

# SITE DEVELOPMENT PLAN

## WESTMOUNT

### Phase 2 - LOTS 90-119 and 150-153

#### GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "M&S UTILITY" AT 1-800-251-TITT AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- PROJECT BACKGROUND:  
LOCATION: SEE VICINITY MAP IN THE TOP RIGHT CORNER OF THIS SHEET  
TAX MAP: 23  
ELECTION DISTRICT: 6, 10 & 12  
ZONING: R-ED PER 2-2-04 COMPREHENSIVE ZONING PLAN AND THE COMP LITE ZONING AMENDMENTS EFFECTIVE 1-28-06.  
AREA OF BUILDABLE LOTS (Nos. 90-119 & 150-153) FOR THIS SITE DEVELOPMENT PLAN: 6,469 ACRES.  
FOR OTHER SUBMISSIONS RELATED TO THIS SITE, SEE HOWARD COUNTY DEPT. OF PLANNING & ZONING FILE NOS.: F-11-056, ZB-1087M, F-11-152, F-15-036, F-16-046, ECP-14-008, F-15-007, F-16-046, SDP-19-044, F-14-071 AND THE D.R.R.A. IS RECORDED AT L. 1722 F. 249
- THIS PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN PROCESSED.
- THE SCENIC ROADS MAP DOES INDICATE THAT MD ROUTE 144A (FREDERICK ROAD) IS A SCENIC ROAD.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY BENCHMARKS 161A AND 23CA WERE USED FOR THIS PROJECT.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY AND FEATURES COMPILED FROM F-15-081 AND AERIAL TOPOGRAPHY PREPARED BY MCKENZIE-SNYDER DURING DECEMBER, 2008.
- PUBLIC WATER AND SEWER SHALL BE UTILIZED (AS PROVIDED BY M&S CONTRACT Nos. 24-4876-D) AND THE WATER METER VALVES IN OUTSIDE VAULTS.
- STORMWATER MANAGEMENT FOR THIS SITE (PHASE-2) IS PROVIDED IN ACCORDANCE WITH CHAPTER 5 OF THE MDE STORMWATER MANAGEMENT DESIGN MANUAL, VOLUMES 1 AND 2, THROUGHOUT THE SITE, MICRO-BIORETENTION, DRY WELLS (M&S), AND ROOFTOP DISCONNECTION (N) ARE UTILIZED. DEVICES ON INDIVIDUAL LOTS WILL BE OWNED AND MAINTAINED BY THE HOMEOWNER. DEVICES WITHIN COUNTY RIGHT-OF-WAY THAT TREAT ONLY RUNOFF FROM A COUNTY ROAD WILL BE OWNED BY HOWARD COUNTY AND JOINTLY MAINTAINED WITH THE HOA. HOWARD COUNTY WILL ONLY MAINTAIN THE INLET AND ASSOCIATED PIPING. THE HOA WILL BE REQUIRED TO MAINTAIN THE PLANTS, SOIL MULCH, ETC. THE DEVICES ON OPEN SPACE LOTS 84 AND 87 WILL BE OWNED AND MAINTAINED BY THE HOA. ALL OF THE OTHER DEVICES WITHIN THE OPEN SPACE LOTS WILL BE OWNED BY HOWARD COUNTY AND MAINTAINED JOINTLY WITH THE HOA.
- FINAL DIMENSIONS AND LOCATION OF STORMWATER DEVICES TO BE SHOWN ON BUILDING PERMIT PLOT PLAN, WHEN ACTUAL HOUSE TO BE BUILT IS DETERMINED.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT; HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ALLOWED. REMOVAL OF VEGETATIVE COVER OR TREES, OR PLACEMENT OF NEW STRUCTURES IS NOT PERMITTED WITHIN LIMITS OF WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS, AND 100-YEAR FLOODPLAIN AREAS, UNLESS PERMITTED UNDER AN APPROVED WAIVER PETITION OR DETERMINED TO BE ESSENTIAL OR NECESSARY BY DPA.
- THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION. THE FOREST CONSERVATION OBLIGATIONS WERE ADDRESSED UNDER F-15-081.
- MINIMUM BUILDING SETBACK RESTRICTIONS FROM PUBLIC ROADS AND PROPERTY LINES WILL BE PROVIDED IN ACCORDANCE WITH THE ZONING REGULATIONS ADOPTED JULY, 2006.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (\$3300.00 AS SHOWN ON SHEET 6 TO SATISFY SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL) SHALL BE POSTED AS PART OF THE GRADING PERMITS FOR THE LOTS SHOWN ON THIS SDP (WHERE APPLICABLE).
- WETLAND DELINEATION BY ECOTONE INC. IN A REPORT DATED FEBRUARY 18, 2014, THE WETLAND AND STREAM DELINEATION WAS APPROVED BY THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING ON NOVEMBER 4, 2014.
- THE 100-YEAR FLOODPLAIN LIMITS FOR THE THREE STREAMS THAT RUN THROUGH THE SITE WERE DETERMINED IN A FLOODPLAIN STUDY PREPARED BY GUTSCHICK, LITTLE AND WEBER, P.A. AS PART OF THE APPROVAL OF SP-14-008.
- A NOISE STUDY WAS PREPARED BY ROBERT H. VOGEL ENGINEERING, INC. ON OR ABOUT APRIL, 2014 AND WAS APPROVED BY DEVELOPMENT ENGINEERING DIVISION ON NOVEMBER 4, 2014.
- A TRAFFIC STUDY WAS PREPARED BY THE TRAFFIC GROUPS IN A REPORT DATED APRIL 4, 2014 AND WAS APPROVED BY DEVELOPMENT ENGINEERING DIVISION ON NOVEMBER 4, 2014.
- THE CEMETERY INVENTORY MAP DOES NOT SHOW ANY CEMETERIES WITHIN THE PROJECT LIMITS.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:  
A. WIDTH - 12' 6" SERVING MORE THAN ONE RESIDENCE  
B. SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MIN)  
C. GEOMETRY - MAX. 20% GRADE CHANGE AND MIN. 45' TURNING RADIUS  
D. STRUCTURES (ELEVATED BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (425 LOADS)  
E. DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YR. FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE  
F. MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- FOR FLAG AND PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND ROAD RIGHT-OF-WAY LINE AND NOT ONTO THE PIPESTEM LOT DRIVEWAY.
- ANY DAMAGE TO THE ADJACENT COUNTY OWNED RIGHT-OF-WAY AND PROPERTY SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES, OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- PER SECTION 128.0.A.12.A(IX) OF THE ZONING REGULATIONS, DETACHED GARAGES MAY NOT EXCEED 600 SQUARE FEET IN SIZE.
- PER FN 24223 (NOTE #25) AND FN 24821 (NOTE #26), "THE PROJECT IS NOT SUBJECT TO THE PROVISIONS OF MODERATE INCOME HOUSING UNITS (MIH) BASED ON THE DEVELOPER'S RIGHTS AND RESPONSIBILITIES AGREEMENT (D.R.R.A.) RECORDED AT LIBER 17222 FOLIO 248 ON 9/17/2010."
- THIS DEVELOPMENT SHALL BE IN ACCORDANCE WITH ALL REQUIREMENTS ESTABLISHED AS PART OF THE DEVELOPER'S RIGHTS AND RESPONSIBILITIES AGREEMENT (D.R.R.A.) BETWEEN HOWARD COUNTY AND THE CARROLLS. PER THE D.R.R.A. THE DEVELOPER AND DPM HAS AGREED THAT A PER LOT FEE IN THE AMOUNT OF \$5,000 WILL BE PAID AT BUILDING PERMIT STAGE FOR SEWAGE NUTRIENT REDUCTION.

#### LOT DEVELOPMENT DATA

- GENERAL SITE ANALYSIS DATA
  - PRESENT ZONING: R-ED PER 2-2-04 COMPREHENSIVE ZONING PLAN AND THE COMP LITE ZONING AMENDMENTS EFFECTIVE 1-28-06.
  - PROPOSED USE OF SITE: 34 SFD RESIDENTIAL DWELLINGS
  - PUBLIC WATER & SEWER TO BE UTILIZED (CONTR. Nos. 24-4876-D)
  - PARKING REQUIRED AND PROVIDED: SEE CHART BELOW
  - RECREATION OPEN SPACE FOR THIS SDP IS ADDRESSED UNDER F-15-081 (SEE OVERALL OPEN SPACE PROVISION CHART ON THIS SHEET).
- AREA TABULATION
  - AREA OF BUILDABLE LOTS FOR THIS SUBMISSION: 6,469 AC.
  - AREA OF THIS PLAN SUBMISSION: 1,071 ACRES (L.O.D.)
  - AREA OF DISTURBANCE BY THIS SDP: 1,071 ACRES

#### SINGLE FAMILY DETACHED PARKING ANALYSIS

NUMBER OF SINGLE-FAMILY DETACHED LOTS FOR THIS SDP = 34  
 REQUIRED PARKING (@ 2 SPACES PER UNIT) = 68 SPACES  
 REQUIRED OVERFLOW PARKING (@ 0.5 SPACES/UNIT PER DMV 3, TABLE 211) = 17 SPACES  
 TOTAL REQUIRED SPACES = 85 SPACES  
 PARKING PROVIDED:  
 4 SPACES/UNIT (2 GARAGE SPACES + 2 DRIVEWAY SPACES) x 34 UNITS = 136 SPACES

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *[Signature]* Date: 1-3-20  
 Chief, Department of Land Development: *[Signature]* Date: 1/2/20  
 Chief, Development Engineering Division: *[Signature]* Date: 12/23/19

**GLW**  
 PLANNING | ENGINEERING | SURVEYING  
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM  
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	DATE:	REVISION:	BY:	APPR.:
MBT				
DRAWN BY:				
KLP	10/14/2010	Revised Lot 116 SWM devices	klp	
CHECKED BY:	01/2/2010	Revised Lot 115 SWM devices	klp	
CKG	01/2/2010	Revised Lot 90 SWM devices	klp	

