GENERAL NOTES

TACO BILL OF BALTIMORE, INC. 11879 KEMPER ROAD

CONSHOHOCKEN, PA 19428

AUBURN, CA 95603 APPLICANT: BLT CANTINA, LLC 14 BALLIGOMINGO ROAD

- 2) EXISTING CONDITIONS TAKEN FROM AN ALTA/NSPS LAND TITLE SURVEY PERFORMED BY MERILYN J. JENKINS & ASSOCIATES, INC. FOR BLT CANTINA, LLC, DATED 07/01/16, LAST REVISED 11/03/17.
- 3) APPLICANT SEEKS SITE PLAN APPROVAL SO AS TO PERMIT DEMOLITION OF EXISTING BUILDING AND CONSTRUCTION OF A 2,753 SF TACO BELL RESTAURANT AND ASSOCIATED SITE IMPROVEMENTS.
- 4) PROPOSED BUILDING TO BE SERVICED WITH NEW SEWER AND WATER
- 5) NEW UTILITY LINES (GAS, ELECTRIC) ARE PROPOSED TO SERVICE THE BUILDING. ALL ELECTRIC, TELEPHONE, AND CABLE SERVICE LINES SHALL BE UNDERGROUND.
- 6) ELEVATION DATUM IS NAVD83.
- 7) THE PROPERTY FALLS WITHIN FLOOD ZONE X AS SHOWN ON THE MOST RECENT FEMA FIRM, MAP NO. 24027C0165D, EFFECTIVE DATE 11/06/13.
- 8) THERE ARE CURRENTLY NO KNOWN DEED RESTRICTIONS OR COVENANTS ASSOCIATED WITH THE SUBJECT PROPERTY
- 9) ARCHITECTURAL APPROVAL WAS RECEIVED FROM VILLAGE BOARD OF OWEN BROWN ON FEBRUARY 5, 2020.
- 10) ALL LOADING/UNLOADING AND DELIVERIES WILL OCCUR OFF BUSINESS HOURS BETWEEN 2:00AM AND 6:00AM.
- FIRE SUPPRESSION SYSTEM REQUIREMENTS. PROPOSED STRUCTURE WILL NOT HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER

11) PER 903.2.13.3(1) BUILDINGS LESS THAN 5,000 SF ARE EXEMPT FROM

- 12) ALTERNATIVE COMPLIANCE/DESIGN MANUAL WAIVER <u>HAS</u> <u>BEEN</u> **GRANTED** FOR THE FOLLOWING:
- a. FROM STRICT COMPLIANCE WITH DMV1 SEC. 4.1.1.D.4.B. PIPE COVER IN PAVED AREA FOR PIPE "I-3 - FES-3" WITH THE FOLLOWING 1. THE MATERIAL USED FOR THE PIPE IN QUESTION SHALL
- ALTERNATIVE COMPLIANCE NUMBER WP-20-031 WAS GRANTED ON **NOVEMBER 8, 2019** FOR THE FOLLOWING:

BE REINFORCED CONCRETE PIPE, CLASS V

a. §16.156.(g)(2) - TO REACTIVATE AND EXTEND FOR 45-DAYS FROM THE DATE OF THE ALTERNATIVE COMPLIANCE APPROVAL TO RESUBMIT THE REVISED PLAN (ON OR BEFORE DEC. 23, 2019).

ALTERNATIVE COMPLIANCE NUMBER WP-20-090 WAS GRANTED ON APRIL 14, 2020 FOR THE FOLLOWING:

- a. §16.156.(g)(2) TO REACTIVATE AND EXTEND FOR 45-DAYS FROM THE DATE OF THE ALTERNATIVE COMPLIANCE APPROVAL TO RESUBMIT THE REVISED PLAN (ON OR BEFORE MAY 13, 2020.)
- 13) THE SUBJECT PROPERTY IS ZONED NT NEW TOWN PER THE 2013 COMPREHENSIVE ZONING PLAN SIGNED INTO LAW ON AUGUST 6, 2013. PROPERTY IS ALSO LOCATED WITHIN THE METROPOLITAN DISTRICT.

14) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING

AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAM(S), OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS. 15) THIS PROJECT IS EXEMPT FROM FOREST CONSERVATION

REQUIREMENTS PER SECTION 16.1202.(b)(1)(xiii) - AN ACTIVITY ON A

16) NO SPECIMEN TREES LARGER THAN 30 INCHES IN DIAMETER ARE PROPOSED TO BE REMOVED AS PART OF THIS APPLICATION.

SURFACE AND LOCATED IN THE PRIORITY FUNDING AREA.

- 17) THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT FOR 8 SHADE TREES @ \$300 EA, 24 EVERGREEN TREES @ \$150 EA, 162 SHRUBS @ \$30 EA, AND 140 LF LANDSCAPE WALLS @ \$20 PER LF FOR A TOTAL LANDSCAPE SURETY AMOUNT OF \$13,660.00 (\$2,350.00 FOR PERIMETER LANDSCAPING REQUIREMENTS AND \$11,310.00 FOR PARKING LOT INTERNAL LANDSCAPING, SWM AREA LANDSCAPING. AND DUMPSTER SCREENING). NO ADDITIONAL STREET TREES ARE PROPOSED TO BE PLANTED AT THIS TIME DUE TO CONFLICT WITH HOWARD COUNTY DPW CAPTIAL PROJECT J-4222.
- 18) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- 19) THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO
- 20) THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- 21) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE

COUNTY HEALTH OFFICER

HOWARD COUNTY HEALTH DEPARTMENT

22) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.

- 23) ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE
- 24) THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD SURVEY WITH ONE FOOT CONTOUR INTERVALS, PREPARED BY MERLYN J. JENKINS INC. DATED 07/05/2016, LAST REVISED 11/03/2017.
- 25) THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY FULL STATIONS #42BB AND 0016 WERE USED FOR THIS PROJECT.
- 26) WATER IS PUBLIC. CONTRACT NUMBER: 44-3148-D.
- 27) SEWER IS PUBLIC. CONTRACT NUMBER: 616-D. 28) THE LOT IS SERVICED BY PUBLIC WATER (CODE E12) AND SEWER (CODE
- 29) STORMWATER MANAGEMENT FACILITY TO CONSIST OF A MICRO-BIORETENTION FACILITY AND SHALL BE OWNED/MAINTAINED
- BY THE APPLICANT, BLT CANTINA, LLC. 30) EXISTING UTILITIES ARE BASED ON THE ALTA/NSPS LAND TITLE SURVEY ENTITLED "BLT CANTINA, LLC, TACO BELL, 7102 MINSTREL

11/03/2017 AND BY APPROVED SDP-91-131, SDP-91-005 & SDP-92-066.

WAY, COLUMBIA, MD, STORE NO. 4780," PREPARED BY MERLYN J. JENKINS & ASSOCIATES, INC., DATED 07/05/2016, LAST REVISED

- 31) THERE ARE NO WETLANDS ON THIS SITE.
- 32) THE ADEQUATE ROAD FACILTIES TEST EVALUATION WAS PREPARED BY TRANSPORTATION RESOURCE GROUP, INC., DATED FEBRUARY 2019, AND WAS APPROVED ON SEPTEMBER 3, 2021.
- 33) IT WAS DETERMINED THAT A SUBMISSION TO THE DAP WAS NOT REQUIRED FOR THE PROPOSED DEVELOPMENT.
- 34) A NOISE STUDY IS NOT REQUIRED FOR THIS COMMERCIAL
- 35) HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS PLAN WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS
- 36) ALL EXTERIOR LIGHT FIXTURES SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS ON-SITE AWAY FROM ALL ADJOINING RESIDENTIAL PROPERTIES AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- 37) ECP-19-006 RECEIVED DED APPROVAL ON JANUARY 8, 2019.
- 38) A VARIABLE WIDTH STRIP OF LAND ALONG THE SNOWDEN RIVER PARKWAY RIGHT-OF-WAY IS RESERVED FOR FUTURE DEDICATION FOR HOWARD COUNTY DPW CAPITAL PROJECT J-4222.

SITE ANALYSIS DATA SHEET:

- TOTAL PROJECT AREA: 1.41 ACRES (61,412 SF)
- AREA OF PLAN SUBMISSION: 1.41 ACRES (61,412 SF)
- LIMIT OF DISTURBED AREA: 1.12 ACRES
- PRESENT ZONING DESIGNATION: NT NEW TOWN
- PROPOSED USES FOR SITE AND STRUCTURES: TACO BELL RESTAURANT FLOOR SPACE ON EACH LEVEL OF BUILDING(S) PER USE: 2,753 SF
- MAXIMUM NUMBER OF EMPLOYEES, TENANTS ON SITE PER USE:
- NUMBER OF PARKING SPACES REQUIRED BY HOWARD COUNTY ZONING REGULATIONS AND/OR FDP CRITERIA: 39 SPACES (14 PER
- NUMBER OF PARKING SPACES PROVIDED ON SITE (INCLUDE NUMBER OF HANDICAPPED PARKING SPACES): 39 (37 + 2 ADA)
- BUILDING COVERAGE OF SITE: 0.06 ACRES AND 4.48% OF GROSS
- APPLICABLE DPZ FILE REFERENCES: PB20-196, PB24-085, PB27-060, SDP-91-131, SDP-92-005, SDP-92-066 & FDP-118-A-III PART II, ECP-19-006. PLAT NOS. 5418, 5449, AND 5994.

TACO BELL SITE DEVELOPMENT PLAN

7102 MINSTREL WAY MAP 42, GRID 5, PARCEL 0410, A-33

COUNCIL DISTRICT 3, ELECTION PRECINCT 6-13

ADC MAP 33, C6

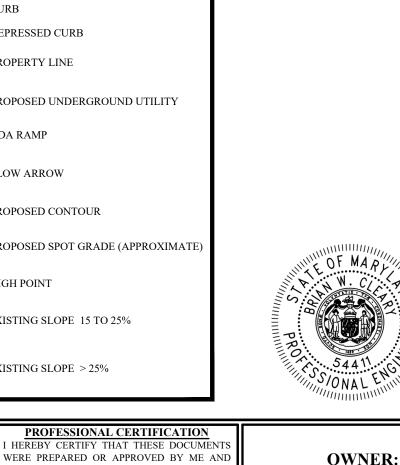
COMMUNITY OF COLUMBIA HOWARD COUNTY, MARYLAND

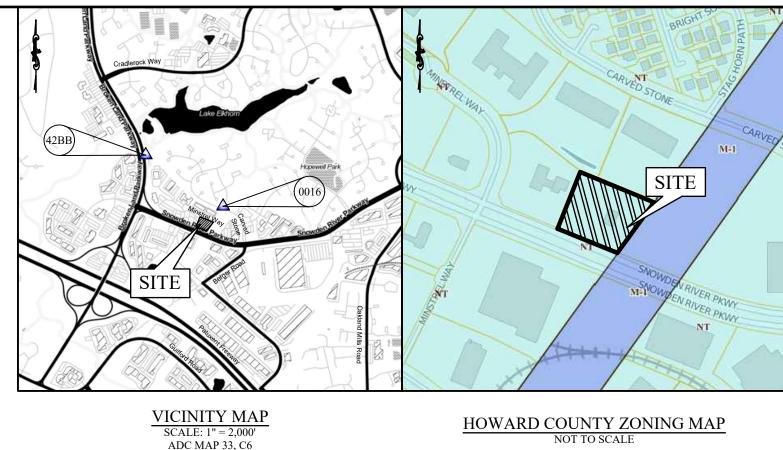


INDEX OF SHEETS

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4	OF	15	GRADING PLAN
5	OF	15	UTILITY PLAN
6	OF	15	LANDSCAPING PLAN
7	OF	15	LIGHTING PLAN
8	OF	15	EROSION & SEDIMENT CONTROL PLAN
9	OF	15	EROSION & SEDIMENT CONTROL NOTES & DETAILS
10	OF	15	UTILITY PROFILES
11	OF	15	CONSTRUCTION DETAILS
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13	OF	15	CONSTRUCTION DETAILS
14	OF	15	CONSTRUCTION DETAILS
15	OF	15	SCHEMATIC BUILDING ELEVATIONS

SYMBOLS LEGEND FULL-DEPTH ASPHALT PAVEMENT CONCRETE PAVEMENT MANHOLE **INLET** CURB DEPRESSED CURB PROPERTY LINE PROPOSED UNDERGROUND UTILITY ADA RAMP FLOW ARROW PROPOSED CONTOUR PROPOSED SPOT GRADE (APPROXIMATE HIGH POINT EXISTING SLOPE 15 TO 25% EXISTING SLOPE > 25%





BENCHMARK NO. 1: COUNTY CONTROL #42BB N. 551394.120, E. 1355639.470, ELEV.= 305.613

<u>BENCHMARK NO. 2:</u> COUNTY CONTROL #0016 N. 550279.375, E. 1357329.021, ELEV. = 358.894

HOWARD COUNTY GENERAL NOTES

1. GEODETIC CONTROLS TAKEN FROM THE HOWARD COUNTY GIS MAPPING SERVICE. HOWARD COUNTY, MARYLAND ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THIS APPLICATION OR THE INFORMATION CONTAINED HEREIN OR DERIVED THEREFROM. THE USER ASSUMES ALL RISKS AND LIABILITIES WHATSOEVER RESULTING FROM OR ARISING OUT OF THE USE OF THIS APPLICATION. THERE ARE NO ORAL AGREEMENTS OR WARRANTIES RELATING TO THE USE OF THIS APPLICATION.

STORMWATER MANAGEMENT INFORMATION									
LOT/PARCEL NUMBER	FACILITY NAME & NUMBER	PRACTICE TYPE (QUANTITY)	PUBLIC	PRIVATE	HOA MAINTAINS	MISC.			
0410, A-33	MB-1	ESDv	NO	YES	NO	MICRO BIO-RETENTION			

	ADDRI	ESS CHART
LOT/PAR	CEL#	STREET ADDRESS
PARCEL 04	10, A-33	7102 MINSTREL WAY

PERMIT INFORMATION CHART									
SUBDIVISION NAME: VIL	LAGE OF OWEN F	BROWN	SECTION/AREA: SECTION 2, AI	LOT/PARCEL NO.: PARCEL 0410, A-33					
PLAT# OR L/F: 10110	GRID #: 5	ZONING: NT	TAX MAP NO: 42	ELECT DISTRICT: 6	CENSUS TRACT:				
WATER CODE: E12, CON	TRACT NO. 44-34	18-D	SEWER CODE: 5272200, CONTRACT NO. 616-D						

	REVISIONS			DESIGNED BY: CBJ	JOB NO: 1061-106	PROJECT:
OWNER:	NO.	DESCRIPTION	DATE	CBJ	1061-106	
TACO BILL OF BALTIMORE, INC. 11879 KEMPER ROAD, SUITE 11 AUBURN, CA 95603				DRAWN BY: CBJ	DATE: 08/04/2021	10
(530) 885-2455 DEVELOPER:				CHECKED BY: BWC	SCALE: AS NOTED	TACO
DE TELOTEK.						

