

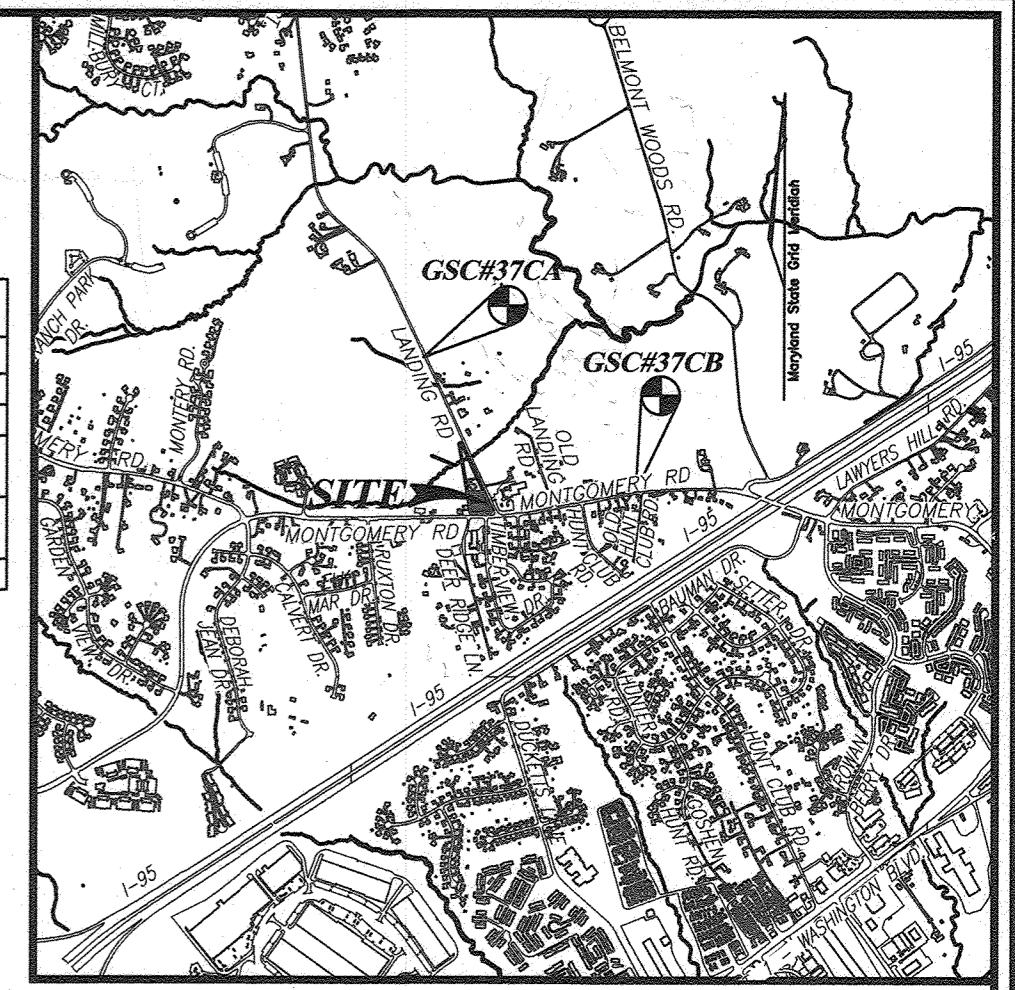
SITE DEVELOPMENT PLAN

SNODGRASS PROPERTY LOTS 1 AND 2

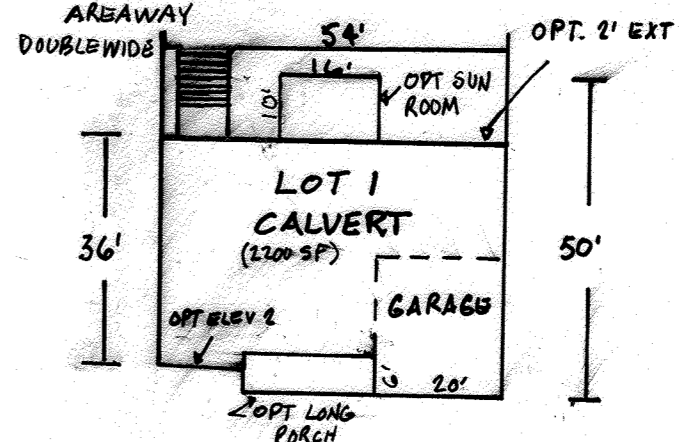
L.0700 / F.00601 AND L.0700 / F.00604

BENCHMARKS
 HOWARD COUNTY BENCHMARK 37CA
 N 564,321.637' E 1,382,742.900' ELEV.: 256.893'
 HOWARD COUNTY BENCHMARK 37CB
 N 562,930.787' E 1,384,957.348' ELEV.: 257.145'

SHEET INDEX	DESCRIPTION	SHEET NO.
1	COVER SHEET AND LAYOUT PLAN	1 OF 5
2	GRADING, EROSION AND SEDIMENT CONTROL PLAN	2 OF 5
3	GRADING, EROSION AND SEDIMENT CONTROL NOTES AND DETAILS	3 OF 5
4	SITE AND MICRO-BIOTRENTED LANDSCAPING, NOTES, SCHEDULES AND DETAILS	4 OF 5
5	DRAINAGE AREA MAPS, NOTES AND DETAILS	5 OF 5



VICINITY MAP
 SCALE: 1"=2000'
 ADC MAP COORDINATES: MAP 35, GRID B-1

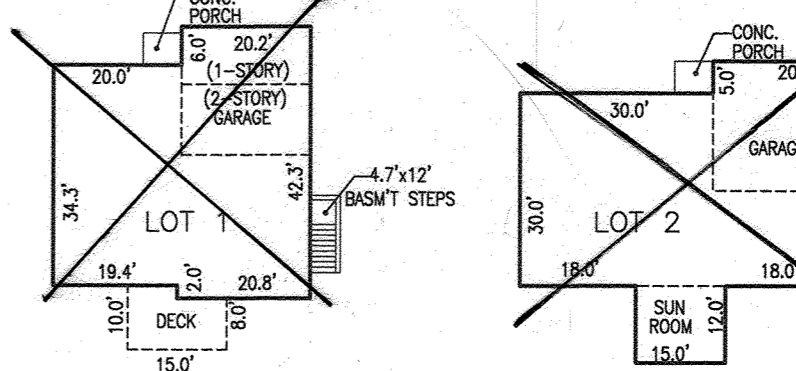


LEGEND

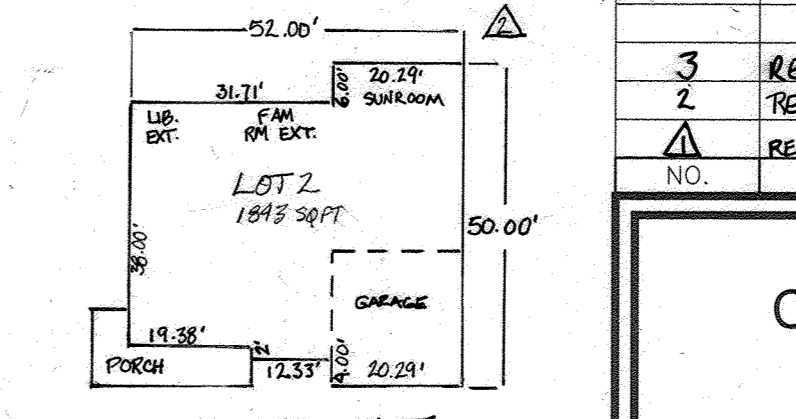
	EXISTING CONTOUR		LIMIT OF DISTURBANCE
	PROPOSED CONTOUR		DRY WELL (M-5)
	EXISTING CURB AND GUTTER		RAIN GARDEN (M-7)
	PROPOSED CURB AND GUTTER		4' CONC. SIDEWALK
	EXISTING UTILITY POLE		VARIABLE PRIVATE DRAINAGE AND UTILITY EASEMENT (PLAT NO. 25229)
	EXISTING LIGHT POLE		PRIVATE UTILITY WITH DRAINAGE, SEWER AND UTILITY EASEMENT (PLAT NO. 25229)
	EXISTING MAILBOX		R-ED ZONING
	EXISTING SIGN		ZONING LINE
	EXISTING SANITARY MANHOLE		R-20 ZONING
	EXISTING SANITARY LINE		HIGHLY ERODIBLE SOILS
	EXISTING FIRE HYDRANT		
	EXISTING WATER LINE		
	RIGHT-OF-WAY LINE		
	EXISTING TREE LINE		
	PROPOSED TREE LINE		

SITE DATA
 TAX MAP 37, BLOCK 6, PARCEL 67
 1ST ELECTION DISTRICT
 PRESENT ZONING: R-20 RESIDENTIAL
 TOTAL AREA OF PROPERTY (LOTS 1 AND 2 ONLY): 1.01 AC.
 DPZ REFERENCES: F-96-177, WP-97-87, ECP-18-060
 DEED/PLAT REFERENCES: L7000 / F.601 & L.7000 / F.604
 PLAT NO. 13025 & PLAT NO. 25229
 AREA MANAGED BY ESDV (THIS PLAN "DEVELOPMENT AREA"):
 USE OF PROPOSED STRUCTURES (THIS PLAN): 1.12 AC.
 SINGLE FAMILY RESIDENTIAL
 *TOTAL BUILDING COVERAGE WITHIN THE LOD/DEVELOPMENT AREA:
 3,910 SF (0.076 AC. OR 6.79%)
 *PAVED AREA WITHIN THE LOD/DEVELOPMENT AREA:
 3,846 SF (0.883 AC. OR 6.79%)
 LIMIT OF DISTURBED AREA (THIS PLAN): 48,769 S.F. / 1.12 AC.
 *WETLANDS ON SITE: 0.00 AC.
 *WETLANDS BUFFER ON SITE: 0.00 AC.
 *STREAMS AND THEIR BUFFERS ON SITE: 0.00 AC.
 *AREA OF 100 YEAR FLOODPLAIN: 0.00 AC.
 *AREA OF EXISTING FOREST ON SITE: 0.51 AC.
 *AREA OF MODERATE SLOPES (15% - 24.99%):
 1,950 S.F. (0.00 AC. > 20,000 SF CONTIGUOUS)
 *AREA OF STEEP SLOPES (25% OR GREATER):
 145 S.F. (0.00 AC. > 20,000 SF CONTIGUOUS)
 AREA OF ERODIBLE SOILS: 1.01 AC.
 *IMPERVIOUS AREA: 1,156 S.F. (0.16 AC. OR 1.68%)
 *GREEN/OPEN AREA: 46,601 S.F. (0.853 AC. OR 8.53%)
 NOTE *REPRESENTS WHAT IS PRESENT WITHIN LOD/LIMITS OF DEVELOPMENT AREA ONLY

OWNER / DEVELOPER
 DORSEY FAMILY HOMES, INC.
 ROBERT L. DORSEY
 10717-B BIRMGHAM WAY
 WOODSTOCK, MD 21163



ELEVATIONS
 NTS



CHAMBERLAIN III

MIHU AGREEMENT
 PLEASE NOTE THAT ALL NEW LOTS/RESIDENTIAL UNITS IN THIS SUBDIVISION (LOTS 1 & 2) ARE SUBJECT TO THE MIHU FEE-IN-LIEU REQUIREMENT THAT IS TO BE CALCULATED AND PAID TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT THE TIME OF BUILDING PERMIT ISSUANCE BY THE PERMIT APPLICANT.