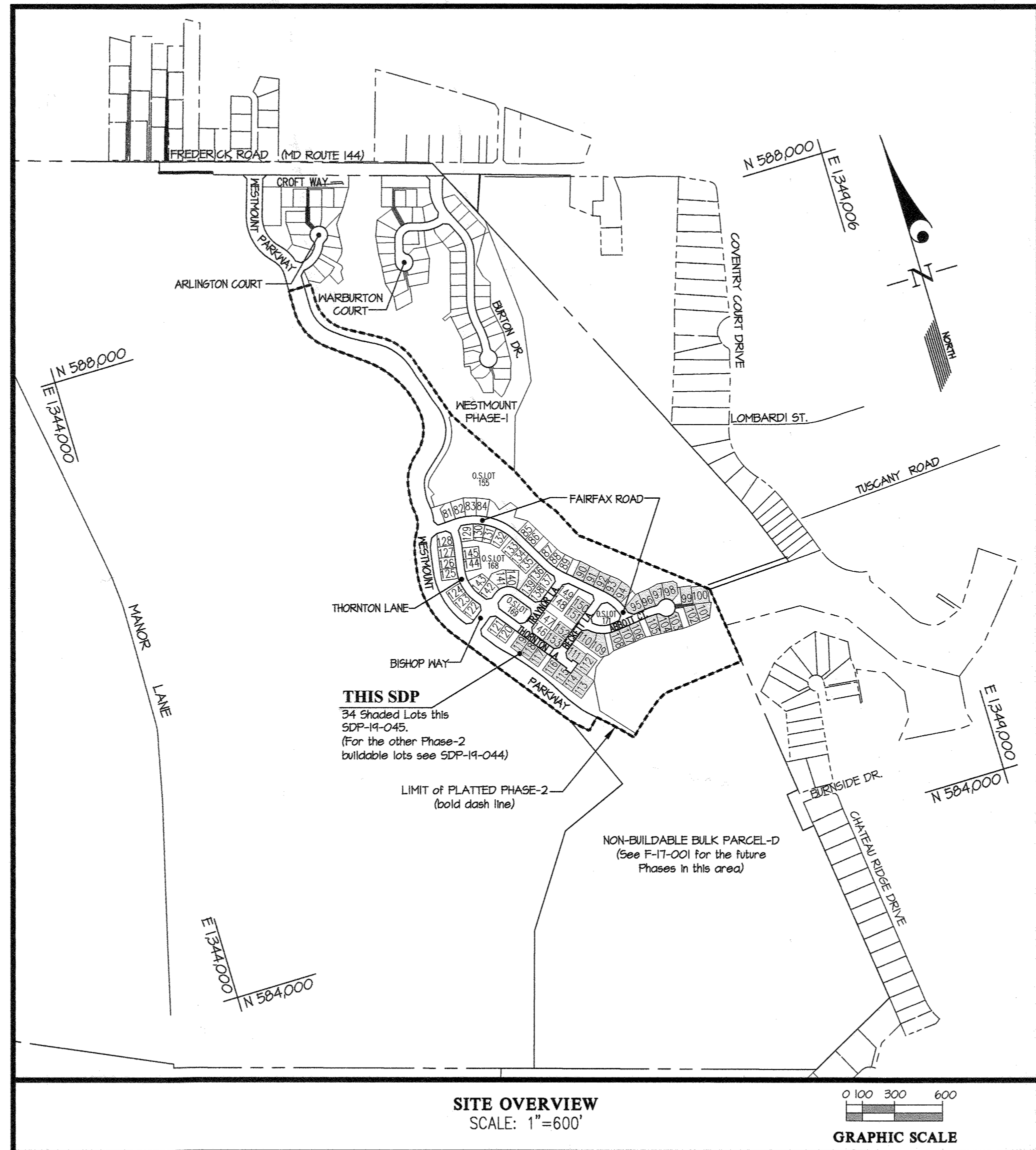
#### SETBACK REQUIREMENTS

SETBACK TYPE	SETBACK REQUIRED FOR SINGLE FAMILY DETACHED DWELLING
PROJECT BOUNDARY	30'
EXTERNAL PUBLIC R/W	15'
FRONT/SIDE ON INTERNAL PUBLIC R/W	20'
FRONT (PRINCIPAL STRUCTURE)	20'
SIDE (PRINCIPAL STRUCTURE)	15'
REAR (PRINCIPAL STRUCTURE)*	25'
FACE TO FACE	N/A
FACE TO SIDE / REAR TO SIDE	N/A
SIDE TO SIDE	N/A
REAR TO REAR	N/A
REAR TO FACE	N/A

\* WHERE APPLICABLE, ROOM EXTENSIONS AND BUILDING ADDITIONS MAY PROJECT OVER THE REAR SETBACK IF IN ACCORDANCE WITH ZONING SECTION 128.A.1.J.

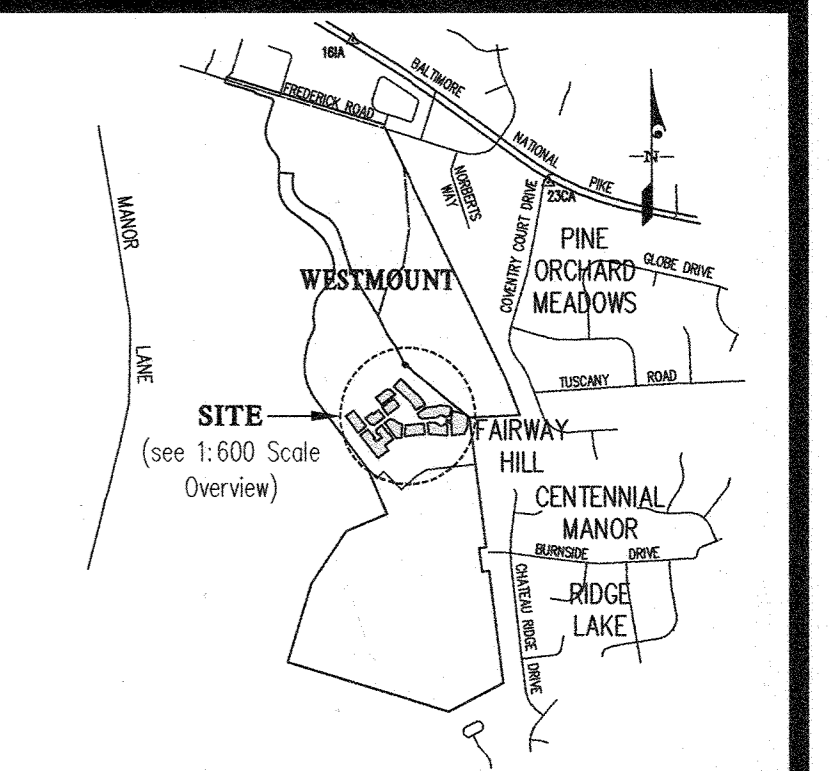
#### SHEET INDEX

- COVER SHEET
- SITE DEVELOPMENT PLAN
- SITE DEVELOPMENT PLAN
- SITE DETAILS
- SEDIMENT CONTROL PLAN
- LANDSCAPE PLAN



ON-LOT STORMWATER MANAGEMENT PRACTICES SDP-19-045						
LOT No.	ADDRESS	M-1 Quantity	M-5 Quantity	N-1 Quantity	N-2 Quantity	N-3 (Y/N)
90	3459 FAIRFAX ROAD	0	2	0	0	N
91	3463 FAIRFAX ROAD	2	2	0	0	N
92	3467 FAIRFAX ROAD	4	2	0	0	N
93	3471 FAIRFAX ROAD	4	2	0	0	N
94	3475 FAIRFAX ROAD	0	3	0	0	N
95	10625 ABBOTT COURT	0	3	0	0	N
96	10629 ABBOTT COURT	0	3	0	0	N
97	10633 ABBOTT COURT	0	3	0	0	N
98	10637 ABBOTT COURT	0	3	0	0	N
99	10641 ABBOTT COURT	0	4	0	0	N
100	10645 ABBOTT COURT	0	4	0	0	N
101	10644 ABBOTT COURT	2	3	0	0	N
102	10640 ABBOTT COURT	0	3	0	0	N
103	10634 ABBOTT COURT	0	3	0	0	N
104	10630 ABBOTT COURT	0	3	0	0	N
105	10626 ABBOTT COURT	0	3	0	0	N
106	10620 ABBOTT COURT	0	3	0	0	N
107	10616 ABBOTT COURT	0	3	0	0	N
108	10612 ABBOTT COURT	0	3	0	0	N
109	10606 ABBOTT COURT	0	3	0	0	N
110	3608 BECKETT LANE	0	2	0	0	N
111	3604 BECKETT LANE	1	2	0	0	N
112	3561 THORNTON LANE	0	3	0	0	N
113	3566 THORNTON LANE	0	2	0	0	N
114	3562 THORNTON LANE	0	2	0	0	N
115	3558 THORNTON LANE	0	1	0	0	N
116	3554 THORNTON LANE	X 1*	1	0	0	N
117	3550 THORNTON LANE	1	1	0	0	N
118	3546 THORNTON LANE	0	2	0	0	N
119	3542 THORNTON LANE	0	2	0	0	N
150	3615 BECKETT LANE	0	2	0	0	N
151	3611 BECKETT LANE	0	2	0	0	N
152	3607 BECKETT LANE	0	2	0	0	N
153	3549 THORNTON LANE	0	2	0	0	N

- NOTES:  
 1. DESCRIPTION OF PRACTICES:  
 \* M-1, RAIN WATER HARVESTING (Quantity of barrels, 200-gal. each/or as noted otherwise)  
 \* M-5, DRYWELLS (see Note #3 below)  
 \* N-1, DISCONNECTION OF ROOFTOP RUNOFF  
 \* N-2, DISCONNECTION OF NON-ROOFTOP RUNOFF  
 \* N-3, SHEET FLOW TO CONSERVATION AREAS
2. ALL ON-LOT SMM DEVICES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNER.
3. FINAL DIMENSIONS & LOCATION OF EACH DRYWELLS TO BE SPECIFIED AND SHOWN ON THE BUILDING PERMIT PLOT PLAN FOR AN ACTUAL HOUSE TO BE CONSTRUCTED ON EACH LOT.



VICINITY MAP		ADC MAP: 19
SCALE: 1" = 2,000'		GRID: E6 & E7, F6 & F7
<b>BENCHMARKS</b>		
161A: NORTHING: 584504.413	23CA: NORTHING: 586025.663	
EASTING: 1346343.626	EASTING: 1348305.546	
ELEVATION: 462.92	ELEVATION: 462.20	

LOT No.	ADDRESS	LOT No.	ADDRESS
90	3459 FAIRFAX ROAD	108	10612 ABBOTT COURT
91	3463 FAIRFAX ROAD	109	10606 ABBOTT COURT
92	3467 FAIRFAX ROAD	110	3608 BECKETT LANE
93	3471 FAIRFAX ROAD	111	3604 BECKETT LANE
94	3475 FAIRFAX ROAD	112	3561 THORNTON LANE
95	10625 ABBOTT COURT	113	3566 THORNTON LANE
96	10629 ABBOTT COURT	114	3562 THORNTON LANE
97	10633 ABBOTT COURT	115	3558 THORNTON LANE
98	10637 ABBOTT COURT	116	3554 THORNTON LANE
99	10641 ABBOTT COURT	117	3550 THORNTON LANE
100	10645 ABBOTT COURT	118	3546 THORNTON LANE
101	10644 ABBOTT COURT	119	3542 THORNTON LANE
102	10640 ABBOTT COURT		
103	10634 ABBOTT COURT	150	3615 BECKETT LANE
104	10630 ABBOTT COURT	151	3611 BECKETT LANE
105	10626 ABBOTT COURT	152	3607 BECKETT LANE
106	10620 ABBOTT COURT	153	3549 THORNTON LANE (side-load garage)
107	10616 ABBOTT COURT		

PERMIT INFORMATION CHART			
WATER CODE: E2	SEWER CODE: 7645000		
DEVELOPMENT NAME: WESTMOUNT (Phase 2)	DISTRICT/AREA: N/A	LOTS: 10-114 & 150-153	CEGISUS TRACT: 6023.03
PLAT: 24827-24841 & 25016	ZONE: R-ED	TAX MAP: 23	GRID: 6, J, K12
		ELEC. DIST.: 2	

**COVER SHEET**

**WESTMOUNT**  
 PHASE 2 - LOTS 90-119 & 150-153  
 (SFD RESIDENTIAL USE)  
 PLAT Nos. 24827-24841 and 25016

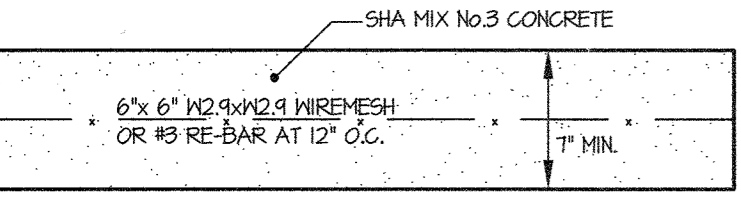
SCALE: AS SHOWN  
 ZONING: R-ED  
 G. L. W. FILE No. 18087

DATE: DEC. 2019  
 TAX MAP - GRID: 23-6,10&12  
 SHEET: 1 OF 6

ELECTION DISTRICT No. 2  
 HOWARD COUNTY, MARYLAND

**SITE DEVELOPMENT PLAN LEGEND**

- 300 --- EXISTING CONTOUR
- 300 --- PROPOSED CONTOUR
- +46.6 --- PROPOSED SPOT ELEVATION
- LIMIT OF GRADING DISTURBANCE
- EXISTING PAVING
- EXISTING CURB & GUTTER
- METER VAULT
- EX 274 --- 1/2" WATER HOUSE CONNECTION (W/C, DASHED LINE TYP.)
- WATER LINE (PUBLIC)
- FIRE HYDRANT
- EX 275 --- EXISTING SEWER MAIN (DASHED LINE)
- SEWER HOUSE CONNECTION (S/C, SOLID LINE)
- EX 30 --- EXISTING STORM DRAIN
- ROOF LEADER
- DRYWELL (DETAILS 1/4)
- 200 GALLON MANUFACTURED RAIN BARREL (DETAIL 2/4)
- EASEMENT AREA (SHADED)
- CONCRETE SIDEWALK PER HO. CO. DETAIL R-3/05
- DRIVEWAY (DETAIL 1/2)
- PROPOSED HOUSE/GENERIC BOX  
F.F.E. = FINISHED FLOOR ELEVATION  
B.S.E. = BASEMENT SLAB ELEVATION  
G.A.R. = GARAGE (F-FRONT, F-BACK)  
T.O.M. = TOP OF FOUNDATION WALL
- BUILDING RESTRICTION LINE
- FOREST CONSERVATION EASEMENT
- 15' STREAM BUFFER
- FLOODPLAIN EASEMENT
- BGE TRANSFORMER PAD
- EXISTING LIGHT POLE
- SOIL BORING



- CONCRETE APRON & DRIVEWAY NOTES:**
- UNLESS SHOWN OTHERWISE, INSTALL EXPANSION JOINTS AT MAX. 20'-0" O.C.
  - PROVIDE 1/2" PREFORMED BITUMINOUS EXPANSION JOINT WHERE THE DRIVEWAY APRON ABUTS OTHER CONCRETE SURFACES.
  - FOR REFERENCE, SEE HOWARD COUNTY STD. DETAILS R-6/01-6/04.
  - FOR BITUMINOUS PAVING, SEE HOWARD COUNTY STD. DETAIL R2/01 (P-1 SECTION).