SITE DEVELOPMENT PLAN 7102 MINSTREL WAY

MAP 42, GRID 5, PARCEL 0410, A-33 **ELECTION PRECINCT 6-13 COMMUNITY OF COLUMBIA** HOWARD COUNTY, MARYLAND

COVER SHEET AND INDEX OF SHEETS

APPROVED PLANNING BOARD OF HOWARD COUNTY

October 29, 2020 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING 6/21/2022 (Hd) Edmondson

CHIEF, DEVELOPMENT ENGINEERING DIVISION 6/21/2022 -1EB75478A22B49A. CHIEF, DIVISION OF LAND DEVELOPMENT 6/29/2022 Amy Gonan

DIRECTOR, DEPARTMENT OF PLANNING AND ZONING

THE PETTIT GROUP, LLC Engineering • Architecture • Planning

497 Center Street • Sewell, NJ 08080 Tel: 856-464-9600 Fax: 856-464-9606 www.pettitgroup.com Certificate of Authorization No. 24GA28131400

NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REU OWNER OR OTHERS ON EXTENSIONS OF THE PROJECT OR A E PETTIT GROUP, LLC FOR THE SPECIFIC PURPOSE INTEN LL BE AT THE OWNERS SOLE RISK AND WITHOUT LIABILITY GAL EXPOSURE TO THE PETTIT GROUP, LLC AND OWNER SH. DEMNIFY AND HOLD HARMLESS THE PETTIT GROUP, LLC F AIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT O LTING THEREFROM. CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR CEEDING WITH THE WORK AND NOTIFY THE OWNER OF A SCREPANCIES. THE CONTRACTOR SHALL UNDERSTAND E LOCATION OF UTILITIES SHOWN ON THE PLANS ARE (

DOCUMENTS PREPARED BY THE PETTIT GROUP, LI

IMATE. IT IS IMPORTANT TO NOTE THAT COAIMATE. IT IS IMPORTANT TO NOTE THAT NO ITTIES MAY BE SHOWN ON THE PLANS. IT I PONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UT RIAL AND BURIED) PRIOR TO THE START OF CONSTRUCE CONTRACTOR IS RESPONSIBLE TO CONTACT ERGROUND UTILITY MARK OUT SERVICE (1-800-272-1000) PONSIBLE TO REPAIR (AT HIS EXPENSE) ALL DAMA

BRIAN W. CLEARY, PE State of New Jersey • License # GE 51748 State of Pennsylvania • License # PE081074 State of Maryland • License # 54411

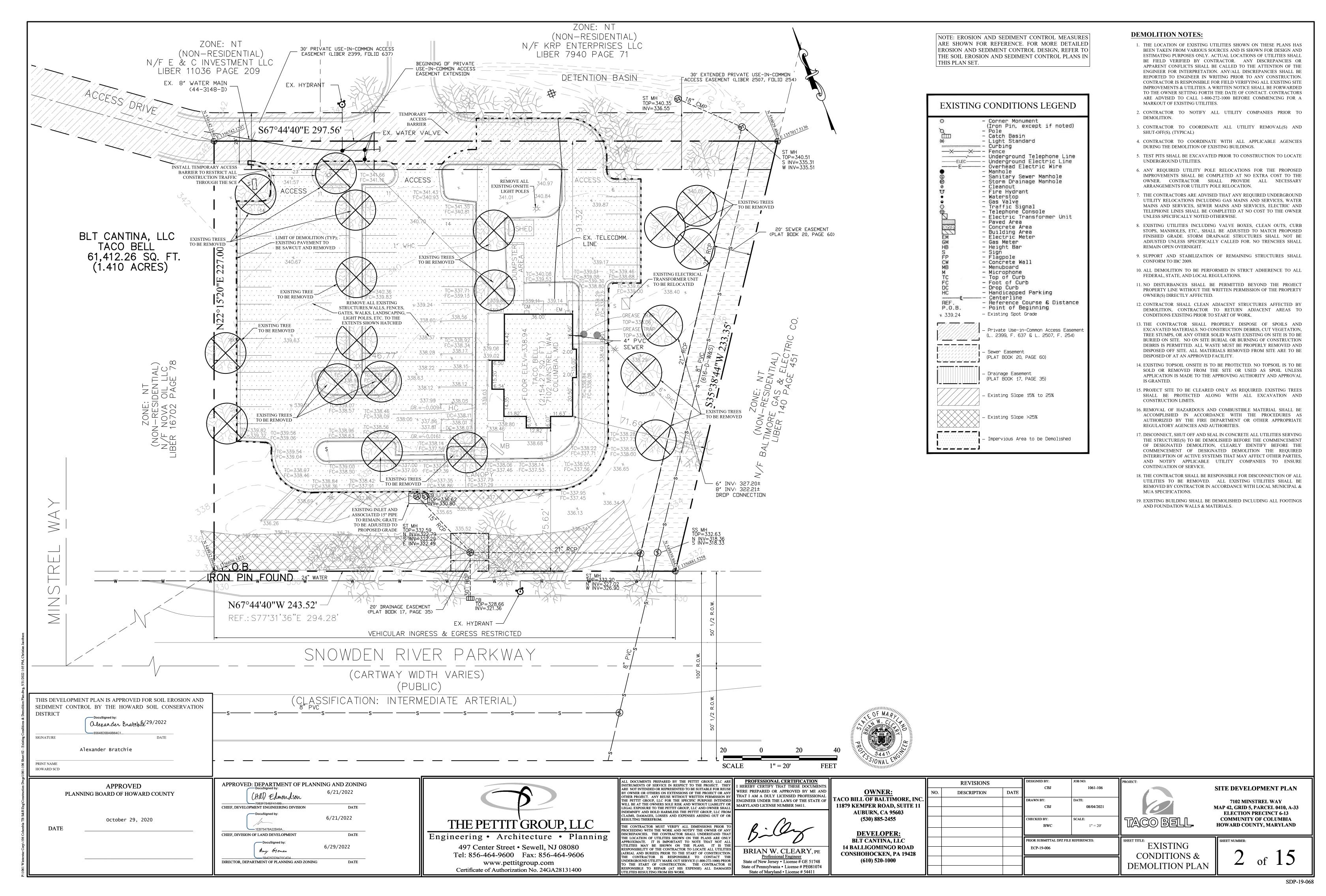
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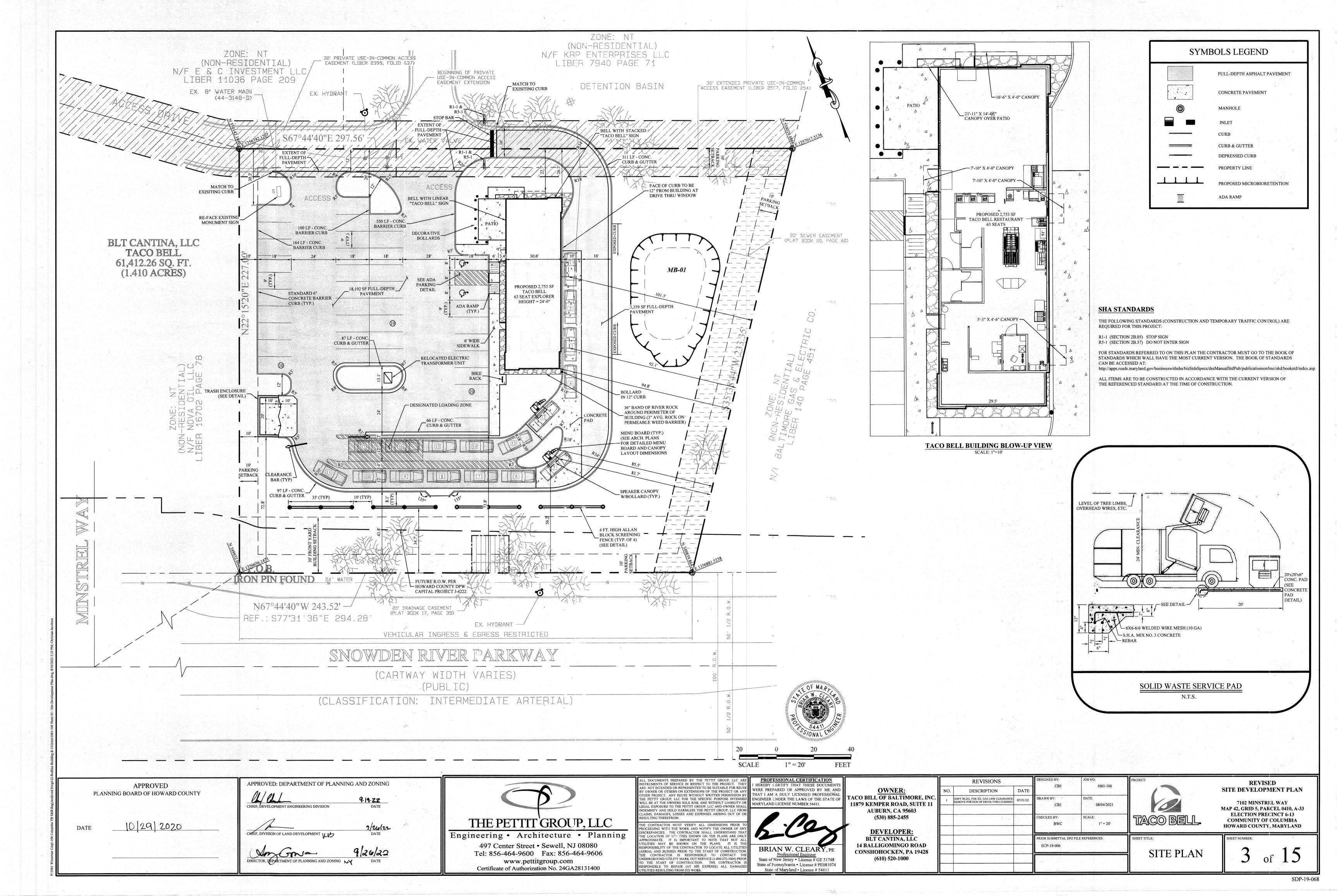
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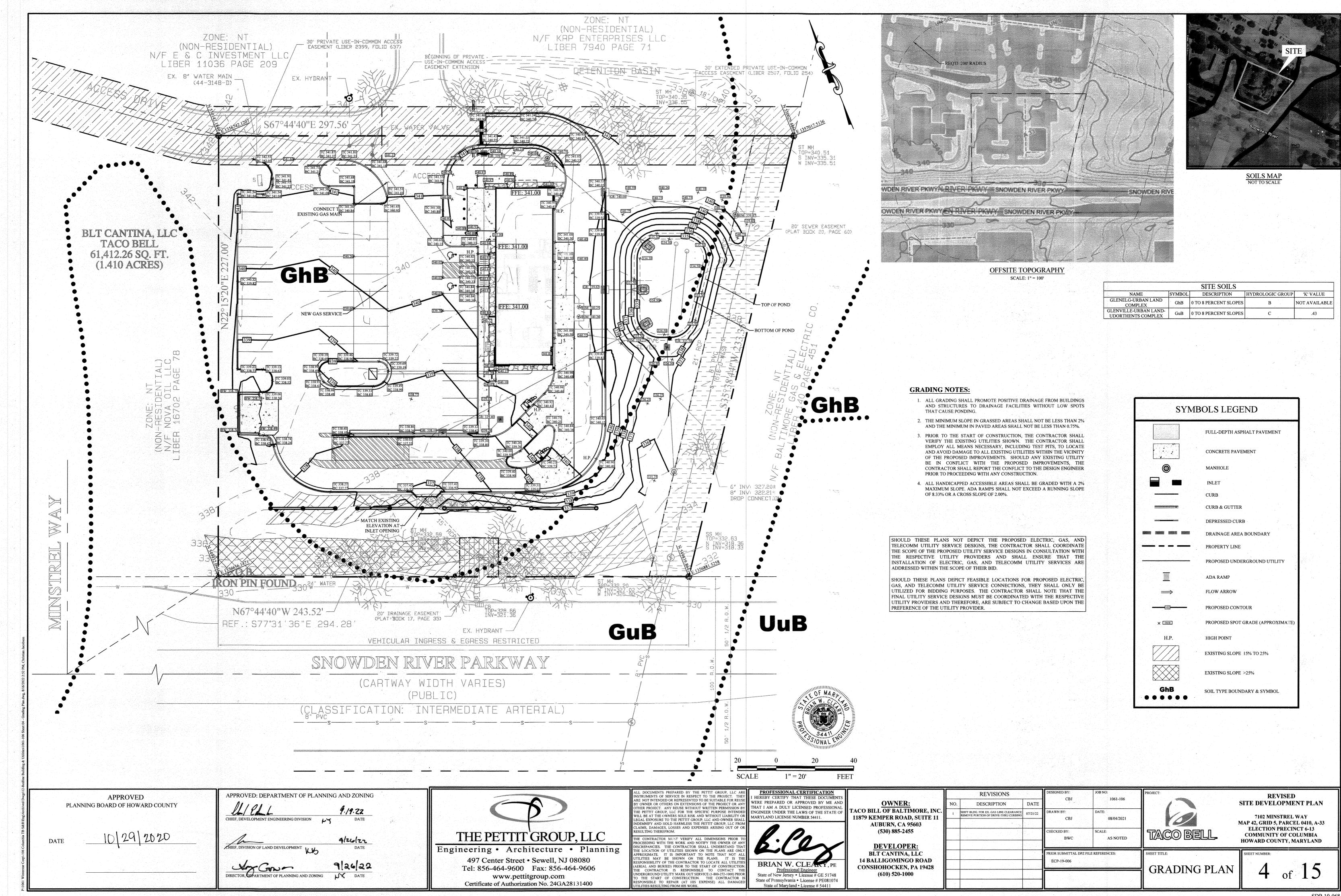
MARYLAND LICENSE NUMBER 54411.

