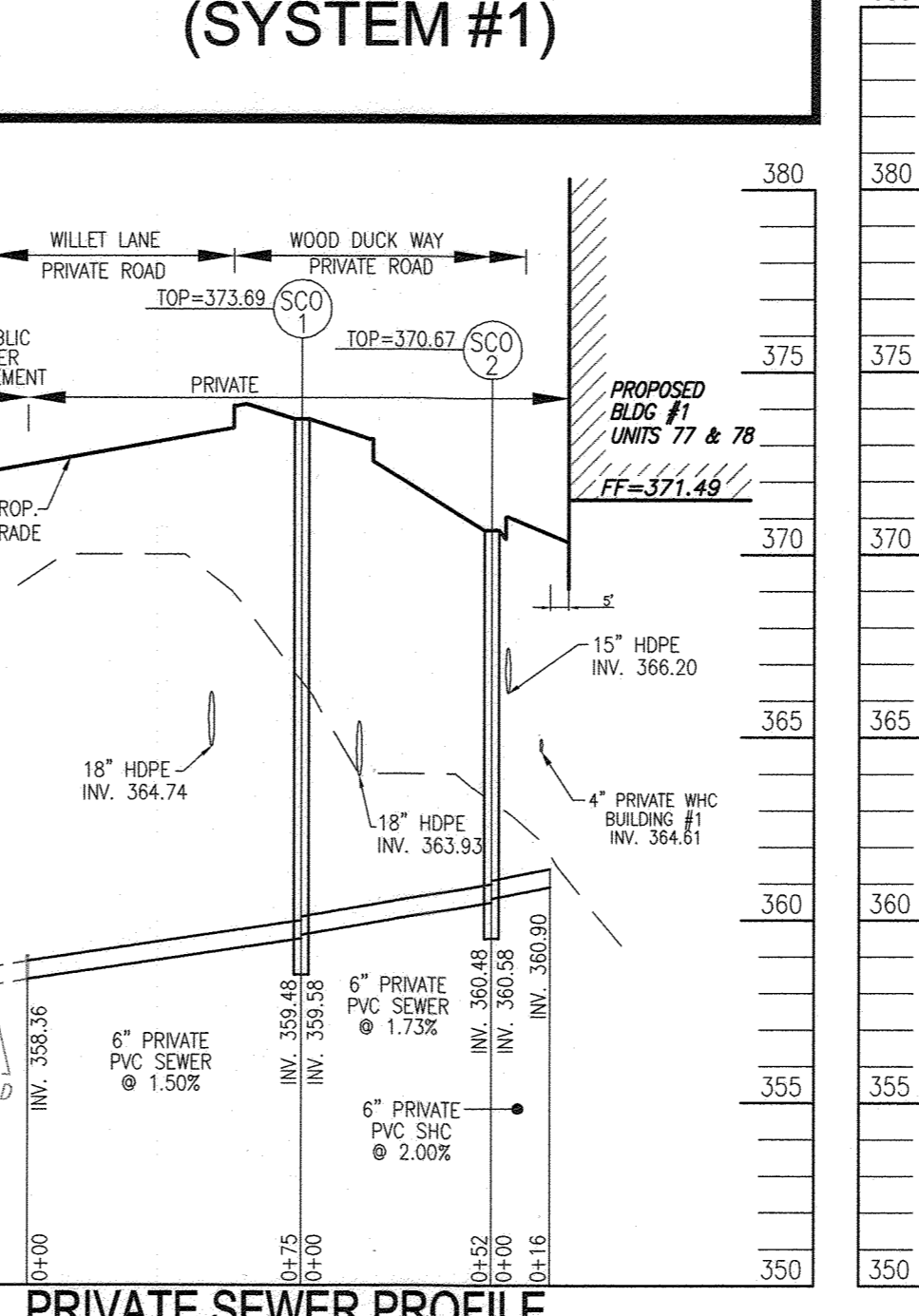
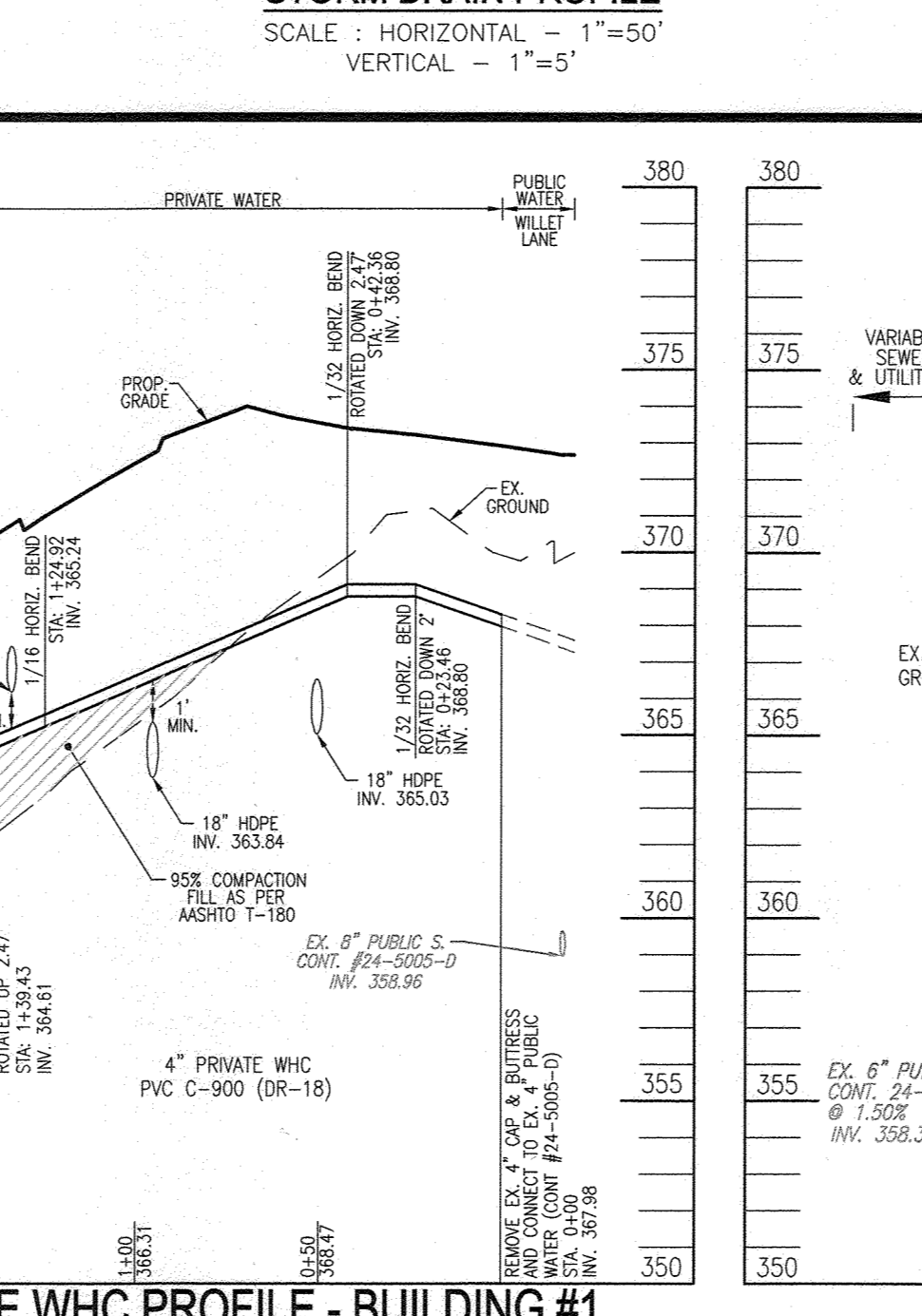
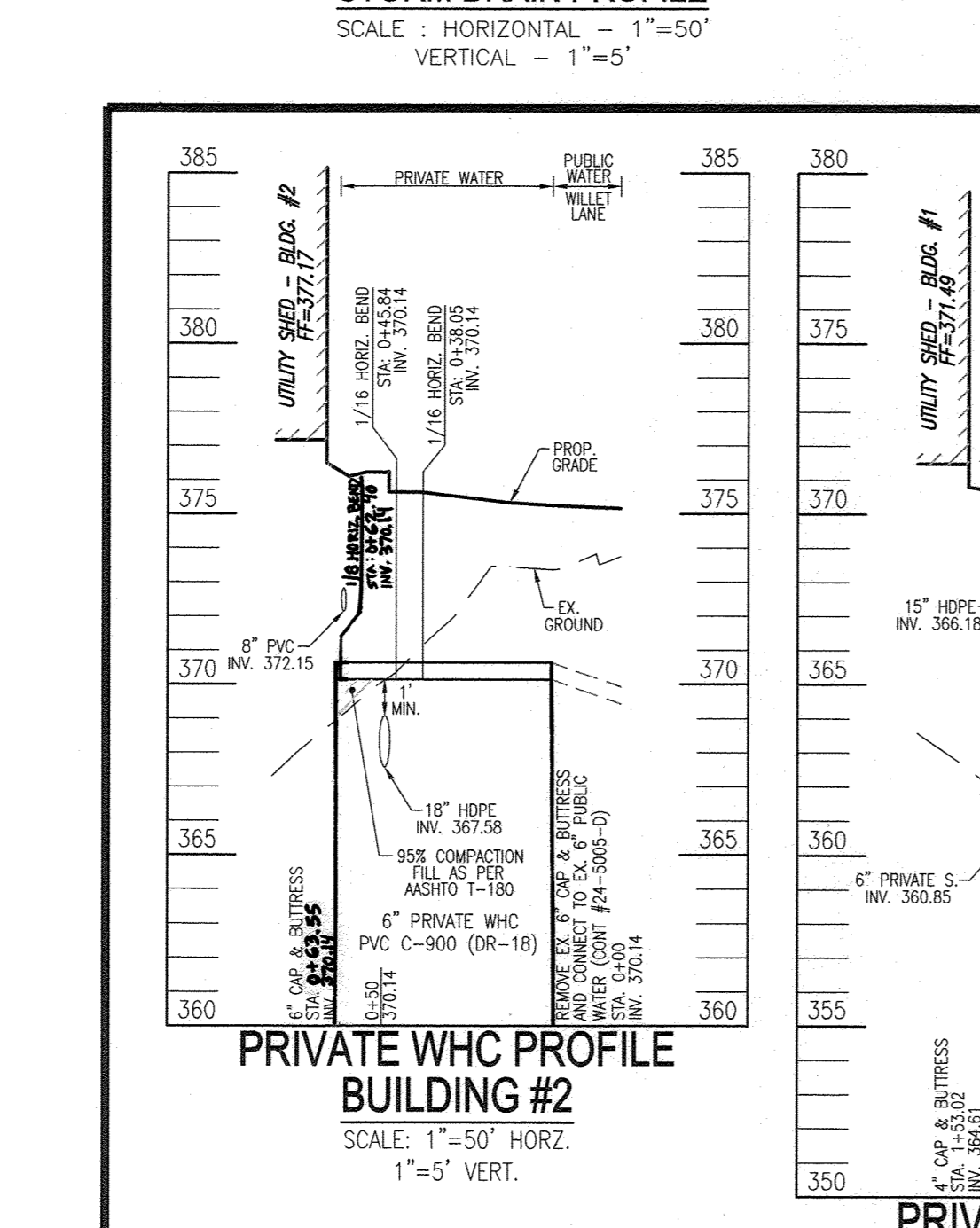
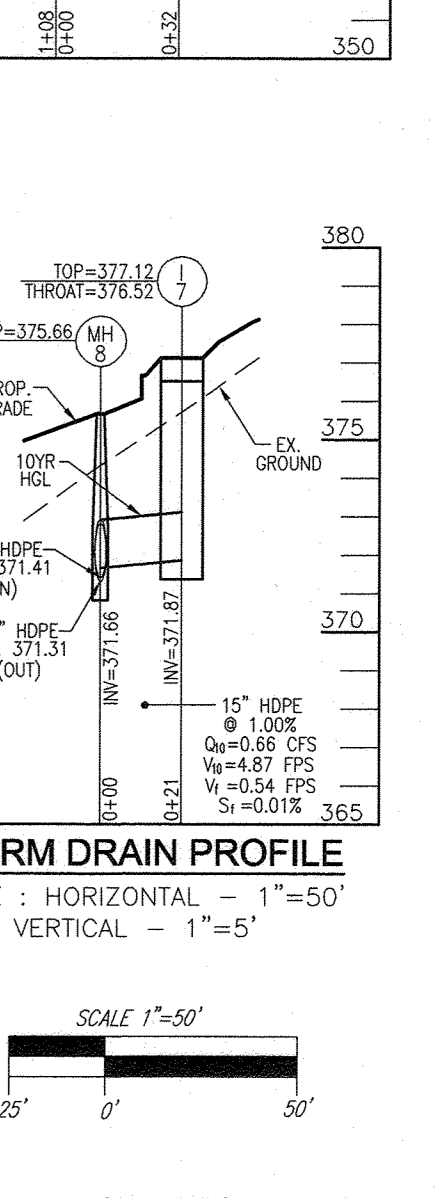
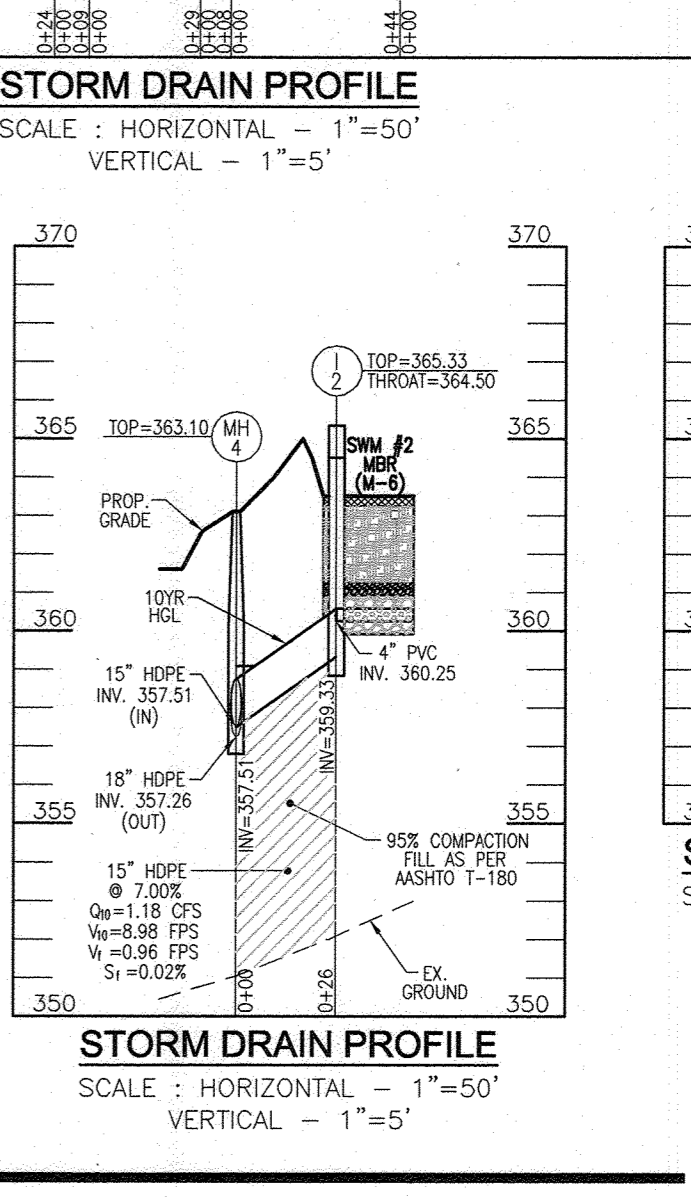
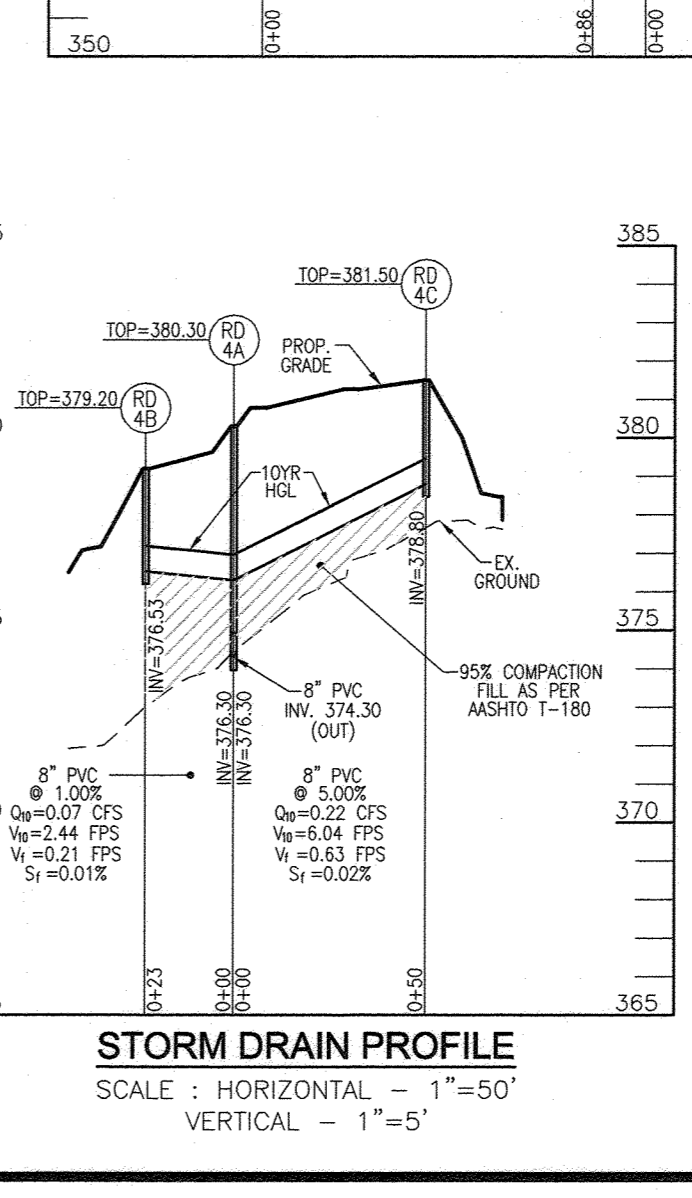
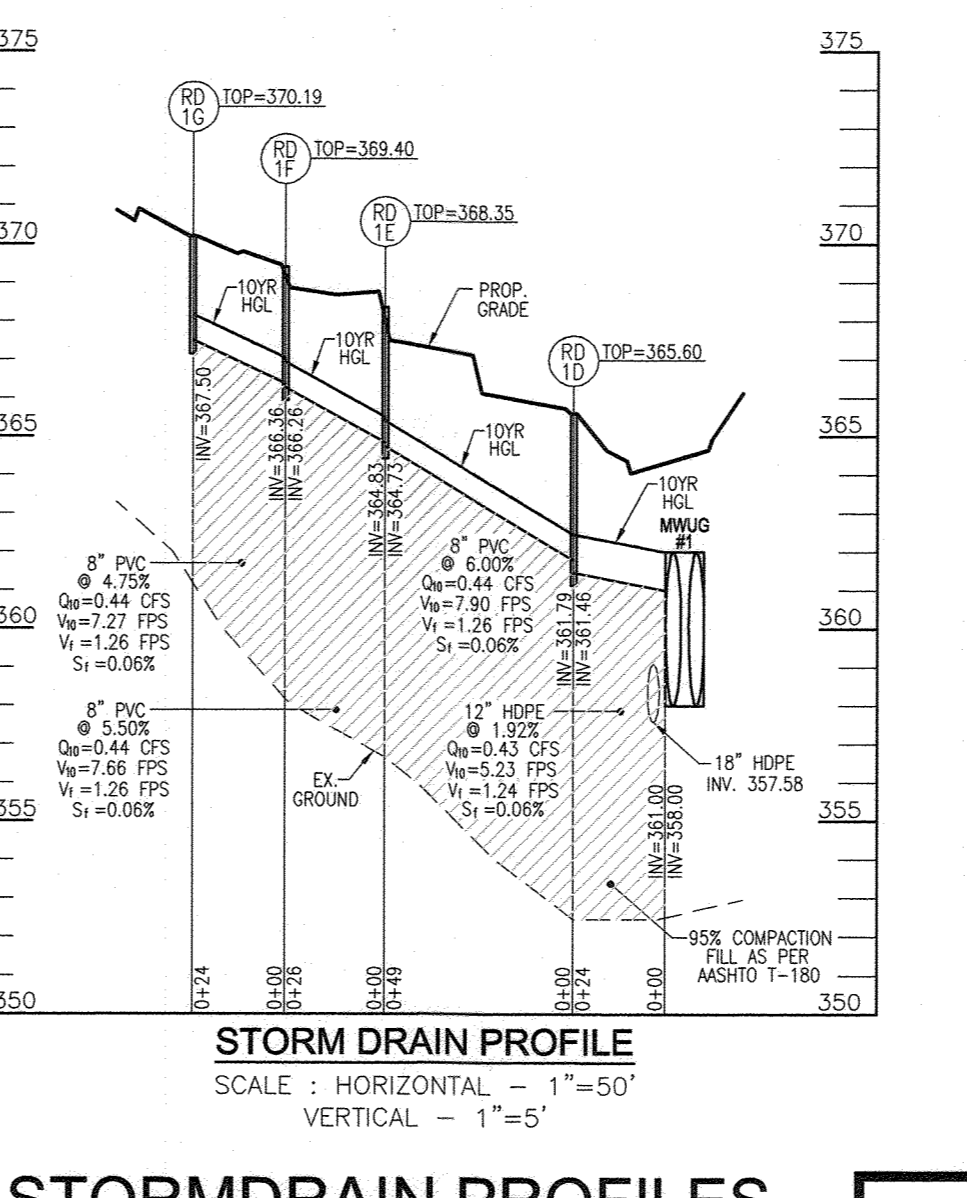
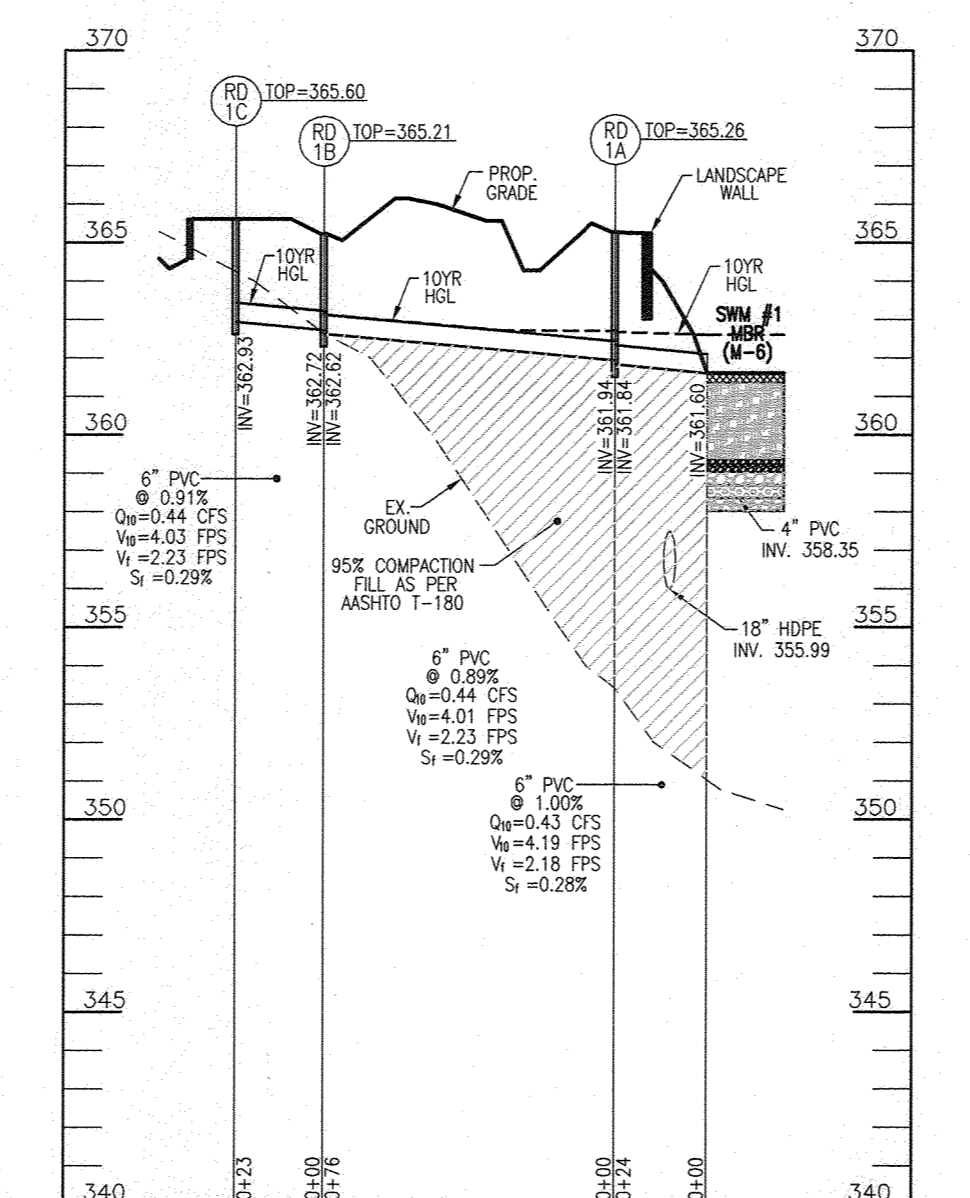
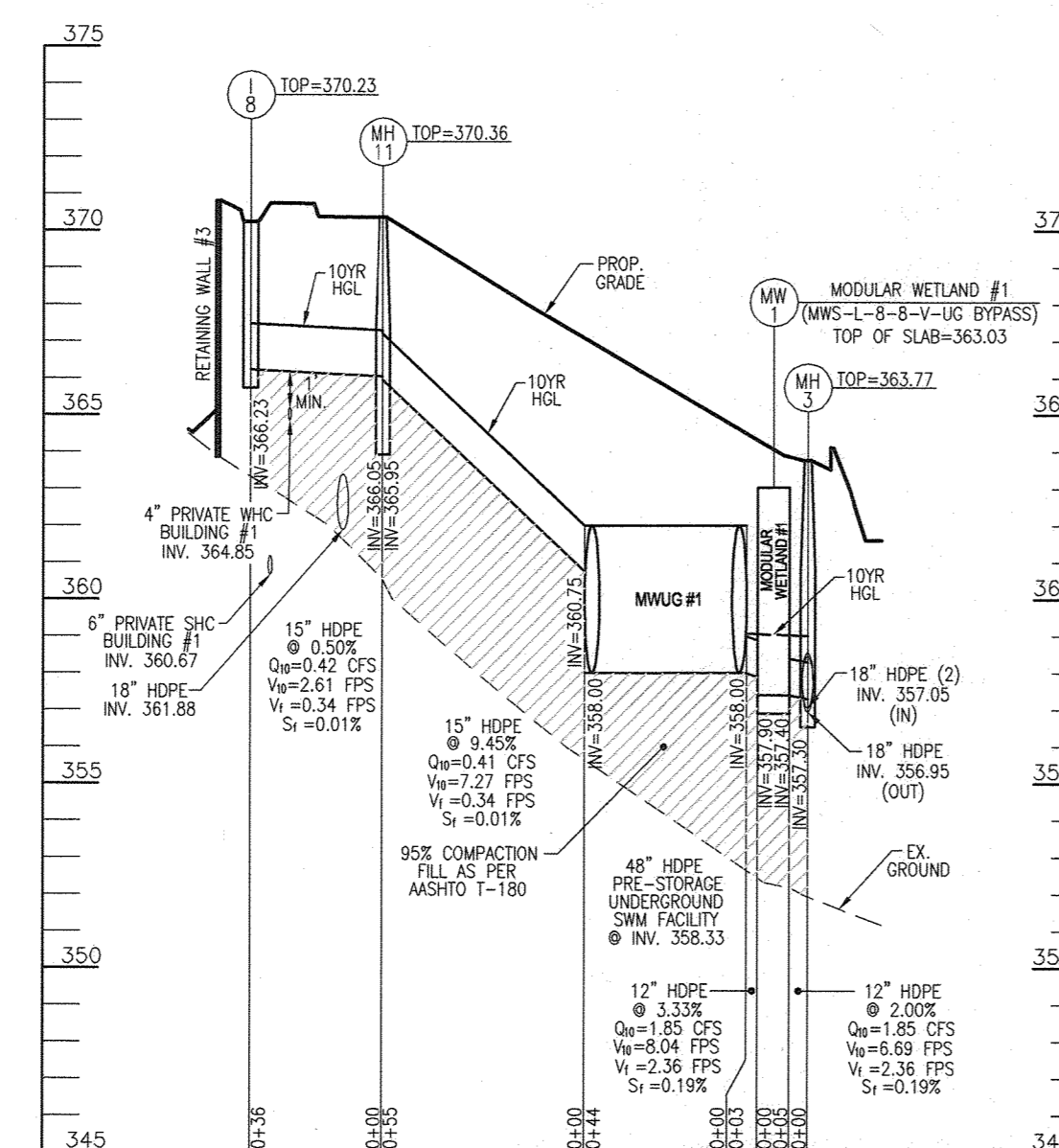
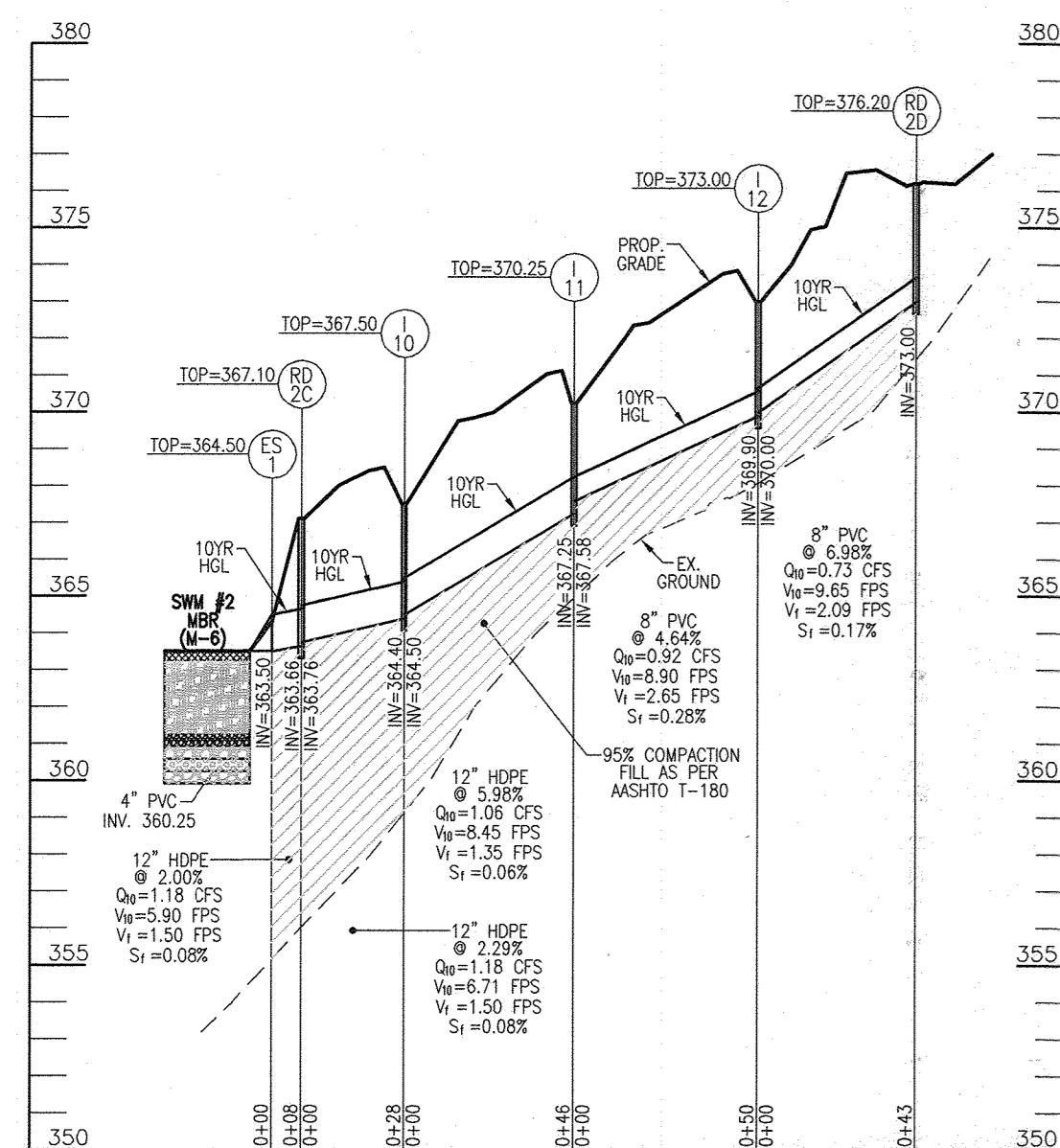
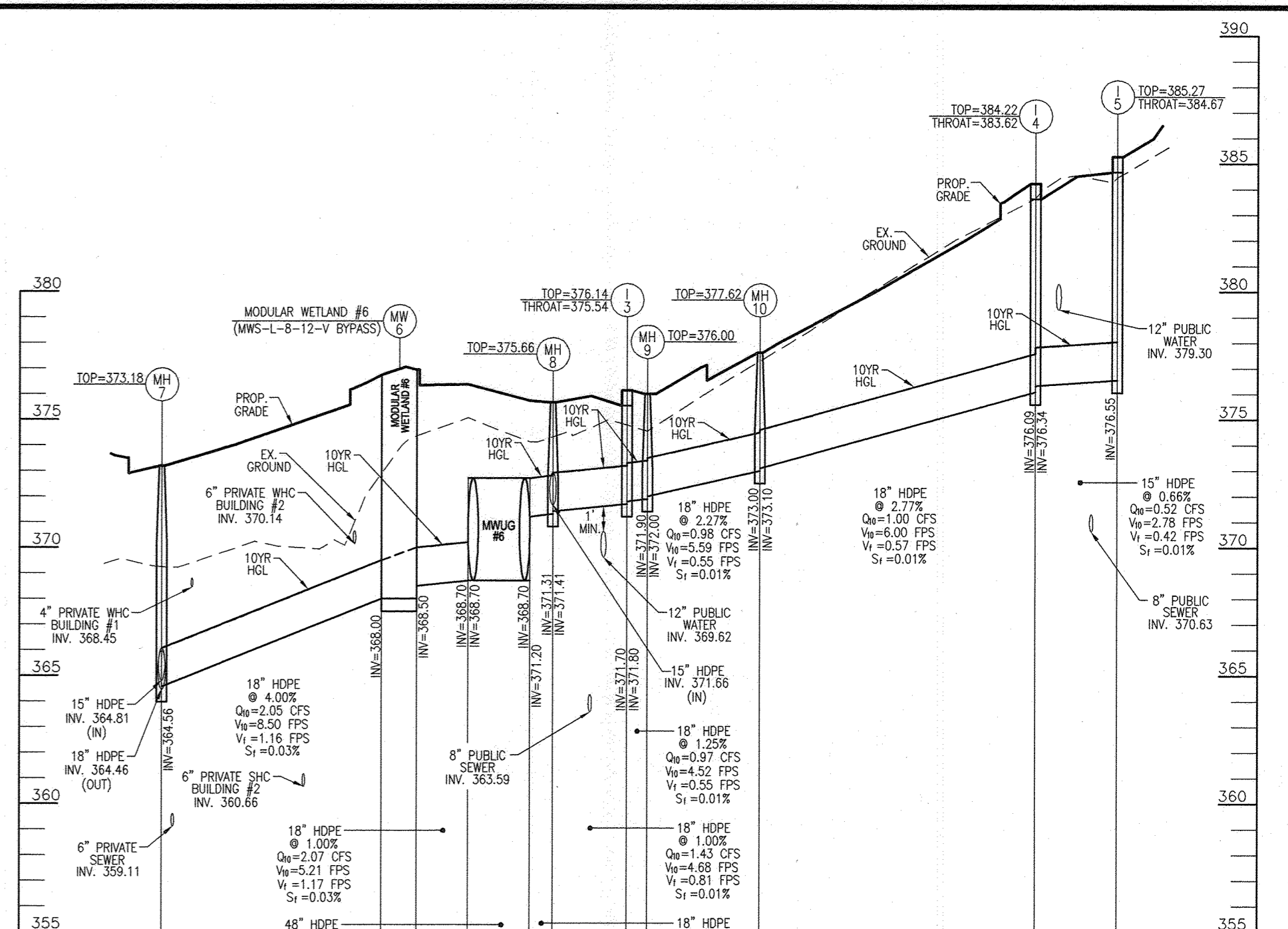
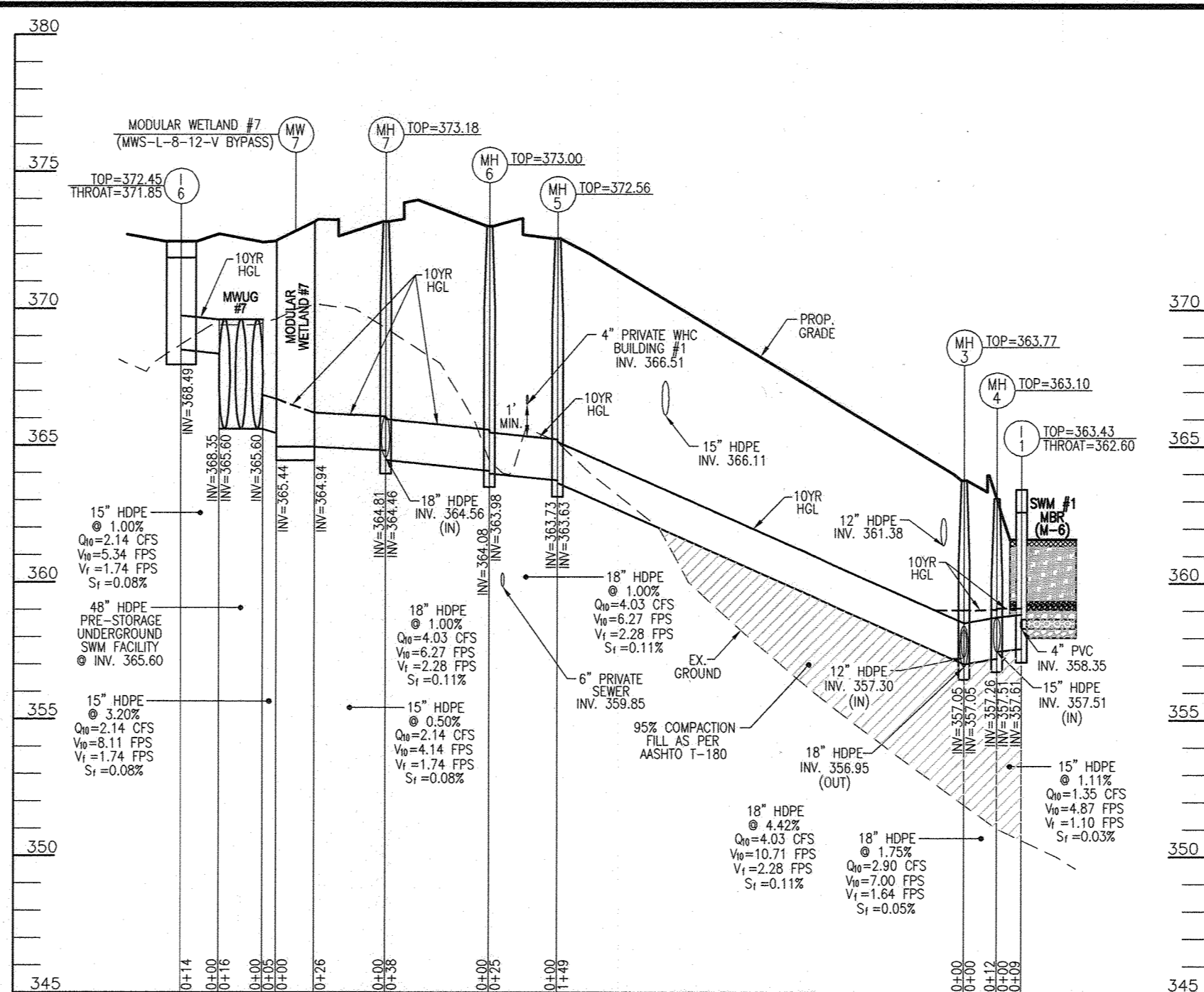
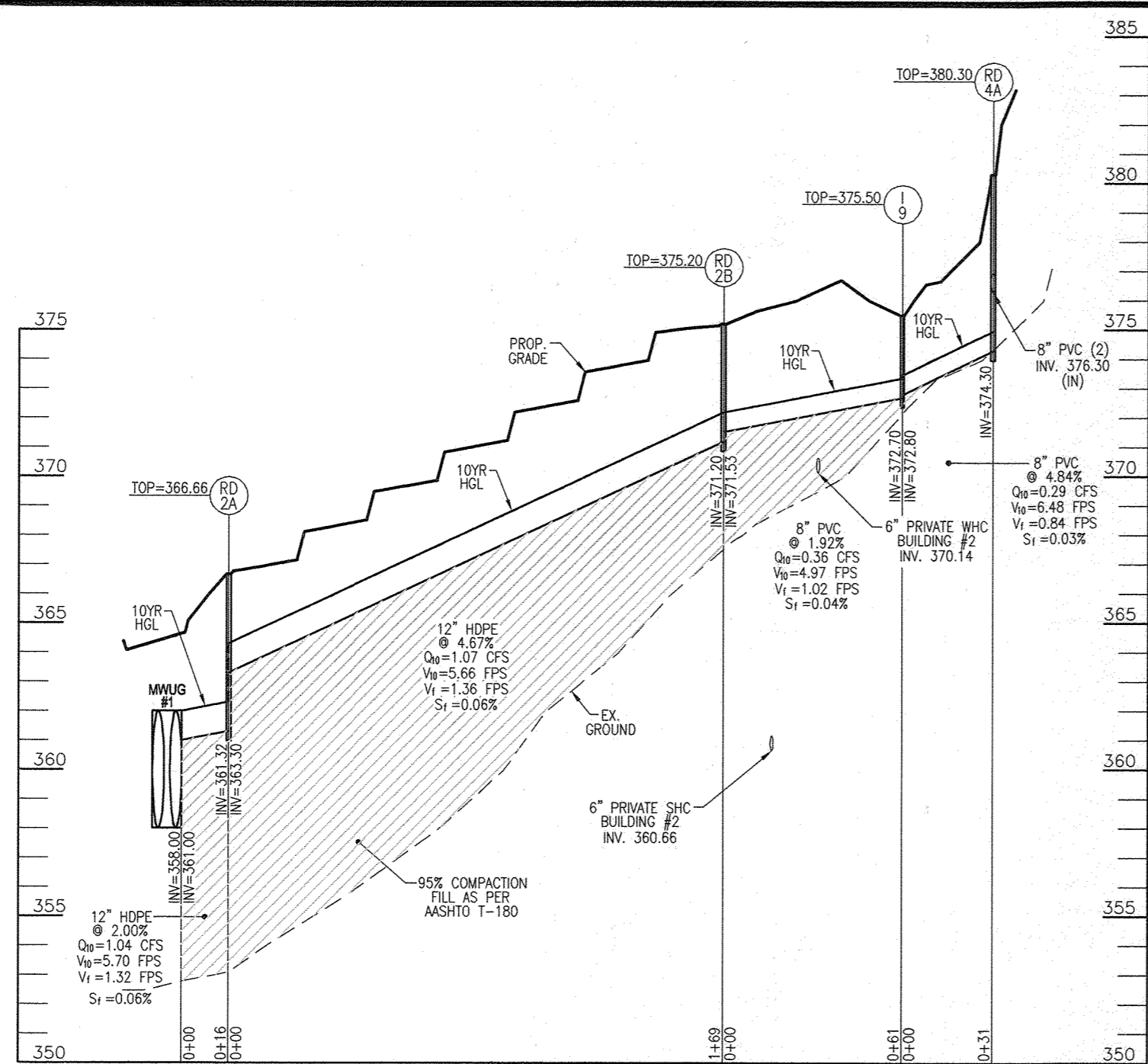
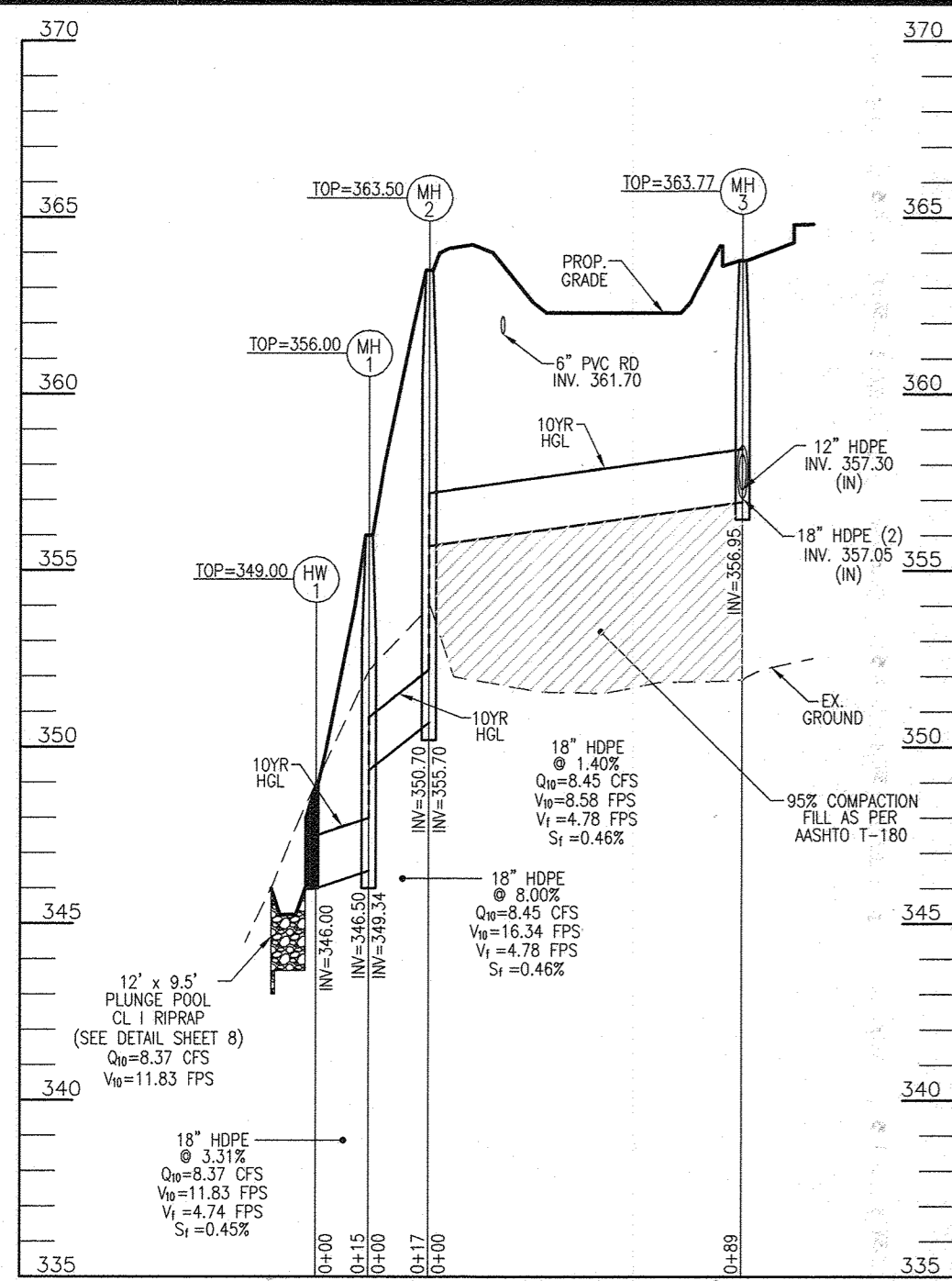
DORSEY OVERLOOK APARTMENT UNITS 1-78
PARCEL A

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: DZE/RHV
DRAWN BY: DZE/JR/KS
CHECKED BY: RHV
DATE: NOVEMBER 2022
SCALE: AS SHOWN
W.O. NO.: 12-69

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

9 OF 30



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 1/23/2023
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE
 DIRECTOR
 DATE

STORM DRAIN PROFILES (SYSTEM #1)

PRIVATE WATER & SEWER PROFILES

NO.	REVISION	DATE
3	REVISE UNIT 57 ENTRANCE, CLUBHOUSE ENTRANCE AND ADJACENT SIDEWALK	6-26-21

SITE DEVELOPMENT PLAN
PRIVATE STORMDRAIN, SEWER AND WATER PROFILES
DORSEY OVERLOOK
 APARTMENT UNITS 1-78
 PARCEL A
 2ND ELECTION DISTRICT
 TAX MAP: 30 GRID: 9
 DPZ REF: EDP-15-012, BA-20-003V, F-21-023

VOGEL ENGINEERING
TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

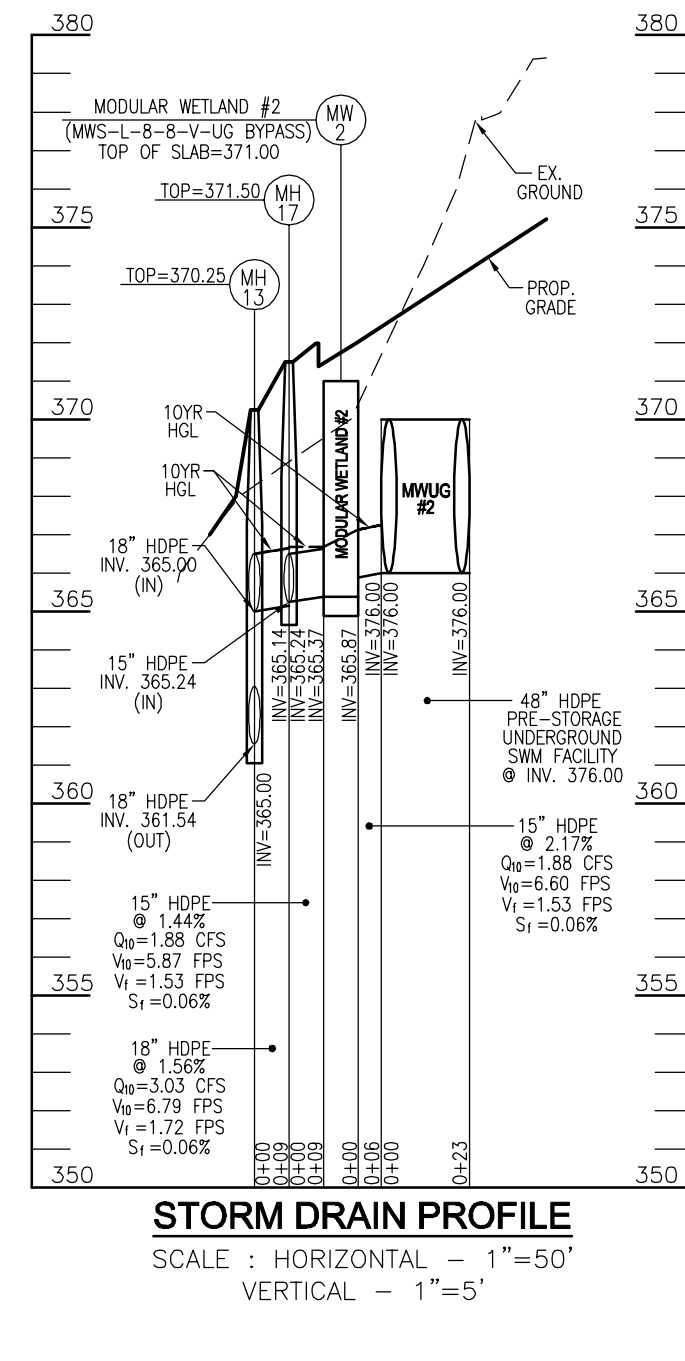
PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 15493
 EXPIRATION DATE: 09-27-2024