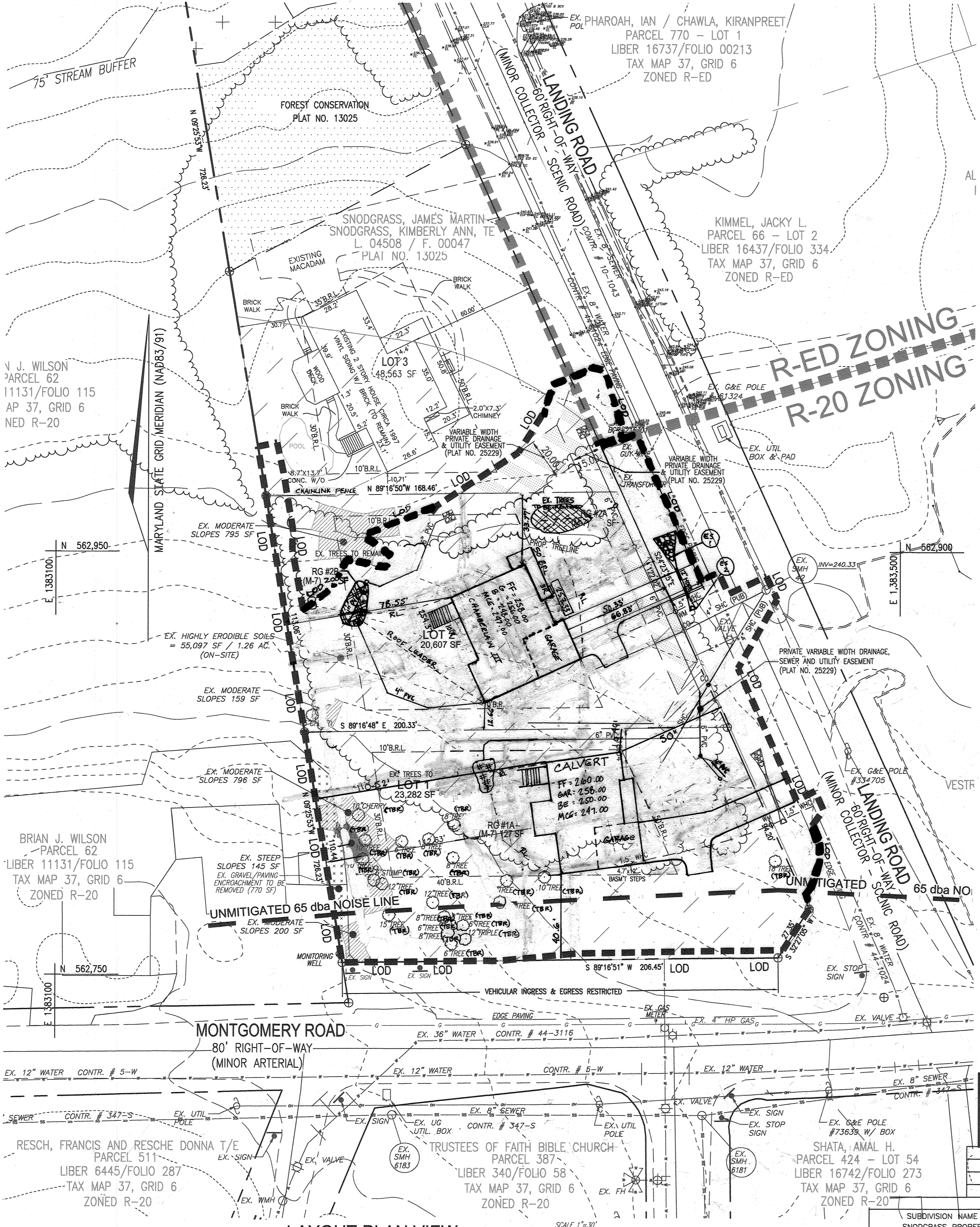
ADDRESS CHART

BUILDING NO.	STREET ADDRESS
1	5780 LANDING ROAD
2	5774 LANDING ROAD

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER
SNODGRASS PROPERTY	N/A	67
DEED REF.	BLOCK NO.	ZONE
L. 07000/F. 601	6	R-20
L. 07000/F. 604	6	R-20
TAX MAP 37, GRID 6	37	1ST
WATER CODE:	D01	CENSUS TR. #
		601104
SEWER CODE:	2150562	