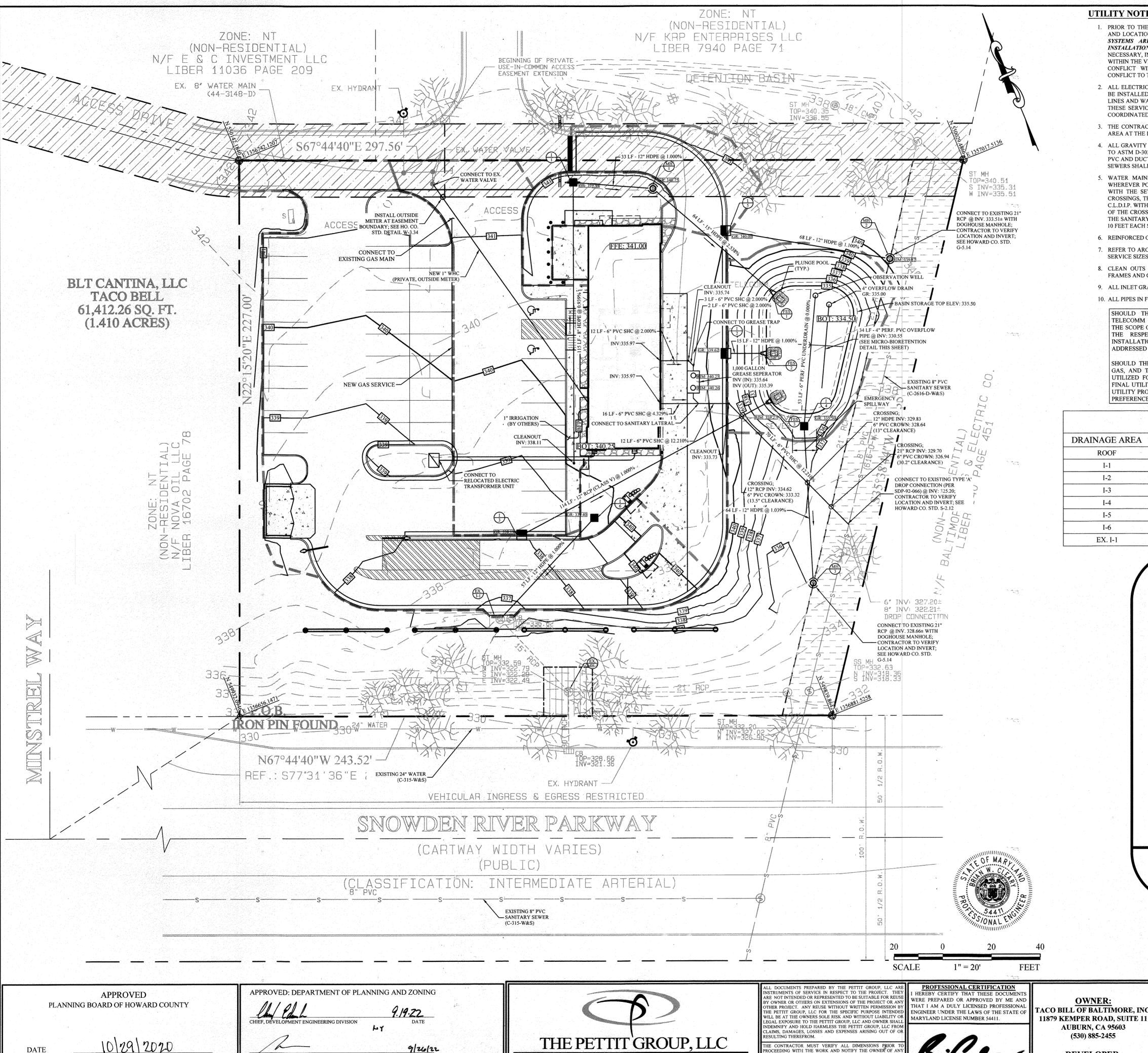
DEVELOPER: BLT CANTINA, LLC 14 BALLIGOMINGO ROAD **CONSHOHOCKEN, PA 19428** (610) 520-1000

PRIOR SUBMITTAL DPZ FILE REFERENCES: ECP-19-006









Engineering • Architecture • Planning

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9/26/22

9/24/22

CHIEF, DIVISION OF LAND DEVELOPMENT

DIRECTOR, DECARTMENT OF PLANNING AND ZONING

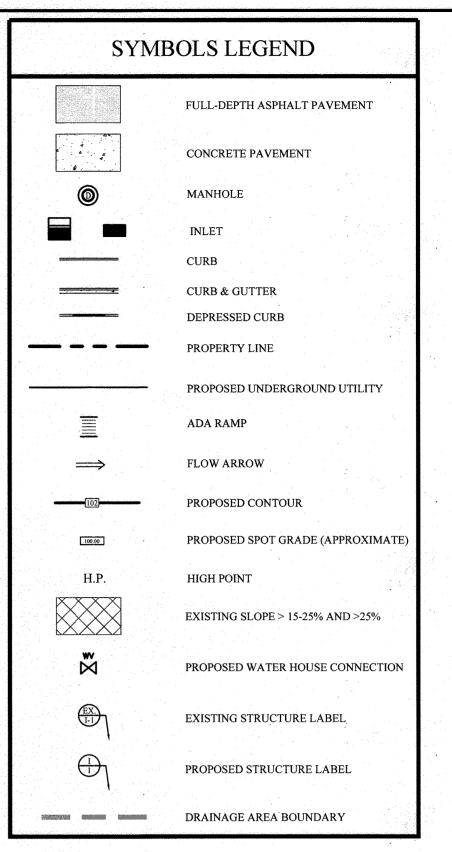
UTILITY NOTES:

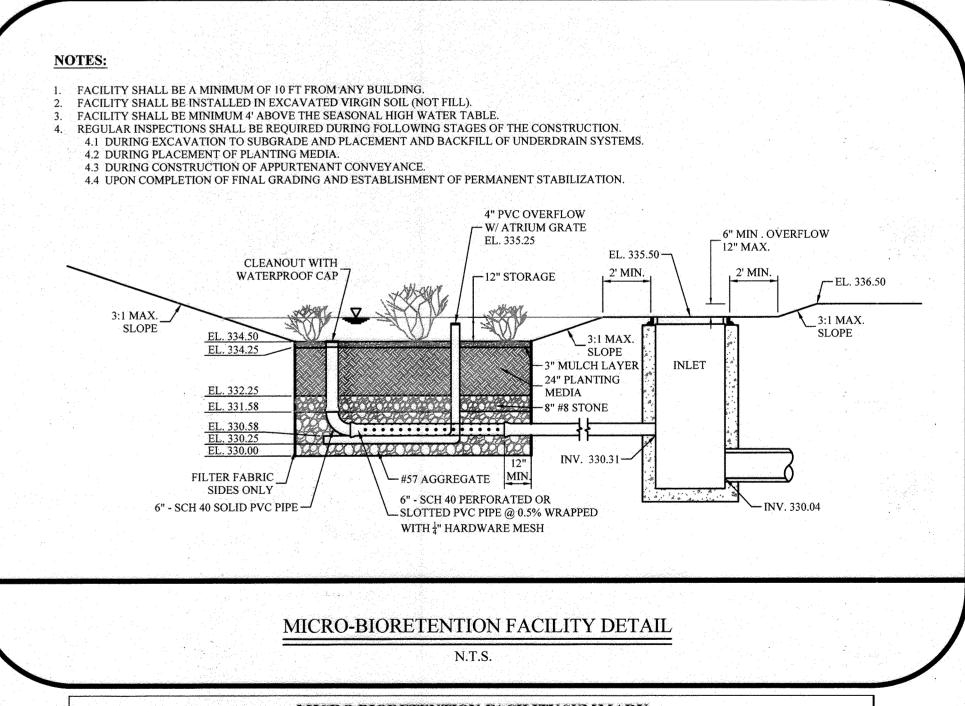
- 1. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, INVERT, AND LOCATION OF EXISTING UTILITIES SHOWN. WHERE CONNECTIONS TO EXISTING GRAVITY SYSTEMS ARE PROPOSED, THIS VERIFICATION MUST BE PERFORMED PRIOR TO THE INSTALLATION OF UPSTREAM COMPONENTS. THE CONTRACTOR SHALL EMPLOY ALL MEANS NECESSARY, INCLUDING TEST PITS, TO LOCATE AND AVOID DAMAGE TO ALL EXISTING UTILITIES WITHIN THE VICINITY OF THE PROPOSED IMPROVEMENTS. SHOULD ANY EXISTING UTILITY BE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS, THE CONTRACTOR SHALL REPORT THE CONFLICT TO THE DESIGN ENGINEER PRIOR TO PROCEEDING WITH ANY CONSTRUCTION.
- 2. ALL ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION AND OTHER PUBLIC UTILITY LINES SHALL BE INSTALLED UNDERGROUND. MINIMUM HORIZONTAL CLEARANCE BETWEEN PUBLIC UTILITY LINES AND WATER OR SEWER MAINS SHALL BE THREE (3) FEET. CONTRACTOR TO ENSURE THAT THESE SERVICES ARE INCLUDED IN THEIR SCOPE OF WORK AND FINAL LOCATIONS SHALL BE COORDINATED WITH THE UTILITY PROVIDERS.
- 3. THE CONTRACTOR SHALL BACKFILL HIS TRENCH AND PROTECT THE PUBLIC FROM THE WORK AREA AT THE END OF EACH WORKING DAY. NO TRENCHES SHALL REMAIN OPEN OVERNIGHT.
- 4. ALL GRAVITY SANITARY SEWER MAIN AND LATERALS SHALL BE PVC PIPE, SDR-35 CONFORMING TO ASTM D-3034 WITH PUSH-ON JOINTS, UNLESS OTHERWISE SPECIFIED. MINIMUM COVER OVER PVC AND DUCTILE IRON SANITARY SEWER MAINS AND LATERALS SHALL BE THREE (3) FEET. ALL SEWERS SHALL BE CONSTRUCTED WITH BEDDING AS DETAILED.
- 5. WATER MAINS AND SANITARY SEWER SHALL BE SEPARATED BY 10 FEET HORIZONTALLY WHEREVER POSSIBLE. OTHERWISE, THE SEWER AND WATER SHALL BE IN SEPARATE TRENCHES WITH THE SEWER 18" BELOW THE BOTTOM OF THE WATER MAIN. AT WATER AND SEWER CROSSINGS, THE SEWER SHALL BE 18" MINIMUM BELOW THE WATER OR SEWER MAIN SHALL BE C.L.D.I.P. WITH SLIP-ON JOINTS AND ENCASED IN CONCRETE FOR 10 FEET MINIMUM ON EACH SIDE OF THE CROSSING. WHERE SANITARY SEWER CROSS OVER OR WITHIN 18" UNDER A STORM PIPE. THE SANITARY SEWER SHALL BE C.L.D.I.P. WITH SLIP-ON JOINTS AND ENCASED IN CONCRETE FOR 10 FEET EACH SIDE OF THE CROSSING.
- 6. REINFORCED CONCRETE PIPE SHALL BE CLASS III UNLESS OTHERWISE NOTED.
- 7. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
- 8. CLEAN OUTS AND CURB BOXES WITHIN THE PAVED AREAS MUST HAVE TRAFFIC LOADING FRAMES AND COVERS.
- 9. ALL INLET GRATES SHALL BE BICYCLE-SAFE GRATES.
- 10. ALL PIPES IN FILL SHALL CONFORM TO AASHTO T-180 SPECIFICATIONS

SHOULD THESE PLANS NOT DEPICT THE PROPOSED ELECTRIC, GAS, AND TELECOMM UTILITY SERVICE DESIGNS, THE CONTRACTOR SHALL COORDINATE THE SCOPE OF THE PROPOSED UTILITY SERVICE DESIGNS IN CONSULTATION WITH THE RESPECTIVE UTILITY PROVIDERS AND SHALL ENSURE THAT THE INSTALLATION OF ELECTRIC, GAS, AND TELECOMM UTILITY SERVICES ARE ADDRESSED WITHIN THE SCOPE OF THEIR BID.

SHOULD THESE PLANS DEPICT FEASIBLE LOCATIONS FOR PROPOSED ELECTRIC GAS, AND TELECOMM UTILITY SERVICE CONNECTIONS, THEY SHALL ONLY BE UTILIZED FOR BIDDING PURPOSES. THE CONTRACTOR SHALL NOTE THAT THE FINAL UTILITY SERVICE DESIGNS MUST BE COORDINATED WITH THE RESPECTIVE UTILITY PROVIDERS AND THEREFORE, ARE SUBJECT TO CHANGE BASED UPON THE PREFERENCE OF THE UTILITY PROVIDER.

DRAINAGE SUMMARY TABLE							
DRAINAGE AREA	TOTAL AREA (SF)	IMPERVIOUS (%)	C FACTOR				
ROOF	3,024	100	0.86				
I-1	1,502	8	0.29				
I-2	3,703	99	0.85				
I-3	7,475	97	0.84				
I-4	4,527	0	0.24				
I-5	2,271	69	0.67				
I-6	818	1	0.25				
EX. I-1	16,526	90	0.79				





				MICRO	BIORE	TENTION I	FACILITY	/SUMMARY			
	TRIBUT	ARY AR	EA	I II	TEMP. STORAGE ABOVE FILTER STORAGE BELOW UNDERDRA			UNDERDRAIN	AN .		
	IMPERVIOUS (SF)	GRAS S (SF)	TOTAL (SF)	BASIN BOTTOM ELEV. (FI)	4" ATRIUM GRATE ELEV.	OUTFALL INLET GRATE ELEV.	MAX. BASIN STORAGE (CF)	BASIN BOTTOM SURFACE AREA (SF)	UNDERDRAI N INVERT (FI)	STONE BOTIOM ELEVATION (FI)	STONE STORAGE (CF)*
MB-01	14,100	6,133	20,233	334.50	335.25	335.50	1,601	1,368	330.58	330.00	317

SHIFT BLDG. FOR EX. GAS LINE CLEARANCE; REMOVE PORTION OF DRIVE-THRU CURBING 11879 KEMPER ROAD, SUITE 11 **AUBURN, CA 95603** (530) 885-2455 HECKED BY: **DEVELOPER:** PRIOR SUBMITTAL DPZ FILE REFERENCES: **BLT CANTINA, LLC** 14 BALLIGOMINGO ROAD ECP-19-006 CONSHOHOCKEN, PA 19428 (610) 520-1000

CREPANCIES. THE CONTRACTOR SHALL UNDERSTANT E LOCATION OF UTILITIES SHOWN ON THE PLANS ARE

INSIBILITY OF THE CONTRACTOR TO LOCATE ALL UT

ERIAL AND BURIED) PRIOR TO THE START OF CONSTRUCT
E CONTRACTOR IS RESPONSIBLE TO CONTACT
DERGROUND UTILITY MARK OUT SERVICE (1-800-272-1000) PR

THE START OF CONSTRUCTION. THE CONTRACTOR

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BRIAN W. CLEART, P.