DESIGN BY: DZE/RHV
 DRAWN BY: DZE/JR/KG
 CHECKED BY: RHV
 DATE: NOVEMBER 2022
 SCALE: AS SHOWN
 W.O. NO.: 12-69

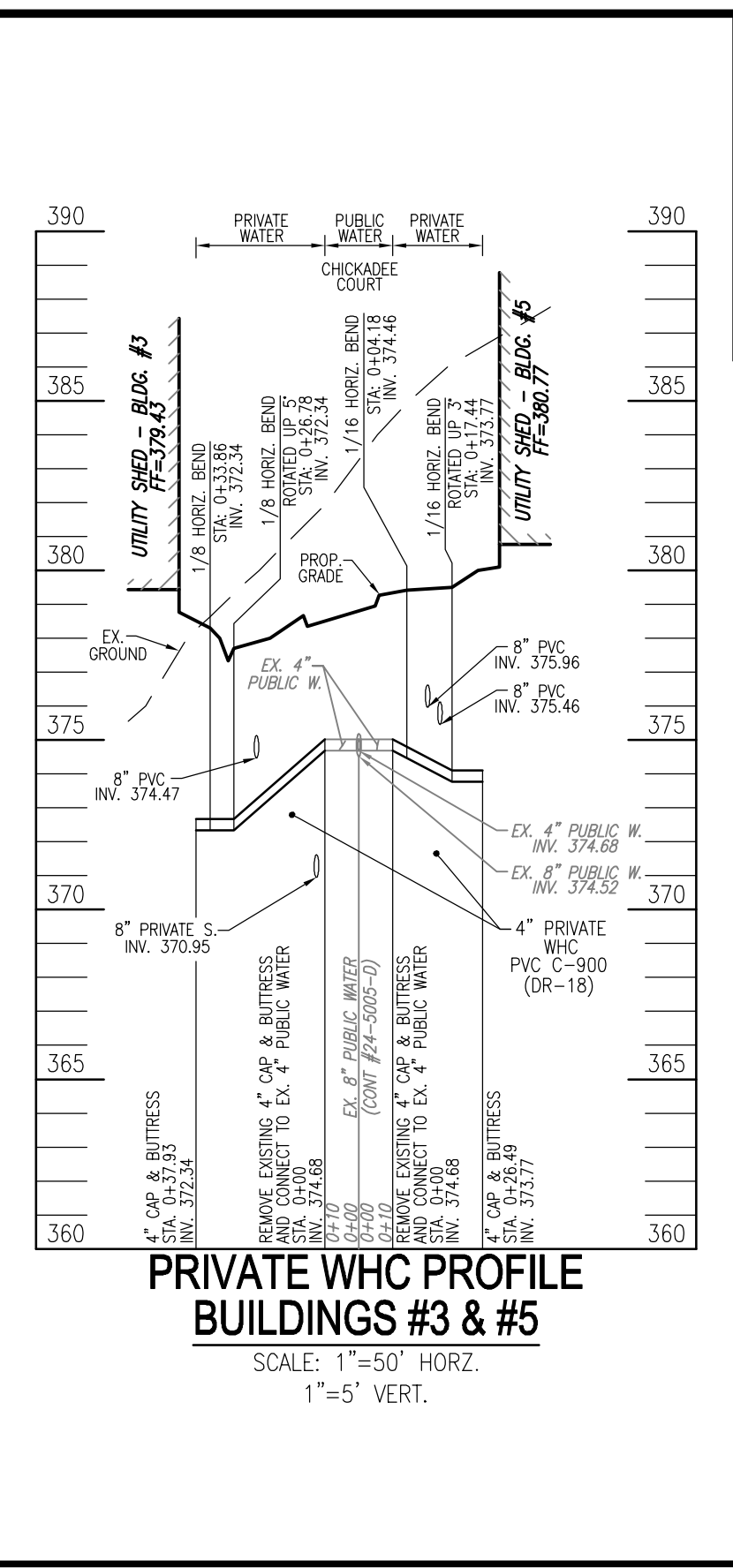
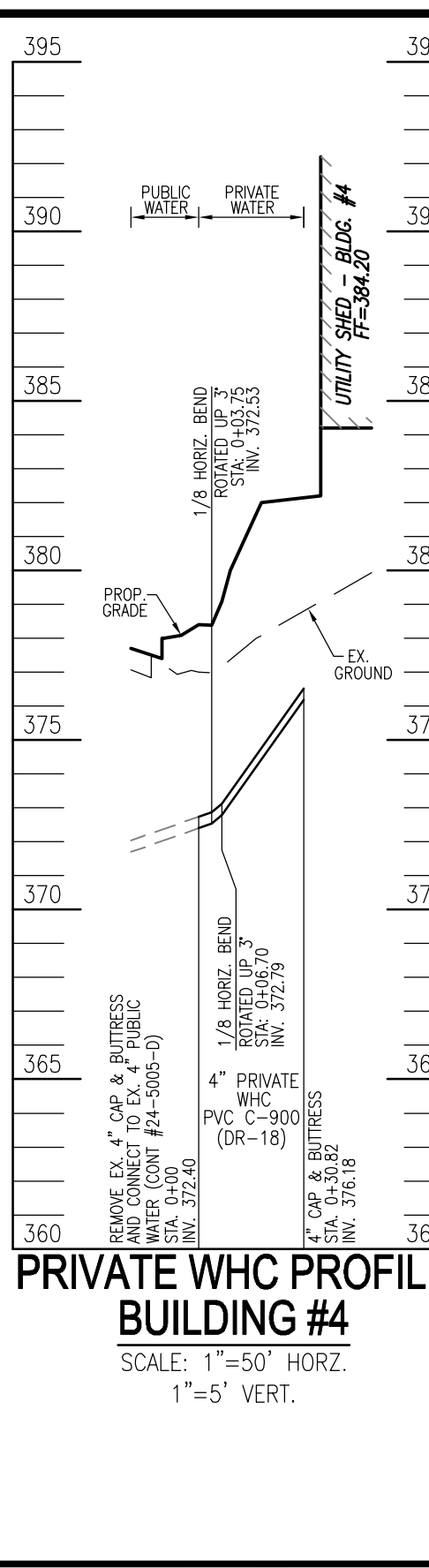
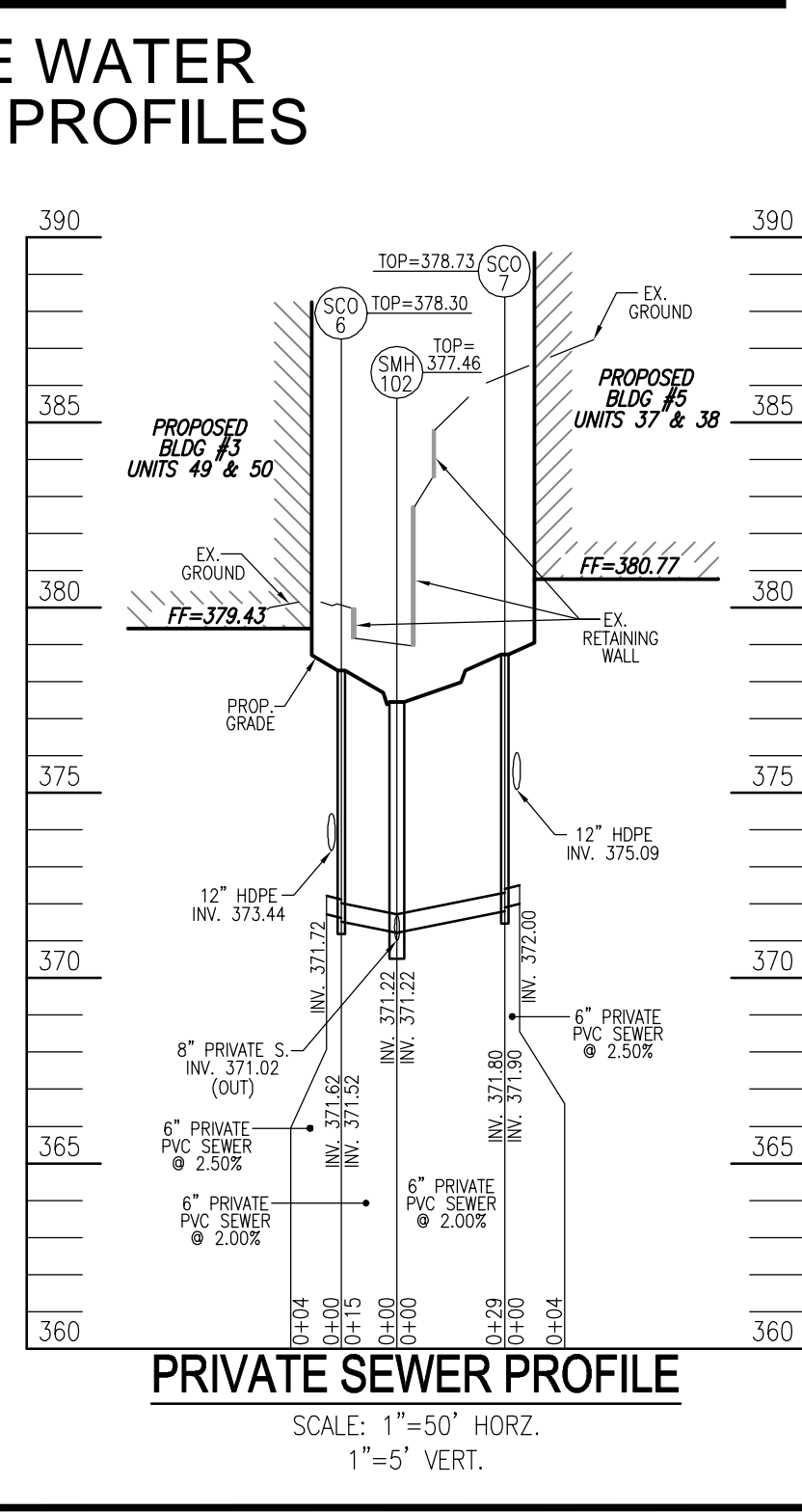
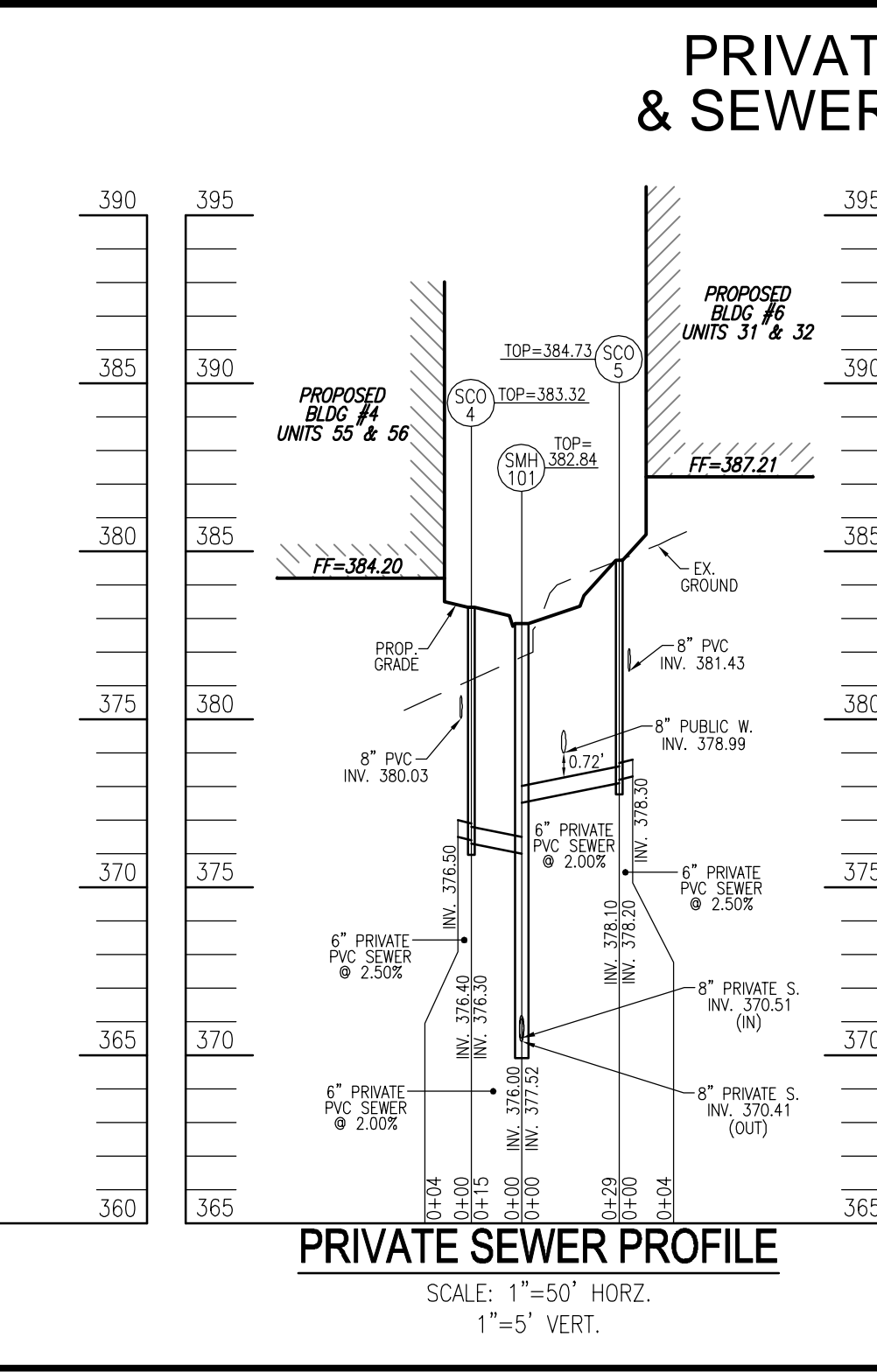
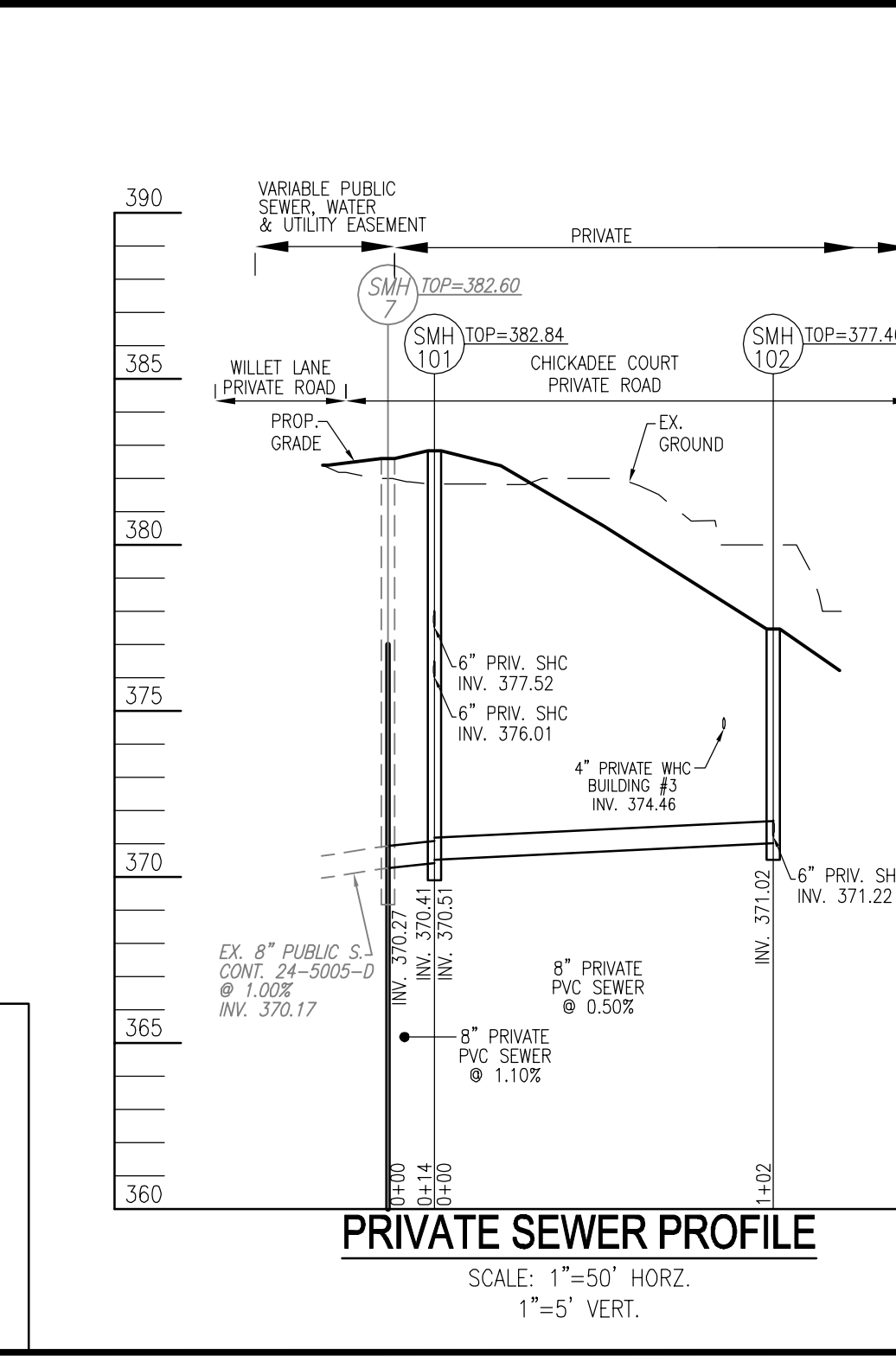
10 SHEET OF 30



STORMDRAIN PROFILES (SYSTEM #2)



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 1/23/2023
Andrew Edmundson
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 1/23/2023
 CHIEF, DIVISION OF LAND DEVELOPMENT
 1/24/2023
Amy Goman
 DIRECTOR
 1/24/2023



SCALE 1"=50'
 25' 0' 50'
 OWNER/DEVELOPER
 DORSEY OVERLOOK, LLLP
 C/O J. KIRBY DEVELOPMENT, LLC
 5870 S FURNACE AVENUE
 ELKDRIDGE, MARYLAND 21075
 PHONE: (410) 788-0027

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
PRIVATE STORMDRAIN, SEWER AND WATER PROFILES
DORSEY OVERLOOK
APARTMENT UNITS 1-78
PARCEL A
 2ND ELECTION DISTRICT
 TAX MAP: 30 GRID: 9
 DPZ REF'S: ECP-15-012, BA-20-003V, F-21-023
 ZONED: R-4PT
 PARCELS: 67, 51, 52
 288, 53, 54, 55
 HOWARD COUNTY, MARYLAND

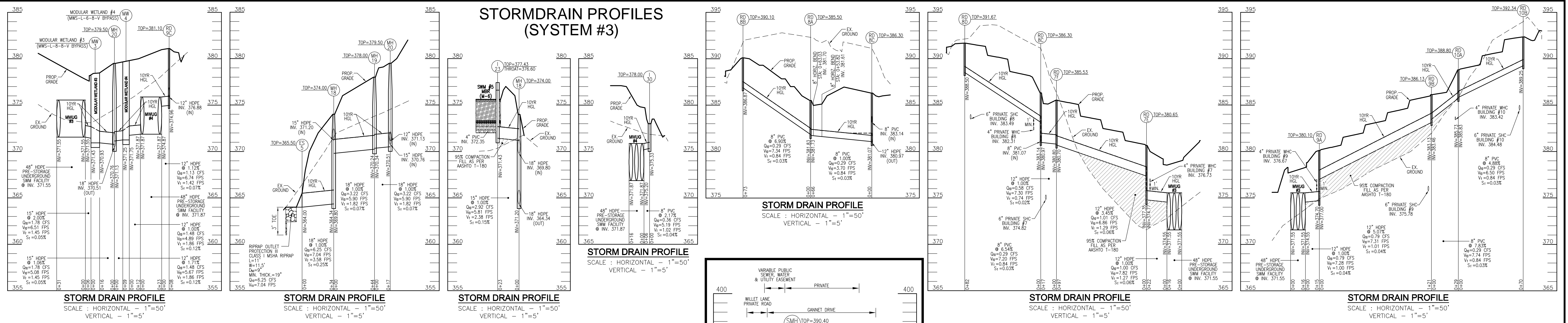
VOGEL ENGINEERING

TIMMONS GROUP

 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: DZE/RHW
 DRAWN BY: DZE/RHW/KS
 CHECKED BY: RHW
 DATE: NOVEMBER 2022
 SCALE: AS SHOWN
 W.O. NO.: 12-69
 PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 9193
 EXPIRATION DATE: 09-27-2024
 11 SHEET OF 30
 SDP-20-074

STORMDRAIN PROFILES (SYSTEM #3)



STORM DRAIN STRUCTURE SCHEDULE

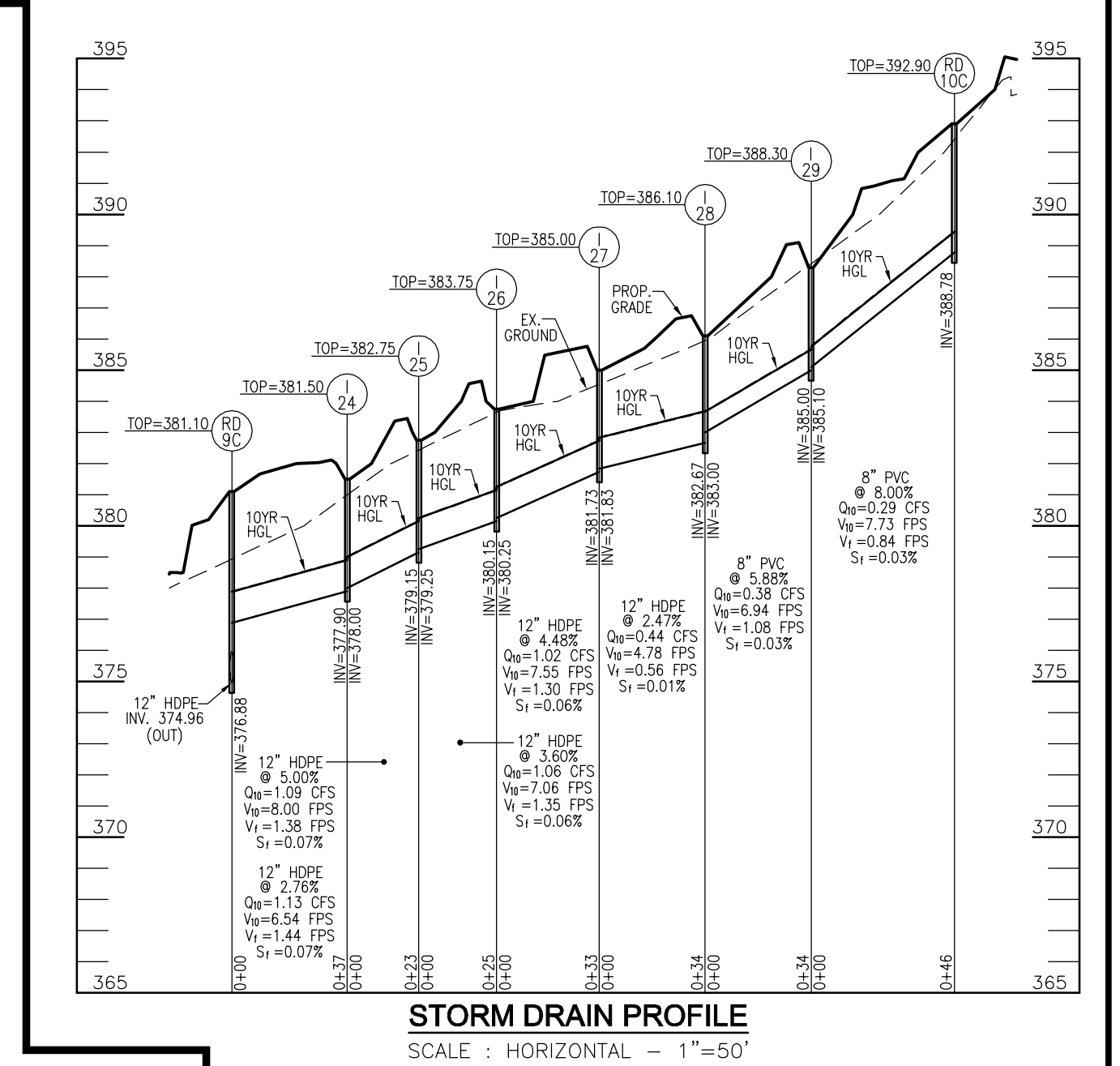
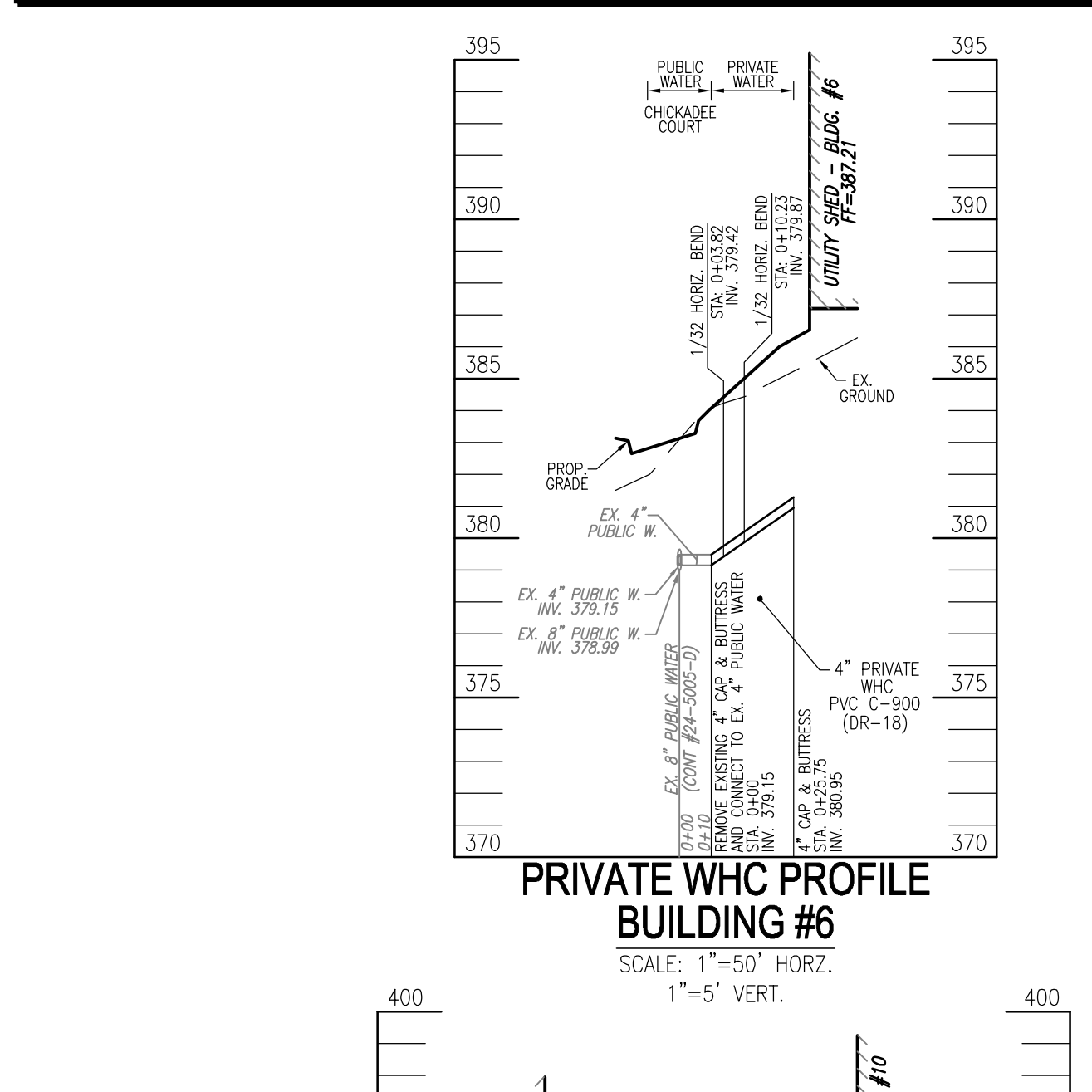
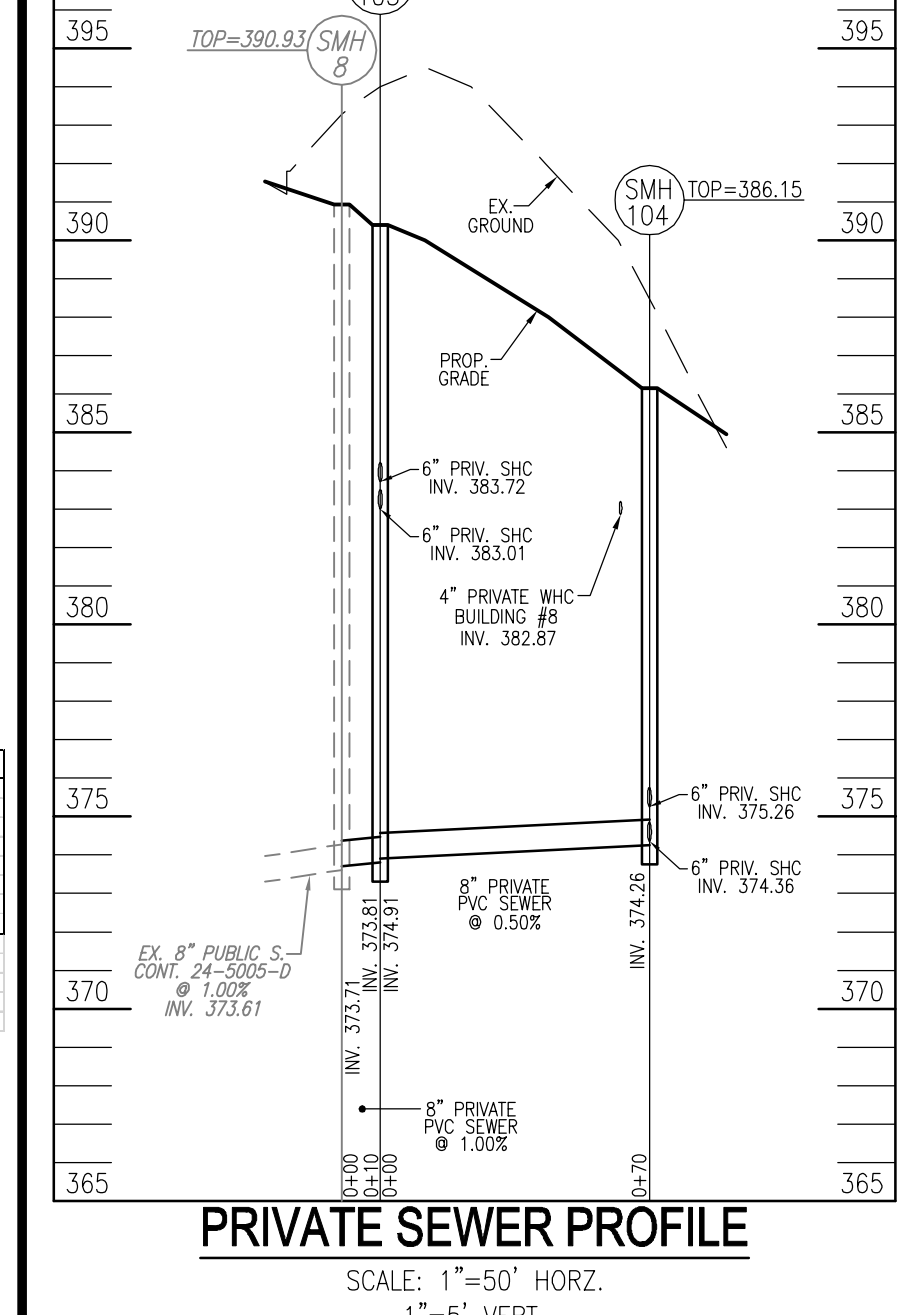
STR #	TYPE	INV. IN	INV. OUT	TOP	DETAIL	LOCATION	REMARKS
ES-1	12\"/>						

STORM DRAIN STRUCTURE SCHEDULE

STR #	TYPE	INV. IN	INV. OUT	TOP	DETAIL	LOCATION	REMARKS
MW-1	MODULAR WETLAND SYSTEM	357.00	357.40	355.50	MWS-L-6-V-LG BYPASS	EX. 100605.61	SEE DETAIL ON SHEET 17

SD PIPE SCHEDULE

SIZE	CLASS	PERF. PIPES (SWM)	LENGTH
4\"/>			



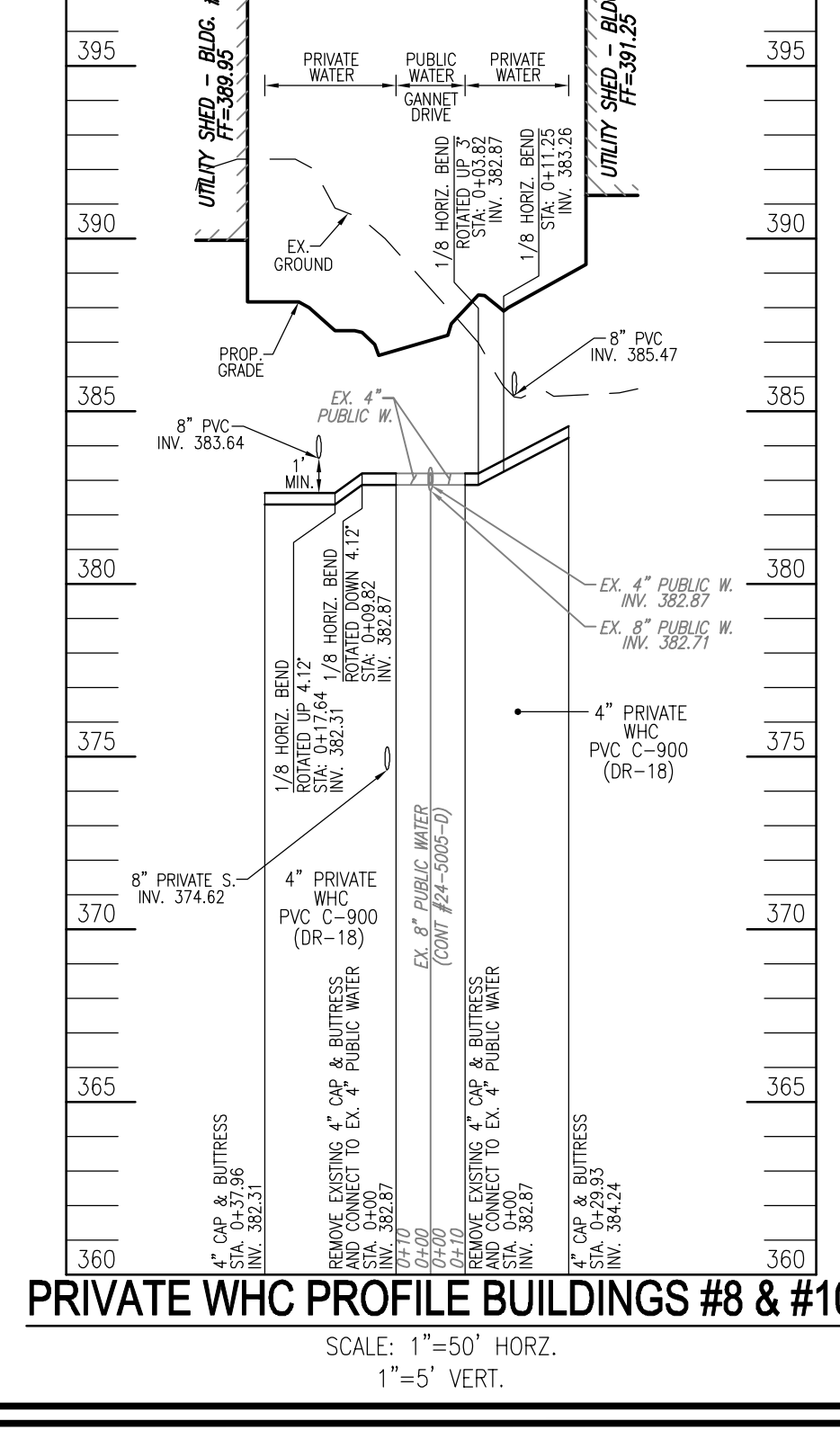
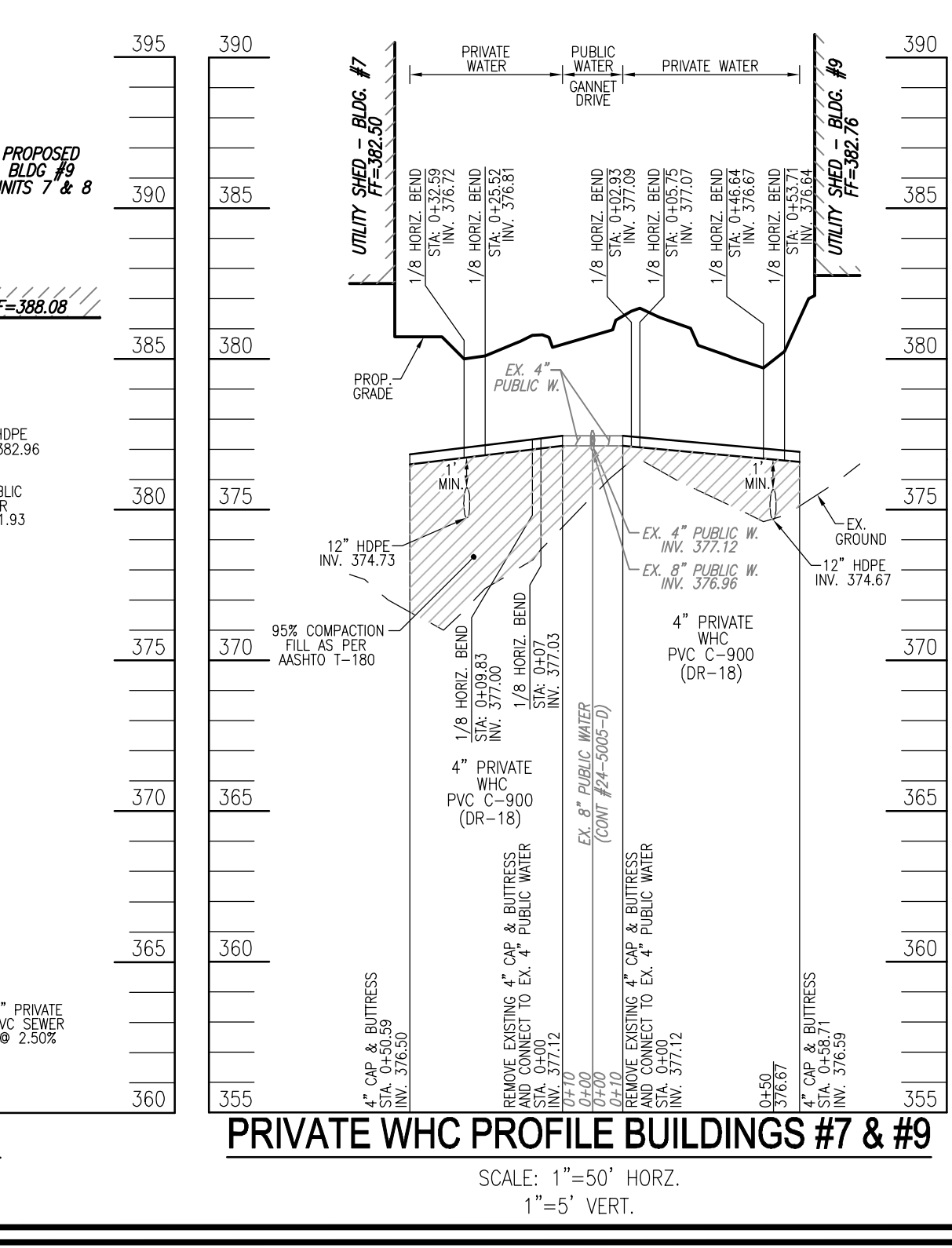
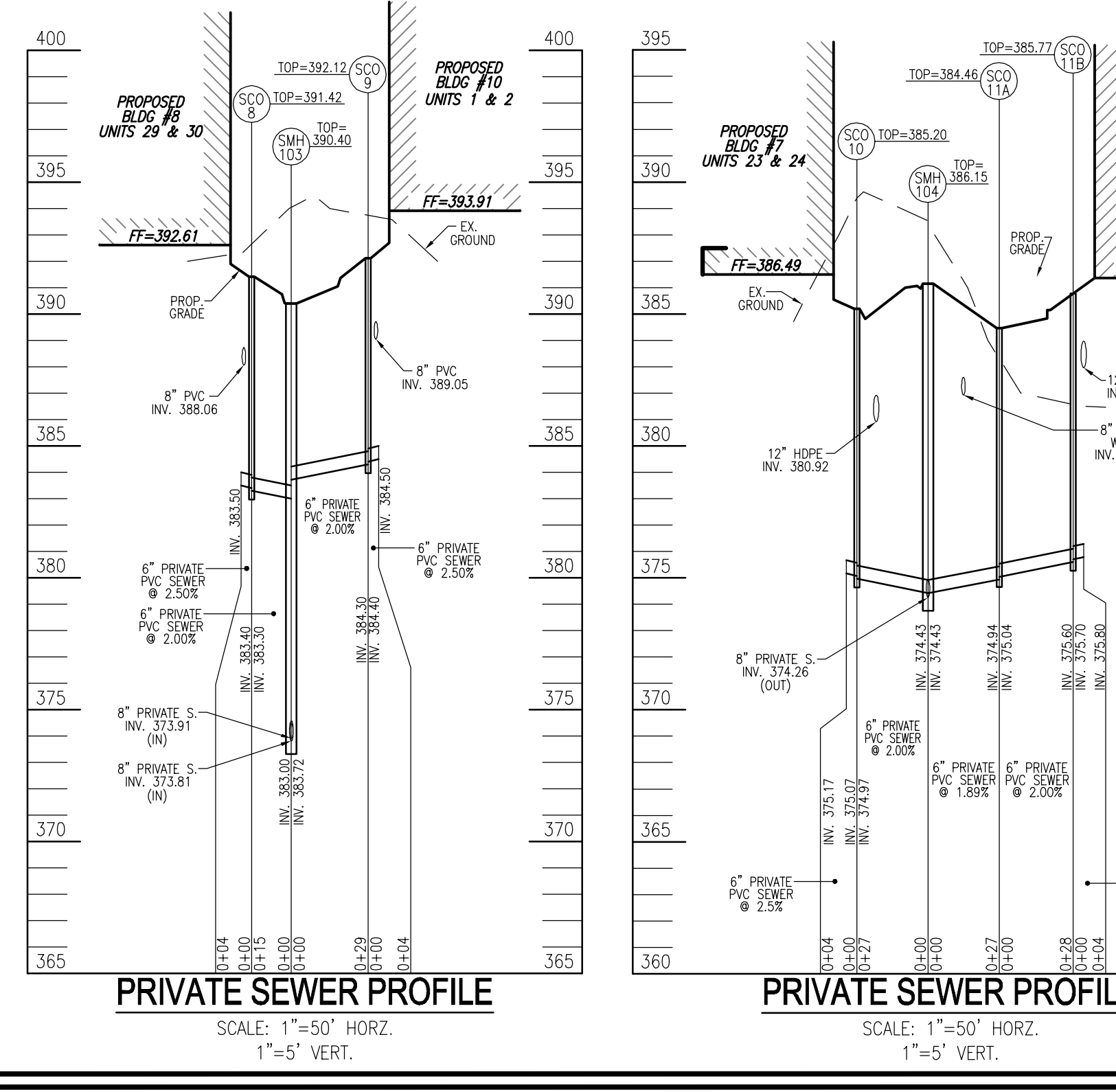
PRIVATE WATER & SEWER PROFILES

PRIVATE MANHOLE LOCATION CHART

STRUCTURE	NORTHING	EASTING	INV. IN	INV. OUT	TOP ELEV.
SC0-1	573177.12	1356495.98	359.58	359.48	373.69

PRIVATE WATER AND SEWER PIPE SCHEDULE

SIZE	CLASS	TOTAL LENGTH
4\"/>		



OWNER/DEVELOPER
DORSEY OVERLOOK, LLLP
C/O J. KIRBY DEVELOPMENT, LLC
5870 G FURNACE AVENUE
ELKRIDGE, MARYLAND 21075
PHONE: (410) 788-0027

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
PRIVATE STORMDRAIN, SEWER AND WATER PROFILES
DORSEY OVERLOOK
APARTMENT UNITS 1-78
PARCEL A

2ND ELECTION DISTRICT
TAX MAP 30 GRID: 012
OPZ REF'S: ECP-15-012, BA-20-003V, F-21-023

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY:	DZE/RHW	PROFESSIONAL CERTIFICATE
DRAWN BY:	DZE/RJ/KS	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024
CHECKED BY:	RHW	
DATE:	NOVEMBER 2022	
SCALE:	AS SHOWN	
W.O. NO.:	12-69	

12 OF 30

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chad Edmondson 1/23/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE 1/23/2023

CHIEF, DIVISION OF LAND DEVELOPMENT
Amy Goman 1/24/2023
DATE 1/24/2023

DIRECTOR
Sandra Gorman DATE

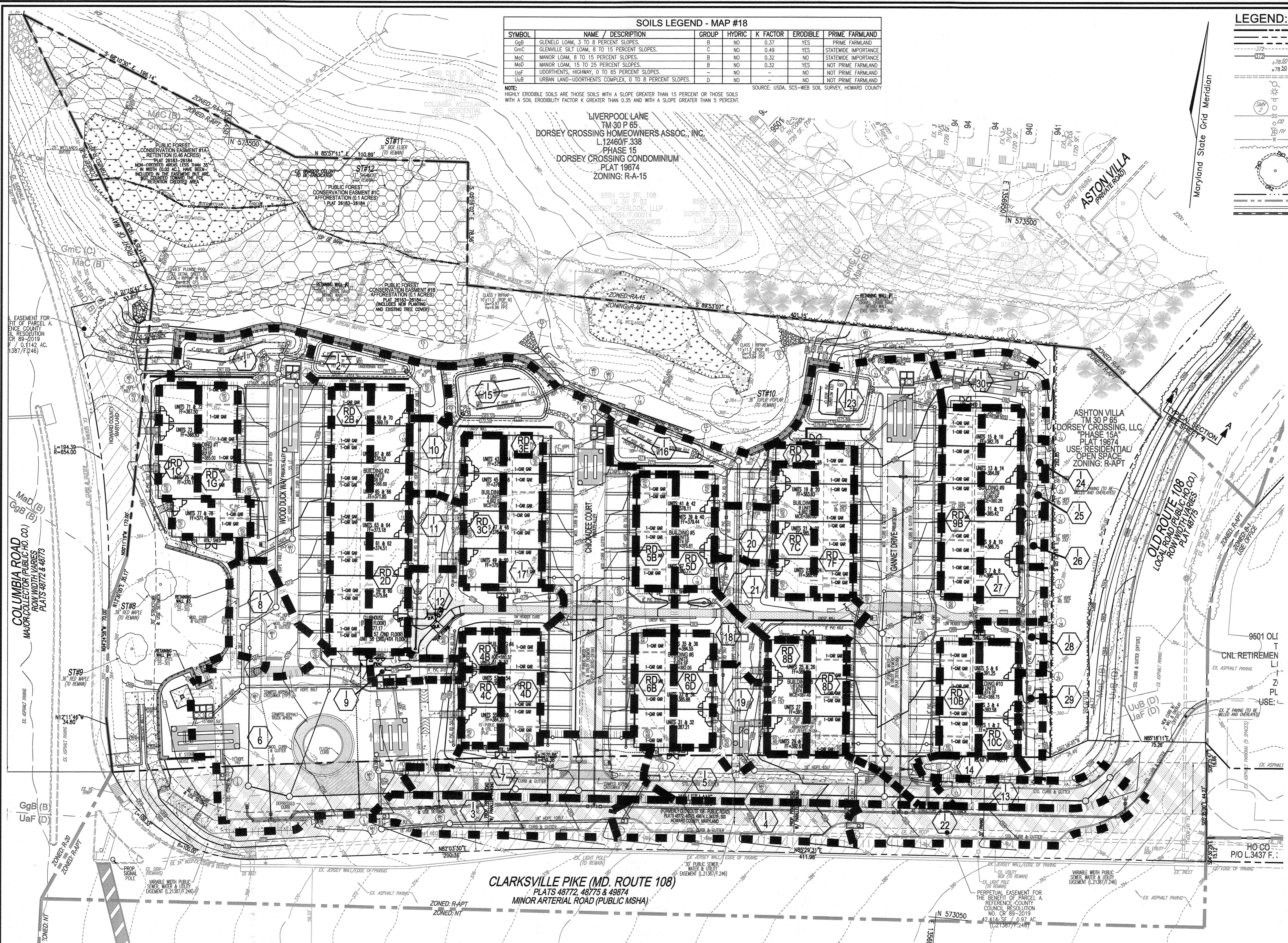
SOILS LEGEND - MAP #18

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	K FACTOR	ERODIBLE	PRIME FARMLAND
GaB	GLENELG LOAM, 3 TO 8 PERCENT SLOPES.	B	NO	0.37	YES	PRIME FARMLAND
GmC	GLENVILLE SILT LOAM, 8 TO 15 PERCENT SLOPES.	C	NO	0.49	YES	STATEWIDE IMPORTANCE
MaC	MANOR LOAM, 8 TO 15 PERCENT SLOPES.	B	NO	0.32	NO	STATEWIDE IMPORTANCE
MaD	MANOR LOAM, 15 TO 25 PERCENT SLOPES.	B	NO	0.32	YES	NOT PRIME FARMLAND
UaF	UDDERTHENTS, HIGHWAY, 0 TO 65 PERCENT SLOPES.	-	NO	-	NO	NOT PRIME FARMLAND
UaB	URBAN LAND-UDDERTHENTS COMPLEX, 0 TO 8 PERCENT SLOPES.	D	NO	-	NO	NOT PRIME FARMLAND

NOTE: HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.
SOURCE: USDA, SCS-WEBB SOIL SURVEY, HOWARD COUNTY

LEGEND:

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING TREELINE
- EXISTING SPECIMEN TREE
- CENTERLINE EXISTING STREAM
- ZONING BOUNDARY
- PROPOSED CURB & GUTTER
- PROPOSED STORM DRAIN
- PROPOSED STORMDRAIN INLET
- PROPOSED TREELINE
- PROPOSED CONCRETE STAMPEDED CONCRETE SIDEWALK
- PROPOSED HANDICAP RAMP W/ HANDRAIL
- MBR
- NRD
- MICRO-BIORETENTION AREA (M-6)
- NON-ROOFTOP DISCONNECT (N-2)
- WETLANDS LIMITS
- PERPETUAL EASEMENT FOR THE BENEFIT OF PARCEL A (L-21387/F-246)
- PUBLIC SEWER, WATER & UTILITY EASEMENT (L-21387/F-246) & (PLAT 26183-84)
- PUBLIC FOREST CONSERVATION EASEMENT (RETENTION) (PLAT 26183-84)
- PUBLIC FOREST CONSERVATION EASEMENT (AFFORESTATION) (PLAT 26183-84)
- DRAINAGE AREA DIVIDE
- DRAINAGE AREA NO.