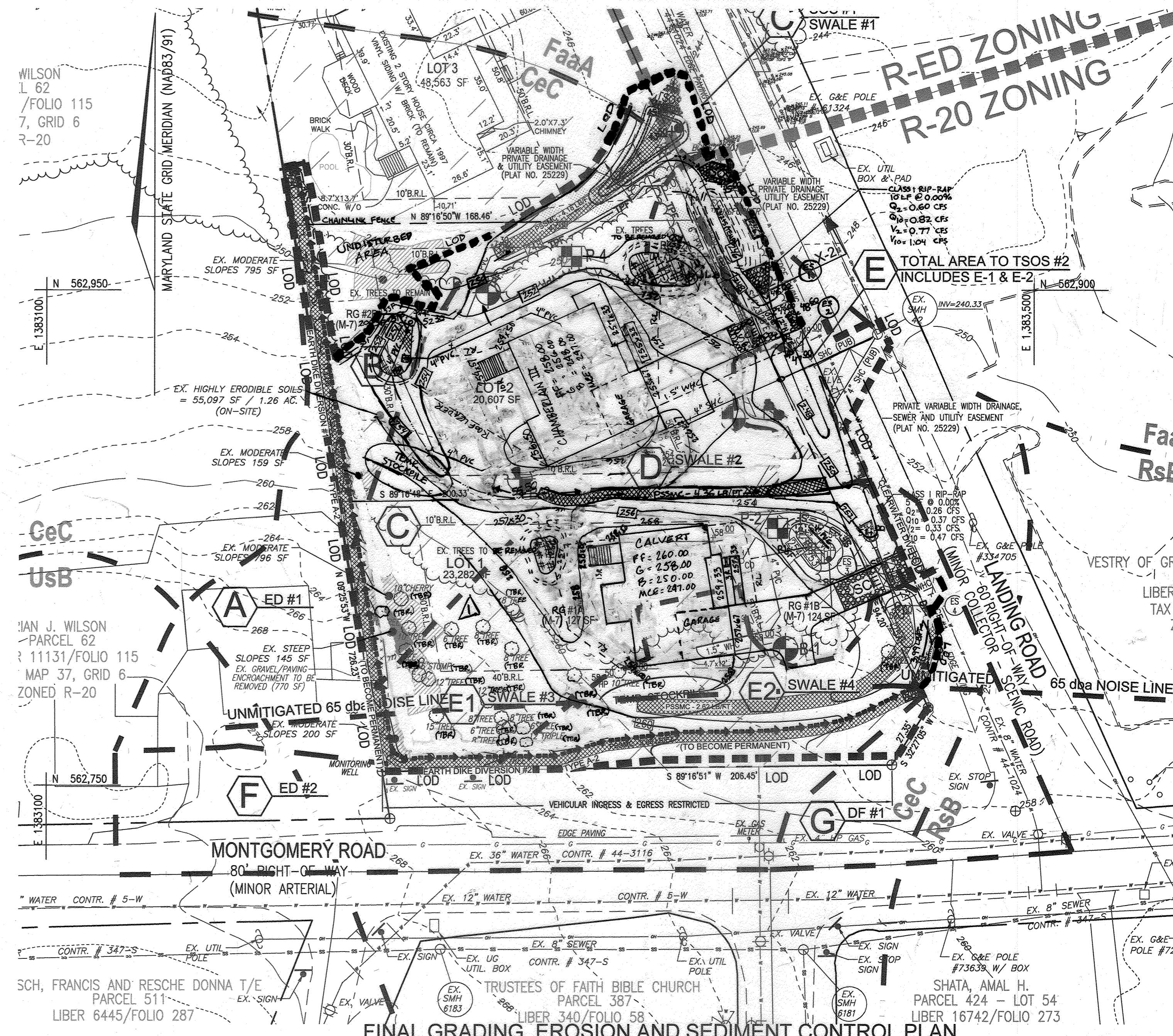
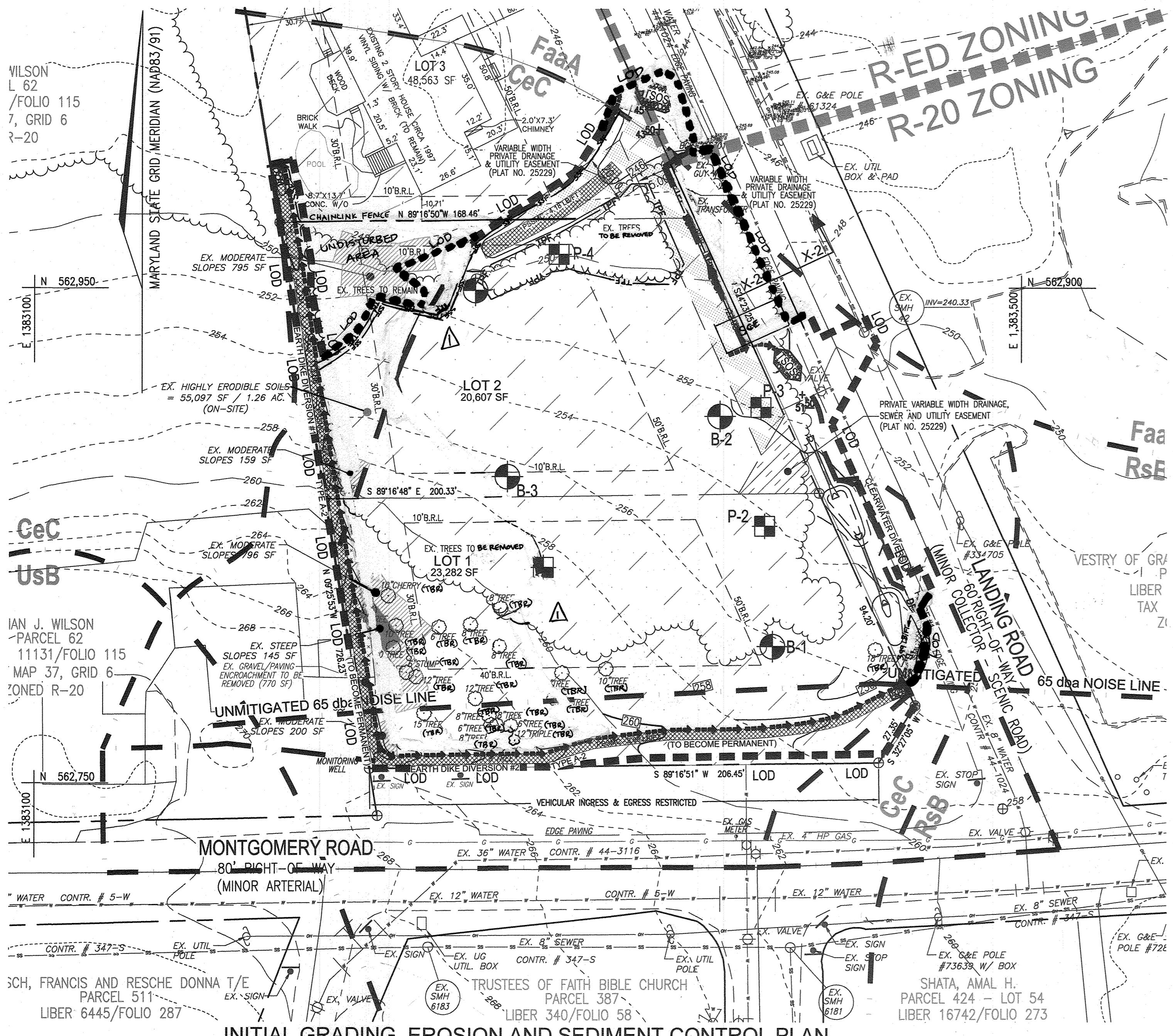
- GENERAL NOTES**
- THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS ALTERNATIVE COMPLIANCE HAS BEEN APPROVED.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS APPLICABLE.
 - THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
 MISS UTILITY: 1-800-257-7777
 VERIZON TELEPHONE COMPANY: 1-800-894-9081
 HOWARD COUNTY DEPT. OF UTILITIES: 410-313-2366
 AT&T CABLE LOCATION DIVISION: 410-850-4620
 B.G. & CO. CONTRACTOR SERVICES: 410-787-4620
 B.G. & CO. UNDERGROUND DAMAGE CONTROL: 410-531-6533
 STATE HIGHWAY ADMINISTRATION: 410-331-6533
 - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
 - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
 - ANY DAMAGE TO PUBLIC RIGHT-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
 - THIS SITE DEVELOPMENT PLAN IS SUBJECT TO THE FOLLOWING DPZ FILES:
 F-96-177, ECP-18-060, S-44-3116, 44-1043, 10-1043, 347-51, WP-97-87
 - THE EXISTING TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD SURVEY BY VOGEL ENGINEERING & TIMMONS GROUP, PERFORMED ON APRIL 4, 2018 AND SUPPLEMENTED BY HOWARD COUNTY GIS.
 - THE PROJECT BOUNDARY IS BASED ON A FIELD SURVEY PERFORMED BY MARKS & VOGEL ASSOCIATES, INC., DATED APRIL 1996.
 - THE ELEVATIONS AND ELEVATIONS SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM, HOWARD COUNTY CONTROL STATION 37CA AND 37CB WERE USED FOR THIS PROJECT.
 N 564,321.637' E 1,382,742.900' ELEV.: 256.893'
 HOWARD COUNTY BENCHMARK 37CA
 N 562,930.787' E 1,384,957.348' ELEV.: 257.145'
 HOWARD COUNTY BENCHMARK 37CB
 - THE SUBJECT PROPERTY IS ZONED R-20 IN ACCORDANCE WITH THE ZONING REGULATIONS EFFECTIVE ON OCT. 06, 2013, AND IS SUBJECT TO SUBDIVISION AND LAND DEVELOPMENT REGULATIONS EFFECTIVE OCT. 07, 2007 PER COUNCIL BILL 47-2007 & 48-2007. DEVELOPMENT OR CONSTRUCTION ON THIS PROPERTY MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, ALTERNATIVE COMPLIANCE PETITION OR BUILDING/GRADING PERMIT APPLICATIONS.
 - THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
 - WATER FOR THIS PROJECT SHALL BE FROM AN EXTENSION OF CONTRACT NO. #44-1024.
 - SEWER FOR THIS PROJECT SHALL BE FROM THE PROPOSED EXTENSION OF CONTRACT NO. #10-1043.
 - WATER AND SEWER SERVICE WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 18.122(B) OF THE HOWARD COUNTY CODE. ALLOCATIONS WILL BE GRANTED AT THE TIME OF ISSUANCE OF BUILDING PERMIT IF CAPACITY IS AVAILABLE AT THAT TIME.
 - THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. DEVELOPMENT OR CONSTRUCTION OF THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, ALTERNATIVE COMPLIANCE PETITION, OR BUILDING AND GRADING PERMIT APPLICATIONS.
 - THIS SITE IS NOT LOCATED IN A HISTORIC DISTRICT.
 - EXISTING UTILITIES LOCATED FROM A FILED SURVEY BY VOGEL+TIMMONS GROUP, PERFORMED APRIL 4, 2018 AND SUPPLEMENTED WITH AS-BUILT DRAWINGS, CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
 - NO RARE, THREATENED SPECIES OR THEIR HABITATS WERE OBSERVED ON THE PROPERTY.
 - NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAM(S) OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS. WETLANDS AND BUFFER AREAS SHALL BE IDENTIFIED AND PROTECTED BY THE CONTRACTOR.
 - AREA OF WETLANDS PRESENT WITHIN THE DEVELOPMENT AREA PER DELINEATION BY MARKS & VOGEL ASSOCIATES, INC., DATED APRIL 1996.
 - THERE ARE NO "FLOODPLAIN" AREAS LOCATED WITHIN THE DEVELOPMENT AREA. FLOODPLAIN SHOWN NORTH OF LOT 3 IS FROM ROCKBRUNN BRANCH FLOOD STUDY, MAP # 26-48B.
 - THERE ARE 0 S.F. (0.00 AC.) > 25% STEEP SLOPES, AND 0 S.F. (0.00 AC.) 15%-24.99% STEEP SLOPES OVER 20,000 SF CONTIGUOUS LOCATED WITHIN THE DEVELOPMENT AREA TOTAL 2,054 S.F. (0.07 AC.)
 - THE PROJECT SITE WAS EVALUATED FOR THE PRESENCE OF ENVIRONMENTAL FEATURES AND A LETTER HAS BEEN PREPARED BY ECO-SCIENCE PROFESSIONALS, INC. C/O MR. JOHN CANOLES, MARCH 20, 2018. MR. CANOLES NOTED AREAS OF FOREST AND LAWN BUT NO OPEN TREES OR ANY OTHER ENVIRONMENTAL FEATURES WITHIN THE LIMITS OF THE DEVELOPMENT AREA FOR THIS PROJECT. WETLAND DELINEATION FOR AREA NORTH OF LOT 3 PROVIDED BY MARKS & VOGEL ASSOCIATES, INC., DATED APRIL 1996.
 - THIS PROJECT IS SUBJECT TO THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION. A FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED UNDER F-96-177 TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION ACT. (FOREST RETENTION) NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED. THE BALANCE OF THE FOREST CONSERVATION OBLIGATION INCURRED BY THIS SUBDIVISION (0.21 AC. OF REFORESTATION) HAVE BEEN MET BY PAYMENT OF \$3005.00 TO THE HOWARD COUNTY FOREST CONSERVATION FUND.
 - A LANDSCAPE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FINANCIAL SURETY IN THE AMOUNT OF \$4,500.00 FOR THE REQUIRED 12 SHADE TREES AND 6 EVERGREENS, WILL BE PAID WITH THE BUILDER'S GRADING PERMIT.
 - THERE ARE 0 S.F. (0.00 AC.) AREA OF OPEN SPACE PRESENT. A FEE IN LIEU FOR OPEN SPACE IN THE AMOUNT OF \$3,000.00 WAS PAID UNDER F-96-177.
 - A GEOTECHNICAL INVESTIGATION, INCLUDING CERTIFIED TEST PITS AND BORINGS HAVE BEEN PROVIDED TO VERIFY THAT GROUNDWATER AND ROCK ARE NOT PRESENT AT RAIN GARDEN AND DRYWELL LOCATIONS, AND THAT INFILTRATION RATES ARE ADEQUATE. OPEN TEST PITS WERE OBSERVED BY ROBERT H. VOGEL, PE ON APRIL 4, 2018 AND MAY 2018 AND INFORMATION REGARDING THE FINDINGS, INCLUDING PHOTOS OF THE TEST HOLES, CAN BE FOUND IN THE STORMWATER MANAGEMENT REPORT SUBMITTED WITH THIS DEVELOPMENT PLAN SUBMISSION.
 - A NOISE STUDY WAS PREVIOUSLY APPROVED IN 1996 FOR THE PROJECT. A NEW NOISE STUDY HAS BEEN PERFORMED DATED AUGUST 2019 UNDER SECTION 16.120(D)(5)(C) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS. THE NOISE MITIGATION PLAN FOR THIS PROJECT THAT WAS COMPLETED AND APPROVED UNDER F-96-177, IS SUPERSEDED BY THE NEW STUDY DATED AUGUST 2019 AND SUBMITTED WITH THIS PLAN. NO NOISE MITIGATION IS REQUIRED UNDER THIS SITE DEVELOPMENT PLAN. THEREFORE THE CONDITIONS OF WP-97-087 ARE NO LONGER REQUIRED.
 - LANDING ROAD IS CLASSIFIED AS A MINOR COLLECTOR AND IS ALSO A SCENIC ROAD. MONTGOMERY ROAD IS CLASSIFIED AS A MINOR ARTERIAL. SITE ACCESS SHALL BE VIA PRIVATE DRIVING ROAD.
 - A TRAFFIC STUDY IS NOT REQUIRED FOR THIS PROJECT.
 - THIS PROJECT IS EXEMPT FROM AN ADEQUATE ROADS FACILITIES TEST STUDY AS IT IS A MINOR SUBDIVISION.
 - TO THE BEST OF THE OWNERS' KNOWLEDGE, THERE ARE NO BURIAL GROUNDS, CEMETERIES, OR HISTORIC STRUCTURES LOCATED WITHIN THE DEVELOPMENT AREA.
 - THERE ARE NO EXISTING DWELLINGS OR STRUCTURES WITHIN THE DEVELOPMENT AREA. THERE IS AN EXISTING HOUSE ON LOT 3 THAT IS TO REMAIN.
 - THE PROPOSED BUILDINGS SHALL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.
 - STORMWATER MANAGEMENT FOR THE PROJECT IS PROVIDED BY THE USE OF MICRO-SCALE PRACTICES IN ACCORDANCE WITH ENVIRONMENTAL SITE DESIGN CRITERIA. MICRO-SCALE PRACTICES INCLUDE RAIN GARDEN (M-7) FACILITIES, AND DRYWELLS (M-5). THESE FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED.
 - SEDIMENT AND EROSION CONTROLS WILL BE PROVIDED FOR THIS SITE BY ON LOT PERIMETER CONTROLS.
 - THERE ARE 1.26 AC. OF HIGHLY ERODIBLE SOILS ON THIS SITE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY TEMPORARY CONSTRUCTION EASEMENTS THAT MAY BE REQUIRED.
 - DRIVEWAY ACCESS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 A) WIDTH - 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENCE).
 B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING, (1-1 1/2" MIN.)
 C) GEOMETRY - MAXIMUM 1% GRADE, MAXIMUM 10% CHANGE AND MINIMUM 45-FOOT TURNING RADIUS.
 D) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 20,000 GROSS TONS (H2S LOADING).
 E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
 F) STRUCTURE CLEARANCES - MINIMUM 12 FEET.
 G) MAINTENANCE SUFFICIENT TO INSURE ALL WEATHER USE.
 - A PRE-SUBMISSION MEETING IS NOT REQUIRED FOR CONSTRUCTION OF A HOME ON AN EXISTING LOT.
 - MIHUs ARE REQUIRED FOR THIS PROJECT. THE DEVELOPER WILL PAY A FEE-IN-LIEU TO ADDRESS THIS REQUIREMENT.
 - CONSTRUCTION IS NOT EXPECTED TO IMPACT TRAFFIC ON MONTGOMERY ROAD AND NO TRAFFIC CONTROL REQUIREMENTS ARE ANTICIPATED. CONSTRUCTION IS EXPECTED TO HAVE MINOR IMPACTS ON LANDING ROAD FOR THE CONNECTION OF DRIVEWAYS AND HOUSE UTILITY CONNECTIONS. NO TRAFFIC CONTROL REQUIREMENTS ARE ANTICIPATED.
 - DECLARATION OF COVENANTS FOR LOTS 1 AND 2 SHALL BE RECORDED WITH THE DEVELOPER AGREEMENT AND SIMULTANEOUSLY WITH THE PRIVATE DEEDS LOCATED ON THESE LOTS. ALL STORMWATER DEVICES SHALL BE PRIVATE. ALL STORMWATER DEVICES SHALL BE LOCATED WITHIN THE PRIVATE LOTS, AND OWNED AND MAINTAINED BY THE HOMEOWNER.
 - TRASH COLLECTION SHALL BE PRIVATE. RESIDENTS WILL PLACE TRASH ON EDGE OF DRIVEWAY WITHIN 5' OF THE EXISTING ROADWAY EDGE.
 - SIC ELEVATIONS SHOWN ARE LOCATED AT THE PROPERTY LINE.
 - IN ACCORDANCE WITH SECTION 128.0 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED, MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.