**1 PRIVATE DRIVEWAY and APRON DETAIL NO SCALE**

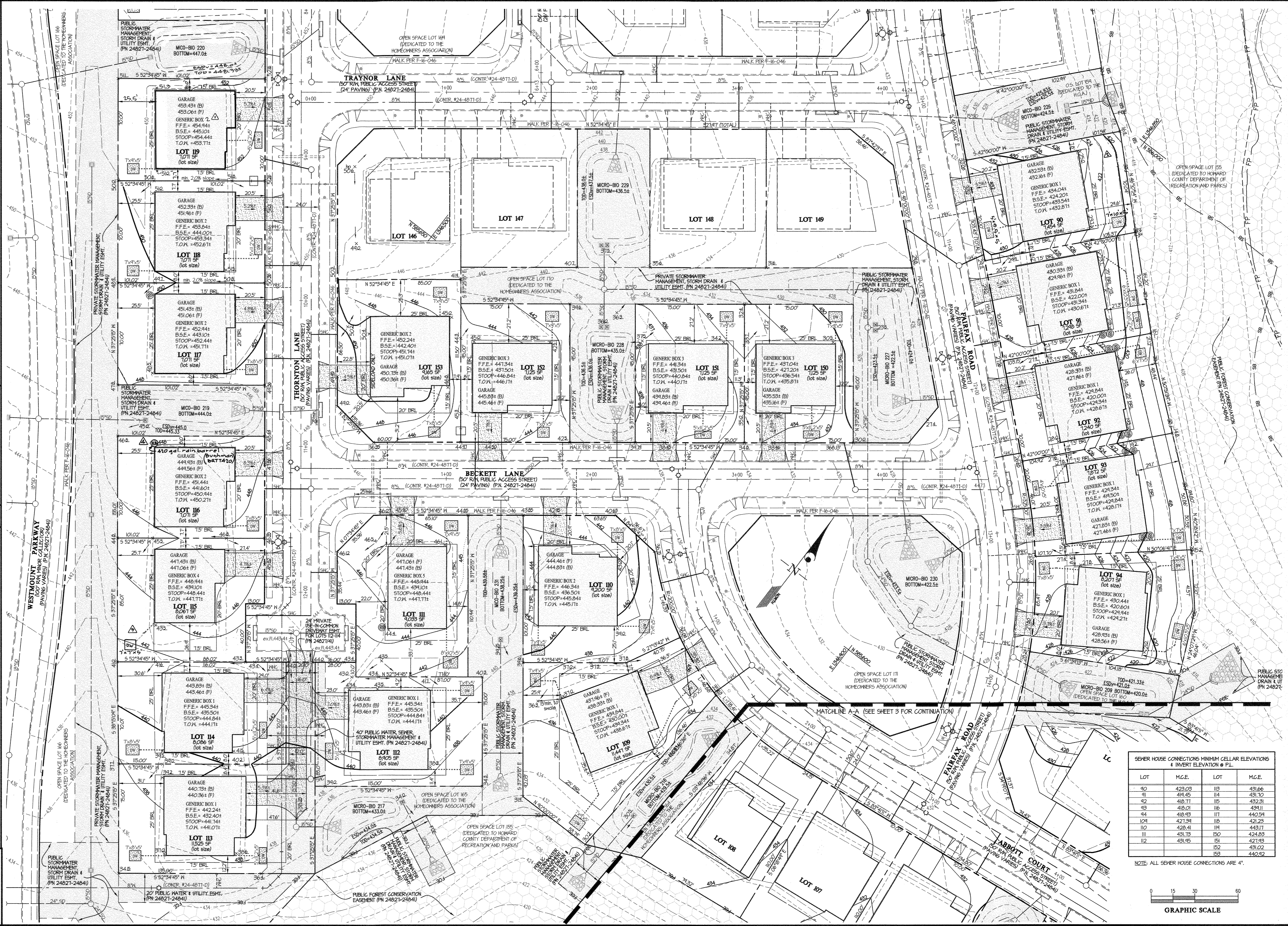
- NOTES:**
- ALL FENCES, GARDEN WALLS, STOOPS AND STEPS ALONG THE R/W SHALL BE LOCATED BEHIND THE PUBLIC SIDEWALK EASEMENT.
  - BRICK POINT ALL BUILDING CONSTRUCTION UNLESS NOTED OTHERWISE.
  - ALL H/C'S TO THE SUBJECT LOTS OF THIS SDP ARE 1/2" PER CONTRACT NO. 24-4871-D AND WATER METER VAULTS ARE IN THE R.O.W.
  - SEE THE CHART (SHEET 2 & 3) FOR S/C INFORMATION. CONTRACTOR SHALL CHECK AND VERIFY THE SEWER HOUSE ELEVATIONS AT THE PROPERTY LINE PRIOR TO CONSTRUCTION.
  - ALL BUILDING WALLS WITHIN 1' OF A BGE TRANSFORMER SHALL BE CONSTRUCTED FOR A MINIMUM FIRE RESISTANCE RATING OF 3 HOURS.
  - FOR DRIVEWAY APRONS IN THE PUBLIC RIGHT-OF-WAY SEE DPM R-6/01 AND R-6/03.
  - ON-LOT ESD STORMWATER DEVICES (DRYWELLS, RAIN BARRELS, ETC.) SHOWN ON THIS SDP ARE CONCEPTUAL IN NATURE BECAUSE "GENERIC BOXES" ARE SHOWN INSTEAD OF ACTUAL HOUSES. THEREFORE, THE APPLICABLE ON-LOT ESD DEVICES SHALL BE FINALIZED AND SUBMITTED (ALONG WITH ANY NECESSARY COMPUTATIONS) AS PART OF THE BUILDING PERMIT PLOT PLAN PACKAGE FOR AN ACTUAL HOUSE TO BE PERMITTED FOR CONSTRUCTION. FINAL ESD INFORMATION TO BE INCLUDED, AS APPLICABLE, WITH THE BUILD PERMIT PLOT PLAN PACKAGE ARE AS FOLLOWS:
  - RAIN BARRELS (M-1): LOCATION OF THE 200-GALLON BARREL AT BOTTOM OF A DOWN SPOUT.
  - DRYWELLS (M-2): FINAL SIZE (I/D) AND LOCATION DIMENSIONS OF EACH DRYWELL, GROUND ELEVATIONS, INVERT VALUES AND PIPE SYSTEMS CONNECTING DOWNSPOUTS TO DRYWELL. TO BE SHOWN, THE TOTAL R.O.F. AREA DRAINING TO AN INDIVIDUAL DRYWELL CANNOT EXCEED 1,000 SF.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* 1-3-20  
Date: 1/12/20

Chief, Division of Land Development: *[Signature]* 12/22/19  
Date: 12/22/19

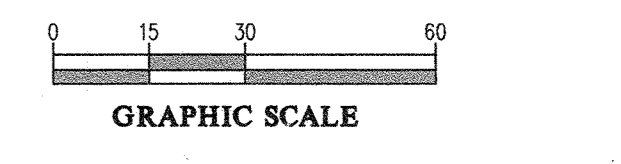
Chief, Development Engineering Division



**SEWER HOUSE CONNECTIONS MINIMUM CELLAR ELEVATIONS & INVERT ELEVATION @ P.L.**

LOT	M.C.E.	LOT	M.C.E.
90	423.02	113	431.66
91	424.45	114	431.70
92	418.71	115	432.28
93	419.01	116	431.11
94	419.43	117	440.51
101	421.34	118	421.23
110	428.41	119	443.71
111	431.33	120	424.83
112	431.45	121	421.43
113	431.45	122	431.02
114	431.45	123	440.42

NOTE: ALL SEWER HOUSE CONNECTIONS ARE 4".



**GLW**  
PLANNING | ENGINEERING | SURVEYING

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PHONE: 301-421-4024 | BALT: 410-880-1820 | DC/VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	DATE	REVISION
MBT		
KLIP	10/14/20	Rev. Lot 116 gwm devices
KLIP	07/10/20	Rev. Lot 115 gwm devices
KLIP	07/10/20	Rev. Lot 90 gwm devices
CKG	4/10/20	Rev. MBR-112 & MBR-112 & Update @B on lots 90 & 117 accordingly

PREPARED FOR:

PROPERTY OWNER (SELLER):  
MANOR INVESTMENTS, LLC  
SUITE 301  
TOWSON, MD 21204  
PH: 443-367-0422  
ATN: Robert Goodner

BUILDER (CONTRACT PURCHASER):  
NVR, INC.  
9720 PATENTWOODS DR.  
COLUMBIA, MD 21046  
PH: 410-379-5956  
ATN: Robert Grothmann

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975.

EXPIRATION DATE: MAY 26, 2020

12/16/19 *[Signature]*

**SITE DEVELOPMENT PLAN**

**WESTMOUNT**  
PHASE 2 - LOTS 90-119 & 150-153  
(SFD RESIDENTIAL USE)  
PLAT Nos. 24827-24841 and 25016

SCALE: 1" = 30'