SD Drainage Area Chart

DRAINAGE AREA & STRUCTURE NO.	DRAINAGE AREA (AC)	DRAINAGE FACTOR	C	IMP %
RD-1C	0.06	0.86	100%	100%
RD-1G	0.06	0.86	100%	100%
RD-2B	0.10	0.86	100%	100%
RD-2D	0.10	0.86	100%	100%
RD-3C	0.06	0.86	100%	100%
RD-3E	0.01	0.86	100%	100%
RD-4B	0.01	0.86	100%	100%
RD-4C	0.03	0.86	100%	100%
RD-4D	0.04	0.86	100%	100%
RD-5B	0.04	0.86	100%	100%
RD-5D	0.04	0.86	100%	100%
RD-6B	0.04	0.86	100%	100%
RD-6D	0.04	0.86	100%	100%
RD-7C	0.05	0.86	100%	100%
RD-7D	0.01	0.86	100%	100%
RD-7F	0.06	0.86	100%	100%
RD-8B	0.04	0.86	100%	100%
RD-8D	0.04	0.86	100%	100%
RD-9B	0.07	0.86	100%	100%
RD-10B	0.04	0.86	100%	100%
RD-10C	0.04	0.86	100%	100%
I-1	0.24	0.64	67%	
I-2	0.06	0.19	0%	
I-3	0.08	0.71	76%	
I-4	0.08	0.71	75%	
I-5	0.10	0.61	62%	
I-6	0.34	0.74	82%	
I-7	0.12	0.65	67%	
I-8	0.07	0.70	75%	
I-9	0.02	0.40	31%	
I-10	0.04	0.39	29%	
I-11	0.04	0.39	30%	
I-12	0.06	0.38	28%	
I-13	0.05	0.86	100%	
I-14	0.02	0.20	0%	
I-15	0.35	0.59	60%	
I-16	0.07	0.25	9%	
I-17	0.07	0.70	75%	
I-18	0.04	0.37	26%	
I-19	0.05	0.39	30%	
I-20	0.03	0.37	26%	
I-21	0.07	0.37	27%	
I-22	0.10	0.71	76%	
I-23	0.40	0.61	63%	
I-24	0.01	0.48	43%	
I-25	0.01	0.48	43%	
I-26	0.01	0.51	48%	
I-27	0.09	0.77	86%	
I-28	0.02	0.37	27%	
I-29	0.02	0.50	45%	
I-30	0.06	0.70	76%	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 1/23/2023
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE 1/23/2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 1/24/2023
 CHIEF, BUREAU OF HIGHWAYS
 DATE 1/24/2023

DRAINAGE AREA MAP FOR STORM DRAIN
 SCALE: 1"=30'

NOTE: REFERENCE COUNCIL RESOLUTION CR 89-2019, AN ACT DECLARING THAT A PORTION OF OLD MARYLAND ROUTE 108, (ALONG WITH A PORTION OF COLUMBIA ROAD), THE COMBINED AREA CONTAINING APPROXIMATELY 1,087 ACRES, IS NO LONGER NEEDED FOR PUBLIC PURPOSE AND AUTHORIZING THE COUNTY EXECUTIVE TO WAIVE THE ADVERTISING AND BIDDING REQUIREMENTS OF SECTION 4.201 OF THE HOWARD COUNTY CODE IN ORDER FOR THE COUNTY TO CONVEY A PERPETUAL NON-EXCLUSIVE EASEMENT IN THE 1,087 ACRES FOR ACCESS AND PARKING TO THE DEVELOPER OF THE ADJACENT PROPERTY, DORSEY OVERLOOK, L.L.P. (L-21387/F-246). SETBACKS WILL BE MEASURED FROM THE PROJECT BOUNDARY, IN ACCORDANCE WITH SECTION 128.0A.10 OF THE ZONING REGULATIONS.

SITE DEVELOPMENT PLAN
STORM DRAIN DRAINAGE AREA MAP

DORSEY OVERLOOK
 APARTMENT UNITS 1-78
 PARCEL A

VOGEL ENGINEERING
 +
TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7656 F: 410.461.8961 www.timmons.com

2ND ELECTION DISTRICT
 TAX MAP: 30 GRID: 9
 DPZ REF'S: ECP-15-012, BA-20-003V, F-21-023

ZONED: R-APT
 PARCELS: 57, 51, 288, 53, 54, 55
 HOWARD COUNTY, MARYLAND

DESIGN BY: DZE/RHV
 DRAWN BY: DZE/JR/KG
 CHECKED BY: RHV
 DATE: NOVEMBER 2022
 SCALE: AS SHOWN
 W.O. NO.: 12-69

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE JURISDICTION OF THE STATE OF MARYLAND. EXPIRATION DATE: 09-27-2024

13 SHEET OF 30

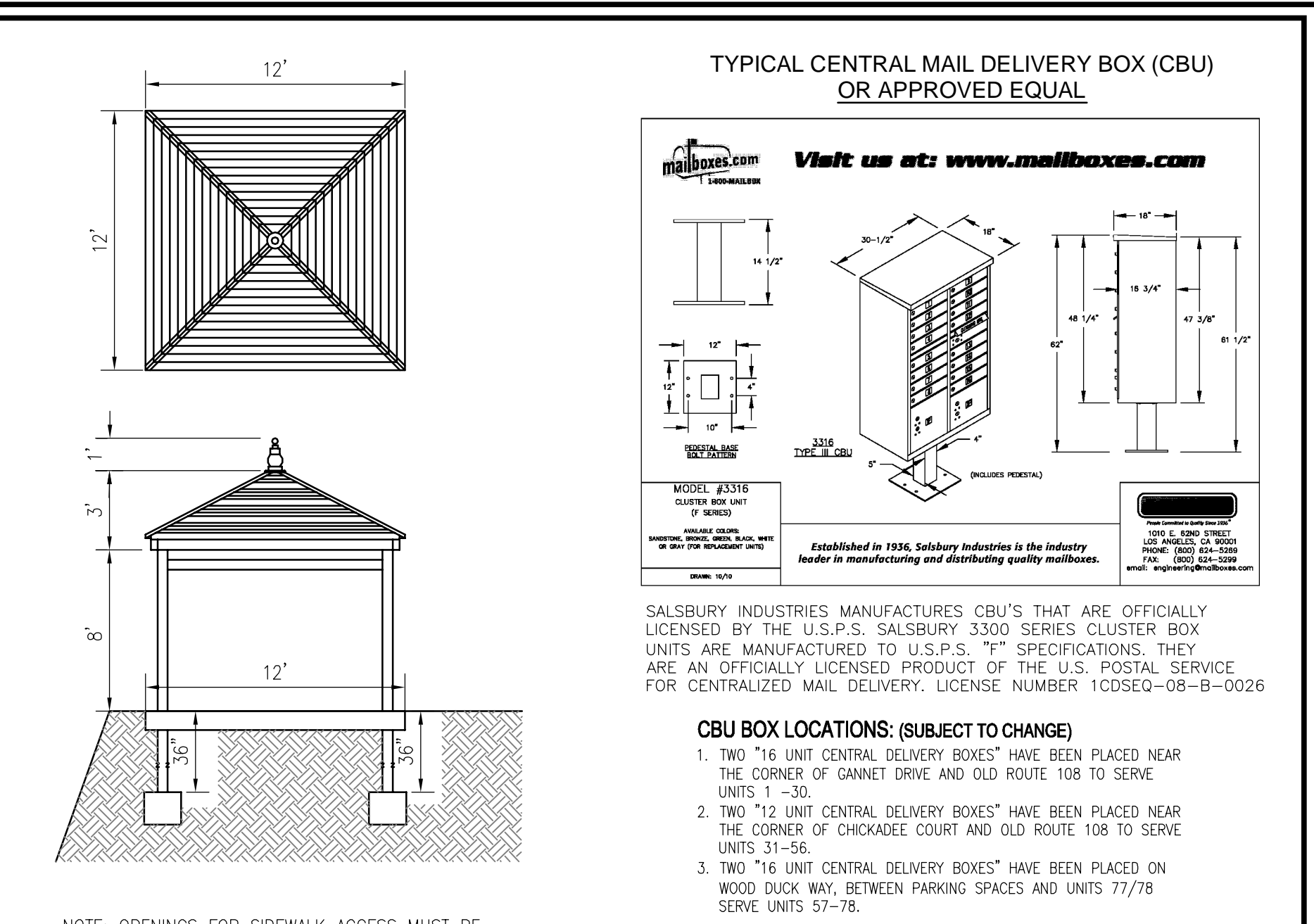
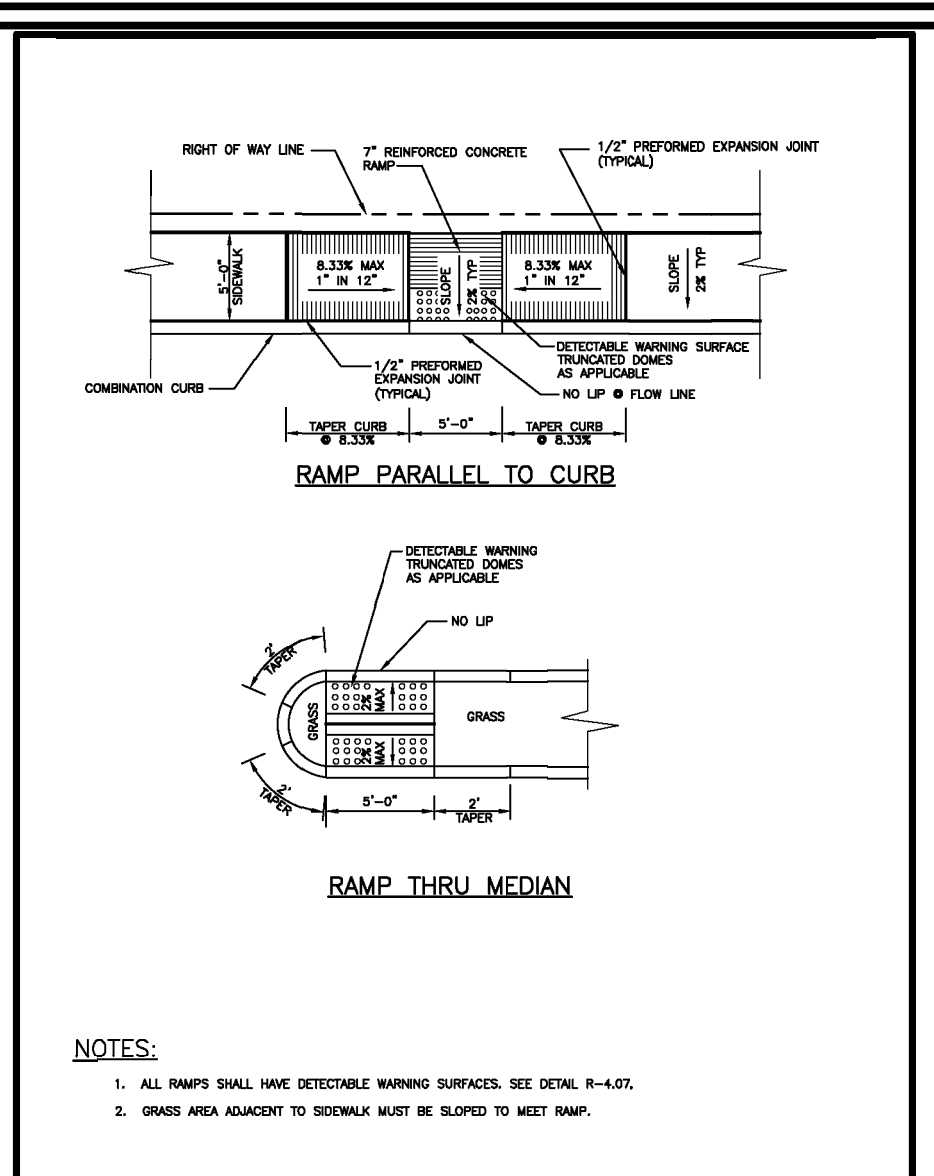
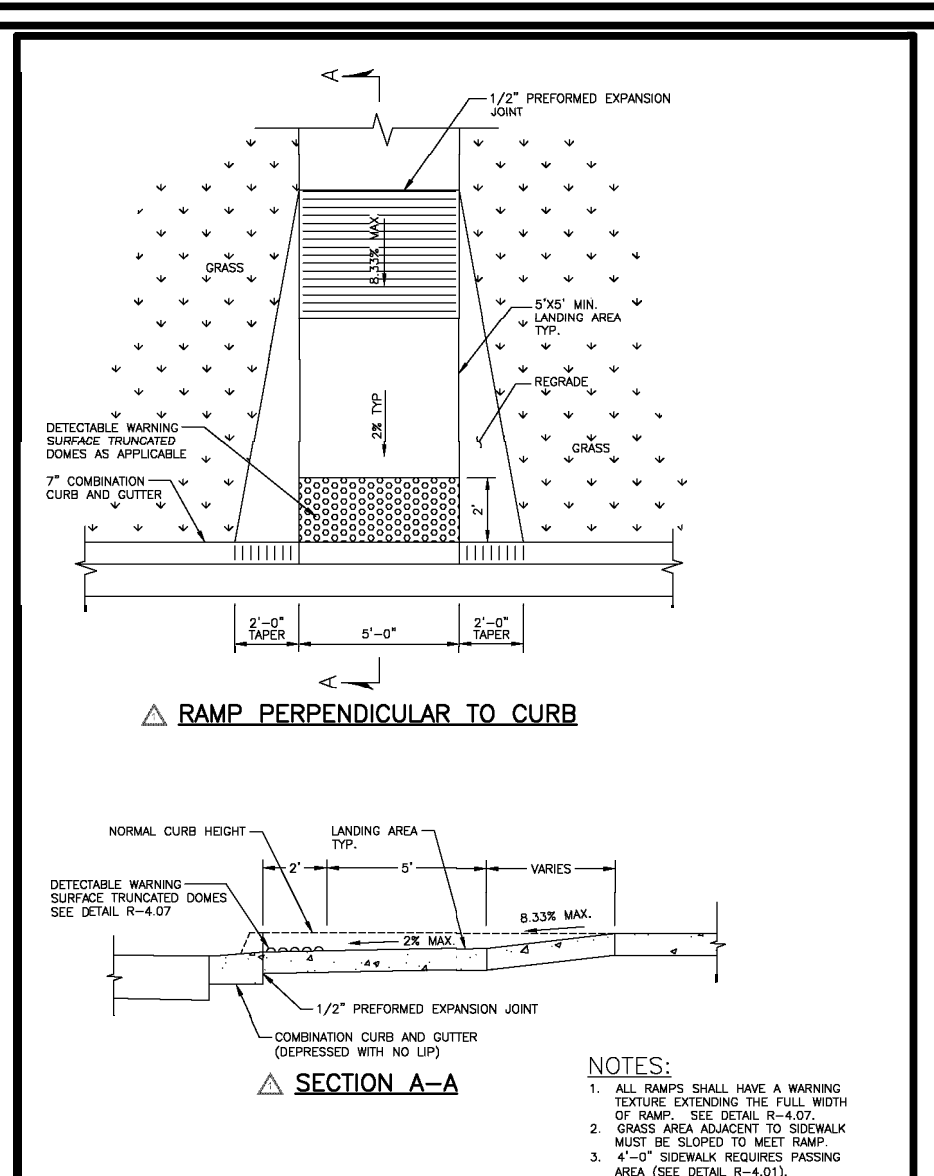
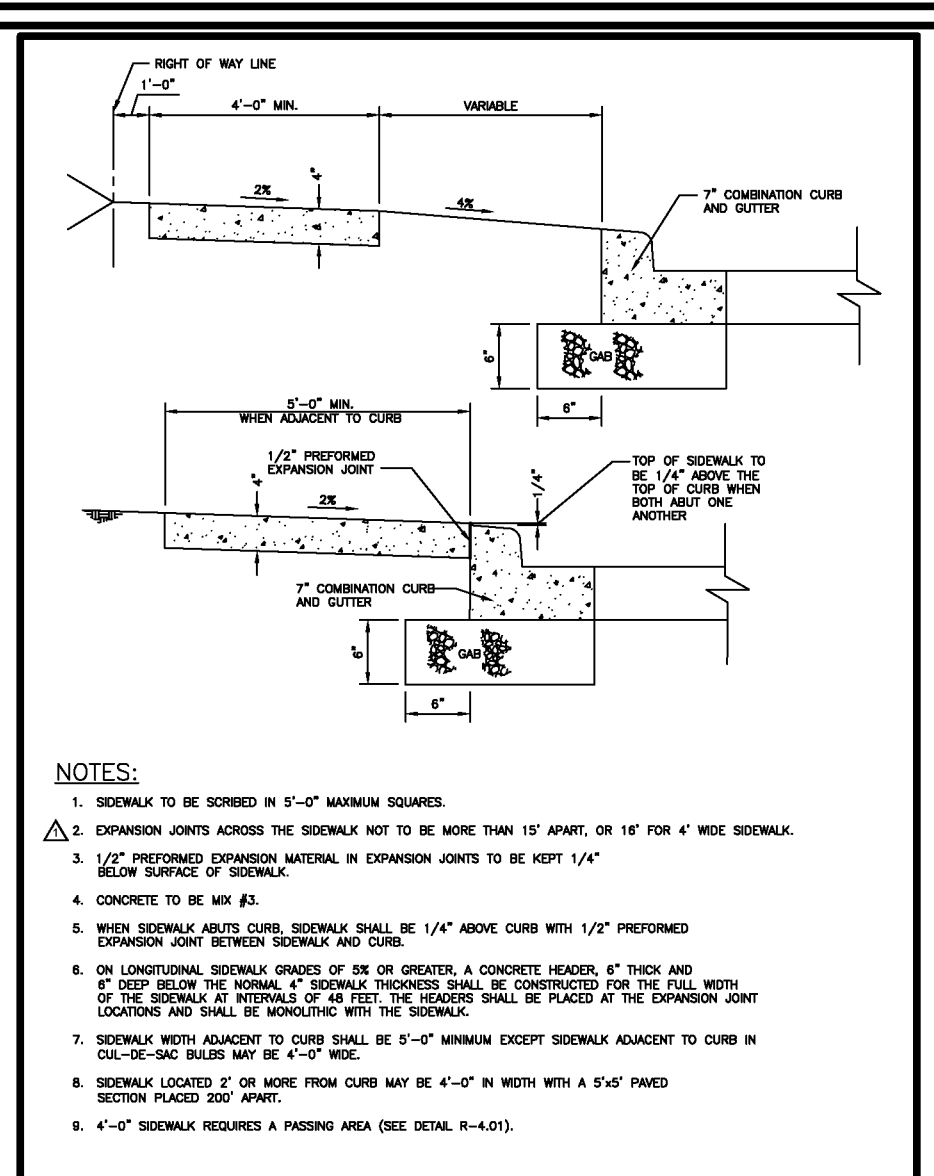
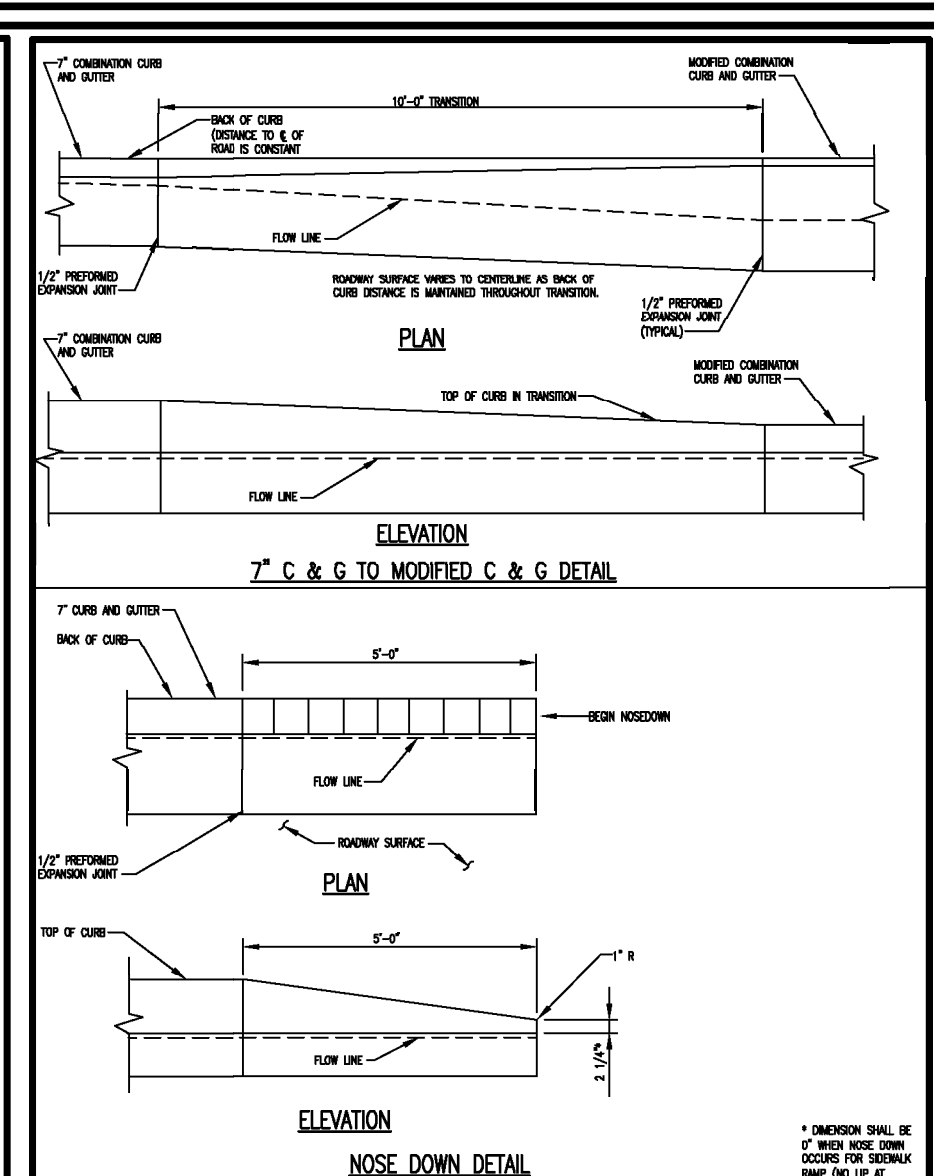
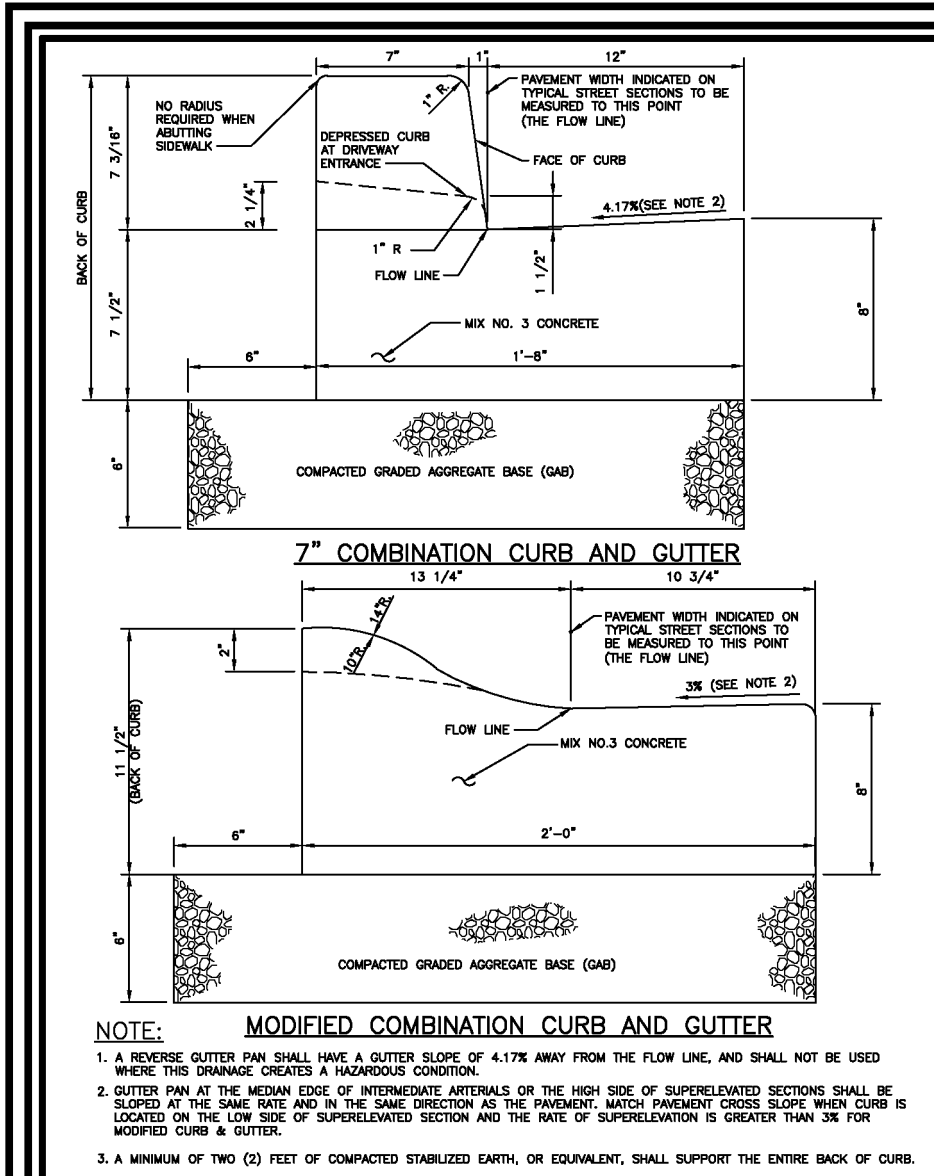


Table with 4 columns: SECTION, ROAD AND STREET CLASSIFICATION, PAVING SECTIONS, and Detail.

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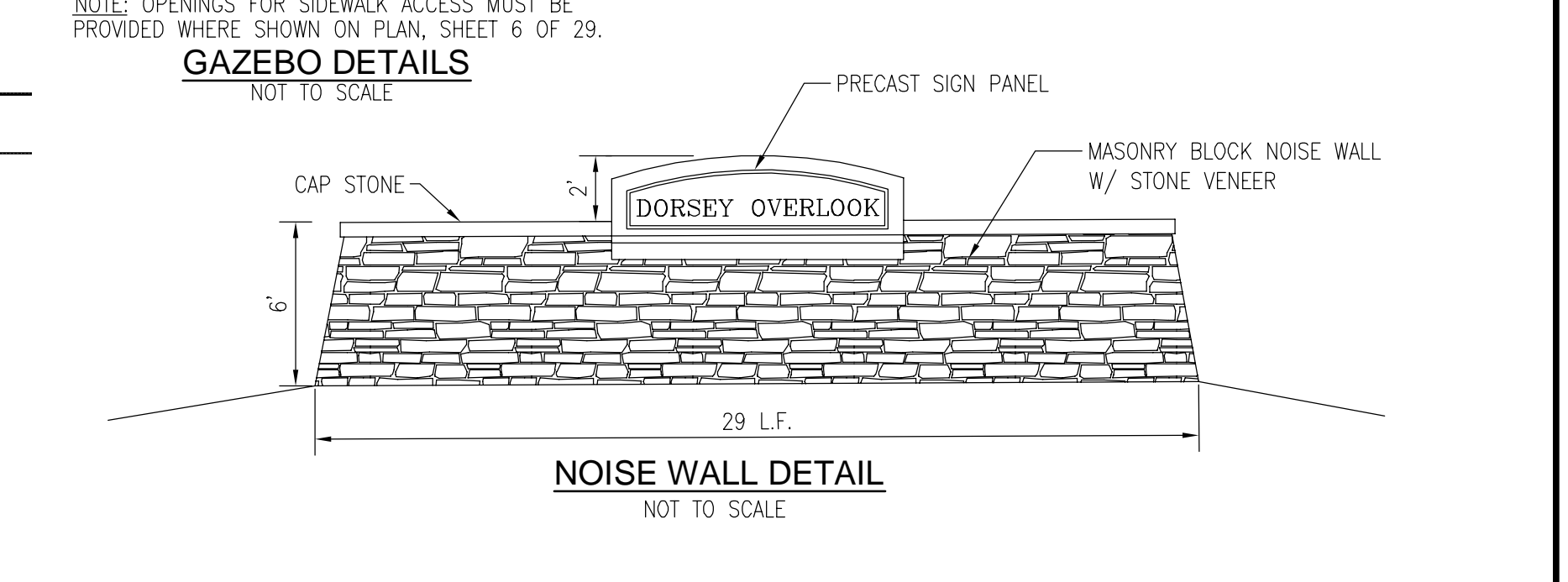


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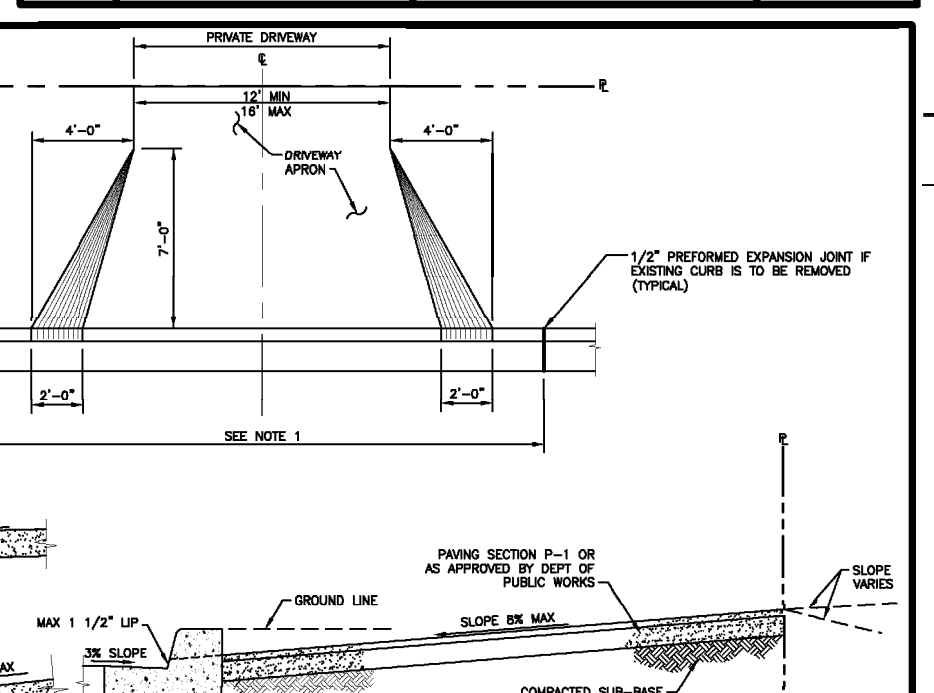


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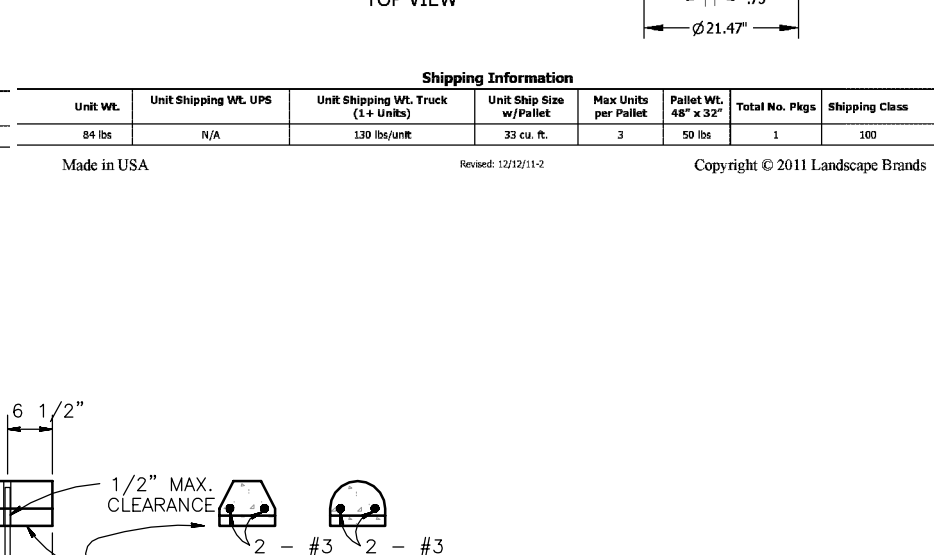
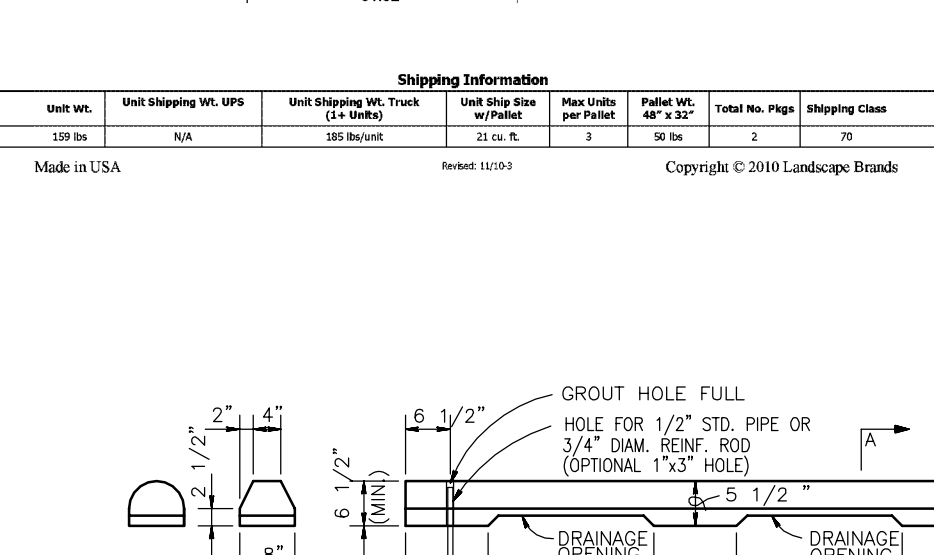
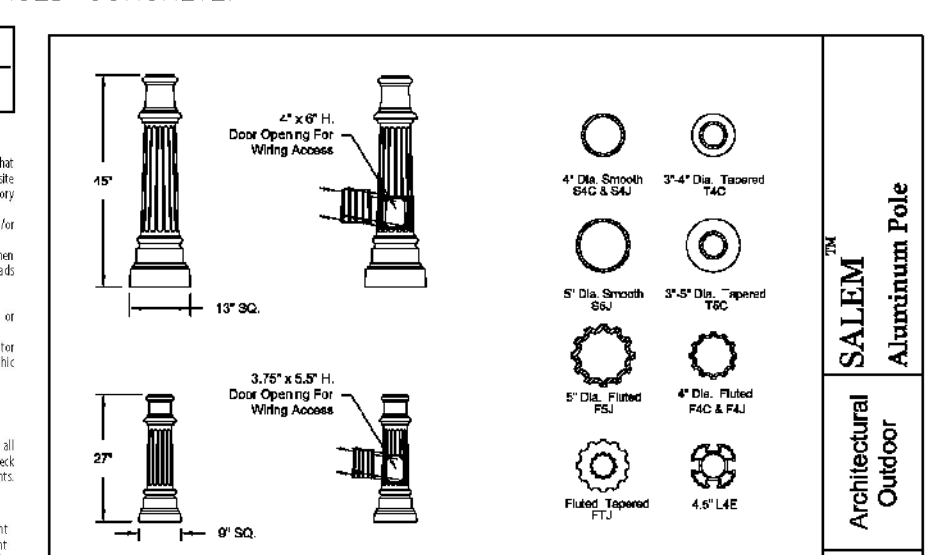
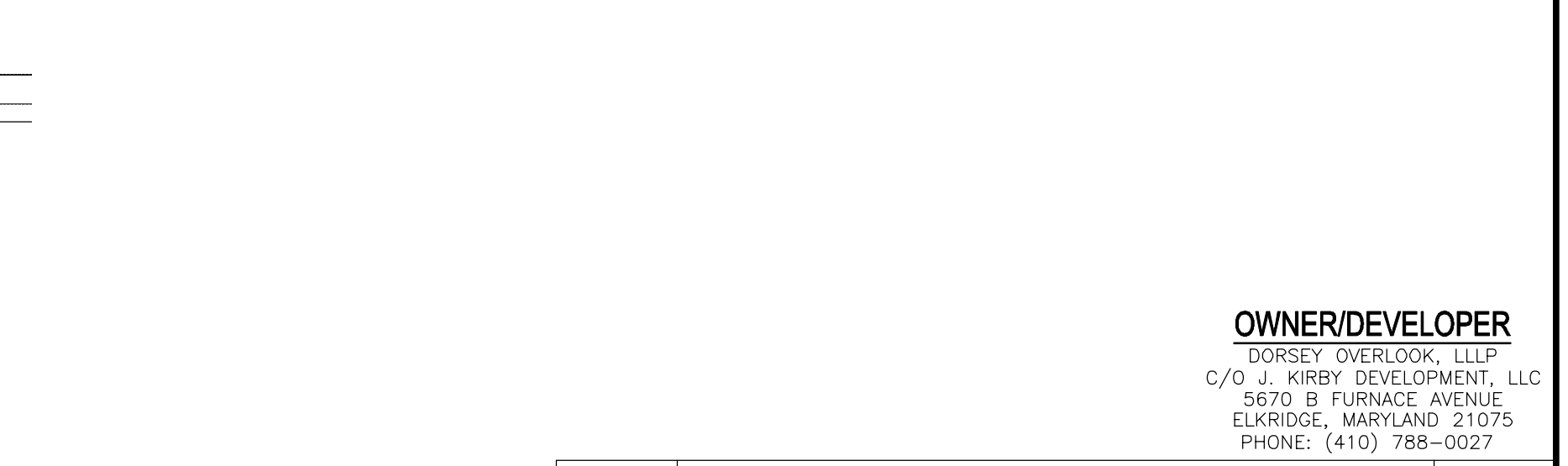
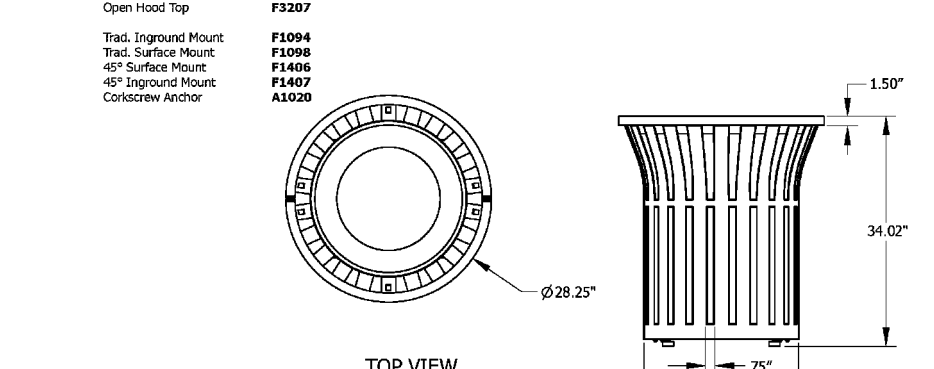
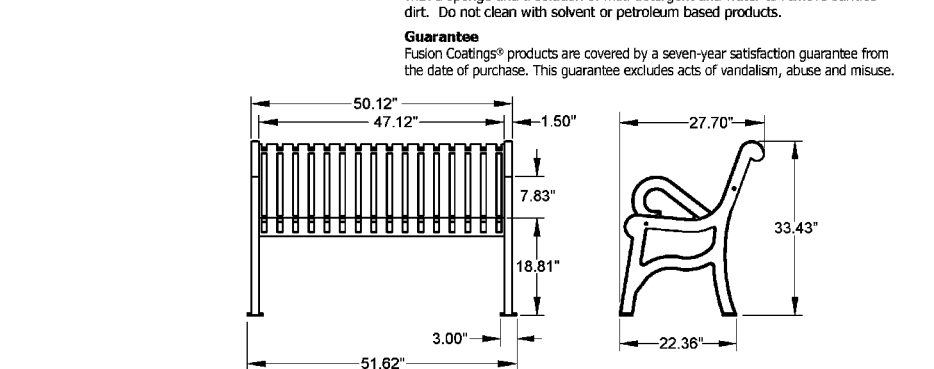


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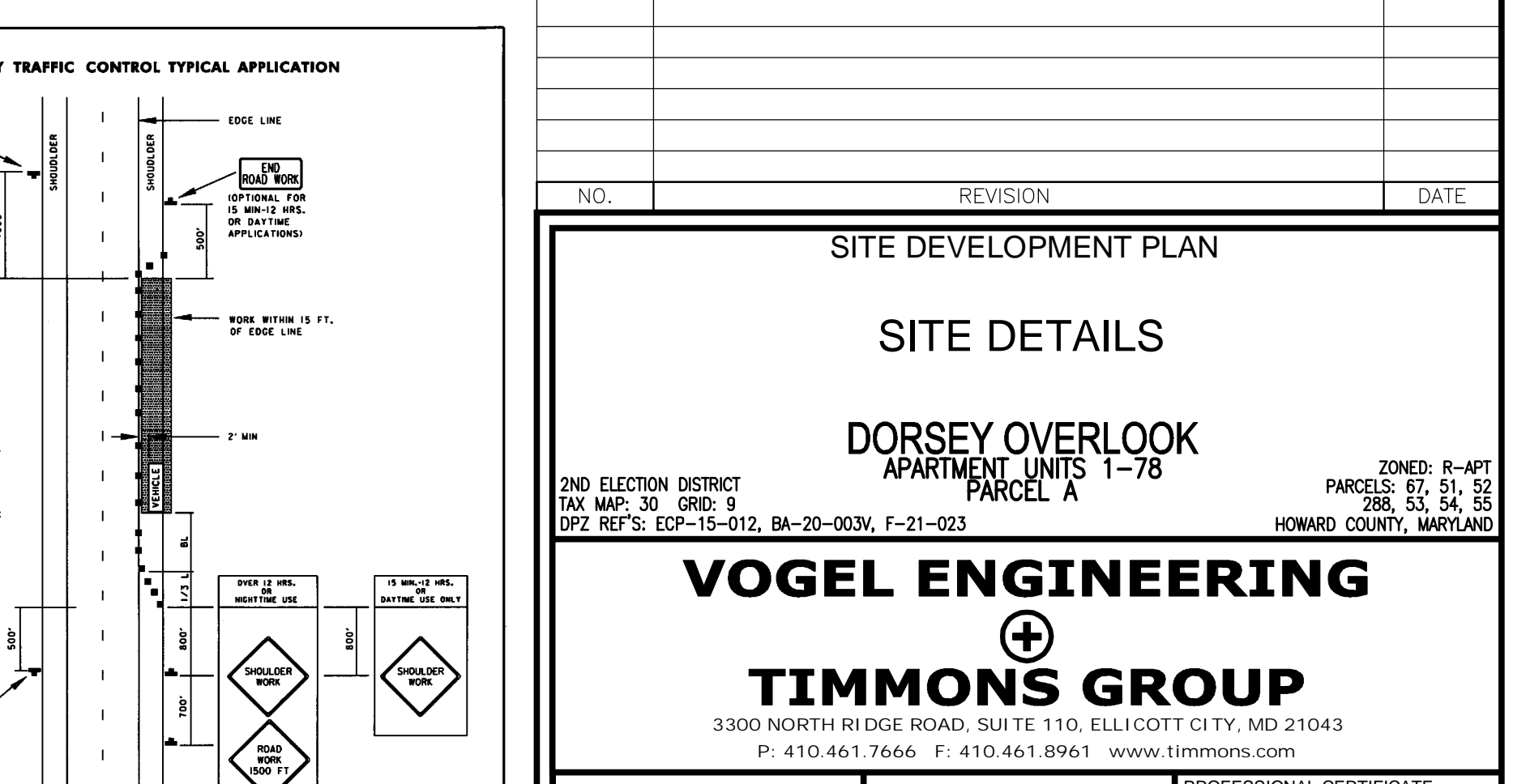
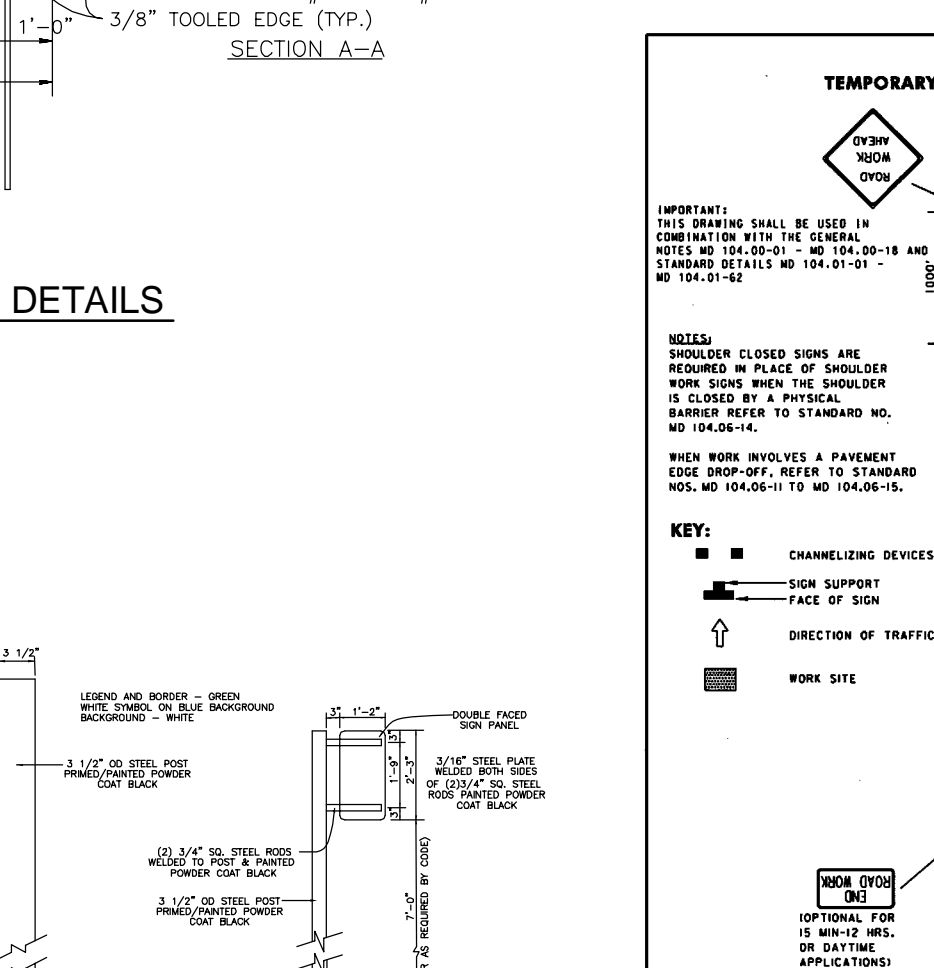
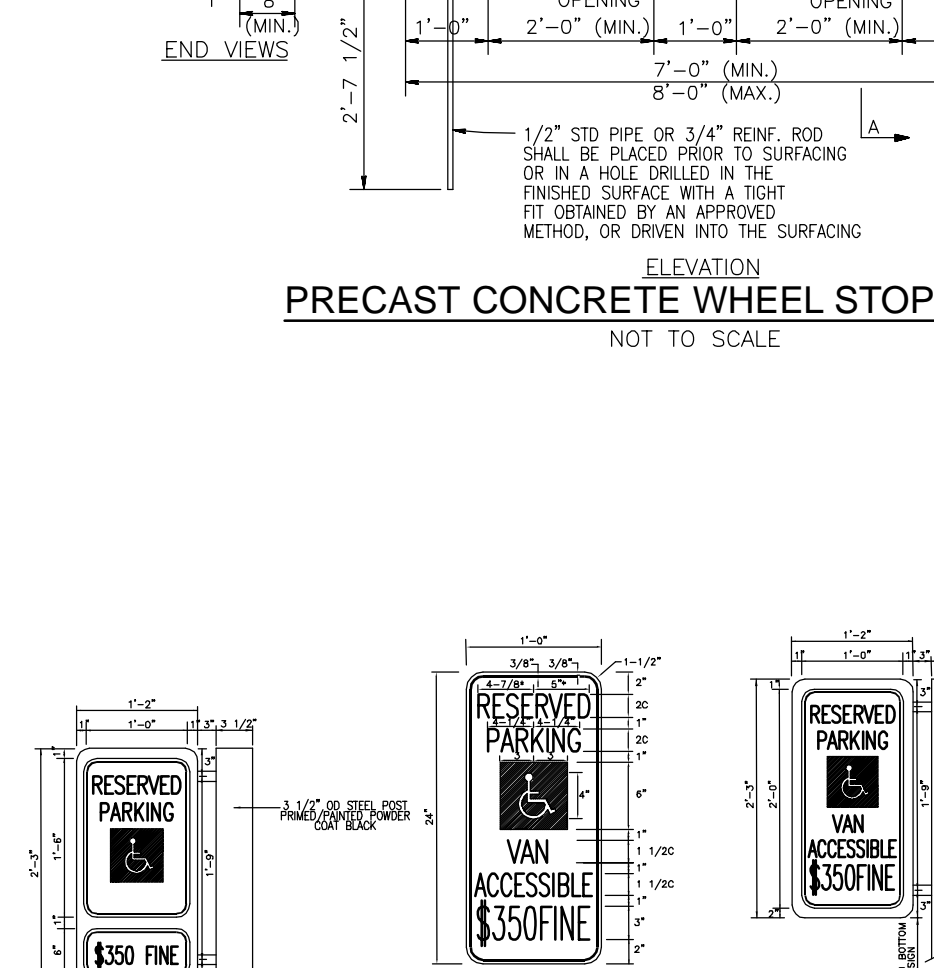
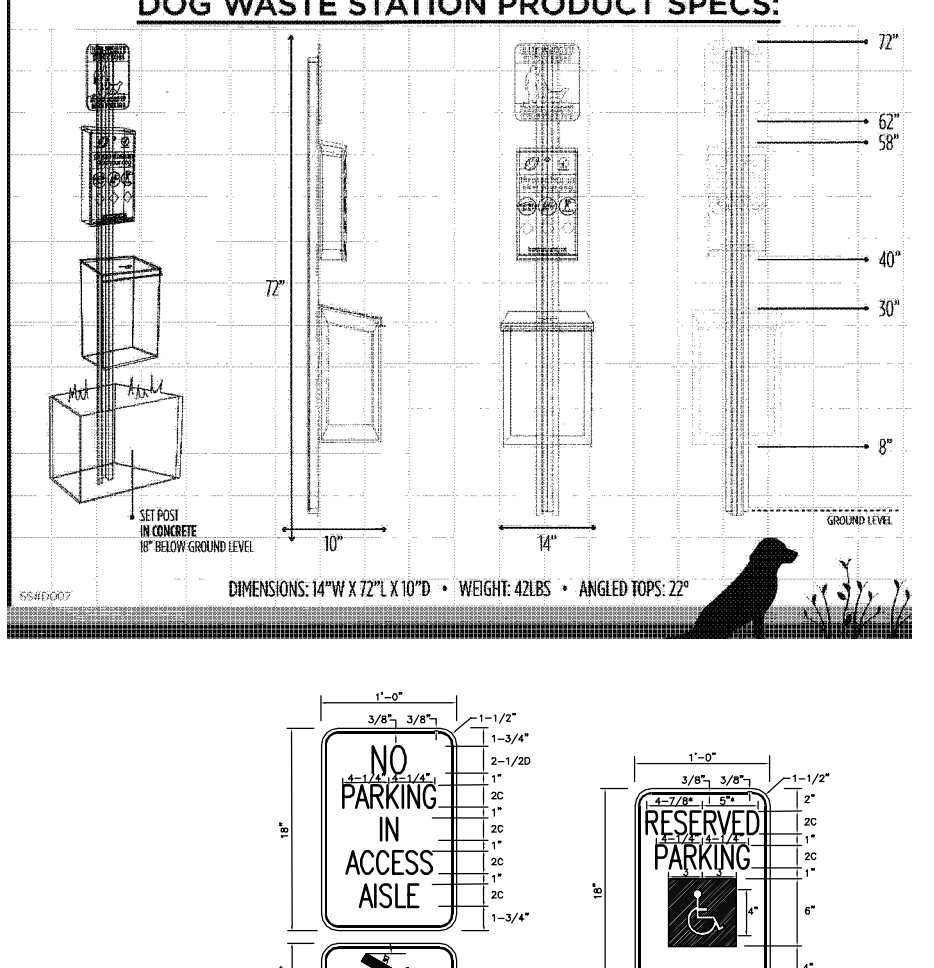
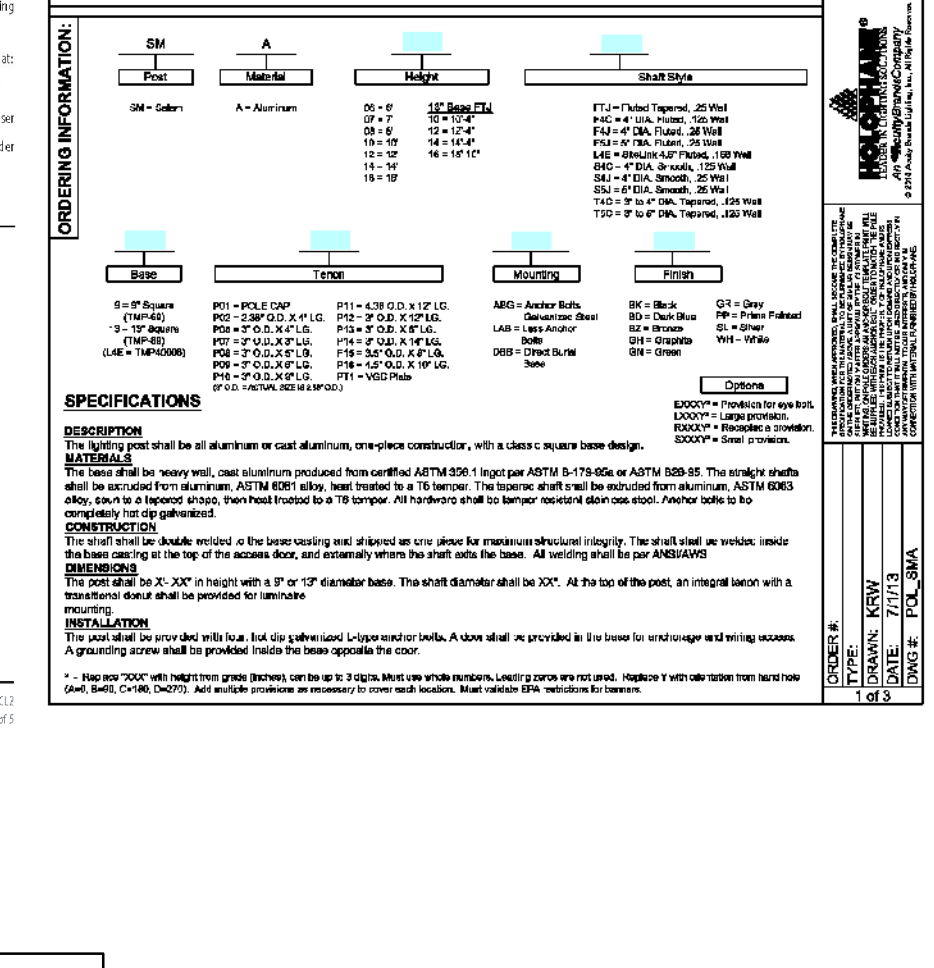
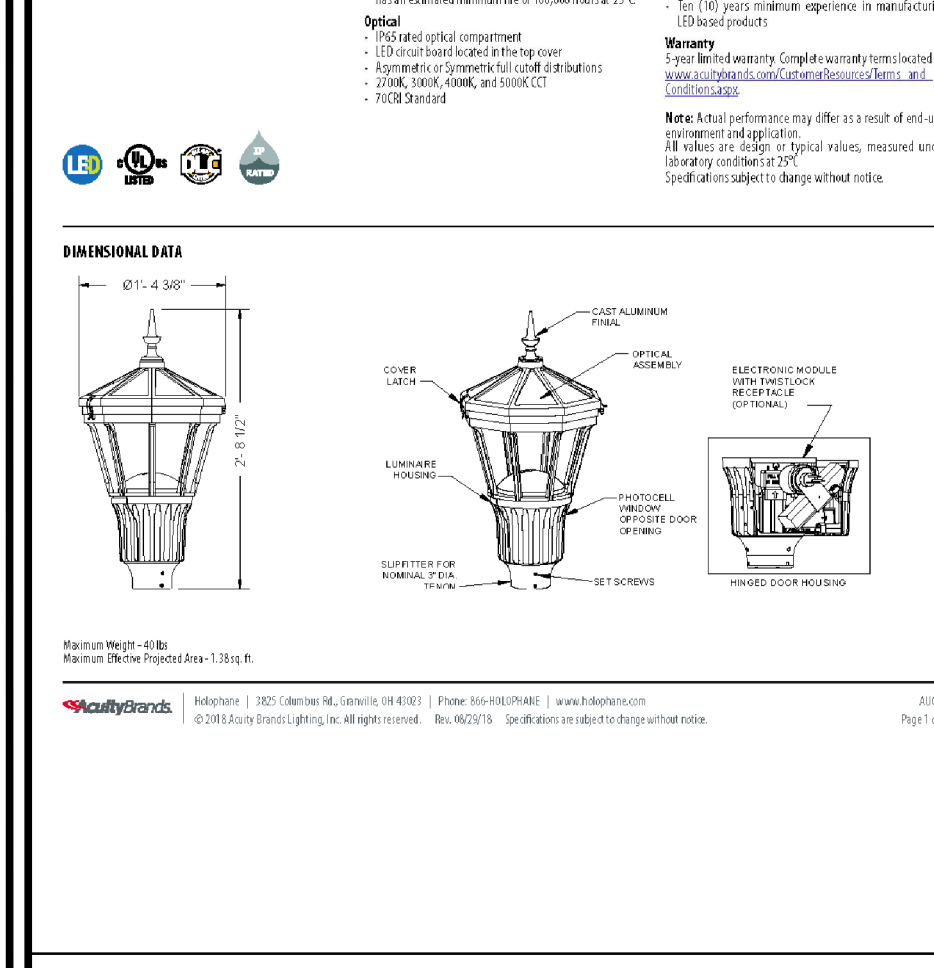
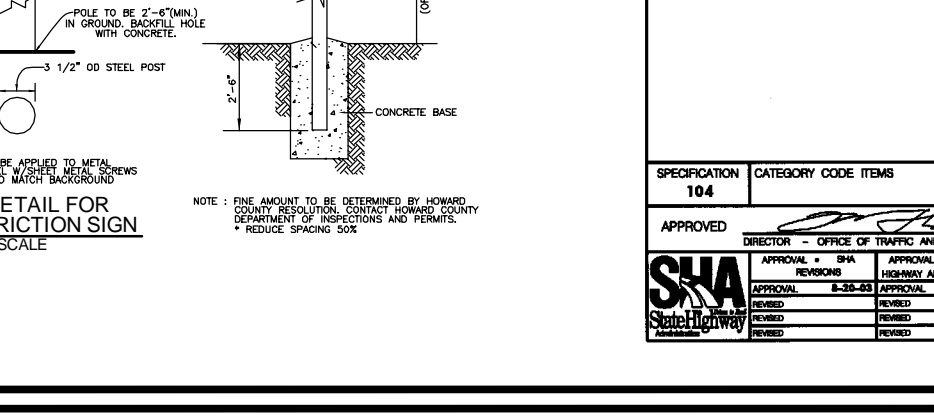
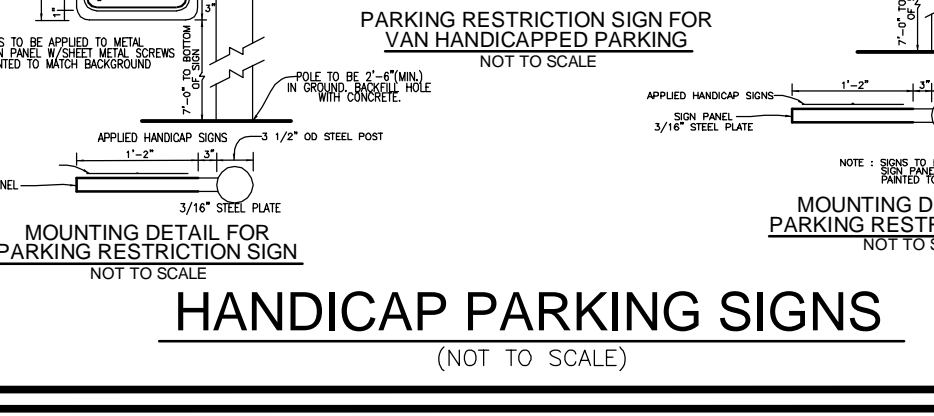
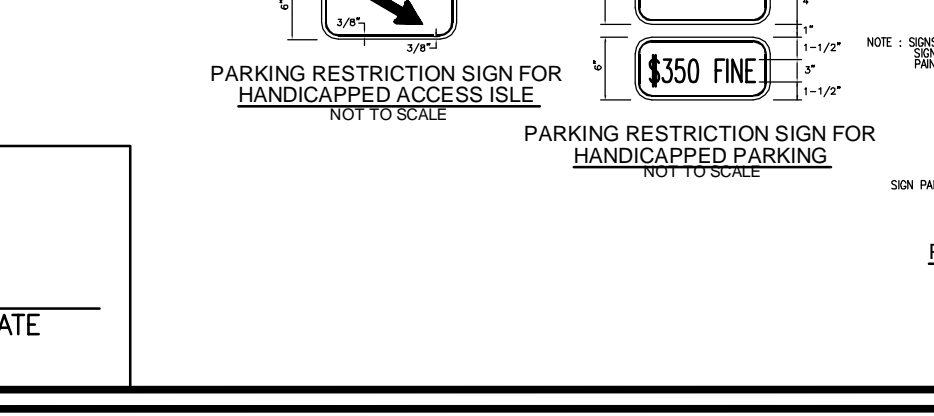