STORMWATER MANAGEMENT INFORMATION CHART

LOT/PARCEL #	STREET ADDRESS	FACILITY NAME & NUMBER	PRACTICE TYPE (QUANTITY)	PUBLIC	PRIVATE	MAINTENANCE RESPONSIBILITY
LOT 1	5780 LANDING ROAD	MBR #1A	M-7 RAIN GARDEN		X	Owner
LOT 1	5780 LANDING ROAD	MBR #B	M-7 RAIN GARDEN		X	Owner
LOT 2	5774 LANDING ROAD	MBR-2A	M-7 RAIN GARDEN		X	Owner
LOT 2	5774 LANDING ROAD	MBR-2B	M-7 RAIN GARDEN		X	Owner

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 DATE: 2-27-2020
 DATE: 2-28-20
 DATE: 3/27/2020



SEDIMENT CONTROL PRACTICE DRAINAGE AREA INFORMATION CHART

AREA	PRACTICE DESCRIPTION	DETAIL NO.	INITIAL CROSS SECTIONS	FINAL CROSS SECTIONS	STORAGE REQUIRED	STORAGE PROVIDED	TYPE	SIZE	SLOPE	SLOPE LENGTH (L/S/F)	BOTTOM ELEVATION	STORAGE ELEVATION	TOP BANK ELEVATION	SHEER STRESS (LBS/3')
A	CLEAN WATER EARTH DIKE DIVERSION	C-1	0.20	0.20	-	-	A-2	-	9.30%	217 LF	-	-	-	5.40
B	UNDISTURBED AREA	-	-	-	-	-	-	-	-	-	-	-	-	-
C	TEMPORARY STONE OUTLET STRUCTURE	E-7	0.29	0.29	515 C.F.	522 C.F.	-	-	-	-	243.50	245.00	246.00	-
D	SUPER SILT FENCE	E-3	0.23	0.15	-	-	-	-	7.70%	231 LF	-	-	-	-
E	TEMPORARY STONE OUTLET STRUCTURE	E-7	0.51	0.51	918 C.F.	1,048 C.F.	-	-	-	-	247.50	249.00	250.00	-
F	CLEAN WATER EARTH DIKE DIVERSION	C-1	0.33	0.33	-	-	A-2	-	0.56%	223 LF	-	-	-	3.85
G	CLEAN WATER DIVERSION FENCE	C-9	0.49	0.49	-	-	-	-	4.70%	99 LF	-	-	-	3.99

NOTE:
EITHER PERMANENT OR TEMPORARY STABILIZATION IS TO BE APPLIED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR REGARDLESS OF DAYS/DATES IN THE STANDARD SEDIMENT CONTROL NOTES AND/OR SEEDING SPECIFICATIONS.

MAPPED SOILS TYPES - SAVAGE NE / NE MAP #19

SYMBOL	NAME / DESCRIPTION	GROUP	K-FACTOR	HYDRIC	HYDRIC INCLUSIONS	PRIME FARMLAND	<15% SLOPE W/ EROSION POTENTIAL
Rsb	RUSSETT FINE SANDY LOAM, 2 TO 5 PERCENT SLOPES	C	.28	NO	NO	NO	NO
CcC	CHILLUM LOAM, 5 TO 10 PERCENT SLOPES	C	.43	NO	NO	*YES	NO
FoaA	FALLSINGTON SANDY LOAMS, 0 TO 2 PERCENT SLOPES, NORTHERN COASTAL PLAIN	D	-	NO	YES	*YES	NO
UsB	URBAN LAND-SASSAFRASS-BELTSVILLE COMPLEX, 0 TO 5 PERCENT SLOPES	D	-	NO	NO	NO	NO

NOTE:
- SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
- SILT FENCE SHALL BE CURLED UPHILL NO MORE THAN 35 FEET APART
- DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

TAKEN FROM: USDA, SCS-WEB SOIL SURVEY, HOWARD COUNTY *FARMLAND OF STATEWIDE IMPORTANCE

NOTES:
1. HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.
2. ONLY CcC AND A SMALL AREA OF FALLSINGTON SOILS ARE PRESENT WITHIN THE DEVELOPMENT AREA.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DIRECTOR: *[Signature]* DATE: 2-27-2020

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: 2/27/2020

CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 2/27/2020

OWNER/DEVELOPER CERTIFICATION:
I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR CONSTRUCTION DISTRICT AND/OR MDE.

OWNER/DEVELOPER SIGNATURE: *[Signature]* DATE: 1-10-2020

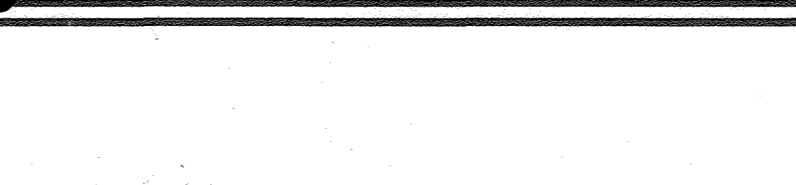
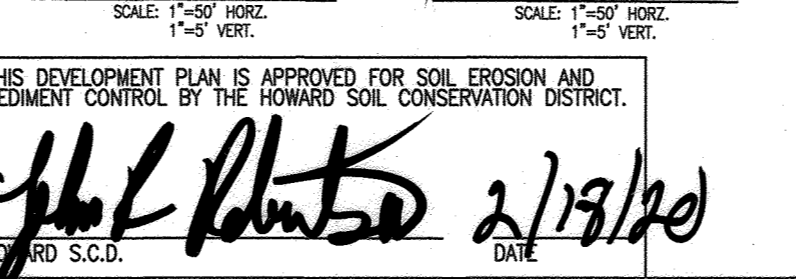
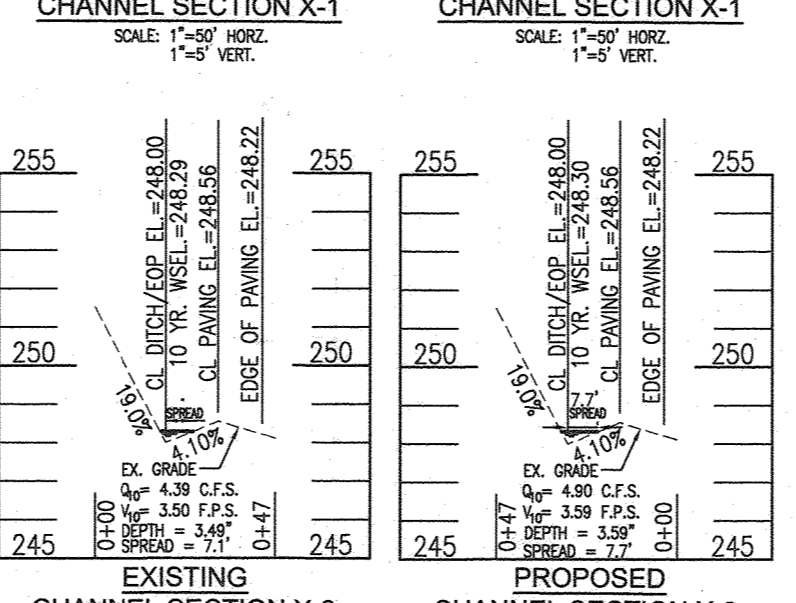
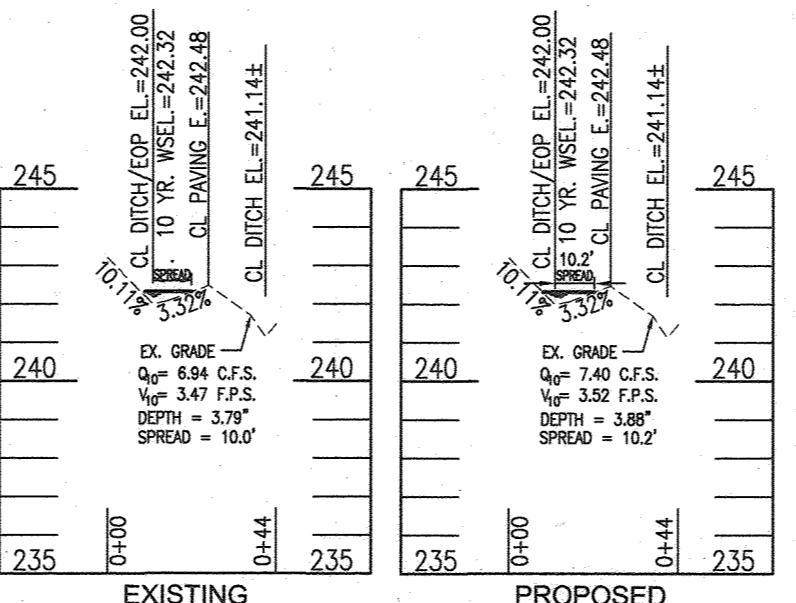
PRINTED NAME & TITLE: ROBERT L. DORSEY, SR. OWNER/DEVELOPER