ZONING: R-ED

G. L. W. FILE NO.: 18087

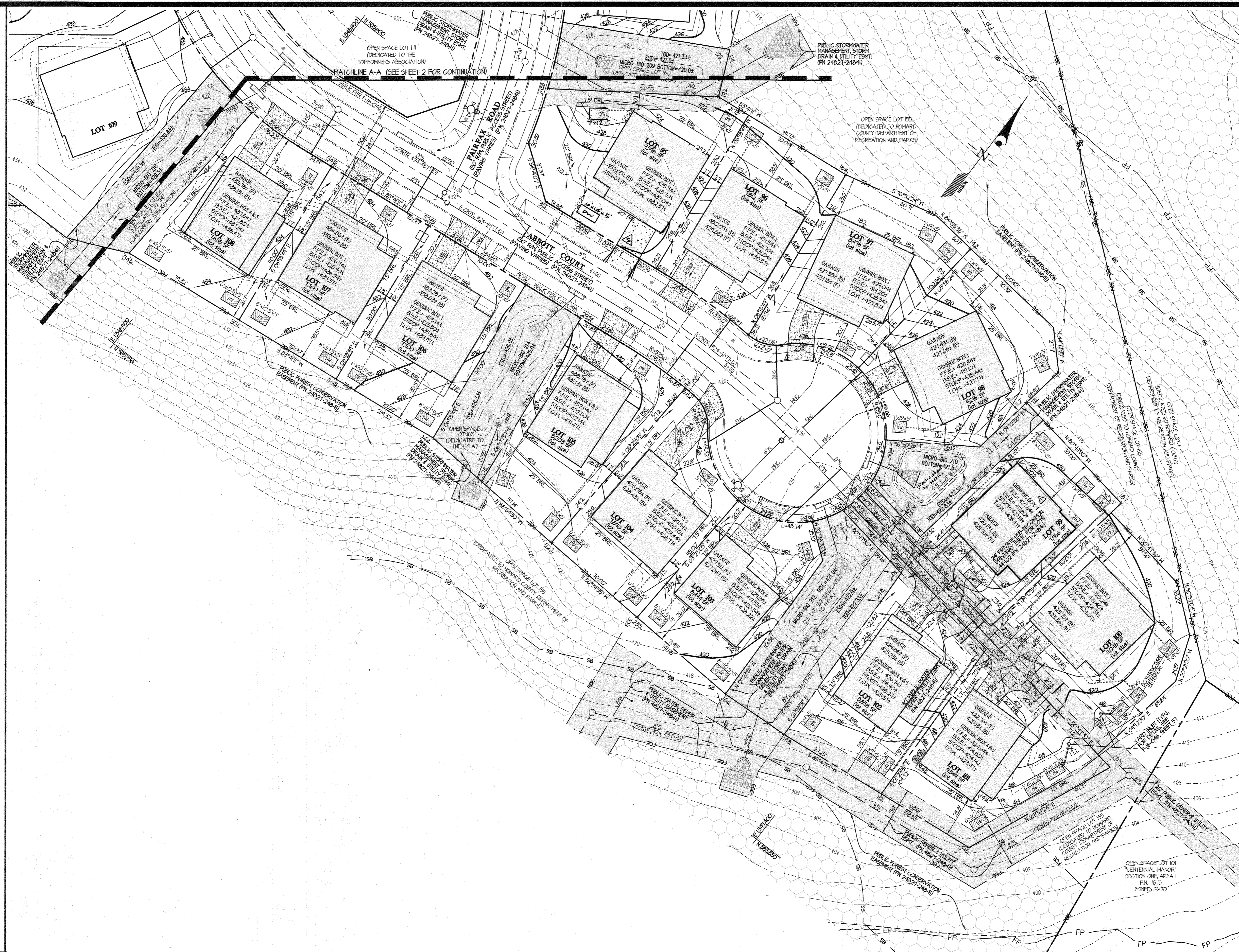
DATE: DEC. 2019

TAX MAP - GRID: 23-6,10&12

SHEET: 2 OF 6

ELECTION DISTRICT No. 2

HOWARD COUNTY, MARYLAND



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 1-3-20

Chief, Division of Land Development: *[Signature]* Date: 11/2/20

Chief, Development Engineering Division: *[Signature]* Date: 12/23/19

**GLW**  
PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM  
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-889-2524 | FAX: 301-421-4186

DESIGNED BY:	DATE	REVISION	BY	APPR.
MBT				
DRAWN BY:				
KLP				
CHECKED BY:	11/18/2019	Rev. Lot 95 driveway location	klp	
DATE	4/30/2020	Rev. MBR-110 & MBR-112 & update @ on Lots 97 & 110 accordingly	klp	

PREPARED FOR:

PROPERTY OWNER (SELLER): MANOR INVESTMENTS, LLC  
100 WEST PENNSYLVANIA AVE. SUITE 301 TOWSON, MD 21284  
PH: 443-367-9422  
ATTN: Robert Gooder

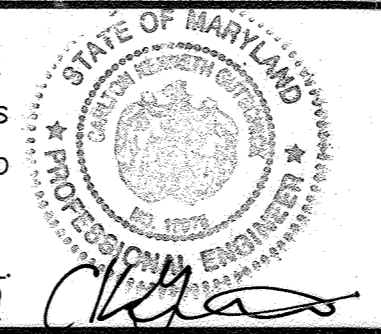
BUILDER (CONTRACT PURCHASER): NVR INC.  
9720 PATUENT WOODS DR. COLUMBIA, MD 21046  
PH: 410-379-5956  
ATTN: Robert Grothmann

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875

EXPIRATION DATE: MAY 28, 2020

12/16/19 *[Signature]*



**SITE DEVELOPMENT PLAN**

**WESTMOUNT**  
**PHASE 2 - LOTS 90-119 & 150-153**  
(SFD RESIDENTIAL USE)  
PLAT Nos. 24827-24841 and 25016

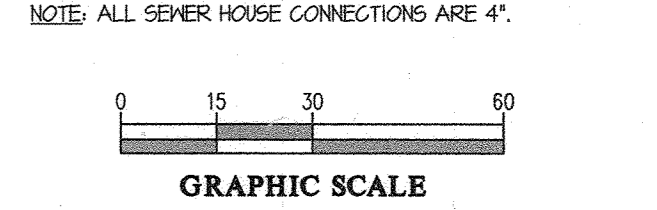
ELECTION DISTRICT No. 2

HOWARD COUNTY, MARYLAND

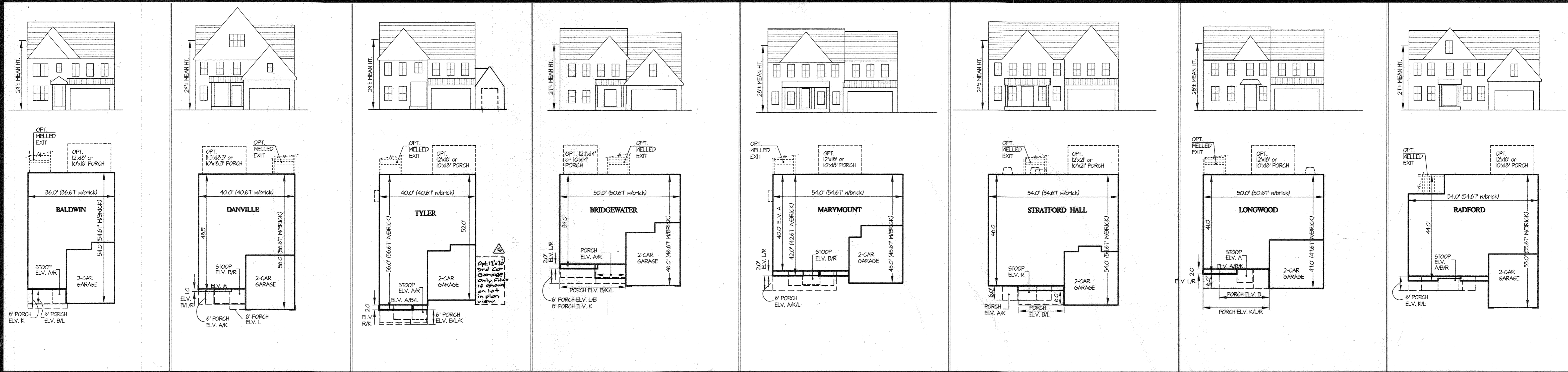
SEWER HOUSE CONNECTIONS MINIMUM CELLAR ELEVATIONS & INVERT ELEVATION @ P.L. OF EASEMENT

LOT	M.C.E.	LOT	M.C.E.
95	421.34	101	411.43
96	415.80	102	412.62
97	411.81	103	414.62
98	415.57	104	417.16
99	412.44	105	415.90
100	411.25	106	416.30
		107	424.78
		108	426.34

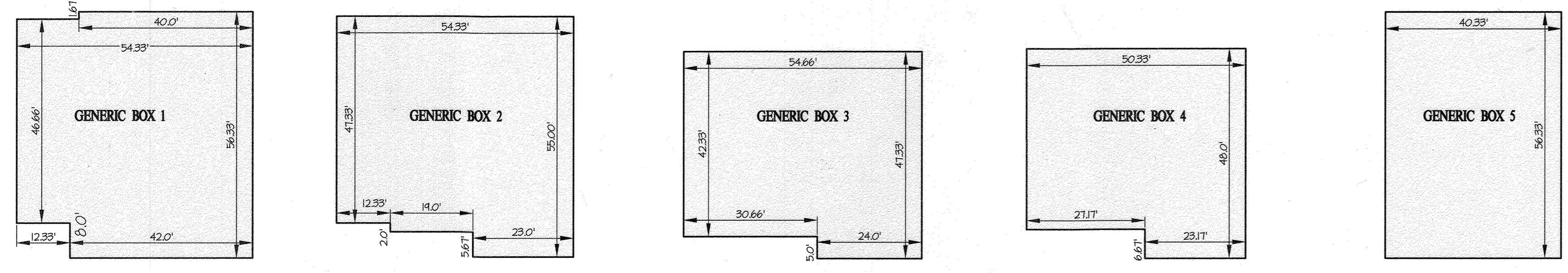
NOTE: ALL SEWER HOUSE CONNECTIONS ARE 4".



SCALE	ZONING	G. L. W. FILE No.
1" = 30'	R-ED	18087
DATE	TAX MAP - GRID	SHEET
DEC. 2019	23-6,10&12	3 OF 6



TYPICAL HOUSE FOOTPRINTS and ELEVATIONS  
(STANDARD (STD) ORIENTATION SHOWN) SCALE: 1" = 20'

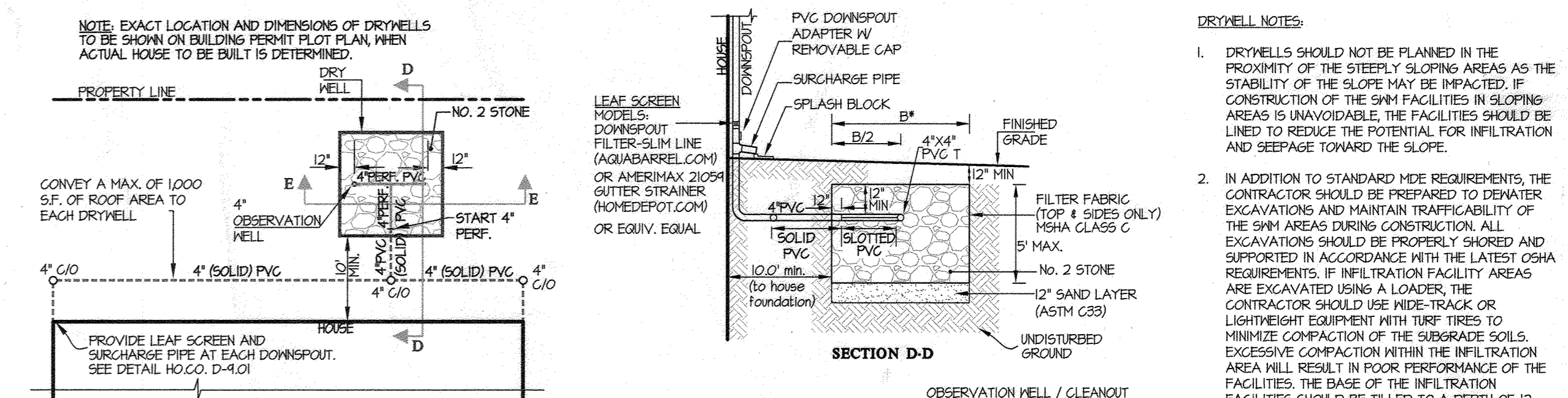


GENERIC BOX HOUSE FIT CHART

HOUSE TYPE	GENERIC BOX 1	GENERIC BOX 2	GENERIC BOX 3	GENERIC BOX 4	GENERIC BOX 5
BALDWIN	YES	YES	NO	NO	YES
DANVILLE	YES	NO	NO	NO	YES
TYLER (no 12'x12' 3rd car garage)	YES	NO	NO	NO	YES
BRIDGEWATER	YES	YES	YES	YES	NO
LONGWOOD	YES	YES	YES	NO	NO
MARYMOUNT	YES	YES	YES	NO	NO
STRATFORD HALL	YES	YES	NO	NO	NO
RADFORD	YES	YES	NO	NO	NO

**NOTES:**

- 1.) CALCULATIONS MAY BE REQUIRED TO CONFIRM OPTIONAL ROOMS AND PORCH FIT per Section 128.A.1.d and 128.1.j. ZONING REGULATIONS. PER SECTION 128.0.a.1.j. OF THE ZONING REGULATIONS, ROOM EXTENSIONS AND BUILDING ADDITIONS MAY EXTEND 10 FEET INTO A REAR SETBACK, ALONG NOT MORE THAN 60% OF THE REAR FACE OF A DWELLING ON A LOT WHICH ADJOINS OPEN SPACE ALONG A MAJORITY OF THE REAR LOT LINE. THIS REGULATION ONLY APPLIES TO LOTS 90-94, 96-109, 112-119 & 150-152.
- 2.) BUILDING FEATURES THAT CAN PROJECT INTO YARD SETBACKS IN ACCORDANCE WITH SECTION 128.A.1. OF THE HOWARD COUNTY ZONING REGULATIONS CAN ALSO PROJECT BEYOND THE GENERIC BOX, BUT SAID FEATURES CANNOT PROJECT INTO ANY EASEMENTS.
- 3.) AREAWAYS and/or STAIRWAYS ATTACHED TO A PORCH/DECK MUST MEET SECTION 128.A.1.e ZONING REGULATIONS.
- 4.) FOR BUILDING PERMIT APPLICATION, A PLOT PLAN SHOWING THE ACTUAL HOUSE TYPE TO BE CONSTRUCTED WITHIN THE GENERIC BOX ON A PARTICULAR LOT SHALL BE SUBMITTED ALONG WITH COPIES OF THE APPROVED SDP.
- 5.) OPTIONAL AREAWAYS/WELLED EXITS MAY BE RELOCATED TO THE SIDE OF THE HOUSE MEETING SECTION 128.0.A.1.d REQUIREMENTS.