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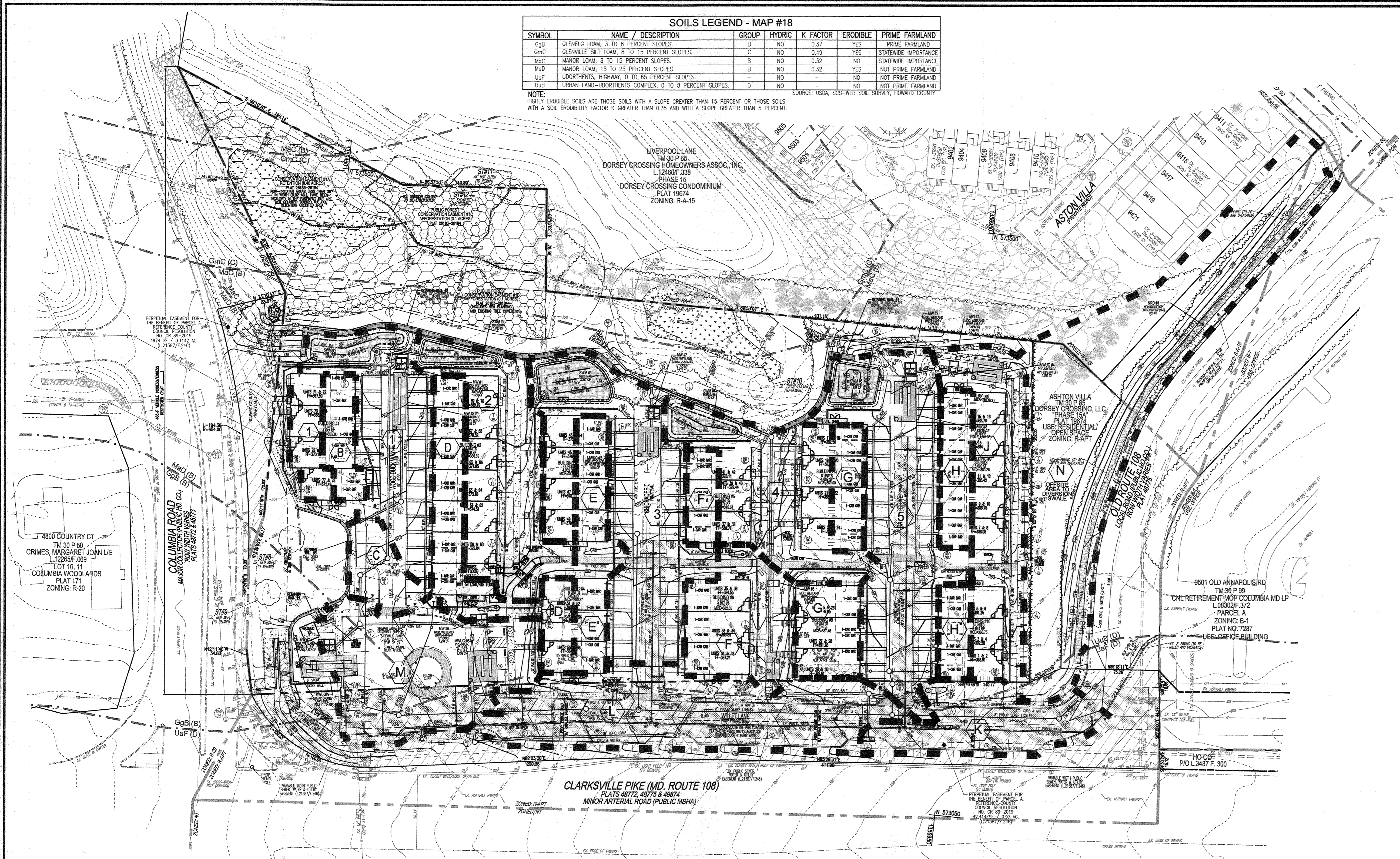


VOGEL ENGINEERING, TIMMONS GROUP, PROFESSIONAL CERTIFICATE

SOILS LEGEND - MAP #18

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	K FACTOR	ERODIBLE	PRIME FARMLAND
GgB	GLENELG LOAM, 3 TO 8 PERCENT SLOPES.	B	NO	0.37	YES	PRIME FARMLAND
GmC	GLENVILLE SILT LOAM, 8 TO 15 PERCENT SLOPES.	C	NO	0.49	YES	STATEWIDE IMPORTANCE
MdC	MANDOR LOAM, 8 TO 15 PERCENT SLOPES.	B	NO	0.32	NO	STATEWIDE IMPORTANCE
MdD	MANDOR LOAM, 15 TO 25 PERCENT SLOPES.	B	NO	0.32	YES	NOT PRIME FARMLAND
UaF	UDORHENTS, HIGHWAY, 0 TO 65 PERCENT SLOPES.	-	NO	-	NO	NOT PRIME FARMLAND
UaB	URBAN LAND-UDORHENTS COMPLEX, 0 TO 8 PERCENT SLOPES.	D	NO	-	NO	NOT PRIME FARMLAND

NOTE: HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.
SOURCE: USDA, SCS-WEBB SOIL SURVEY, HOWARD COUNTY



LEGEND:

[Symbol]	PROPERTY LINE
[Symbol]	RIGHT-OF-WAY LINE
[Symbol]	ADJACENT PROPERTY LINE
[Symbol]	EXISTING CONTOUR
[Symbol]	PROPOSED CONTOUR
[Symbol]	EXISTING SPOT ELEVATION
[Symbol]	PROPOSED SPOT ELEVATION
[Symbol]	EXISTING CURB AND GUTTER
[Symbol]	EXISTING UTILITY POLE
[Symbol]	EXISTING SIGN
[Symbol]	EXISTING SANITARY MANHOLE
[Symbol]	EXISTING SANITARY LINE
[Symbol]	EXISTING CLEANOUT
[Symbol]	EXISTING FIRE HYDRANT
[Symbol]	EXISTING WATER LINE
[Symbol]	EXISTING TREELINE
[Symbol]	EXISTING SPECIMEN TREE AND CRITICAL ROOT ZONE
[Symbol]	CENTERLINE EXISTING STREAM
[Symbol]	ZONING BOUNDARY
[Symbol]	PROPOSED CURB & GUTTER
[Symbol]	PROPOSED STORM DRAIN
[Symbol]	PROPOSED STORMRAIN INLET
[Symbol]	PROPOSED TREELINE
[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	PROPOSED HANDICAP RAMP W/ HANDRAIL
[Symbol]	MBR
[Symbol]	NON-ROOFTOP DISCONNECT (N-2)
[Symbol]	WETLANDS LIMITS
[Symbol]	PERPETUAL EASEMENT FOR THE BENEFIT OF PARCEL A (L21387/F.246) (PLAT 26183-84)
[Symbol]	PUBLIC SEWER, WATER & UTILITY EASEMENT (L21387/F.246) & (PLAT 26183-84)
[Symbol]	PUBLIC FOREST CONSERVATION EASEMENT (RETENTION) (PLAT 26183-84)
[Symbol]	PUBLIC FOREST CONSERVATION EASEMENT (AFFRESTATION) (PLAT 26183-84)
[Symbol]	DRAINAGE AREA DIVIDE
[Symbol]	DRAINAGE AREA NO.

CLARKSVILLE PIKE (MD. ROUTE 108)
PLATS 48772, 48775 & 48874
MINOR ARTERIAL ROAD (PUBLIC MSHA)

PLAN VIEW
SCALE: 1"=40'

Project: Dorsey Overlook
Site Target PE= 1.96
ESDv=(PexRvx)/12
Rv=0.05+0.009xl
Vmin 1yr rainfall = 1"
Vmax 1yr rainfall = 2.6"

SWM PRACTICE CHART - DORSEY OVERLOOK PARCEL A (HOA)

LOT #	ESD PRACTICES BY LOT	ADDRESS
PARCEL A	FIVE (5) MICRO-BIORETENTION FACILITIES, SEVEN(7) MODULAR WETLAND SYSTEMS WITH PRE-STORAGE PIPES, ONE (1) NON-ROOFTOP DISCONNECT.	4200 WOOD DUCK WAY

NOTE: ALL M-6 MICRO-BIORETENTION FACILITIES HAVE IMPERMEABLE LINERS. Rev TO BE PROVIDED BY MODULAR WETLANDS.

DRAINAGE AREA	SWMF NAME	SWMF TYPE	PRACTICE DA (AC)	IMPERV (AC)	PERV AREA (AC)	% IMPERV	PRACTICE Rv	MIN PRACTICE VOLUME (1")	TARGET ESDv PE VOLUME (1.96")	MAX PRACTICE VOLUME (2.6")	TOTAL PRACTICE VOLUME PROVIDED
B & C & D	MW #1	MOD. WETLAND	0.30	0.26	0.04	87	0.84	905	1,778	2,353	1,539
1	SWM #1	MBR (M-6)	0.30	0.22	0.08	72	0.70	765	1,502	1,988	1,680
2	SWM #2	MBR (M-6)	0.28	0.13	0.15	47	0.47	482	947	1,254	1,000
3	SWM #3	MBR (M-6)	0.41	0.26	0.15	63	0.62	919	1,805	2,389	2,387
E & F	MW #2	MOD. WETLAND	0.34	0.26	0.08	76	0.73	902	1,771	2,345	1,344
4	SWM #4	MBR (M-6)	0.26	0.13	0.13	50	0.50	481	945	1,251	1,162
G & H	MW #3	MOD. WETLAND	0.25	0.25	0.00	100	0.95	871	1,710	2,264	1,741
5	SWM #5	MBR (M-6)	0.41	0.27	0.14	65	0.63	940	1,846	2,444	1,588
J	MW #4	MOD. WETLAND	0.25	0.25	0.00	100	0.95	871	1,710	2,264	1,349
K	MW #5	MOD. WETLAND	0.17	0.12	0.05	71	0.69	426	837	1,108	814
L	MW #6	MOD. WETLAND	0.39	0.26	0.13	67	0.65	921	1,808	2,394	1,934
M	MW #7	MOD. WETLAND	0.33	0.27	0.05	83	0.80	949	1,863	2,467	2,372
N	NRD #1	NON-ROOFTOP	0.70	0.05	0.65	6.9	0.11	286	561	743	286
TOTALS			4.40	2.73	1.67				TOTALS ESDv PROVIDED		19,195

NOTE: REFERENCE COUNCIL RESOLUTION OR 89-2019, AN ACT DECLARING THAT A PORTION OF OLD MARYLAND ROUTE 108, (ALONG WITH A PORTION OF COLUMBIA ROAD), THE COMBINED AREA CONTAINING APPROXIMATELY 1.087 ACRES, IS NO LONGER NEEDED FOR PUBLIC PURPOSE AND AUTHORIZING THE COUNTY EXECUTIVE TO WAIVE THE ADVERTISING AND BIDDING REQUIREMENTS OF SECTION 4.201 OF THE HOWARD COUNTY CODE IN ORDER FOR THE COUNTY TO CONVEY A PERPETUAL NON-EXCLUSIVE EASEMENT IN THE 1.087 ACRES FOR ACCESS AND PARKING TO THE DEVELOPER OF THE ADJACENT PROPERTY, DORSEY OVERLOOK, L.L.P. (L21387/F.246) SETBACKS WILL BE MEASURED FROM THE PROJECT BOUNDARY, IN ACCORDANCE WITH SECTION 128.0.A.10 OF THE ZONING REGULATIONS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
1/23/2023
Chief, Development Engineering Division
DATE: 1/23/2023
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 1/24/2023
DIRECTOR

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
1/24/2023
Chief, Bureau of Highways
DATE: 1/24/2023
CHIEF, BUREAU OF HIGHWAYS

OWNER/DEVELOPER
DORSEY OVERLOOK, L.L.P.
C/O J. KIRBY DEVELOPMENT, L.L.C.
5670 B FURNACE AVENUE
ELK RIDGE, MARYLAND 21075
PHONE: (410) 788-0027

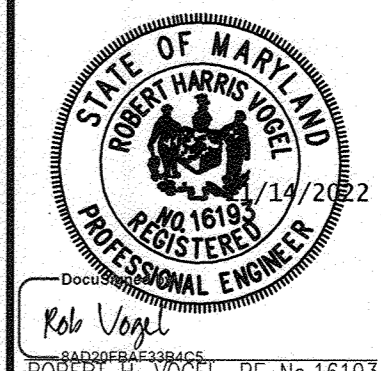
3	REVISE UNIT 57 ENTRANCE, CLUBHOUSE ENTRANCE AND ADJACENT SIDEWALK	6-26-24
NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
STORMWATER MANAGEMENT
DRAINAGE AREA MAP

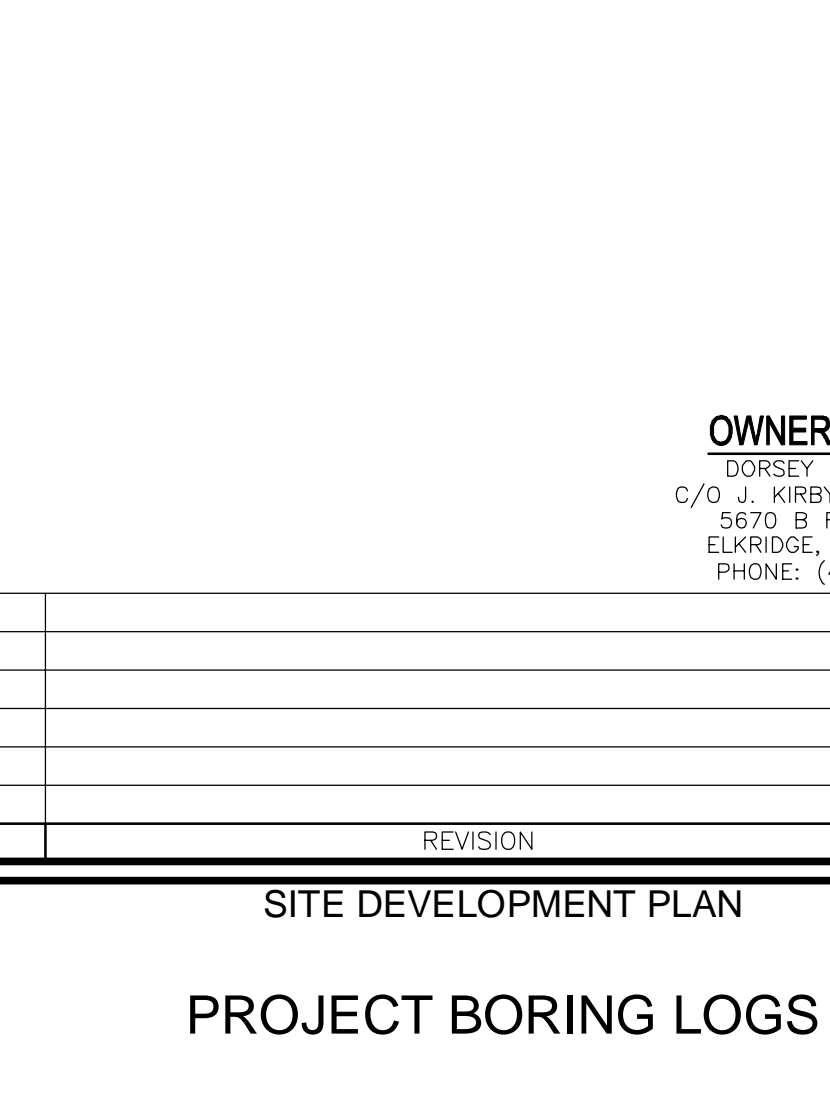
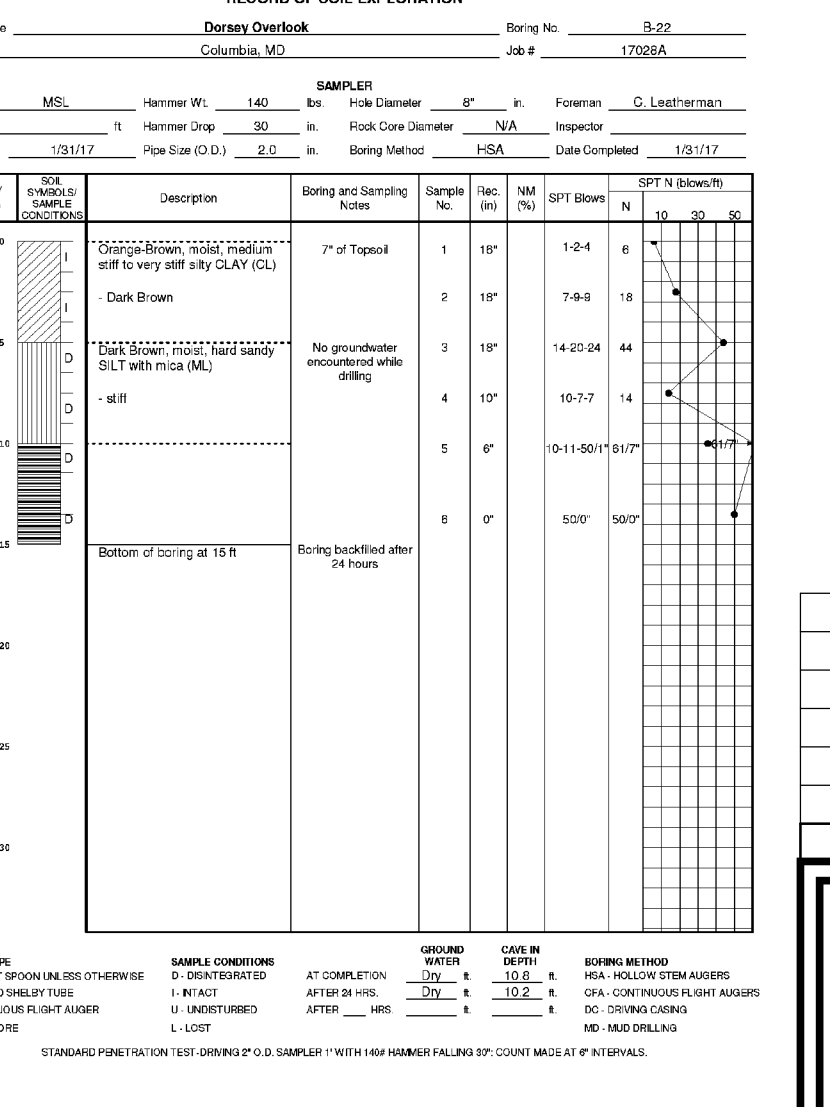
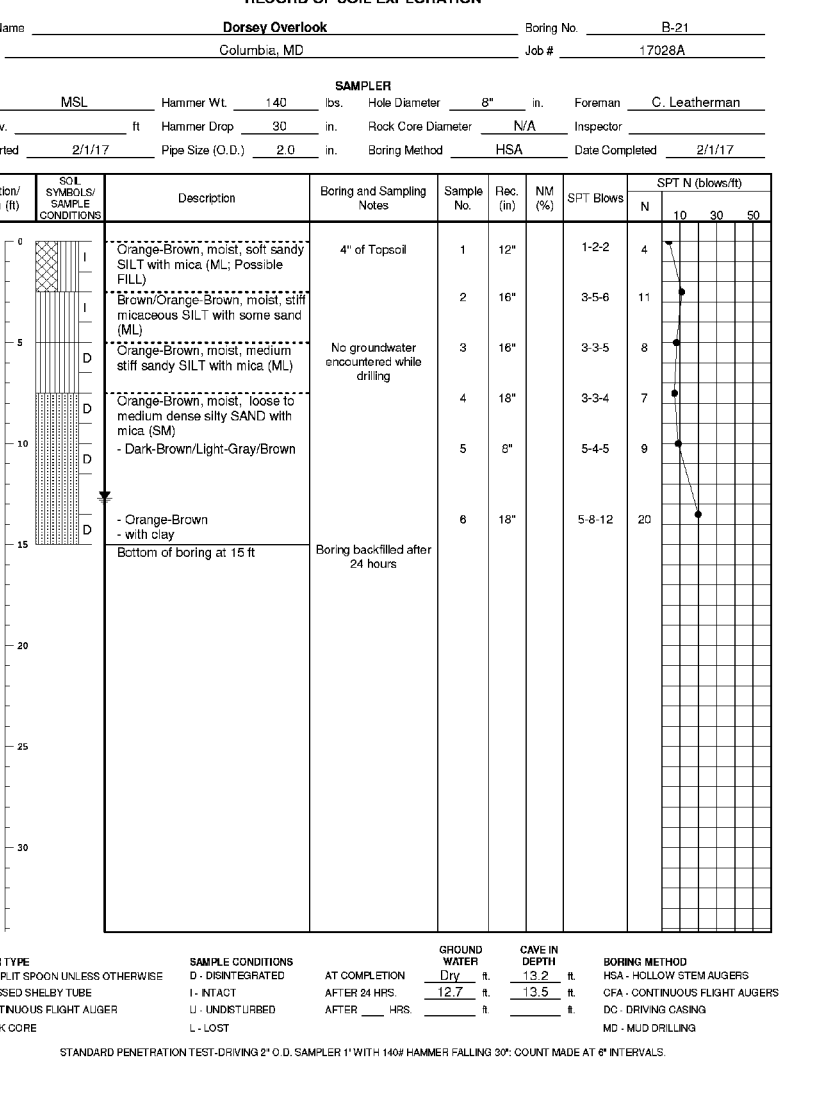
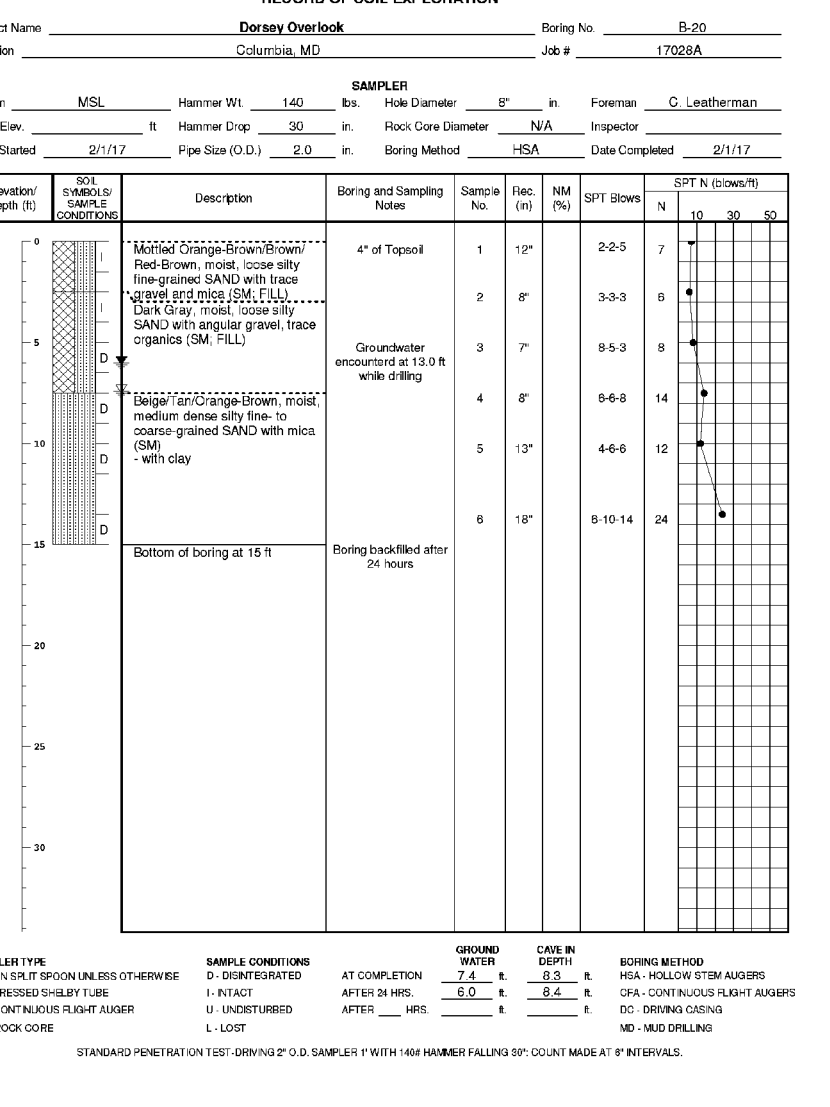
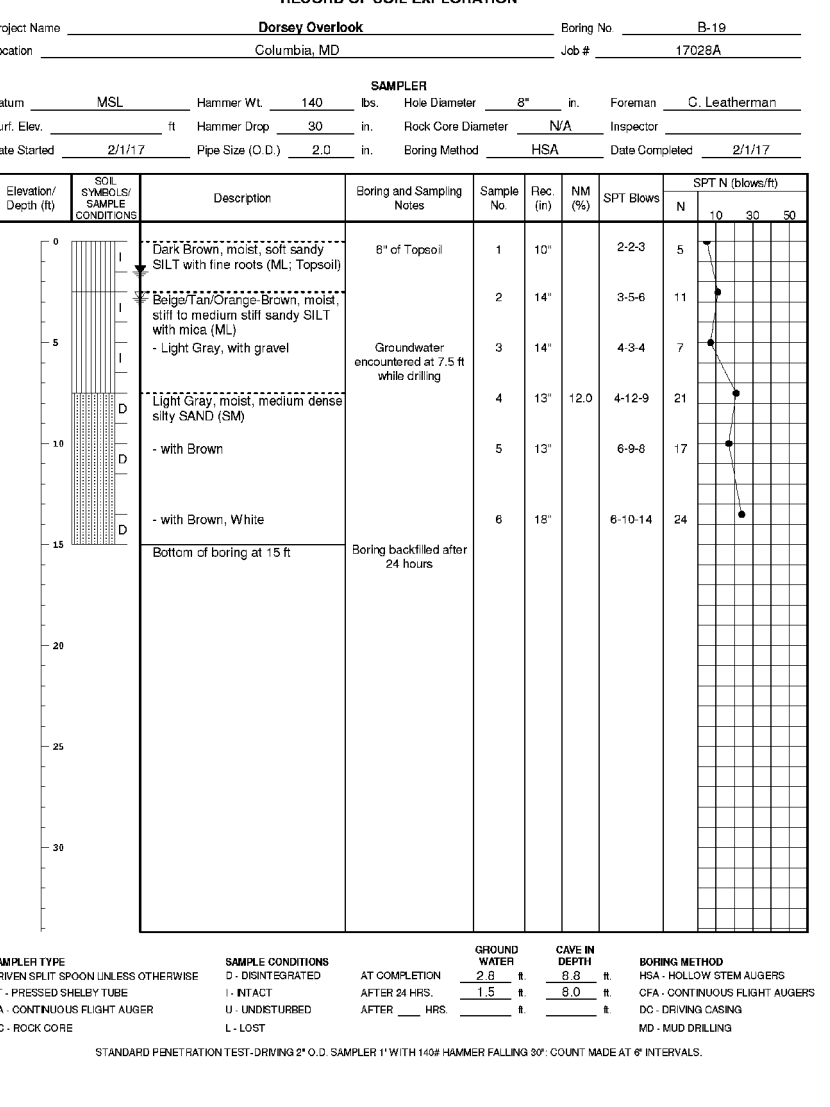
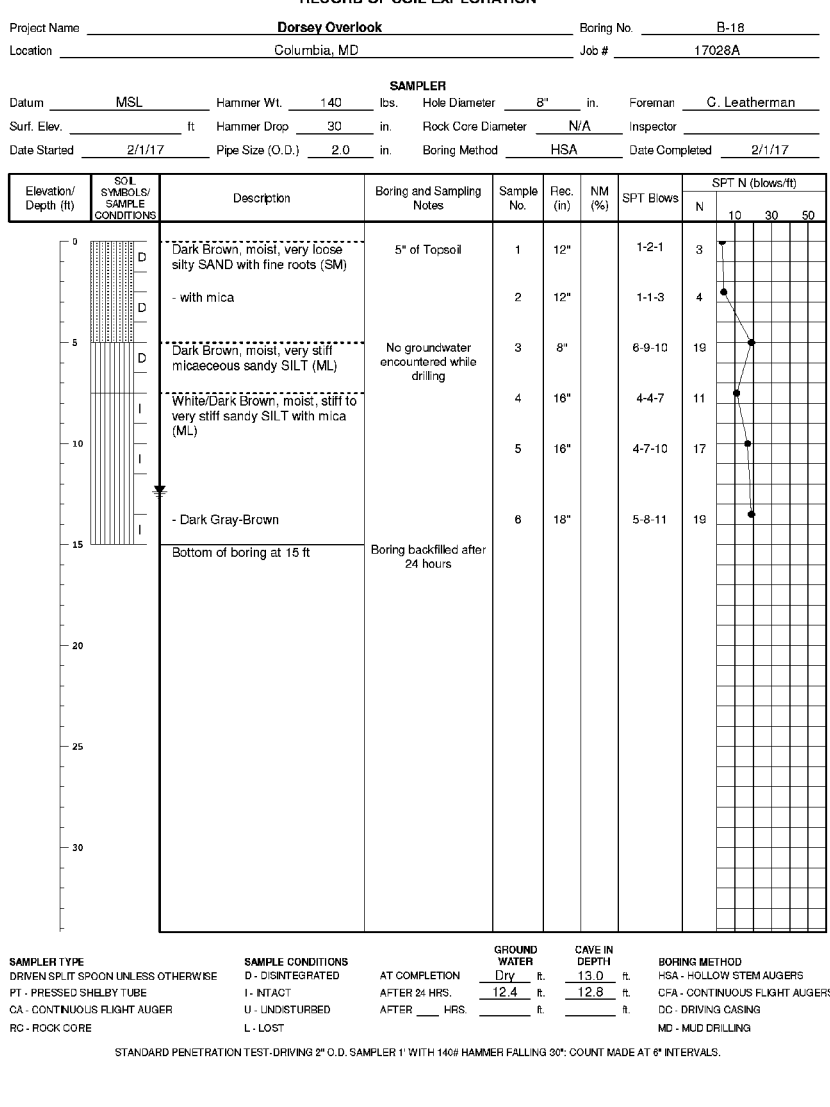
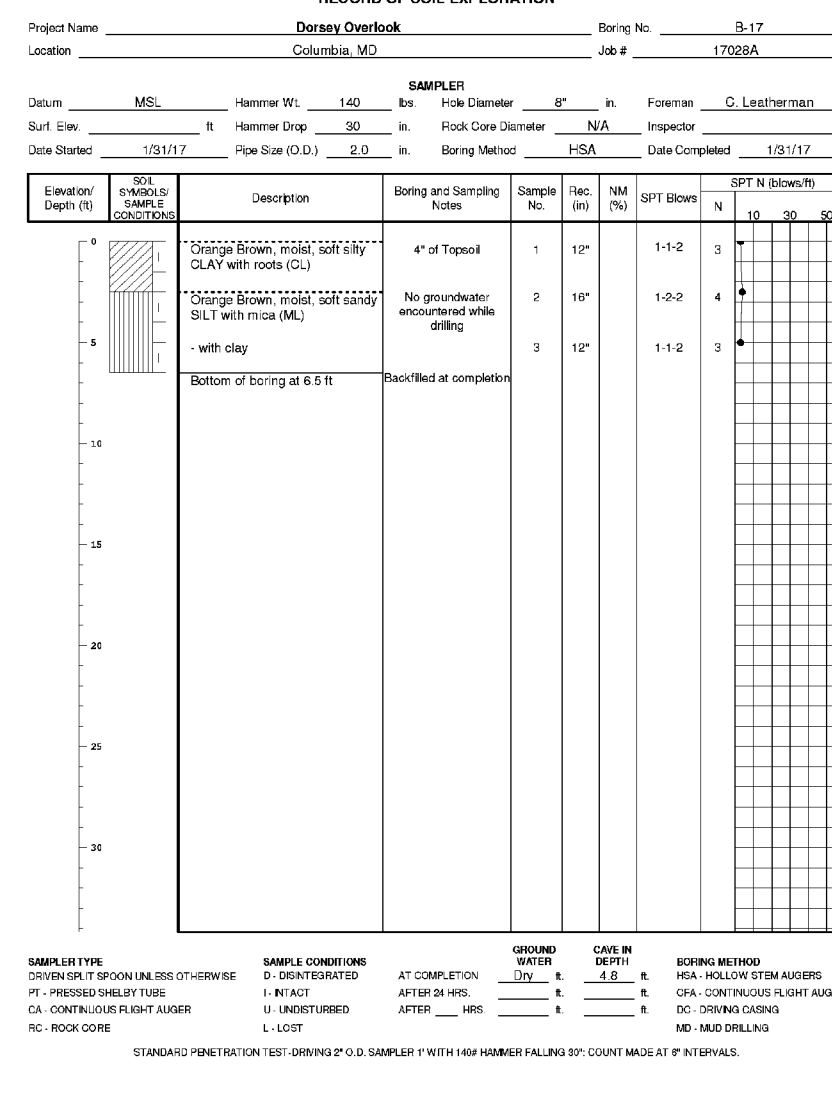
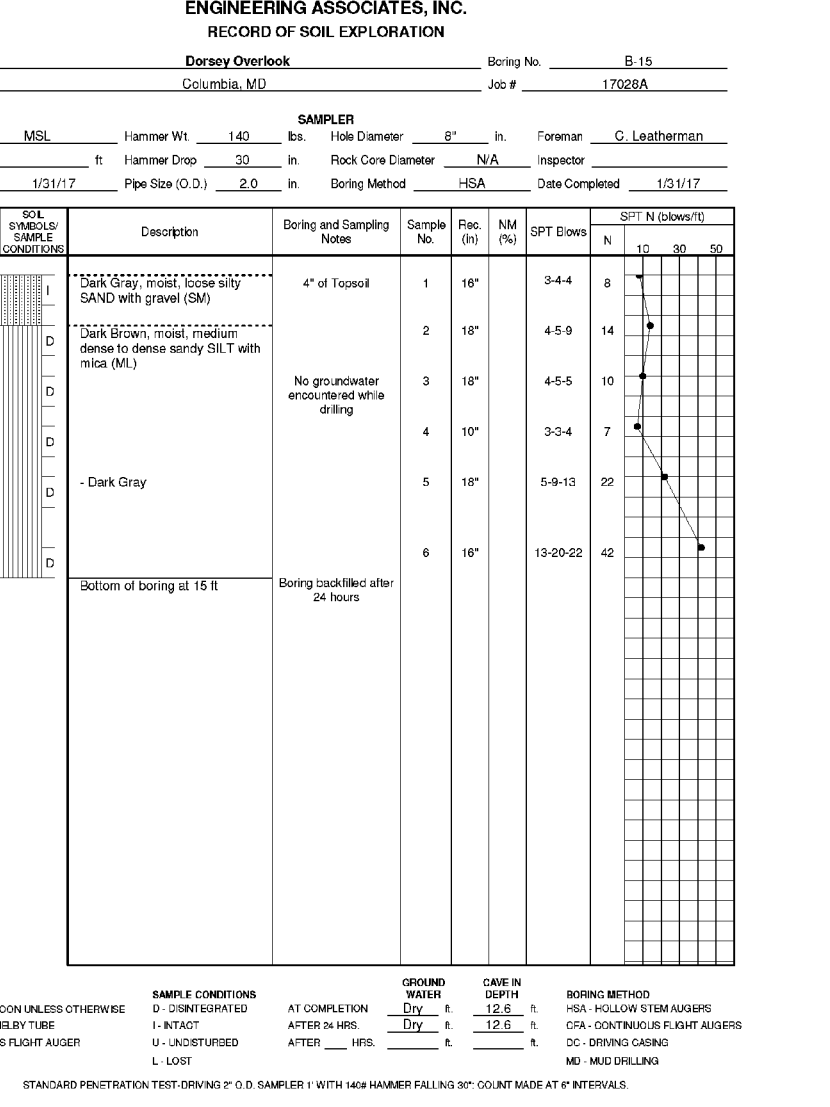
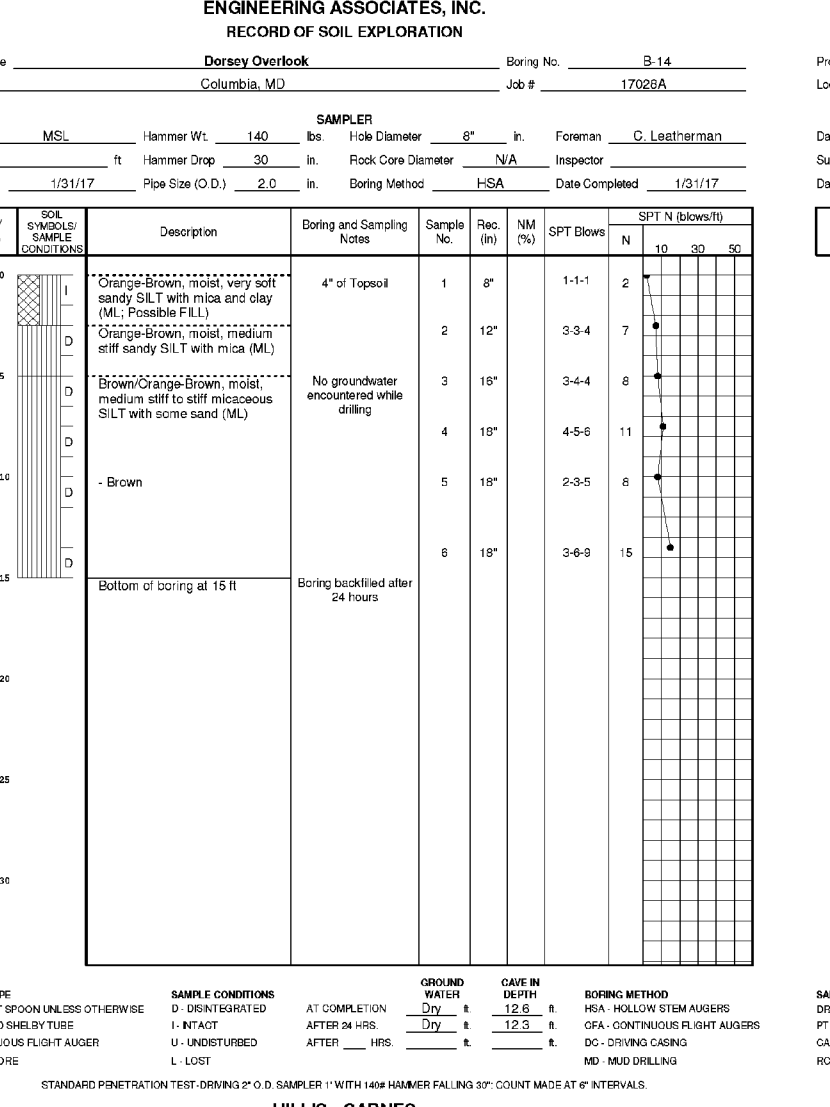
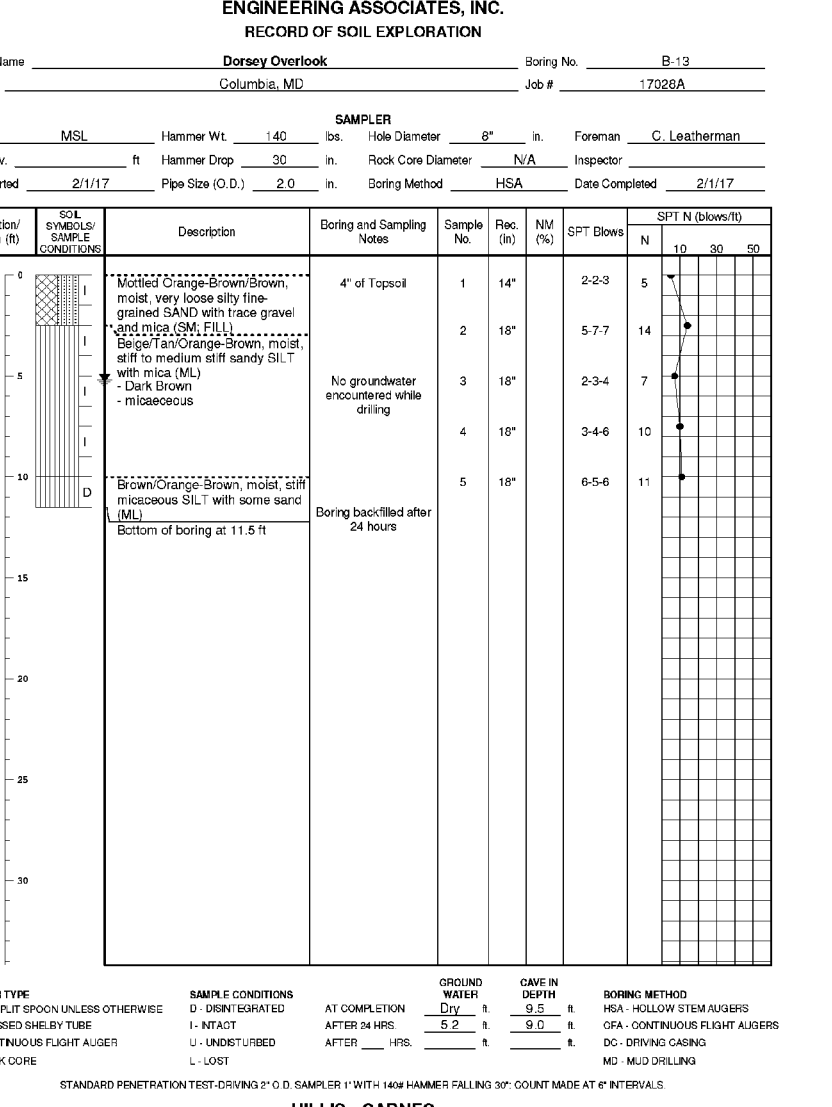
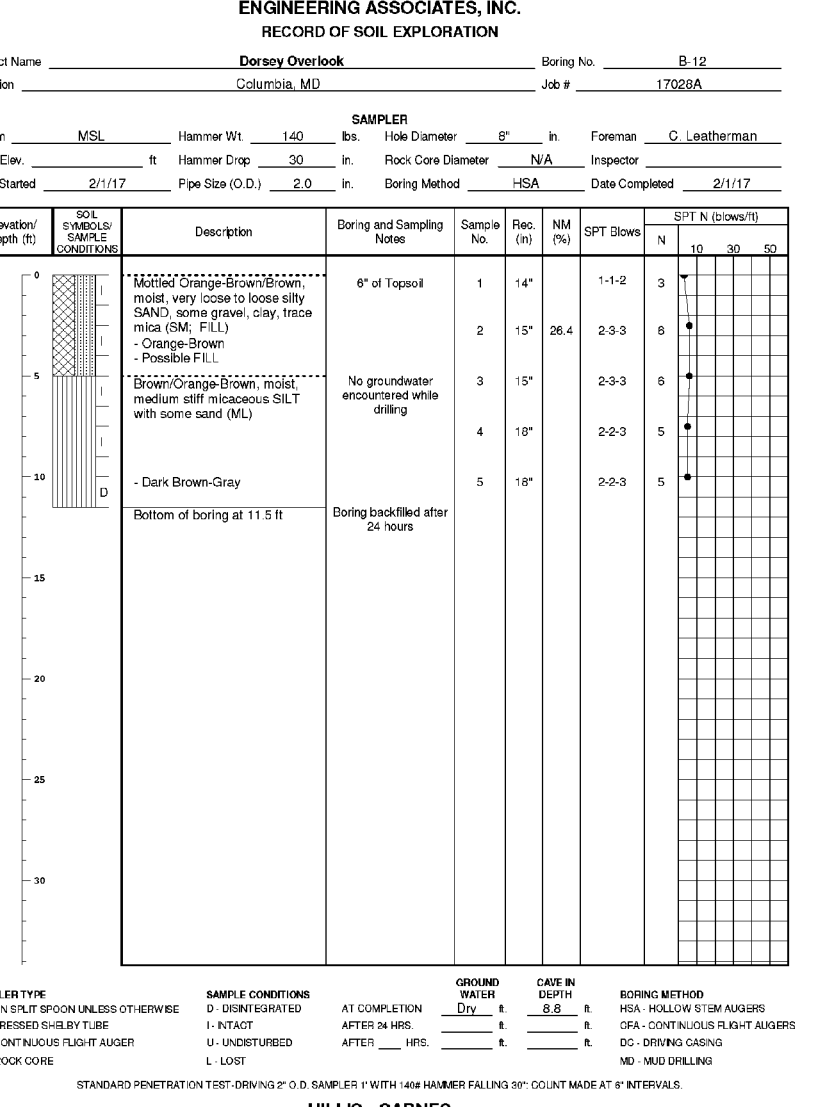
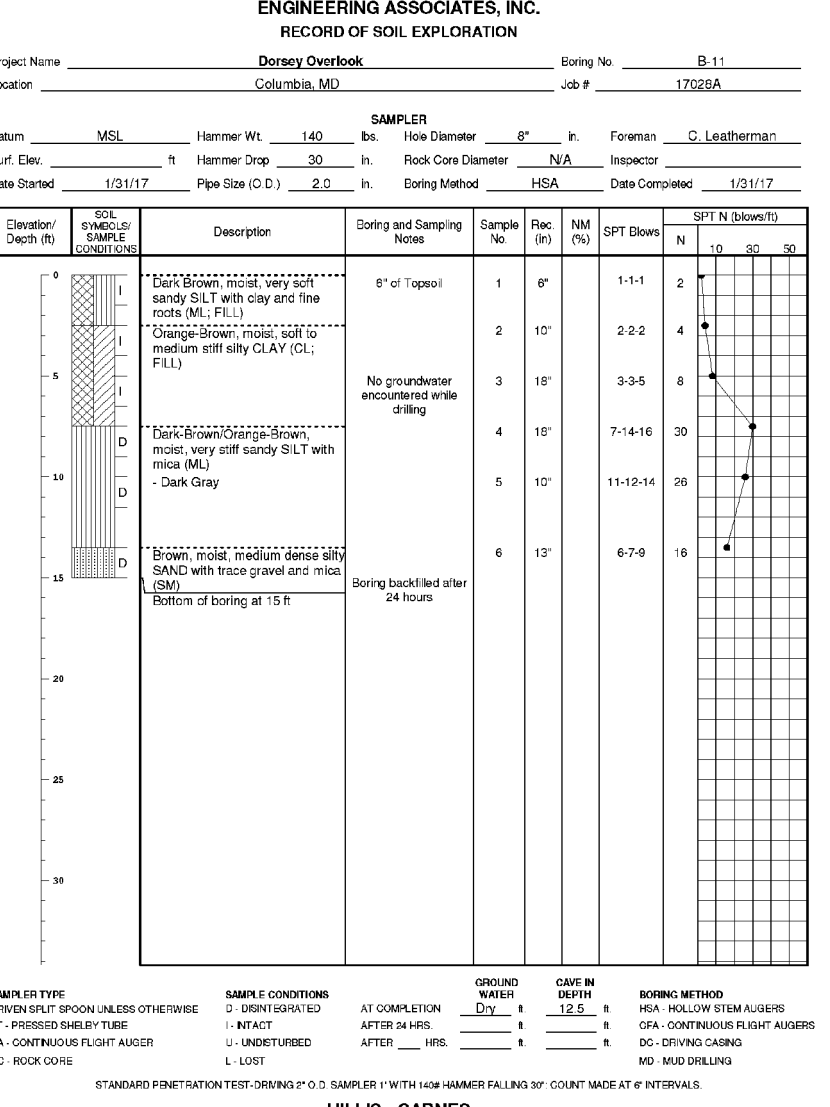
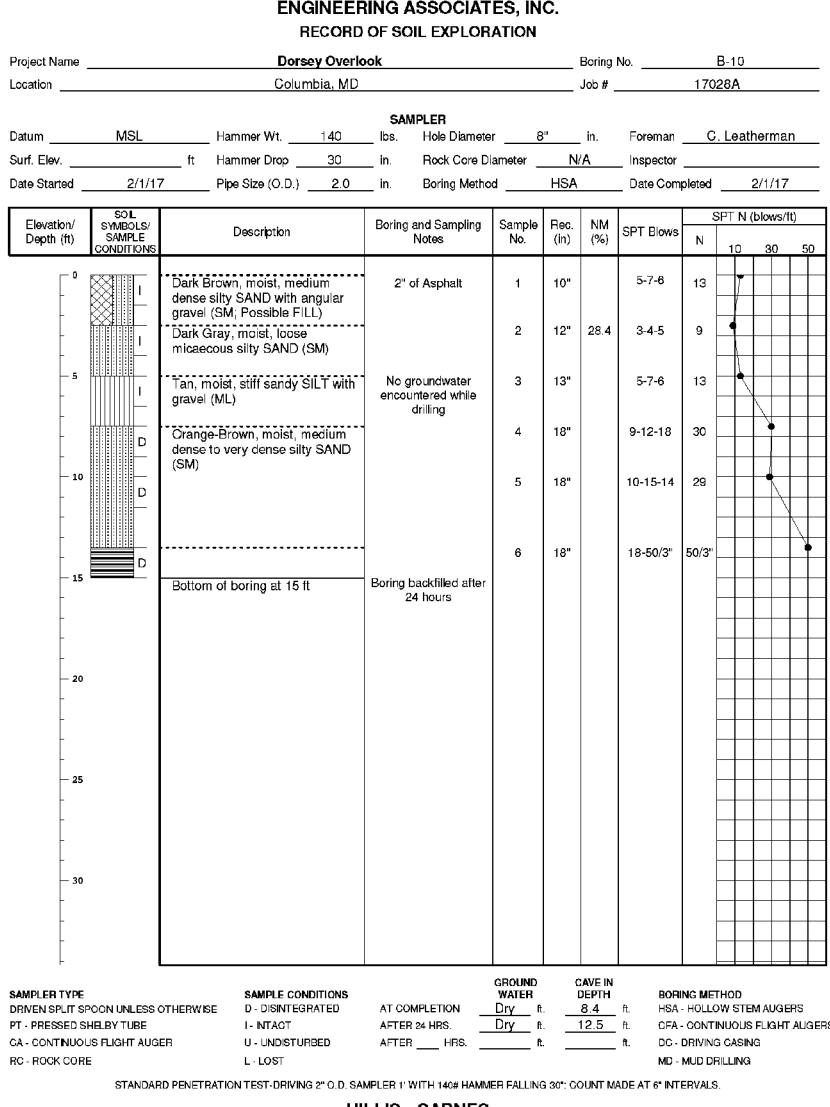
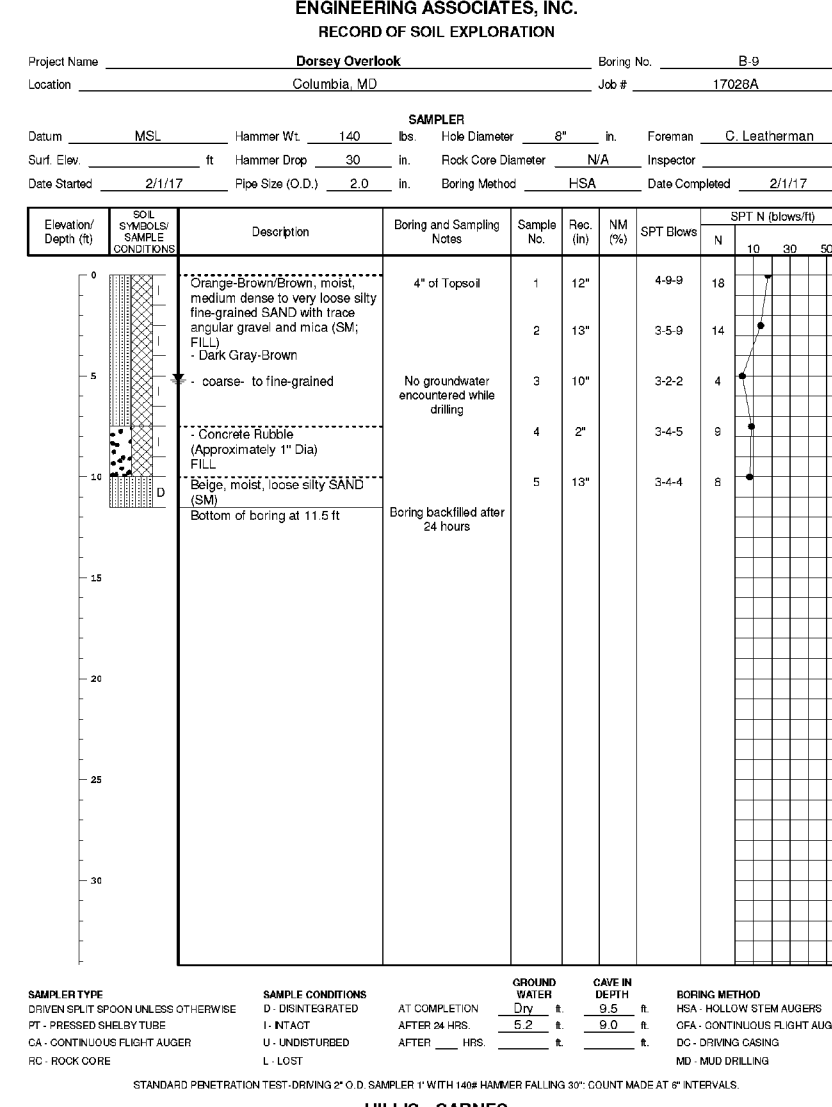
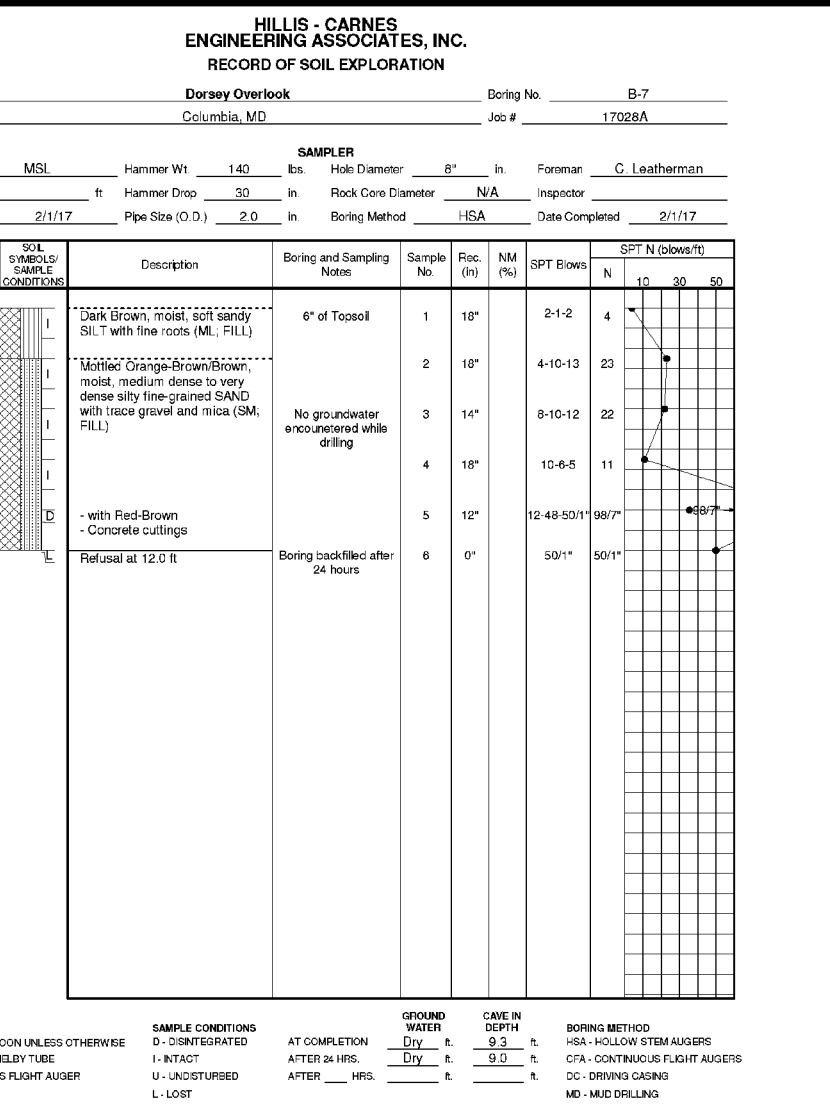
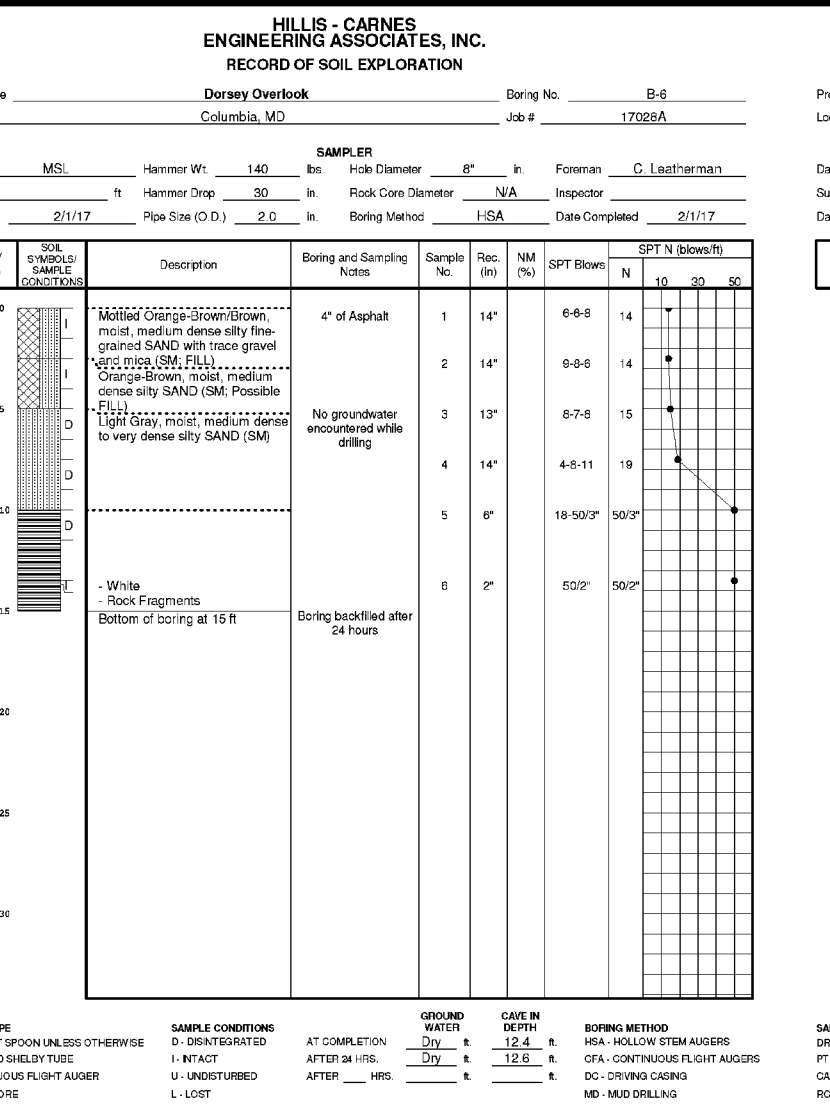
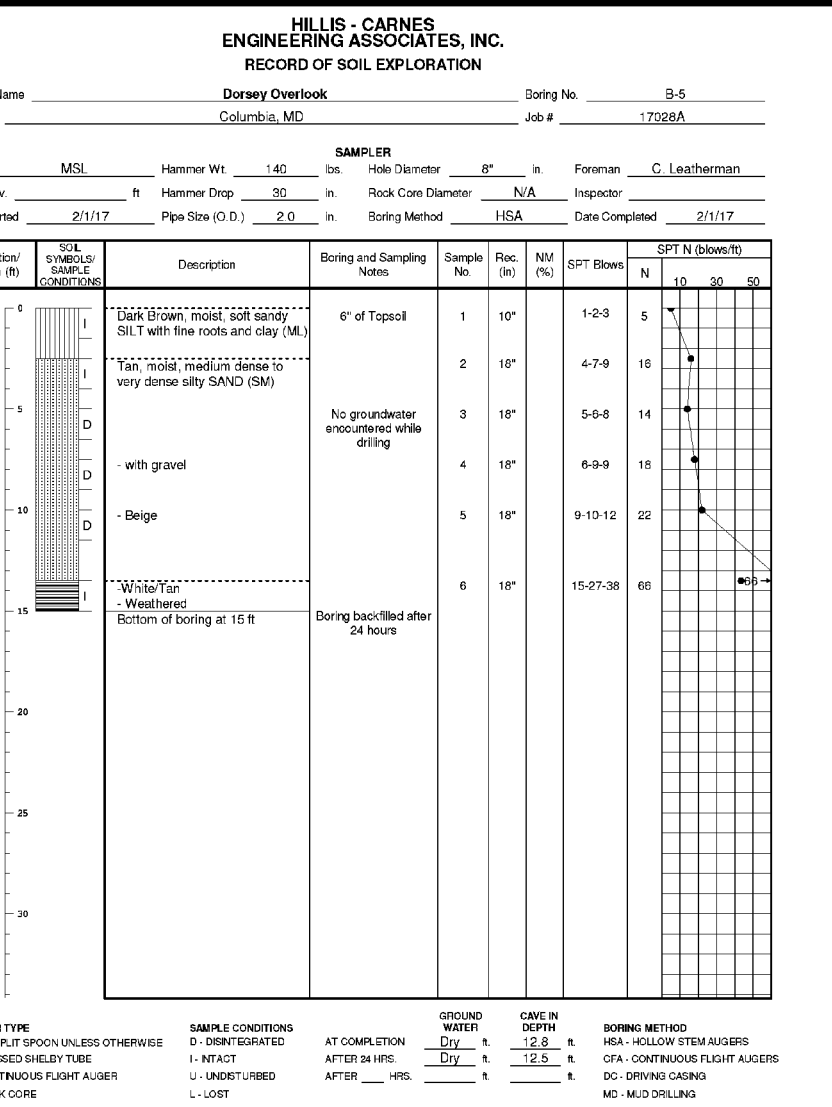
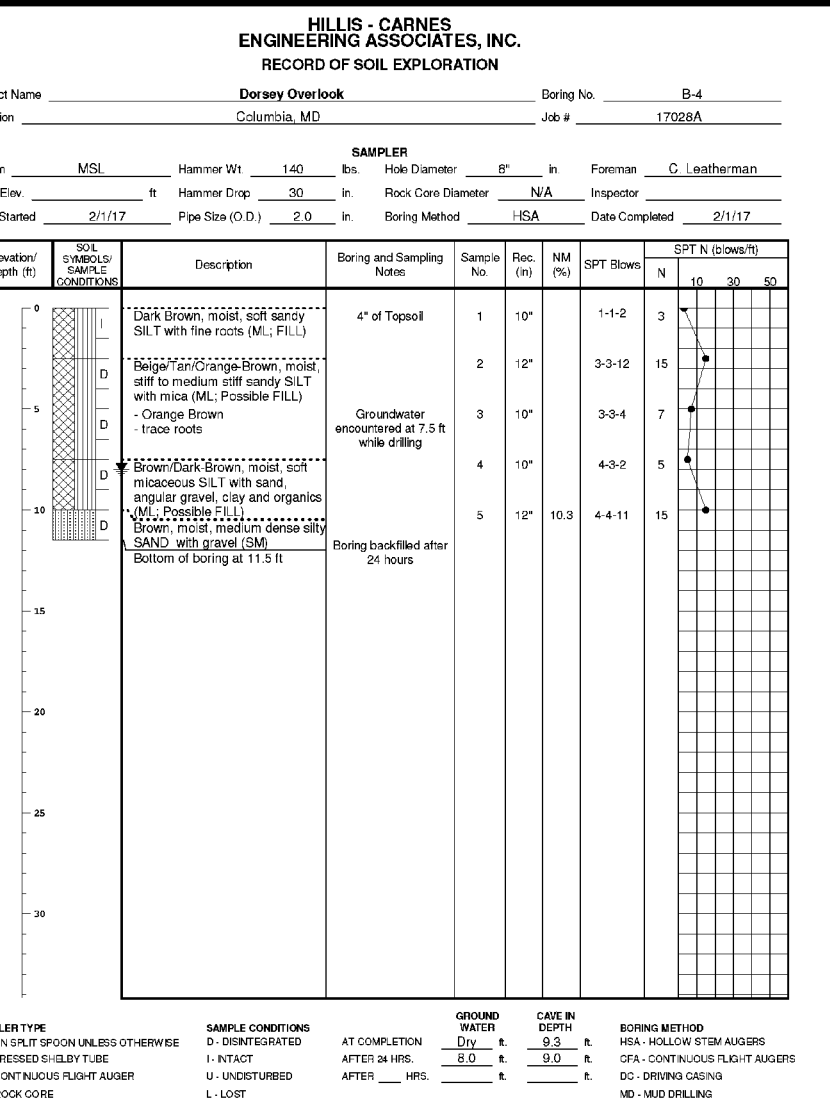
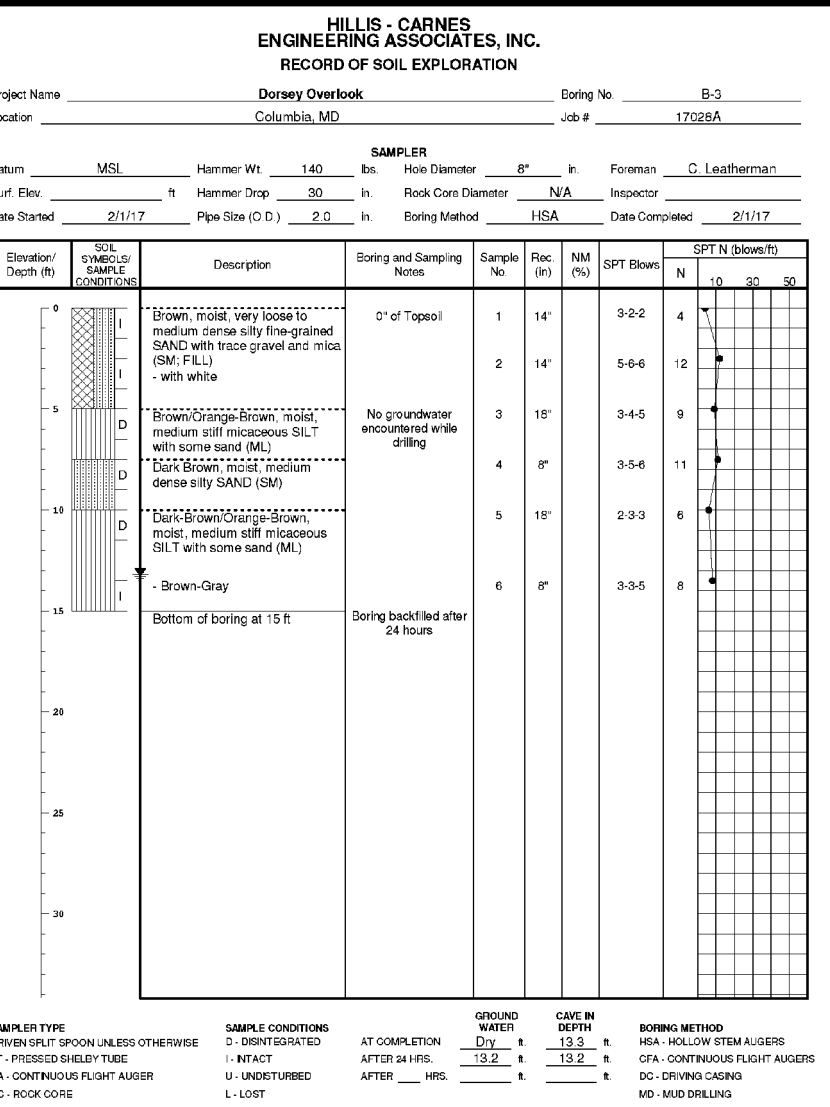
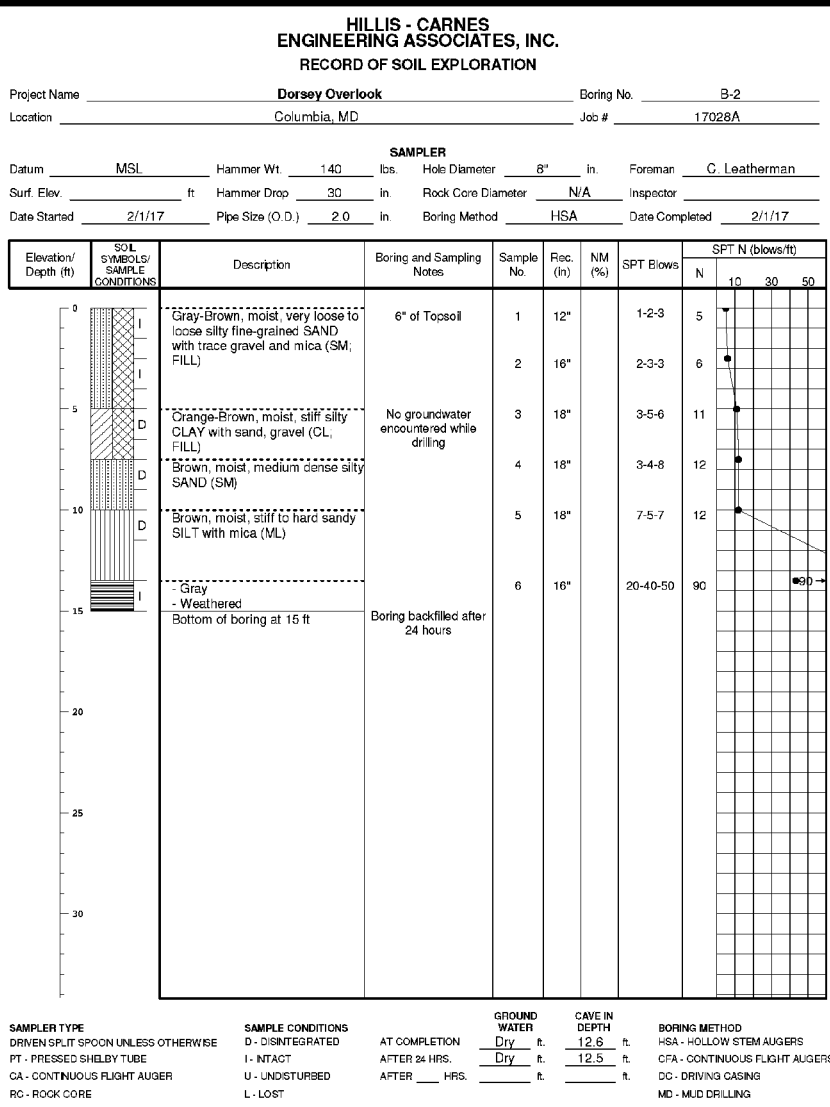
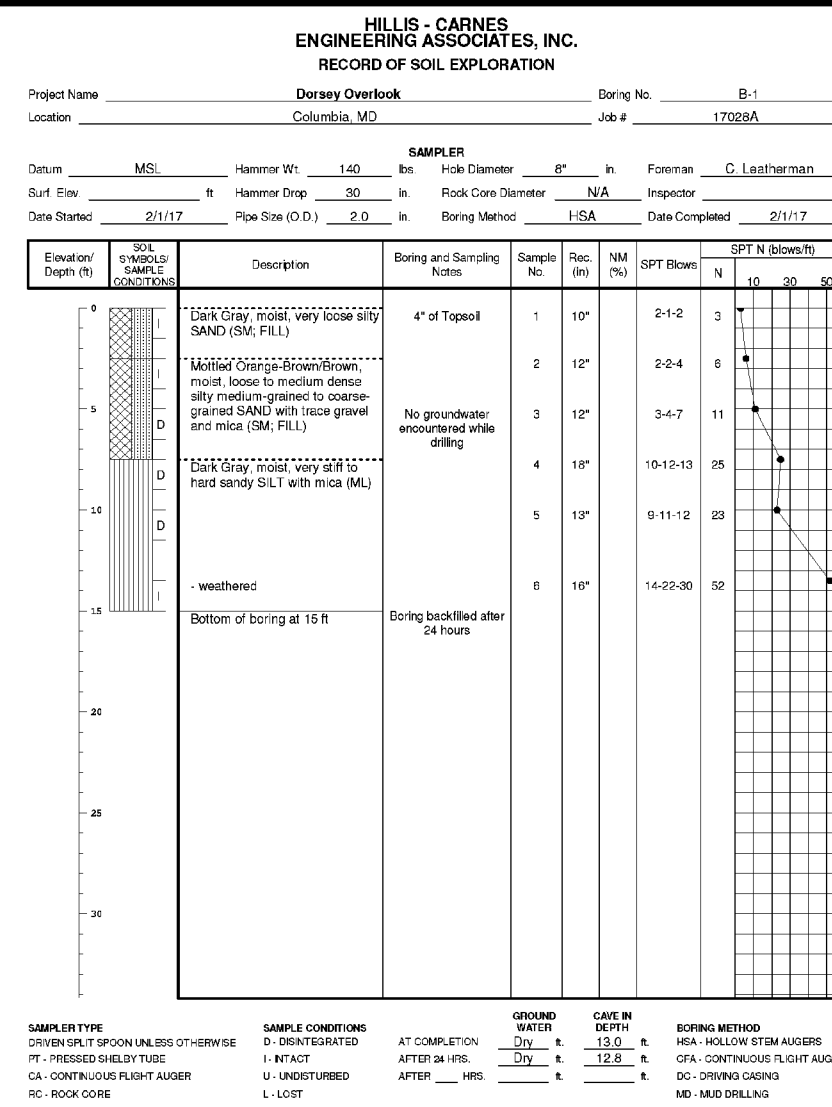
DORSEY OVERLOOK
APARTMENT UNITS 1-78
PARCEL A