State of New Jersey • License # GE 51748

State of Pennsylvania • License # PE081074

State of Maryland • License # 54411-

PPROXIMATE. IT IS IMPORTANT TO NOTE THAT

TIES RESULTING FROM HIS WORK

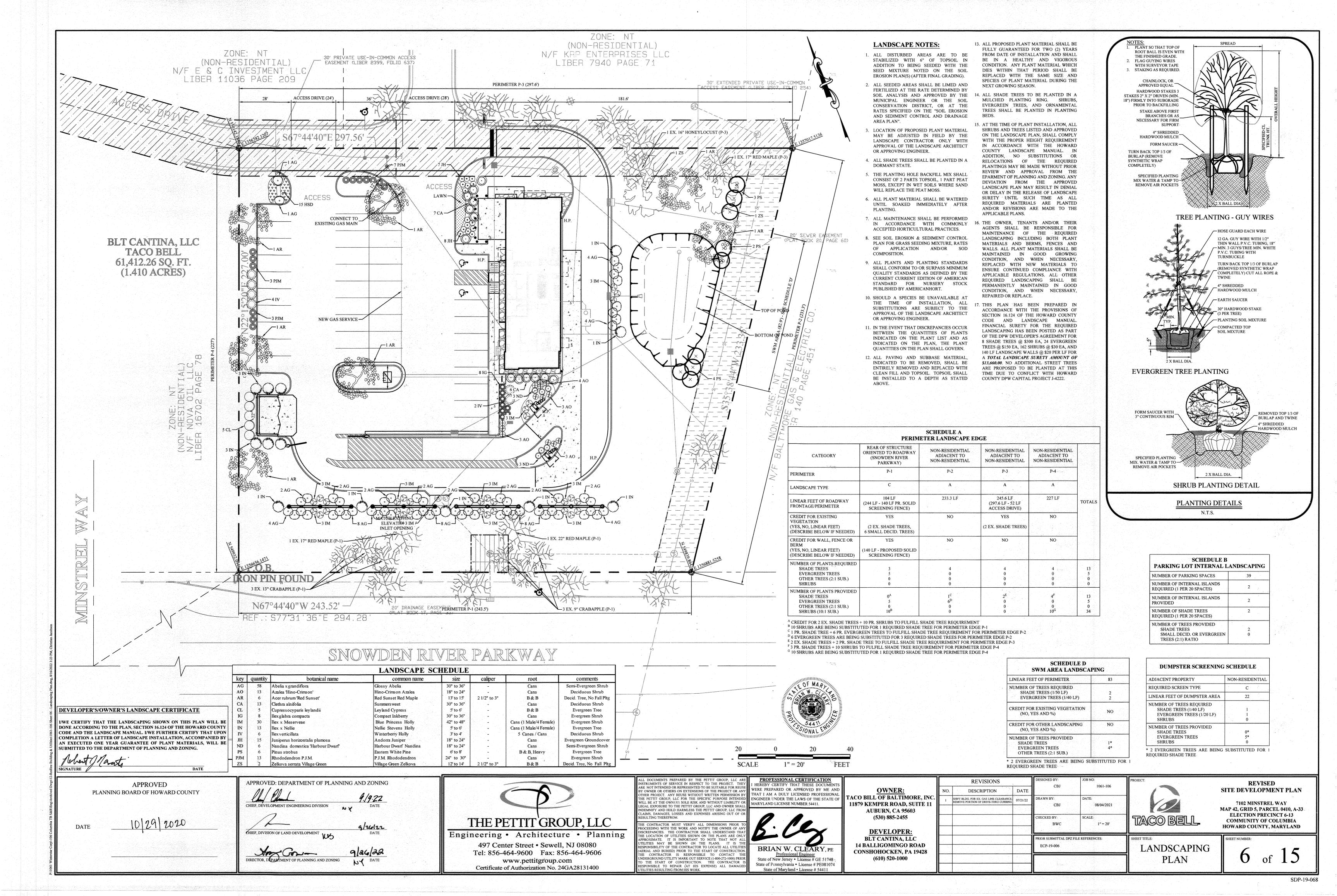
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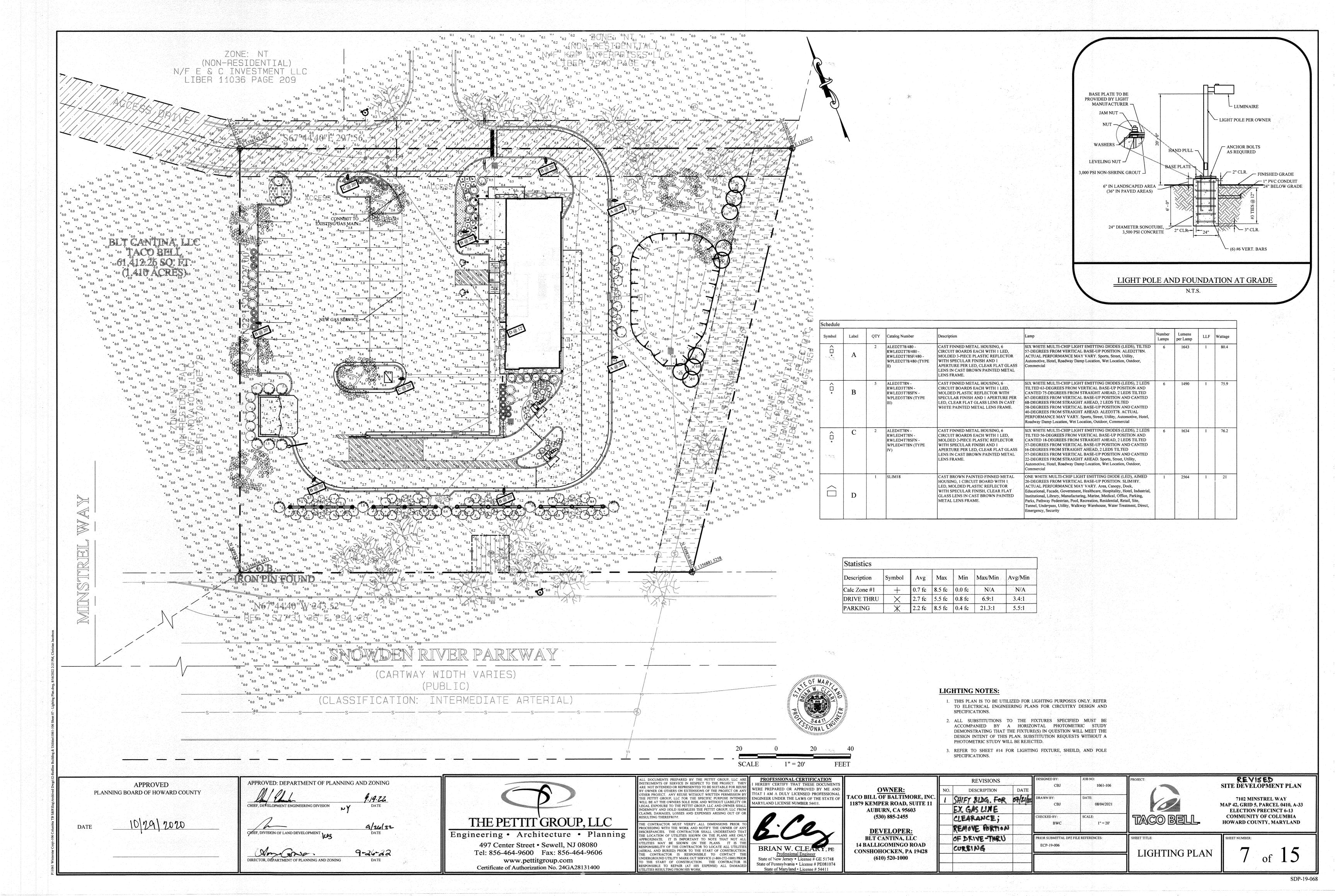
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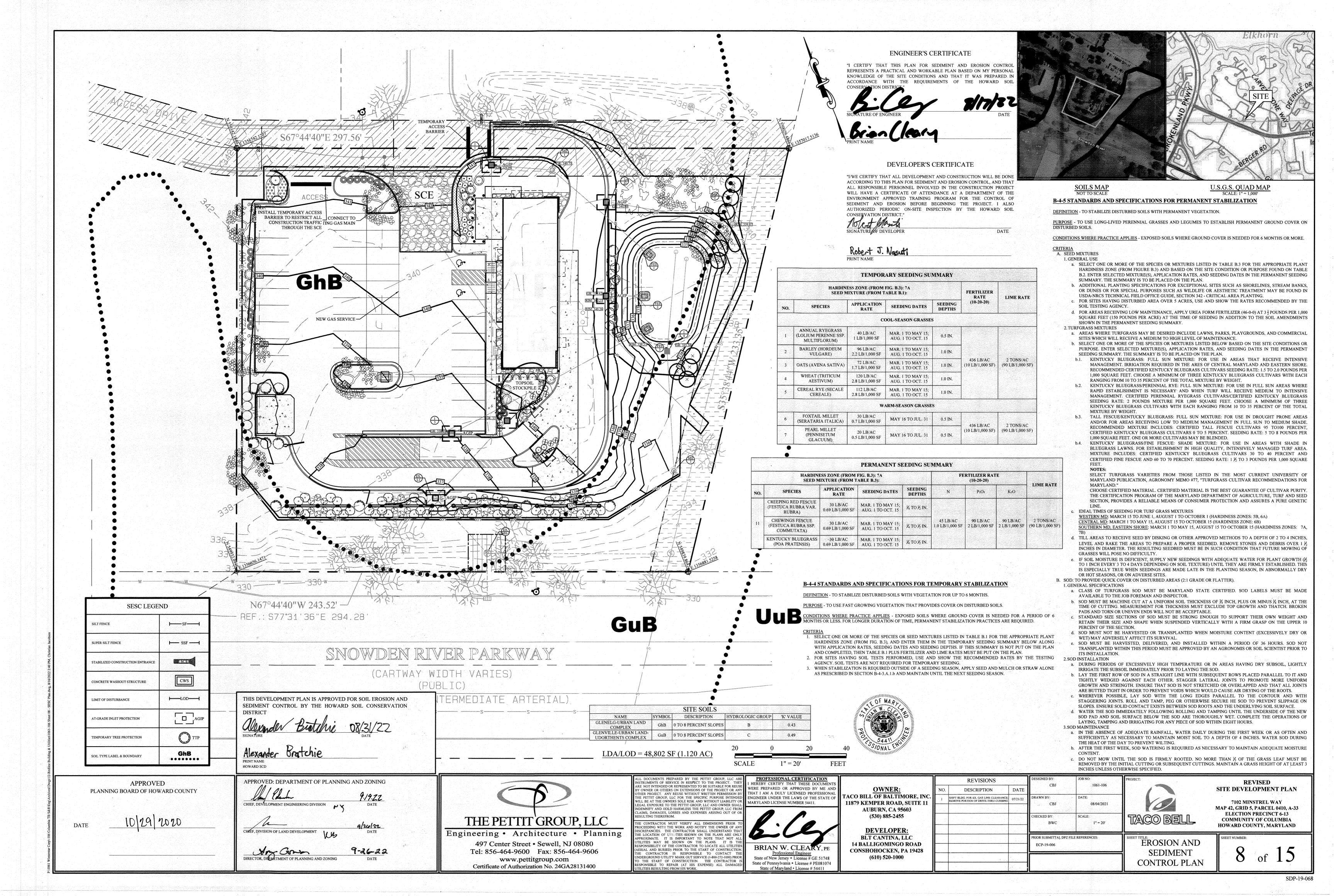
UTILITY PLAN

REVISED SITE DEVELOPMENT PLAN

7102 MINSTREL WAY MAP 42, GRID 5, PARCEL 0410, A-33 **ELECTION PRECINCT 6-13** COMMUNITY OF COLUMBIA HOWARD COUNTY, MARYLAND







B-4-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS $\underline{\mathsf{DEFINITION}} - \mathsf{THE}\ \mathsf{PROCESS}\ \mathsf{OF}\ \mathsf{PREPARING}\ \mathsf{THE}\ \mathsf{SOILS}\ \mathsf{TO}\ \mathsf{SUSTAIN}\ \mathsf{ADEQUATE}\ \mathsf{VEGETATIVE}\ \mathsf{STABILIZATION}.$

 $\underline{\text{CONDITIONS WHERE PRACTICE APPLIES}} - \text{WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.}$

PURPOSE – TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

A. SOIL PREPARATION 1. TEMPORARY STABILIZATION

MEANS

- a. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOWS OR RIPPERS MOUNTED ON CONSTRUCITON EQUIPMENT. AFTER THE SOIL IS LOOSENED, IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION. SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE.
- b. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS. c. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE
- 2. PERMANENT STABILIZATION a. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE:
 - i. SOIL pH BETWEEN 6.0 AND 7.0. ii. SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM) iii. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF

MOISTURE. AN EXCEPTION: IF LOVEGRASS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30

PERCENT SILT PLUS CLAY) WOULD BE ACCEPTABLE iv. SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT.

v. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.

- b. APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE CONDITIONS.
- c. GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES.
- d. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS OF A
- e. MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. RAKE LAWN AREAS TO SMOOTH SURFACE, REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES, AND READY THE AREA FOR SEED APPLICATION. LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION. TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRIABLE. SEEDBED LOOSENING MAY BE UNNECESSARY ON NEWLY DISTURBED AREAS
- B. TOPSOILING 1. TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH, SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW pH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE
- 2. TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A FIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-NRCS.
- a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE
- b. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
- c. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH. d. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

3. TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE

- AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN 5. TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA:
- a. TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAND OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. TOPSOIL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 ½ INCHES IN DIAMETER
- b. UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO
- PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. c. TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER
- GRADING AND SEEDBED PREPARATION. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)
- SOIL TESTS MUSH BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OR 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSES.
- FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT, MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME, OR TRADEMARK AND
- LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 50 PERCENT WILL PASS. THROUGH A #100 MESH SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH A #20 MESH SII
- 4. LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.
- WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

06/03/22 DATE

BRIAN W. CLEARY, PE

PRINT NAME

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZED PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

06/03/22 DATE

ROBERT J. NASUTI

DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT 6/21/2022 Olexander Bratchie

SIGNATURI HOWARD SCD

> APPROVED PLANNING BOARD OF HOWARD COUNTY

> > October 29, 2020

(Hd1) Edmondson CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 6/21/2022 -1EB75478A22B49A. CHIEF, DIVISION OF LAND DEVELOPMENT DATE 6/29/2022 Amy Gonar

DIRECTOR, DEPARTMENT OF PLANNING AND ZONING

APPROVED: DEPARTMENT OF PLANNING AND ZONING

6/21/2022

THE PETTIT GROUP, LLC

Engineering • Architecture • Planning 497 Center Street • Sewell, NJ 08080 Tel: 856-464-9600 Fax: 856-464-9606 www.pettitgroup.com Certificate of Authorization No. 24GA28131400

ANTICIPATED CONSTRUCTION SCHEDULE

OBTAIN GRADING PERMIT. CONTACT THE HOWARD COUNTY CONSTRUCTION

PRIOR TO START OF CONSTRUCTION TO SCHEDULE A 1 DAY PRE-CONSTRUCTION MEETING TO REVIEW PLANS AND BECOME FAMILIAR WITH ALL PERMITS. INSTALL STABILIZED CONSTRUCTION ENTRANCE, TEMPORARY TREE PROTECTION, SILT FENCE, AND SUPER SILT

a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED USED MUST HAVE BEEN TESTED 4. OBTAIN CID APPROVAL OF PERIMETER CONTROLS. WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REMOVE EXISTING STRUCTURE AND EXISTING ASPHALT REFER TO TABLE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST PARKING LOT TO EXTENTS SHOWN.

b. MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WHEN THE GROUND THAWS. AS REQUIRED AND SHOWN ON PLAN. c. INOCULANTS: THE INOCULANTS FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CONSTRUCT SWM MICROBIORETENTION FACILITY IN CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCULANTS MUST BUILDINGS, STRUCTURES, AND PARKING LOT AND INSTALL

SPECIFICATIONS.

NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS EFFECTIVE. d. SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT

2. APPLICATION a. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS.

 $\underline{\textbf{B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING}}$

AREA NOT UNDER ACTIVE GRADING

1. SPECIFICATIONS

CRITERIA

A. SEEDING

<u>DEFINITION</u> – THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

TO THE INSPECTOR TO VERIEV TYPE OF SEED AND SEEDING RATE.

PURPOSE – TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

CONDITIONS WHERE PRACTICE APPLIES - TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED

- INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.1, PERMANENT SEEDING TABLE B.3, OR SITE-SPECIFIC SEEDING SUMMARIES. ii. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION, ROLL THE SEEDED AREA WITH A WEIGHTED ROLLER TO PROVIDE GOOD SEED TO
- b. DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL. i. CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT
- LEAST ¼ INCH OF SOIL COVERING, SEEDBED MUST BE FIRM AFTER PLANTING ii. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION c. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND FERTILIZER). i. IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT
- EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN; P2O5 PHOSPHOROUS), 200 POUNDS PER ACRE: K20 (POTASSIUM), 200 POUNDS PER ACRE ii. LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE
- TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING. iii. MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT INTERRUPTION. iv. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.
- B. MULCHING 1. MULCH MATERIALS (IN ORDER OF PREFERENCE)
- a. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED, DECAYED, OR EXCESSIVELY DUSTY, NOTE: USE ONLY STERILE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED. b. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE. i. WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNIFORMLY SPREAD SLURRY.
 - WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITING FACTORS. iii. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED, FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENOEOUS SLURRY. THE MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER, ON APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS. iv. WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT
- WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH OF APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, pH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER HOLDING CAPACITY OF 90 PERCENT MINIMUM. 2. APPLICATION
- APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING . WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE. c. WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER
- a. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE) DEPENDING UPON THE SIZE OF THE AREA AND EROSION HAZARD:
 - A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY, IF USED ON SLOPING LAND, THIS PRACTICE SHOULD FOLLOW THE CONTOUR.
 - ii. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER. SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-70, PETROSET, TERRA TAX II, TERR. TACK AR OR OTHER APPROVED EQUAL MAY BE USED. FOLLOW APPLICATION RATES AS SPECIFIED BY

THE MANUFACTURER. APPLICATION OF LIQUID BINDERS NEEDS TO BE HEAVIER AT THE EDGES WHERE

WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE OF ASPHALT BINDERS IS STRICTLY PROHIBITED. iv. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000

B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

<u>DEFINITION</u> – A MOUND OR PILE OF SOIL PROTECTED BY APPROPRIATELY DESIGNED EROSION AND SEDIMENT CONTROL

PURPOSE - TO PROVIDE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION, AND CHANGES TO DRAINAGE PATTERNS.

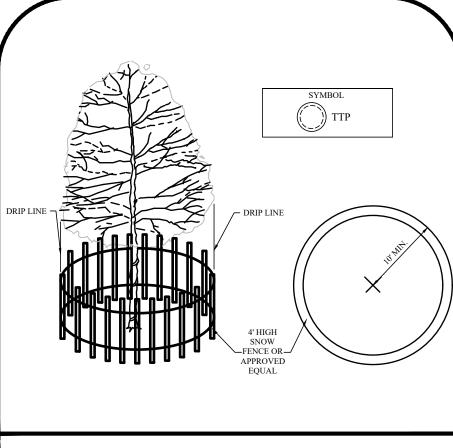
 $\underline{\text{CONDITIONS WHERE PRACTICE APPLIES}} - \text{STOCKPILE AREAS ARE UTILIZED WHEN IT IS NECESSARY TO SALVAGE AND}$

- 1. THE STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE CLEARLY INDICATED ON THE EROSION AND SEDIMENT CONTROL PLAN THE FOOTPRINT OF THE STOCKPILE MUST BE SIZED TO ACCOMMODATE THE ANTICIPATED VOLUME OF MATERIAL AND BASED ON A SIDE SLOPE RATIO NO STEEPER THAN 2:1. BENCHING MUST BE PROVIDED IN ACCORDANCE WITH
- SECTION B-3 LAND GRADING RUNOFF FROM THE STOCKPILE AREA MUST DRAIN TO A SUITABLE SEDIMENT CONTROL PRACTICE.
- ACCESS THE STOCKPILE AREA FROM THE UPGRADE SIDE. CLEAR WATER RUNOFF INTO THE STOCKPILE AREA MUST BE MINIMIZED BY USE OF A DIVERSION DEVICE SUCH AS
- AN EARTH DIKE, TEMPORARY SWALE OR DIVERSION FENCE. PROVISIONS MUST BE MADE FOR DISCHARGING CONCENTRATED FLOW IN A NON-EROSIVE MANNER.
- WHERE RUNOFF CONCENTRATES ALONG THE TOE OF THE STOCKPILE FILL, AN APPROPRIATE EROSION/SEDIMENT CONTROL PRACTICE MUST BE USED TO INTERCEPT THE DISCHARGE. STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 3/7 DAY STABILIZATION REQUIREMENT AS WELL AS STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION.
- 8. IF THE STOCKPILE IS LOCATED ON AN IMPERVIOUS SURFACE, A LINER SHOULD BE PROVIDED BELOW THE STOCKPILE TO FACILITATE CLEANUP. STOCKPILES CONTAINING CONTAMINATED MATERIAL MUST BE COVERED WITH IMPERMEABLE SHEETING.

MAINTENANCE

THE STOCKPILE AREA MUST CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION, SIDE SLOPES MUST BE MAINTAINED AT NO STEEPER THAN A 2:1 RATIO. THE STOCKPILE AREA MUST BE KEPT FREE OF EROSION. IF THE VERTICAL HEIGHT OF A STOCKPILE EXCEEDS 20 FEET FOR 2:1 SLOPES, 30 FEET FOR 3:1 SLOPES, OR 40 FEET FOR 4:1 SLOPES, BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADING.

- INSPECTION DIVISION (CID) AT 410-313-1855 TWO WEEKS FENCE. INSTALL INLET PROTECTION DEVICES ON EXISTING
- 1 DAY 10 DAYS PERFORM EXCAVATION AND SITE GRADING TO SUB-GRADE
- 3 DAYS ACCORDANCE WITH PLANS AND DETAILS, CONSTRUCT 50 DAYS
- UTILITIES AS REQUIRED AND SHOWN ON THE PLAN. MAINTAIN ALL SEDIMENT CONTROL MEASURES ONGOING THROUGHOUT CONSTRUCTION. FINE GRADE, TOPSOIL, SEED AND MULCH PER 5 DAYS
- ONCE THE SITE IS FULLY STABILIZED AND THROUGH COORDINATION AND APPROVAL OF THE CID, REMOVE SEDIMENT 1 DAYS CONTROL MEASURES.



TREE PROTECTION DURING CONSTRUCTION

HSCD STANDARD SEDIMENT CONTROL NOTES

- 1. A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS. CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER THE FUTURE LOD AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MINIMUM OF 48 HOURS NOTICE TO CID MUST BE GIVEN AT THE FOLLOWING STAGES:
 - a. PRIOR TO THE START OF EARTH DISTURBANCE, b. UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT
 - BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING, c. PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF ANOTHER GRADING UNIT.
- d. PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL PRACTICES. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE. OTHER RELATED STATE AND FEDERAL PERMITS SHALL BE REFERENCED, TO
- ENSURE COORDINATION AND TO AVOID CONFLICTS WITH THIS PLAN. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO.
- 3. FOLLOWING THE INITIAL SOIL DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1), AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE GRADING
- 4. ALL DISTURBED AREA MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR TOPSOIL (SEC. B-4-2), PERMANENT SEEDING (SEC. B-4-5), TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES IF THE GROUND IS FROZEN. INCREMENTAL STABILIZATION (SEC. B-4-1) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH >15' OF CUT AND/OR FILL. STOCKPILES (SEC. B-4-8) IN EXCESS OF 20 FT MUST BE BENCHED WITH STABLE OUTLET. ALL CONCENTRATED FLOW, STEEP SLOPE, AND HIGHLY ERODIBLE AREAS SHALL RECEIVE SOIL STABILIZATION MATTING (SEC. B-4-6).
- 5. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THIER REMOVAL HAS BEEN OBTAINED FROM THE CID.
- 6. SITE ANALYSIS: TOTAL AREA OF SITE 1.41 ACRES AREA DISTURBED: 1.12 ACRES AREA TO BE ROOFED OR PAVED: 0.69 ACRES AREA TO BE VEGETATIVELY STABILIZED 0.72 ACRES TOTAL CUT 803 CU, YDS.
- TOTAL FILL 733 CU. YDS. OFFSITE WASTE/BORROW AREA LOCATION: <TO BE DETERMINED ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- 8. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE CID. THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY; AND THE NEXT DAY AFTER EACH RAIN EVENT. A WRITTEN REPORT BY THE CONTRACTOR, MADE AVAILABLE UPON REQUEST, IS PART OF EVERY INSPECTION AND
 - INSPECTION DATE • INSPECTION TYPE (ROUTINE, PRE-STORM EVENT, DURING RAIN EVENT)
 - NAME AND TITLE OF INSPECTOR • WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST RECORDED PRECIPITATION)
 - BRIEF DESCRIPTION OF PROJECT'S STATUS (E.G., PERCENT COMPLETE) AND/OR CURRENT ACTIVITIES EVIDENCE OF SEDIMENT DISCHARGES
 - IDENTIFICATION OF PLAN DEFICIENCIES IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAINTENANCE
 - IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS • COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTRUCTION AND STABILIZATION REQUIREMENTS
 - PHOTOGRAPHS MONITORING/SAMPLING
- MAINTENANCE AN/OR CORRECTIVE ACTION PERFORMED • OTHER INSPECTION ITEMS AS REQUIRED BY THE GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES (NPDES, MDE).
- 9. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER. 10. ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE HSCD PRIOR TO PROCEEDING WITH CONSTRUCTION. MINOR REVISIONS MAY BE ALLOWED BY
- THE CID PER THE LIST OF HSCD-APPROVED FIELD CHANGES. 11. DISTURBANCE SHALL NOT OCCUR OUTSIDE THE L.O.D. A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE CID. UNLESS OTHER WISE SPECIFIED
- AND APPROVED BY THE HSCD, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME. 12. WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT STRUCTURE 13. TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDISTRIBUTION ONTO FINAL GRADE.
- 14. ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON-THE-CONTOUR, AND BE IMBRICATED AT 25 MINIMUM INTERVALS, WITH LOWER ENDS CURLED UPHILL BY 2' IN ELEVATION. 15. STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS (INCLUSIVE):
 - USE I AND IP MARCH 1 JUNE 15 • USE III AND IIIP OCTOBER 1 - APRIL 30 USE IV MARCH 1 - MAY 31

LL DOCUMENTS PREPARED BY THE PETTIT GROUP, LLC ARE

Y OWNER OR OTHERS ON EXTENSIONS OF THE PROJECT OR ANY

THER PROJECT. ANY REUSE WITHOUT WRITTEN PERMISSION BY THAT I AM A DULY LICENSED PROFESSIONAL

HE PETTIT GROUP, LLC FOR THE SPECIFIC PURPOSE INTENDED Ⅱ ENGINEER UNDER THE LAWS OF THE STATE OF

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DERGROUND UTILITY MARK OUT SERVICE (1-800-272-1000) PR

ESPONSIBLE TO REPAIR (AT HIS EXPENSE) ALL DAMA

ESULTING THEREFROM

16. A COPY OF THIS PLAN, THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND ASSOCIATED PERMITS SHALL BE ON-SITE AND AVAILABLE WHEN THE SITE IS ACTIVE

PROFESSIONAL CERTIFICATION

MARYLAND LICENSE NUMBER 54411.

HEREBY CERTIFY THAT THESE DOCUMEN

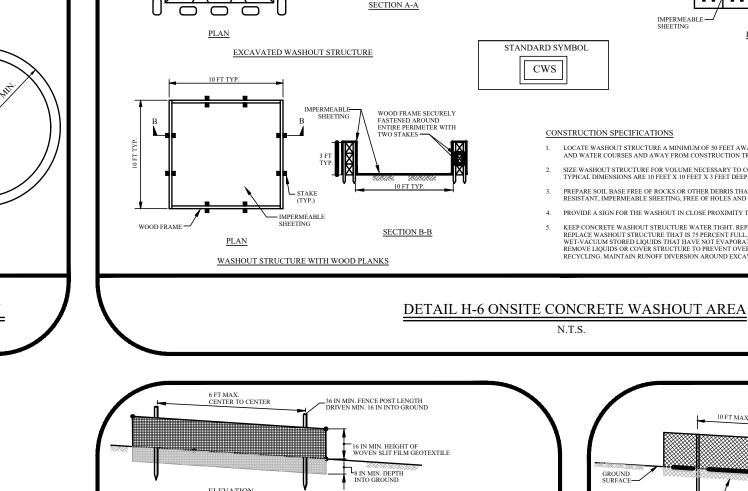
BRIAN W. CLEARY. PE

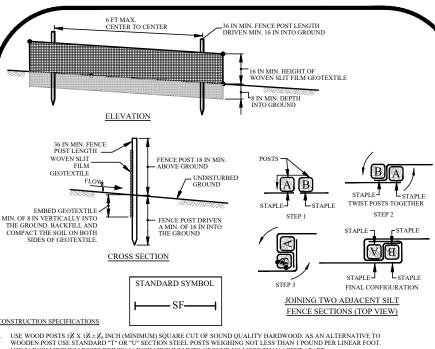
Professional Engineer

State of New Jersey • License # GE 51748

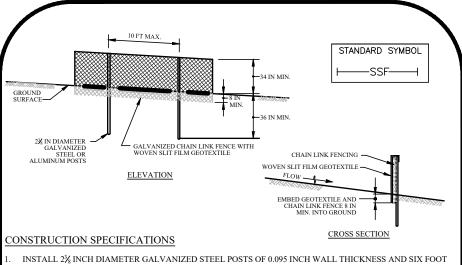
State of Pennsylvania • License # PE081074

State of Maryland • License # 54411





ISE 36 INCH MINIMUM POSTS DRIVEN 16 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APART. SE WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-I MATERIALS AND FASTEN GEOTEXTILE SECURELY TO PSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION. ROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT



STAPLE DETAIL

SECTION B-B

WASHOUT STRUCTURE WITH STRAW BALES

SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3 FEET DEEP.

PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER U RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL

KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LIWET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER, PRIOR TO FORECASTED RAINSTOR REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

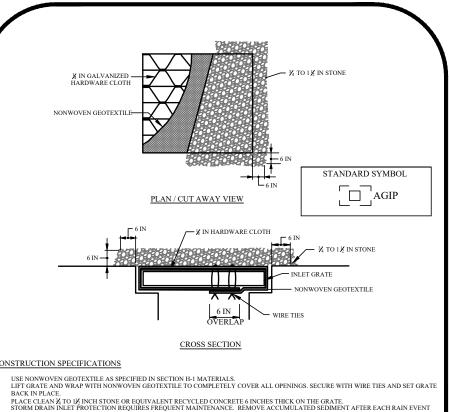
LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2¾ INCH MAXIMUM OPENING) 42 INCH IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS. FASTEN WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE

EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND.
WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.
EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 4 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN, IF UNDERMINING OCCURS, REINSTAL

UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECT

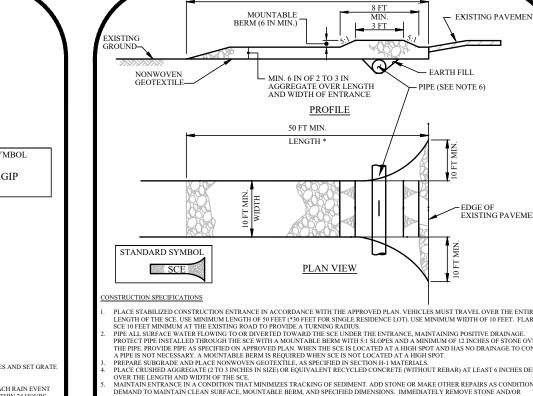
PROFILE

PLAN VIEW



DETAIL E-9-2 AT-GRADE INLET PROTECTION

N.T.S.



CWS

CONSTRUCTION SPECIFICATIONS

4. PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.

DETAIL B-1 STABILIZED CONSTRUCTION ENTRANCE N.T.S.





OWNER: ACO BILL OF BALTIMORE, INC 11879 KEMPER ROAD, SUITE 11 **AUBURN, CA 95603** (530) 885-2455

DEVELOPER: BLT CANTINA, LLC 14 BALLIGOMINGO ROAD CONSHOHOCKEN, PA 19428 (610) 520-1000

CBJ DESCRIPTION DAT 08/04/2021 CBJ HECKED BY: 1'' = 20'PRIOR SUBMITTAL DPZ FILE REFERENCES ECP-19-006

REVISIONS

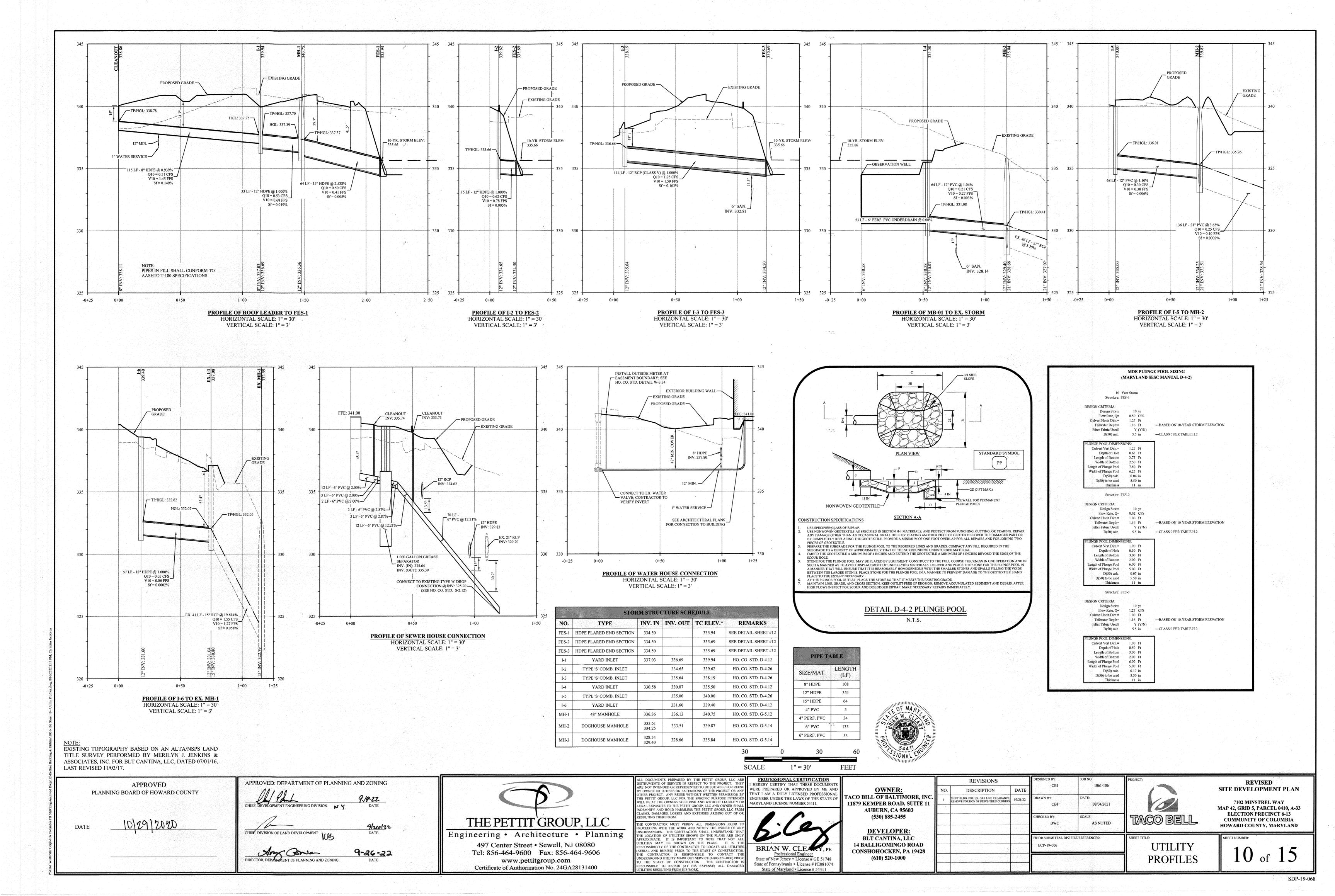
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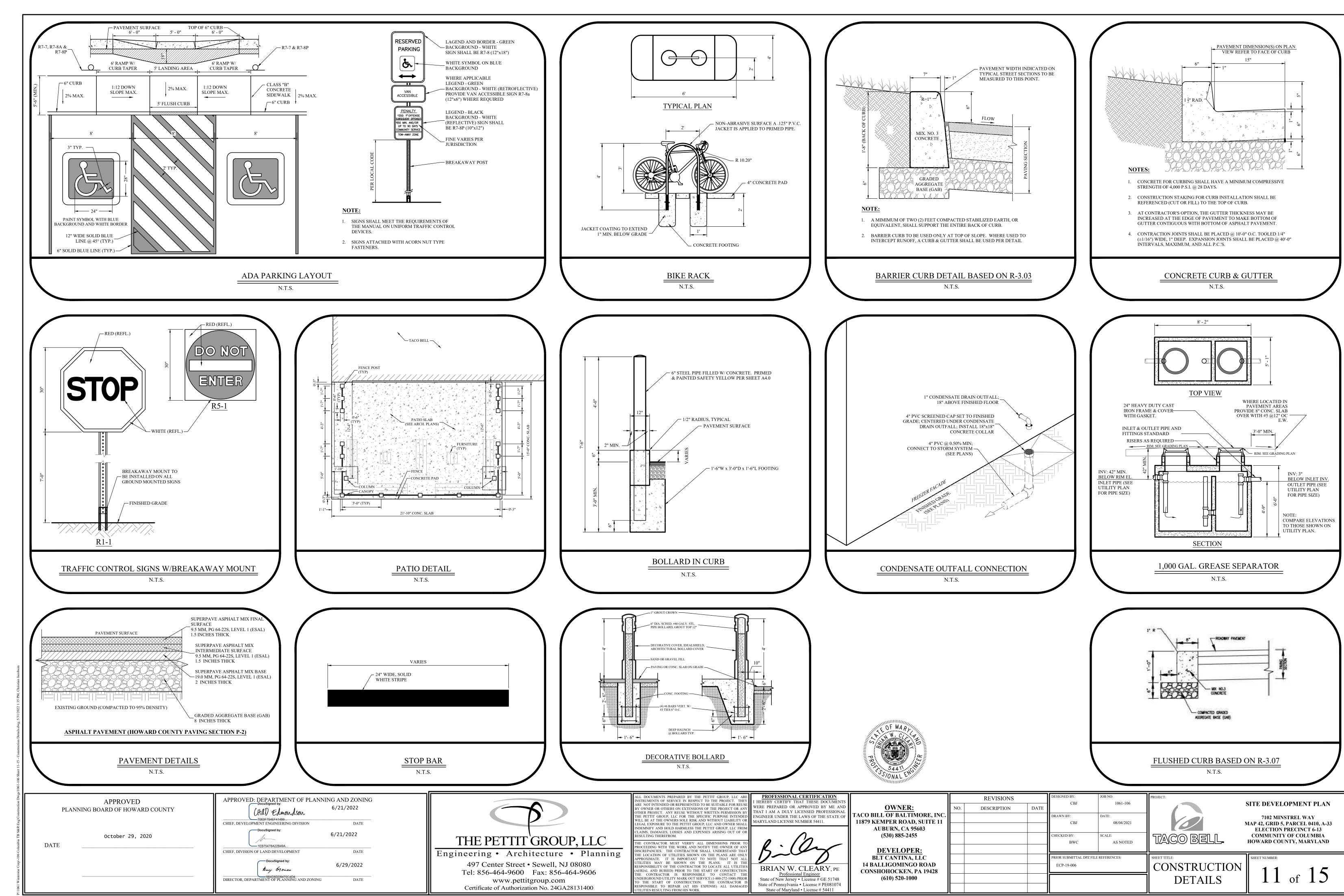
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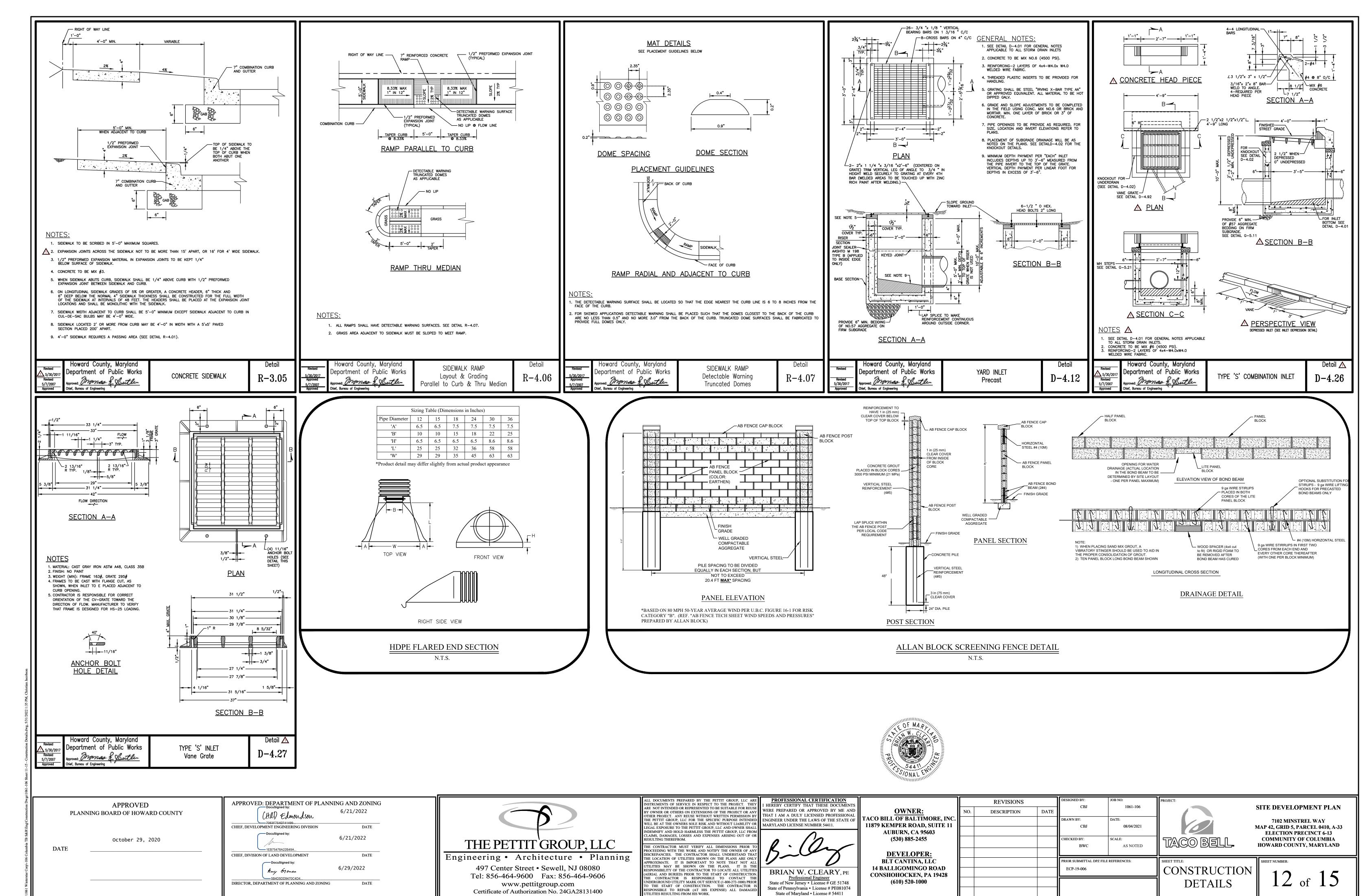
MAP 42, GRID 5, PARCEL 0410, A-33 **ELECTION PRECINCT 6-13 COMMUNITY OF COLUMBIA HOWARD COUNTY, MARYLAND**