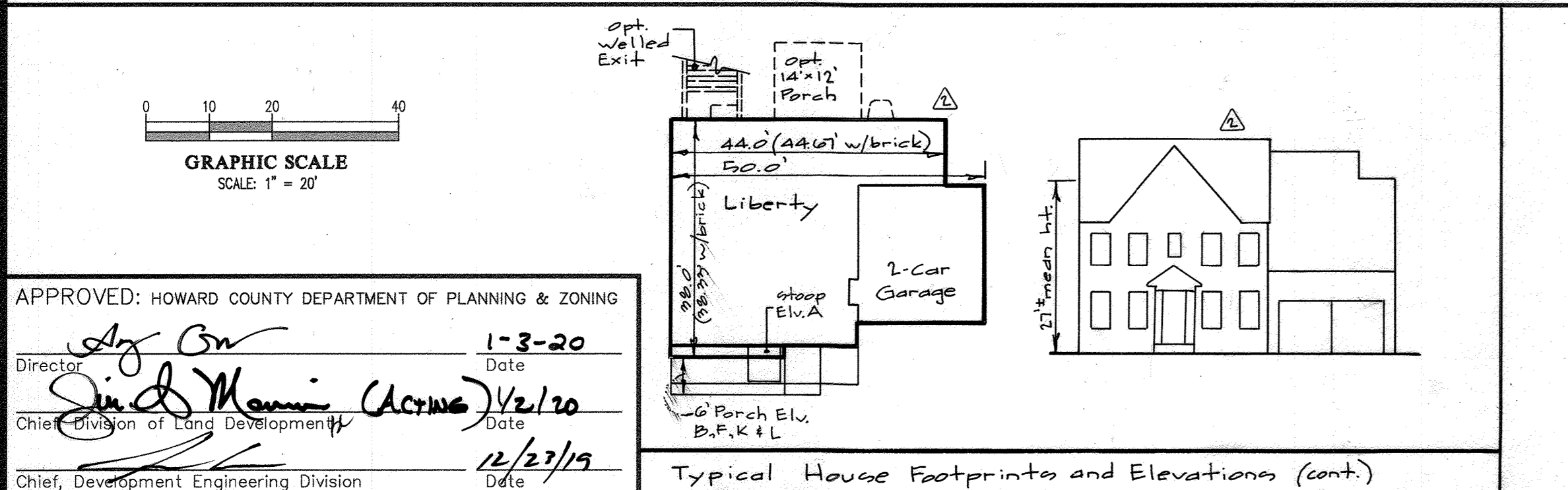


**DRYWELL DATA:**  
LENGTH (A) = VARIES WIDTH (B) = VARIES  
NOTE: LENGTH AND WIDTH MAY VARY.  
\* WIDTH MAY VARY TO PRODUCE 20 SF. MIN. FINAL DIMENSIONS AND LOCATION TO BE SHOWN ON BUILDING PERMIT PLOT PLAN WHEN ACTUAL HOUSE TO BE BUILT IS DETERMINED.

**OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DRY WELLS (M-5)**

- A. THE OWNER SHALL INSPECT THE MONITORING WELLS AND STRUCTURES ON A QUARTERLY BASIS AND AFTER EVERY HEAVY STORM EVENT.
- B. THE OWNER SHALL RECORD THE WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS OVER A PERIOD OF SEVERAL DAYS TO INSURE TRENCH DRAINAGE.
- C. THE OWNER SHALL MAINTAIN A LOG BOOK TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
- D. WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN A SEVENTY-TWO (72) HOUR PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
- E. THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
- F. ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION FACILITY HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

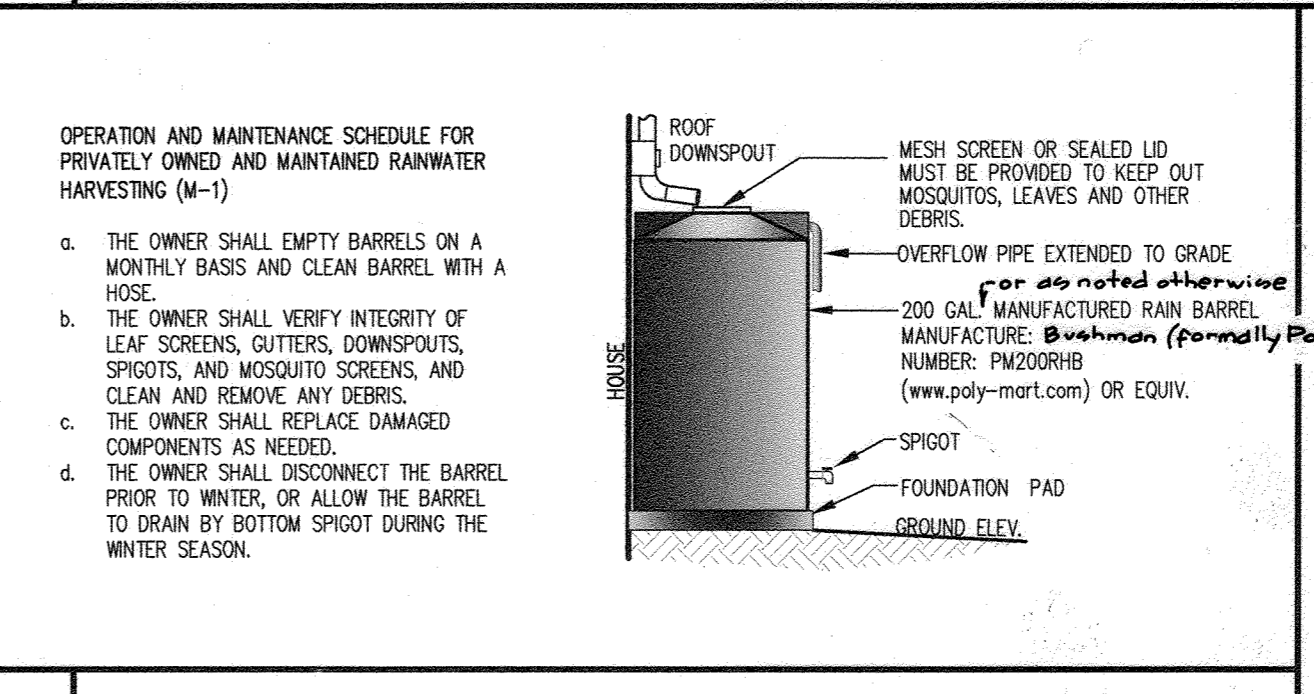
GENERIC BOXES SCALE: 1" = 20'



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *Ally On* 1-3-20  
Chief, Division of Land Development: *Shirley M. Morris* 12/2/19  
Chief, Development Engineering Division: *[Signature]* 12/2/19

Typical House Footprints and Elevations (cont.)

1 DRYWELL DETAILS NO SCALE



2 RAIN BARREL NO SCALE

DESIGNED BY:	DATE:	REVISION:	BY:	APPR:
MBT				
DRIVEN BY:				
KLP	11/19/2019	Added optional 3rd car garage to Tyler house footprint	KLP	
CHK	10/14/2020	Update rain barrel detail	KLP	
CHK	5/10/2020	add the Liberty house	KLP	

PREPARED FOR:  
PROPERTY OWNER (SELLER): MANOR INVESTMENTS, LLC  
100 WEST PENNSYLVANIA AVE. SUITE 301 TOWSON, MD 21204  
PH: 443-367-0422 ATTN: Robert Gooder

BUILDER (CONTRACT PURCHASER): NVR INC.  
9720 PATIENT WOODS DR. COLUMBIA, MD 21046  
PH: 410-379-5956 ATTN: Robert Grottmann

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875  
EXPIRATION DATE: MAY 28, 2020  
12/16/19

**SITE DETAILS**

**WESTMOUNT PHASE 2 - LOTS 90-119 & 150-153 (SFD RESIDENTIAL USE)**  
PLAT Nos. 24827-24841 and 25016

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	R-ED	18087
DATE	TAX MAP - GRID	SHEET
DEC. 2019	23-6,10&12	4 OF 6

ELECTION DISTRICT No. 2 HOWARD COUNTY, MARYLAND

### SEDIMENT CONTROL NOTES

1. A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CD), 410-315-1855 AFTER THE FUTURE LOT AND PROTECTED AREAS ARE MARKED IN THE FIELD. A MINIMUM OF 48 HOUR NOTICE TO CD MUST BE GIVEN AT THE FOLLOWING STAGES:

- PRIOR TO THE START OF EARTH DISTURBANCE.
- UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
- PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF ANOTHER GRADING UNIT.
- PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL PRACTICES.

OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE. OTHER RELATED STATE AND FEDERAL PERMITS SHALL BE REFERENCED TO ENSURE COORDINATION AND TO AVOID CONFLICTS WITH THIS PLAN.

2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THEREOF. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 3 CALENDAR DAYS AFTER EACH PERMETER SEDIMENT CONTROL STRUCTURE, DRAIN, PERIMETER SLOPE, AND ALL SLOPES GREATER THAN 3:1, 7 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERMETER CONTROL STRUCTURES, DRAINS, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3:1 HORIZONTAL TO 1 VERTICAL (3:1), AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE GRADING.

4. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR TOPSOIL (Sec. B-4-2), PERMANENT SEEDING (Sec. B-4-5), TEMPORARY SEEDING (Sec. B-4-4) AND MULCHING (Sec. B-4-3). TEMPORARY STABILIZATION WITH MULCH CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES IF THE GROUND IS FROZEN. INCREMENTAL STABILIZATION (Sec. B-4-4) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH SHOT CUTS OR IN AREAS WITH SLOPES GREATER THAN 3:1. MULCH MUST BE STABILIZED WITH STABLE OUTFILL, ALL CONCENTRATED FLOW, STEEP SLOPE, AND HIGHLY ERODIBLE AREAS SHALL RECEIVE SOIL STABILIZATION MATING (Sec. B-4-6).

5. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE CD.

6. SITE ANALYSIS:

TOTAL AREA OF SITE	: 6.74 AC.
AREA DISTURBED	: 7.074 AC.
AREA TO BE ROOFED OR PAVED	: 2.664 AC.
AREA TO BE VEGETATIVELY STABILIZED	: 4.414 AC.
TOTAL CUT	: 10,145.52 CY
OFF-SITE WASTE/BORROW AREA LOCATION	: NONE

7. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.

8. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE CD, THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY, AND THE NEXT DAY AFTER EACH PERMETER SEDIMENT CONTROL STRUCTURE, DRAIN, PERIMETER SLOPE, AND ALL SLOPES GREATER THAN 3:1, 7 DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE GRADING.

9. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER.

10. ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE CD PRIOR TO PROCEEDING WITH CONSTRUCTION. MAJOR REVISIONS MAY ALLOWED BY THE CD PRIOR TO LISTING OF HOSD-APPROVED FIELD CHANGES.

11. DISTURBANCE SHALL NOT OCCUR OUTSIDE THE L.O.D. A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGINS ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE CD. UNLESS OTHERWISE SPECIFIED AND APPROVED BY HOSD NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.

12. WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT STRUCTURE.

13. TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDISTRIBUTION UNTIL FINAL GRADING.

14. ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON THE CONTOUR, AND BE MODIFIED AT 20 MINUTE INTERVALS, WITH LOWER ENDS CURLED UPWARD BY 2 IN ELEVATION.

15. STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS (INCLUSIVE):

- USE I AND II MARCH 1 - APRIL 15
- USE II AND III OCTOBER 1 - JUNE 30
- USE IV MARCH 1 - MAY 31

16. A COPY OF THIS PLAN, THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND ASSOCIATED PERMITS SHALL BE ON-SITE AND AVAILABLE WHEN THE SITE IS ACTIVE.

### B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

**DEFINITION:**  
TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS. CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

**PURPOSE:**  
TO USE LONG-LIVED PERENNIAL GRASSES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

**CONDITIONS WHERE PRACTICE APPLIES:**  
EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

**CRITERIA:**

- GENERAL USE
  - SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITIONS OR PRACTICES FOUND ON TABLE B.2. ENTER SELECTED MIXTURES IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. IF THE SUMMARY IS NOT PUT ON THE PLAN, THE PLAN AND TABLE B.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN.
  - FOR SITES HAVING DISTURBED AREAS, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY.
  - FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.
- TURFGRASS MIXTURES
  - AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.
  - SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PRACTICES FOUND ON TABLE B.2. ENTER SELECTED MIXTURES IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
- KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTERMEDIATE MANAGEMENT. PROTECTION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED KENTUCKY BLUEGRASS CULTIVARS PER 1000 SQUARE FEET: 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
  - KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURES INCLUDES: CERTIFIED TALL FESCUE CULTIVARS 50 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 5 TO 5 PERCENT, SEEDING RATE: 1 1/2 TO 3 POUNDS PER 1000 SQUARE FEET.
  - TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MAINTENANCE IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURES INCLUDES: CERTIFIED TALL FESCUE CULTIVARS 50 TO 100 PERCENT, SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED.
  - KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE TO FULL SUN. RECOMMENDED MIXTURES INCLUDES: CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 50 TO 40 PERCENT, CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATE: 1 1/2 TO 3 POUNDS PER 1000 SQUARE FEET.
- IDEAL TIMES OF SEEDING FOR TURFGRASS MIXTURES
  - WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDNESS ZONES: 5B, 6A)
  - CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONE: 5B)
  - SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONES: 7A, 7B)
- TILL AREAS TO BE RE-SEED BY DIGGING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES. LEVEL AND PAKE THE AREAS TO PREPARE A PROPER SEEDING BED. REMOVE STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER. THE RESULTING SEEDBED SHOULD BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY.
- IF SOIL MOISTURE IS INDEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL UNTIL AT A TIME WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE CD. UNLESS OTHERWISE SPECIFIED AND APPROVED BY HOSD NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.

### B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

**DEFINITION:**  
TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS. CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

**PURPOSE:**  
TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.

**CONDITIONS WHERE PRACTICE APPLIES:**  
EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

**CRITERIA:**

- GENERAL SPECIFICATIONS
  - CLASS OF TURFGRASS SOIL MUST BE MARYLAND STATE CERTIFIED. SOIL LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.
  - SOIL MUST BE MADE UP TO A UNIFORM SOIL THICKNESS OF 3/4 INCH OR MINUS 1/4 INCH. AT THE TIME OF CUTTING, MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH. BROKEN POTS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTED.
  - STANDARD SIZE SECTIONS OF SOIL MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND STAY IN PLACE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER TO PERCENT OF THE SECTION.
  - SOIL MUST NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
  - SOIL MUST BE IMPROVED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOIL NOT TRANSPORTED. THIS METHOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.
- SOIL INSTALLATION
  - DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SOIL, LIGHTLY BRIGADE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOIL.
  - LAY THE FIRST LAYER OF SOIL WITH SUBSEQUENT LAYERS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE SOIL UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOIL IS NOT STRETCHED OR OVERPAVED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT WINDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS.
  - WEDGE WOODS POSSIBLY 1/2" SOIL WITH THE LONG CORNER TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP. PEG OR OTHERWISE SECURE THE SOIL TO PREVENT SLIPAGE ON SLOPES. ENSURE CLOSE CONTACT EXISTS BETWEEN SOIL ROOTS AND THE UNDERLYING SOIL SURFACE.
  - WATER THE SOIL BY FLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOIL PAD AND SOIL SURFACE BELOW THE SOIL ARE THOROUGHLY WET. CAREFUL OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOIL WITHIN EIGHT HOURS.
- SOIL MAINTENANCE
  - IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER DURING THE HEAT OF THE DAY TO PREVENT WILTING.
  - IF THE SOIL IS NOT MOIST, SOIL WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT.
  - DO NOT MOW UNTIL THE SOIL IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.

*John R. Blanton* 12/17/19  
DATE

**ENGINEER'S CERTIFICATE**  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.

*C. L. Hagan* 12/16/19  
DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

1-3-20  
Date

Director: *John C. ...*  
12/17/19  
Date

Chief of Division: *John C. ...*  
12/17/19  
Date

Chief, Development Engineering Division  
Date

DESIGNED BY: MBT  
DRAWN BY: KLP  
CHECKED BY: CKG

DATE: 12/17/19  
REVISION: \_\_\_\_\_  
BY: \_\_\_\_\_  
APPR: \_\_\_\_\_

PROPERTY OWNER (SELLER): MANOR INVESTMENTS, LLC  
100 WEST PENNSYLVANIA AVE. SUITE 301  
TOWSON, MD 21284  
PH: 443-367-0422  
ATTN: Robert Gooder

BUILDER (CONTRACT PURCHASER): NVR, INC.  
9720 PATUXENT WOODS DR.  
SUITE 301  
PH: 410-379-5956  
ATTN: Robert Grothmann

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975.  
EXPIRATION DATE: MAY 26, 2020

12/16/19  
*C. L. Hagan*

### B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

**DEFINITION:**  
TO USE LONG-LIVED PERENNIAL GRASSES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

**PURPOSE:**  
TO USE LONG-LIVED PERENNIAL GRASSES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

**CONDITIONS WHERE PRACTICE APPLIES:**  
EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

**CRITERIA:**

- GENERAL USE
  - SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITIONS OR PRACTICES FOUND ON TABLE B.2. ENTER SELECTED MIXTURES IN THE PERMANENT SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. IF THE SUMMARY IS NOT PUT ON THE PLAN, THE PLAN AND TABLE B.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN.
  - FOR SITES HAVING DISTURBED AREAS, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY.
  - FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.
- TURFGRASS MIXTURES
  - AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.
  - SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PRACTICES FOUND ON TABLE B.2. ENTER SELECTED MIXTURES IN THE PERMANENT SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
- KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTERMEDIATE MANAGEMENT. PROTECTION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED KENTUCKY BLUEGRASS CULTIVARS PER 1000 SQUARE FEET: 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
  - KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURES INCLUDES: CERTIFIED TALL FESCUE CULTIVARS 50 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 5 TO 5 PERCENT, SEEDING RATE: 1 1/2 TO 3 POUNDS PER 1000 SQUARE FEET.
  - TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MAINTENANCE IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURES INCLUDES: CERTIFIED TALL FESCUE CULTIVARS 50 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 5 TO 5 PERCENT, SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED.
  - KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE TO FULL SUN. RECOMMENDED MIXTURES INCLUDES: CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 50 TO 40 PERCENT, CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATE: 1 1/2 TO 3 POUNDS PER 1000 SQUARE FEET.
- IDEAL TIMES OF SEEDING FOR TURFGRASS MIXTURES
  - WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDNESS ZONES: 5B, 6A)
  - CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONE: 5B)
  - SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONES: 7A, 7B)
- TILL AREAS TO BE RE-SEED BY DIGGING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES. LEVEL AND PAKE THE AREAS TO PREPARE A PROPER SEEDING BED. REMOVE STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER. THE RESULTING SEEDBED SHOULD BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY.
- IF SOIL MOISTURE IS INDEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL UNTIL AT A TIME WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE CD. UNLESS OTHERWISE SPECIFIED AND APPROVED BY HOSD NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.

### B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

**DEFINITION:**  
TO USE LONG-LIVED PERENNIAL GRASSES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

**PURPOSE:**  
TO USE LONG-LIVED PERENNIAL GRASSES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

**CONDITIONS WHERE PRACTICE APPLIES:**  
EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

**CRITERIA:**

- GENERAL SPECIFICATIONS
  - CLASS OF TURFGRASS SOIL MUST BE MARYLAND STATE CERTIFIED. SOIL LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.
  - SOIL MUST BE MADE UP TO A UNIFORM SOIL THICKNESS OF 3/4 INCH OR MINUS 1/4 INCH. AT THE TIME OF CUTTING, MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH. BROKEN POTS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTED.
  - STANDARD SIZE SECTIONS OF SOIL MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND STAY IN PLACE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER TO PERCENT OF THE SECTION.
  - SOIL MUST NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
  - SOIL MUST BE IMPROVED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOIL NOT TRANSPORTED. THIS METHOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.
- SOIL INSTALLATION
  - DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SOIL, LIGHTLY BRIGADE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOIL.
  - LAY THE FIRST LAYER OF SOIL WITH SUBSEQUENT LAYERS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE SOIL UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOIL IS NOT STRETCHED OR OVERPAVED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT WINDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS.
  - WEDGE WOODS POSSIBLY 1/2" SOIL WITH THE LONG CORNER TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP. PEG OR OTHERWISE SECURE THE SOIL TO PREVENT SLIPAGE ON SLOPES. ENSURE CLOSE CONTACT EXISTS BETWEEN SOIL ROOTS AND THE UNDERLYING SOIL SURFACE.
  - WATER THE SOIL BY FLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOIL PAD AND SOIL SURFACE BELOW THE SOIL ARE THOROUGHLY WET. CAREFUL OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOIL WITHIN EIGHT HOURS.
- SOIL MAINTENANCE
  - IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER DURING THE HEAT OF THE DAY TO PREVENT WILTING.
  - IF THE SOIL IS NOT MOIST, SOIL WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT.
  - DO NOT MOW UNTIL THE SOIL IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.

*John R. Blanton* 12/17/19  
DATE

**ENGINEER'S CERTIFICATE**  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.

*C. L. Hagan* 12/16/19  
DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

1-3-20  
Date

Director: *John C. ...*  
12/17/19  
Date

Chief of Division: *John C. ...*  
12/17/19  
Date

Chief, Development Engineering Division  
Date

DESIGNED BY: MBT  
DRAWN BY: KLP  
CHECKED BY: CKG

DATE: 12/17/19  
REVISION: \_\_\_\_\_  
BY: \_\_\_\_\_  
APPR: \_\_\_\_\_

PROPERTY OWNER (SELLER): MANOR INVESTMENTS, LLC  
100 WEST PENNSYLVANIA AVE. SUITE 301  
TOWSON, MD 21284  
PH: 443-367-0422  
ATTN: Robert Gooder

BUILDER (CONTRACT PURCHASER): NVR, INC.  
9720 PATUXENT WOODS DR.  
SUITE 301  
PH: 410-379-5956  
ATTN: Robert Grothmann

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975.  
EXPIRATION DATE: MAY 26, 2020

12/16/19  
*C. L. Hagan*

### B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

**DEFINITION:**  
THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

**PURPOSE:**  
TO PREPARE DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

**CONDITIONS WHERE PRACTICE APPLIES:**  
TO THE SURFACE OF ALL PERMETER CONTROL STRUCTURES, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.