2ND ELECTION DISTRICT PARCELS: 87, 51, 52 ZONED: R-APT
TAX MAP: 30 GRID: 9 PARCELS: 288, 53, 54, 55
DPZ REF'S: ECP-15-012, BA-20-003W, F-21-023 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7656 F: 410.461.8961 www.timmons.com



PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16193 EXPIRATION DATE: 09-27-2024
DESIGN BY: DZE/RHV
DRAWN BY: DZE/RHV/KG
CHECKED BY: RHV
DATE: NOVEMBER 2022
SCALE: AS SHOWN
W.O. NO.: 12-69
15 SHEET OF 30



OWNER/DEVELOPER
DORSEY OVERLOOK, LLLP
C/O J. KIRBY DEVELOPMENT, LLC
5270 S FURCADE AVENUE
ELKRDGE, MARYLAND 21075
PHONE: (410) 788-0027

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
1/23/2023
[Signature] RHOED Edmondson
CHIEF, DEVELOPMENT ENGINEERING DIVISION
1/23/2023
[Signature] Q. L. Land
CHIEF, DIVISION OF LAND DEVELOPMENT
1/24/2023
[Signature] Amy Goman
DIRECTOR
DATE

SITE DEVELOPMENT PLAN
PROJECT BORING LOGS
DORSEY OVERLOOK
APARTMENT UNITS 1-78
PARCEL A
2ND ELECTION DISTRICT
TAX MAP: 30 GRID: 9
DPZ REF: ECP-15-012, BA-20-003V, F-21-023
ZONED: R-4PT
PARCELS: 67, 51, 52
288, 53, 54, 55
ELKRDGE, MARYLAND 21075
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com
PROFESSIONAL CERTIFICATE
DESIGN BY: DZE/RHW
DRAWN BY: DZE/JR/KS
CHECKED BY: RHW
DATE: NOVEMBER 2022
SCALE: AS SHOWN
W.O. NO.: 12-69
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
[Seal of Robert H. Vogel, Professional Engineer, No. 16193, Exp. 09-27-2024]
18 SHEET OF 30
SDP-20-074

STREET TREE CALCULATIONS				
STREET NAME	STATION	LINEAR FEET	NO. REQUIRED	NO. PROVIDED
EX. OLD RT. 108 (PUBLIC)	0+15 TO 4+67	452/40 (ONE SIDE)	12	12
WILLET LANE (PRIVATE)	4+67 TO 9+68	501/40	13	13
WILLET LANE (SM) (PRIVATE)	4+67 TO 9+68	501/30	17	17
TOTAL			42	42

SPECIMEN TREE MITIGATION		
NUMBER OF SPECIMEN TREES REMOVED	6	
NUMBER OF SHADE TREES REQUIRED	12	
NUMBER OF SHADE TREES PROVIDED	12	

KEY DESCRIPTION
 (S) STREET TREE
 (A3) SCHEDULE 'A' PERIMETER LANDSCAPING AND PERIMETER NUMBER
 (B) SCHEDULE 'B' PARKING LOT LANDSCAPING
 (C) SCHEDULE 'C' INTERNAL LANDSCAPING
 (M) SPECIMEN TREE MITIGATION
 (O) OTHER LANDSCAPING

LANDSCAPE SCHEDULE - REQUIRED PLANTING											
SYMB.	KEY	SCHED. 'A' QUANTITY	SCHED. 'B' QUANTITY	SCHED. 'C' QUANTITY	STREET TREE QUANTITY	*SPECIMEN TREE MITIGATION	**OTHER LANDSCAPING QUANTITY	TOTAL QUANTITY	BOTANICAL NAME	SIZE	CAT.
QR	2	-	-	-	-	-	-	2	QUERCUS ROBUR 'FASTIGIATA'	2.5"-3" CAL.	B & B
PS	25	4	-	-	-	-	-	29	PRUNUS SARGENTI	2.5"-3" CAL.	B & B
AR	6	-	9	25	12	-	-	52	ACER RUBRUM 'ARMSTRONG'	3" CAL DBH	B & B
GB	-	-	4	-	-	-	-	4	GINKGO BILOBA 'FASTIGIATA'	2.5"-3" CAL.	B & B
AM	7	-	8	17	-	-	-	32	ACER GINMA	2.5"-3" CAL.	B & B
CM	-	-	10	-	-	-	-	10	LAGERSTROEMIA INDICA	6"-8" HGT.	B & B
PA	18	-	-	-	-	-	-	18	PIERIS ARBOREA	6"-8" HGT.	B & B
JS	7	-	8	-	-	-	-	15	JUNIPERUS SCOPULORUM 'BLUE ARROW'	5"-6" HGT.	B & B
IL	41	-	-	-	-	-	22	63	LEY CRENATA 'SKY PENCIL'	2.5"-3" HGT.	B & B
CJ	114	-	-	-	-	-	68	182	CHRONOLEX JAPONICA 'TEXAS SCARLET'	18" - 24" SPREAD	B & B

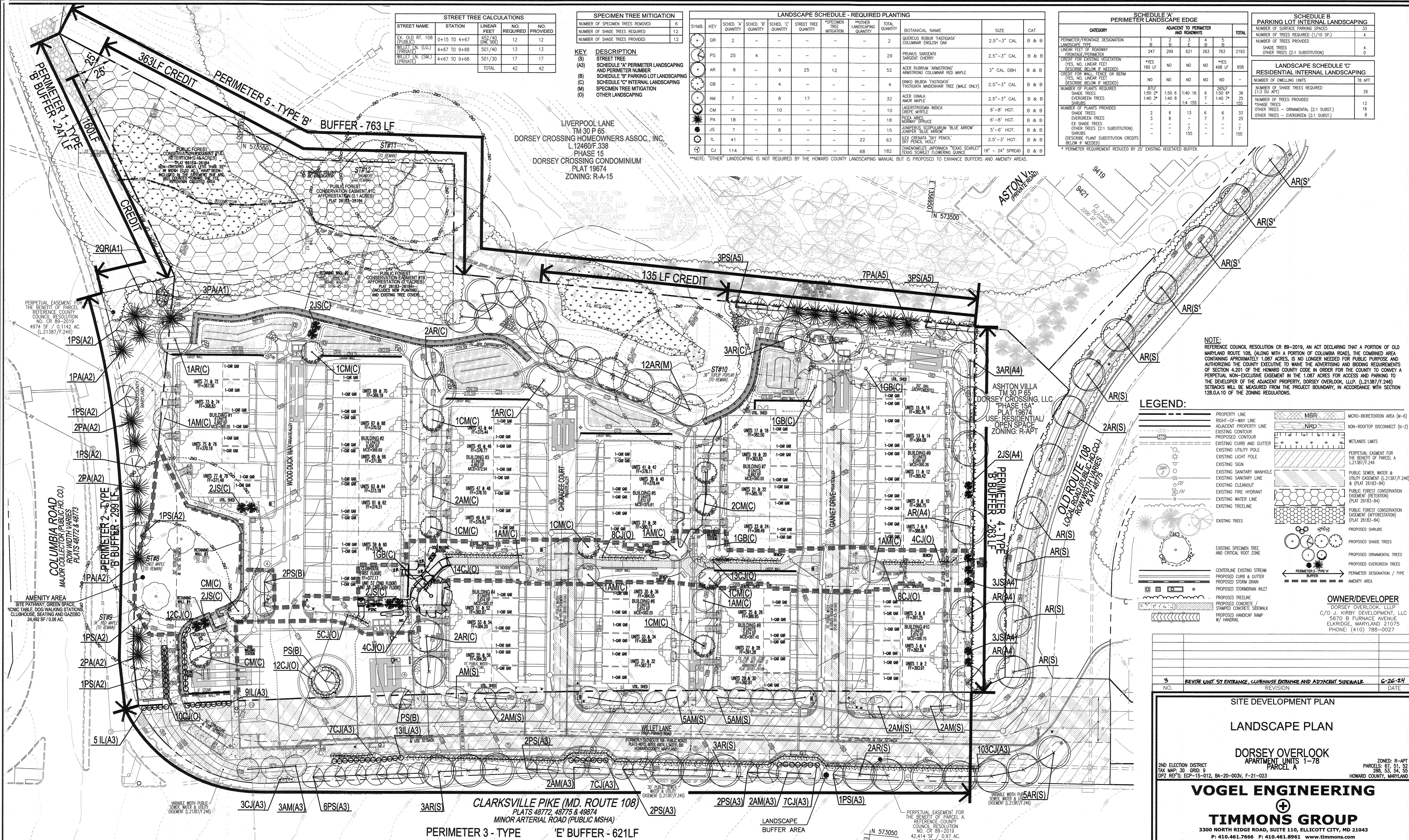
*NOTE: "OTHER" LANDSCAPING IS NOT REQUIRED BY THE HOWARD COUNTY LANDSCAPING MANUAL BUT IS PROPOSED TO ENHANCE BUFFERS AND AMENITY AREAS.

SCHEDULE 'A' PERIMETER LANDSCAPE EDGE						
CATEGORY	ADJACENT TO PERIMETER AND ROADMWAYS					TOTAL
	1	2	3	4	5	
PERIMETER FRONTAGE DESIGNATION	B	B	B	B	B	2193
LANDSCAPE TYPE	247	299	621	263	763	2193
LINEAR FEET OF ROADWAY FRONTAGE PERIMETER	160	160	160	160	160	658
CREDIT FOR EXISTING VEGETATION	YES	NO	NO	NO	YES	498 LF
CREDIT FOR WALL FENCE OR BERM	YES	NO	NO	NO	NO	-
CREDIT FOR EXISTING TREE (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	-
NUMBER OF PLANTS REQUIRED	8/11	1/50	1/50	6	28/11	36
SHADE TREES	1/40	1/40	1/40	7	1/40	25
EVERGREEN TREES	-	-	-	-	-	11
SHRUBS	-	-	-	-	-	15
NUMBER OF PLANTS PROVIDED	2	6	13	6	6	33
SHADE TREES	3	8	-	7	7	25
EVERGREEN TREES	-	-	-	-	-	13
EX SHADE TREES	-	-	-	-	-	18
OTHER TREES (2:1 SUBSTITUTION)	-	-	-	-	-	7
SHRUBS	-	-	-	-	-	155

* PERIMETER REQUIREMENT REDUCED BY 25' EXISTING VEGETATED BUFFER.

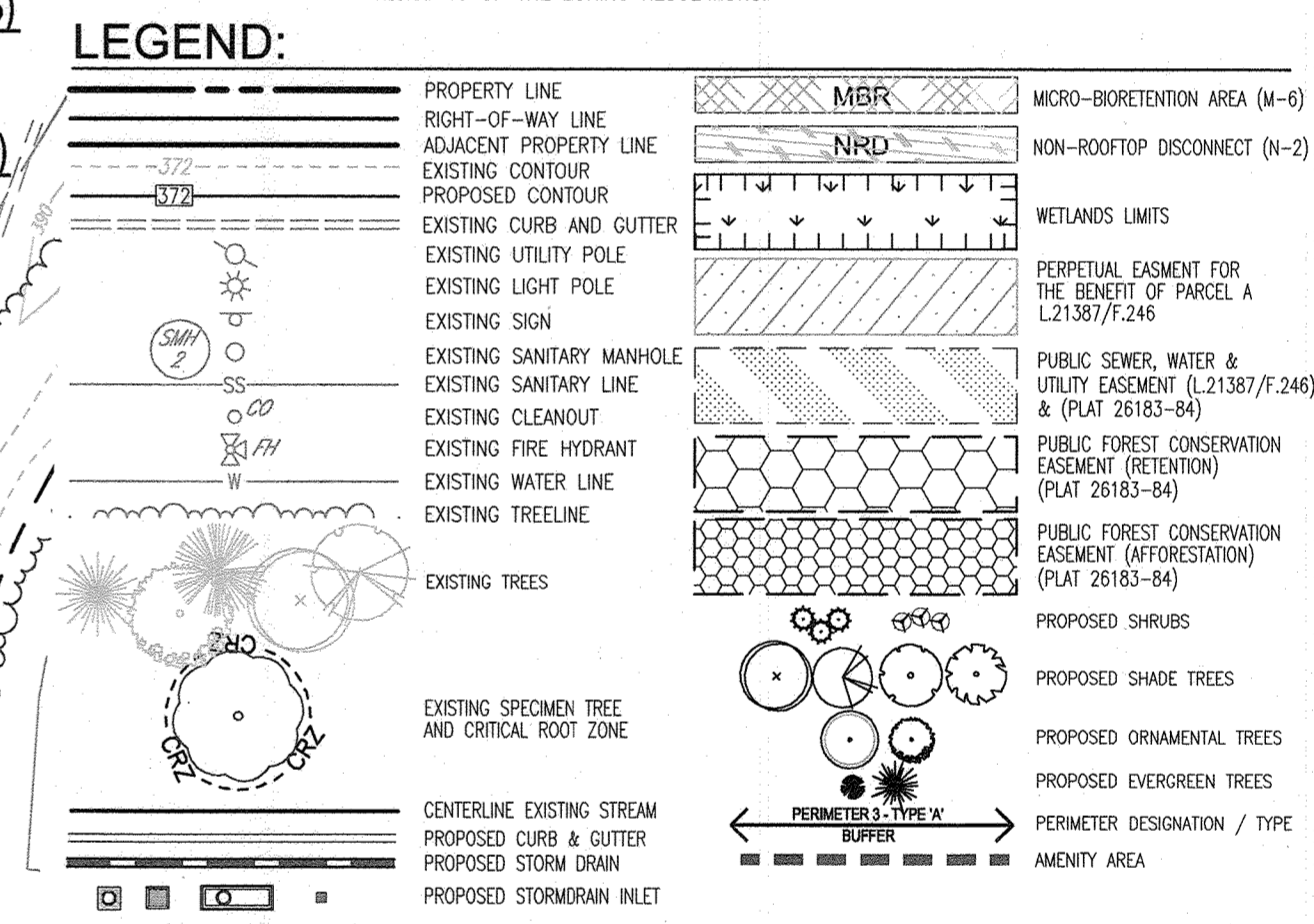
SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF SURFACE PARKING SPACES	33
NUMBER OF TREES REQUIRED (1/10 SP)	4
NUMBER OF TREES PROVIDED	4
SHADE TREES	4
OTHER TREES (2:1 SUBSTITUTION)	0

LANDSCAPE SCHEDULE 'C' RESIDENTIAL INTERNAL LANDSCAPING	
NUMBER OF DWELLING UNITS	78 APT
NUMBER OF SHADE TREES REQUIRED (1:3 DU APT)	26
NUMBER OF TREES PROVIDED	13
SHADE TREES	7
OTHER TREES - ORNAMENTAL (2:1 SUBST.)	18
OTHER TREES - EVERGREEN (2:1 SUBST.)	8



LIVERPOOL LANE
 TM 30 P 65
 DORSEY CROSSING HOMEOWNERS ASSOC., INC.
 L.12460/F.338
 PHASE 15
 DORSEY CROSSING CONDOMINIUM
 PLAT 19674
 ZONING: R-A-15

NOTE:
 REFERENCE COUNCIL RESOLUTION CR 89-2019, AN ACT DECLARING THAT A PORTION OF OLD MARYLAND ROUTE 108, ALONG WITH A PORTION OF COLUMBIA ROAD, THE COMBINED AREA CONTAINING APPROXIMATELY 1.087 ACRES, IS NO LONGER NEEDED FOR PUBLIC PURPOSE AND AUTHORIZING THE COUNTY EXECUTIVE TO WAIVE THE ADVERTISING AND BIDDING REQUIREMENTS OF SECTION 4-201 OF THE HOWARD COUNTY CODE IN ORDER FOR THE COUNTY TO CONVEY A PERPETUAL NON-EXCLUSIVE EASEMENT IN THE 1.087 ACRES FOR ACCESS AND PARKING TO THE DEVELOPER OF THE ADJACENT PROPERTY, DORSEY OVERLOOK, L.L.P. (L21387/F.246) SETBACKS WILL BE MEASURED FROM THE PROJECT BOUNDARY, IN ACCORDANCE WITH SECTION 128.0.4.10 OF THE ZONING REGULATIONS.



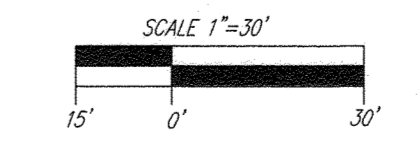
OWNER/DEVELOPER
 DORSEY OVERLOOK, L.L.P.
 C/O J. KIRBY DEVELOPMENT, LLC
 5670 B. FURNACE AVENUE
 ELKRDGE, MARYLAND 21075
 PHONE: (410) 788-0027

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 1/23/2023
 [Signature]
 CHIEF, DEVELOPMENT-ENGINEERING DIVISION
 DATE 1/23/2023
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE 1/24/2023
 DIRECTOR

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
 [Signature]
 SIGNATURE OF DEVELOPER
 DATE 11/14/2022

LANDSCAPE PLAN
 SCALE: 1"=30'
 APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 [Signature]
 CHIEF, BUREAU OF HIGHWAYS
 DATE 1/24/2023

NOTE:
 SEE SHEET 21 FOR LANDSCAPING NOTES, DETAILS, PLANTING RESTORATION AND FOREST CONSERVATION DETAILS.



3
 NO. REVISE UNIT 57 ENTRANCE, CLUBHOUSE ENTRANCE AND ADJACENT SIDEWALK
 REVISION DATE 6-26-24

SITE DEVELOPMENT PLAN
 LANDSCAPE PLAN
 DORSEY OVERLOOK
 APARTMENT UNITS 1-78
 PARCEL A

2ND ELECTION DISTRICT
 TAX MAP: 30 GRID: 9
 DPZ REF'S: ECP-15-012, BA-20-003V, F-21-023

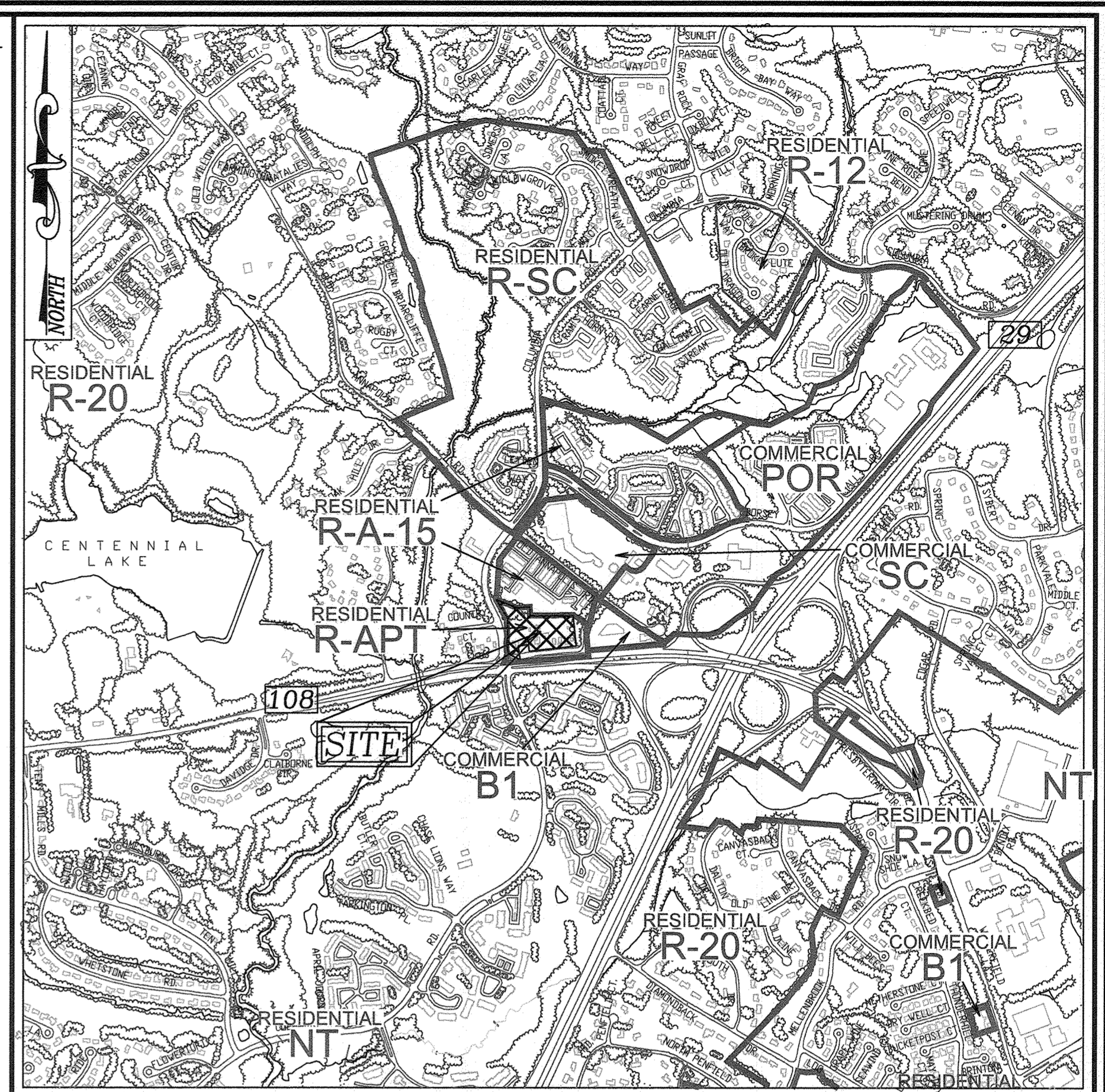
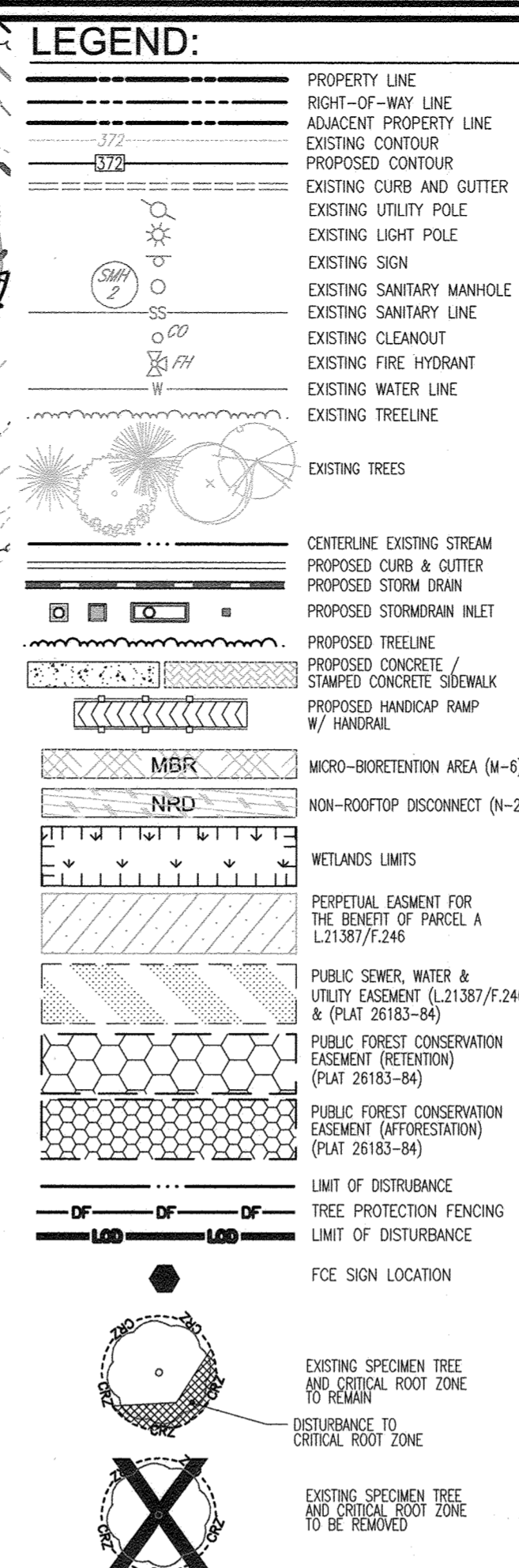
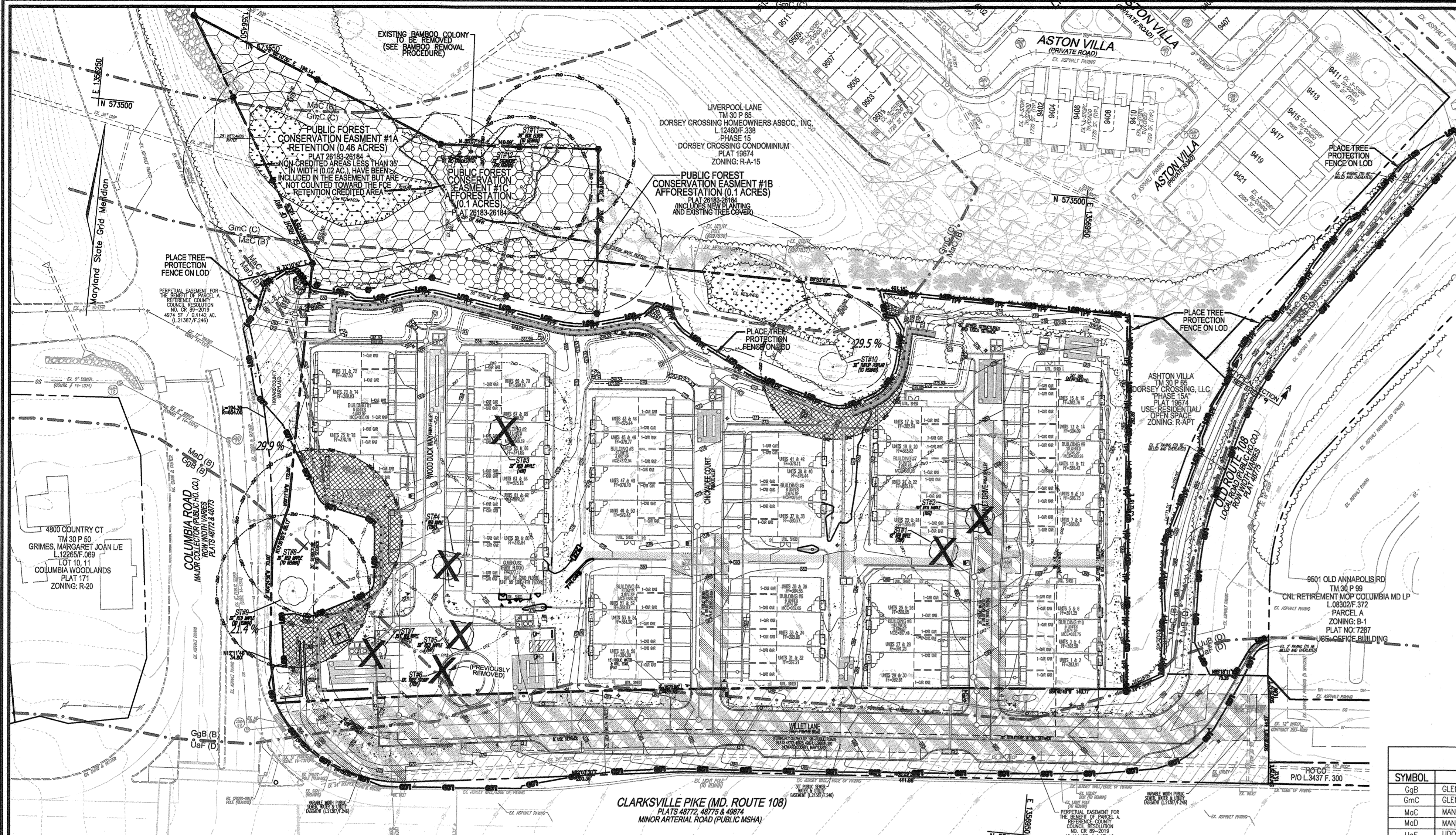
ZONED: R-APT
 PARCELS: 67, 51, 70, 288, 53, 54, 55
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

TIMMONS GROUP
 PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16193 EXPIRATION DATE: 09-27-2024

DESIGN BY: DZE/RHV
 DRAWN BY: DZE/JR/KG
 CHECKED BY: RHV
 DATE: NOVEMBER 2022
 SCALE: AS SHOWN
 W.O. NO.: 12-69

19 SHEET OF 30



BENCHMARKS table with columns for benchmark name, coordinates, and elevation. Includes 'HOWARD COUNTY BENCHMARK - 300A' and 'HOWARD COUNTY BENCHMARK - 300B'.