DESIGN CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DESIGNER'S SIGNATURE: *[Signature]* DATE: 1/10/20

PRINTED NAME: ROBERT H. VOGEL

NO. REGISTRATION NO. 16193
R.L.S. OR R.L.A. (circle one)



- LEGEND**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - EXISTING CURB AND GUTTER
 - PROPOSED CURB AND GUTTER
 - EXISTING UTILITY POLE
 - EXISTING LIGHT POLE
 - EXISTING MAILBOX
 - EXISTING SIGN
 - EXISTING SANITARY MANHOLE
 - EXISTING SANITARY LINE
 - EXISTING CLEANOUT
 - EXISTING FIRE HYDRANT
 - EXISTING WATER LINE
 - PROPERTY LINE
 - RIGHT-OF-WAY LINE
 - EXISTING TREELINE
 - PROPOSED TREELINE
 - PRIVATE VARIABLE WIDTH DRAINAGE, SEWER AND UTILITY EASEMENT (PLAT NO. 25229)
 - HIGHLY ERODIBLE SOILS
 - EXISTING SOILS
 - LIMIT OF DISTURBANCE
 - DRY WELL (M-5)
 - RAIN GARDEN (M-7)
 - 4" CONCRETE SIDEWALK
 - STABILIZED CONSTRUCTION ENTRANCE
 - SUPER SILT FENCE
 - SILT FENCE
 - EROSION CONTROL MATTING
 - DRAINAGE DIVIDE
 - EARTH DIKE
 - TEMPORARY STONE OUTLET STRUCTURE
 - VARIABLE WIDTH PRIVATE DRAINAGE AND UTILITY EASEMENT (PLAT NO. 25229)

OWNER / DEVELOPER
DORSEY FAMILY HOMES, INC.
ROBERT L. DORSEY, SR.
10717-B BIRMINGHAM WAY
WOODSTOCK, MARYLAND 21168
410-465-5739

NO.	REVISION	DATE
3	REV LOT 1 HOUSE MODEL, Loc, SWM Loc, D/W	2-2-21
2	REVISE LOT 2 HOUSE MODEL, GRADING, SWM LOCATION, D/W	3-8-21
1	REVISE GRADING, HOUSE LOCATION, SWM LOCATION AND DRIVEWAY LOCATION	6-17-20

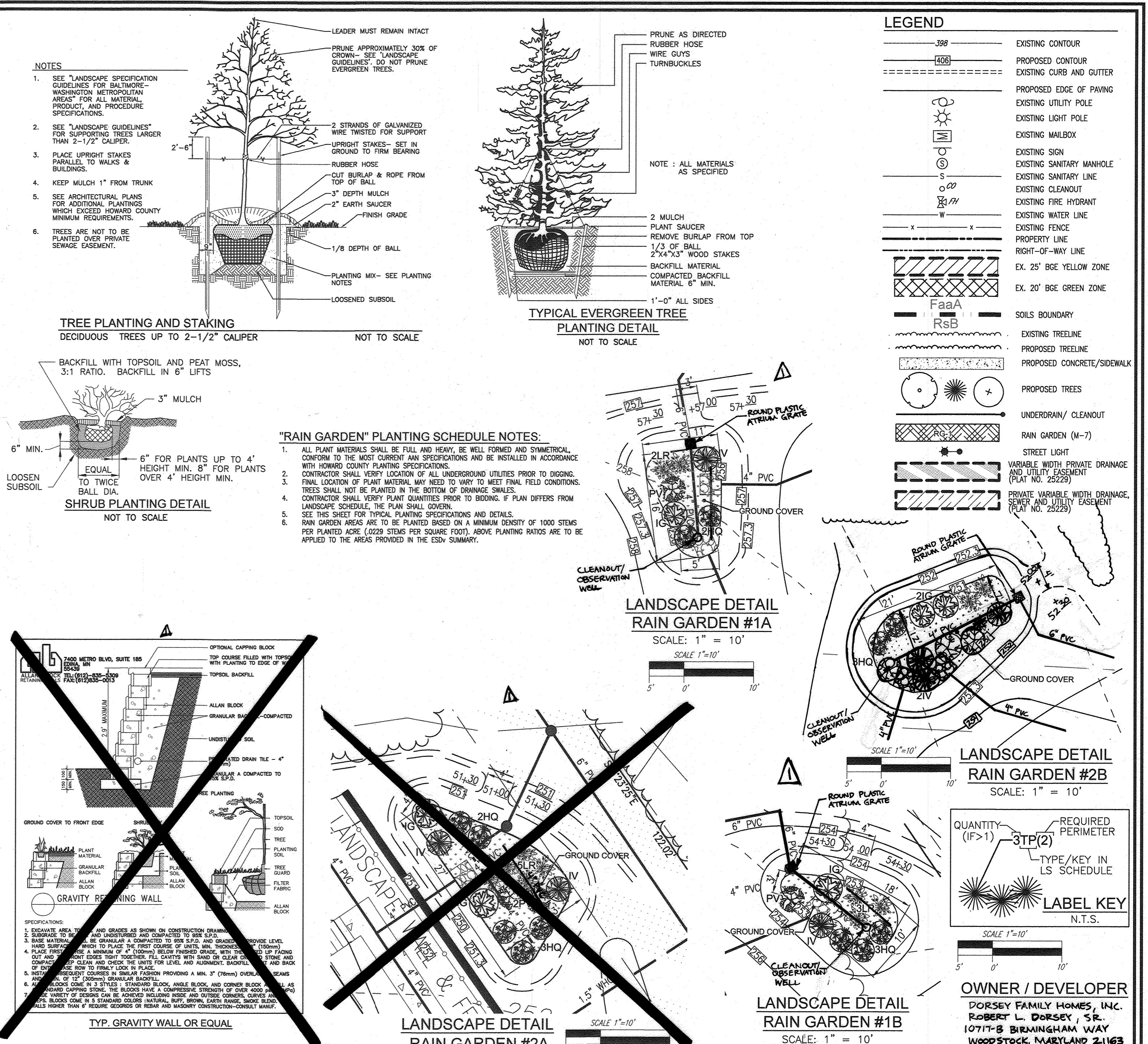
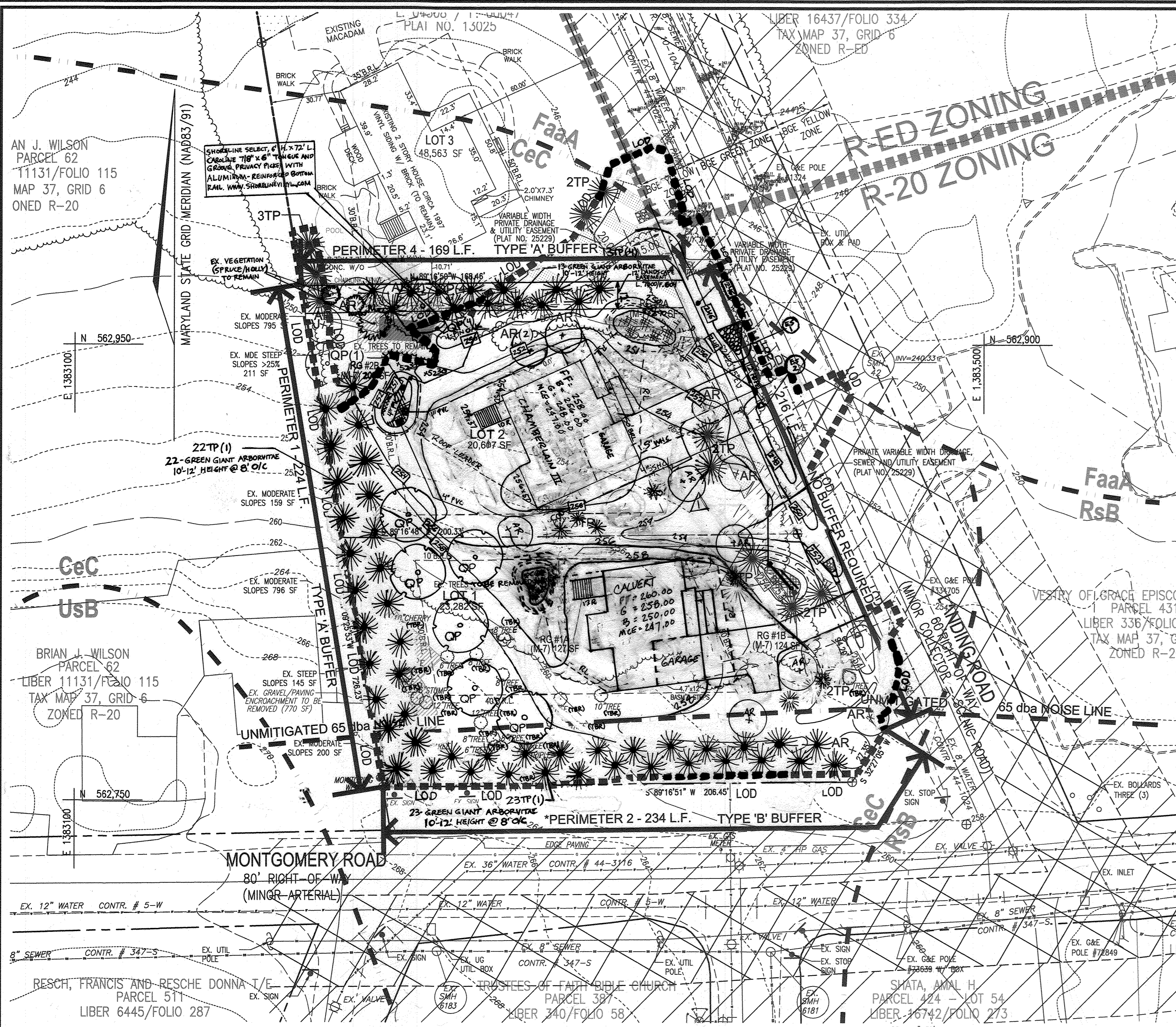
SITE DEVELOPMENT PLAN
GRADING, EROSION AND SEDIMENT CONTROL PLAN
(REVISED SHEET)
SNODGRASS PROPERTY LOTS 1 & 2
L. 07000/F. 00601 & L. 07000/F. 00604
ZONED: R-20
PARCEL 62
1ST ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERS & SURVEYORS, P.L.L.C.
3300 N. RIDGE ROAD, SUITE 110
ELICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.18961