**CRITERIA:**

- SEEDING
  - SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A REGISTERED LABORATORY. ALL SEED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REFER TO TABLE B.4 FOR SEEDING QUALITY REQUIREMENTS. QUALITY TESTS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE.
  - MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WHEN THE GROUND THAW.
  - INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURE MUST BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS EXTREMELY IMPORTANT TO KEEP INOCULANTS AS POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT WILL DESTROY INOCULANTS. INOCULANTS ARE MOST EFFECTIVE.
  - SOIL OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN) TO PERMIT DISPERSION OF PHYTO-TOXIC MATERIALS.
- APPLICATION
  - DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DRIP OR BROADCAST SPREADERS.
    - INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.3, OR SITE-SPECIFIC SEEDING SUMMARIES.
    - APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION.
    - APPLY MULCH TO PROTECT SEEDS FROM BIRD AND INSECT DAMAGE. MULCH SHOULD BE APPLIED TO THE SURFACE OF THE SEEDING AREA WITH NEIGHED ROLLERS TO PROVIDE GOOD SEED TO SOIL CONTACT.
  - DRILL OR OULTPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL.
    - CULTIVATORS AND/OR HARROWS ARE REQUIRED TO BURY THE SEED IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURES INCLUDES: CERTIFIED TALL FESCUE CULTIVARS 50 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 5 TO 5 PERCENT, SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED.
  - HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SURFACE BROADCAST SEEDING AND FERTILIZER).
    - FERTILIZER SHOULD BE APPLIED AT THE TIME OF SEEDING. THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE; TOTAL SOLUBLE NITROGEN, P205 (PHOSPHOROUS), 200 POUNDS PER ACRE; K2O (POTASSIUM), 200 POUNDS PER ACRE.
    - USE ONE TON PER ACRE GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE MAY BE APPLIED BY HYDROSEEDING). NORMALLY, DO NOT APPLY MORE THAN 2 TONS PER ACRE OF LIME AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING.
    - MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT INTERRUPTION.
    - WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.
- MULCHING
  - MULCH MATERIALS (IN ORDER OF PREFERENCE)
    - STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS, SPECIALLY TREATED SEED, AND SEED LAW AND NOT MUSTY, MOULDY, CAKED, DECAYED, OR EXCESSIVELY MUSTY. NOTE: USE OF STABLE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED.
    - WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED WITH A UNIFORM FIBER PHYSICAL STATE.
    - WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNIFORMITY SPREAD OF THE GRASS SEEDS.
    - WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH PROMOTERS.
    - WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER AS TO REMAIN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED, FERTILIZER AND OTHER PRELIMINARY MATERIALS THAT WILL BE APPLIED TO THE MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER ON APPLICATION HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL.
    - WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS OF SUCH A NATURE AS TO BE TOXIC TO PLANTS.
    - WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH OF APPROXIMATELY 1 MILLIMETER TO 1.5 MILLIMETER; APPROXIMATELY 1 MILLIMETER PH RANGE OF 4.0 TO 8.5; ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER HOLDING CAPACITY OF 90 PERCENT MINIMUM.
  - APPLICATION
    - APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING.
    - WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE AT A UNIFORM DEPTH OF 1 TO 2 INCHES. APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH. USE THE SOIL SURFACE AS A GUIDE. UNEXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE.
    - WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.
  - ANCHORING
    - PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING ON THE SIZE OF THE AREA AND WEED EROSION HAZARD:
      - A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER SLOPES. MULCH ANCHORING EQUIPMENT CAN OPERATE SAFELY, IF USED ON SLOPING LAND, THIS PRACTICE SHOULD FOLLOW THE CONTROLS.
      - WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. THIS PRACTICE SHOULD FOLLOW THE CONTROLS.
      - SYNTHETIC BINDERS SUCH AS ACRYLIC POLY (ACRO-TACK), DCA-70, PETROSEED, TERRA TACK, TERRA MANUFACTURE, APPLICATION OF QUALITY BINDERS TO THE SURFACE OF MULCH AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON GREYS OF BANKS. USE OF ACRYLIC BINDERS IS STRICTLY PROHIBITED.
      - LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET LONG.

### B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

**DEFINITION:**  
THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

**PURPOSE:**  
TO PREPARE DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

**CONDITIONS WHERE PRACTICE APPLIES:**  
TO THE SURFACE OF ALL PERMETER CONTROL STRUCTURES, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.

**CRITERIA:**

- SEEDING
  - SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A REGISTERED LABORATORY. ALL SEED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REFER TO TABLE B.4 FOR SEEDING QUALITY REQUIREMENTS. QUALITY TESTS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE.
  - MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WHEN THE GROUND THAW.
  - INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURE MUST BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS EXTREMELY IMPORTANT TO KEEP INOCULANTS AS POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT WILL DESTROY INOCULANTS. INOCULANTS ARE MOST EFFECTIVE.
  - SOIL OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN) TO PERMIT DISPERSION OF PHYTO-TOXIC MATERIALS.
- APPLICATION
  - DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DRIP OR BROADCAST SPREADERS.
    - INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.3, OR SITE-SPECIFIC SEEDING SUMMARIES.
    - APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION.
    - APPLY MULCH TO PROTECT SEEDS FROM BIRD AND INSECT DAMAGE. MULCH SHOULD BE APPLIED TO THE SURFACE OF THE SEEDING AREA WITH NEIGHED ROLLERS TO PROVIDE GOOD SEED TO SOIL CONTACT.
  - DRILL OR OULTPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL.
    - CULTIVATORS AND/OR HARROWS ARE REQUIRED TO BURY THE SEED IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURES INCLUDES: CERTIFIED TALL FESCUE CULTIVARS 50 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 5 TO 5 PERCENT, SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED.
  - HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SURFACE BROADCAST SEEDING AND FERTILIZER).
    - FERTILIZER SHOULD BE APPLIED AT THE TIME OF SEEDING. THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE; TOTAL SOLUBLE NITROGEN, P205 (PHOSPHOROUS), 200 POUNDS PER ACRE; K2O (POTASSIUM), 200 POUNDS PER ACRE.
    - USE ONE TON PER ACRE GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE MAY BE APPLIED BY HYDROSEEDING). NORMALLY, DO NOT APPLY MORE THAN 2 TONS PER ACRE OF LIME AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING.
    - MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT INTERRUPTION.
    - WHEN HYDROSEEDING DO NOT

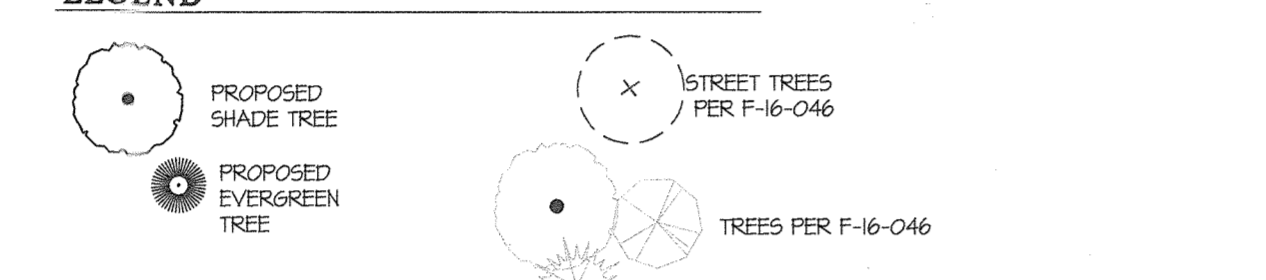
**LANDSCAPE NOTES**

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE & CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL.
- CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET NO.1 SHALL APPLY.
- FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
- PLANT QUANTITIES SHOWN ON THE PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
- ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE A.A.N. SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN.
- NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SOLOIDED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS (FOR TOPSOIL SPEC. SEE SHEET 5).
- THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
- ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.
- DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT.
- "SCHEDULE-A" IS PROVIDED FOR LANDSCAPE SURETY CALCULATION PURPOSES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED WITH THE GRADING PERMIT FOR HOSE CONSTRUCTION IN THE AMOUNT OF \$ 3300.00 FOR THE LOTS PER THIS SDP AS FOLLOWS:  
 1 SHADE TREES @ \$300 EACH = \$ 2,100.00  
 8 EVERGREEN TREES @ \$150 EACH = \$ 1,200.00

**RESIDENTIAL LANDSCAPE PERIMETER REQUIREMENTS (SCHEDULE-A)**

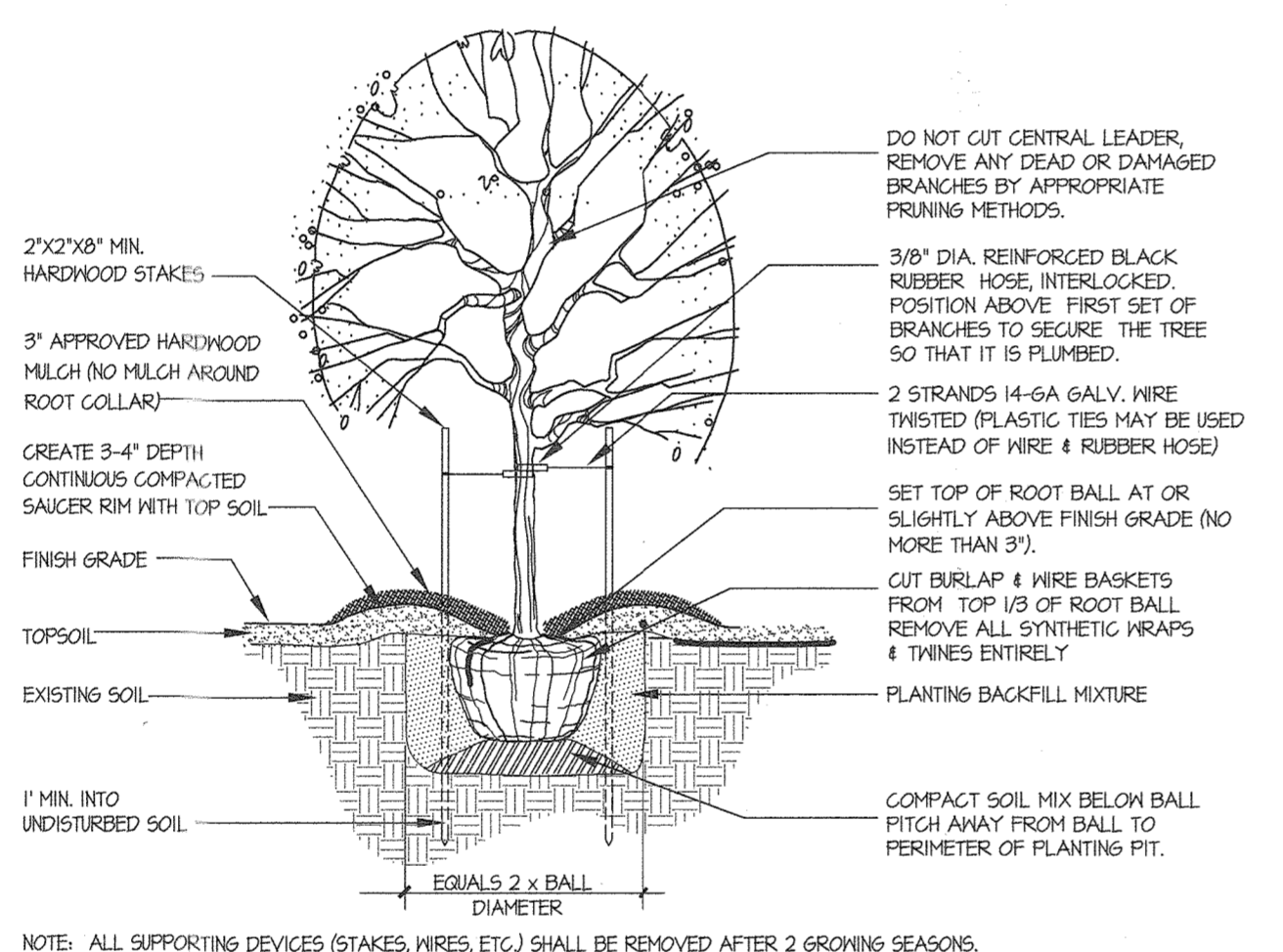
USE SITUATION	SIDE OF SFD ORIENTED TO ROADWAY			
LANDSCAPE TYPE	TYPE-B (1:50 SHADE TREES + 1:40 EVERGREEN TREES)			
PERIMETER LOCATION	LOT 95	LOT 110	LOT 111	LOT 153
SIDE LENGTH OF LOT	73'	61.33'	85.94'	86.5'
CREDIT FOR EXISTING VEGETATION	N/A	N/A	N/A	N/A
CREDIT FOR HALL, FENCE OR BERM	N/A	N/A	N/A	N/A
NUMBER OF PLANTS REQUIRED				
SHADE TREES	2	1	2	2
EVERGREEN TREES	2	2	2	2
SHRUBS	N/A	N/A	N/A	N/A
NUMBER OF PLANTS PROVIDED				
SHADE TREES	2	1	2	2
EVERGREEN TREES	2	2	2	2
OTHER TREES (@ 2:1 SUBSTITUTION)	0	0	0	0
SHRUBS (@ 1:1 SUBSTITUTION)	N/A	N/A	N/A	N/A

**LEGEND**



**NOTES**

- AT THE TIME OF PLANT INSTALLATION ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
- THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPAIRED WITH NEW MATERIAL TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.