SOILS LEGEND - MAP #18 table with columns for symbol, name/description, group, hydric, k factor, erodible, and prime farmland. Includes soil types like 'GLENELO LOAM' and 'GLENNVILLE SILT LOAM'.

FOREST CONSERVATION AREA SIGNS: Three panels detailing 'SPECIMEN TREE' signs, 'FOREST RETENTION AREA' signs, and 'FOREST CONSERVATION AREA' signs, including instructions on placement and maintenance.

FOREST CONSERVATION PLAN: SCALE: 1"=50'

SPECIMEN TREE TABLE: Table with columns for key, species, size, CRZ, comments, and total. Lists trees like 'RED MAPLE', 'BETULA NIGRA', and 'TULIP POPLAR'.

AFFORESTATION PLANTING SCHEDULE: Table detailing 'EASEMENT #1B: 0.1 AC. (AFFORESTATION) @ 200 TREES/AC. = 20 TREES' and 'EASEMENT #1C: 0.1 AC. (AFFORESTATION) @ 200 TREES/AC. = 20 TREES'.

GENERAL NOTES: A list of 11 notes regarding wetlands, forest retention, and construction requirements. Includes 'WATERSHED NAME: LITTLE PATUXENT RIVER'.

FOREST CONSERVATION EASEMENT TABLE: Summary table with columns for easement, credited, non-credited, reforestation, afforestation, and total.

FOREST RETENTION AREAS AND NOTES: Table with columns for retention, reforestation, and total, detailing specific areas and their management.

NOTE: 1. BOTTOM OF SIGNS TO BE HIGHER THAN TOP OF TREE PROTECTION FENCE. 2. SIGNS TO BE PLACED APPROXIMATELY 50-100 FEET APART...

SEQUENCE OF CONSTRUCTION-FOREST CONSERVATION: 1. PRECONSTRUCTION MEETING / SITE WALK WITH CONTRACTORS... 2. STAKE OUT LIMITS OF DISTURBANCE AND TREE PROTECTION FENCING LOCATIONS...

CONSTRUCTION PERIOD PROTECTION AND MANAGEMENT NOTES FOR FOREST CONSERVATION: PRE-CONSTRUCTION PHASE, CONSTRUCTION PHASE, POST-CONSTRUCTION PHASE.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Chief, Development Engineering Division: Chad Anderson, dated 1/23/2023.

NOTE: SEE SHEET 21 FOR LANDSCAPING AND PLANTING NOTES AND DETAILS, TREE PROTECTION, RESTORATION AND FOREST CONSERVATION NOTES AND DETAILS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS. Chief, Bureau of Highways: Dave, dated 1/24/2023.

FOREST CONSERVATION WORKSHEET DORSEY OVERLOOK

Net Tract Area, Land Use Category, Existing Forest Cover, Break Even Point, Proposed Forest Clearing, Planting Requirements Inside Watershed, Planting Requirements Outside Watershed.

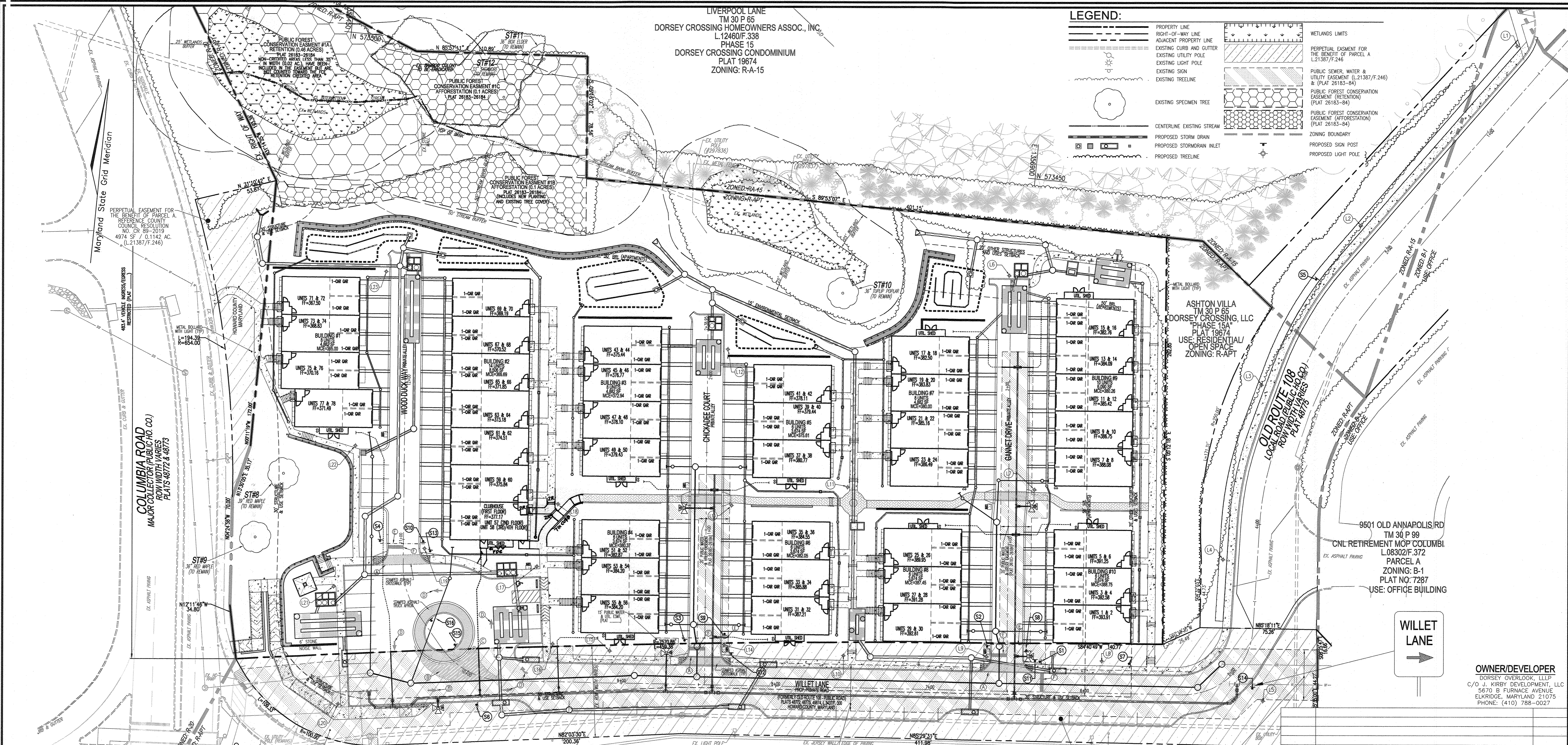
PROCEDURE FOR BAMBOO REMOVAL: 1. CUT ALL BAMBOO CULMS (SHOOTS) TO THE GROUND. 2. ALLOW BAMBOO REGROWTH TO REACH 12" AND TREAT THE RE-GROWTH WITH AN HERBICIDE...

PROCEDURE FOR WELL ABANDONMENT: WELLS TO BE ABANDONED IN ACCORDANCE WITH HEALTH DEPARTMENT REQUIREMENTS AS PART OF THE CONSTRUCTION, INCLUDING THE FOLLOWING: 1. CUT AND REMOVE ALL ONSITE WELL PIPING...

Table with columns for revision number, description, and date. Includes 'REVISION 57 ENTRANCE, CLOTHESLINE ENTRANCE AND ADJACENT SIDEWALK'.

SITE DEVELOPMENT PLAN: FOREST CONSERVATION PLAN. Includes 'DORSEY OVERLOOK APARTMENT UNITS 1-78', 'VOGEL ENGINEERING', and 'TIMMONS GROUP'.

Eco-Science Professionals, Inc. CONSULTING ECOLOGISTS. J. Brody McAllister, ISA Certified Arbolist.



LIVERPOOL LANE
 TM 30 P 65
 DORSEY CROSSING HOMEOWNERS ASSOC., INC.
 L12460/F.338
 PHASE 15
 DORSEY CROSSING CONDOMINIUM
 PLAT 19674
 ZONING: R-A-15

CLARKSVILLE PIKE (MD. ROUTE 108)
 PLATS 48772, 48775 & 49874
 MINOR ARTERIAL ROAD (PUBLIC MSHA)

WILLET LANE

ASHTON VILLA
 TM 30 P 65
 DORSEY CROSSING, LLC
 PHASE 15A
 PLAT 19674
 USE: RESIDENTIAL/
 OPEN SPACE
 ZONING: R-APT

9501 OLD ANNAPOLIS RD
 TM 30 P 99
 CNL RETIREMENT MOP COLUMBI
 L.08302/F.372
 PARCEL A
 ZONING: B-1
 PLAT NO. 7287
 USE: OFFICE BUILDING

LEGEND:

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING TREETRUNK
- EXISTING SPECIMEN TREE
- CENTERLINE EXISTING STREAM
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- PROPOSED TREETRUNK

WETLANDS LIMITS

- PERPETUAL EASEMENT FOR THE BENEFIT OF PARCEL A (L21387/F.246)
- PUBLIC SEWER, WATER & UTILITY EASEMENT (L21387/F.246) & (PLAT 26183-84)
- PUBLIC FOREST CONSERVATION EASEMENT (RESTRICTION) (PLAT 26183-84)
- PUBLIC FOREST CONSERVATION EASEMENT (AFFORESTATION) (PLAT 26183-84)

ZONING BOUNDARY

- PROPOSED SIGN POST
- PROPOSED LIGHT POLE

CLARKSVILLE PIKE (MD. ROUTE 108)
 PLATS 48772, 48775 & 49874
 MINOR ARTERIAL ROAD (PUBLIC MSHA)

WILLET LANE
 PROP. PRIVATE ROAD
 PLATS 48772, 48775 & 49874
 HOWARD COUNTY, MARYLAND

ASHTON VILLA
 TM 30 P 65
 DORSEY CROSSING, LLC
 PHASE 15A
 PLAT 19674
 USE: RESIDENTIAL/
 OPEN SPACE
 ZONING: R-APT

9501 OLD ANNAPOLIS RD
 TM 30 P 99
 CNL RETIREMENT MOP COLUMBI
 L.08302/F.372
 PARCEL A
 ZONING: B-1
 PLAT NO. 7287
 USE: OFFICE BUILDING

SIGNAGE LOCATION CHART

NO.	NORTHINGS	EASTINGS	TYPE
S1	573,139.89	1,356,034.55	"STOP" SIGN MUTCD R1-1
S2	573,146.16	1,356,889.60	"STOP" SIGN MUTCD R1-1
S3	573,130.47	1,356,704.31	"STOP" SIGN MUTCD R1-1
S4	573,174.79	1,356,503.12	"STOP" SIGN MUTCD R1-1
S5	573,403.49	1,357,087.50	W1-1R W/ W13-1 "10 MPH" PLATE BELOW *
S6	573,075.69	1,356,574.47	"NO NOT ENTER" SIGN MUTCD R5-1
S7	573,144.38	1,356,992.22	"SPEED LIMIT 15" SIGN MUTCD R2-1
S8	573,146.33	1,356,925.15	"SPEED LIMIT 15" SIGN MUTCD R2-1/NO OUTLET MUTCD W14-2
S9	573,135.87	1,356,729.76	"SPEED LIMIT 15" SIGN MUTCD R2-1/NO OUTLET MUTCD W14-2
S10	573,177.45	1,356,529.57	"SPEED LIMIT 15" SIGN MUTCD R2-1/NO OUTLET MUTCD W14-2
S11	573,177.45	1,356,529.57	STREET SIGN "GANNETT DR" AND "WILLET LN"
S12	573,124.74	1,356,735.27	STREET SIGN "CHICKADEE CT" AND "WILLET LN"
S13	573,171.41	1,356,634.24	STREET SIGN "WOODDUCK WAY" AND "WILLET LN"
S14	573,136.37	1,357,073.23	"WILLET LN" W/ ARROW RIGHT (WHITE/BROWN)
S15	573,114.31	1,356,557.18	RS-4 DOUBLE CHEVRON
S16	573,128.61	1,356,542.80	RS-4 DOUBLE CHEVRON

PAVEMENT MARKING LEGEND

- ① HOWARD COUNTY CROSSWALK
- ② 10" WIDE YELLOW HATCH MARKINGS-PAINT
- ③ 5" SOLID YELLOW PAINT LINE
- ④ LANE ARROWS
- ⑤ PVC STREET LIGHT CONDUIT LOCATIONS (4" PVC SCHD 40 S/PULL STRING)
- ⑥ STOP BAR (2'x10' ALLEYS/2'x12' WILLET LN)

NOTE:
 SEE SHEET 8 OF 30 FOR MSHA CROSSWALK DETAIL.

NOTE:
 REFERENCE COUNCIL RESOLUTION OR 89-2019, AN ACT DECLARING THAT A PORTION OF OLD MARYLAND ROUTE 108 (ALONG WITH A PORTION OF COLUMBIA ROAD), THE COMBINED AREA CONTAINING APPROXIMATELY 1.087 ACRES, IS NO LONGER NEEDED FOR PUBLIC PURPOSE AND AUTHORIZING THE COUNTY EXECUTIVE TO WAIVE THE ADVERTISING AND BIDDING REQUIREMENTS OF SECTION 4.201 OF THE HOWARD COUNTY CODE IN ORDER FOR THE COUNTY TO CONVEY A PERPETUAL, NON-EXCLUSIVE EASEMENT IN THE 1.087 ACRES FOR ACCESS AND PARKING TO THE DEVELOPER OF THE ADJACENT PROPERTY, DORSEY OVERLOOK, L.L.P. (L21387/F.246) SETBACKS WILL BE MEASURED FROM THE PROJECT BOUNDARY, IN ACCORDANCE WITH SECTION 128.0A.10 OF THE ZONING REGULATIONS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 1/23/2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 1/24/2023

CHIEF, DEVELOPMENT ENGINEERING DIVISION
 1/23/2023

CHIEF, DIVISION OF LAND DEVELOPMENT
 1/24/2023

DIRECTOR
 DATE

3 NO. **REVISE UNIT 97 ENTRANCE, CLUBHOUSE ENTRANCE AND ADJACENT SIDEWALK** **G-26-24** DATE

SITE DEVELOPMENT PLAN

LIGHTING, SIGNAGE AND STRIPING PLAN

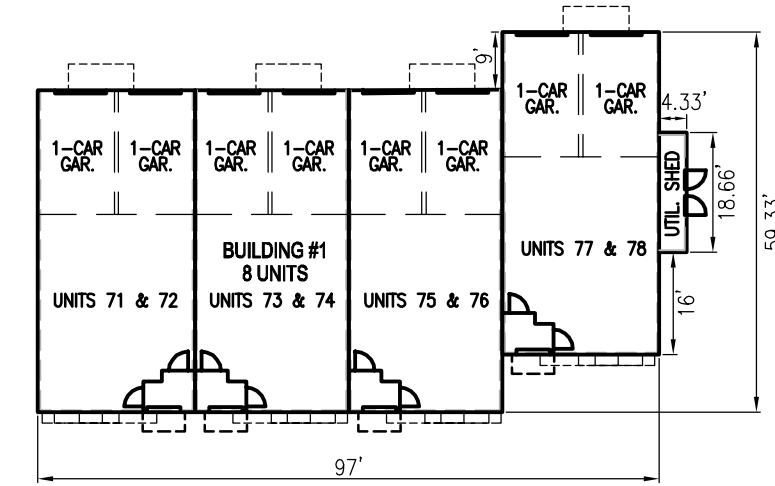
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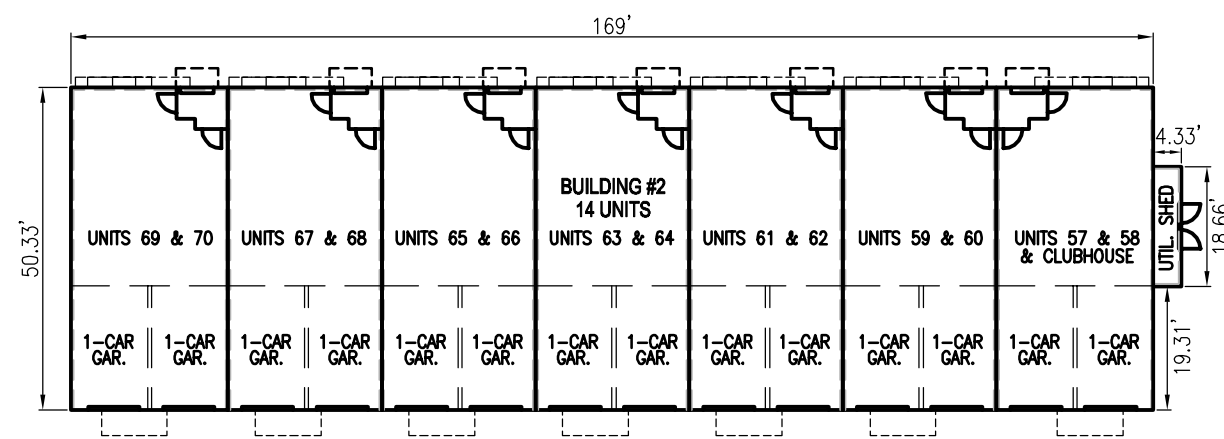
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 EXPIRATION DATE: 09-27-2023

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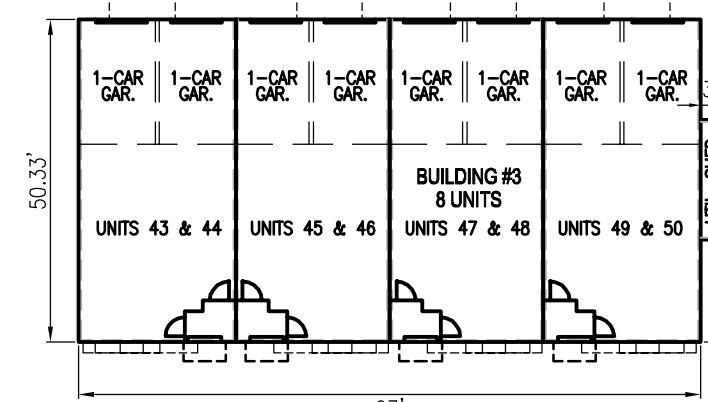
22 SHEET **30**
 OF



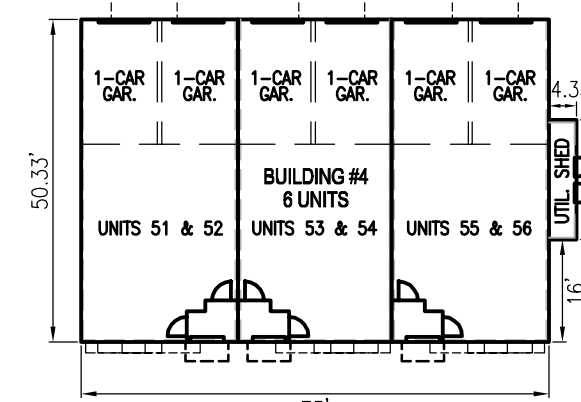
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SCALE: 1"=30'



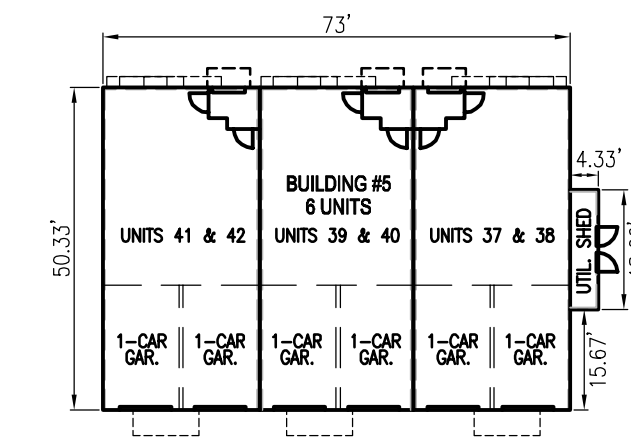
BUILDING #2
SCALE: 1"=30'



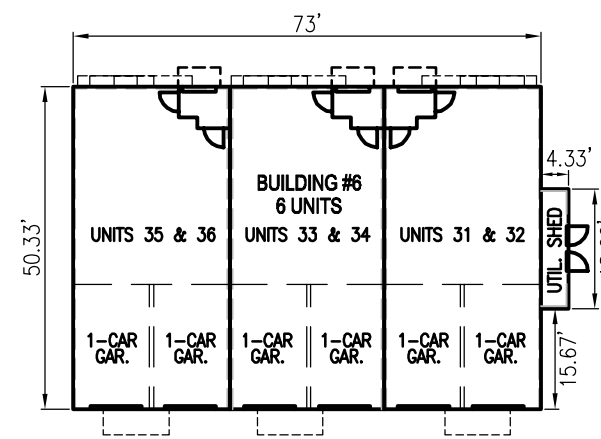
BUILDING #3
SCALE: 1"=30'



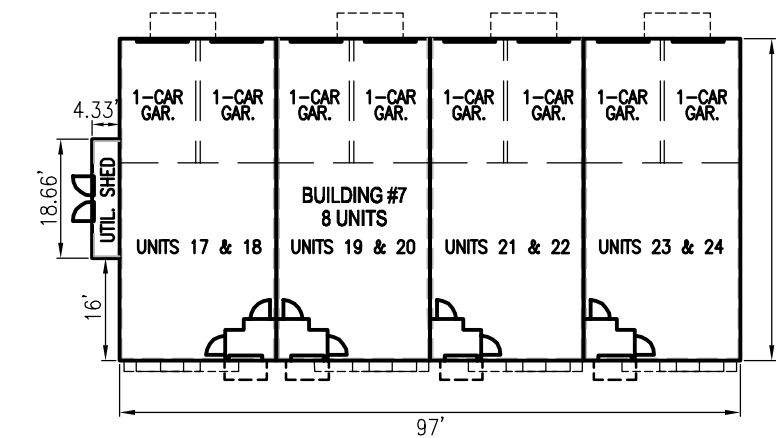
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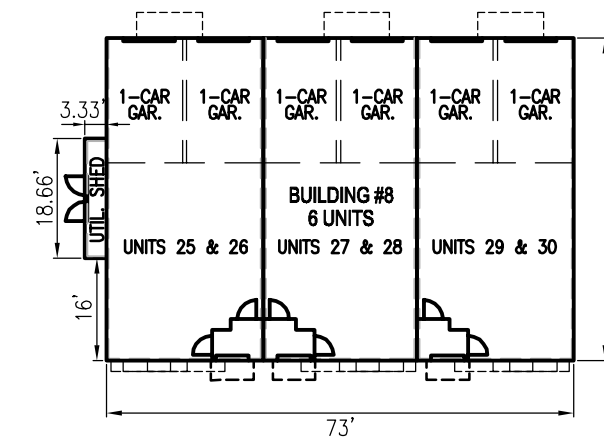
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SCALE: 1"=30'



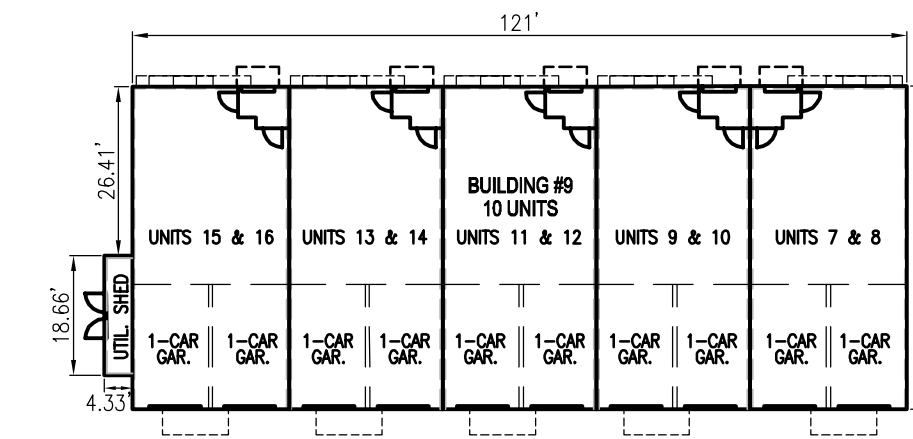
BUILDING #6
SCALE: 1"=30'



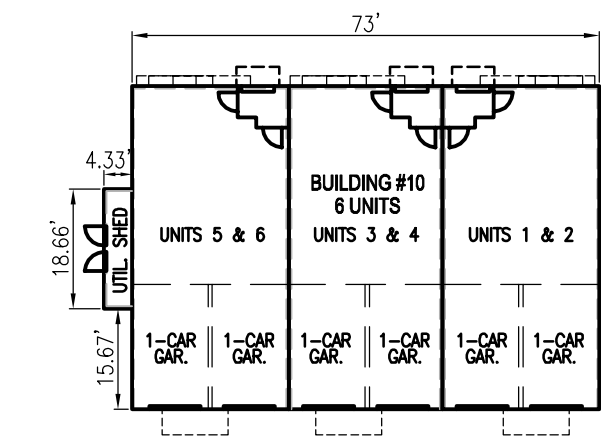
BUILDING #7
SCALE: 1"=30'



BUILDING #8
SCALE: 1"=30'



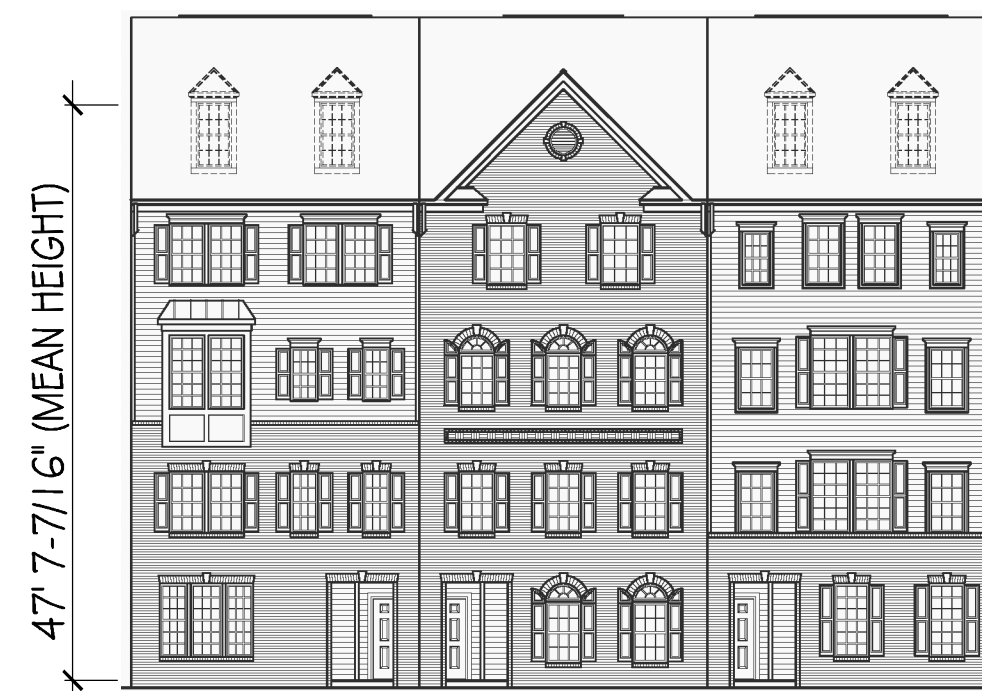
BUILDING #9
SCALE: 1"=30'



BUILDING #10
SCALE: 1"=30'

TOWNHOUSE GARAGE STEPS CHART			
BUILDING	UNIT	ADD'L STEPS IN GARAGE	
1	71/72	1	
	73/74	1	
	75/76	0	
	77/78	1	
2	57/58	2	
	59/60	2	
	61/62	2	
	63/64	2	
	65/66	2	
	67/68	2	
3	69/70	2	
	43/44	2	
	45/46	1	
	47/48	1	
4	49/50	0	
	51/52	0	
	53/54	0	
5	55/56	0	
	37/38	2	
	39/40	2	
6	41/42	2	
	31/32	2	
	33/34	2	
7	35/36	2	
	17/18	1	
	19/20	1	
8	21/22	1	
	23/24	0	
	25/26	1	
9	27/28	0	
	29/30	0	
	7/8	2	
10	9/10	2	
	11/12	2	
	13/14	2	
	15/16	2	
10	1/2	1	
	3/4	2	
	5/6	2	

*EACH TOWNHOUSE SHALL HAVE A MINIMUM OF 1 STEP IN GARAGE (4" HT). THIS CHART INDICATE ADDITIONAL STEPS (6" HT).



FRONT ELEVATION
BUILDING #4, 5, 6, 8, & 10
(INDIVIDUAL UNIT ELEVATIONS MAY VARY)
NOT TO SCALE



FRONT ELEVATION
BUILDING #1, 3 & 7
(INDIVIDUAL UNIT ELEVATIONS MAY VARY)
NOT TO SCALE



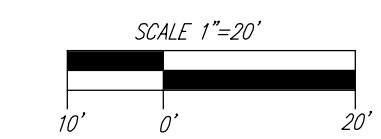
FRONT ELEVATION
BUILDING #9
(INDIVIDUAL UNIT ELEVATIONS MAY VARY)
NOT TO SCALE



FRONT ELEVATION
BUILDING #2
(INDIVIDUAL UNIT ELEVATIONS MAY VARY)
NOT TO SCALE

OWNER/DEVELOPER
DORSEY OVERLOOK, LLLP
C/O J. KIRBY DEVELOPMENT, LLC
5870 S FURNACE AVENUE
ELKDRIDGE, MARYLAND 21075
PHONE: (410) 788-0027

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
1/23/2023
Chris Edmondson
7063754EF41493
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE 1/23/2023
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE 1/24/2023
Amy Groman
56405008470C1D4
DIRECTOR DATE



NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
BUILDING FOOTPRINTS AND ELEVATIONS

DORSEY OVERLOOK
APARTMENT UNITS 1-78
PARCEL A

2ND ELECTION DISTRICT
TAX MAP: 30 GRID: 9
DPZ REF'S: ECP-15-012, BA-20-003V, F-21-023

ZONED: R-4PT
PARCELS: 67, 51, 52
288, 53, 54, 55
HOWARD COUNTY, MARYLAND

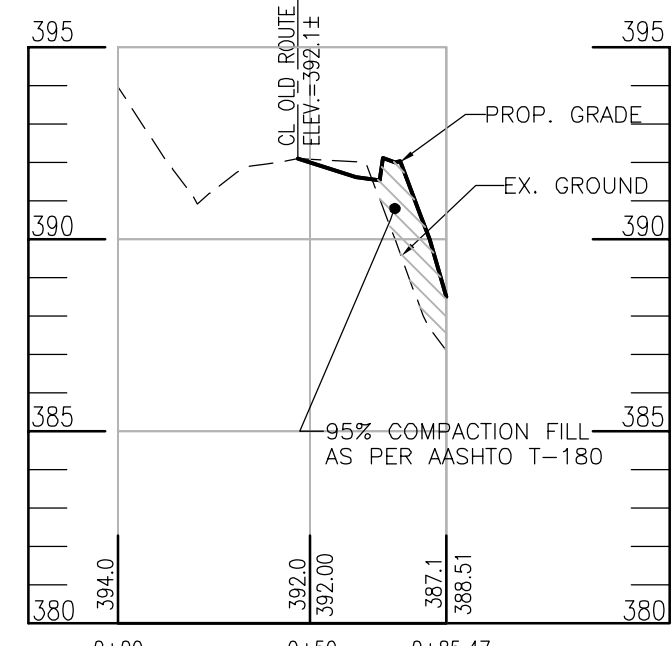
VOGEL ENGINEERING
TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

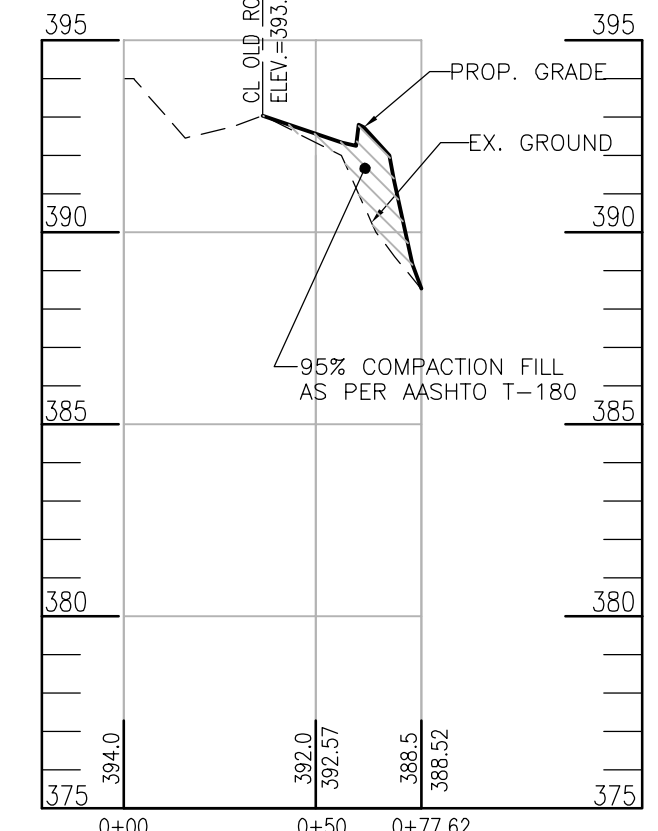
DESIGN BY: DZE/RHV
DRAWN BY: DZE/JR/KG
CHECKED BY: RHV
DATE: NOVEMBER 2022
SCALE: AS SHOWN
W.O. NO.: 12-69

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

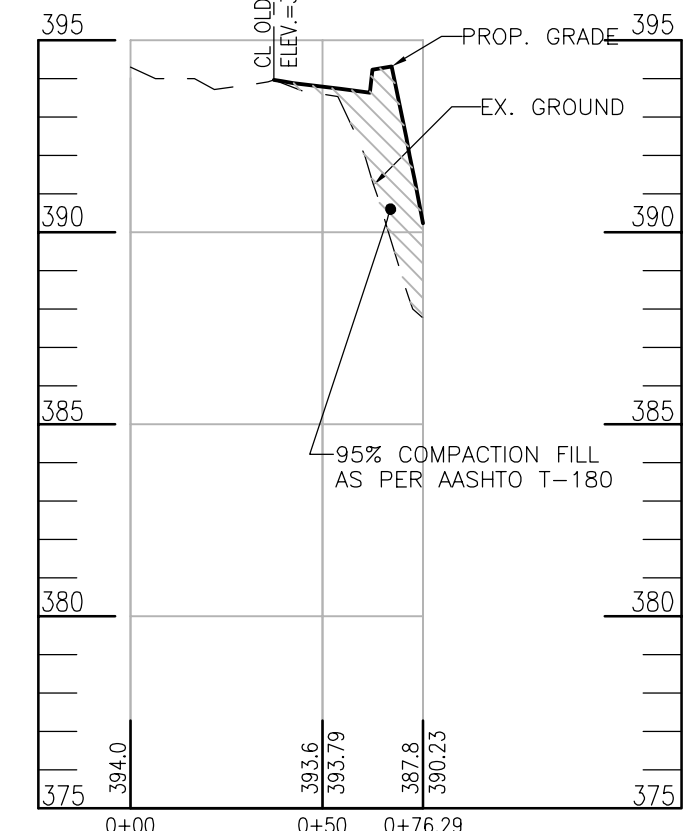
23 OF **30**



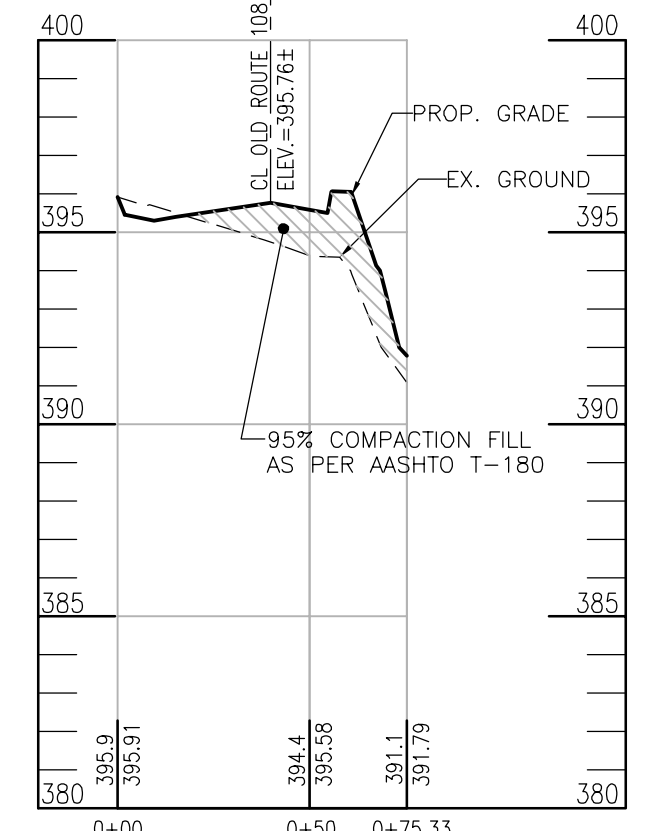
SECTION @ STA. 0+00
SCALE: 1"=50' HORIZ.
1"=5' VERT.



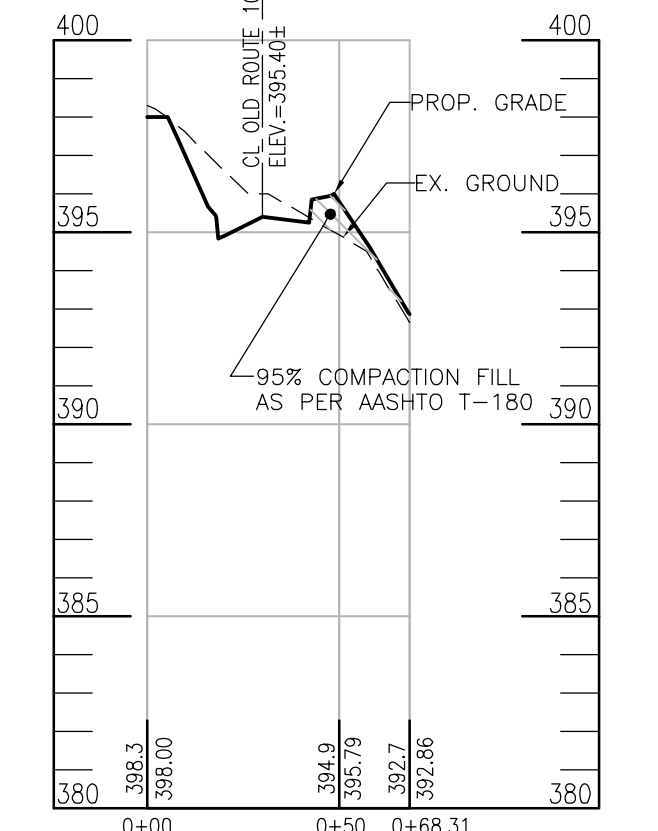
SECTION @ STA. 0+50
SCALE: 1"=50' HORIZ.
1"=5' VERT.



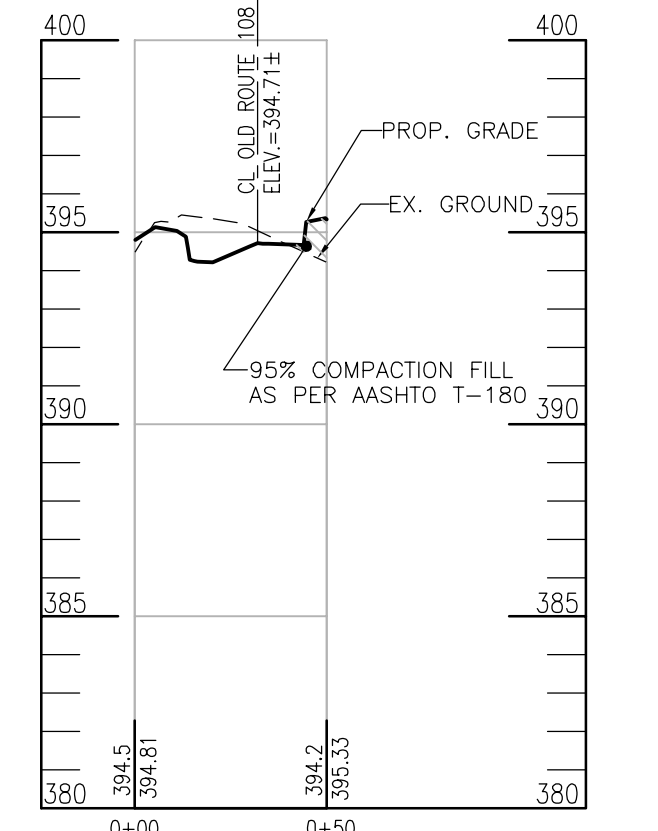
SECTION @ STA. 1+00
SCALE: 1"=50' HORIZ.
1"=5' VERT.



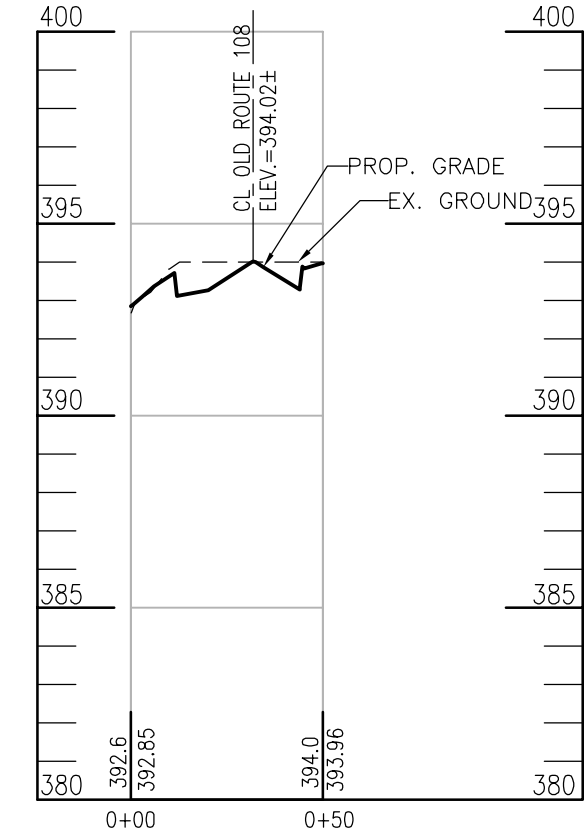
SECTION @ STA. 1+50
SCALE: 1"=50' HORIZ.
1"=5' VERT.



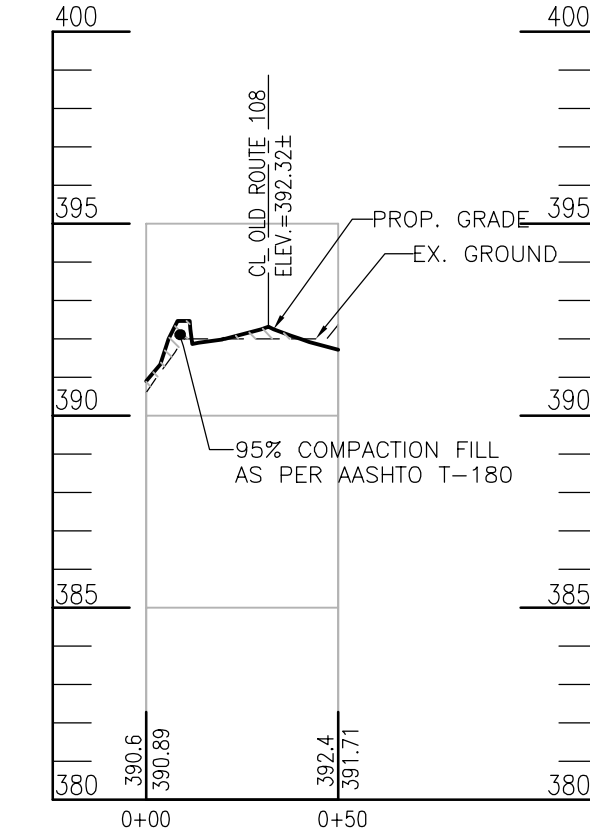
SECTION @ STA. 2+00
SCALE: 1"=50' HORIZ.
1"=5' VERT.



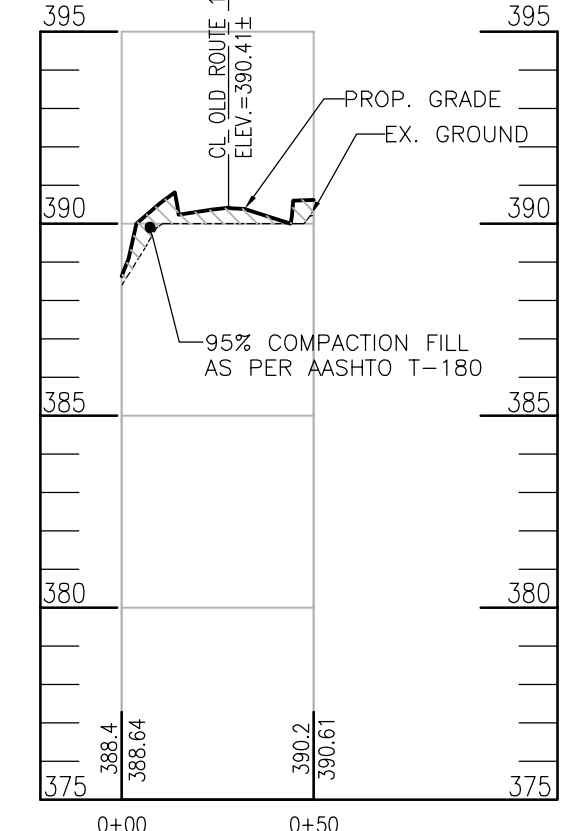
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SCALE: 1"=50' HORIZ.
1"=5' VERT.



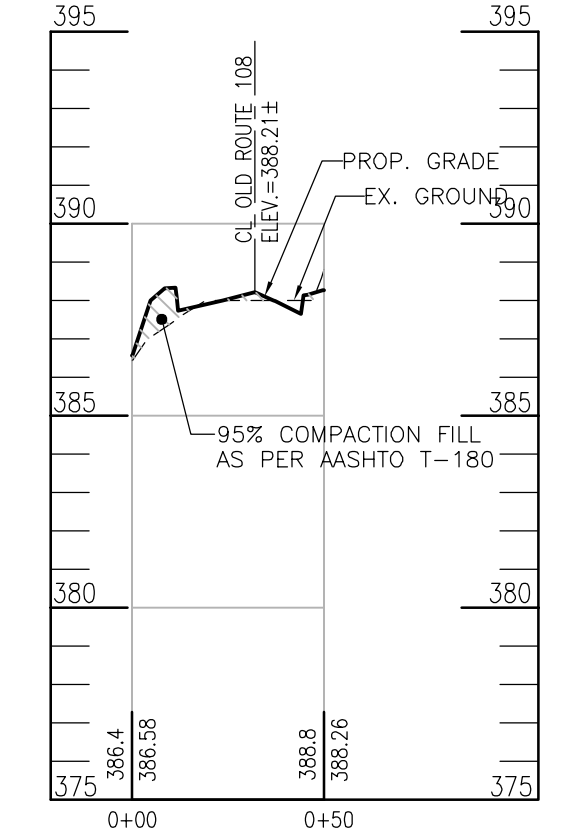
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SCALE: 1"=50' HORIZ.
1"=5' VERT.