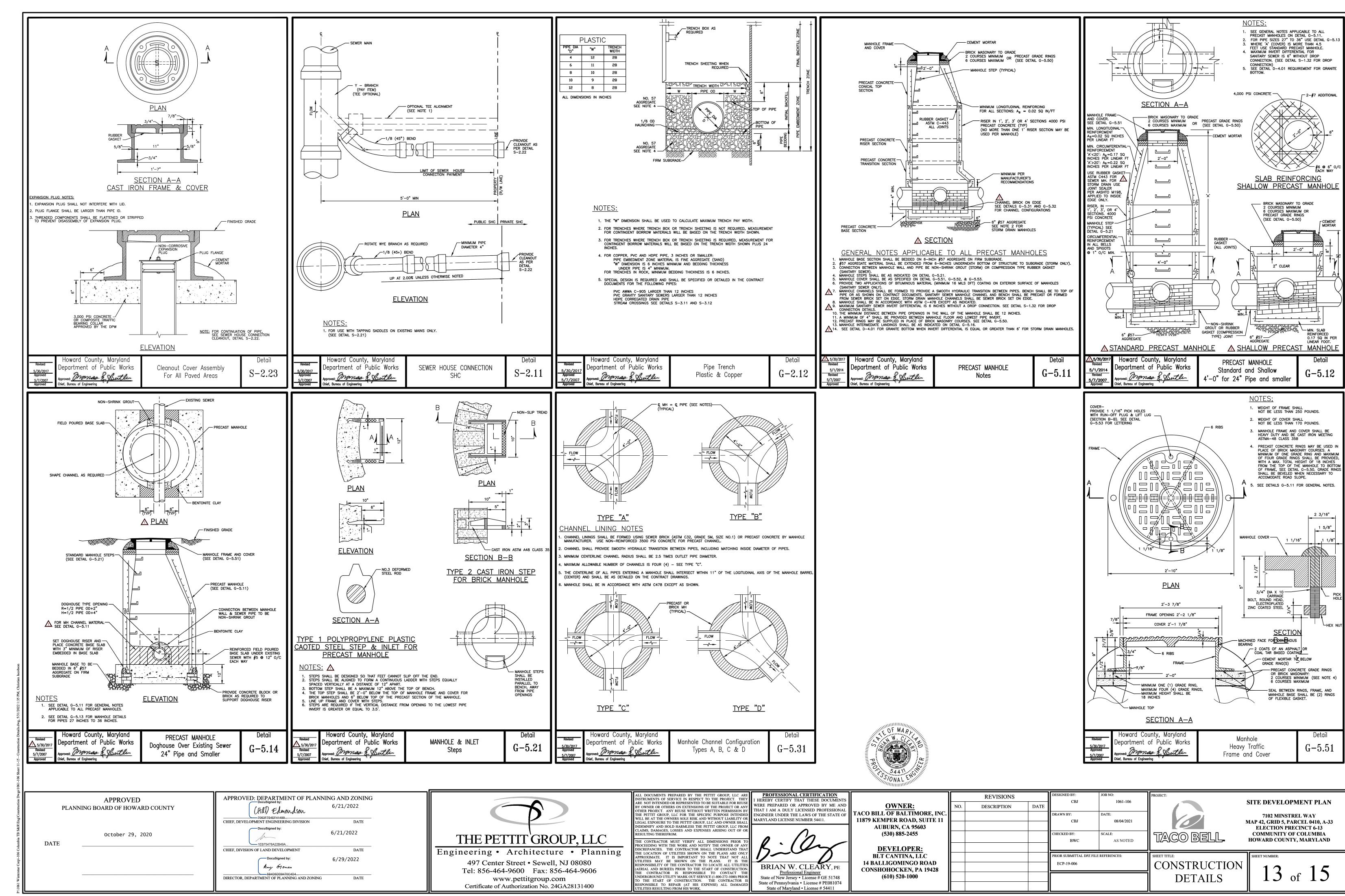
SITE DEVELOPMENT PLAN

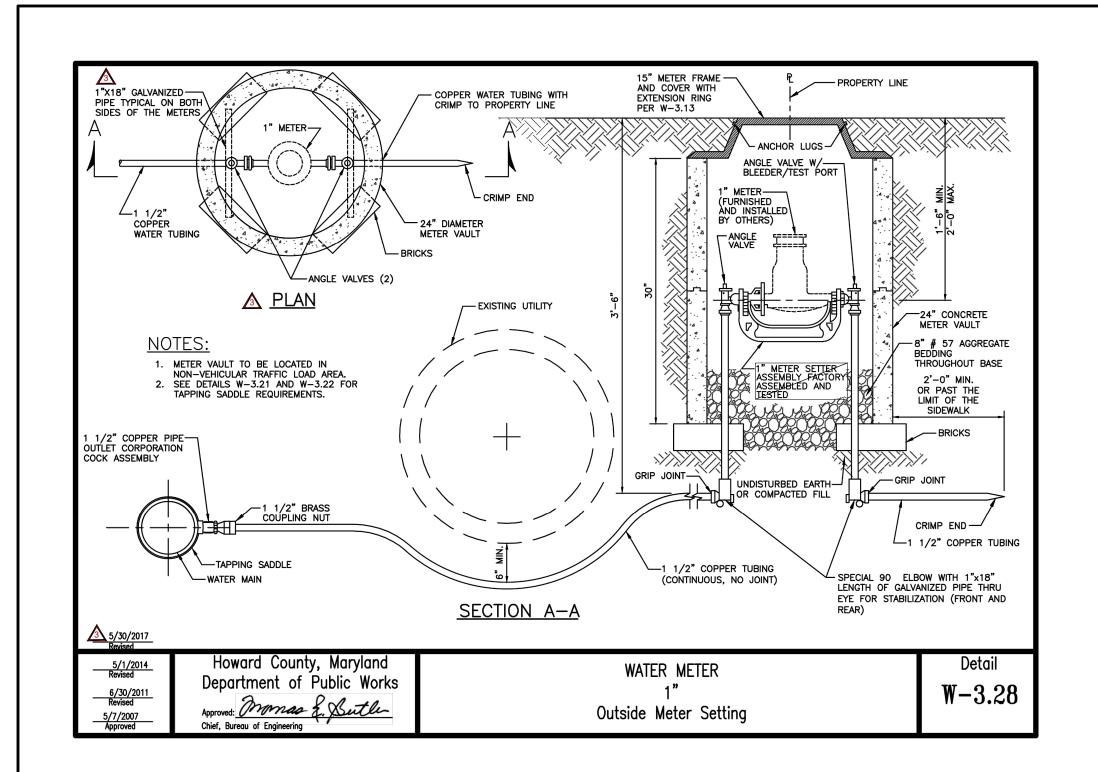
7102 MINSTREL WAY

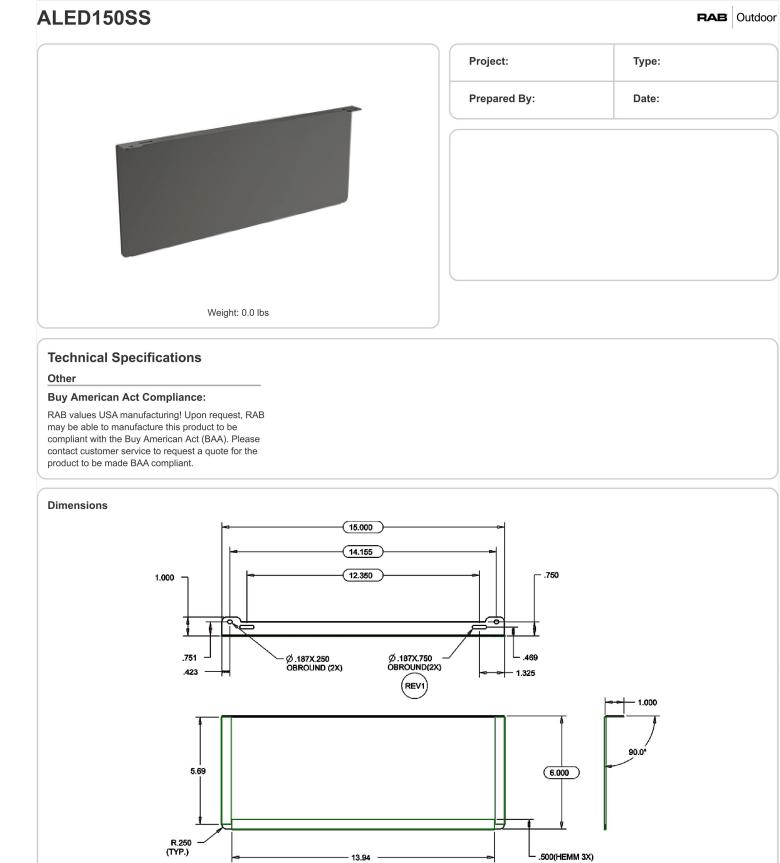






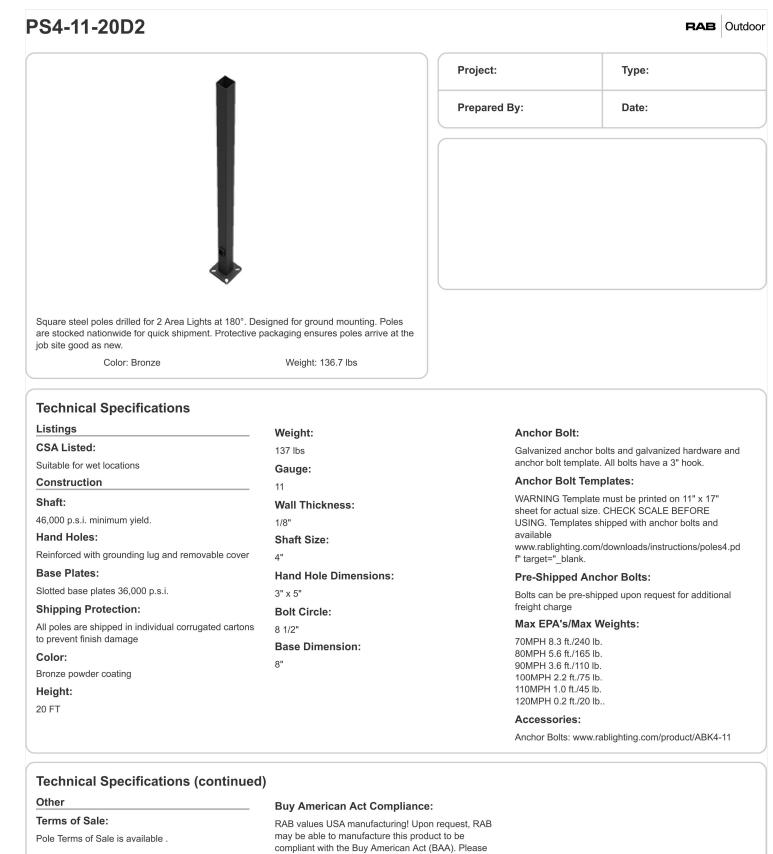










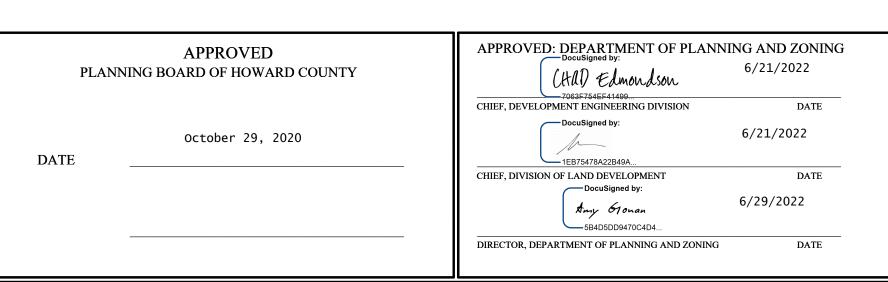






CONSHOHOCKEN, PA 19428

(610) 520-1000





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Certificate of Authorization No. 24GA28131400

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PROFESSIONAL CERTIFICATION

BRIAN W. CLEARY, PE State of New Jersey • License # GE 51748 State of Pennsylvania • License # PE081074

State of Maryland • License # 54411

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		REVISIONS		DESIGNED BY: CBJ	JOB NO: 1061-106
OWNER:	NO.	DESCRIPTION	DATE	СВ	1001-100
ACO BILL OF BALTIMORE, INC. 1879 KEMPER ROAD, SUITE 11				DRAWN BY: CBJ	DATE: 08/04/2021
AUBURN, CA 95603 (530) 885-2455				CHECKED BY:	SCALE:
DEVELOPER:				BWC	AS NOTED
BLT CANTINA, LLC 14 BALLIGOMINGO ROAD				PRIOR SUBMITTAL DPZ FILE ECP-19-006	REFERENCES:

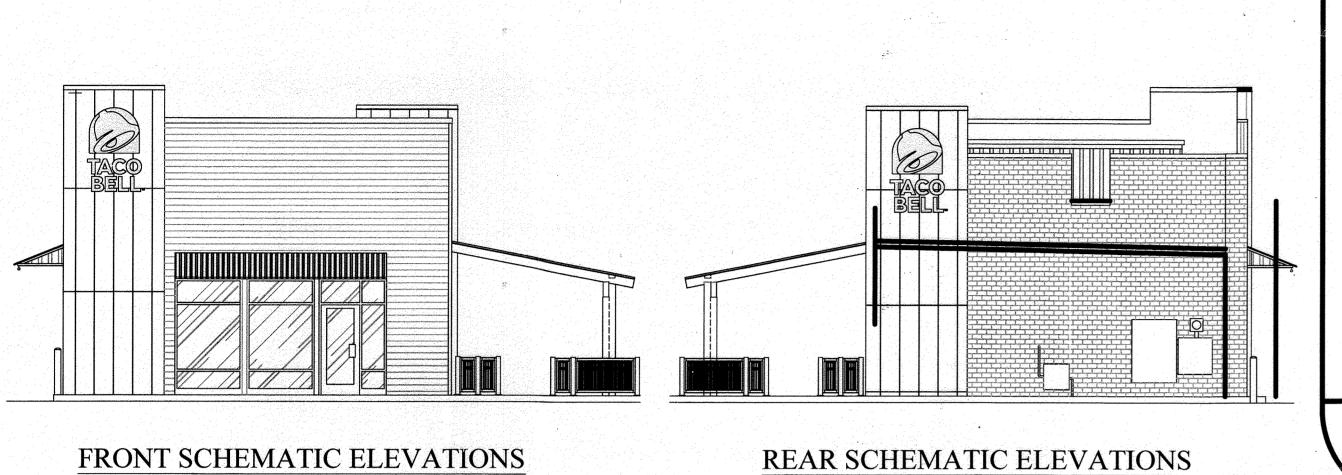
SITE DEVELOPMENT PLAN 7102 MINSTREL WAY MAP 42, GRID 5, PARCEL 0410, A-33