**DEVELOPER'S/BULDER'S CERTIFICATE**

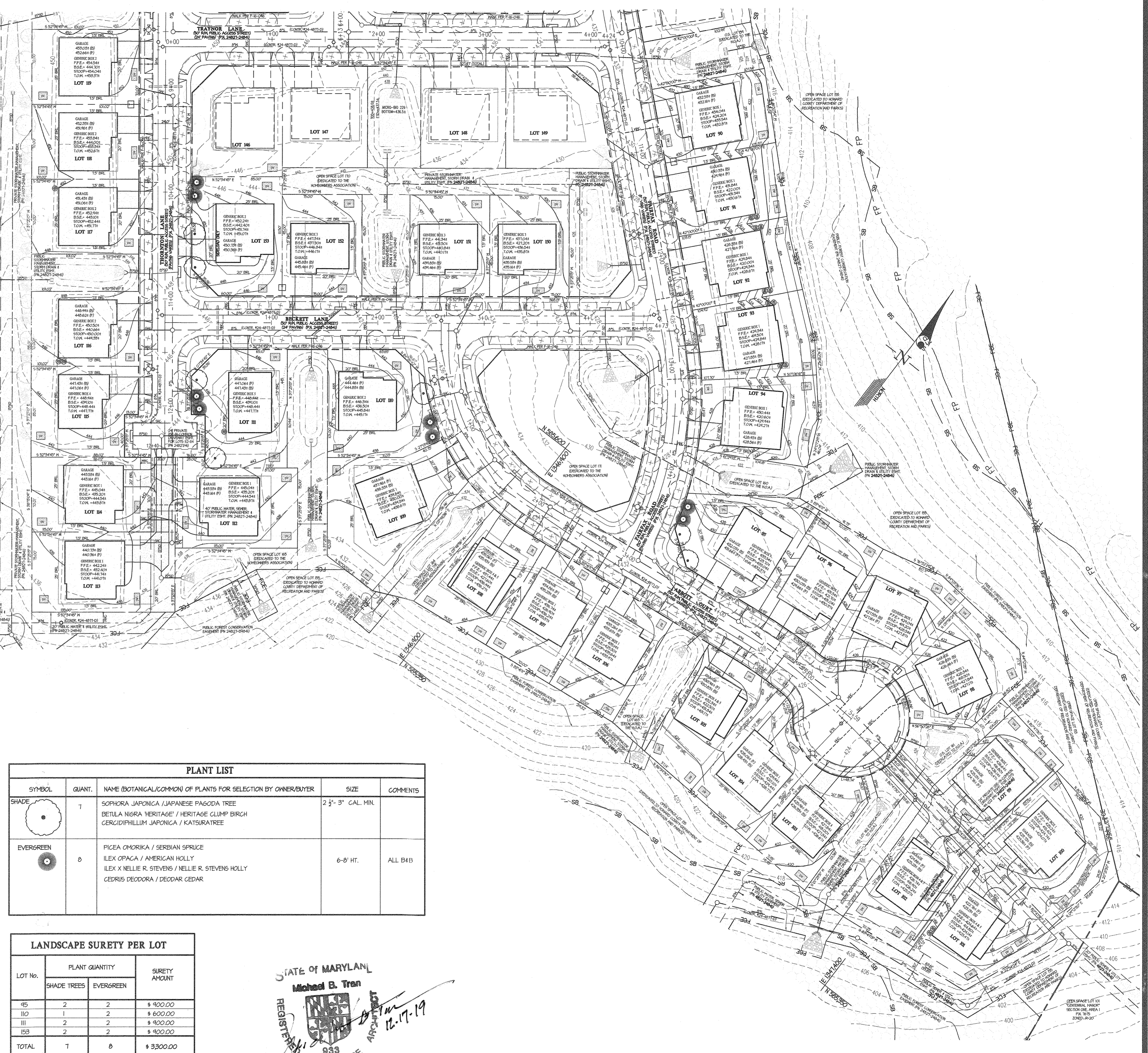
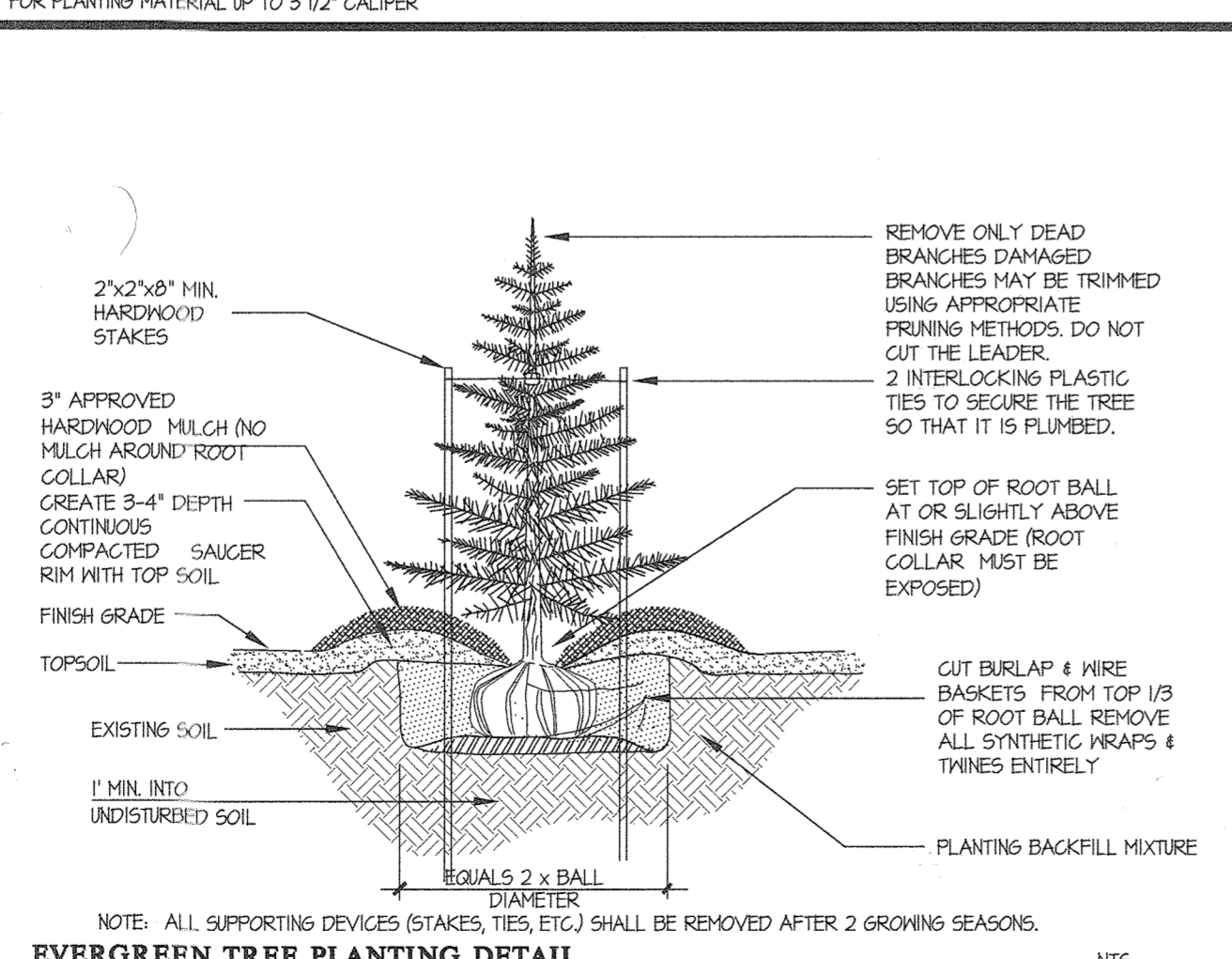
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL.  
 I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

*John A. Cuff* 12-16-19  
 NAME DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*John A. Cuff* 1-3-20  
 Director Date  
*John A. Cuff* 12/16  
 Chief, Division of Land Development Date  
*John A. Cuff* 12/23/19  
 Chief, Development Engineering Division Date

**DECIDUOUS TREE PLANTING DETAIL**



**PLANT LIST**

SYMBOL	QUANT.	NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER	SIZE	COMMENTS
○ SHADE	7	SOPHORA JAPONICA / JAPANESE PAGODA TREE BETULA NIGRA HERITAGE / HERITAGE CLUMP BIRCH CERCIDIPHILLUM JAPONICA / KATSURATREE	2 1/2' - 3" CAL. MIN.	
● EVERGREEN	8	PICEA OMORICA / SERBIAN SPRUCE ILEX OPACA / AMERICAN HOLLY ILEX X NELLIE R. STEVENS / NELLIE R. STEVENS HOLLY CEDRUS DEODORA / DECODAR CEDAR	6-8' HT.	ALL B&B

**LANDSCAPE SURETY PER LOT**

LOT No.	PLANT QUANTITY		SURETY AMOUNT
	SHADE TREES	EVERGREEN	
95	2	2	\$ 400.00
110	1	2	\$ 600.00
111	2	2	\$ 400.00
153	2	2	\$ 400.00
TOTAL	7	8	\$ 3,300.00

STATE OF MARYLAND  
 Michael B. Tran  
 REGISTERED LANDSCAPE ARCHITECT  
 933  
 12-17-19

**THIS PLAN IS FOR PLANTING PURPOSES ONLY**

**GLW**  
 PLANNING | ENGINEERING | SURVEYING  
 3809 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM  
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	DATE	REVISION	BY	APPR.
MBT				
DRAWN BY:				
CLIP BY:				
CHECKED BY:				
CKG				

PREPARED FOR:

PROPERTY OWNER (SELLER): MANOR INVESTMENTS, LLC  
 100 WEST PENNSYLVANIA AVE.  
 SUITE 301  
 TOWSON, MD 21204  
 PH: 443-367-0422  
 ATTN: Robert Gooder

BUILDER (CONTRACT PURCHASER): NVR, INC.  
 9720 PATUXENT WOODS DR.  
 COLUMBIA, MD 21046  
 PH: 410-379-5956  
 ATTN: Robert Grothmann

**LANDSCAPE PLAN**

**WESTMOUNT**  
 PHASE 2 - LOTS 90-119 & 150-153  
 (SFD RESIDENTIAL USE)  
 PLAT Nos. 24827-24841 and 25016

ELECTION DISTRICT No. 2

SCALE	ZONING	G. L. W. FILE No.
1" = 50'	R-ED	18087
DATE	TAX MAP - GRID	SHEET
DEC. 2019	23-6,10&12	6 OF 6