DESIGN BY: GAH
DRAWN BY: GAH
CHECKED BY: RHV
DATE: DECEMBER 2019
SCALE: AS SHOWN
W.O. NO.: 04-33

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193
EXPIRATION DATE: 08-31-2020

ROBERT H. VOGEL, PE No. 16193



LANDSCAPE PLAN

SCALE: 1" = 30'

LANDSCAPE NOTES

- AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
- THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOUNDARIES AND BENCHES, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS GIVEN, DESIRES PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD, AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE HOWARD COUNTY LANDSCAPE MANUAL. PLANTINGS SHOWN HEREON ARE THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL DURING THE CONSTRUCTION OF THE FINAL PLAN.
- LANDSCAPE SCHEDULE NOTE: ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT ANNUAL SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH HRO PLANTING SPECIFICATIONS. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES. CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.
- GENERAL NOTES: THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. THE REQUIRED PARKING AND PERIMETER LANDSCAPING WILL BE BONDED PER THIS SUBMISSION. A LANDSCAPE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY IN THE AMOUNT OF \$45,000 FOR THE REQUIRED 12 SHADE TREES AND 8 EVERGREENS WILL BE PAID WITH THE BUILDER'S GRADING PERMIT. THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, DEVELOPMENT OR CONSTRUCTION OF THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WATER PETITION OR BUILDING PERMITS. THERE ARE NO BURIAL GROUNDS, CEMETERIES, OR HISTORIC STRUCTURES LOCATED ON THIS PROPERTY. NO LANDSCAPING TO BE INSTALLED WITHIN ANY PUBLIC EASEMENT FOR WATER, SEWER, OR STORMDRAIN. ANY EXISTING STREET TREES DAMAGED OR DESTROYED DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR.

APPENDIX A: LANDSCAPING GUIDELINES FOR STORMWATER BMPs

Tree	Shrub	Evergreen Species
American Elm	Acer rubrum	Thuja occidentalis
Black Maple	Pinus strobus	Abies balsamea
...

PERENNIALS/GROUND COVER PLANTING SCHEDULE

LEGEND	QTY	BOTANICAL NAME/Common Name	SIZE	REMARKS
[Symbol]	9	RUDBECKIA HIRTA	4" POT	12" x 18" O.C. FOR SIDES AND BOTTOM OF MBR. MIX ALL VARIETIES IN A NATURALIZED RANDOM PATTERN THROUGHOUT. PLANT IN GROUPS OF NO LESS THAN 9 PLANTS PER CLUMP
[Symbol]	9	PHLOX STOLONIFERA	1 QT.	

RAIN GARDEN PLANTING SCHEDULE

KEY	QTY	BOTANICAL NAME/Common Name	SIZE	REMARKS
IG	6	ILEX VERTICILLATA "WINTERBERRY"	1 GALLON	18" O.C.
IV	6	IRIS SIBERICA "BENNERUP BLUE"	1 GALLON	18" O.C.
HQ	13	HEMEROCALUS "ROJO ALTO"	1 GALLON	30" O.C.
LR	14	LIRIOPE MUSCARI "BIG BLUE"	4" HT	18" O.C.
PV	6	CORNUS SERICA "FLAVIRAMA"	18"-21" HT	18" O.C.

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING/SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIAL WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION: DATE: 2.25.20
 CHIEF, DIVISION OF LAND DEVELOPMENT: DATE: 2/27/2020
 DIRECTOR: DATE: 2-27-2020

SIGNATURE OF DEVELOPER: DATE: 1-10-2020

LANDSCAPE SCHEDULE

SYMBOL	KEY	QUAN.	BOTANICAL NAME	SIZE	REMARKS
[Symbol]	OP	7	QUERCUS PALustris PIN OAK	2.5-3" CAL.	B & B
[Symbol]	AR	11	ACER RUBRUM "RED SUNSET" RED SUNSET RED MAPLE	2.5-3" CAL.	B & B
[Symbol]	TP	70	THUJA PLICATA "GREEN GIANT" GREEN GIANT ARBORVITAE	6"-8" HGT.	B & B

RAIN GARDEN PLANTING REQUIREMENTS

RAIN GARDEN #	AREA	STEMS REQUIRED (0.0229)	STEMS PROVIDED	IG	IV	HQ	LR	PV	REQUIRE	RH	PS	TOTAL
1A	127	3	7	1	1	2	2	1	4	9	9	18
1B	124	3	9	1	1	3	3	1	4	18	18	36
2A	254	6	16	2	2	5	5	2	8	36	36	72
2B	200	5	13	2	2	3	4	2	7	36	36	72
TOTALS	713	17	45	6	6	13	14	6	23	99	99	198

RAIN GARDEN AREAS ARE TO BE PLANTED BASED ON A MINIMUM DENSITY OF 1000 STEMS PER PLANTED ACRE (0.0229 STEMS PER SQUARE FOOT).

PERENNIALS/GROUND COVER

PROVIDED	TOTAL
RH: 9, PS: 9	RH: 9, PS: 9

PERENNIALS/GROUND COVER ARE TO BE PLANTED BASED ON A MINIMUM DENSITY OF 0.07 STEMS PER SQUARE FOOT. PLANT IN GROUPS OF NO LESS THAN 9 PLANTS PER CLUMP.

ROBERT H. VOGEL ENGINEERING, INC.

ENGINEERS • SURVEYORS • PLANNERS
 3300 N. RIDGE ROAD, SUITE 110 TELL 410.461.7666
 ELLICOTT CITY, MD 21043 FAX 410.461.8961

DESIGN BY: GAH
 DRAWN BY: GAH
 CHECKED BY: RHV
 DATE: DECEMBER 2019
 SCALE: AS SHOWN
 W.O. NO.: 04-33

PROFESSIONAL CERTIFICATE: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND AND MY LICENSE EXPIRES ON 06-27-2020.

4 SHEET OF 5

APPENDIX B.4.C SPECIFICATIONS FOR MICRO-BIORETENTION, RAIN GARDEN, LANDSCAPE INFILTRATION & INFILTRATION

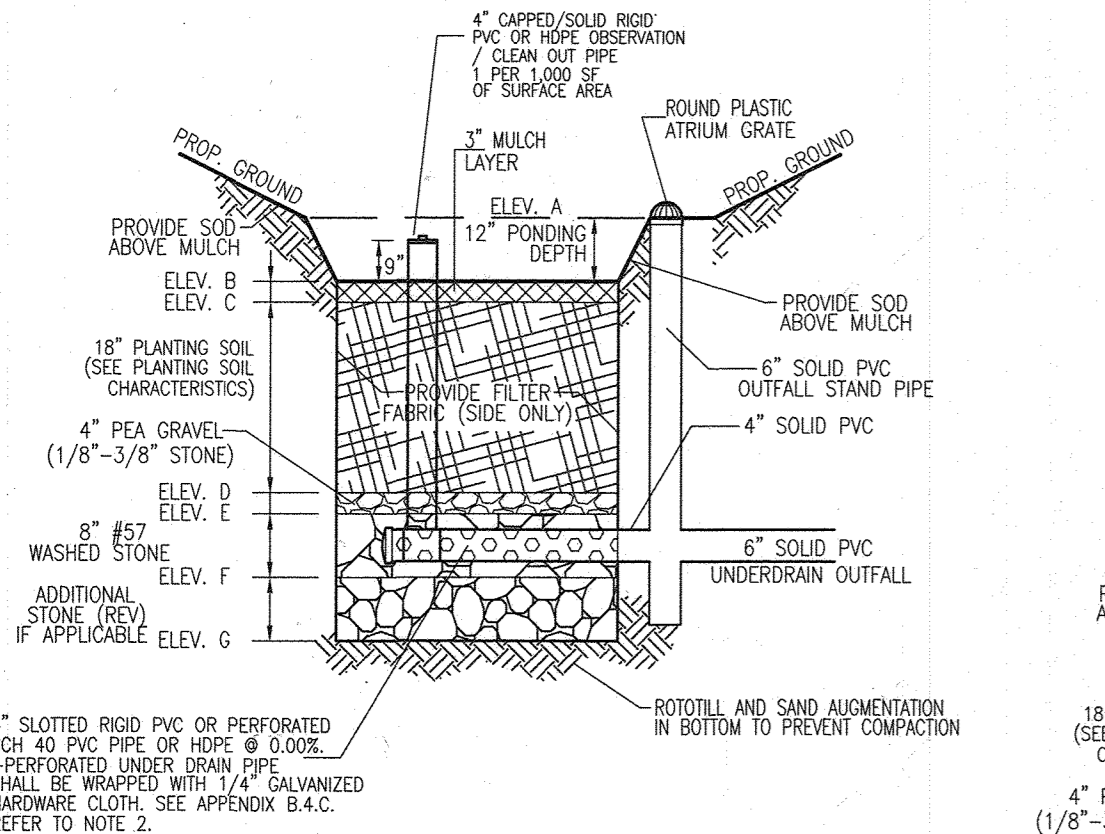
- 1. MATERIAL SPECIFICATIONS**
THE ALLOWED MATERIALS TO BE USED IN THESE PRACTICES ARE DETAILED IN TABLE B.4.C.1.
- 2. FILTERING MEDIA OR PLANTING SOIL**
THE PLANTING MEDIA OR PLANTING SOIL SHALL BE A UNIFORM MESH OF 20. The filter fabric shall be a minimum of 20 mesh and shall be installed in a manner that allows for the drainage of water from the filter fabric. The filter fabric shall be installed in a manner that allows for the drainage of water from the filter fabric. The filter fabric shall be installed in a manner that allows for the drainage of water from the filter fabric.
- 3. COMPACTION**
THE PLANTING MEDIA OR PLANTING SOIL SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE THEORETICAL MAXIMUM DRY DENSITY. THE COMPACTED MEDIA OR SOIL SHALL BE TESTED FOR COMPACTION AND THE RESULTS SHALL BE RECORDED IN THE FIELD NOTES.
- 4. PLANT MATERIAL**
RECOMMENDED PLANT MATERIAL FOR MICRO-BIORETENTION PRACTICES CAN BE FOUND IN APPENDIX A.2.3.
- 5. PLANT INSTALLATION**
THE PLANTING MEDIA OR PLANTING SOIL SHALL BE INSTALLED IN A MANNER THAT ALLOWS FOR THE DRAINAGE OF WATER FROM THE FILTER FABRIC. THE PLANTING MEDIA OR PLANTING SOIL SHALL BE INSTALLED IN A MANNER THAT ALLOWS FOR THE DRAINAGE OF WATER FROM THE FILTER FABRIC.
- 6. UNDERDRAINS**
UNDERDRAINS SHALL BE INSTALLED IN A MANNER THAT ALLOWS FOR THE DRAINAGE OF WATER FROM THE FILTER FABRIC. THE UNDERDRAINS SHALL BE INSTALLED IN A MANNER THAT ALLOWS FOR THE DRAINAGE OF WATER FROM THE FILTER FABRIC.
- 7. MISCELLANEOUS**
THESE PRACTICES SHALL NOT BE CONSIDERED UNTIL ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED.