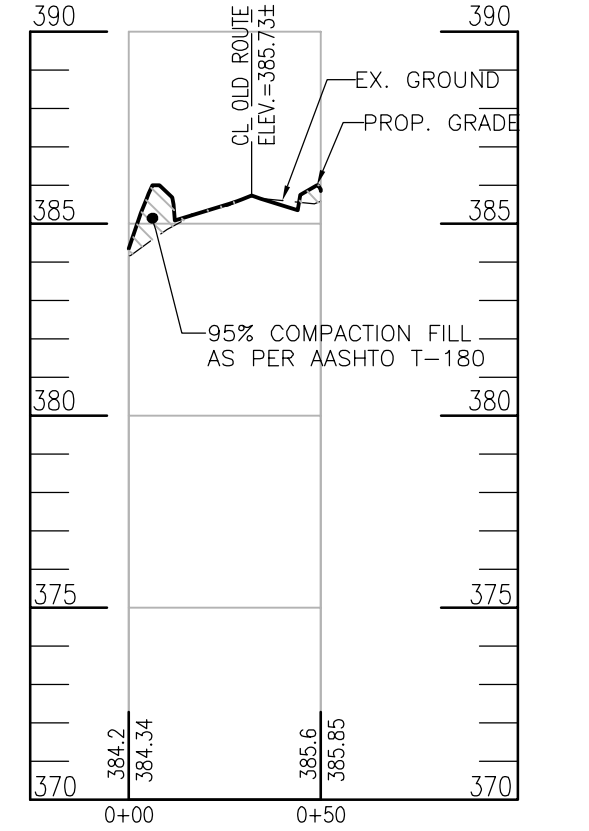
SECTION @ STA. 3+50
SCALE: 1"=50' HORIZ.
1"=5' VERT.



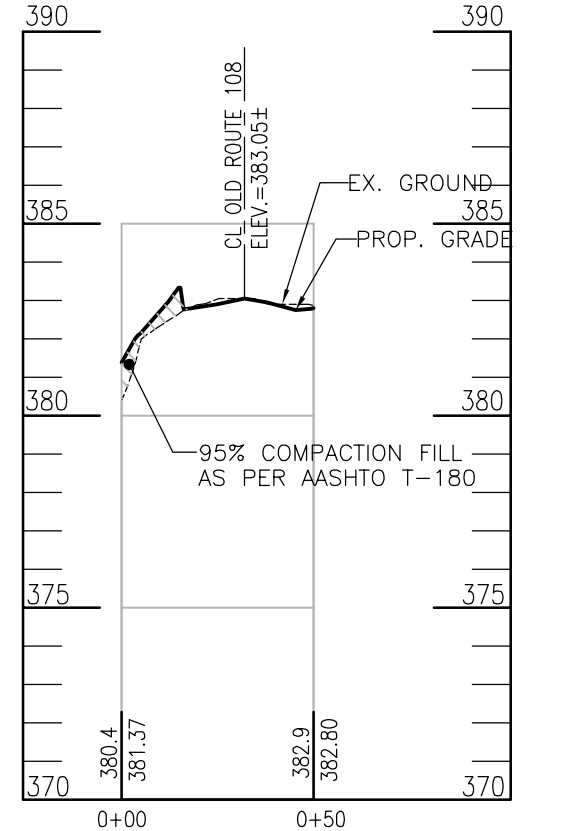
SECTION @ STA. 4+00
SCALE: 1"=50' HORIZ.
1"=5' VERT.



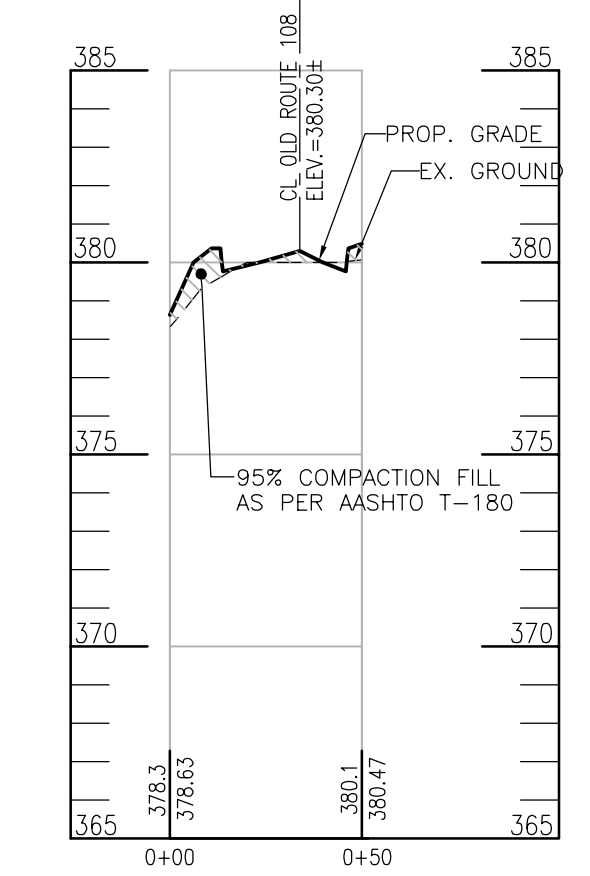
SECTION @ STA. 4+50
SCALE: 1"=50' HORIZ.
1"=5' VERT.



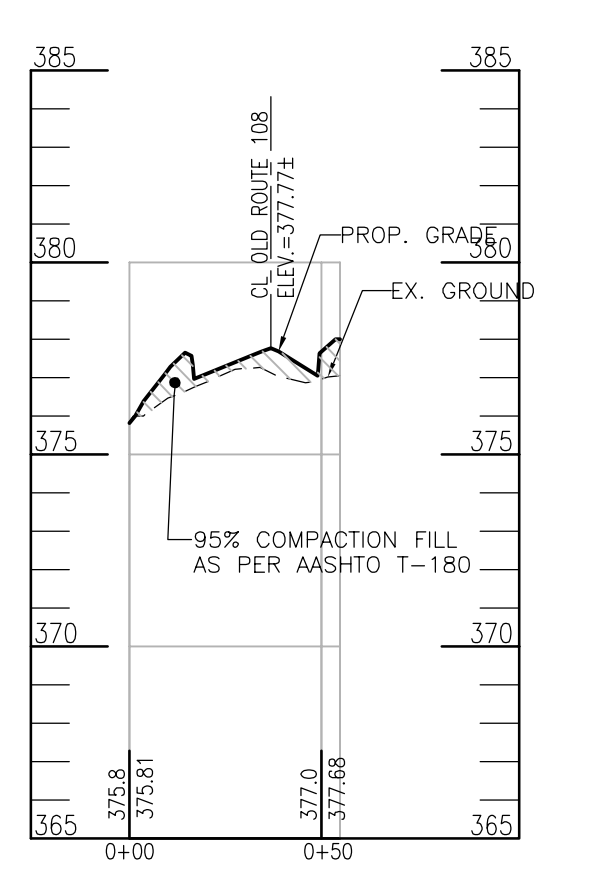
SECTION @ STA. 5+00
SCALE: 1"=50' HORIZ.
1"=5' VERT.



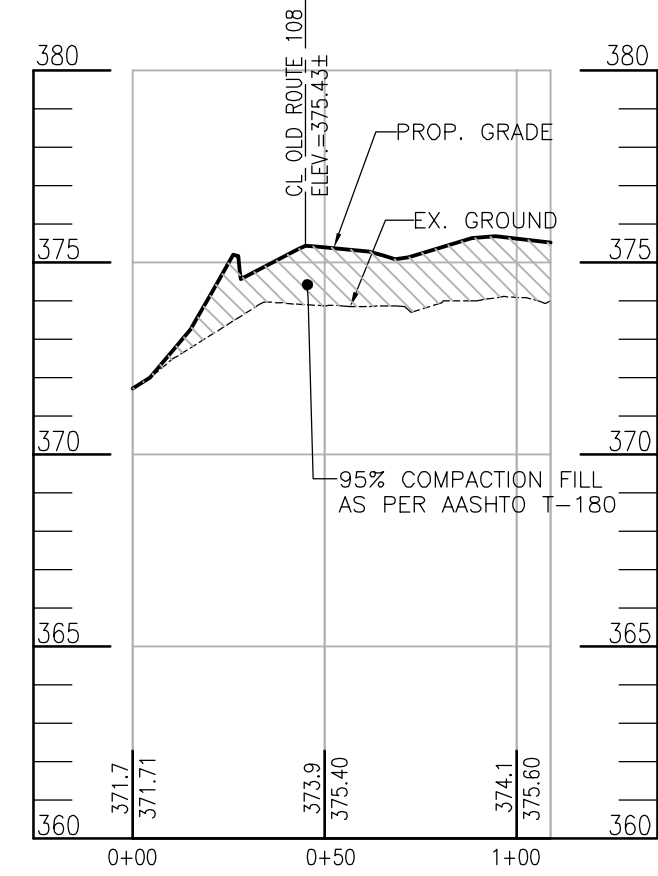
SECTION @ STA. 5+50
SCALE: 1"=50' HORIZ.
1"=5' VERT.



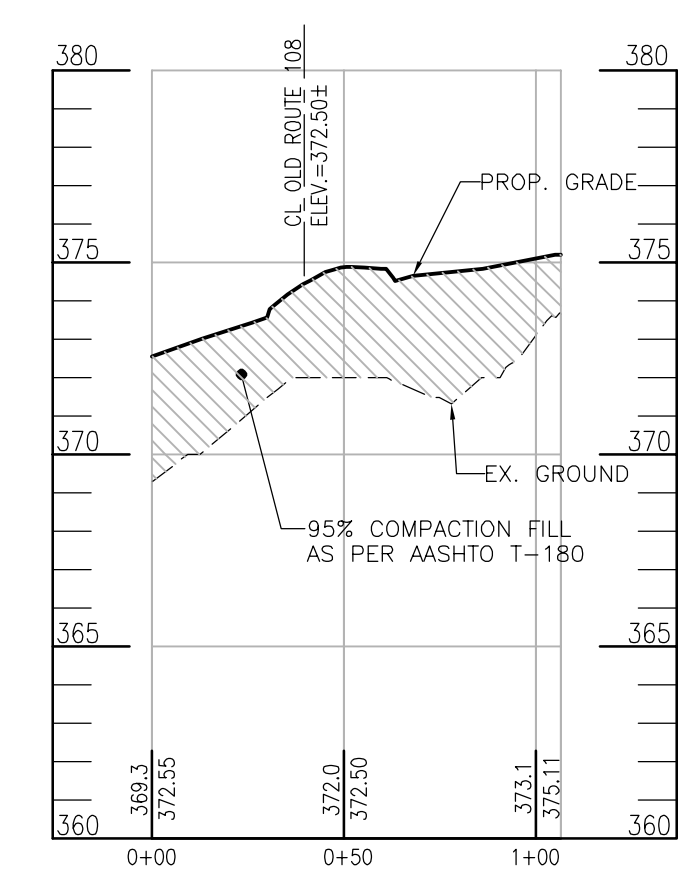
SECTION @ STA. 6+00
SCALE: 1"=50' HORIZ.
1"=5' VERT.



SECTION @ STA. 6+50
SCALE: 1"=50' HORIZ.
1"=5' VERT.



SECTION @ STA. 7+00
SCALE: 1"=50' HORIZ.
1"=5' VERT.



SECTION @ STA. 7+50
SCALE: 1"=50' HORIZ.
1"=5' VERT.

OWNER/DEVELOPER
DORSEY OVERLOOK, LLLP
C/O J. KIRBY DEVELOPMENT, LLC
5870 S FURNACE AVENUE
ELKRIDGE, MARYLAND 21075
PHONE: (410) 788-0027

NO.	REVISION	DATE

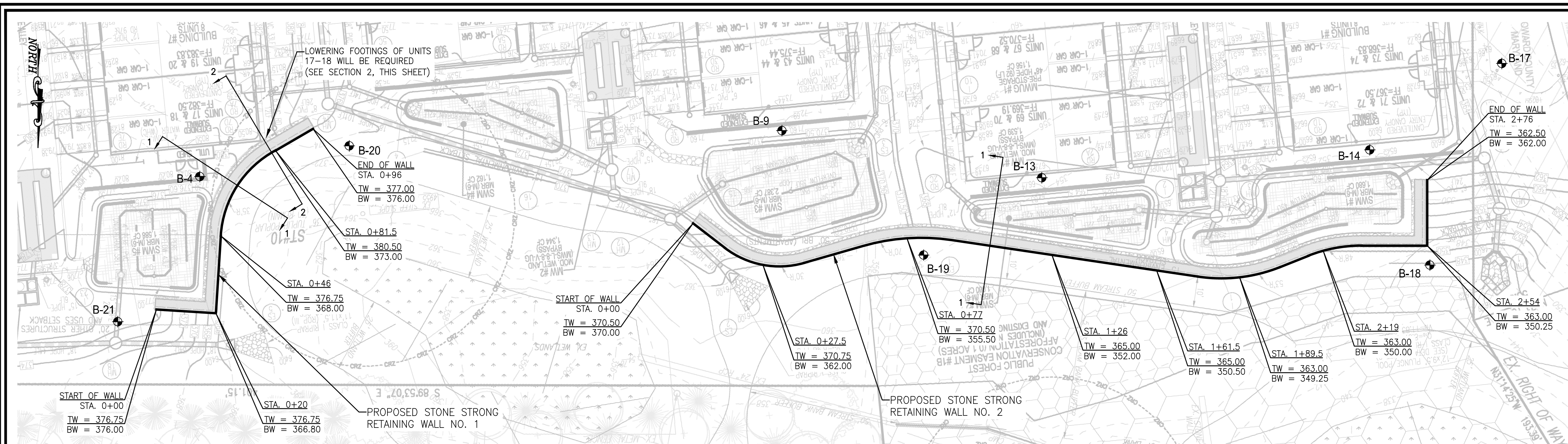
SITE DEVELOPMENT PLAN
OLD ROUTE 108 CROSS SECTIONS
DORSEY OVERLOOK
APARTMENT UNITS 1-78
PARCEL A
2ND ELECTION DISTRICT
TAX MAP: 30 GRID: 9
DPZ REF'S: ECP-15-012, BA-20-003V, F-21-023
ZONED: R-4PT
PARCELS: 67, 51, 52
288, 53, 54, 55
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

	DESIGN BY: DZE/RHV	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024
	DRAWN BY: DZE/JR/KG	
	CHECKED BY: RHV	
	DATE: NOVEMBER 2022	
SCALE: AS SHOWN	W.O. NO.: 12-69	PROFESSIONAL CERTIFICATE 24 OF 30

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
1/23/2023
Chief, Development Engineering Division
DATE: 1/23/2023
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 1/24/2023
DIRECTOR

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
1/24/2023
Chief, Bureau of Highways
DATE: 1/24/2023



RETAINING WALL NOS. 1 & 2 PLAN VIEW

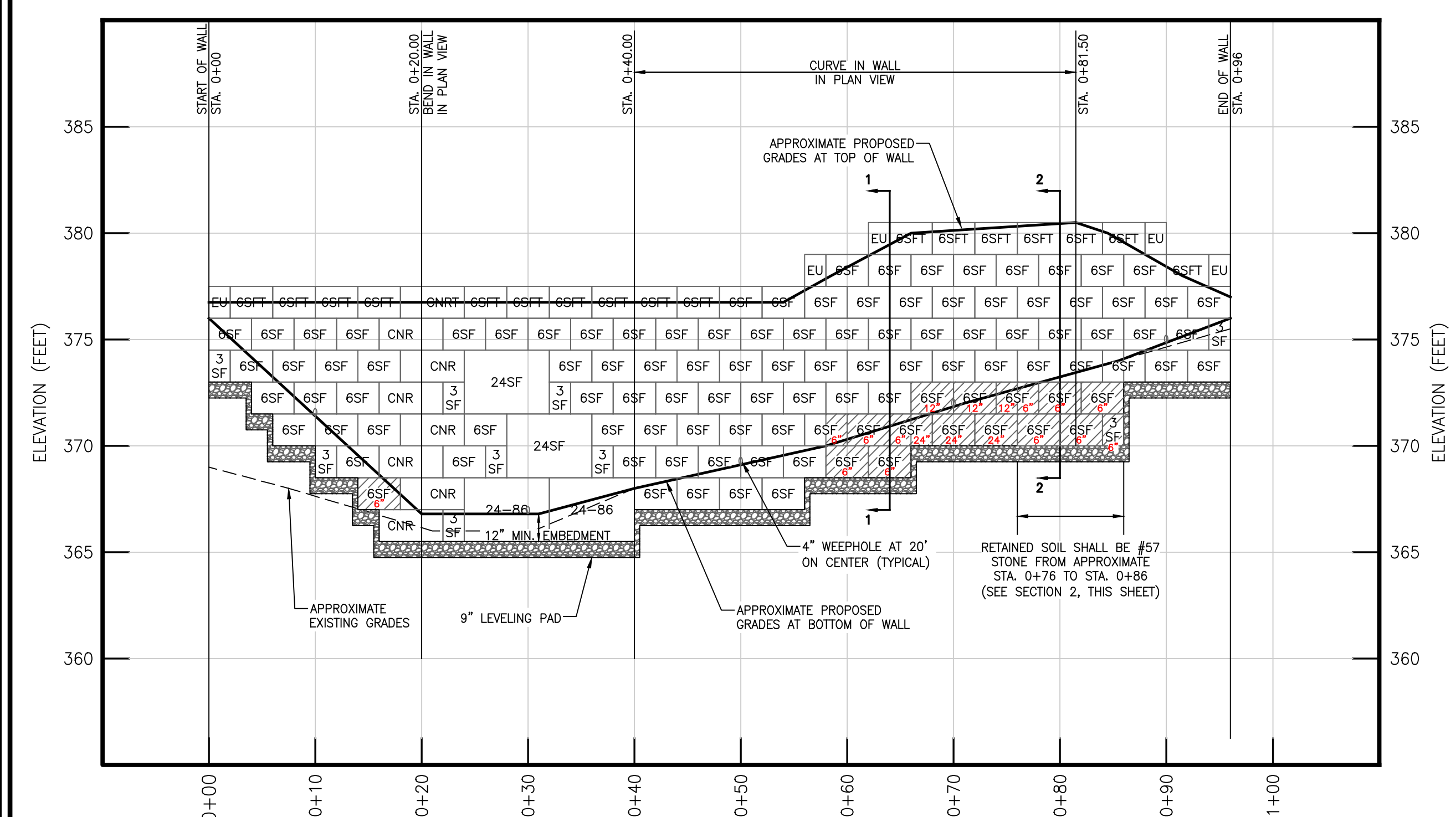
SCALE: 1" = 20'
 BASE PLAN WAS ADAPTED FROM UNTITLED, UNDATED, ELECTRONIC COPIES OF THE SITE PLAN, PREPARED BY V+T AND PROVIDED TO GTA ON MARCH 26, 2022.

LEGEND

B-4 IDENTIFICATION AND APPROXIMATE LOCATION OF STANDARD PENETRATION TEST (SPT) BORINGS PERFORMED BY HILLIS CARNES ENGINEERING ASSOCIATES (HCEA) IN MARCH OF 2018 AND JANUARY AND FEBRUARY OF 2017.

NOTES

1. BORING LOCATIONS WERE REFERENCED FROM THE REVISED - GEOTECHNICAL ENGINEERING STUDY, DORSEY OVERLOOK SENIOR BUILDING, DATED APRIL 5, 2018, PREPARED BY HCEA.



RETAINING WALL NO. 1 - PROFILE

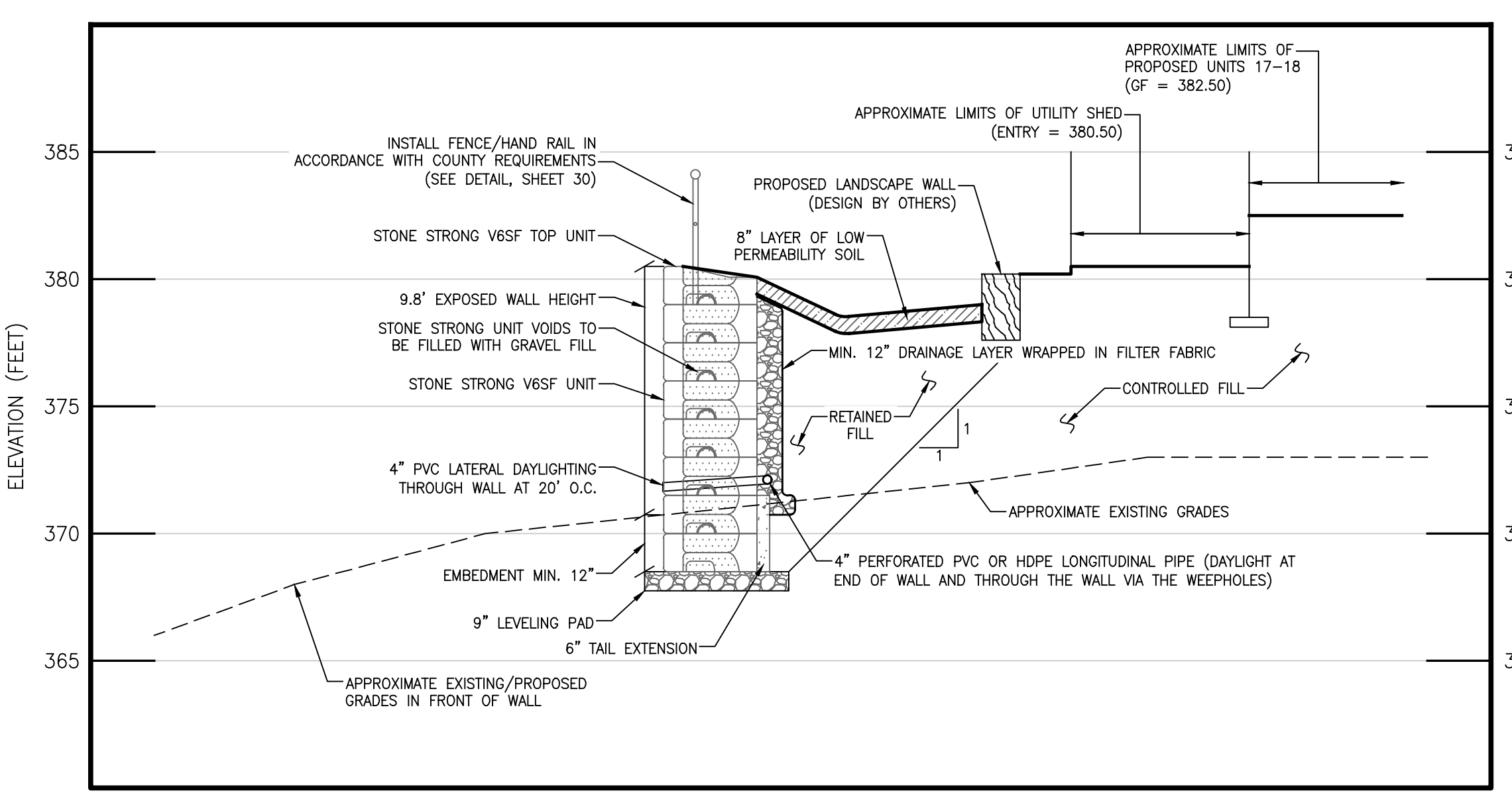
HORIZONTAL SCALE: 1" = 10'
 VERTICAL SCALE: 1" = 5'

LEGEND:

- 6SF - BLOCK TYPE
- 24SF - BLOCK WITH CAST-IN-PLACE CONCRETE TAIL EXTENSION
- 6SF - BLOCK TYPE
- 6SF - DEPTH OF CAST-IN-PLACE CONCRETE TAIL EXTENSION

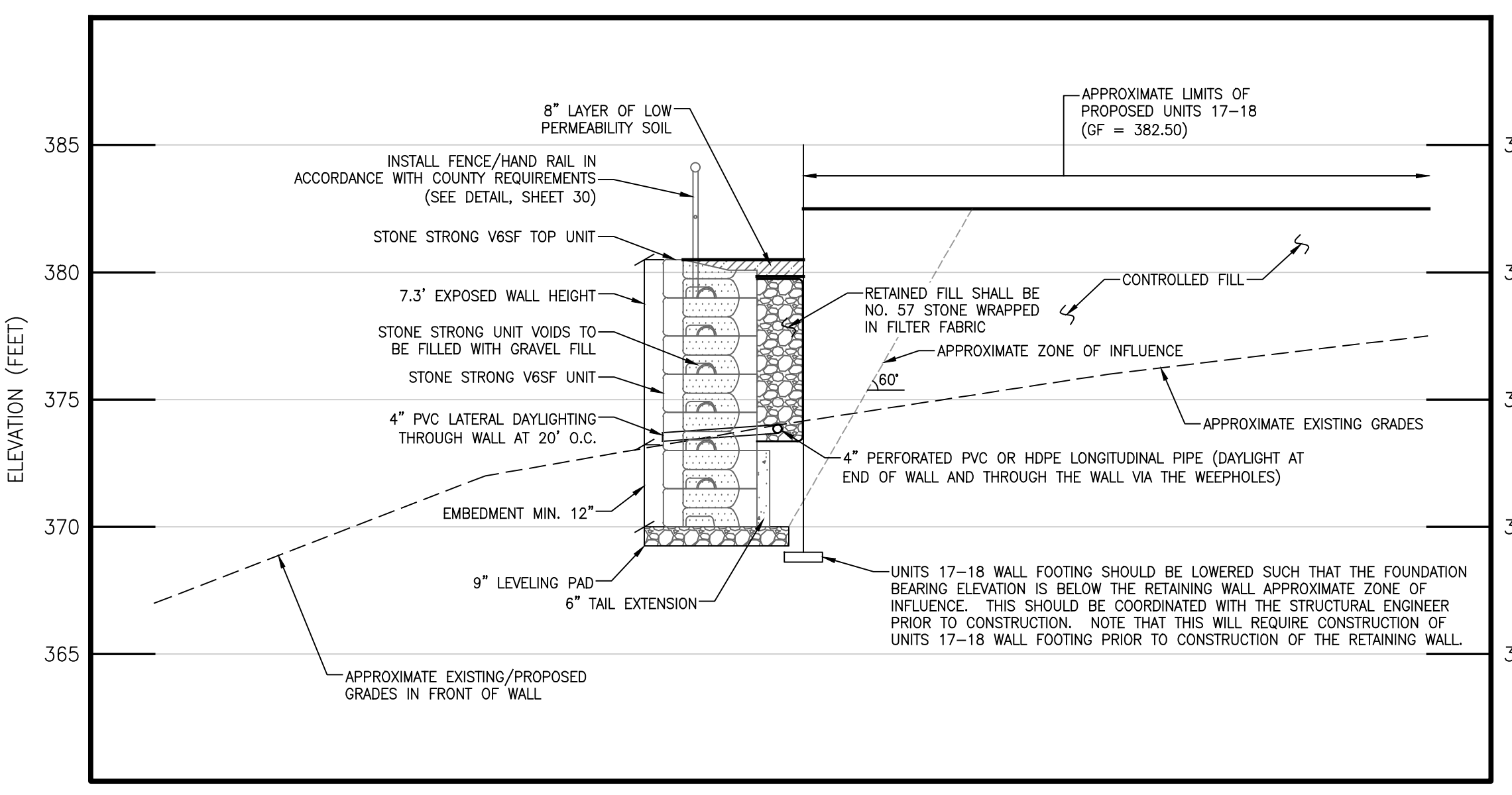
NOTE: BASED ON THE AVAILABLE SUBSURFACE INFORMATION, VARIABLE, UNDOCUMENTED EXISTING FILL SOILS WERE ENCOUNTERED NEAR THE EXISTING GRADES. THESE SOILS ARE NOT CONSIDERED SUITABLE FOR SUPPORT OF THE PROPOSED WALL AND SHOULD BE UNDERCUT AND REPLACED IF ENCOUNTERED AT THE RETAINING WALL FOUNDATION SUBGRADE ELEVATIONS. THE GEOTECHNICAL ENGINEER OR THEIR QUALIFIED REPRESENTATIVE SHOULD BE PRESENT DURING CONSTRUCTION TO EVALUATE THE SUBGRADE PRIOR TO CONSTRUCTION. TEST PITS SHOULD BE PERFORMED ALONG THE RETAINING WALL ALIGNMENTS TO FURTHER CHARACTERIZE THE EXISTING FILL SOILS. EXISTING FILLS OR OTHER SOILS THAT ARE OBSERVED TO BE UNSUITABLE FOR THE SUPPORT OF THE PROPOSED WALL SHOULD BE OVER-EXCAVATED AND REPLACED PER THE RECOMMENDATION OF THE GEOTECHNICAL ENGINEER BASED ON ACTUAL CONDITIONS ENCOUNTERED DURING CONSTRUCTION.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 1/23/2023
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE 1/23/2023
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE 1/24/2023
 DIRECTOR
 DATE



RETAINING WALL NO. 1 - SECTION 1 (APPROXIMATE STATION 0+76)

HORIZONTAL SCALE: 1" = 5'
 VERTICAL SCALE: 1" = 5'



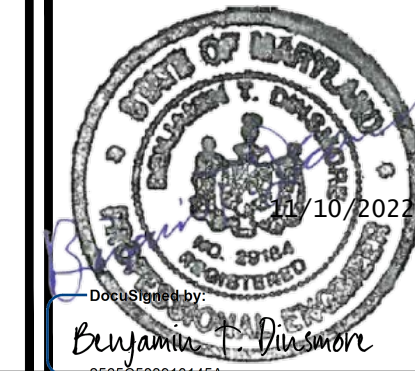
RETAINING WALL NO. 1 - SECTION 2 (APPROXIMATE STATION 0+80)

HORIZONTAL SCALE: 1" = 5'
 VERTICAL SCALE: 1" = 5'

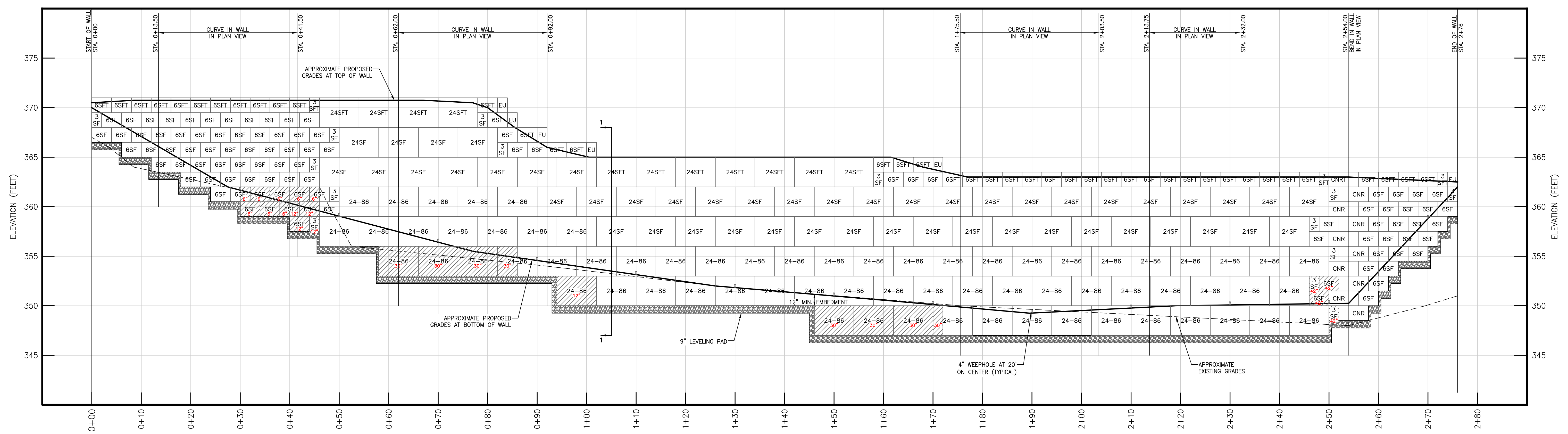
NO.	REVISION	DATE
1	REVISIONS TO ADDRESS COUNTY COMMENTS	05/27/2022

WALL NOS. 1 & 2 PLAN VIEW AND WALL NO. 1 PROFILE AND SECTIONS
DORSEY OVERLOOK
RETAINING WALLS

GEO-TECHNOLOGY ASSOCIATES, INC.
 GEOTECHNICAL AND ENVIRONMENTAL CONSULTANTS
 14280 PARK CENTER DRIVE, SUITE: A
 LAUREL, MARYLAND 20707
 (410) 792-9446 or (301) 470-4470
 WWW.GTAENG.COM
 ©GEO-TECHNOLOGY ASSOCIATES, INC.



DESIGN BY: ADM
 DRAWN BY: VMH
 CHECKED BY: BTD
 DATE: MARCH 10, 2022
 SCALE: AS SHOWN
 JOB NO.: 181841X1

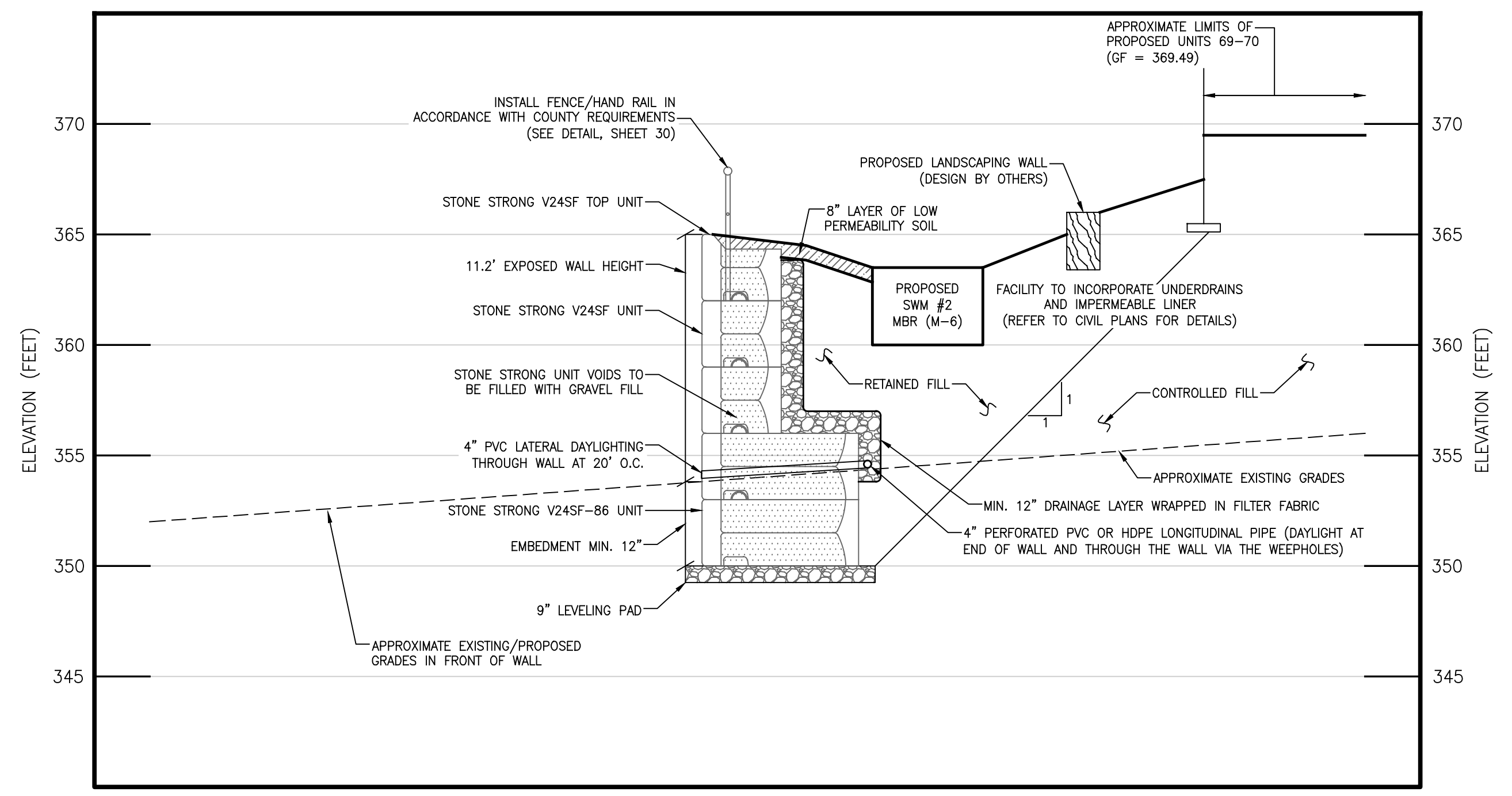


RETAINING WALL NO. 2 - PROFILE

HORIZONTAL SCALE: 1" = 10'
VERTICAL SCALE: 1" = 5'

- LEGEND:**
- 6SF — BLOCK TYPE
 - 6SF — BLOCK WITH CAST-IN-PLACE CONCRETE TAIL EXTENSION
 - 6SF — BLOCK TYPE
 - 6SF — DEPTH OF CAST-IN-PLACE CONCRETE TAIL EXTENSION

NOTE: BASED ON THE AVAILABLE SUBSURFACE INFORMATION, VARIABLE, UNDOCUMENTED EXISTING FILL SOILS WERE ENCOUNTERED NEAR THE EXISTING GRADES. THESE SOILS ARE NOT CONSIDERED SUITABLE FOR SUPPORT OF THE PROPOSED WALL AND SHOULD BE UNDERCUT AND REPLACED IF ENCOUNTERED AT THE RETAINING WALL FOUNDATION SUBGRADE ELEVATIONS. THE GEOTECHNICAL ENGINEER OR THEIR QUALIFIED REPRESENTATIVE SHOULD BE PRESENT DURING CONSTRUCTION TO EVALUATE THE SUBGRADE PRIOR TO CONSTRUCTION. TEST PITS SHOULD BE PERFORMED ALONG THE RETAINING WALL ALIGNMENTS TO FURTHER CHARACTERIZE THE EXISTING FILL SOILS. EXISTING FILLS OR OTHER SOILS THAT ARE OBSERVED TO BE UNSUITABLE FOR THE SUPPORT OF THE PROPOSED WALL SHOULD BE OVER-EXCAVATED AND REPLACED PER THE RECOMMENDATION OF THE GEOTECHNICAL ENGINEER BASED ON ACTUAL CONDITIONS ENCOUNTERED DURING CONSTRUCTION.



RETAINING WALL NO. 2 - SECTION 1 (APPROXIMATE STATION 1+05)

HORIZONTAL SCALE: 1" = 5'
VERTICAL SCALE: 1" = 5'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
1/23/2023
Will Edmondson
7063754EF41469
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE 1/23/2023
1837076A2038A
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE 1/24/2023
Amy Simon
5942520400C4C04
DIRECTOR

NO.	REVISION	DATE
1	REVISIONS TO ADDRESS COUNTY COMMENTS	05/27/2022

WALL NO. 2 PROFILE AND SECTION

DORSEY OVERLOOK
RETAINING WALLS

ZONED: R-APT
PARCELS: 67, 51, 52
288, 53, 54, 55
2ND ELECTION DISTRICT
TAX MAP: 30 GRID: 9
DPZ REF'S: EOP-15-012, BA-20-003V, F-21-023
HOWARD COUNTY, MARYLAND

GTA **GEO-TECHNOLOGY ASSOCIATES, INC.**
GEOTECHNICAL AND ENVIRONMENTAL CONSULTANTS
14280 PARK CENTER DRIVE, SUITE: A
LAUREL, MARYLAND 20707
(410) 792-9446 or (301) 470-4470
WWW.GTAENG.COM
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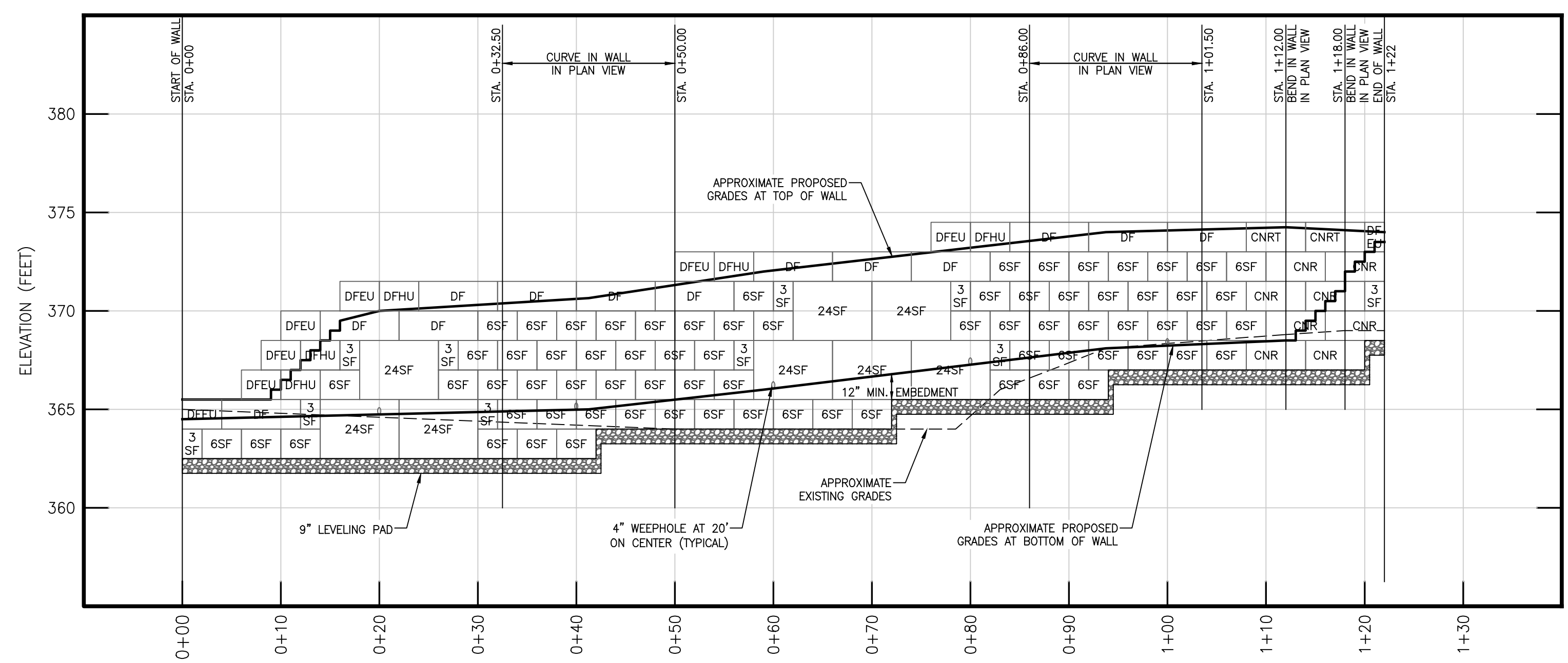
DESIGN BY: ADM
DRAWN BY: VMH
CHECKED BY: BTJ
DATE: MARCH 10, 2022
SCALE: AS SHOWN
JOB NO.: 181841X1

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 29184, EXPIRATION DATE: 06/16/2023

Benjamin J. Edmondson
Professional Engineer

27 SHEET OF 30

OWNER/DEVELOPER
DORSEY OVERLOOK, LLLP
C/O J. KIRBY DEVELOPMENT, LLC
5670 B FURNACE AVENUE
ELKRIDGE, MARYLAND 21075
PHONE: (410) 788-0027

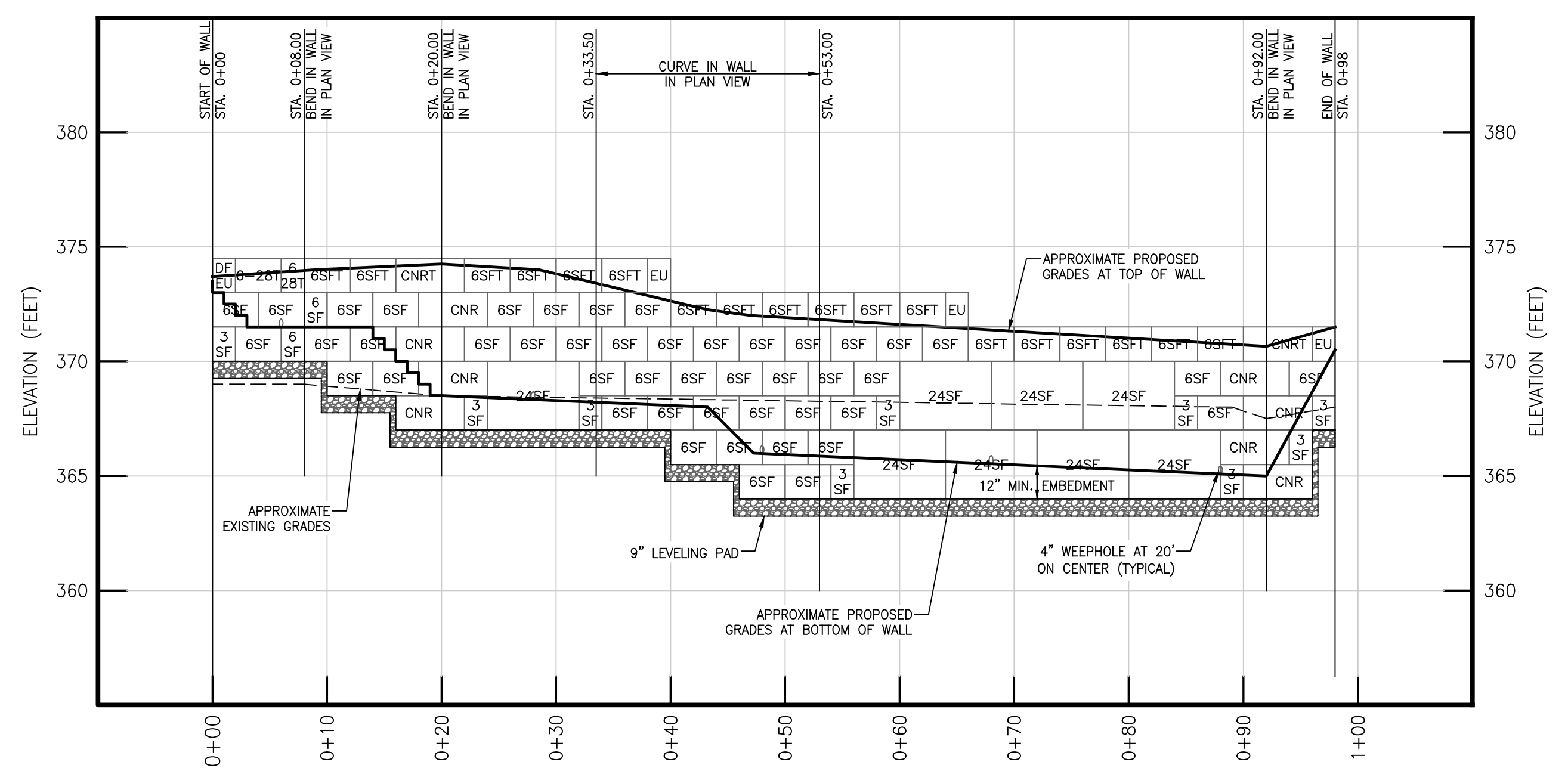


RETAINING WALL NO. 3 - PROFILE

HORIZONTAL SCALE: 1" = 10'
VERTICAL SCALE: 1" = 5'

LEGEND:
6SF — BLOCK TYPE

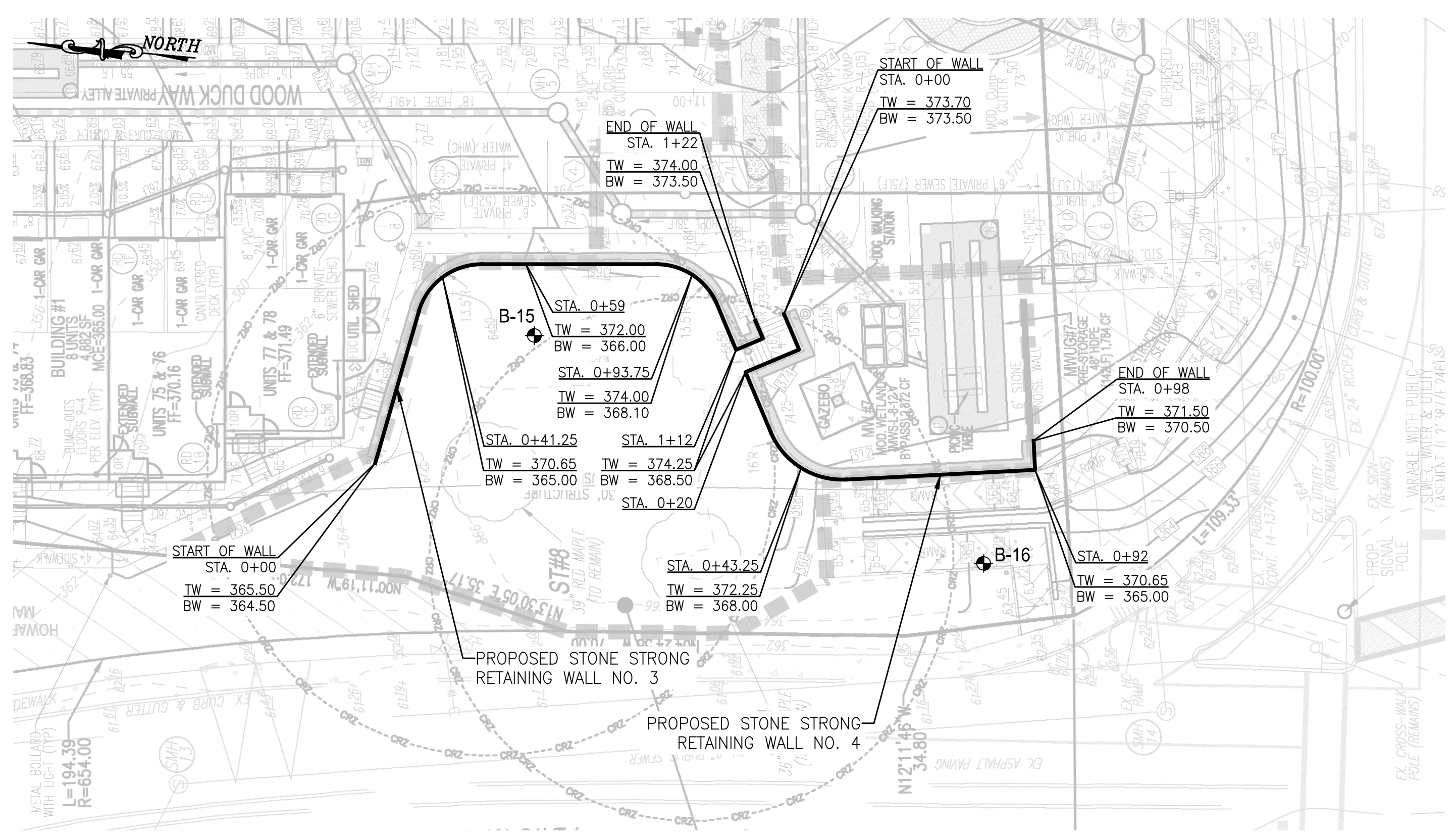
NOTE: BASED ON THE AVAILABLE SUBSURFACE INFORMATION, VARIABLE, UNDOCUMENTED EXISTING FILL SOILS WERE ENCOUNTERED NEAR THE EXISTING GRADES. THESE SOILS ARE NOT CONSIDERED SUITABLE FOR SUPPORT OF THE PROPOSED WALL AND SHOULD BE UNDERCUT AND REPLACED IF ENCOUNTERED AT THE RETAINING WALL FOUNDATION SUBGRADE ELEVATIONS. THE GEOTECHNICAL ENGINEER OR THEIR QUALIFIED REPRESENTATIVE SHOULD BE PRESENT DURING CONSTRUCTION TO EVALUATE THE SUBGRADE PRIOR TO CONSTRUCTION. TEST PITS SHOULD BE PERFORMED ALONG THE RETAINING WALL ALIGNMENTS TO FURTHER CHARACTERIZE THE EXISTING FILL SOILS. EXISTING FILLS OR OTHER SOILS THAT ARE OBSERVED TO BE UNSUITABLE FOR THE SUPPORT OF THE PROPOSED WALL SHOULD BE OVER-EXCAVATED AND REPLACED PER THE RECOMMENDATION OF THE GEOTECHNICAL ENGINEER BASED ON ACTUAL CONDITIONS ENCOUNTERED DURING CONSTRUCTION.



RETAINING WALL NO. 4 - PROFILE

HORIZONTAL SCALE: 1" = 10'
VERTICAL SCALE: 1" = 5'

LEGEND:
6SF — BLOCK TYPE



RETAINING WALL NOS. 3 & 4 PLAN VIEW

SCALE: 1" = 20'
BASE PLAN WAS ADAPTED FROM UNTITLED, UNDATED, ELECTRONIC COPIES OF THE SITE PLAN, PREPARED BY V+T AND PROVIDED TO GTA ON MARCH 26, 2022.