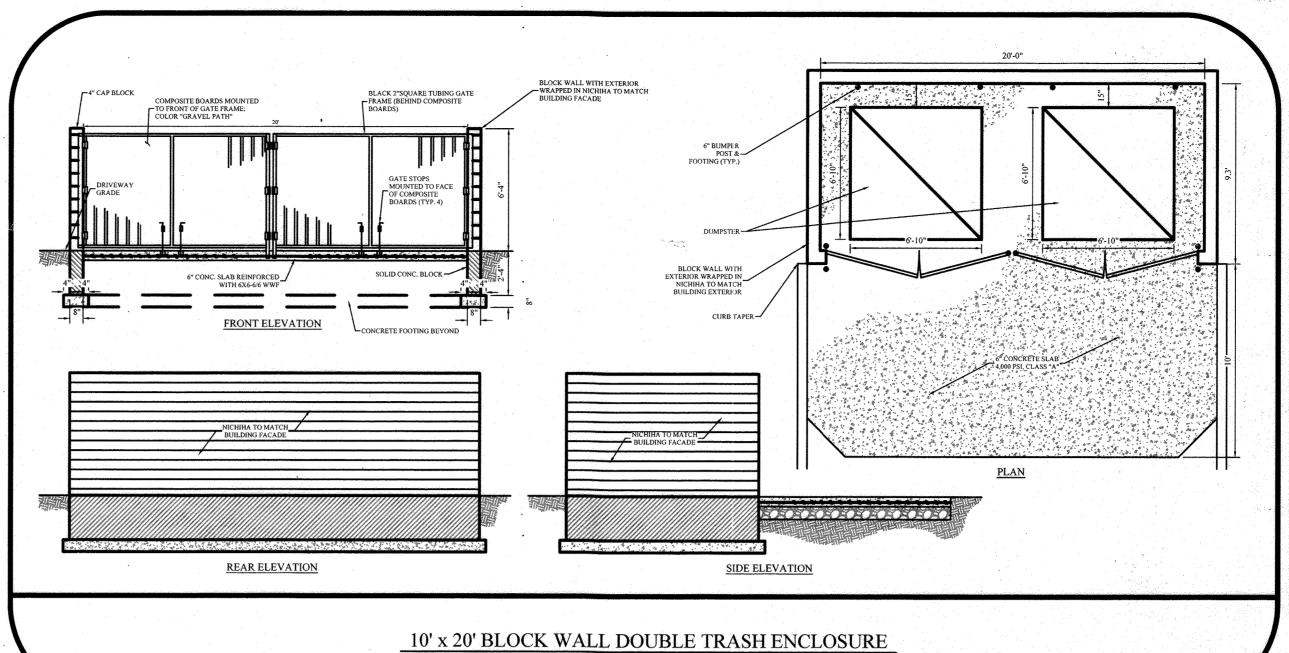
ELECTION PRECINCT 6-13

COMMUNITY OF COLUMBIA

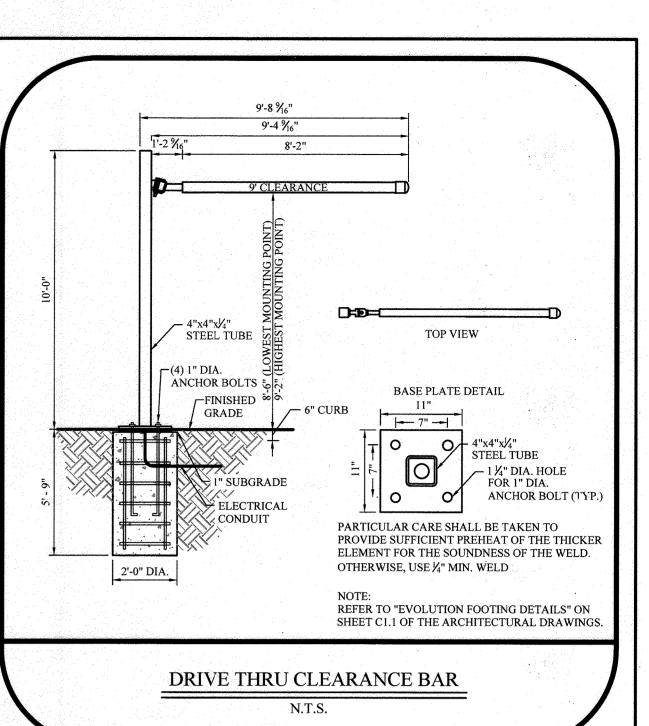
HOWARD COUNTY, MARYLAND CONSTRUCTION

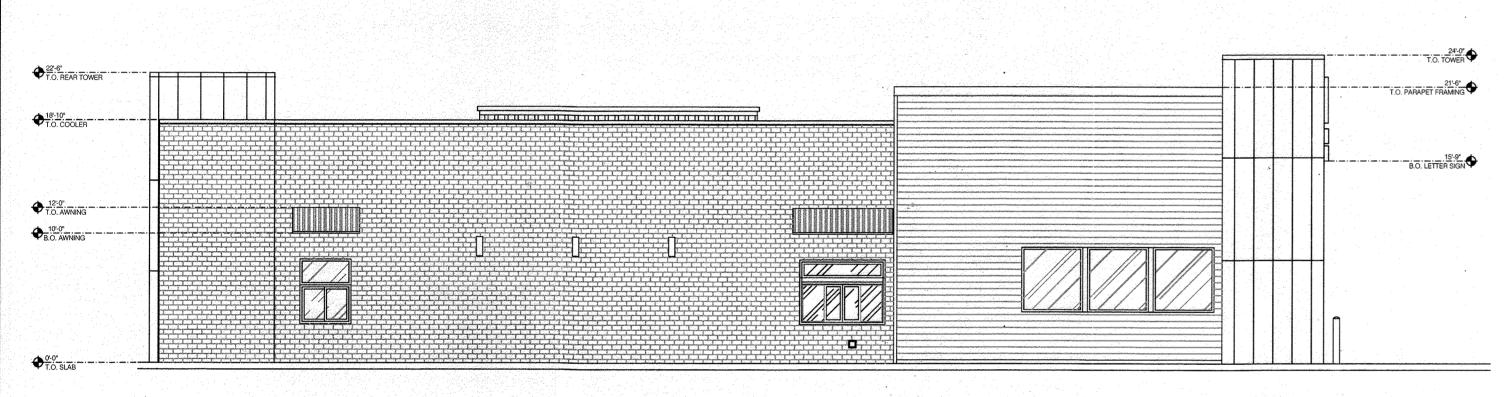
DETAILS

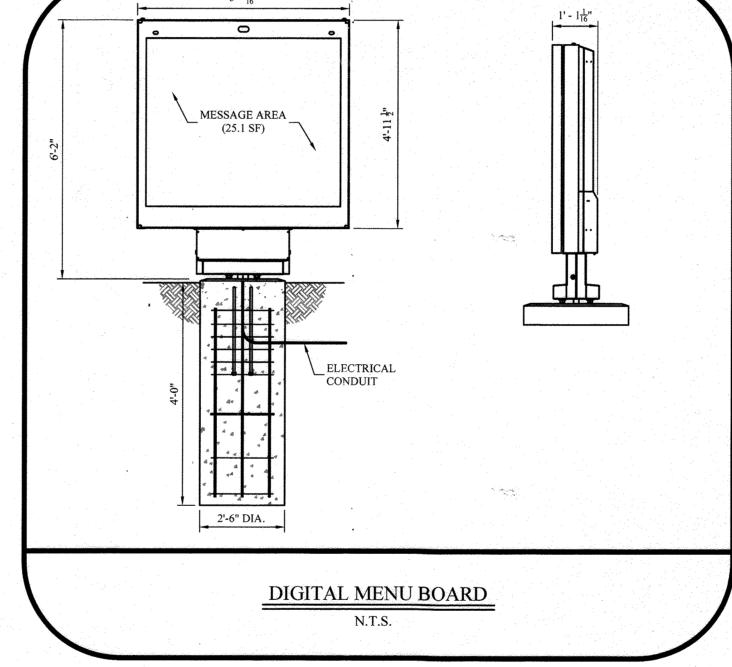


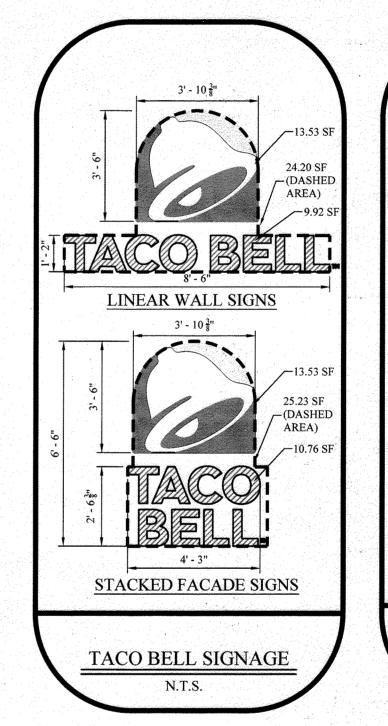


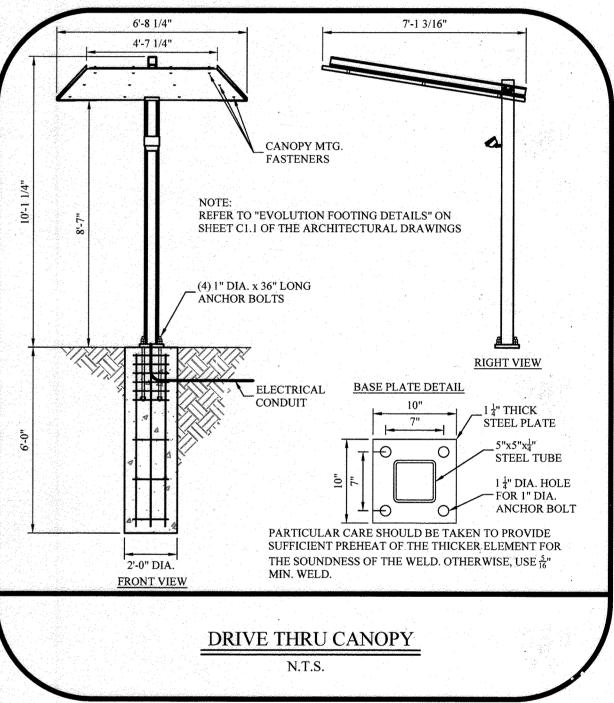
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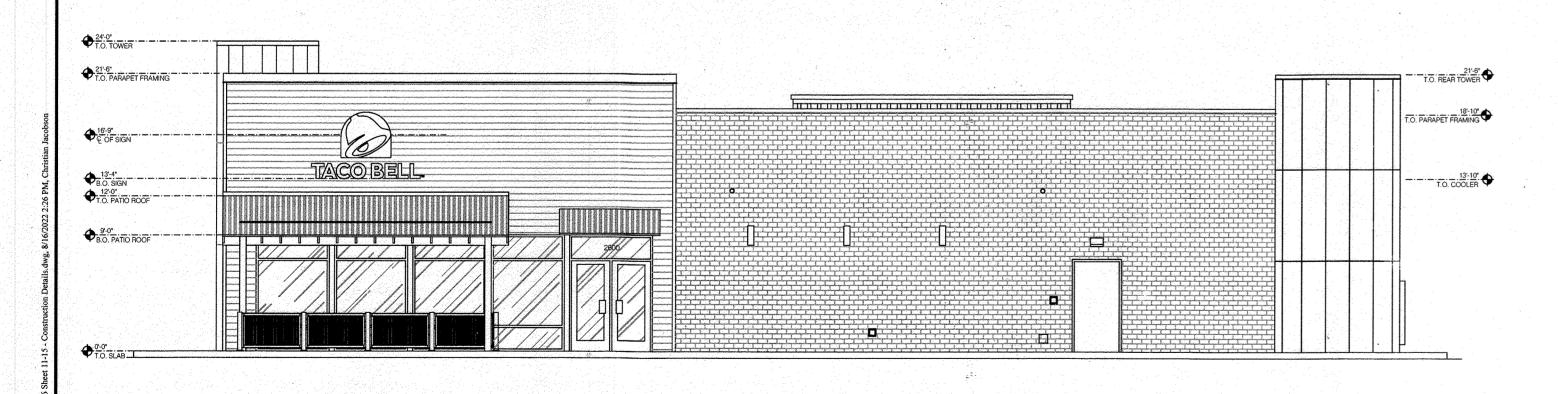








LEFT SIDE SCHEMATIC ELEVATIONS





RIGHT SIDE SCHEMATIC ELEVATIONS

APPROVED: DEPARTMENT OF PLANNING AND ZONING APPROVED PLANNING BOARD OF HOWARD COUNTY CHIEF, DEVELOPMENT ENGINEERING DIVISION glula DIRECTOR, DEPARTMENT OF PLANNING AND ZONING

THE PETTIT GROUP, LLC

Engineering • Architecture • Planning 497 Center Street • Sewell, NJ 08080 Tel: 856-464-9600 Fax: 856-464-9606 www.pettitgroup.com Certificate of Authorization No. 24GA28131400

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OWNER OR OTHERS ON EXTENSIONS OF THE PROJECT OR ANY WERE PREPARED OR APPROVED BY ME AN HER PROJECT. ANY REUSE WITHOUT WRITTEN PERMISSION I E PETTIT GROUP, LLC FOR THE SPECIFIC PURPOSE INTENDI WILL BE AT THE OWNERS SOLE RISK AND WITHOUT LLABILITY O LEGAL EXPOSURE TO THE PETTIT GROUP, LLC AND OWNER SHAL INDEMNIFY AND HOLD HARMLESS THE PETTIT GROUP, LLC FRO CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF O RESULTING THEREFROM. THE CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR OCEEDING WITH THE WORK AND NOTIFY THE OWNER OF AN SCREPANCIES. THE CONTRACTOR SHALL UNDERSTAND THE LOCATION OF UTILITIES SHOWN ON THE PLANS ARE ON! APPROXIMATE. IT IS IMPORTANT TO NOTE THAT NOT APPROXIMATE. IT IS IMPORTANT TO NOTE THAT NOT UTILITIES MAY BE SHOWN ON THE PLANS. IT IS RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES (APPRIAL AND BURIED) PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE TO CONTACT

THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NUMBER 54411. UNDERGROUND UTILITY MARK OUT SERVICE (1-800-272-1000) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REPAIR (AT HIS EXPENSE) ALL DAMAGED UTILITIES RESULTING FROM HIS WORK. State of New Jersey • License # GE 51748 State of Pennsylvania • License # PE081074 State of Maryland • License # 54411

REVISIONS OWNER: DESCRIPTION DATE TACO BILL OF BALTIMORE, INC SHIFT BLDG. FOR EX, GAS LINE CLEARANCE 11879 KEMPER ROAD, SUITE 11 **AUBURN, CA 95603** (530) 885-2455 HECKED BY: DEVELOPER: BLT CANTINA, LLC PRIOR SUBMITTAL DPZ FILE REFERENCES 14 BALLIGOMINGO ROAD

CONSHOHOCKEN, PA 19428

(610) 520-1000

AS NOTED

ECP-19-006

REVISED SITE DEVELOPMENT PLAN

7102 MINSTREL WAY MAP 42, GRID 5, PARCEL 0410, A-33 ELECTION PRECINCT 6-13 COMMUNITY OF COLUMBIA HOWARD COUNTY, MARYLAND

SCHEMATIC BUILDING **ELEVATIONS**