Table B.4.C.1 Materials Specifications for Micro-Bioretention, Rain Gardens & Landscape Infiltration

Item	Specification	Notes
1. Filter fabric	Non-woven polypropylene, minimum 20 mesh, 100% permeable	Must be installed in a manner that allows for the drainage of water from the filter fabric.
2. Planting media	Uniform mesh of 20, 100% permeable	Must be compacted to a minimum of 95% of the theoretical maximum dry density.
3. Plant material	As specified in Appendix A.2.3	Must be installed in a manner that allows for the drainage of water from the filter fabric.
4. Underdrain	4" diameter, 12" HDPE, 1/2" slots, 1/2" spacing	Must be installed in a manner that allows for the drainage of water from the filter fabric.
5. Filter fabric	Non-woven polypropylene, minimum 20 mesh, 100% permeable	Must be installed in a manner that allows for the drainage of water from the filter fabric.
6. Planting media	Uniform mesh of 20, 100% permeable	Must be compacted to a minimum of 95% of the theoretical maximum dry density.
7. Plant material	As specified in Appendix A.2.3	Must be installed in a manner that allows for the drainage of water from the filter fabric.
8. Underdrain	4" diameter, 12" HDPE, 1/2" slots, 1/2" spacing	Must be installed in a manner that allows for the drainage of water from the filter fabric.
9. Filter fabric	Non-woven polypropylene, minimum 20 mesh, 100% permeable	Must be installed in a manner that allows for the drainage of water from the filter fabric.
10. Planting media	Uniform mesh of 20, 100% permeable	Must be compacted to a minimum of 95% of the theoretical maximum dry density.
11. Plant material	As specified in Appendix A.2.3	Must be installed in a manner that allows for the drainage of water from the filter fabric.
12. Underdrain	4" diameter, 12" HDPE, 1/2" slots, 1/2" spacing	Must be installed in a manner that allows for the drainage of water from the filter fabric.

OPERATION AND MAINTENANCE SCHEDULE FOR RAIN GARDENS (M-7), BIORETENTION SWALE (M-8), LANDSCAPE INFILTRATION (M-3), MICRO-BIORETENTION (M-6), AND ENHANCED FILTERS (M-9)

1. THE OWNER SHALL MAINTAIN THE PLANT MATERIAL MULCH LAYER AND SOIL LAYERS ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING PROBLEMS WITH MULCH AND SOIL. THE MULCH AND SOIL SHALL BE REPLACED AS NEEDED. THE MULCH AND SOIL SHALL BE REPLACED AS NEEDED.
2. THE OWNER SHALL PERFORM A VISUAL INSPECTION OF THE RAIN GARDEN, BIORETENTION SWALE, LANDSCAPE INFILTRATION, MICRO-BIORETENTION, AND ENHANCED FILTERS AT THE END OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE WEEDS AND DISCARD THEM IN A BIN. THE OWNER SHALL REMOVE WEEDS AND DISCARD THEM IN A BIN.
3. THE OWNER SHALL INSPECT THE MULCH LAYER AND SOIL LAYERS AT THE END OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE WEEDS AND DISCARD THEM IN A BIN. THE OWNER SHALL REMOVE WEEDS AND DISCARD THEM IN A BIN.
4. THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.



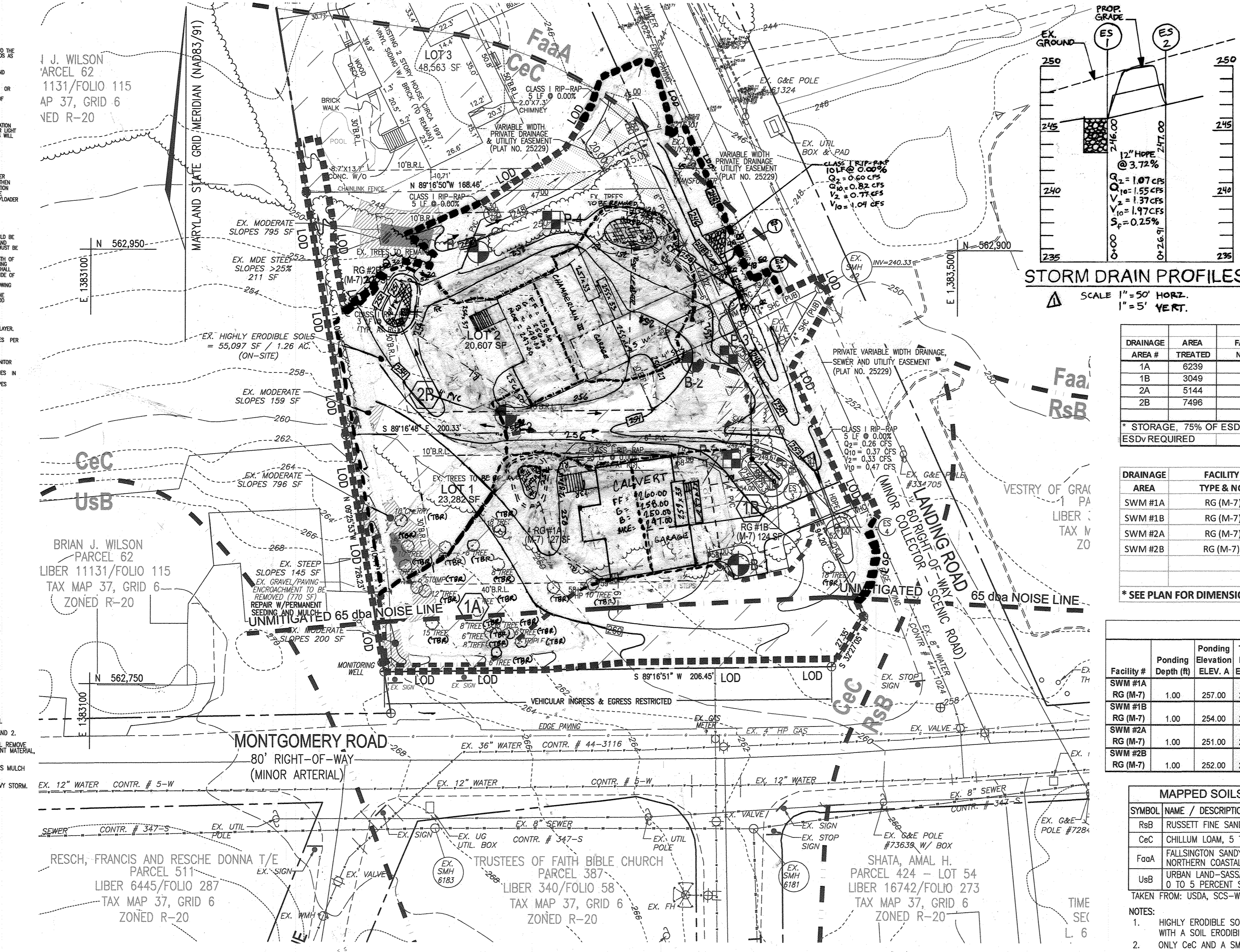
(M-7) RAIN GARDEN (UNDERDRAIN) NOT TO SCALE

- RAIN GARDEN NOTES:**
1. ONLY THE SIDES OF RAIN GARDENS ARE TO BE WRAPPED IN FILTER FABRIC. FILTER FABRIC BETWEEN LAYER OR AT THE BOTTOM OF THE FACILITY WILL CAUSE THE WATER TO FAIL AND THEREFORE SHALL NOT BE INSTALLED.
 2. PERFORATED PVC/HDPE UNDER DRAIN TO BE WRAPPED WITH 1/4" GALVANIZED HARDWARE CLOTH OF EQUAL OR EQUAL TO APPENDIX B.4.C.1.
 3. PROVIDE 5" MINIMUM SPACING BETWEEN UNDER DRAIN AND PERFORATED PIPE THROUGH STONE RESERVOIR OR SPACE PIPE EQUALLY ACROSS BOTTOM FOR SMALL BIOS. (SEE PLANS)
 4. SEE SHEET 4 FOR ADDITIONAL RAIN GARDEN DETAILS, SPECIFIC TO EACH FACILITY, INCLUDING ELEVATIONS AT TOP OF MULCH, EMBANKMENT AND WEIR AND DIMENSIONS OF FACILITY AND WEIR.

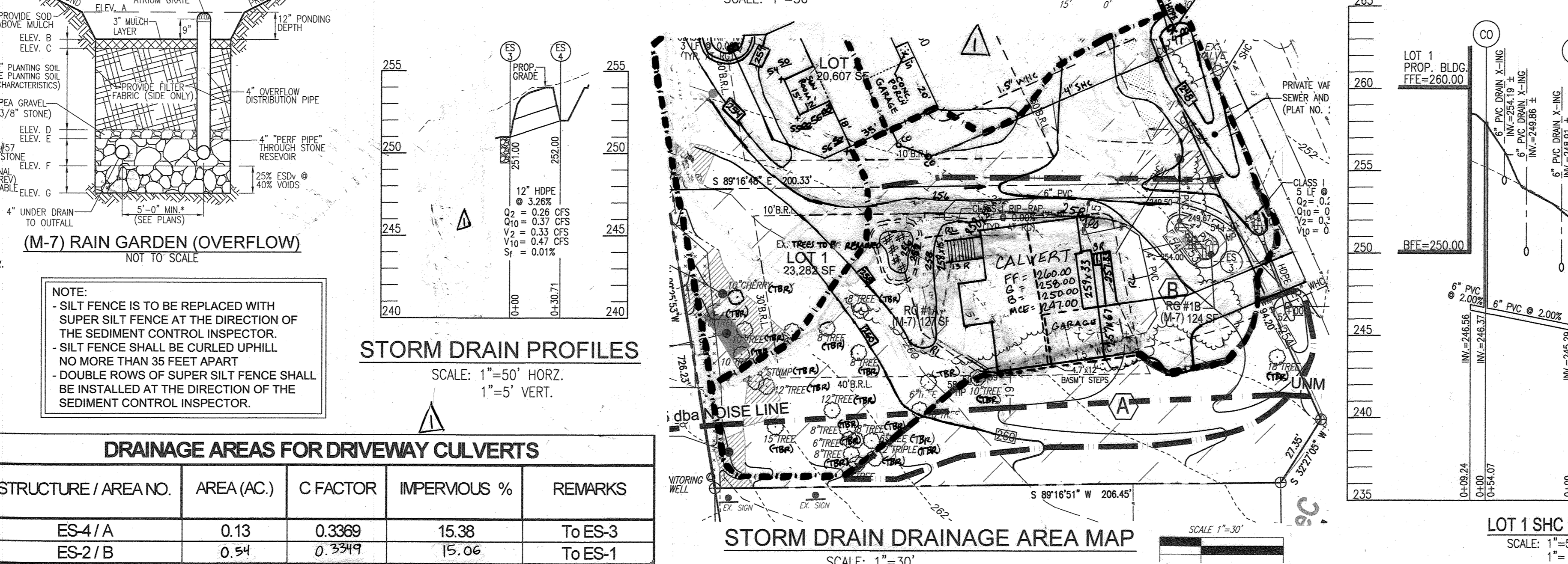
NOTE:

EITHER PERMANENT OR TEMPORARY STABILIZATION IS TO BE APPLIED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR REGARDLESS OF DAYS/DATES IN THE STANDARD SEDIMENT CONTROL NOTES AND/OR SEEDING SPECIFICATIONS.