LEGEND
B-15 IDENTIFICATION AND APPROXIMATE LOCATION OF STANDARD PENETRATION TEST (SPT) BORINGS PERFORMED BY HILLIS CARNES ENGINEERING ASSOCIATES (HCEA) IN MARCH OF 2018 AND JANUARY AND FEBRUARY OF 2017.

NOTES
1. BORING LOCATIONS WERE REFERENCED FROM THE BORING LOCATION PLAN, PREPARED BY HCEA AND PRESENTED IN THEIR REVISED - GEOTECHNICAL ENGINEERING STUDY, DORSEY OVERLOOK SENIOR BUILDING, DATED APRIL 5, 2018.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
1/23/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF PLANNING AND DEVELOPMENT
DIRECTOR

NO.	REVISION	DATE
1	REVISIONS TO ADDRESS COUNTY COMMENTS	05/27/2022

WALL NOS. 3 & 4 PLAN VIEW AND PROFILES

DORSEY OVERLOOK
RETAINING WALLS

ZONED: R-APT
PARCELS: 67, 51, 52
288, 53, 54, 55
2ND ELECTION DISTRICT
TAX MAP: 30 GRID: 9
DPZ REF'S: EOP-15-012, BA-20-003V, F-21-023
HOWARD COUNTY, MARYLAND

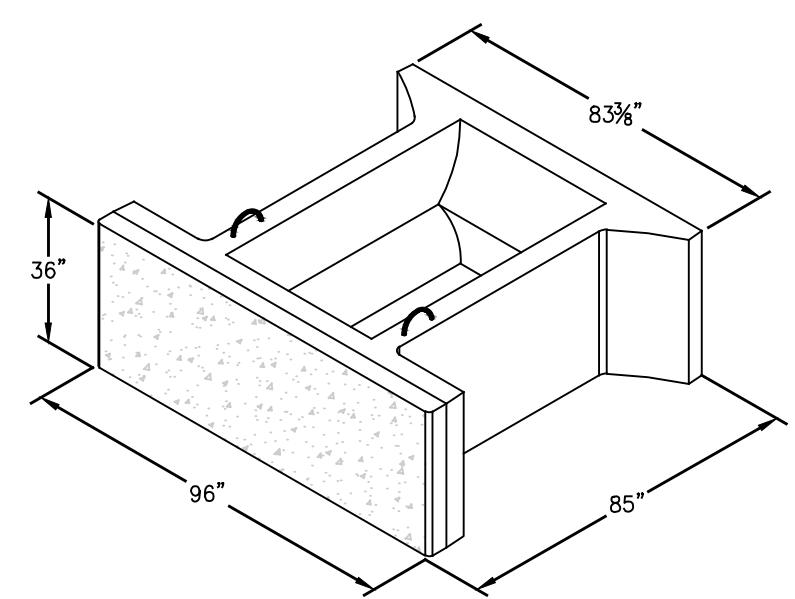
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GEOTECHNICAL AND ENVIRONMENTAL CONSULTANTS
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LAUREL, MARYLAND 20707
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DESIGN BY: ADM
CHECKED BY: VMH
DATE: MARCH 10, 2022
SCALE: AS SHOWN
JOB NO.: 181841X1

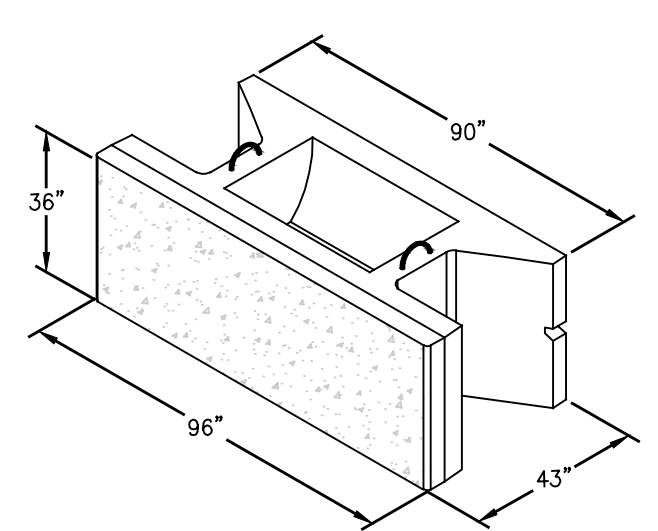
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 29184, EXPIRATION DATE: 06/16/2023

28 SHEET OF 30

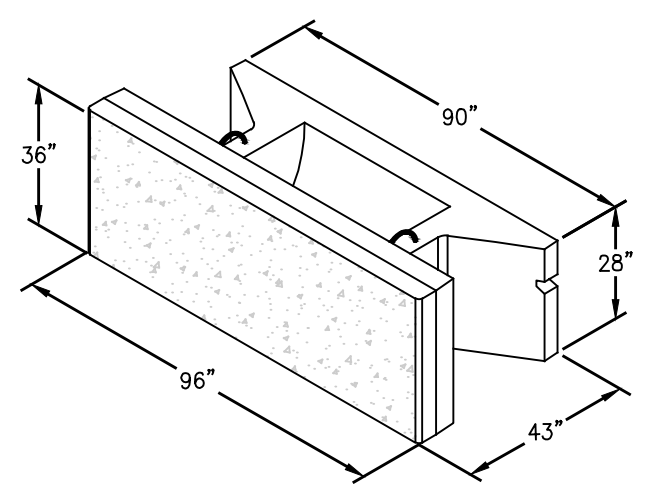
OWNER/DEVELOPER
DORSEY OVERLOOK, LLLP
C/O J. KIRBY DEVELOPMENT, LLC
5670 B FURNACE AVENUE
ELK RIDGE, MARYLAND 21075
PHONE: (410) 788-0027



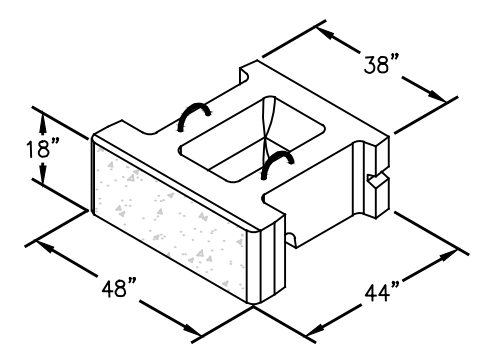
STONE STRONG 24-86 UNIT
VERTICAL FACE (24-86)
NOT TO SCALE



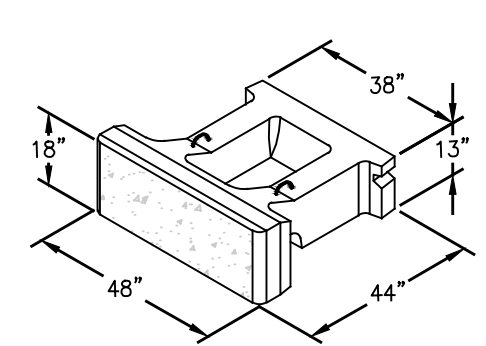
STONE STRONG 24SF UNIT
VERTICAL FACE (24SF)
NOT TO SCALE



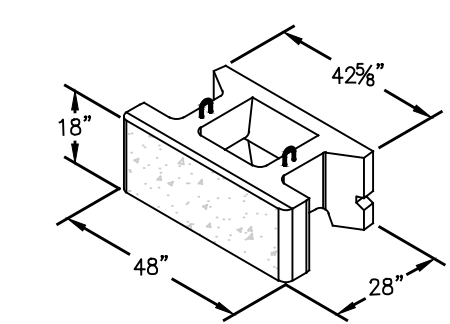
STONE STRONG 24SF TOP UNIT
VERTICAL FACE (24SFT)
NOT TO SCALE



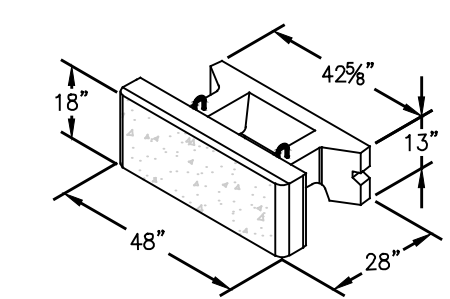
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NOT TO SCALE



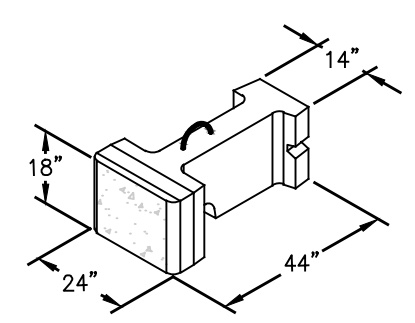
STONE STRONG 6SF TOP UNIT (6SFT)
NOT TO SCALE



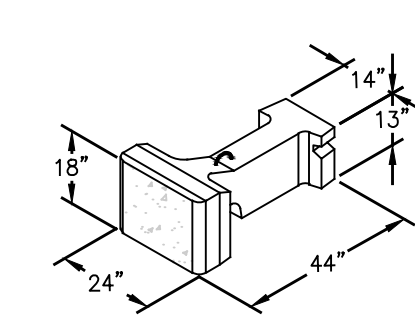
STONE STRONG 6-28 UNIT (6-28)
NOT TO SCALE



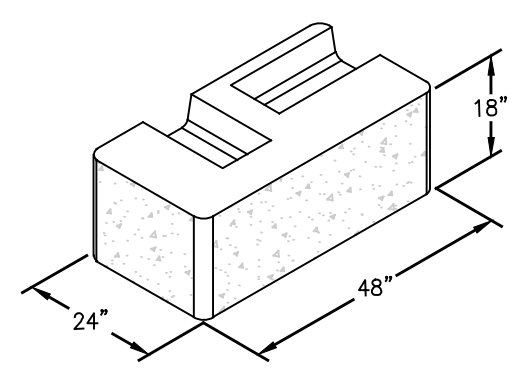
STONE STRONG 6-28 TOP UNIT (6-28T)
NOT TO SCALE



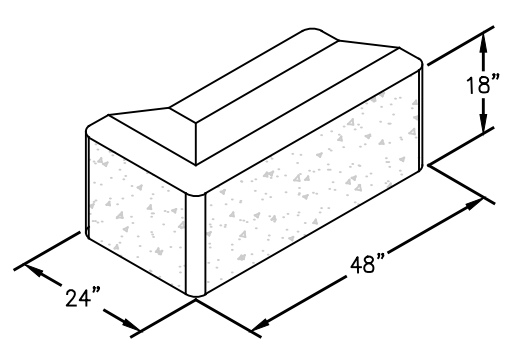
STONE STRONG 3SF UNIT (3SF)
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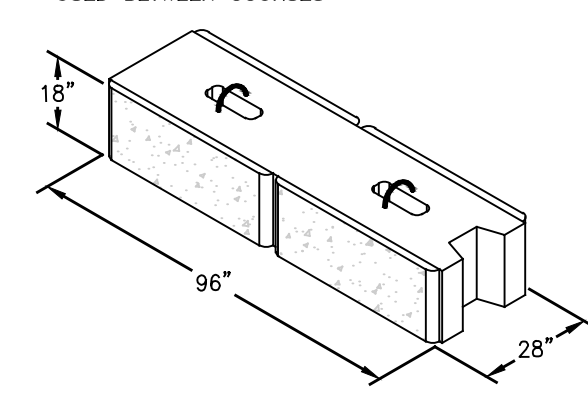
STONE STRONG 3SF TOP UNIT (3SFT)
NOT TO SCALE



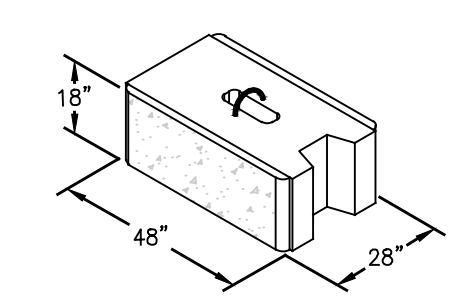
STONE STRONG CORNER UNIT (CNR)
NOT TO SCALE



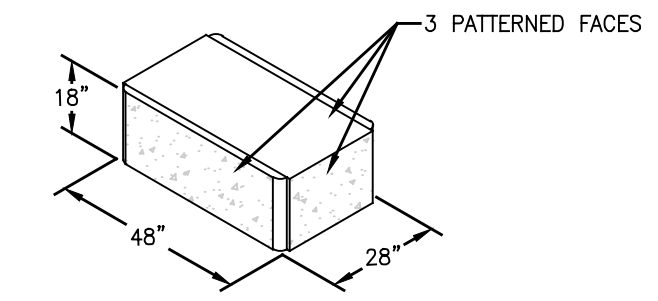
STONE STRONG END UNIT (EU)
NOT TO SCALE



STONE STRONG DUAL FACE UNIT (DF)
NOT TO SCALE



STONE STRONG DUAL FACE HALF UNIT (DFHU)
NOT TO SCALE



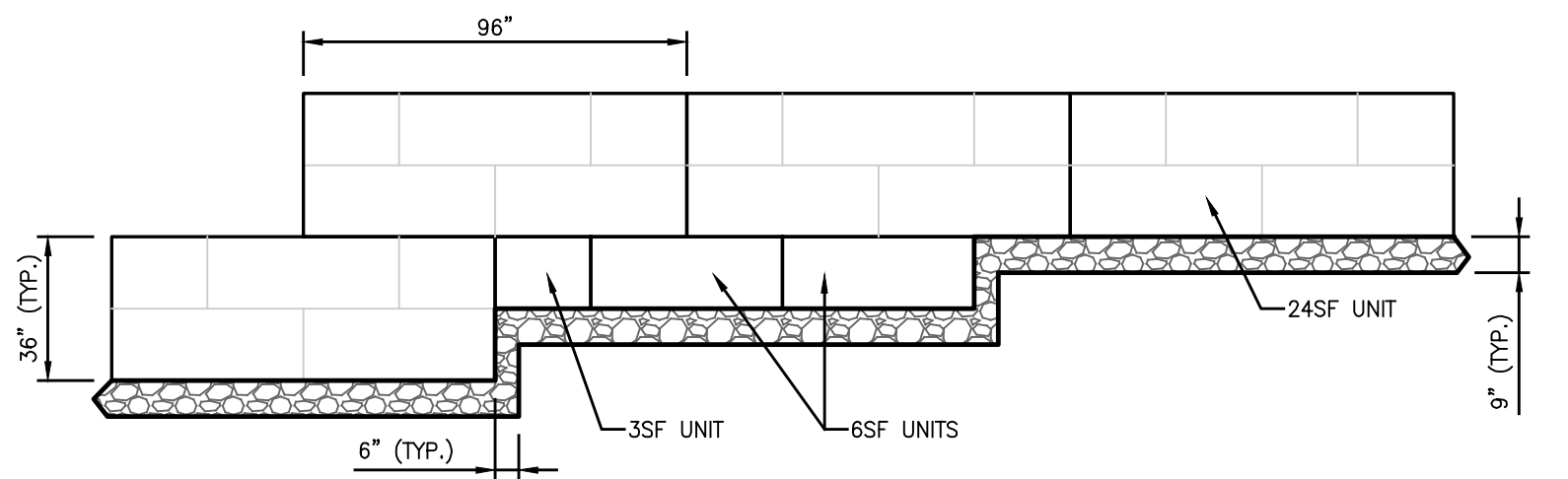
STONE STRONG DUAL FACE END UNIT (DFEU)
NOT TO SCALE

NOTE:
END MAY BE MITERED FOR INSTALLATION ON A RADIUS.
UNITS MAY BE CUT OR FORMED AS NEEDED IN LENGTH
BETWEEN 2.0 FEET AND 8.0 FEET.
OPTIONAL - BACKER RODS, GROUT OR MASTIC MAY BE
USED BETWEEN COURSES

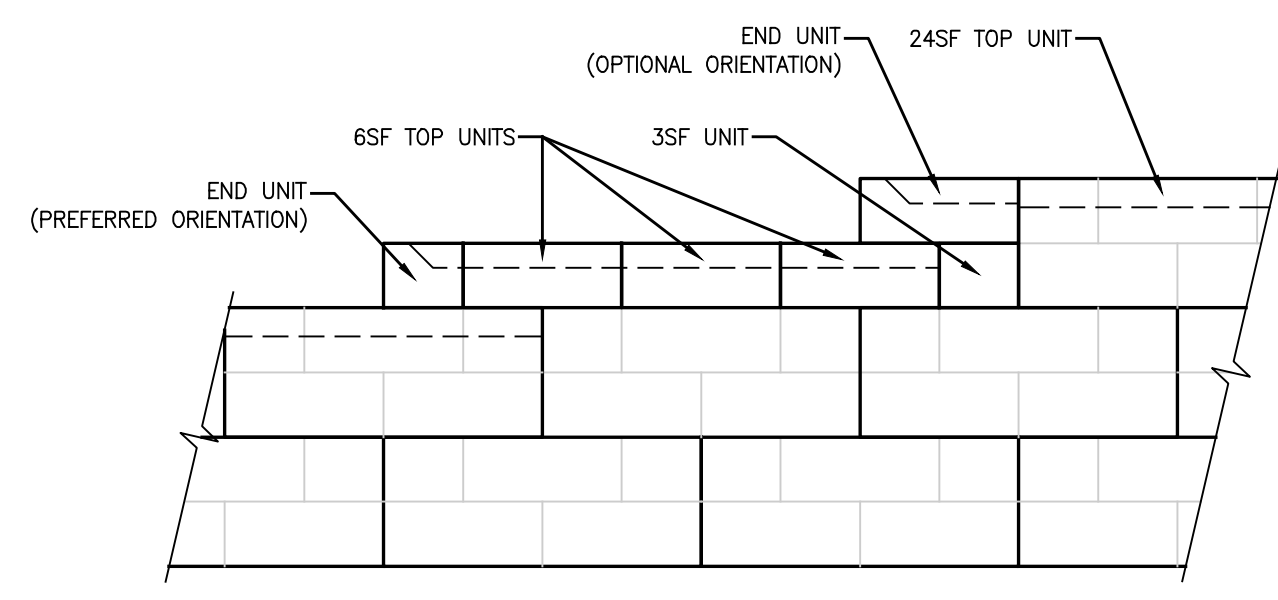
NOTE:
END MAY BE MITERED FOR INSTALLATION ON A RADIUS.
UNITS MAY BE CUT OR FORMED AS NEEDED IN LENGTH
BETWEEN 2.0 FEET AND 4.0 FEET.
OPTIONAL - BACKER RODS, GROUT OR MASTIC MAY BE
USED BETWEEN COURSES

NOTE:
OPTIONAL - BACKER RODS, GROUT OR
MASTIC MAY BE USED BETWEEN COURSES

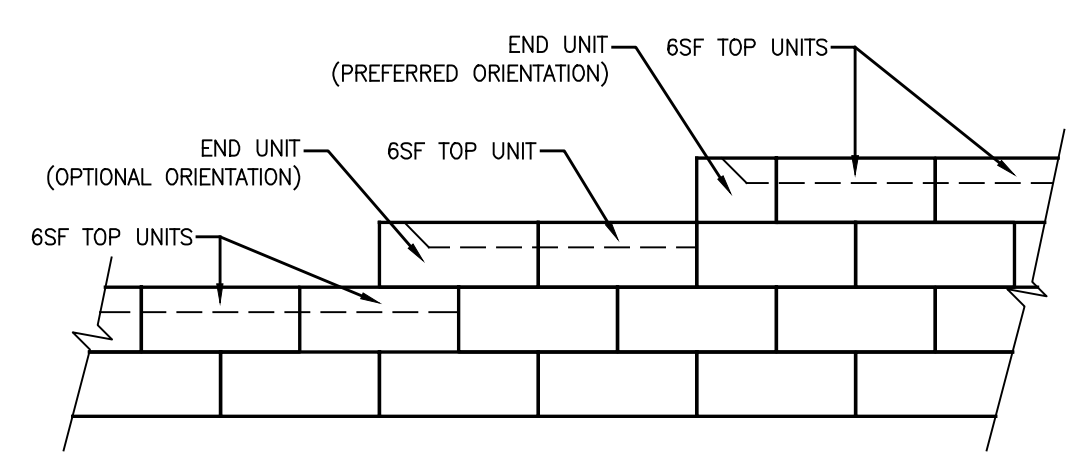
NOTE:
BLOCK TYPE VARIES BASED ON PROFILE LAYOUT. CAST
SLEEVE FOR FENCE POST IN TOP CORNER BLOCK.



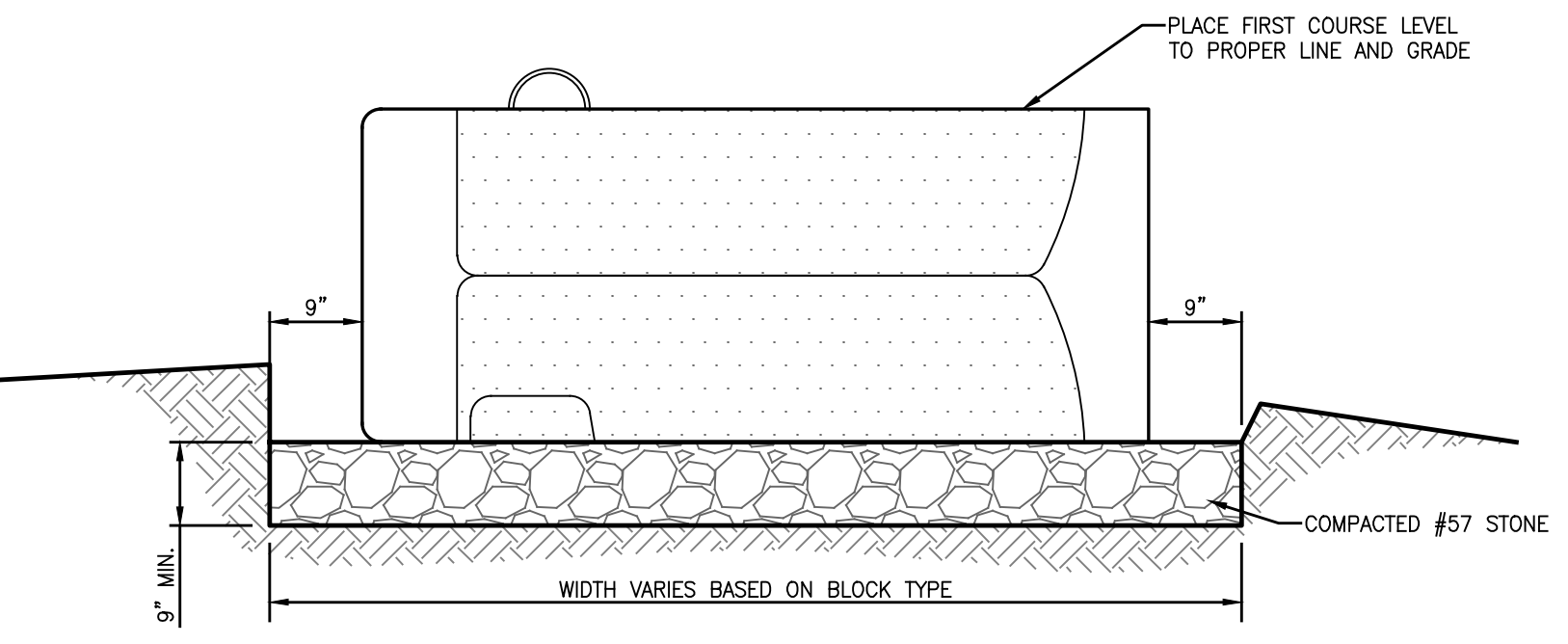
ELEVATION



24SF UNITS

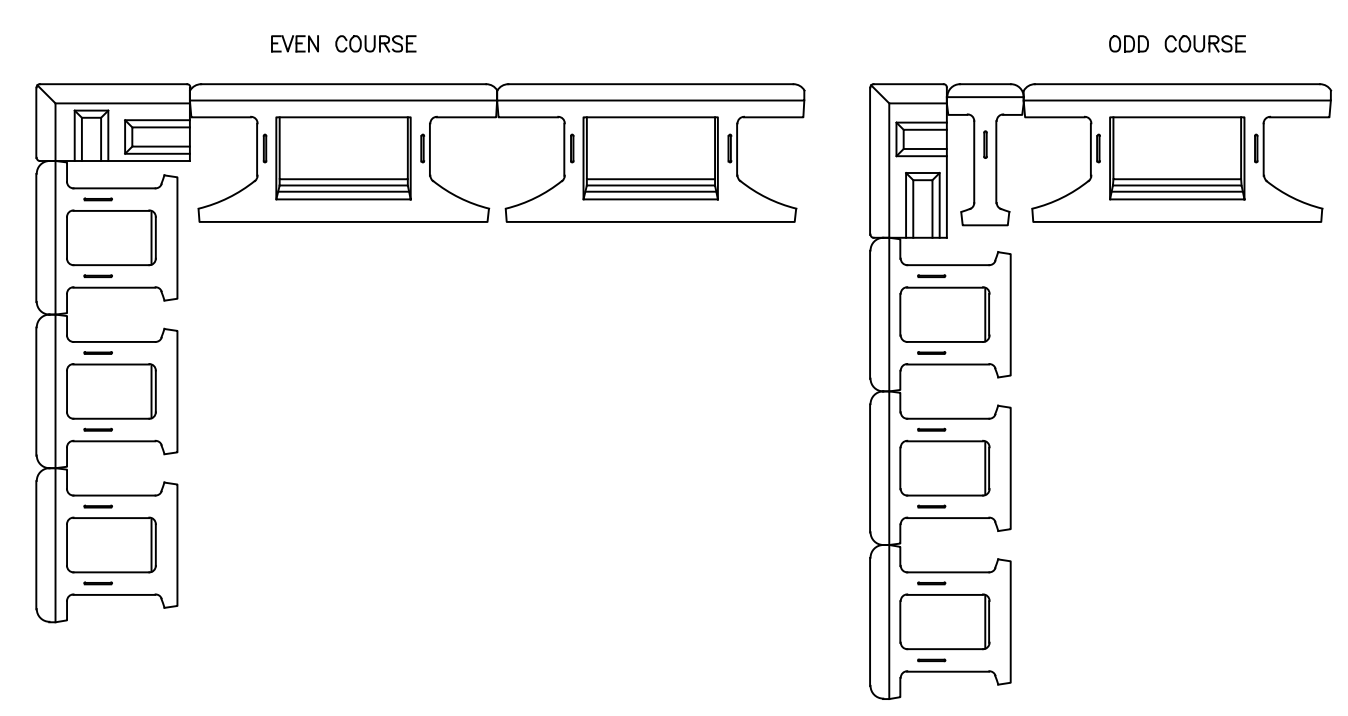


6SF UNITS

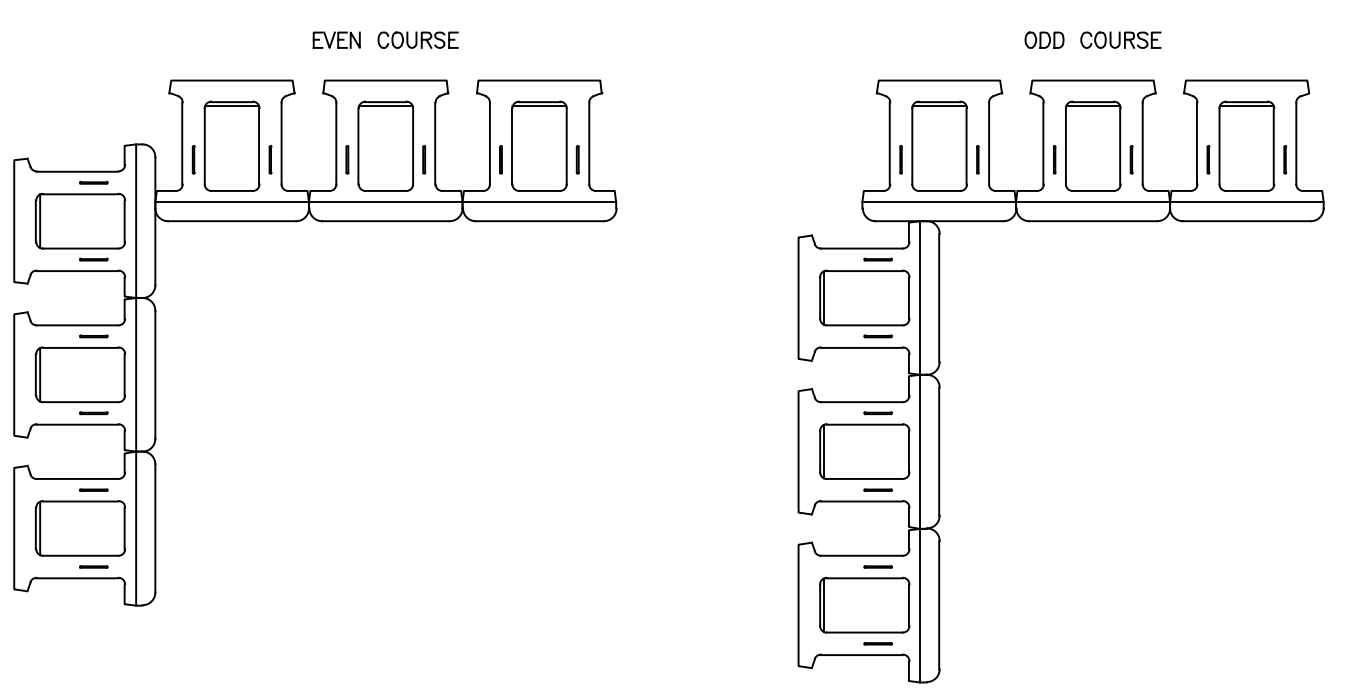


SECTION

LEVELING PAD DETAIL
NOT TO SCALE



90° OUTSIDE CORNER DETAIL
NOT TO SCALE



90° LACED INSIDE CORNER DETAIL
NOT TO SCALE

NO.	REVISION	DATE
1	REVISIONS TO ADDRESS COUNTY COMMENTS	05/27/2022

TYPICAL DETAILS

DORSEY OVERLOOK
RETAINING WALLS

2ND ELECTION DISTRICT
TAX MAP: 30 GRID: 9
DPZ REF'S: EOP-15-012, BA-20-003V, F-21-023

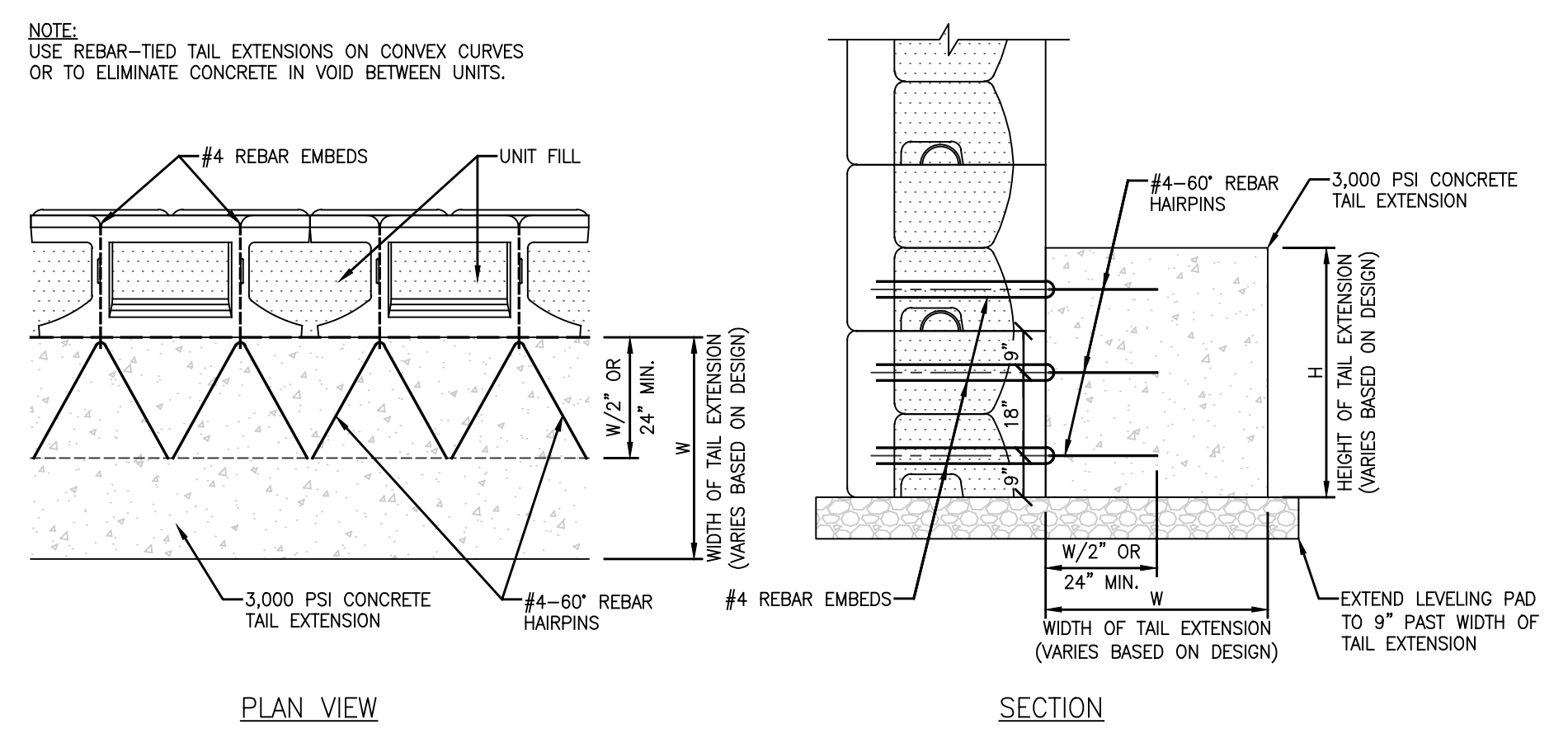
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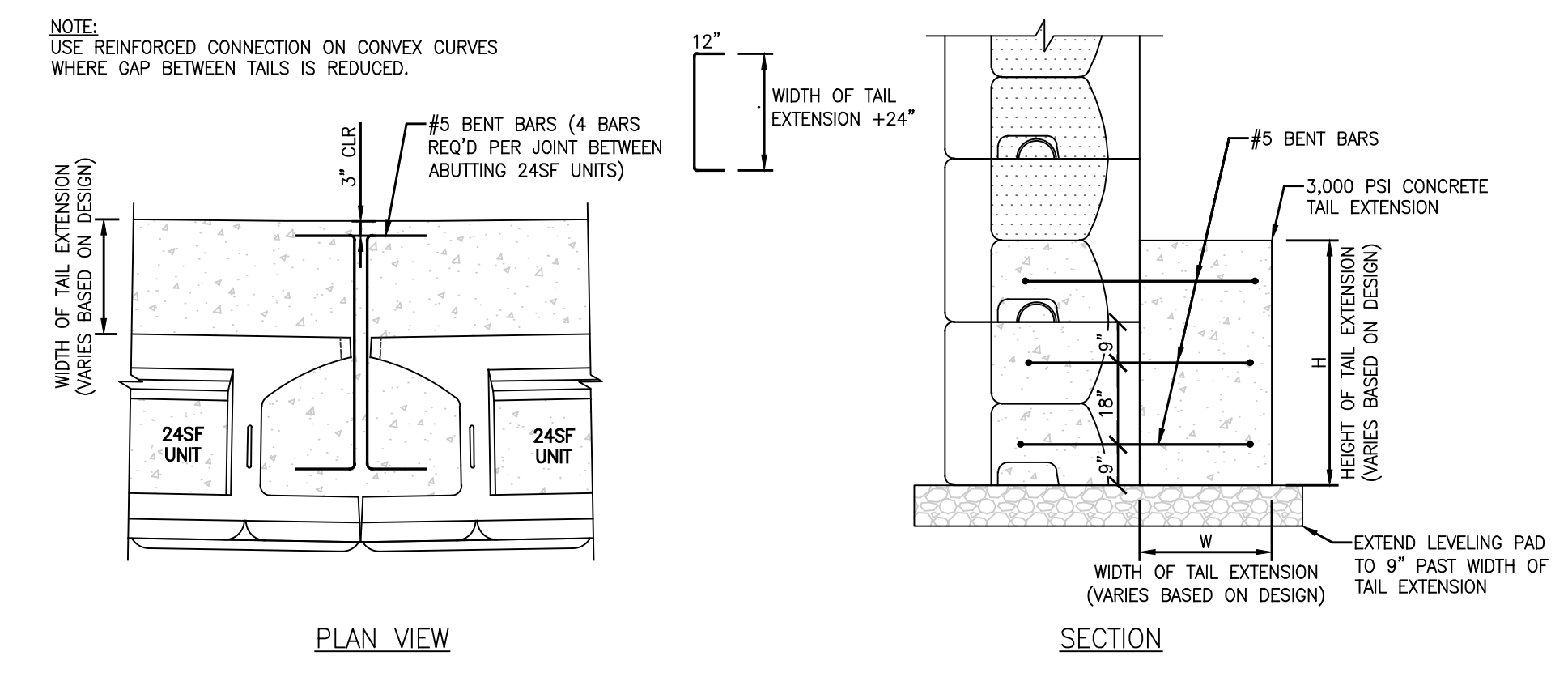
DESIGN BY: ADM
DRAWN BY: VMH
CHECKED BY: BTJ
DATE: MARCH 10, 2022
SCALE: AS SHOWN
JOB NO.: 181841X1

APPROVED: HOWARD COUNTY, DEPARTMENT OF PLANNING AND ZONING
1/23/2023
Howard Edmondson
7003F754E41499...
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE 1/23/2023
143125473A203481...
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE 1/24/2023
Amy O'nean
2805C0067F0C1D...
DIRECTOR
DATE

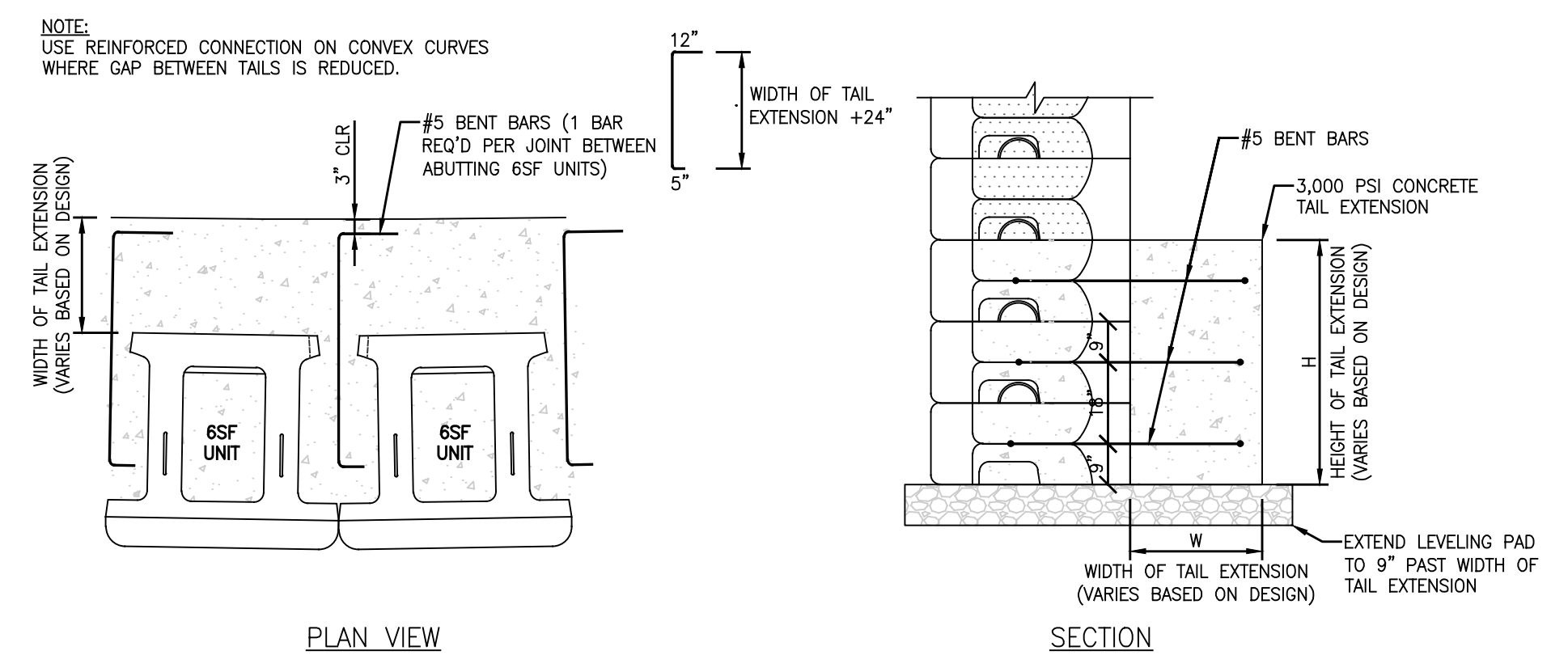
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5670 B FURNACE AVENUE
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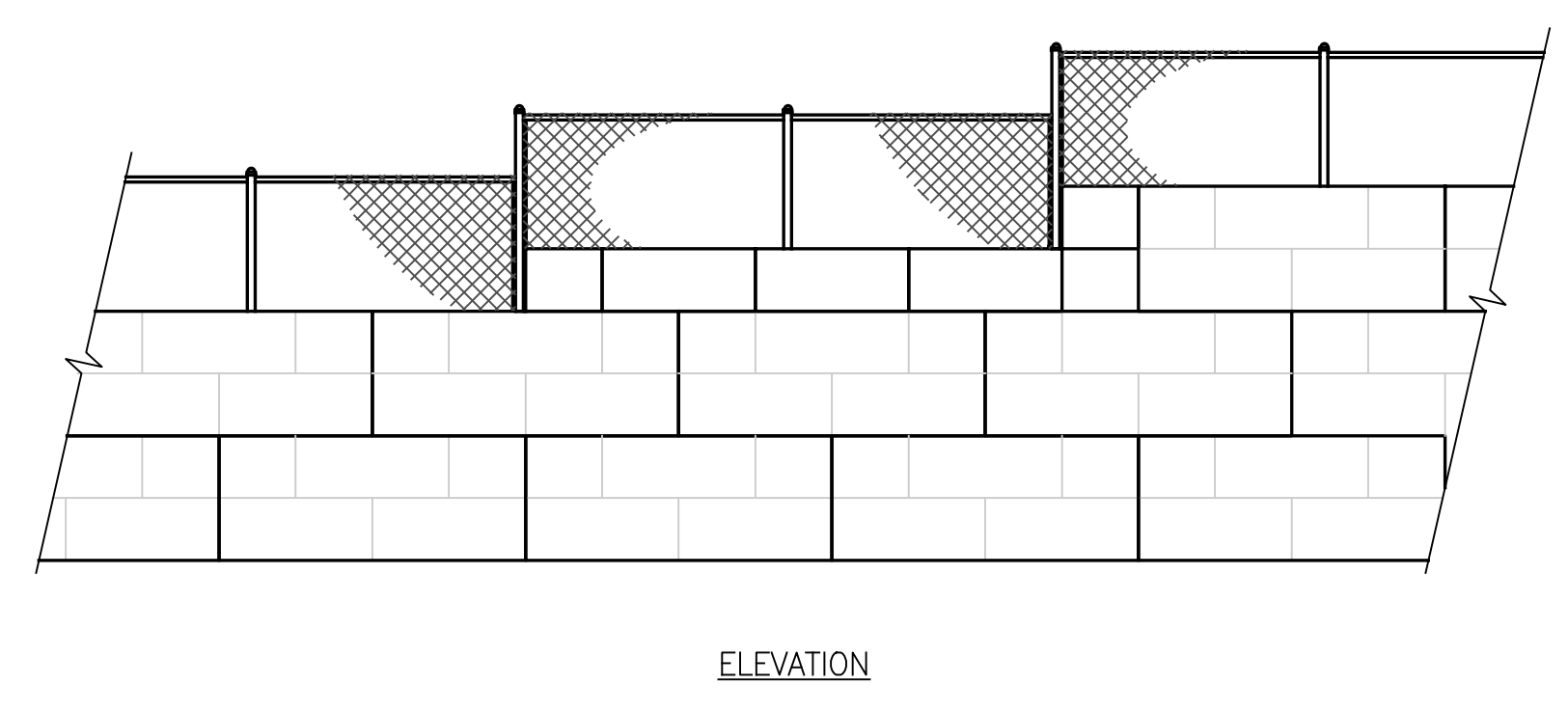
REBAR-TIED CAST-IN-PLACE CONCRETE TAIL EXTENSION
NOT TO SCALE



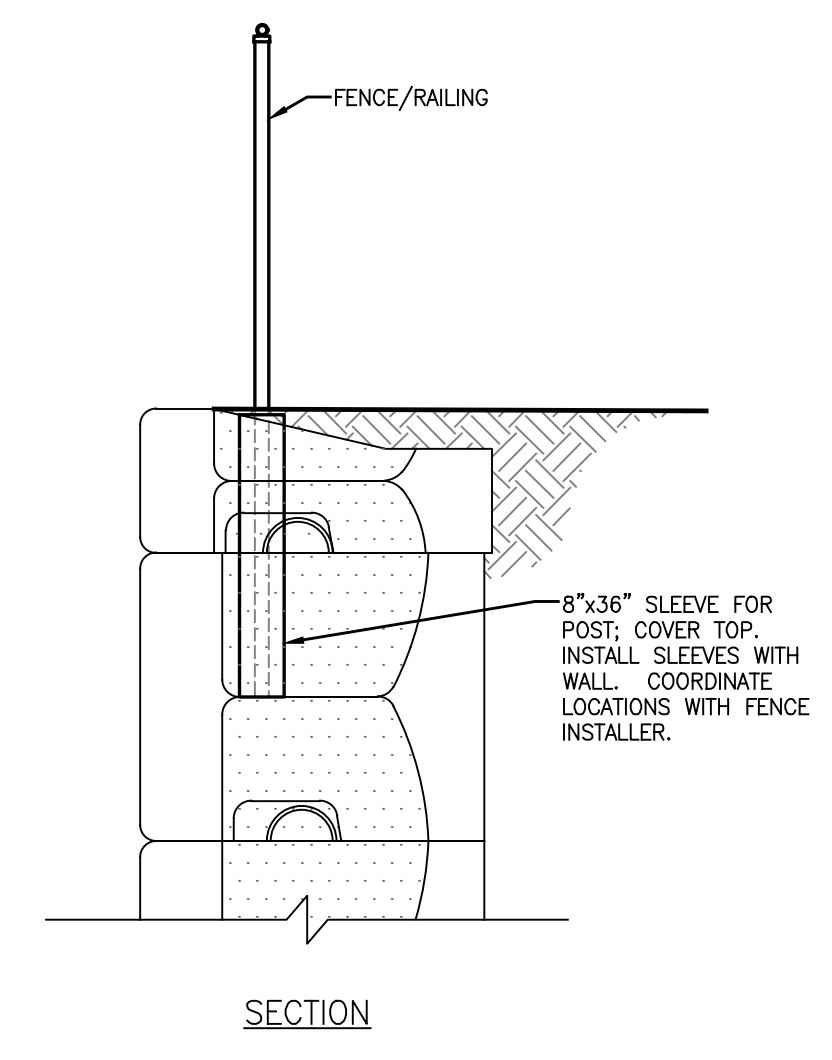
REINFORCED CAST-IN-PLACE CONCRETE TAIL EXTENSION FOR 24SF UNITS
NOT TO SCALE



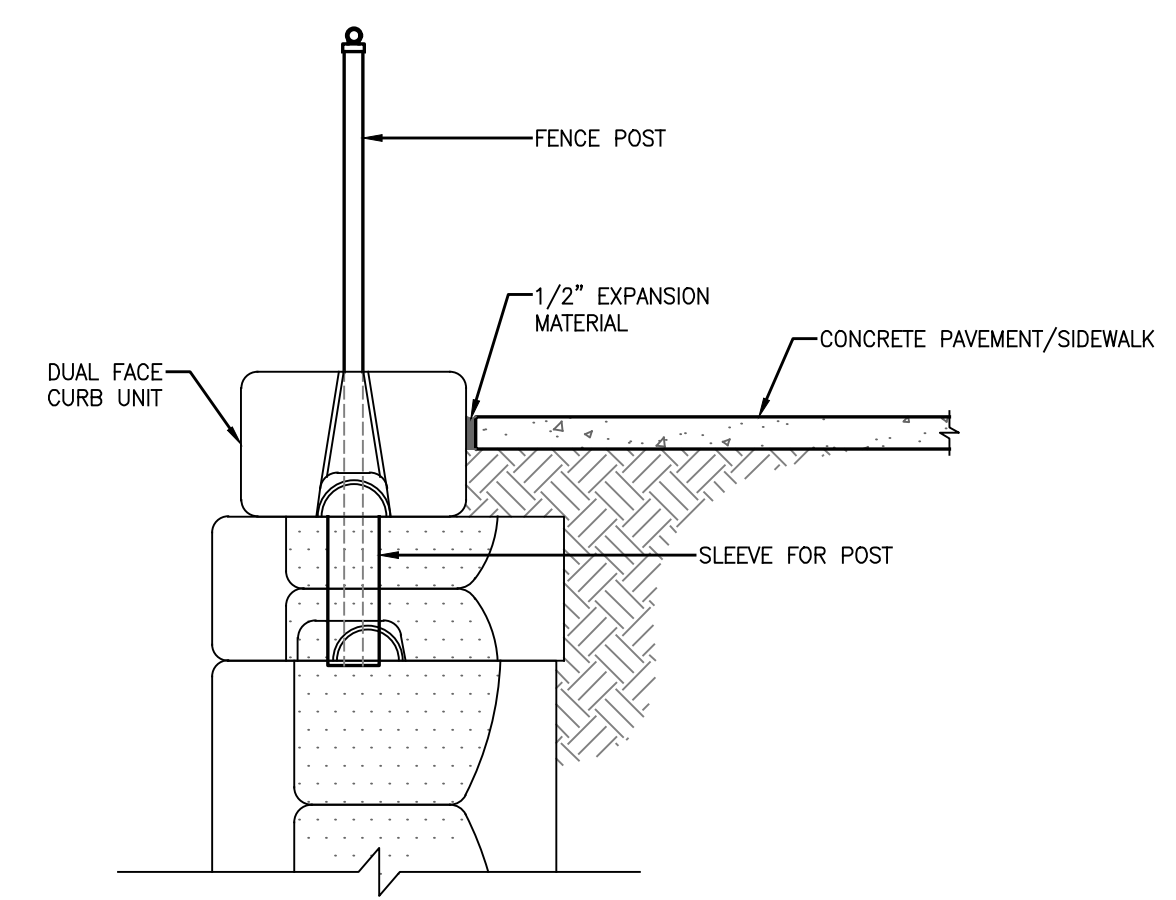
REINFORCED CAST-IN-PLACE CONCRETE TAIL EXTENSION FOR 6SF UNITS
NOT TO SCALE



ELEVATION



TYPICAL DETAIL FOR FENCE/RAILING
NOT TO SCALE



TOP OF WALL WITH SIDEWALK USING DUAL FACE UNIT
NOT TO SCALE

NO.	REVISION	DATE
1	REVISIONS TO ADDRESS COUNTY COMMENTS	05/27/2022

TYPICAL DETAILS

**DORSEY OVERLOOK
RETAINING WALLS**

2ND ELECTION DISTRICT
TAX MAP: 30 GRID: 9
DPZ REF'S: EOP-15-012, BA-20-003V, F-21-023

ZONED: R-APT
PARCELS: 67, 51, 52
288, 53, 54, 55
HOWARD COUNTY, MARYLAND

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	DESIGN BY: <u>ADM</u>	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 20184, EXPIRATION DATE: 06/16/2023.
	DRAWN BY: <u>VMH</u>	
	CHECKED BY: <u>BTD</u>	
	DATE: <u>MARCH 10, 2022</u>	
SCALE: <u>AS SHOWN</u>	JOB NO.: <u>181841X1</u>	30 SHEET OF 30

APPROVED: HOWARD COUNTY, DEPARTMENT OF PLANNING AND ZONING

AMW Edmondson 1/23/2023
7003754E41499...
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 1/23/2023

Amy Olan 1/24/2023
145124742A202040A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE 1/24/2023

DIRECTOR DATE

OWNER/DEVELOPER
DORSEY OVERLOOK, LLLP
C/O J. KIRBY DEVELOPMENT, LLC
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PHONE: (410) 788-0027