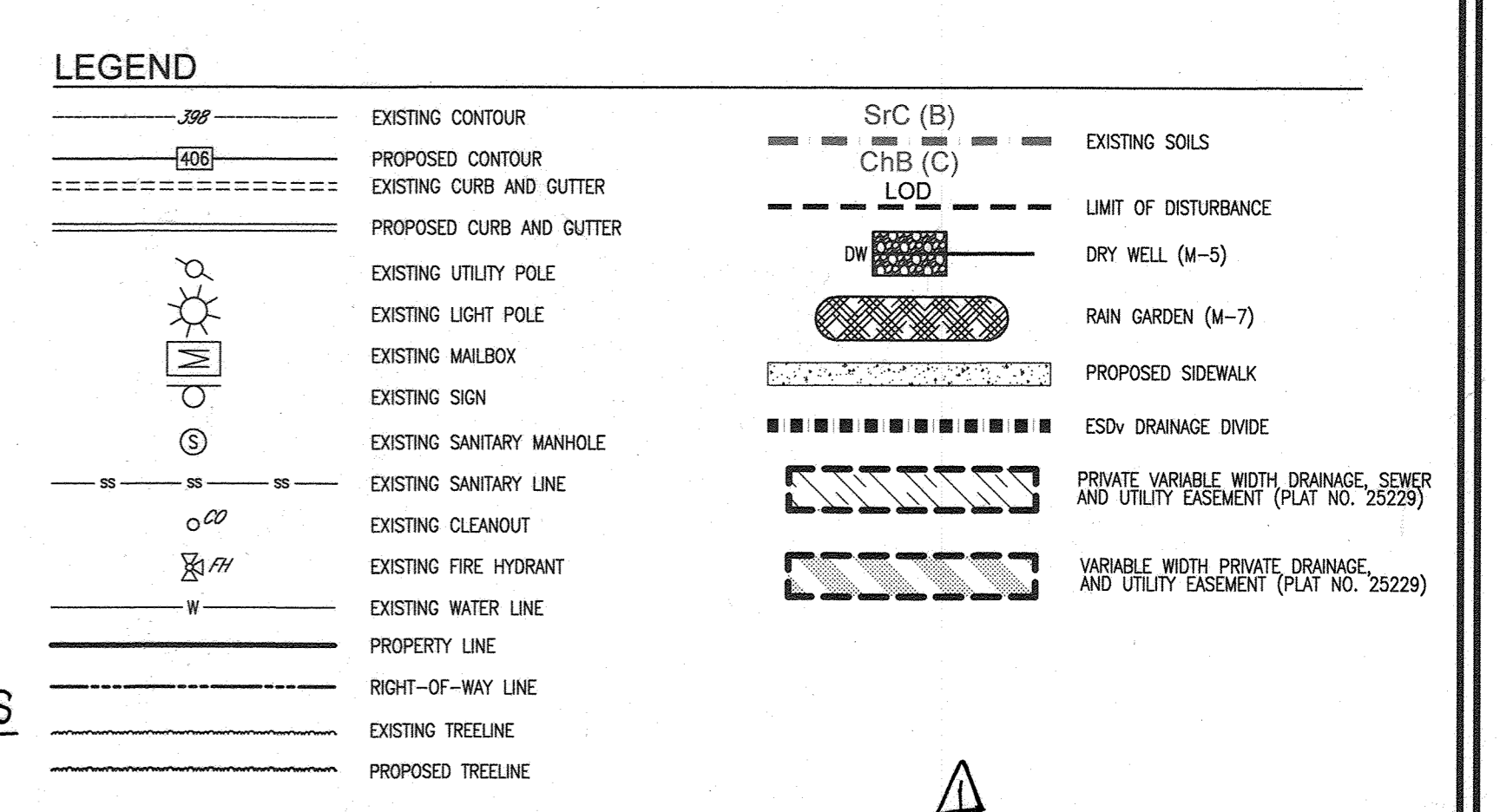
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 DIRECTOR: [Signature] DATE: 12-27-2020
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 12-27-2020
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 12/21/2020



STORMWATER MANAGEMENT DRAINAGE AREA MAP



* AREA B INCLUDES SUB-AREAS A, B AND OVERFLOW FROM MBR #1A AND #1B



ENVIRONMENTAL SITE DESIGN PRACTICE VOLUMES PROVIDED

DRAINAGE AREA #	TREATED	FACILITY NUMBER	X	RAIN GARDEN (M-7)	NO-ROOFTOP DISCONNECT (M-2)	DRY WELL (M-5)	X	GRAVEL TRENCH (I-1)	X	Recharge Volume (Rev)	ESDv
1A	6239	1A	0	169	0	0	0	0	0	42	169
1B	3049	1B	0	165	0	0	0	0	0	41	165
2A	5144	2A	0	339	0	0	0	0	0	85	339
2B	7496	2B	0	267	0	0	0	0	0	67	267
TOTALS:	0	0	0	940	0	0	0	0	0	235	940
ESDv REQUIRED	673	CF									940
TOTAL ESDv PROVIDED											940

RAIN GARDEN DATA CHART

DRAINAGE AREA	FACILITY TYPE & NO.	IMPERVIOUS AREA	GRASS AREA	TOTAL AREA	PERCENT IMPERVIOUS	RV	ESDv	ESDv TARGET	PROVIDED
SWM #1A	RG (M-7)	731	6197	6928	10.55	.14	84	210	84
SWM #1B	RG (M-7)	1962	1558	3520	55.74	.55	162	421	162
SWM #2A	RG (M-7)	2221	2235	4456	49.84	.50	185	481	185
SWM #2B	RG (M-7)	913	7271	8184	11.16	.15	103	267	103
TOTAL AREA		23,088	53	23,141			533		940

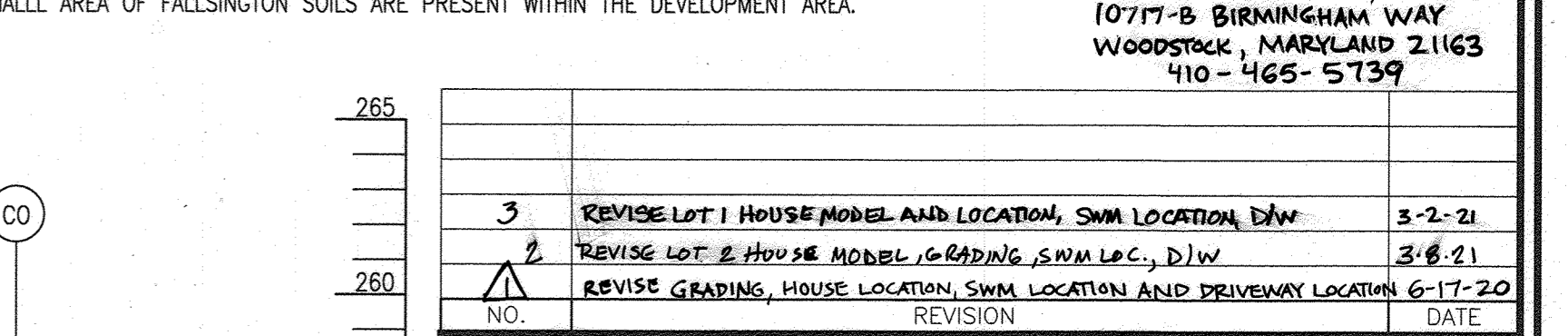
* SEE PLAN FOR DIMENSIONS AND DEPTH

MAPPED SOILS TYPES - CLARKSVILLE NW / NE MAP #16 / 17

SYMBOL	NAME / DESCRIPTION	GROUP	K-FACTOR	HYDRIC	HYDRIC INCLUSIONS	PRIME FARMLAND	<15% SLOPE W/ EROSION POTENTIAL
Rsb	RUSSETT FINE SANDY LOAM, 2 TO 5 PERCENT SLOPES	C	.28	NO	NO	YES	NO
CeC	CHILLUM LOAM, 5 TO 10 PERCENT SLOPES	C	.43	NO	NO	*YES	NO
FoaA	FALLINGTON SANDY LOAMS, 0 TO 2 PERCENT SLOPES, NORTHERN COASTAL PLAIN	C/D	-	NO	YES	*YES	NO
UsB	URBAN LAND-SASSAFRASS-BELTSVILLE COMPLEX, 0 TO 5 PERCENT SLOPES	D	-	NO	NO	NO	NO

OWNER / DEVELOPER
 DORSEY FAMILY HOMES, INC.
 ROBERT L. DORSEY, SR.
 10717-B BIRMINGHAM WAY
 WOODSTOCK, MARYLAND 21163
 410-465-5739

- NOTES:**
1. HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL EROSION FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.
 2. ONLY CeC AND A SMALL AREA OF FALLINGTON SOILS ARE PRESENT WITHIN THE DEVELOPMENT AREA.



LOT 1 SHC PROFILE

SCALE: 1"=50' HORIZ. 1"=5' VERT.

SITE DEVELOPMENT PLAN

DRAINAGE AREA MAPS, NOTES AND DETAILS (REVISED SHEET)

SNODGRASS PROPERTY LOTS 1 & 2

TAX MAP 37 BLOCK 6 1ST ELECTION DISTRICT ZONED: R-20 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERS • SURVEYORS • PLANNERS

3300 N. RIDGE ROAD, SUITE 110 ELLIGOTT CITY, MD 21103 TEL: 410-461-7666 FAX: 410-461-8961

DESIGN BY: GAH
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5 SHEET OF 5

